



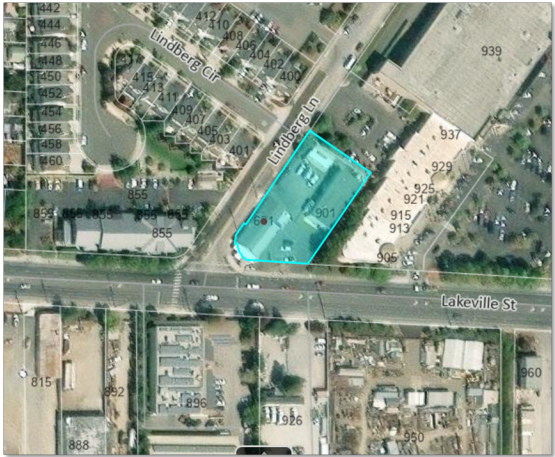
NOTICE OF ADMINISTRATIVE ACTION

ADMINISTRATIVE SITE PLAN AND ARCHITECTURAL REVIEW

Review Authority - Community Development Director, Planning Division

ACTION DATE:

On or after Monday, July 29, 2024, the Community Development Director will consider all comments and either approve, conditionally approve, or deny the project.



PROJECT NAME: - ANNA'S SEAFOOD EXPANSION AND REMODEL

Project Address: 601 Lakeville Street

Assessor's Parcel Number (APN): 005-020-076

City Record Number: PLSR-2024-0002

Applicant: Neal Park, Sutti Associates

PROJECT DESCRIPTION: The site is currently operated as a grocery/specialty foods use, which is permitted in the Commercial 1 (C1) zoning district. The project proposes continued operation of the existing grocery/specialty foods use as well as operation of a new restaurant, which is permitted in the C1 zoning district. To accommodate the existing and new use, the project proposes construction of a 430-square-foot kitchen to the existing 3,580-square-foot retail building (601 Lakeville Street) located at the southwest corner of the site. The project also proposes to remodel the building exterior including installation of a standing seam metal roof, replacement of siding with fiber cement siding, and installation of a parapet roof to screen mechanical equipment. Modifications to vehicular parking and circulation areas, installation of bicycle parking, fencing, and landscaping, and construction of an approximately 336-square-foot trash enclosure at the rear of the property are also proposed. No modifications to the existing building at the northeast corner of the site (901 Lakeville Street), which is used to process food sold at the existing market, is proposed by the project.

CALIFORNIA ENVIRONMENTAL QUALITY ACT: The Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 for Class 1 - Existing Facilities.

Servicios de traducción al español disponibles.

FOR MORE INFORMATION:

- **Planner:** Krystle Rizzi, Principal Planner
- **Phone:** (707) 778-4592 & **Email:** krizzi@cityofpetaluma.org
- **City Hall Planning Counter:** 11 English Street, Petaluma
Monday through Thursday between 10 AM and 3 PM

PUBLIC COMMENT SUBMITTAL INSTRUCTIONS:

Please submit public comment(s) in writing prior to the referenced decision date in the following options:

- Via email: krizzi@cityofpetaluma.org
- Via U.S. Mail: City of Petaluma, Planning Division, 11 English Street, Petaluma, CA 94952

APPEAL: The applicant, or any other interested party, may appeal any part of the administrative decision to the Planning Commission. Such appeal must be filed in writing within fourteen (14) days of the date of the decision, along with the appeal fee. For more information on how to file an appeal, call (707) 778-4470 or visit cityofpetaluma.org/planningprojects

ACCESSIBILITY: Efforts will be made to accommodate persons with disabilities. Please notify Planning Division at (707) 778-4470 or (707) 778-4480 (TDD) within 5 days from date of publication of this notice if you need special accommodations.



Learn more and provide feedback at
<https://cityofpetaluma.org/topics/planning-admin-projects/>

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Visitenos en cityofpetaluma.org/ayuda-en-espanol
para más información.*



City of Petaluma
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