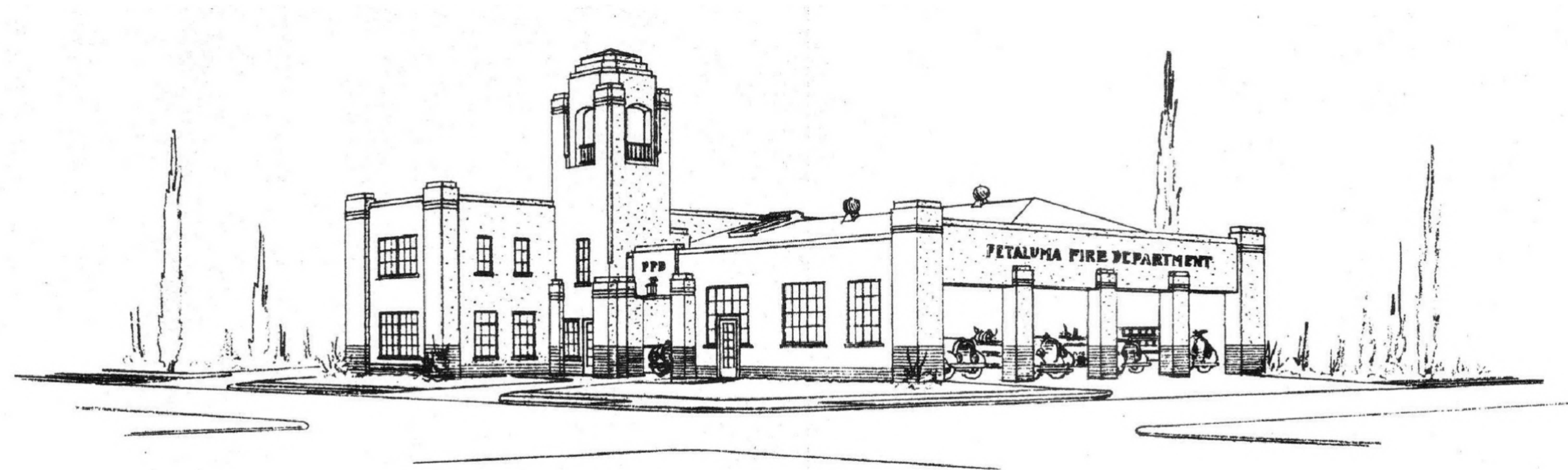


# PETALUMA FIRE STATION NO. 1 BUILDING RENOVATION PROJECT

198 D Street, Petaluma, California 94952

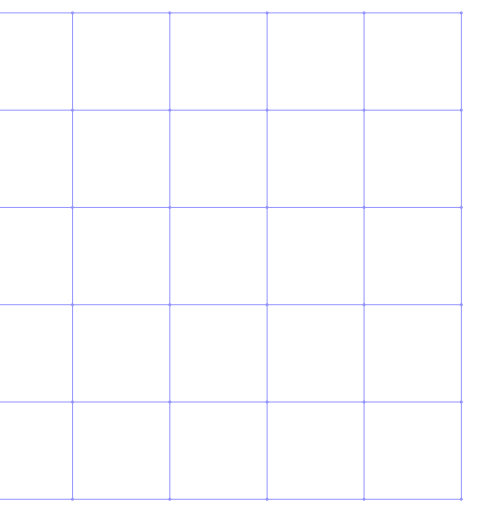
## PRELIMINARY DESIGN PACKAGE HISTORIC SPAR STUDY SESSION



△△ DOCKET △ CALIF △ 1677-DS △

△△ PETALUMA FIRE STATION △△

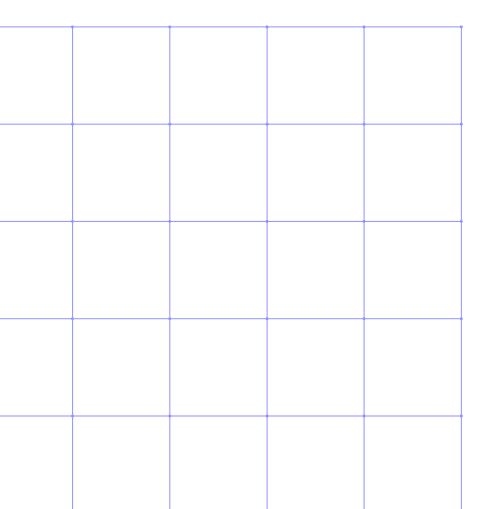
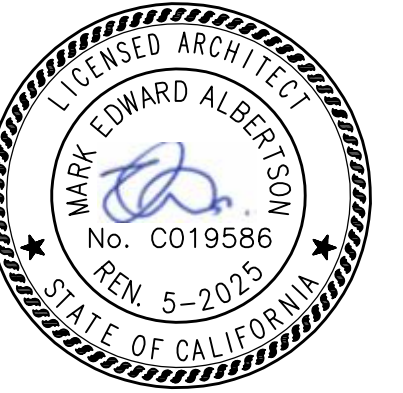
△△ PETALUMA △ CALIF △△



Architects | MA

MARK ALBERTSON  
ARCHITECT

1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



PETALUMA FIRE STATION NO. 1  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
COVER SHEET

ARCHITECT'S PROJECT NO:  
MA24.301

DRAWING STATUS:

CHECK SET: JUNE 2024  
PERMIT SET:  
BID SET:  
CONSTRUCTION SET:

REVISIONS:

SHEET NO.  
T0.0



**NOTES**

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. IN MARCH 2024.
- VERTICAL DATUM: NAVD88. GEODID8 (NGS9018u5), US SURVEY FEET, PER TIE TO "CAULFIELD" BENCHMARK. ELEVATION = 11.56' NAVD88 DATUM. A LOCAL JOB BENCHMARK HAS BEEN ESTABLISHED ON SITE, BEING A FOUND 1" BRASS DISK WITH PUNCH STAMPED "PLS 7950" SET FLUSH IN CONCRETE SIDEWALK AT THE SOUTH EAST CORNER OF SUBJECT PARCEL. ELEVATION 11.20', NAVD88 DATUM.
- HORIZONTAL DATUM: RECORD OF SURVEY, RECORDED IN BOOK 738 OF MAPS, AT PAGES 40-41, SONOMA COUNTY RECORDS.
- BOUNDARY INFORMATION SHOWN IS BASED UPON FIELD TIES AND RECORD INFORMATION. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY. SAID RESOLUTION WOULD REQUIRE A RECORD OF SURVEY UNDER STATE LAW. BOUNDARY INFORMATION SHOWN IS FOR PLANNING PURPOSES ONLY.
- UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM CITY OF PETALUMA UTILITY MAPPING AS SHOWN ON GRID PAGE(S) G09 AND THE CITY OF PETALUMA IMPROVEMENT PLANS FOR THE "PETALUMA THEATER DISTRICT INFRASTRUCTURE IMPROVEMENTS" PREPARED BY CSW/STUBER-STROEH, DATED NOVEMBER 2003. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARKS THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POT-HOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
- NO TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- THIS MAP IS PROVIDED IN AN DIGITAL FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS DIGITAL FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE DIGITAL FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE DIGITAL FILE, OR FOR ANY PRODUCTS DERIVED FROM THE DIGITAL FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.

PETALUMA THEATER DISTRICT PARKING LLC  
DN 2006-073721  
APN 008-690-004

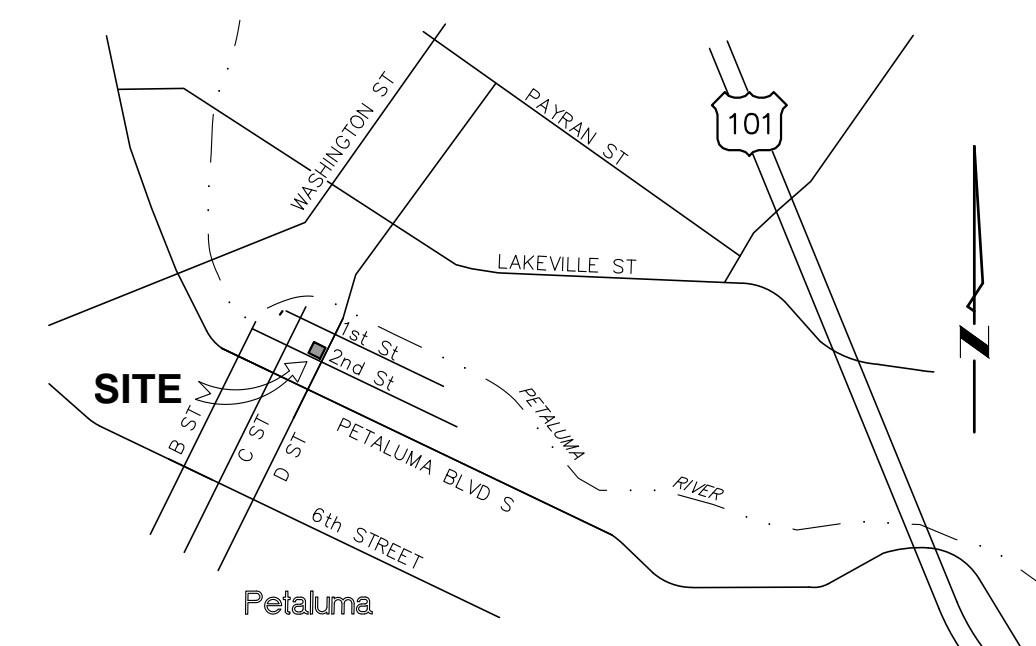
**RECORD OF SURVEY  
738 MAPS 40-41**

GARAGE RETAIL CA LLC  
DN 2014-083197  
APN 008-690-002

GARAGE RETAIL CA LLC  
DN 2014-083197  
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**CITY OF PETALUMA  
FIRE HOUSE No. 1**

422 OR 393  
APN 008-690-003



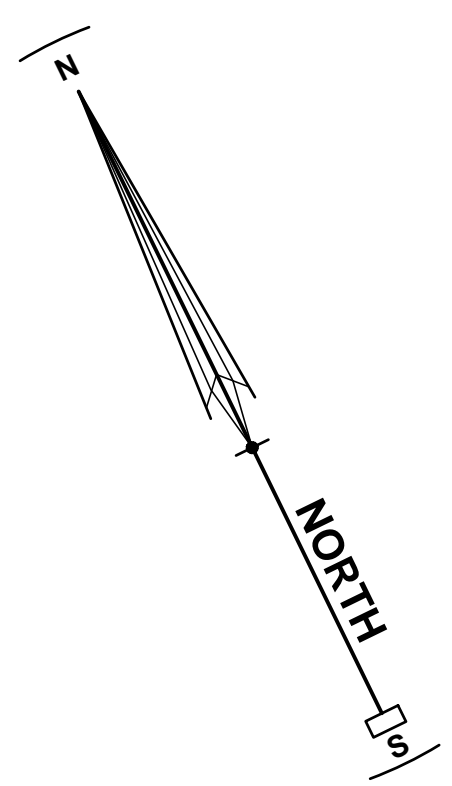
**VICINITY MAP**  
NOT TO SCALE

**LEGEND**

- WATER VALVE
- WATER METER
- BACK FLOW PREVENTER
- FIRE HYDRANT
- COMMUNICATIONS VAULT
- ELECTRIC SERVICE VAULT
- GAS VALVE
- GAS METER
- DROP INLET
- AREA DRAIN
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STREET LIGHT
- STREET LIGHT SERVICE VAULT
- TRAFFIC LIGHT SERVICE VAULT
- SINGLE POST SIGN
- BICYCLE RACK
- JOB BENCHMARK
- CENTER LINE
- PARCEL BOUNDARY LINE
- ADJOINING PARCEL LINE
- BUILDING OUTLINE
- WATER SERVICE
- 8" WATER SERVICE
- STORM DRAIN
- GAS LINE
- ELECTRIC
- TELEPHONE/COMMUNICATIONS
- 6" SANITARY SEWER
- 10" SANITARY SEWER
- 27" SANITARY SEWER
- DRIPLINE, APPROXIMATE
- EXISTING CONTOUR
- CONCRETE

**ABBREVIATIONS**

- AC AIR CONDITIONER
- APN ASSESSOR'S PARCEL NUMBER
- C COMMUNICATIONS
- CMP CORRUGATED METAL PIPE
- CONC CONCRETE
- DI DROP INLET
- DN DOCUMENT NUMBER
- E,ELEV ELEVATION
- ELEV ELECTRIC
- EM ELECTRIC METER
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- FLIN FLOW LINE IN
- FLOUT FLOW LINE OUT
- FS FINISHED SURFACE
- G GAS
- GM GAS METER
- GR GRATE
- HB HOSE BIB
- HDPE HIGH-DENSITY POLYETHYLENE
- HV HIGH VOLTAGE
- ICV IRRIGATION CONTROL VALVE
- INVERT INVERT GRADE
- INV INVERT
- JBM JOB BENCHMARK
- JP JOINT POLE
- LP LIGHT POLE
- NTS NOT TO SCALE
- R1 738 MAPS 40-41, SCR
- RCP REINFORCED CONCRETE PIPE
- SCR SONOMA COUNTY RECORDS
- SINS SIGN
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT(INC)
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- TS TRAFFIC SIGNAL
- W WATER
- WM WATER METER
- WV WATER VALVE
- WVLT WATER VAULT



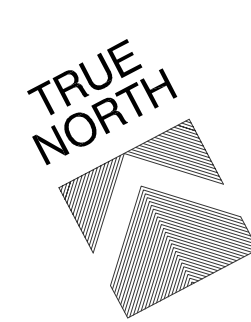
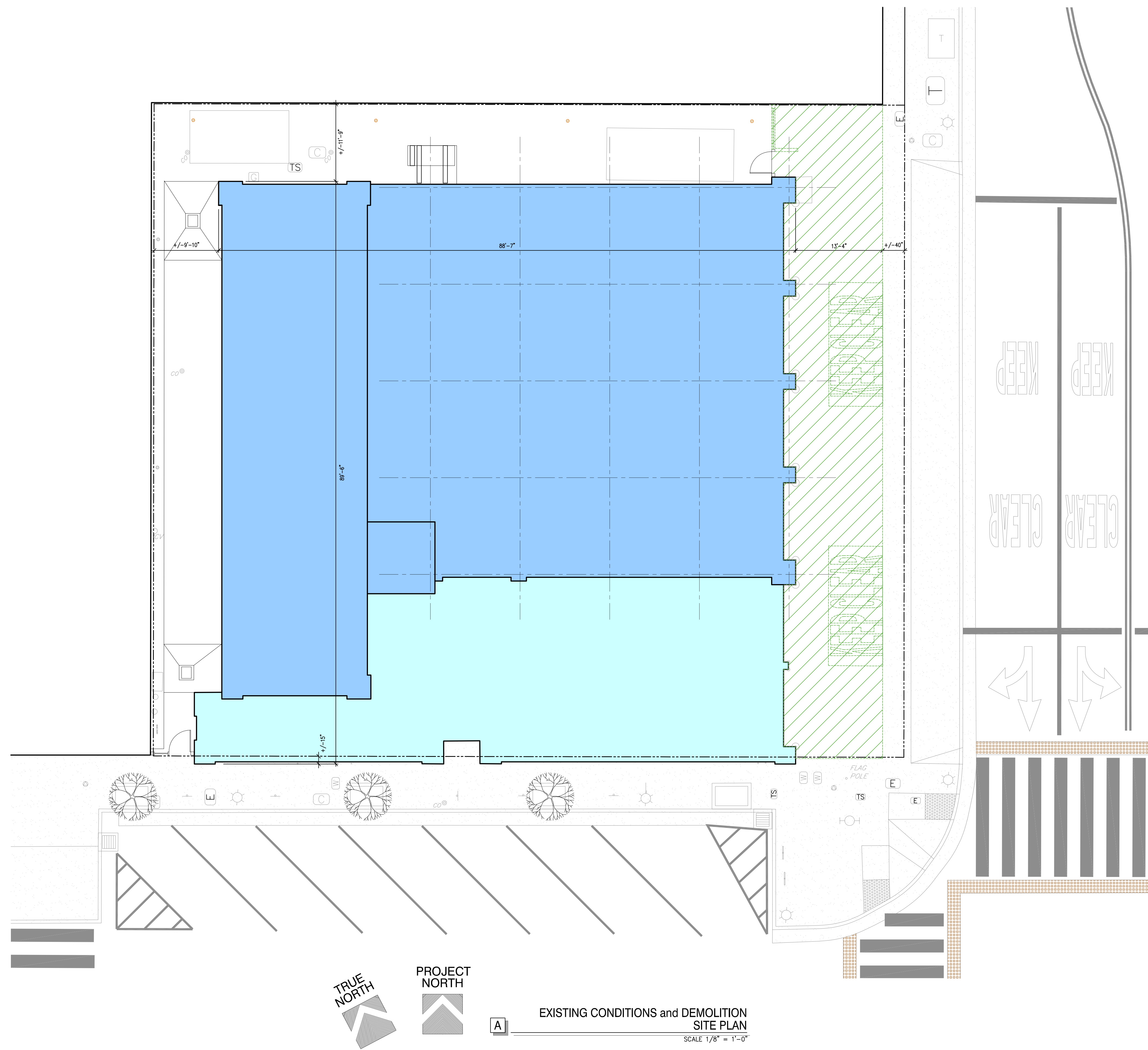
DATE: MARCH 28, 2024

| REVISIONS | BY |
|-----------|----|
|           |    |
|           |    |
|           |    |
|           |    |

**TOPOGRAPHIC MAP**  
LANDS OF CITY OF PETALUMA FIRE HOUSE NO. 1  
198 D STREET  
PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
CIVIL ENGINEERS - LAND SURVEYORS  
LAND PLANNERS - LANDSCAPE ARCHITECTS  
PETALUMA THEATRE SQUARE  
140 SECOND STREET, SUITE 312  
(707) 762-3122 FAX (707) 762-2329

