

**GENERAL NOTES:**

- ALL CONSTRUCTION TO CONFORM TO THESE PLANS, AND THE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE LATEST EDITION AS ADOPTED BY THE CONTROLLING JURISDICTION AND ALL OTHER APPLICABLE CODES AND REGULATIONS AND OTHER PPLICABLE SECTIONS OF THE LOCAL MUNICIPAL CODE.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.
- CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE SITE BEFORE COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN PLANS AND SPECIFICATIONS BEFORE PROCEEDING.
- THE DOCUMENTS DESCRIBE DESIGN INTENT. CONTRACTOR IS RESPONSIBLE TO PROVIDE COMPLETE, OPERATIONAL SYSTEMS AND INSTALLATIONS. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK WHICH IS DESCRIBED IN THESE DOCUMENTS OR WHICH IS REASONABLY INFERABLE FROM THEM.
- ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON A PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HAND AND/OR SIMILAR CONDITIONS, U.O.N.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES AS WELL AS THE GENERAL PUBLIC ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- PROVIDE FREQUENT AND THOROUGH DUST CONTROL AND CLEAN UP. DIMENSIONS ARE TO CENTER LINE OF STEEL, FACE OF CONCRETE, CENTER LINE OF WOOD POST, OR FACE OF WOOD FRAMING, U.O.N.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE THOROUGH COORDINATION OF ALL TRADES. NO CLAIMS FOR ADDITIONAL WORK WILL BE AWARDED FOR WORK RELATED TO SUCH COORDINATION.
- THE CONTRACTOR SHALL EXAMINE THE CONTRACT DOCUMENTS AND SHALL INFORM HIMSELF AS TO THE ENTIRE CONTENTS THEREOF BEFORE SUBMITTING HIS PROPOSAL. ANY ERRORS OR AMBIGUITIES NOTED BY HIM DURING SAID EXAMINATION SHOULD IMMEDIATELY BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE SUBMITTING A BID THERETO. THE ARCHITECT WILL ISSUE AN ADDENDUM OR INTERPRETATION OF THE CITED ERROR OR AMBIGUITY. NO SUBSEQUENT CLAIM FOR EXTRA WORK WILL BE ALLOWED ON ACCOUNT OF CLAIMED MISUNDERSTANDING OF THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS OR ANY PORTION THEREOF IF THE ITEM OCCASIONING THE CLAIM APPEARED IN, OR WAS INFERABLE FROM, SAID DOCUMENTS AS FURNISHED FOR BIDDING PURPOSES.
- THE CONTRACTOR SHOULD VISIT THE WORK SITE TO ASCERTAIN BY INSPECTION PERTINENT LOCAL CONDITIONS SUCH AS LOCATION, CHARACTER AND ACCESSIBILITY OF THE SITE, AVAILABILITY OF FACILITIES, CHARACTER OF EXISTING BUILDING, ETC.
- ELECTRICAL, MECHANICAL, AND PLUMBING AND FIRE SPRINKLER DESIGN/BUILD SUBCONTRACTORS WILL BE RESPONSIBLE FOR OBTAINING PERMITS FOR THEIR SCOPE OF WORK FROM THE AGENCIES HAVING JURISDICTION. COORDINATE AND VERIFY THE ELECTRICAL AND MECHANICAL SYSTEMS AND EQUIPMENT WITH THE ARCHITECT PRIOR TO START OF WORK.
- ALL SURFACES TO REMAIN SHALL BE PROTECTED TO ASSURE THAT CONSTRUCTION PROCESSES DO NOT DAMAGE THEM. THE GENERAL SCOPE OF DEMOLITION WORK IS INDICATED ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR ALL ITEMS IN ORDER TO PROPERLY INSTALL NEW WORK AND TO MEET THE INTENT OF THE DOCUMENTS.

**ABBREVIATIONS:**

@	AT	(N)	NEW
A.F.F.	ABOVE FINISH FLOOR	NO.	NUMBER
APPROX.	APPROXIMATELY	N.T.S.	NOT TO SCALE
ATR	ALL THREADED ROD	O/	OVER
BM.	BEAM	O.A.	OVERALL
BLKG.	BLOCKING	O.C.	ON CENTER
BOT.	BOTTOM	PLWD.	PLYWOOD
BTWN.	BETWEEN	P.T.	PRESSURE TREATED
CLO.	CLOSET	QTY	QUANTITY
CLG.	CEILING	REF.	REFRIGERATOR
CLR.	CLEAR	R	RISER
CONC.	CONCRETE	RM.	ROOM
CONT.	CONTINUOUS	R.W.L.	RAIN WATER LEADER
DBL.	DOUBLE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DED.	DEDICATED	SHT.	SHEET
DIA.	DIAMETER	SIM.	SIMILAR
DN	DOWN	S.S.	STAINLESS STEEL
DS	DOWNSPOUT	S.S.D.	SEE STRUCTURAL DRAWINGS
(E)	EXISTING	STD.	STANDARD
EA.	EACH	SQ.	SQUARE
EN.	EDGE NAIL	STL	STEEL
EXT.	EXTERIOR	STOR.	STORAGE
F.F.	FINISH FLOOR	SYM.	SYMMETRICAL
FL.	FLOOR	T	TREAD
FTG.	FOOTING	T&B	TOP AND BOTTOM
GA.	GAUGE	T.B.D.	TO BE DETERMINED
GALV.	GALVANIZED	TEL.	TELEPHONE
GYP. BD.	GYP SUM BOARD	TYP.	TYPICAL
H.D.G.	HOT DIPPED GALVANIZED	U.O.N	UNLESS OTHERWISE NOTED
HGR.	HANGER	V.I.F.	VERIFY IN FIELD
HOR.	HORIZONTAL	W/	WITH
INT.	INTERIOR	WD.	WOOD
JST.	JOIST	WD	WASHER DRYER
MAX.	MAXIMUM	W.H.	WATER HEATER
MECH.	MECHANICAL	W/O	WITHOUT
MIN.	MINIMUM		



**PROJECT TEAM:**

**OWNER/BUILDER:**

Soheil Mostaghali  
8870 Village Ct  
Cotati, CA 94931

**STRUCTURAL ENGINEER:**

David Yadegar, PE  
simplengiengineering.com  
2341 Carleton St, Berkeley, CA  
94704  
415.754.3644 x1

**TITLE 24:**

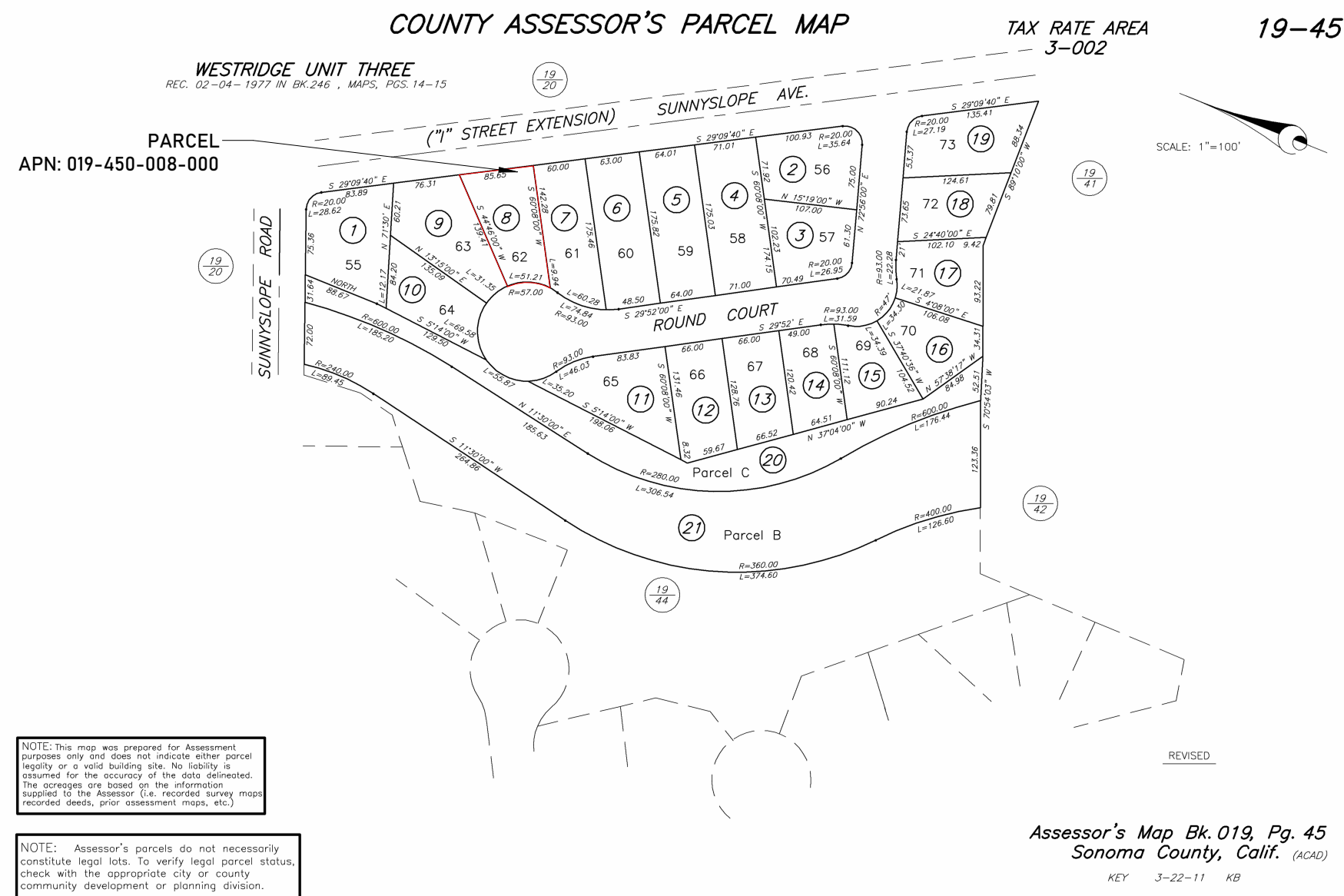
Energy Calc Co | Title 24 Energy Consulting  
45 Mitchell Blvd Ste 16 - San Rafael, CA 94903 · (415) 457-0990