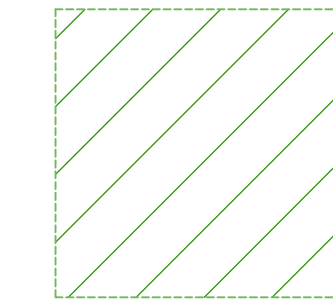
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| DATE:   | 2024.03.28   |
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| DRAWN:  | SJL          |
| CHECK:  | COP FIRE NOT |
| JOB No: | 242438       |
| SHEET   | 1            |
| OF      | 1 SHEETS     |



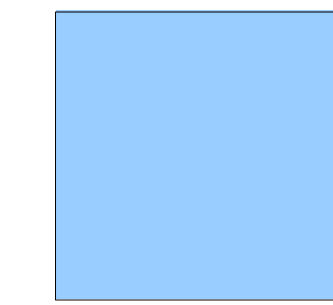
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EXISTING CONDITIONS and DEMOLITION  
SITE PLAN  
SCALE 1/8" = 1'-0"

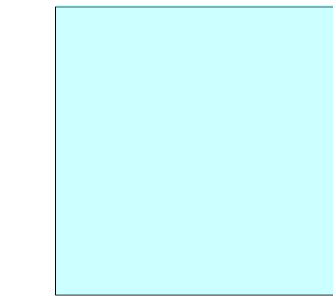
GENERAL NOTES and LEGEND



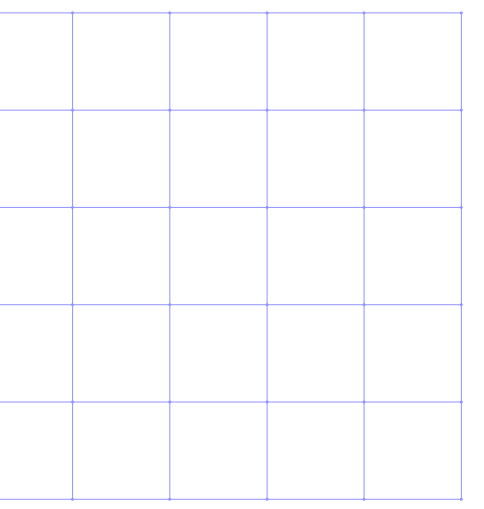
(E) CONCRETE APRON TO BE REMOVED  
ASSUME A TOTAL SECTION DEPTH OF 24" FROM (E) SLAB ELEVATION INCLUDING UNDERLYING SOILS



ORIGINAL 1938 BUILDING FOOTPRINT



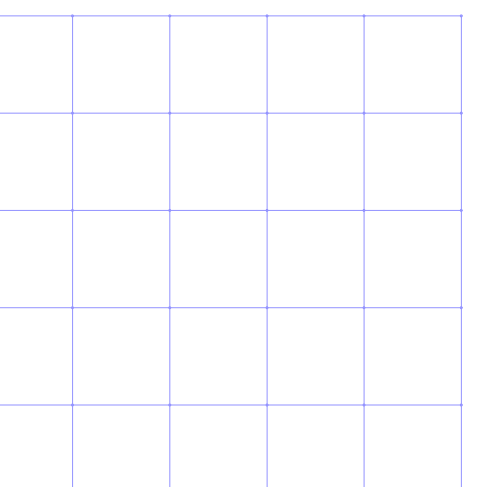
BUILDING ADDITION COMPLETED IN EARLY 1970'S



Architects | MA

MARK ALBERTSON  
ARCHITECT

1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



PETALUMA FIRE STATION NO. 1  
Building Renovation Project

198 D Street  
Petaluma, California 94952

EXISTING CONDITIONS and DEMOLITION SITE PLAN

ARCHITECT'S PROJECT NO:  
MA24.301

DRAWING STATUS:

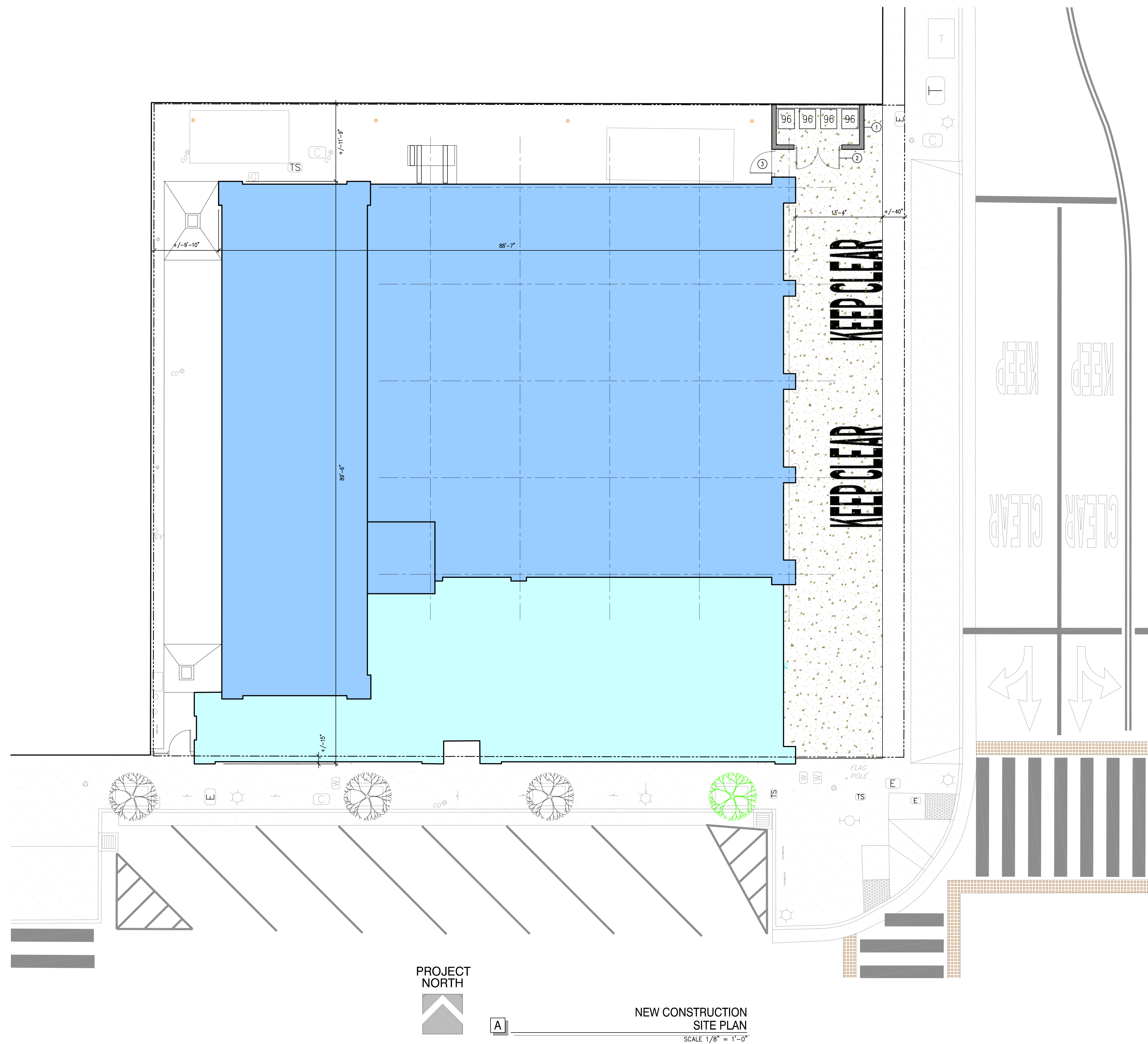
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PERMIT SET:  
BID SET:  
CONSTRUCTION SET:

REVISIONS:



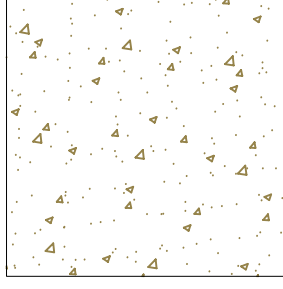
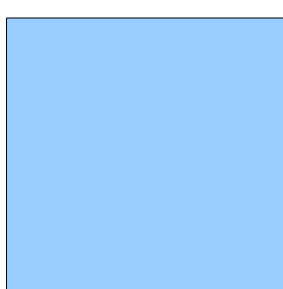
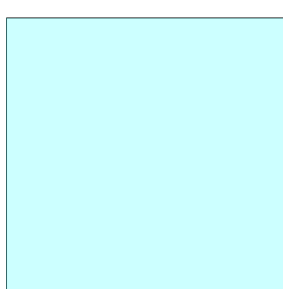

SHEET NO.

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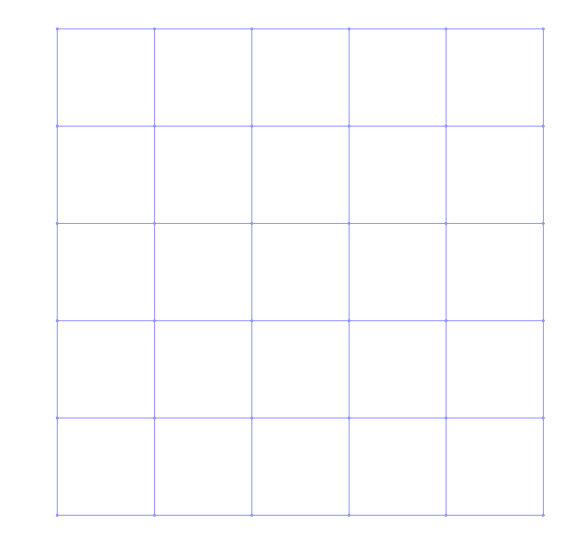
PROJECT NORTH  
 NEW CONSTRUCTION SITE PLAN  
 SCALE 1/8" = 1'-0"

GENERAL NOTES and LEGEND

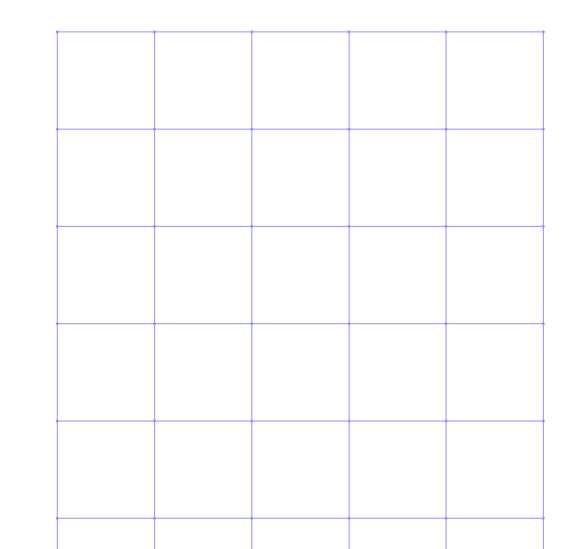
-  (N) CONCRETE APRON TO BE INSTALLED  
ASSUME A TOTAL SECTION DEPTH OF 24" FROM (E) SLAB ELEVATION INCLUDING UNDERLYING SOILS.
-  ORIGINAL 1938 BUILDING FOOTPRINT
-  BUILDING ADDITION COMPLETED IN EARLY 1970'S
-  NEW BOULEVARD TREE PER CITY STANDARDS

NEW CONSTRUCTION REFERENCE NOTES

- ① (N) 6"-0" HIGH CMU MASONRY WALLS WITH (N) DASH FINISH PLASTER TO MATCH (E) BUILDING PLASTER. PROVIDE (N) PAINT FINISH.
- ② (N) PRE-WROUGHT IRON GATES TO MATCH (E) GATE DESIGN AND FINISH.
- ③ (E) MAIN GATE AND JAMB POSTS TO REMAIN.



Architects | MA  
 MARK ALBERTSON  
 ARCHITECT  
 1676 CALLE RANCHERO  
 PETALUMA, CA 94954  
 TELEPHONE (707) 763-1580  
 mark@architects-ma.com



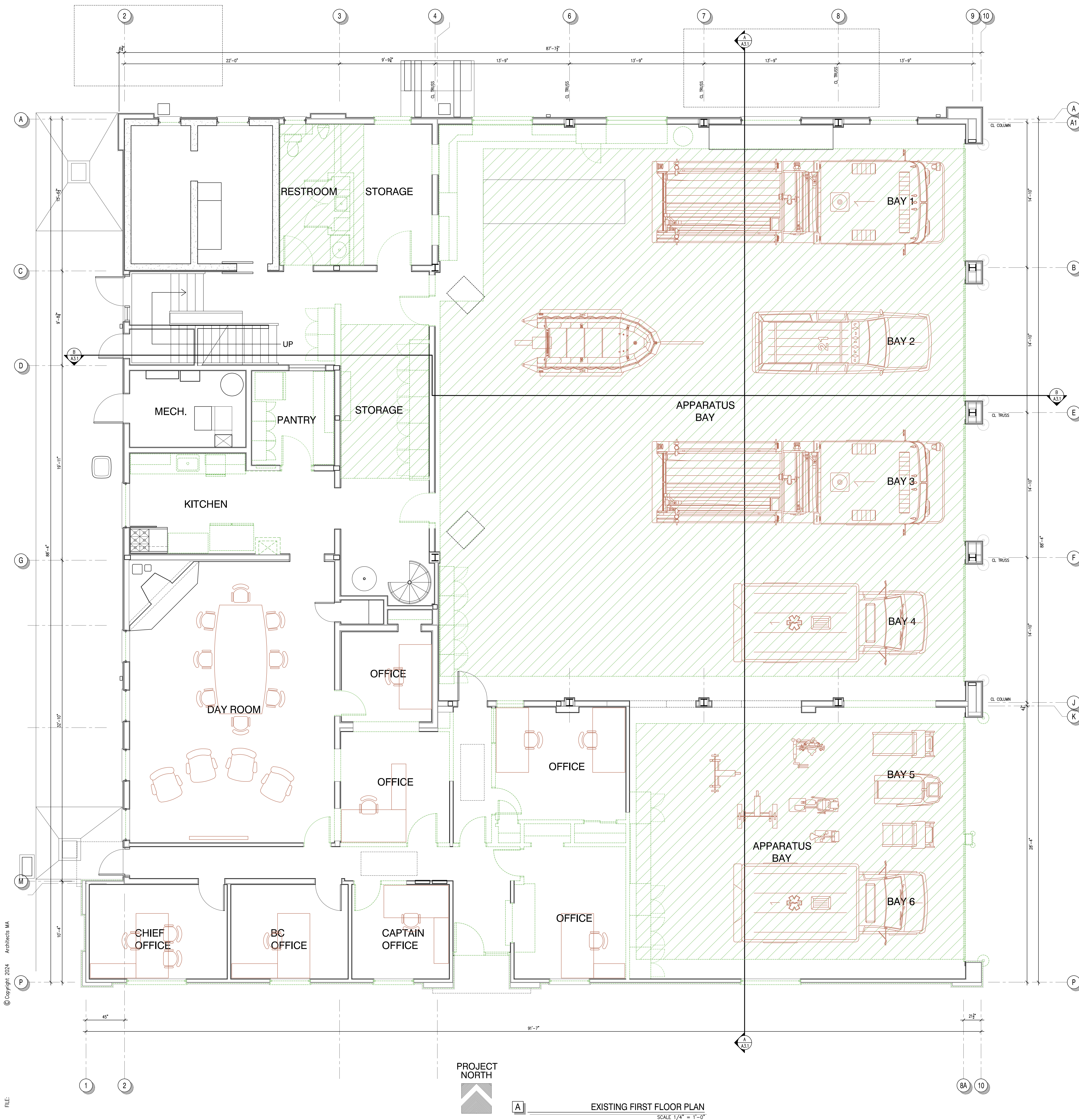
PETALUMA FIRE STATION NO. 1  
 Building Renovation Project  
 198 D Street  
 Petaluma, California 94952  
 NEW CONSTRUCTION SITE PLAN

ARCHITECT'S PROJECT NO:  
 MA24.301

DRAWING STATUS:  
 CHECK SET: JUNE 2024  
 PERMIT SET:  
 BID SET:  
 CONSTRUCTION SET:


REVISIONS:

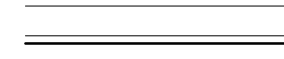





GENERAL NOTES and LEGEND

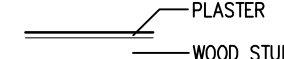
 (E) CONCRETE FLOOR SLAB TO BE REMOVED  
ASSUME A TOTAL SECTION DEPTH OF 24" FROM (E) FINISHED FLOOR ELEVATION INCLUDING CONCRETE SLAB AND UNDERLYING SOILS


 (E) CONSTRUCTION TO BE REMOVED


 (E) CONSTRUCTION TO REMAIN


 (E) CONCRETE WALLS TO REMAIN

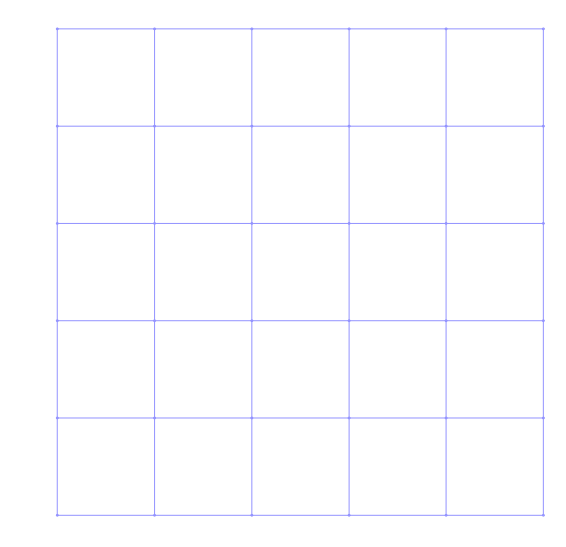
WALL LEGEND:

 PLASTER

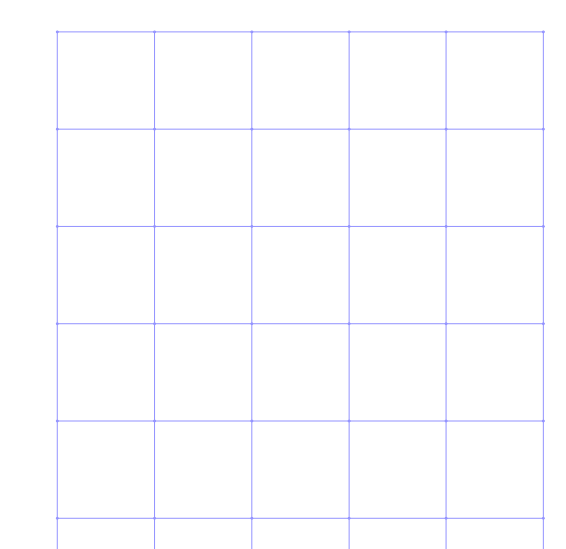
 WOOD STUD

 SHEARWALL SHEATHING (1 OR 2 LAYERS)

 PLASTER



**Architects | MA**  
**MARK ALBERTSON**  
**ARCHITECT**  
 1676 CALLE RANCHERO  
 PETALUMA, CA 94954  
 TELEPHONE (707) 763-1580  
 mark@architects-ma.com



**PETALUMA FIRE STATION NO. 1**  
**Building Renovation Project**  
 198 D Street  
 Petaluma, California 94952

**EXISTING FIRST FLOOR DEMOLITION PLAN**

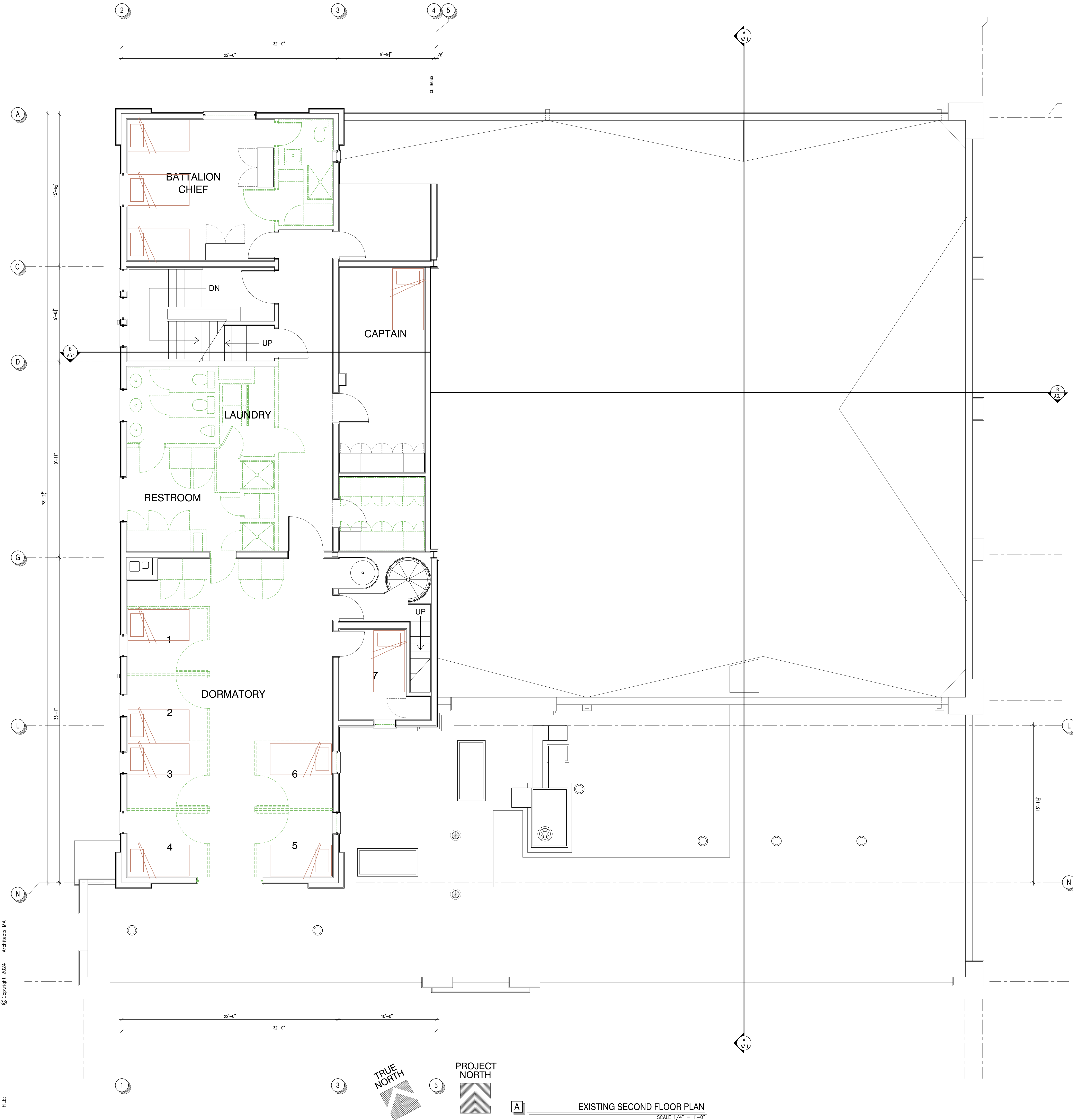
ARCHITECT'S PROJECT NO:  
 MA24.301

DRAWING STATUS:  
 CHECK SET: JUNE 2024  
 PERMIT SET:  
 BID SET:  
 CONSTRUCTION SET:

REVISIONS:



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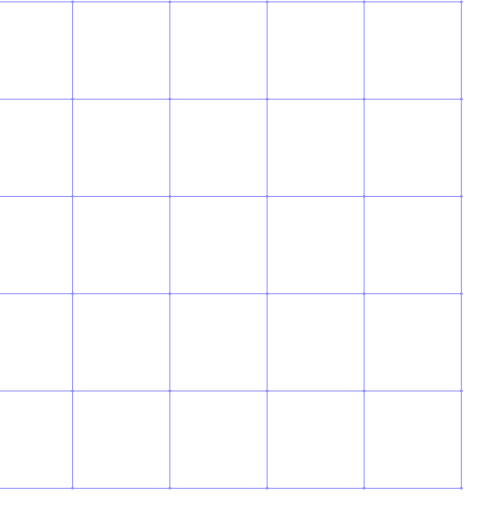


GENERAL NOTES and LEGEND

- (E) CONSTRUCTION TO BE REMOVED
- (E) CONSTRUCTION TO REMAIN

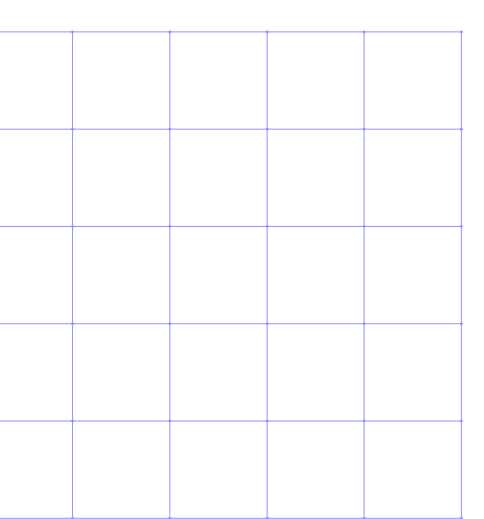
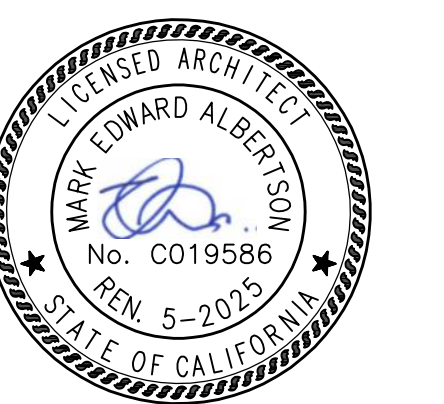
WALL LEGEND:

- PLASTER
- WOOD STUD
- SHEARWALL SHEATHING (1 OR 2 LAYERS)
- PLASTER



Architects | MA

**MARK ALBERTSON**  
ARCHITECT  
1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



**PETALUMA FIRE STATION NO. 1**  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
**EXISTING SECOND FLOOR DEMOLITION PLAN**

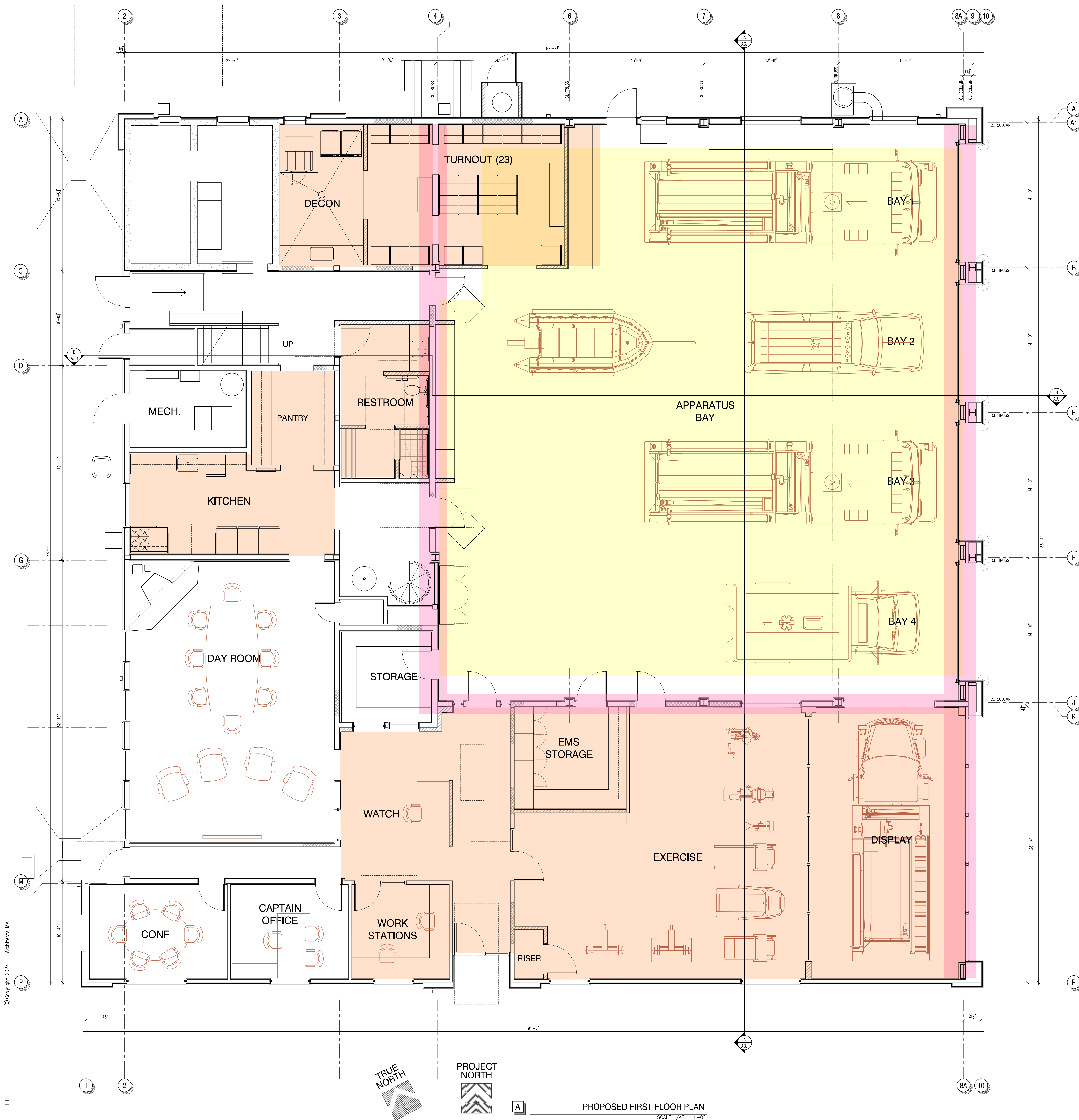
ARCHITECT'S PROJECT NO:  
MA24.301

DRAWING STATUS:  
CHECK SET: JUNE 2024  
PERMIT SET:  
BID SET:  
CONSTRUCTION SET:


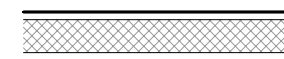
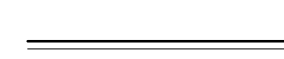
REVISIONS:

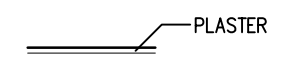
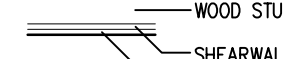
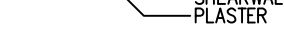



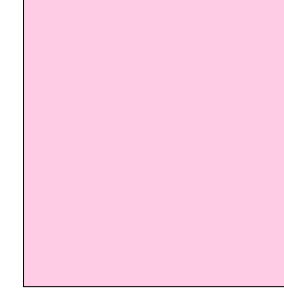
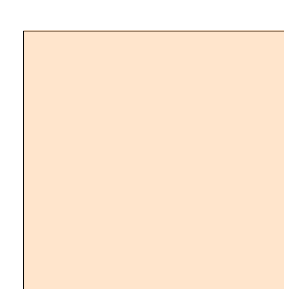
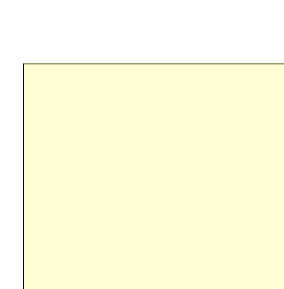
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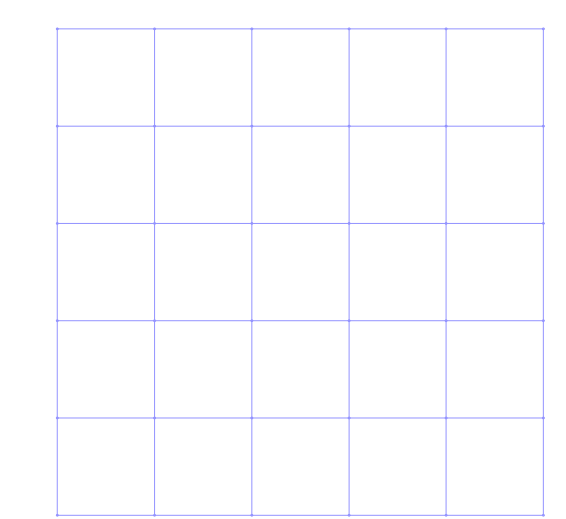


GENERAL NOTES and LEGEND

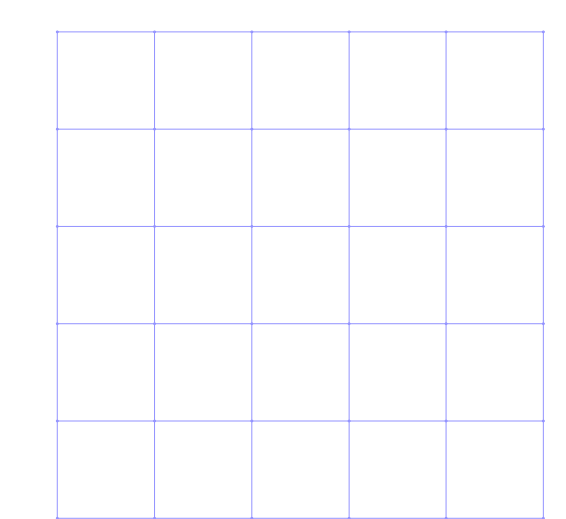
-  (N) WALL CONSTRUCTION
-  (N) DOOR or WINDOW INFILL CONSTRUCTION
-  (E) WALL CONSTRUCTION TO REMAIN

- WALL LEGEND:
-  PLASTER
  -  WOOD STUD
  -  SHEARWALL SHEATHING (1 OR 2 LAYERS)
  -  PLASTER

-  STRUCTURAL FOUNDATION and FRAME UPGRADES  
ASSUME A MAXIMUM FOUNDATION DEPTH EQUALING (E) FOOTING DEPTH OF APPROXIMATELY 48" BELOW FINISHED FLOOR ELEVATION
-  AREAS OF SIGNIFICANT INTERIOR IMPROVEMENTS
-  APPARATUS BAY SLAB REPLACEMENT



**Architects | MA**  
**MARK ALBERTSON**  
 ARCHITECT  
 1676 CALLE RANCHERO  
 PETALUMA, CA 94954  
 TELEPHONE (707) 763-1580  
 mark@architects-ma.com



**PETALUMA FIRE STATION NO. 1**  
 Building Renovation Project  
 198 D Street  
 Petaluma, California 94952  
**PROPOSED FIRST FLOOR PLAN**

ARCHITECT'S PROJECT NO:  
 MA24.301

DRAWING STATUS:  
 CHECK SET: JUNE 2024  
 PERMIT SET:  
 BID SET:  
 CONSTRUCTION SET:

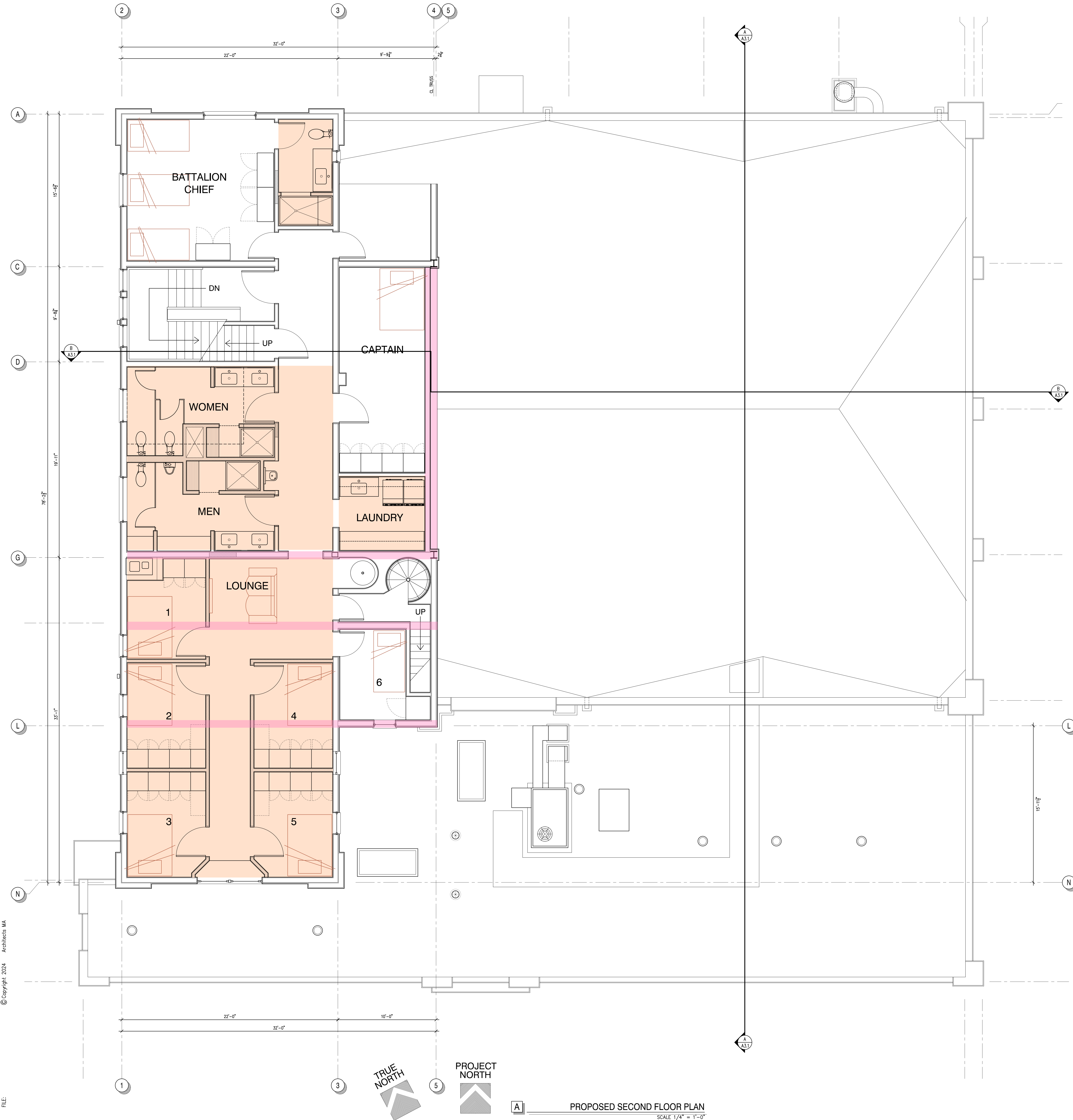
REVISIONS:



FILE: ©Copyright 2024 Architects MA

**PROPOSED FIRST FLOOR PLAN**  
 SCALE 1/4" = 1'-0"



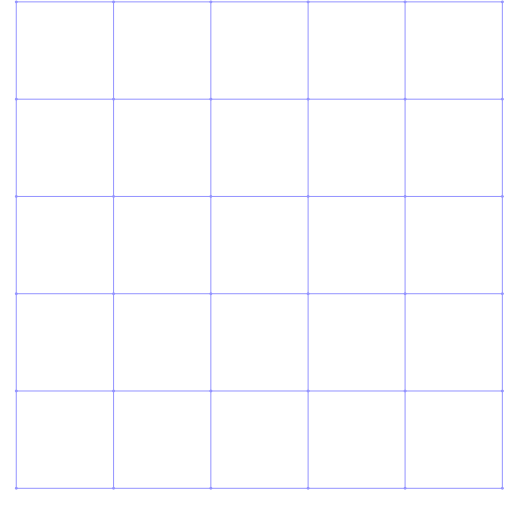


GENERAL NOTES and LEGEND

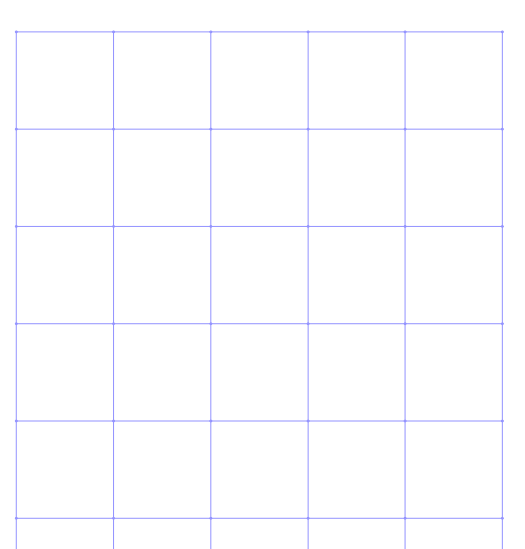
- (N) WALL CONSTRUCTION
- (N) DOOR or WINDOW INFILL CONSTRUCTION
- (E) WALL CONSTRUCTION TO REMAIN

WALL LEGEND:  
 PLASTER  
 WOOD STUD  
 SHEARWALL SHEATHING (1 OR 2 LAYERS)  
 PLASTER

- STRUCTURAL FRAME UPGRADES
- AREAS OF SIGNIFICANT INTERIOR IMPROVEMENTS



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**MARK ALBERTSON**  
 ARCHITECT  
 1676 CALLE RANCHERO  
 PETALUMA, CA 94954  
 TELEPHONE (707) 763-1580  
 mark@architects-ma.com



**PETALUMA FIRE STATION NO. 1**  
 Building Renovation Project  
 198 D Street  
 Petaluma, California 94952  
**PROPOSED SECOND FLOOR PLAN**

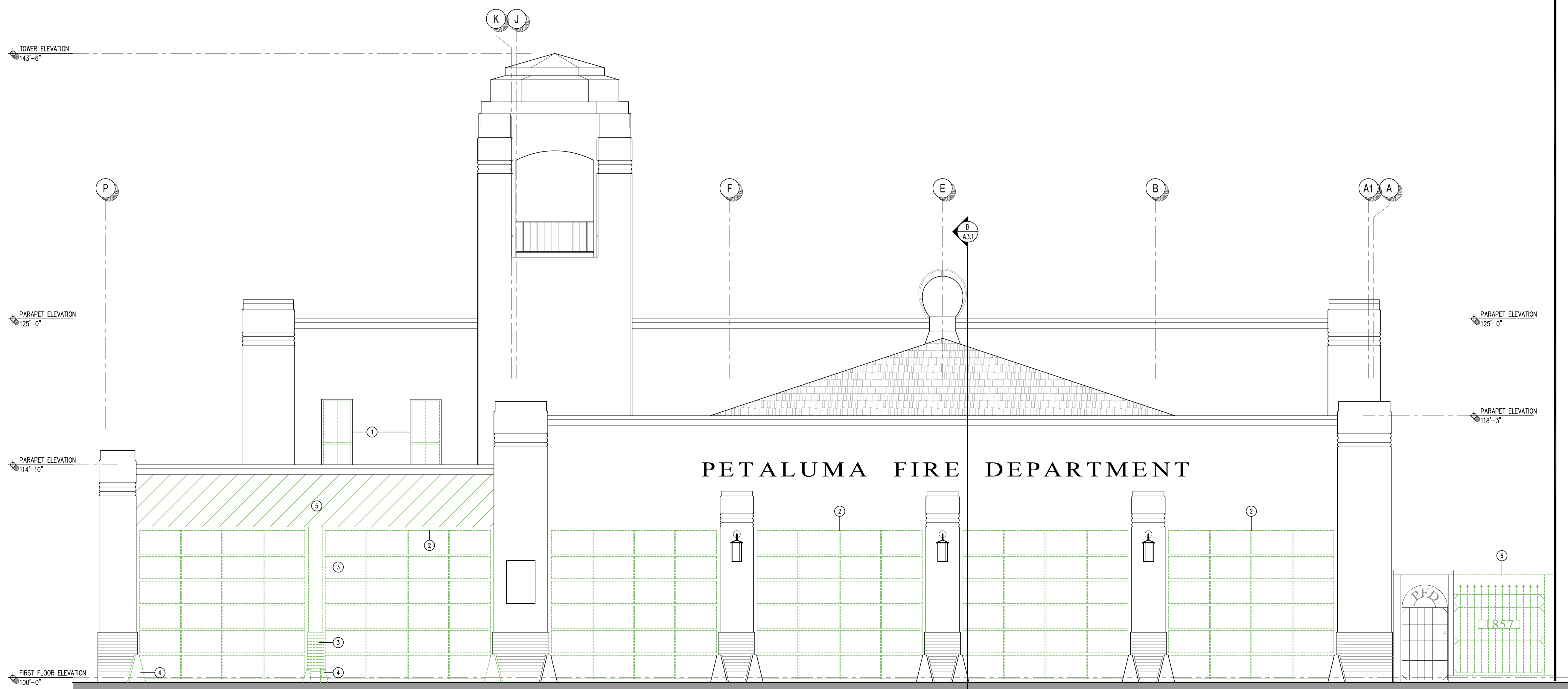
ARCHITECT'S PROJECT NO:  
 MA24.301

DRAWING STATUS:  
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 PERMIT SET:  
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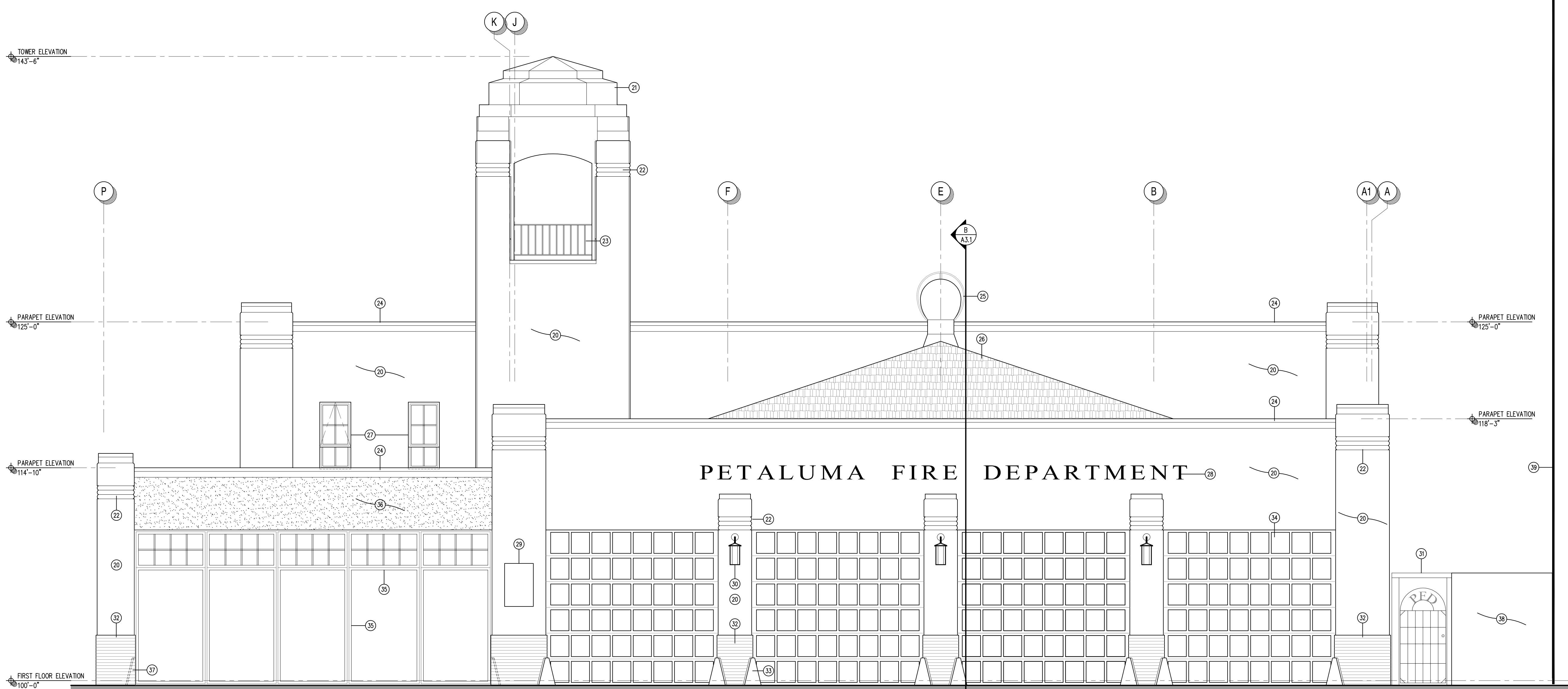
REVISIONS:



FILE: © Copyright 2024 Architects MA



**EXISTING EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**PROPOSED EAST ELEVATION**  
SCALE 1/4" = 1'-0"

**GENERAL NOTES and LEGEND**

1. ALL EXISTING CONSTRUCTION IS TO REMAIN AND PROTECTED IN PLACE UNLESS NOTED OTHERWISE IN DEMOLITION REFERENCE NOTES. SEE NEW CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

**EXISTING PLASTER REMOVAL**

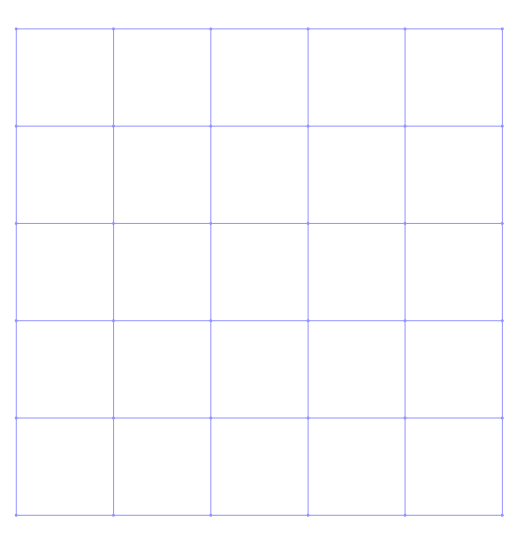
**EXISTING PLASTER REPAIR OR REPLACEMENT**

**DEMOLITION REFERENCE NOTES**

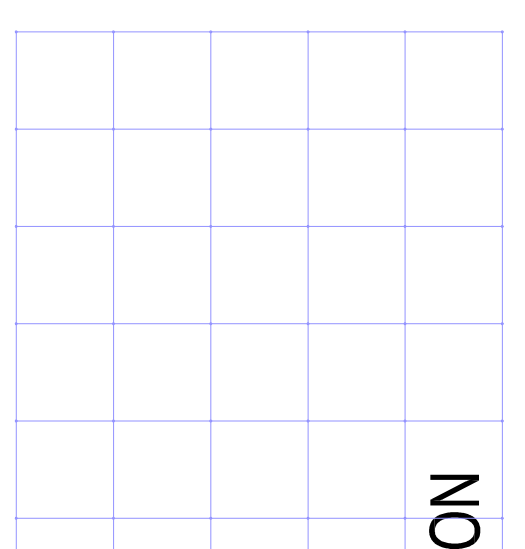
- 1. CUT AND REMOVE (E) STEEL WINDOW FRAME MEMBERS BACK FLUSH WITH PERIMETER STEEL FRAME. (E) STEEL WINDOW FRAME AND PERIMETER PLASTER FINISH TO REMAIN. TYPICAL FOR 2 LOCATIONS THIS ELEVATION. SEE DETAIL.
- 2. REMOVE (E) ALUMINUM APPARATUS BAY DOORS (TYPICAL OF 6) INCLUDING DOOR, TRACK, OPERATOR, AND HARDWARE.
- 3. REMOVE PLASTER JAMB AND PILLAR, INCLUDING BRICK VENEER AT BASE, WALL PLASTER, AND WOOD FRAMING. PREP OPENING TO RECEIVE (N) CONSTRUCTION.
- 4. REMOVE (E) APPARATUS BAY DOOR STEEL BOLLARDS (TYPICAL OF 4).
- 5. REMOVE (E) PLASTER WALL FINISH. PROTECT WOOD FRAMING IN PLACE. PREP WALL TO RECEIVE (N) PLASTER FINISH.
- 6. REMOVE (E) WROUGHT IRON FENCE AND FRAME. STORE ONSITE FOR OWNER USE.

**NEW CONSTRUCTION REFERENCE NOTES**

- 20. (E) EXTERIOR PLASTER WITH DASH FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- 21. (E) SHEET METAL FLASHING AND ROOFING AT TOWER ROOF. PREP AND PROVIDE (N) PAINT FINISH.
- 22. (E) PLASTER RIB DETAILING TO REMAIN. TYPICAL THROUGHOUT. PROVIDE (N) PAINT FINISH.
- 23. (E) STEEL RAILING AT TOWER TO REMAIN. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- 24. (E) STEEL METAL COPING AND FLASHING AT PARAPET WALLS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- 25. (E) TURBINE EXHAUST VENTS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- 26. (E) ASPHALT SHINGLE ROOFING TO REMAIN. PROTECT IN PLACE.
- 27. (N) ALUMINUM FRAME WINDOWS, WITH DIVIDED LITE PROFILE MATCHING ORIGINAL STEEL WINDOWS, SET INTO (E) STEEL WINDOW FRAMES. WINDOW OPERATION AS NOTED. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES AND DIVIDED LITES TO HAVE POWDER-COATED PAINT FINISH.
- 28. (E) FIRE DEPARTMENT LETTERING TO REMAIN. PROTECT IN PLACE. DO NOT PAINT.
- 29. (E) BRONZE DEDICATION PLAQUE TO REMAIN. PROTECT IN PLACE. DO NOT PAINT.
- 30. (E) WALL-MOUNTED WROUGHT IRON DECORATIVE LIGHTS TO REMAIN. REMOVE (E) LIGHTS, PROTECT AND STORE ONSITE DURING COURSE OF CONSTRUCTION. SERVICE AND REINSTALL LIGHTS TO THEIR ORIGINAL LOCATIONS UPON COMPLETION OF ALL OTHER WORK. (TYPICAL OF 4 TO ELEVATION).
- 31. (E) WROUGHT IRON AND STEEL GATE AND FRAME TO REMAIN. PROTECT IN PLACE.
- 32. (E) BRICK VENEER AT BASE OF BUILDING. STRIP AND REMOVE ALL (E) PAINT (MULTIPLE LAYERS). PREP ORIGINAL SURFACE AND PROVIDE (N) PAINT FINISH. TYPICAL ALL BRICK VENEER WALL SURFACES, JAMBS, ETC.
- 33. (E) STEEL BOLLARDS. TYPICAL OF 2 AT EACH APPARATUS BAY DOOR. STRIP AND REMOVE ALL (E) PAINT (MULTIPLE LAYERS). PREP SURFACE AND PROVIDE (N) PAINT FINISH.
- 34. (N) CUSTOM FABRICATED ALUMINUM FRAME APPARATUS BAY DOORS TO REPLICATE ORIGINAL 1936 CONSTRUCTION. DOORS TO HAVE SIX PANELS AND DIVIDED LITES PER PANEL AS SHOWN. DIVIDED LITES TO BE GLAZED WITH SINGLE-PANE LAMINATED GLASS. FRAMES TO HAVE POWDER-COATED PAINT FINISH.
- 35. (N) ALUMINUM FRAME FIXED WINDOWS WITH STEEL REINFORCED MULLIONS AND DIVIDED LITE LAYOUT. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES TO HAVE POWDER-COATED PAINT FINISH.
- 36. (N) LATH AND PLASTER OVER (E) FRAMING AND WALL SHEATHING. (N) PLASTER FINISH TO MATCH (E) SAND TROWEL FINISH OF 1970'S CONSTRUCTION.
- 37. RESTORE OR REPLACE BRICK VENEER TO MATCH (E) BRICK VENEER WHERE STEEL BOLLARDS WERE REMOVED.
- 38. (N) TRASH ENCLOSURE WALL WITH DASH FINISH PLASTER TO MATCH (E) WALL CONSTRUCTION. PROVIDE PAINT FINISH.
- 39. (E) ZERO LOT LINE CONCRETE WALL OF ADJACENT PARKING STRUCTURE ALONG EAST PROPERTY LINE TO REMAIN. PROTECT IN PLACE.