**ARCHITECT:**

Adam Franch Architecture  
1401 Acton Crescent  
Berkeley CA

720-219-2117  
adam@dev-arc.com

**VICINITY MAP:**



**PROJECT DESCRIPTION:**

The proposed remodel of the existing single-family residence includes a range of exterior and interior enhancements. Exterior improvements consist of new energy efficient metal windows, an addition at the front entry door within the current covered patio, additional storage space in the garage, and the construction of a new backyard deck. The exterior finishes include white stucco plaster, tongue and groove cedar siding, and custom painted metal windows. Internally, the main floor will be reconfigured to accommodate a kitchen, dining room, living room, powder room, coat closet, mudroom, garage, and a relocated stairway. The water heater and furnace will be relocated. On the upper floor, there will be a new layout for 3 bedrooms, a family room, laundry room, and three bathrooms.

APN:	019-450-008-000
(WUI) WILDLAND INTERFACE:	YES
ZONING:	PUD
COUNTYWIDE PLAN DESIGNATION:	-
PARCEL AREA:	9147.00 SQFT
MAX LOT COVERAGE:	-
OCCUPANCY:	R-3
CONSTRUCTION TYPE:	V-B
FIRE SPRINKLERS:	
EXISTING:	NO
PROPOSED:	YES - NFPA 13D (SEPARATELY PERMITTED)

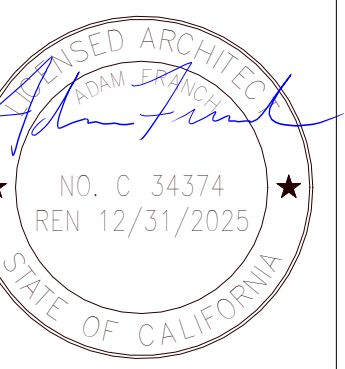
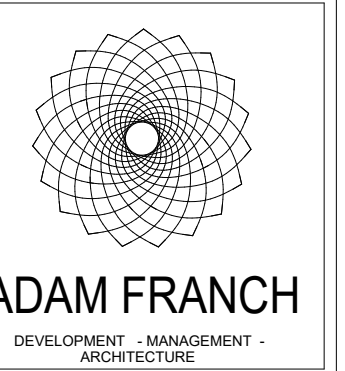
SITE DATA TABLE				
	Allowed/Required	Existing	Added	Proposed
Lot Size		9147.00 SQ.FT.		9147.00 SQ.FT.
Zoning		-		-
<b>FLOOR AREA BY LEVEL</b>				
First Floor - House		1026.53 SQ. FT.	182.03 SQ. FT.	1208.56 SQ. FT.
First Floor - Garage		582.50 SQ. FT.	49.63 SQ. FT.	497.99 SQ. FT.
Second Floor		1604.50 SQ. FT.	-	1597.52 SQ. FT.
<b>TOTAL ADJUSTED FLOOR AREA</b>		<b>3213.53 SQ. FT.</b>		<b>3304.07 SQ. FT.</b>
Lot Coverage		19%		21%
Front Setback (West)	20' FT.	20' 11" FT.		20' 11" FT.
Side Yard Setback (North)	5' FT.	6' 7 1/2" FT.		6' 7 1/2" FT.
Side Yard Setback (South)	5' FT.	5' 1/2" FT.		5' 1/2" FT.
Rear Yard Setback (East)	15' FT.	64' 4 1/2" FT.		64' 4 1/2" FT.
Height		24' 8 1/2" FT		24' 8 1/2" FT
On-Site Parking Spaces		4		4

**DRAWING SHEET LIST**

A0.0	COVER SHEET
A0.1	EXISTING SITE PLAN
A0.2	EXISTING SITE PLAN - PHOTOS
A0.3	PROPOSED SITE PLAN
A1.0	LEVEL 1 EXISTING AND PROPOSED
A1.1	LEVEL 2 EXISTING AND PROPOSED
A1.2	ROOF PLAN EXISTING AND PROPOSED
A2.0	EXISTING AND PROPOSED ELEVATIONS
A2.1	EXISTING AND PROPOSED ELEVATIONS
A3.0	SECTIONS
A4.0	WINDOW AND DOOR TYPES
A5.0	DETAILS
E0.0	RCP & ELECTRICAL
E0.1	RCP & ELECTRICAL

**ARCHITECTURAL SYMBOLS**

	NORTH ARROW		ACOUSTICAL TILE CEILING GRID		HALLWAY 142		VERTICAL ELEVATION REFERENCE
	GRIDLINE REFERENCE		SUPPLY DIFFUSER OR GRILLE		RETURN AIR GRILLE		ROOM DESIGNATION REFERENCE
	EXTERIOR BUILDING ELEVATION REFERENCE		SURFACE OR PENDANT MOUNTED FLUORESCENT LIGHT FIXTURE		WALL TYPE		DOOR DESIGNATION REFERENCE
	INTERIOR ELEVATION REFERENCE		FLUORESCENT LIGHT FIXTURE		EQUIPMENT TYPE		FINISH TYPE
	BUILDING/WALL SECTION REFERENCE		SURFACE OR PENDANT MOUNTED LIGHT FIXTURE		FURNITURE TYPE		CENTERLINE
	DETAIL REFERENCE		WALL MOUNTED LIGHT FIXTURE		SITE LIGHTING POLE		INSULATION (LOOSE OR BATT)
	DETAIL REFERENCE		EXIT LIGHT		EARTH		BRICK
	CASEWORK TYPE		SITE LIGHTING POLE		POROUS FILL (STONE, GRAVEL, ETC.)		INSULATION (RIGID)
	WORK NOTE		EARTH		CONCRETE MASONRY UNIT		METAL STUD PARTITION
	LAYOUT KEY NOTE		FERROUS METAL		FERROUS METAL		ACOUSTICAL TILE
	WINDOW TYPE		CONCRETE		GLASS (SMALL SCALE)		GYP SUM BOARD
	CEILING HEIGHT REFERENCE		WOOD, ROUGH (OR SHIMMING OR BLOCKING)		FIRE-RETARDANT PLYWOOD		



PROJECT INFORMATION:  
**MOSTAGAL RESIDENCE**  
ACTIVE

PROJECT ADDRESS:  
**SOHEIL MOSTAGAL**  
124 ROUND CT  
PETALUMA, CA 94952  
APN: 019-450-008-000

PROJECT REVISIONS

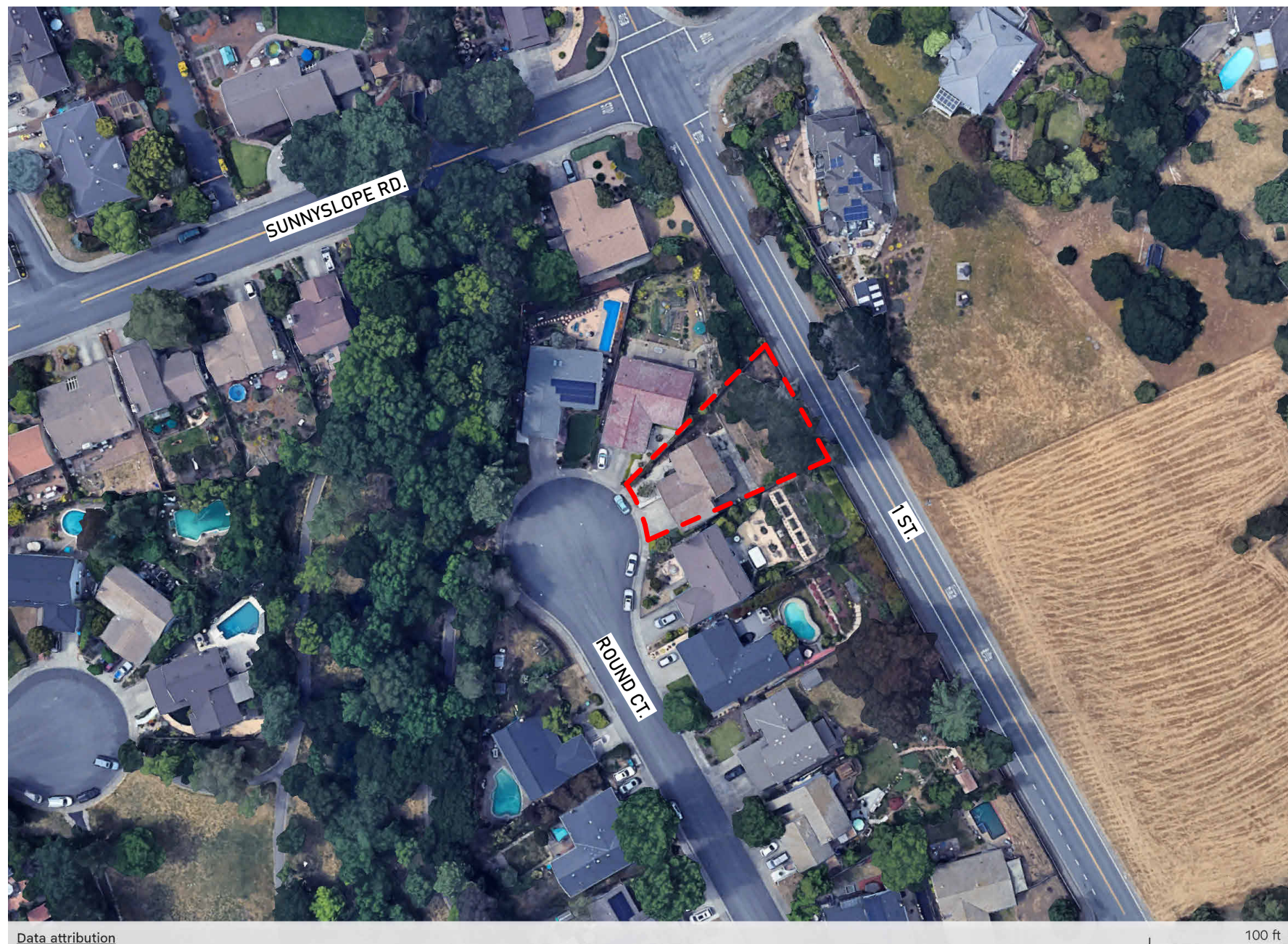
ARCHITECT	Adam Franch
EMAIL	adam@dev-arc.com
PHONE	720-219-2117