**Architects MA**  
**MARK ALBERTSON ARCHITECT**  
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PETALUMA, CA 94954  
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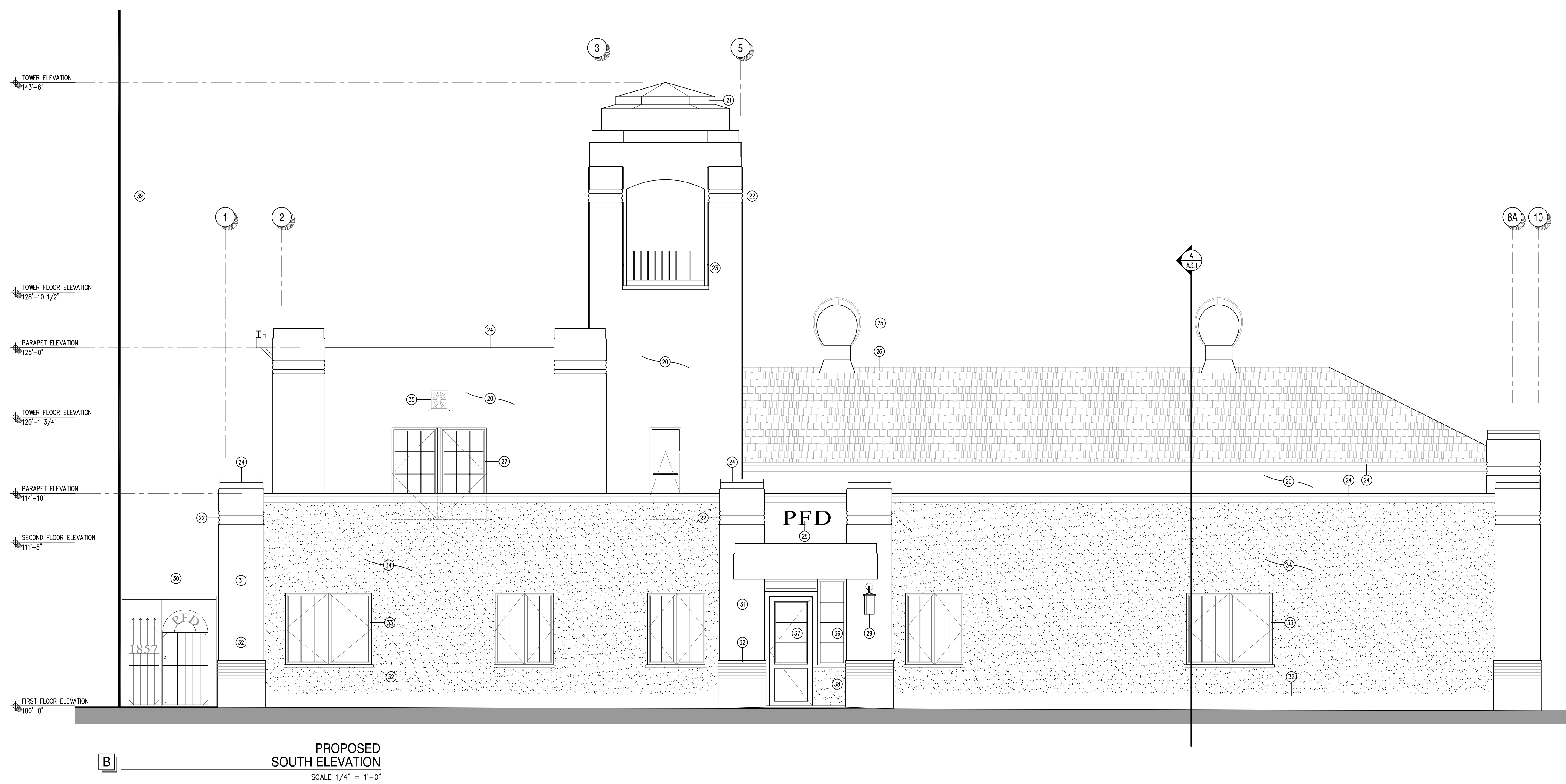
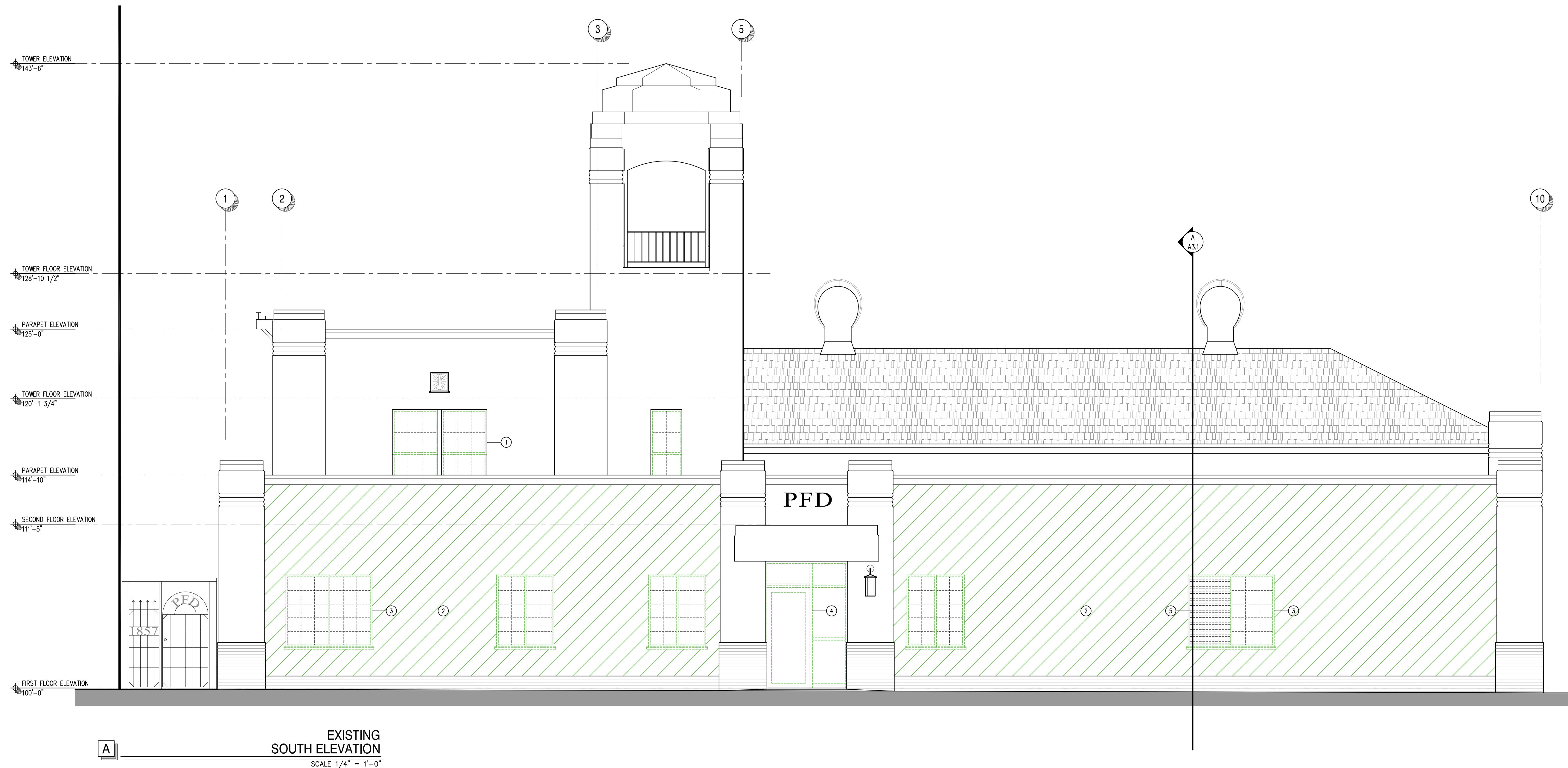
**PETALUMA FIRE STATION NO. 1**  
**Building Renovation Project**  
198 D Street  
Petaluma, California 94952  
**EXISTING and PROPOSED EAST BUILDING ELEVATION**

ARCHITECT'S PROJECT NO:  
MA24.301

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CHECK SET: JUNE 2024  
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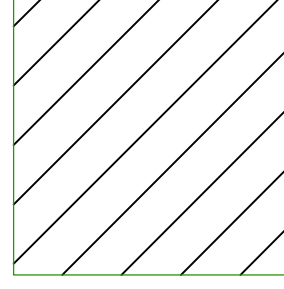
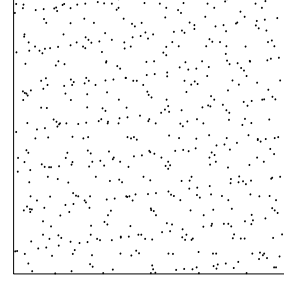
REVISIONS:





GENERAL NOTES and LEGEND

1. ALL EXISTING CONSTRUCTION IS TO REMAIN AND PROTECTED IN PLACE UNLESS NOTED OTHERWISE IN DEMOLITION REFERENCE NOTES. SEE NEW CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

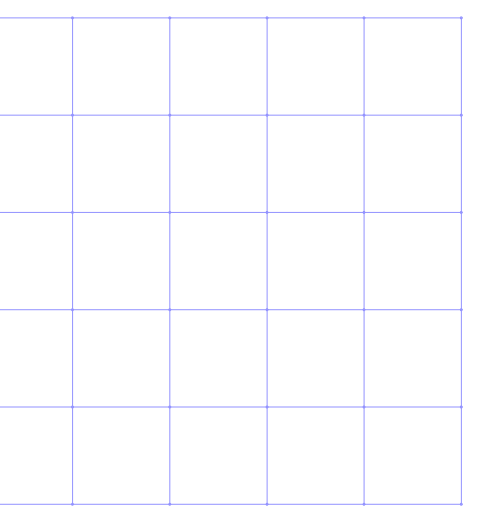
-  EXISTING PLASTER REMOVAL
-  EXISTING PLASTER REPAIR OR REPLACEMENT

DEMOLITION REFERENCE NOTES

- 1. CUT AND REMOVE (E) STEEL WINDOW FRAME MEMBERS BACK FLUSH WITH PERIMETER STEEL FRAME. (E) STEEL WINDOW FRAME AND PERIMETER PLASTER FINISH TO REMAIN. TYPICAL FOR 2 LOCATIONS THIS ELEVATION. SEE DETAIL.
- 2. REMOVE (E) PLASTER WALL FINISH. PROTECT WOOD FRAMING IN PLACE. PREP WALL TO RECEIVE (N) PLASTER FINISH.
- 3. REMOVE (E) ALUMINUM HORIZONTAL SLIDING WINDOWS WITH NAIL FLANGE, COMPLETE WITH WOOD SILL. TYPICAL FOR 5 LOCATIONS THIS ELEVATION.
- 4. REMOVE (E) STOREFRONT WINDOW SYSTEM AND ENTRANCE DOOR.
- 5. REMOVE (E) STEEL GRILL.

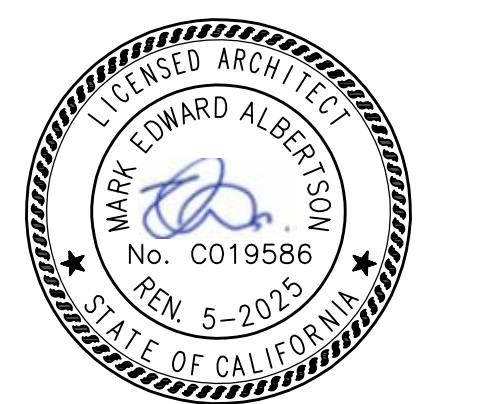
NEW CONSTRUCTION REFERENCE NOTES

- 20. (E) EXTERIOR PLASTER WITH DASH FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- 21. (E) SHEET METAL FLASHING AND ROOFING AT TOWER ROOF. PREP AND PROVIDE (N) PAINT FINISH.
- 22. (E) PLASTER RB DETAILING TO REMAIN. TYPICAL THROUGHOUT. PROVIDE (N) PAINT FINISH.
- 23. (E) STEEL RAILING AT TOWER TO REMAIN. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- 24. (E) SHEET METAL COPING AND FLASHING AT PARAPET WALLS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- 25. (E) TURBINE EXHAUST VENTS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- 26. (E) ASPHALT SHINGLE ROOFING TO REMAIN. PROTECT IN PLACE.
- 27. (N) ALUMINUM FRAME WINDOWS, WITH DIVIDED LITE PROFILE MATCHING ORIGINAL STEEL WINDOWS, SET INTO (E) STEEL WINDOW FRAMES. WINDOW OPERATION AS NOTED. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES AND DIVIDED LITES TO HAVE POWDER-COATED PAINT FINISH.
- 28. (E) FIRE DEPARTMENT LETTERING TO REMAIN. PROTECT IN PLACE. DO NOT PAINT.
- 29. (E) WALL-MOUNTED WROUGHT IRON DECORATIVE LIGHT TO REMAIN. REMOVE (E) LIGHT. PROTECT AND STORE ON-SITE DURING COURSE OF CONSTRUCTION. SERVICE AND REINSTALL LIGHTS TO ITS ORIGINAL LOCATIONS UPON COMPLETION OF ALL OTHER WORK.
- 30. (E) WROUGHT IRON AND STEEL FENCE ENCLOSURE TO REMAIN. PROTECT IN PLACE.
- 31. (E) EXTERIOR PLASTER WITH SAND TROWEL FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- 32. (E) BRICK VENER AT BASE OF BUILDING. STRIP AND REMOVE ALL (E) PAINT (MULTIPLE LAYERS). PREP ORIGINAL SURFACE AND PROVIDE (N) PAINT FINISH. TYPICAL ALL BRICK VENER WALL SURFACES, JAMBS, ETC.
- 33. (N) ALUMINUM FRAME CASERMENT WINDOWS WITH DIVIDED LITE LAYOUT. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES TO HAVE POWDER-COATED PAINT FINISH.
- 34. (N) LATH AND PLASTER OVER (E) FRAMING AD WALL SHEATHING. (N) PLASTER FINISH TO MATCH (E) SAND TROWEL FINISH OF 1970'S CONSTRUCTION.
- 35. DECORATIVE WROUGHT IRON ATTIC VENT TO REMAIN. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- 36. (N) ALUMINUM FRAME FIXED WINDOWS WITH DIVIDED LITE LAYOUT.
- 37. (N) CUSTOM FABRICATED ALUMINUM ENTRANCE DOOR WITH ELEVATION DETAILS AS SHOWN.
- 38. (N) LATH AND PLASTER WITH FINISH TO MATCH (E) SAND TROWEL FINISH OF 1970'S CONSTRUCTION.
- 39. (E) ZERO LOT LINE CONCRETE WALL OF ADJACENT PARKING STRUCTURE ALONG EAST PROPERTY LINE TO REMAIN. PROTECT IN PLACE.