JOB NUMBER:	124 ROUND COURT
PHAS E:	BUILDING PERMIT
FOR:	CITY OF PETALUMA

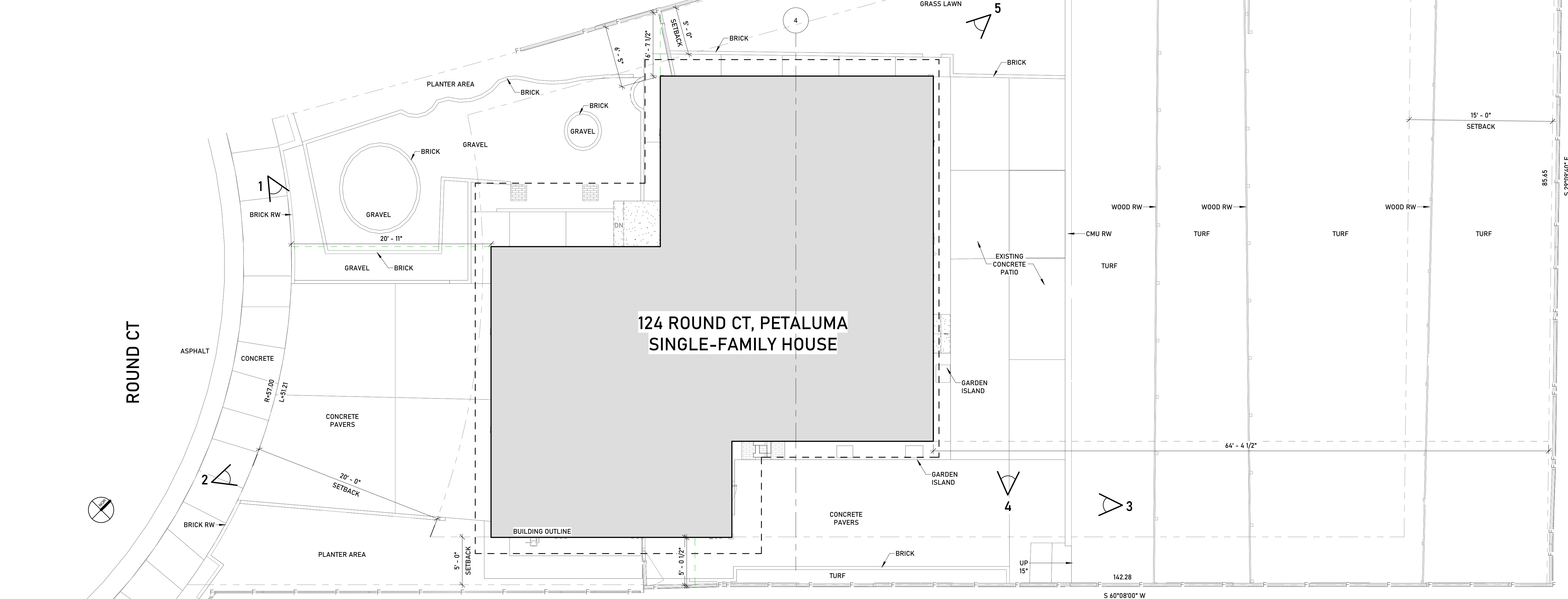
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1	Revision 1	05/15/2024

SHEET TITLE  
**COVER SHEET**

SHEET NUMBER  
**A0.0**

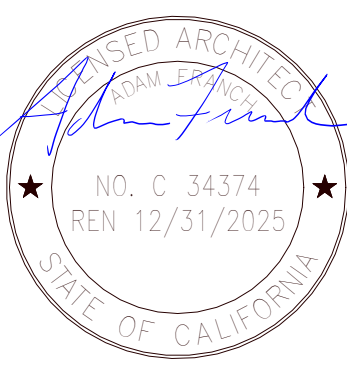


Site plan  
1" = 100'-0"



(E) SITE PLAN  
3/16" = 1'-0"

PHOTO KEY REFERENCE SHEET  
A0.5

  
**ADAM FRANCH**  
 DEVELOPMENT - MANAGEMENT - ARCHITECTURE  
  
 NO. C 34374  
 REN 12/31/2025  
 STATE OF CALIFORNIA

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 ACTIVE

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 124 ROUND CT  
 PETALUMA, CA 94952  
 APN: 019-450-008-000

ARCHITECT: Adam Franch  
 EMAIL: adam@dev-arc.com  
 PHONE: 726-219-2117  
 JOB NUMBER: 124 ROUND COURT  
 PHASE: BUILDING PERMIT  
 FOR: CITY OF PETALUMA

SUBMITTAL NO.	DESCRIPTION	DATE
1	Revision 1	05/13/2024

SHEET TITLE  
**EXISTING SITE PLAN**  
 SHEET NUMBER  
**A0.1**

SITE PHOTOS - EXISTING CONDITION

1.



2.



3.

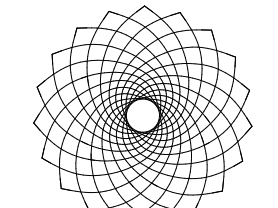


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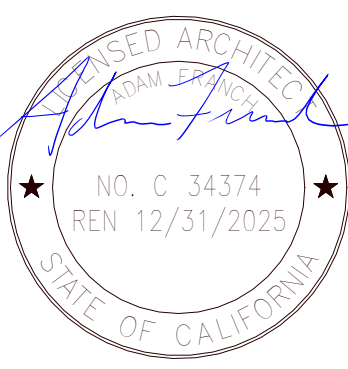


5.





**ADAM FRANCH**  
DEVELOPMENT - MANAGEMENT - ARCHITECTURE



REGISTERED ARCHITECT  
NO. C 34374  
REN 12/31/2025  
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PROJECT REVISIONS		
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SHEET TITLE