Architects | MA

MARK ALBERTSON  
ARCHITECT  
1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



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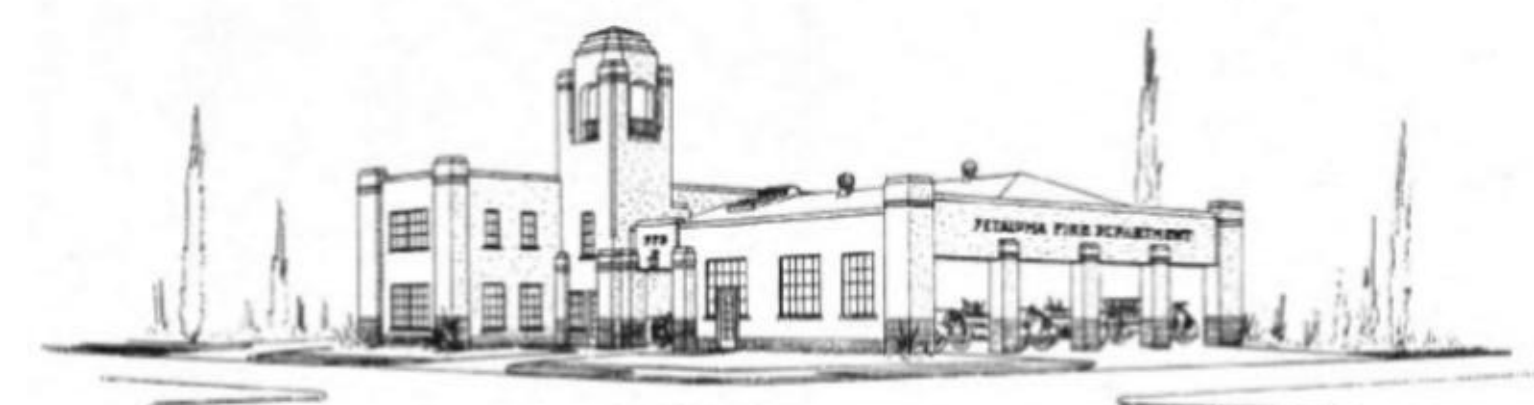
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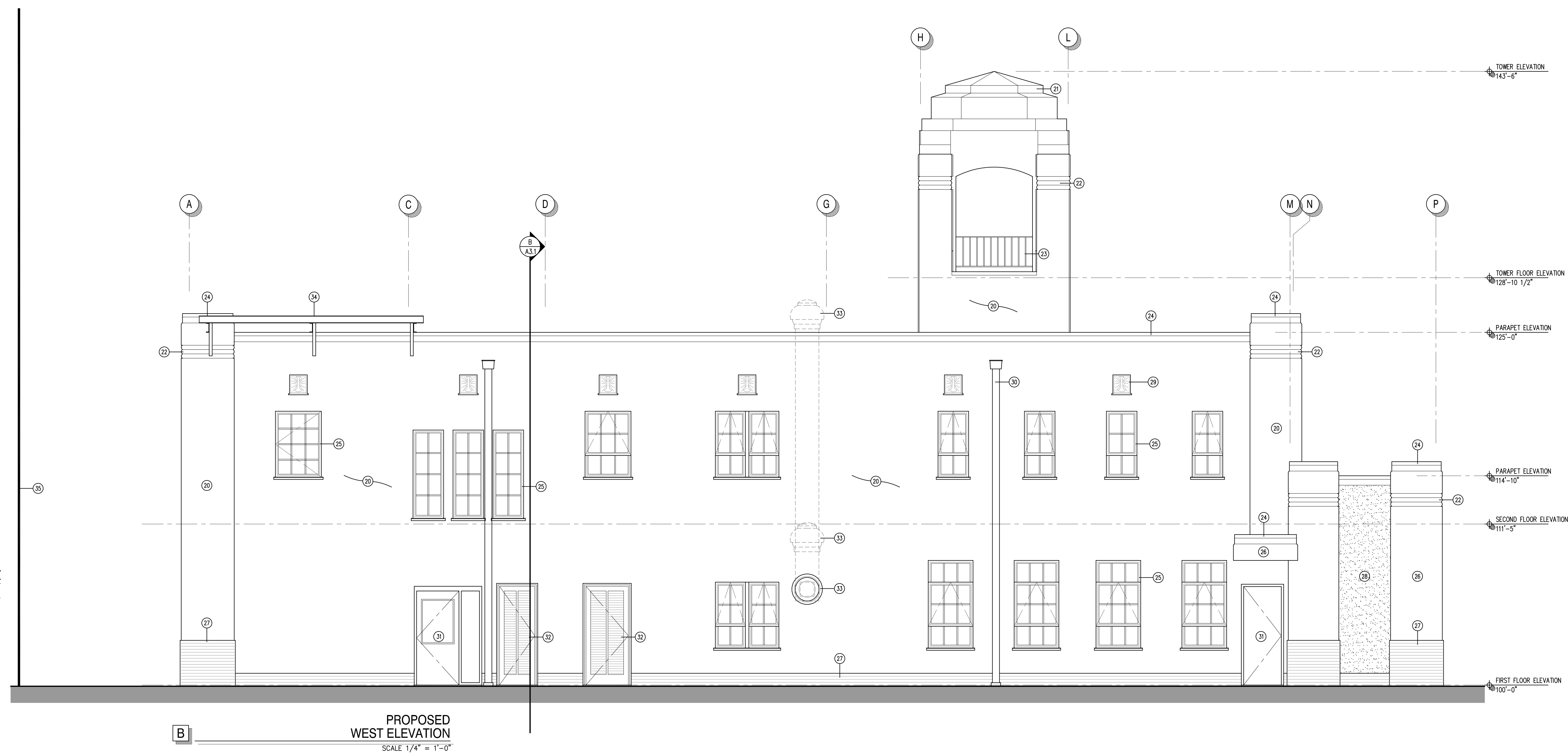
PETALUMA FIRE STATION NO. 1  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
EXISTING and PROPOSED SOUTH BUILDING ELEVATIONS

ARCHITECT'S PROJECT NO:  
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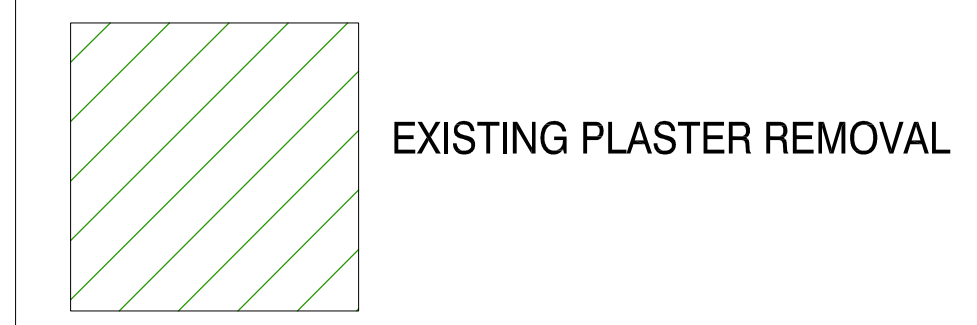
REVISIONS:





**GENERAL NOTES and LEGEND**

1. ALL EXISTING CONSTRUCTION IS TO REMAIN AND PROTECTED IN PLACE UNLESS NOTED OTHERWISE IN DEMOLITION REFERENCE NOTES. SEE NEW CONSTRUCTION NOTES FOR ADDITIONAL INFORMATION.

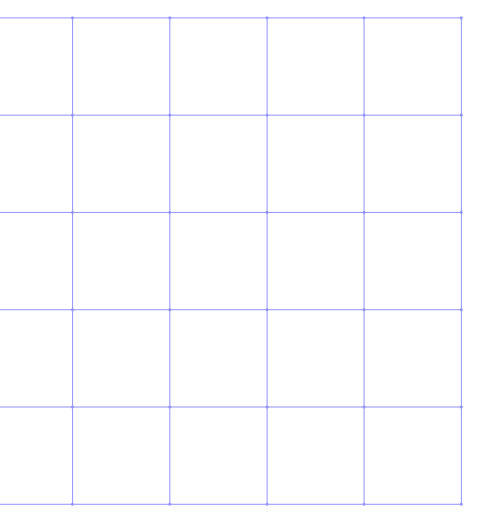


**DEMOLITION REFERENCE NOTES**

- ① CUT AND REMOVE (E) STEEL WINDOW FRAME MEMBERS BACK FLUSH WITH PERIMETER STEEL FRAME. (E) STEEL WINDOW FRAME AND PERIMETER PLASTER FINISH TO REMAIN. TYPICAL FOR ALL 15 LOCATIONS THIS ELEVATION. SEE DETAIL.
- ② REMOVE (E) PLASTER WALL FINISH. PROTECT WOOD FRAMING IN PLACE. PREP WALL TO RECEIVE (N) PLASTER FINISH.
- ③ REMOVE (E) WALL-MOUNTED EXHAUST FAN AND SHEET METAL. PREP TO RECEIVE (N) CONSTRUCTION.
- ④ REMOVE (E) LOUVERED DOOR AND FRAME. PREP OPENING TO RECEIVE (N) CONSTRUCTION.

**NEW CONSTRUCTION REFERENCE NOTES**

- ②⑥ (E) EXTERIOR PLASTER WITH DASH FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- ②⑦ (E) SHEET METAL FLASHING AND ROOFING AT TOWER ROOF. PREP AND PROVIDE (N) PAINT FINISH.
- ②⑧ (E) PLASTER RIB DETAILING TO REMAIN. TYPICAL THROUGHOUT. PROVIDE (N) PAINT FINISH.
- ②⑨ (E) STEEL RAILING AT TOWER TO REMAIN. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- ②⑩ (E) STEEL METAL COPING AND FLASHING AT PARAPET WALLS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- ②⑪ (N) ALUMINUM FRAME WINDOWS WITH DIVIDED LITE PROFILE MATCHING ORIGINAL STEEL WINDOWS. SET INTO (E) STEEL WINDOW FRAMES. WINDOW OPERATION AS NOTED. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES AND DIVIDED LITES TO HAVE POWDER-COATED PAINT FINISH.
- ②⑫ (E) EXTERIOR PLASTER WITH SAND TROWEL FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- ②⑬ (E) BRICK VENEER AT BASE OF BUILDING. STRIP AND REMOVE ALL (E) PAINT (MULTIPLE LAYERS). PREP ORIGINAL SURFACE AND PROVIDE (N) PAINT FINISH. TYPICAL ALL BRICK VENEER WALL SURFACES, ANGLES, ETC.
- ②⑭ (N) LATH AND PLASTER OVER (E) FRAMING AD WALL SHEATHING. (N) PLASTER FINISH TO MATCH (E) SAND TROWEL FINISH OF 1970'S CONSTRUCTION.
- ②⑮ DECORATIVE WROUGHT IRON ATIC VENT TO REMAIN. TYPICAL OF 6 THIS ELEVATION. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- ③① (E) SHEET METAL DOWNSPOUT TO REMAIN. TYPICAL OF 2 THIS ELEVATION. PROVIDE (N) PAINT FINISH.
- ③② (E) HOLLOW METAL DOOR, SIDE LITE, AND FRAME TO REMAIN. PROVIDE (N) PAINT FINISH.
- ③③ (E) HOLLOW METAL LOUVERED DOOR AND WOOD FRAME TO BE REPLACED WITH (N) DOOR AND FRAME TO MATCH. PROVIDE (N) PAINT FINISH.
- ③④ (N) WALL-MOUNTED KITCHEN HOOD EXHAUST FAN AND DUCTS. EXACT CONFIGURATION TO BE DETERMINED AS SHOWN.
- ③⑤ (E) PARAPET-MOUNTED HOSE DRYING RACK TO REMAIN. PROTECT IN PLACE. PROVIDE (N) PAINT FINISH.
- ③⑥ (E) ZERO LOT LINE CONCRETE WALL OF ADJACENT PARKING STRUCTURE ALONG EAST PROPERTY LINE TO REMAIN. PROTECT IN PLACE.



**Architects MA**  
**MARK ALBERTSON**  
**ARCHITECT**

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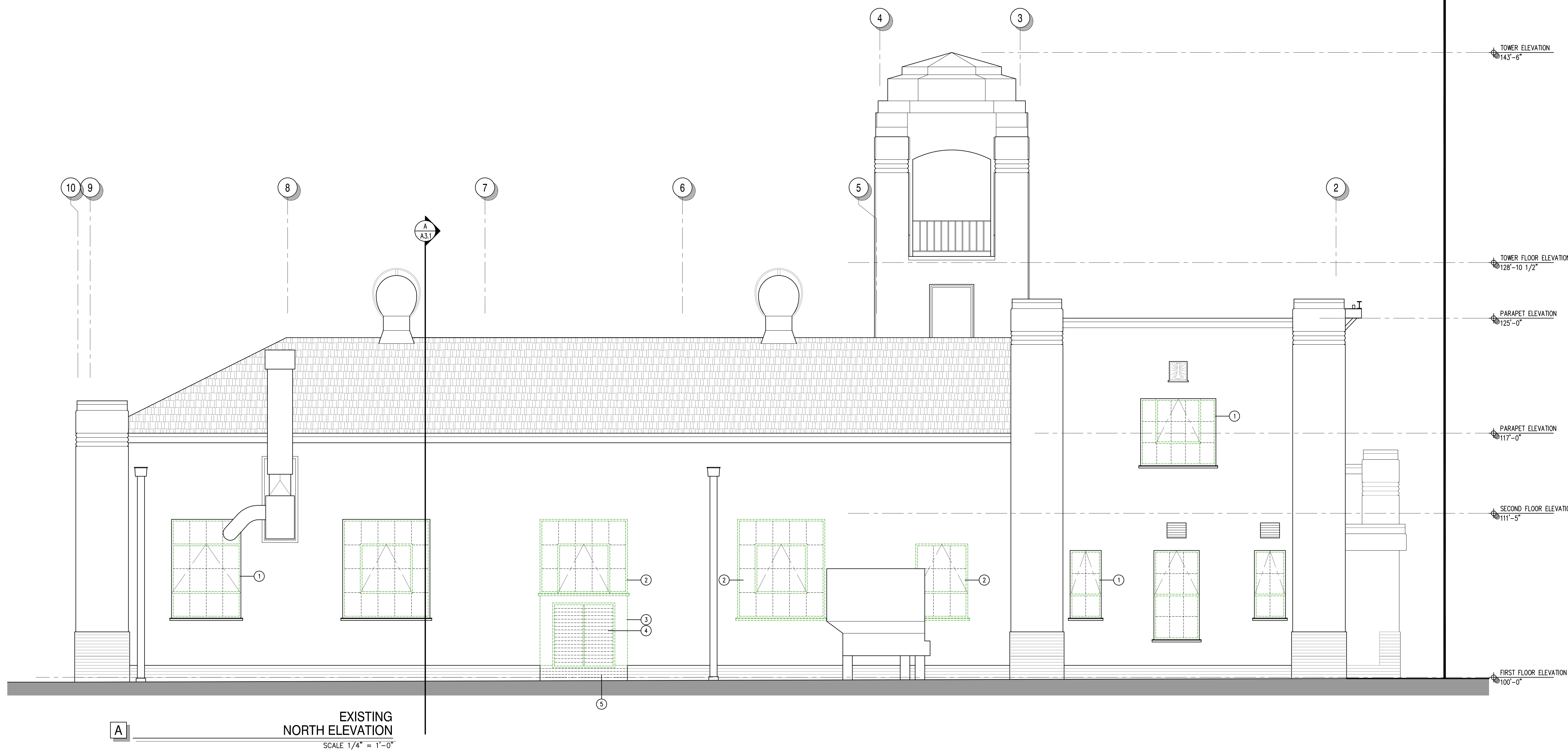
**PETALUMA FIRE STATION NO. 1**  
**Building Renovation Project**  
198 D Street  
Petaluma, California 94952  
**EXISTING and PROPOSED WEST BUILDING ELEVATIONS**

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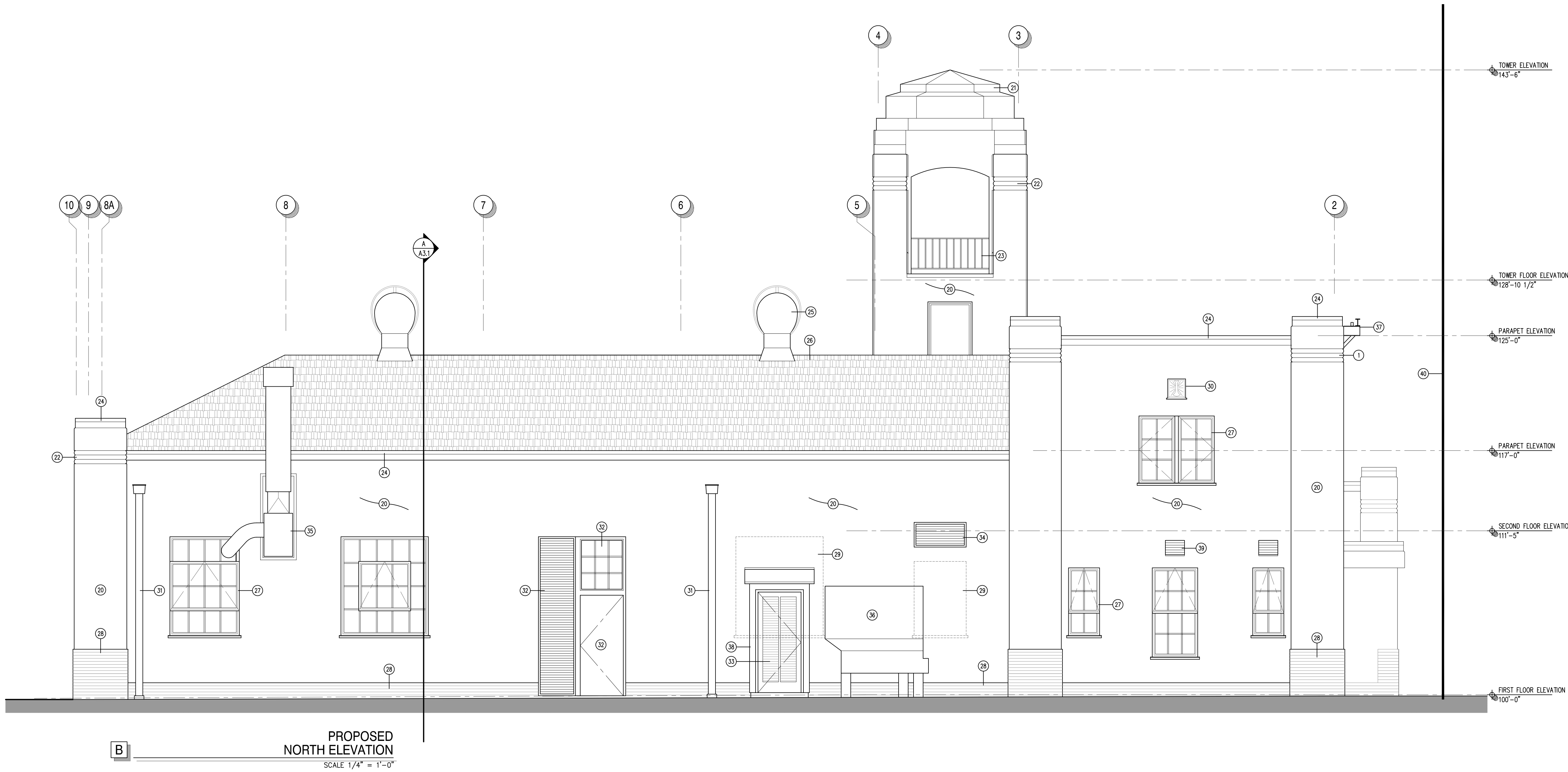
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CHECK SET: JUNE 2024  
BID SET:  
CONSTRUCTION SET:

REVISIONS:





EXISTING  
NORTH ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED  
NORTH ELEVATION  
SCALE 1/4" = 1'-0"

GENERAL NOTES and LEGEND

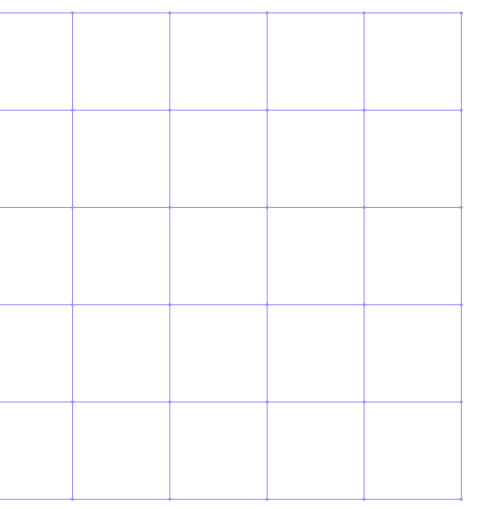
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DEMOLITION REFERENCE NOTES

- ① CUT AND REMOVE (E) STEEL WINDOW FRAME MEMBERS BACK FLUSH WITH PERIMETER STEEL FRAME. (E) STEEL WINDOW FRAME AND PERIMETER PLASTER FINISH TO REMAIN. TYPICAL FOR 4 LOCATIONS THIS ELEVATION. SEE DETAIL.
- ② REMOVE ENTIRE (E) STEEL WINDOW INCLUDING FRAME AND SILL. TYPICAL FOR 3 LOCATIONS THIS ELEVATION.
- ③ REMOVE (E) PLASTER WALL FINISH AND WOOD FRAMING TO ACCOMMODATE (N) DOOR FRAME AND OPENING.
- ④ REMOVE (E) THRU-WALL EXHAUST FAN LOUVER. PREP TO RECEIVE (N) CONSTRUCTION.
- ⑤ REMOVE (E) BRICK VENEER.