**EXISTING SITE PLAN - PHOTOS**

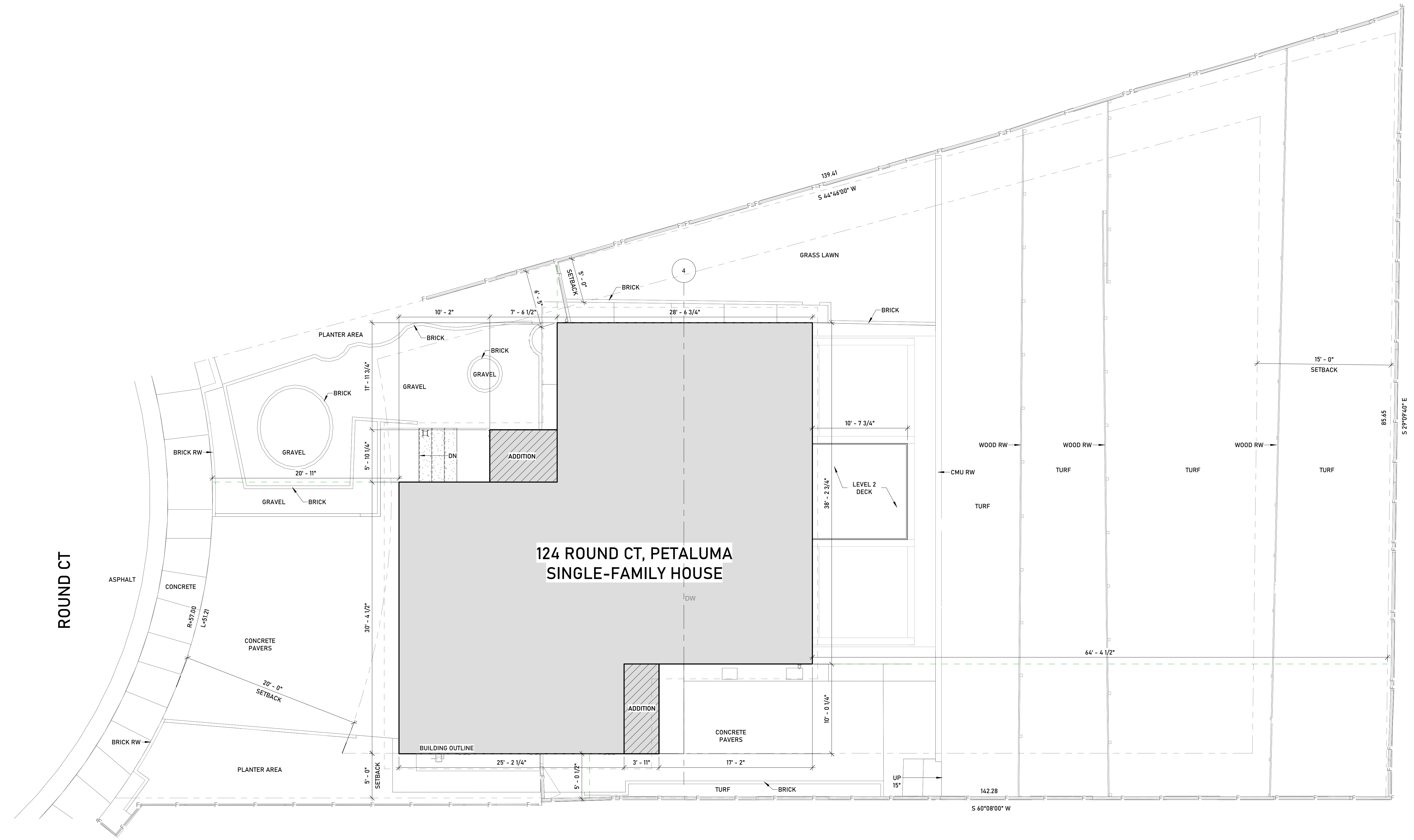
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