NEW CONSTRUCTION REFERENCE NOTES

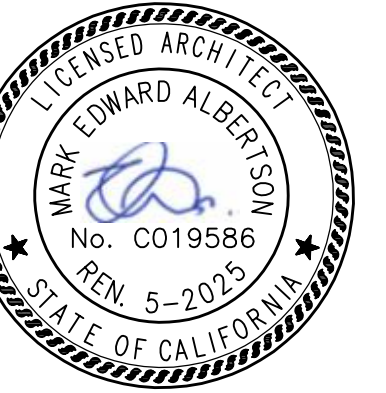
- ⑩ (E) EXTERIOR PLASTER WITH DASH FINISH TO REMAIN. PROVIDE (N) PAINT FINISH.
- ⑪ (E) SHEET METAL FLASHING AND ROOFING AT TOWER ROOF. PREP AND PROVIDE (N) PAINT FINISH.
- ⑫ (E) PLASTER RIB DETAILING TO REMAIN. TYPICAL THROUGHOUT. PROVIDE (N) PAINT FINISH.
- ⑬ (E) STEEL RAILING AT TOWER TO REMAIN. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- ⑭ (E) SHEET METAL COPING AND FLASHING AT PARAPET WALLS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- ⑮ (E) TURBINE EXHAUST VENTS TO REMAIN. PREP AND PROVIDE (N) PAINT FINISH.
- ⑯ (E) ASPHALT SHINGLE ROOFING TO REMAIN. PROTECT IN PLACE.
- ⑰ (N) ALUMINUM FRAME WINDOWS, WITH DIVIDED LITE PROFILE MATCHING ORIGINAL STEEL WINDOWS, SET INTO (E) STEEL WINDOW FRAMES. WINDOW OPERATOR AS NOTED. GLAZE ALL OPENINGS WITH LOW-E INSULATED GLASS. WINDOW FRAMES AND DIVIDED LITES TO HAVE POWER-COATED PAINT FINISH.
- ⑱ (E) BRICK VENEER AT BASE OF BUILDING. STRIP AND REMOVE ALL (E) PAINT (MULTIPLE LAYERS). PREP ORIGINAL SURFACE AND PROVIDE (N) PAINT FINISH. TYPICAL ALL BRICK VENEER WALL SURFACES, JAMBS, ETC.
- ⑲ (N) LATH AND PLASTER INFILL AT REMOVED WINDOW WITH DASH PLASTER FINISH TO MATCH (E). PROVIDE PAINT FINISH.
- ⑳ DECORATIVE WROUGHT IRON ATTIC VENT TO REMAIN. TYPICAL OF 6 THIS ELEVATION. STRIP AND REMOVE ALL (E) PAINT FINISH. PREP AND PROVIDE (N) PAINT FINISH.
- ㉑ (E) SHEET METAL DOWNSPOUT TO REMAIN. TYPICAL OF 2 THIS ELEVATION. PROVIDE (N) PAINT FINISH.
- ㉒ (N) HOLLOW METAL DOOR, FRAME, LOUVER, AND DIVIDED-LITE WINDOW. PROVIDE PAINT FINISH.
- ㉓ (N) HOLLOW METAL LOUVERED DOOR AND FRAME. PROVIDE PAINT FINISH.
- ㉔ (N) THRU-WALL EXHAUST FAN LOUVER. PROVIDE PAINT FINISH.
- ㉕ (E) WALL-MOUNTED EXHAUST FAN AND SHEET METAL DUCT TO REMAIN. COORDINATE WITH (N) WINDOW INSTALLATION.
- ㉖ (E) GROUND-MOUNTED EMERGENCY GENERATOR TO REMAIN. PROTECT IN PLACE.
- ㉗ (E) PARAPET-MOUNTED HOSE DRYING RACK TO REMAIN. PROTECT IN PLACE. PROVIDE (N) PAINT FINISH.
- ㉘ (N) WOOD FRAMED AIR COMPRESSOR ENCLOSURE WITH (N) DASH PLASTER FINISH TO MATCH (E). ROOF WITH ASPHALT SHINGLES TO MATCH (E) ROOF.
- ㉙ (E) SHEET METAL LOUVER TO REMAIN. TYPICAL OF 2 THIS ELEVATION. PROVIDE (N) PAINT FINISH.
- ㉚ (E) ZERO LOT LINE CONCRETE WALL OF ADJACENT PARKING STRUCTURE ALONG EAST PROPERTY LINE TO REMAIN. PROTECT IN PLACE.



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PETALUMA FIRE STATION NO. 1  
Building Renovation Project

198 D Street  
Petaluma, California 94952

EXISTING and PROPOSED NORTH BUILDING ELEVATIONS

ARCHITECT'S PROJECT NO:  
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DRAWING STATUS:

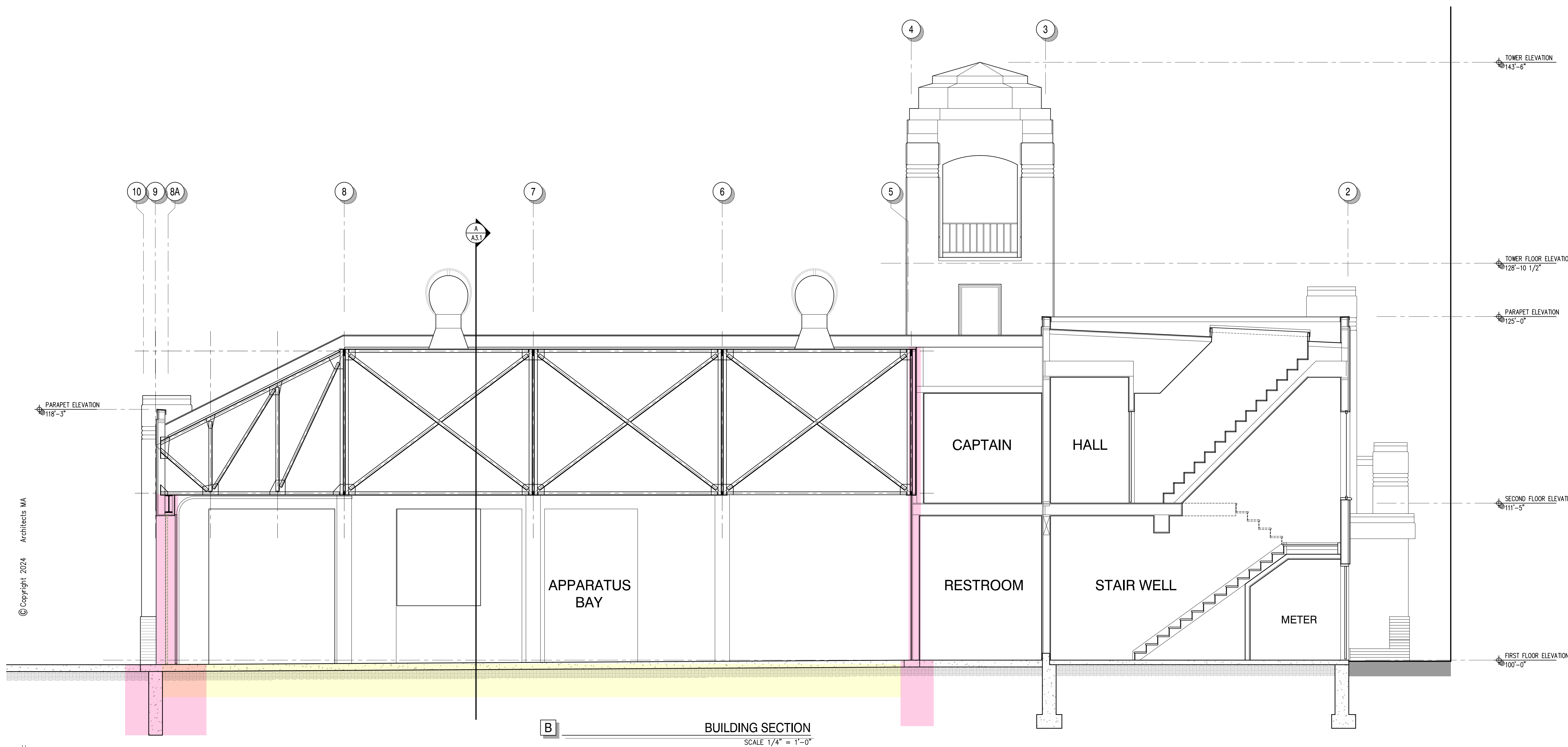
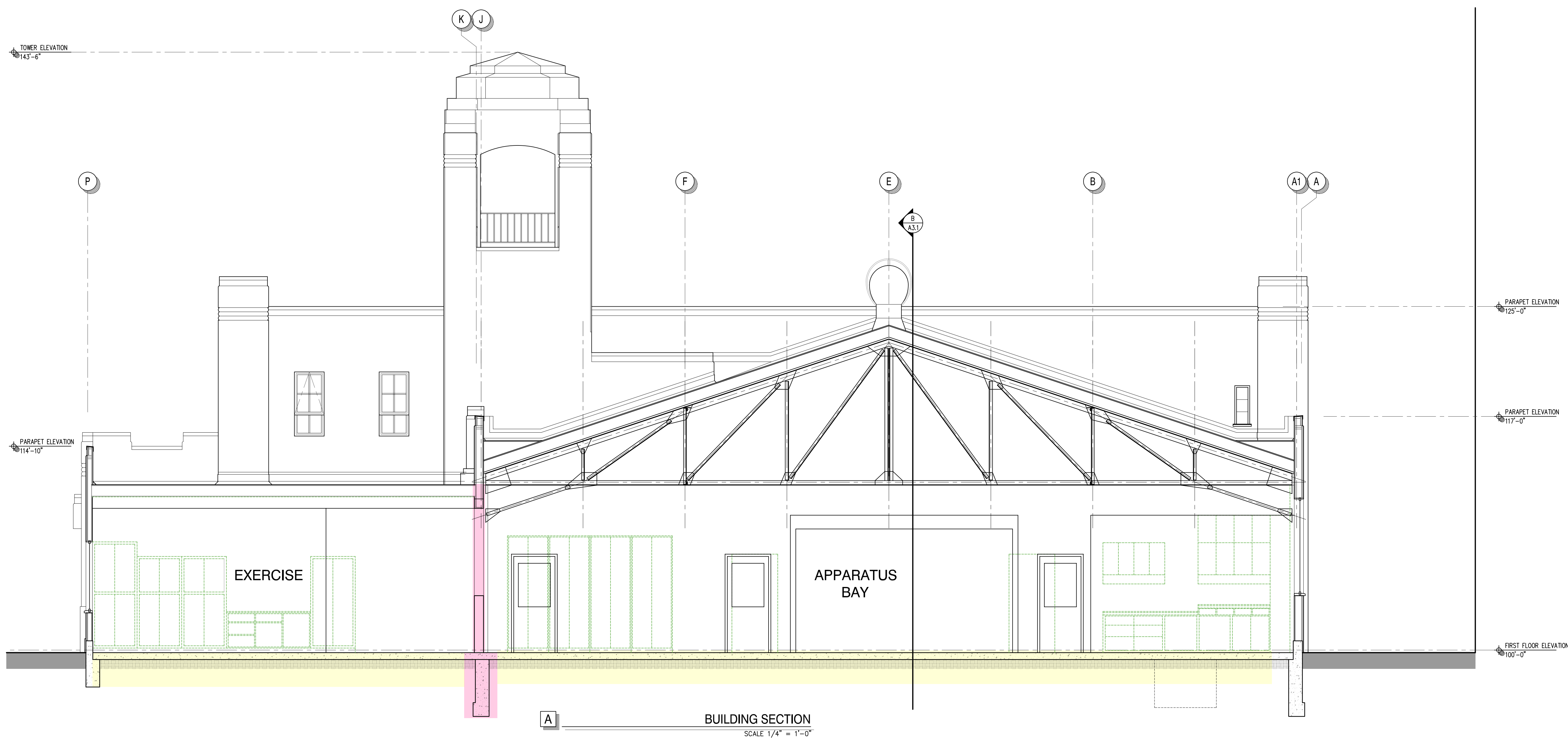
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CONSTRUCTION SET:

REVISIONS:



SHEET NO.

A2.4



GENERAL NOTES and LEGEND

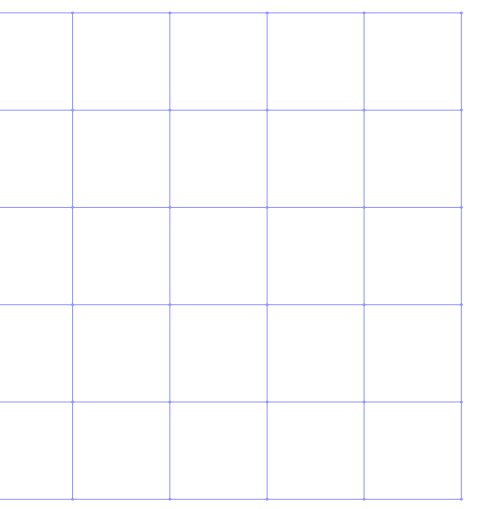
- (E) CONSTRUCTION TO BE REMOVED
- (E) WALL CONSTRUCTION TO REMAIN

WALL LEGEND:

- PLASTER
- WOOD STUD
- SHEARWALL SHEATHING (1 OR 2 LAYERS)
- PLASTER

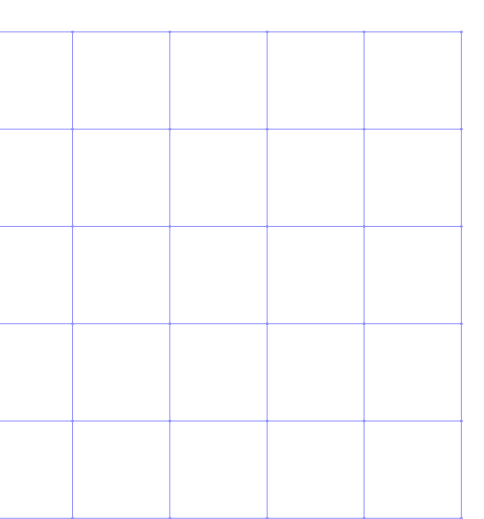
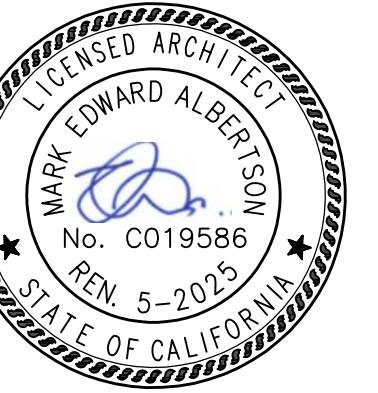
STRUCTURAL FOUNDATION and FRAME UPGRADES  
ASSUME A MAXIMUM FOUNDATION DEPTH EQUALING (E) FOOTING DEPTH OF APPROXIMATELY 48" BELOW FINISHED FLOOR ELEVATION

APPARATUS BAY SLAB REPLACEMENT



Architects | MA

MARK ALBERTSON  
ARCHITECT  
1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



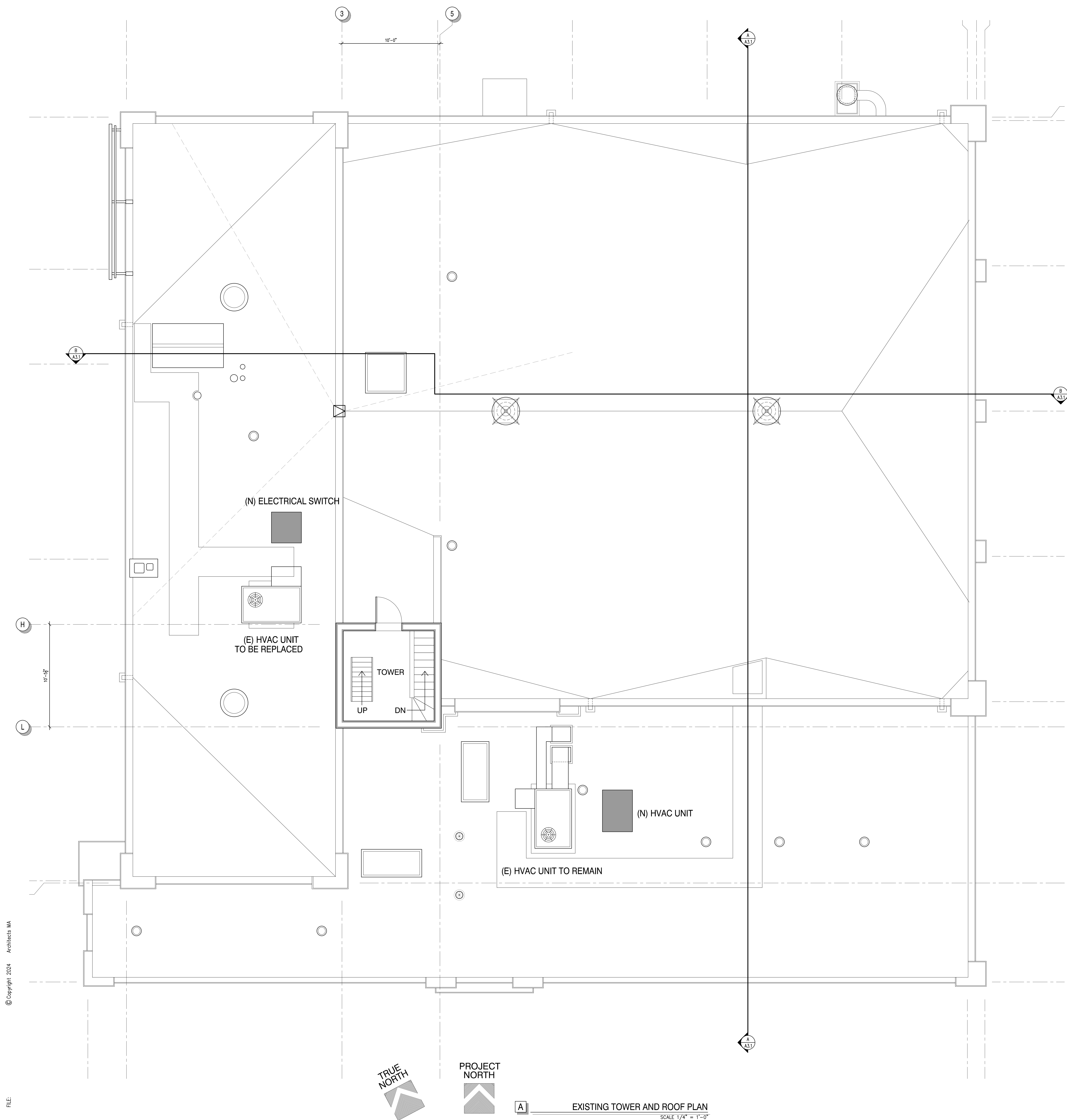
PETALUMA FIRE STATION NO. 1  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
BUILDING SECTIONS

ARCHITECT'S PROJECT NO:  
MA24.301

DRAWING STATUS:  
CHECK SET: JUNE 2024  
PERMIT SET:  
BID SET:  
CONSTRUCTION SET:

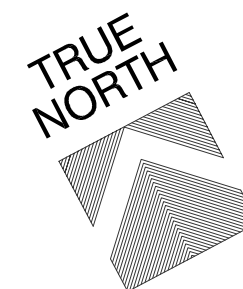
REVISIONS:





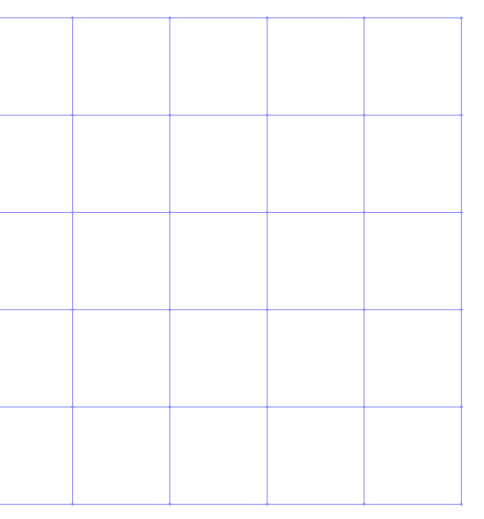
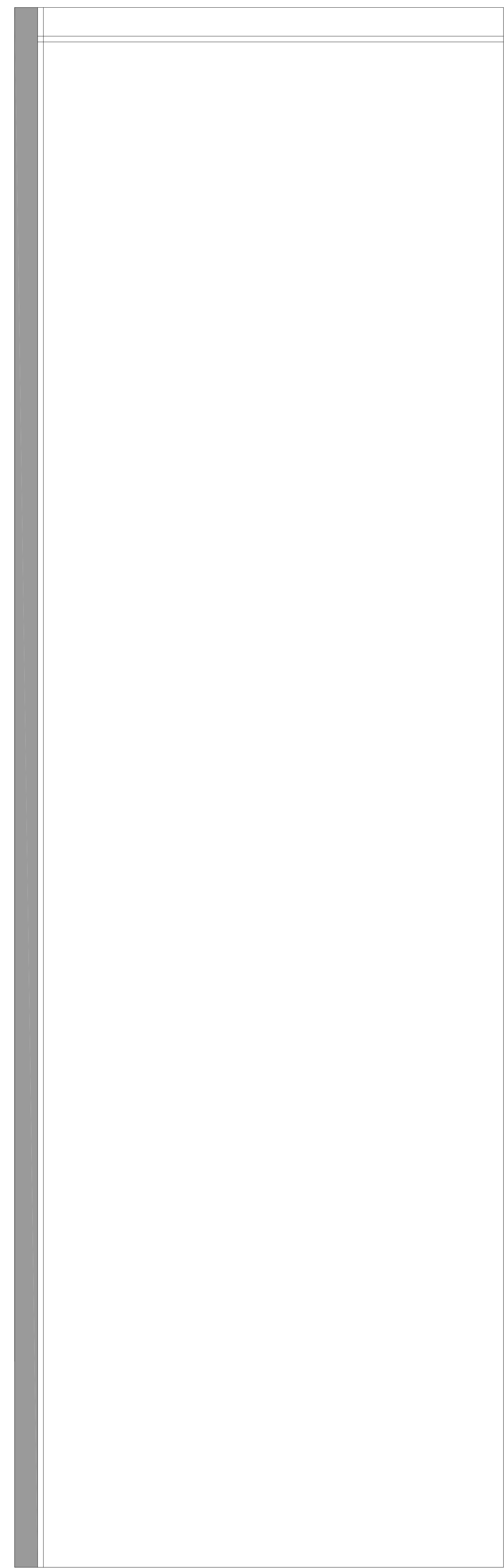
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FILE:



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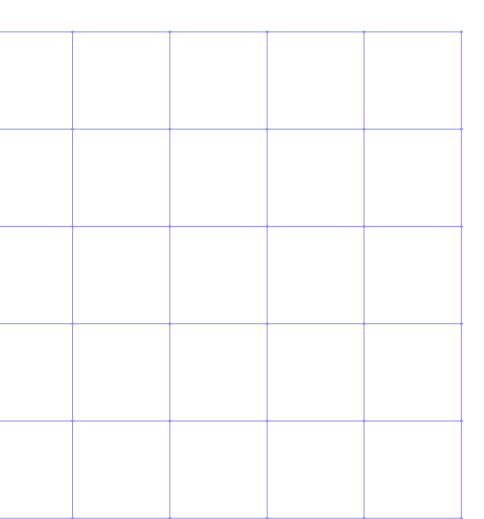
EXISTING TOWER AND ROOF PLAN  
SCALE 1/4" = 1'-0"



Architects | MA

MARK ALBERTSON  
ARCHITECT

1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



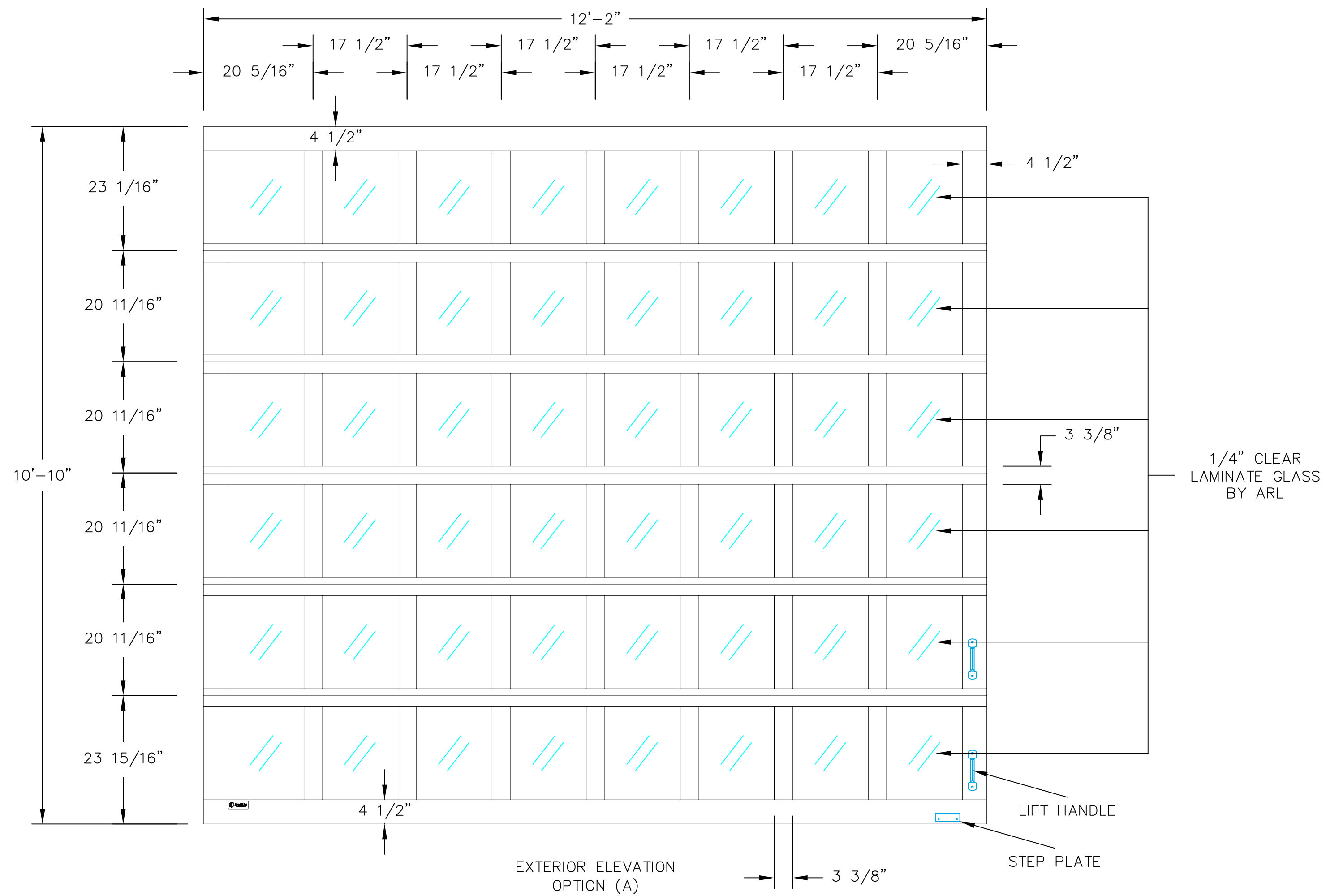
**PETALUMA FIRE STATION NO. 1**  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
EXISTING TOWER AND ROOF PLAN

ARCHITECT'S PROJECT NO:  
MA24.301

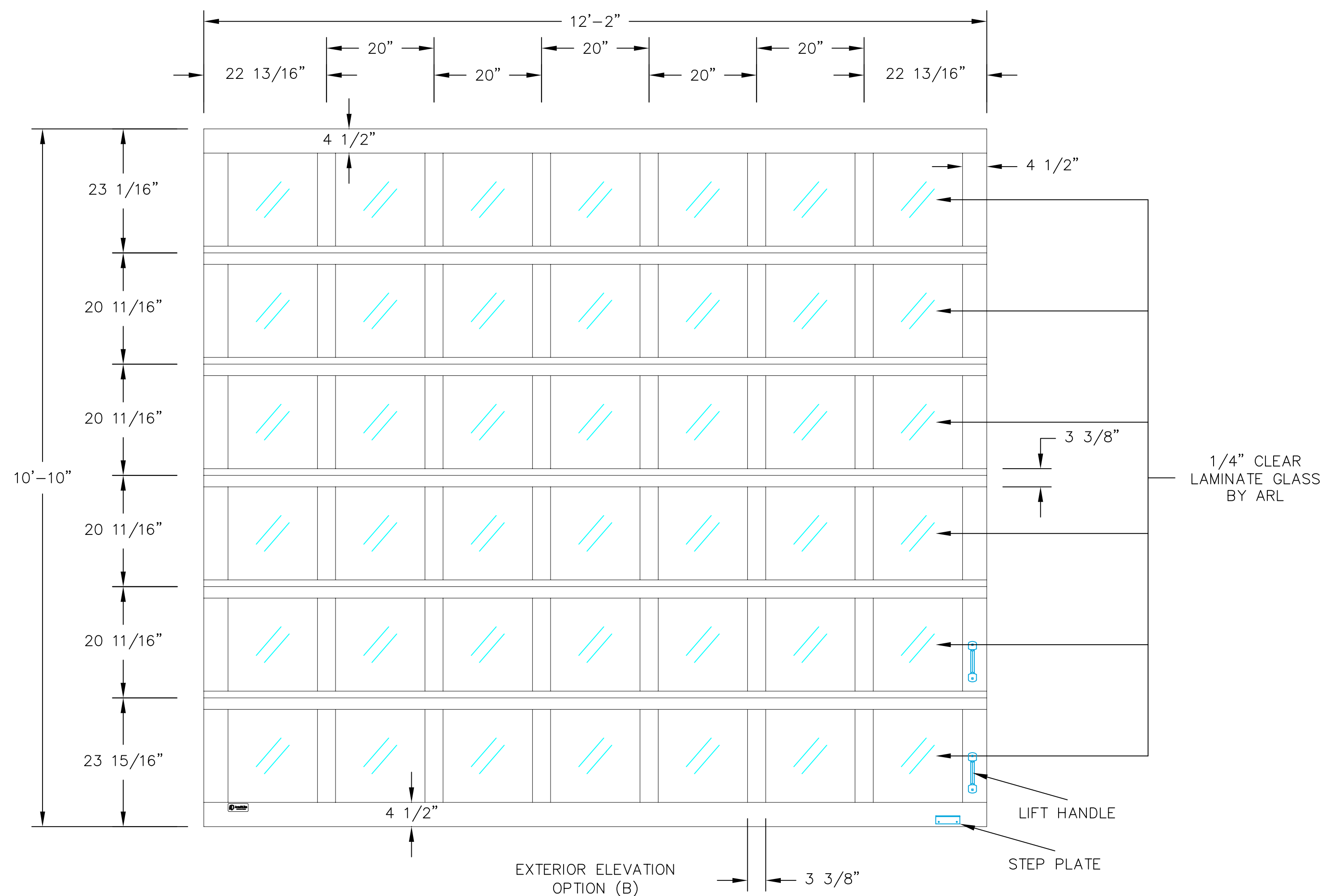
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CONSTRUCTION SET:

REVISIONS:

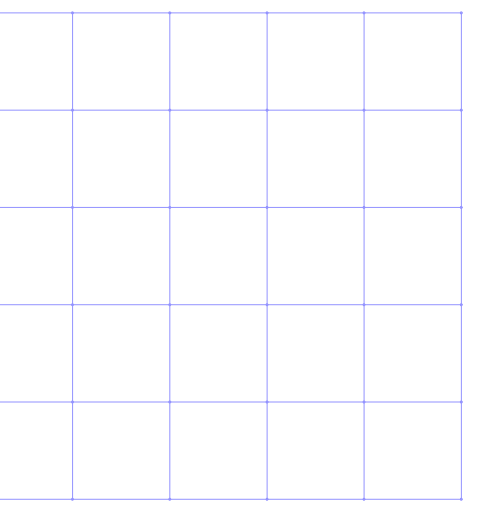
SHEET NO.  
**A6.1**



**1** PROPOSED OPTION A  
8 GLASS OPENINGS PER PANEL  
APPARATUS BAY DOOR ELEVATION  
SCALE 3/4" = 1'-0"



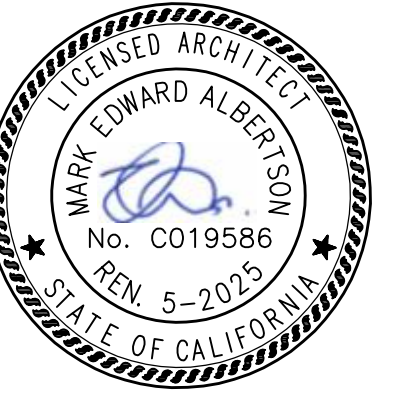
**2** PROPOSED OPTION B  
7 GLASS OPENINGS PER PANEL  
APPARATUS BAY DOOR ELEVATION  
SCALE 3/4" = 1'-0"



Architects | MA

MARK ALBERTSON  
ARCHITECT

1676 CALLE RANCHERO  
PETALUMA, CA 94954  
TELEPHONE (707) 763-1580  
mark@architects-ma.com



**PETALUMA FIRE STATION NO. 1**  
Building Renovation Project  
198 D Street  
Petaluma, California 94952  
DOOR and WINDOW ELEVATIONS and DETAILS

ARCHITECT'S PROJECT NO:  
MA24.301

DRAWING STATUS:  
CHECK SET: JUNE 2024  
PERMIT SET:  
BID SET:  
CONSTRUCTION SET:

REVISIONS:

SHEET NO.  
**A7.1**