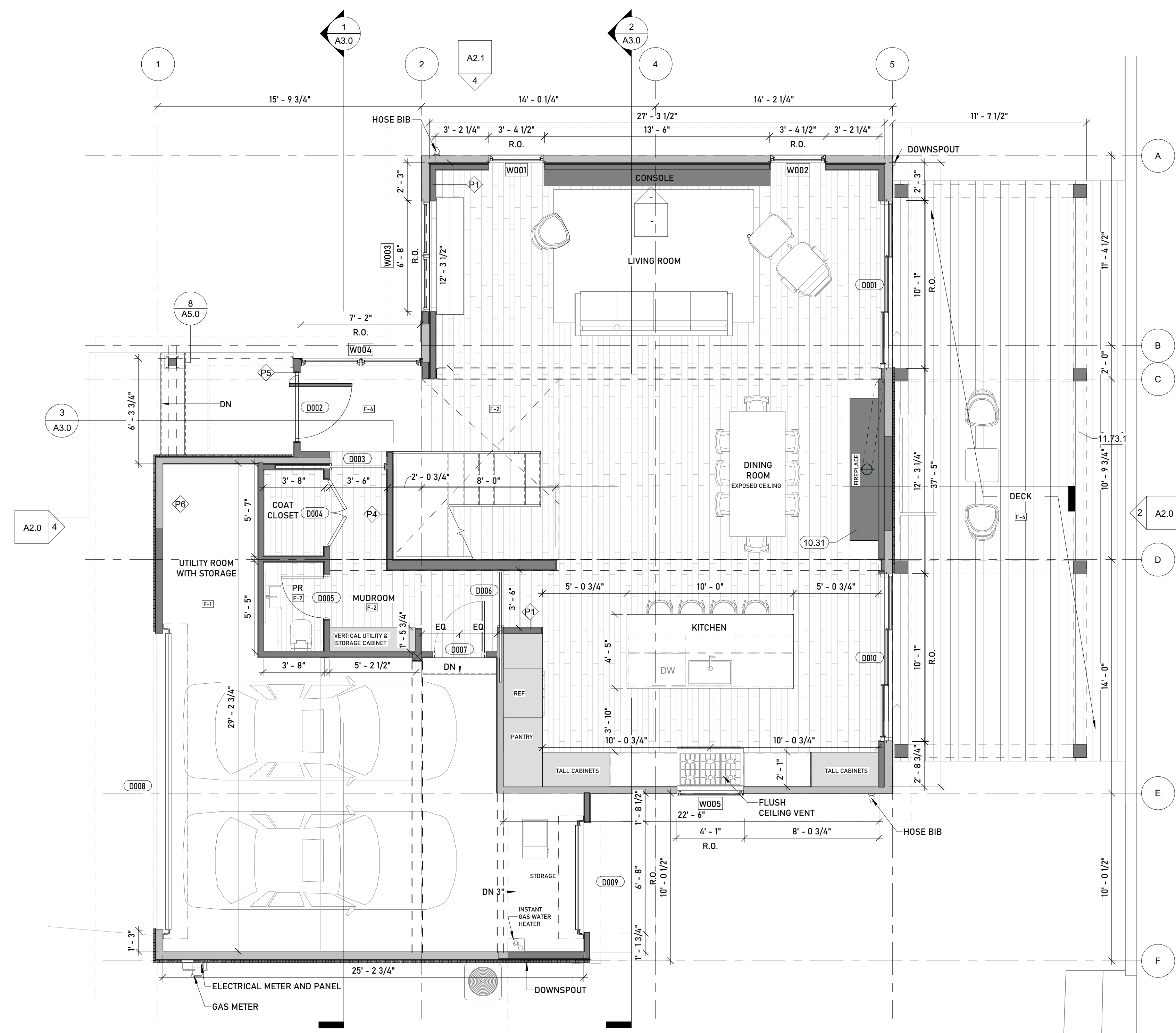
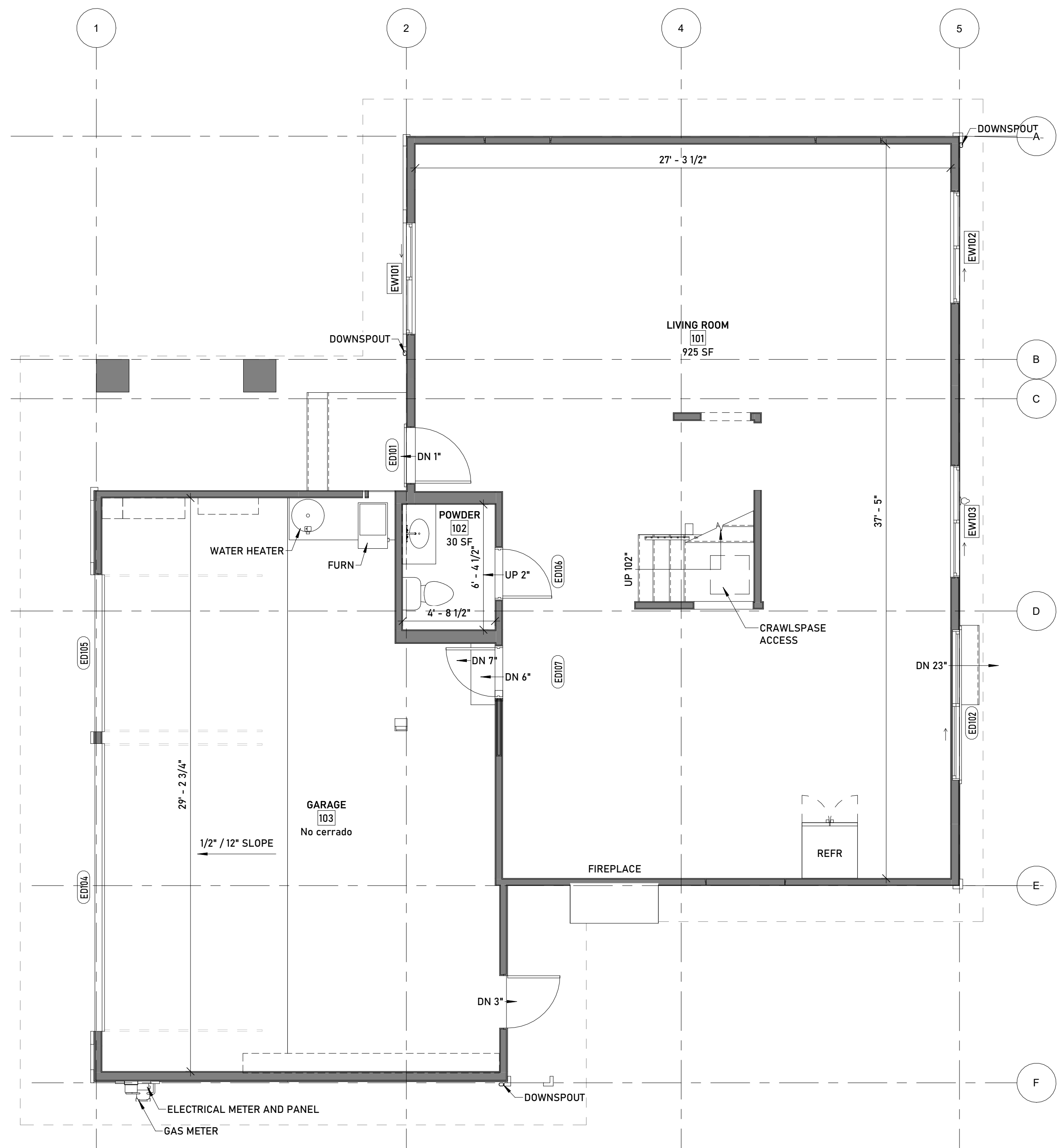
ARCHITECT: Adam Franch  
EMAIL: adam@dev-arc.com  
PHONE: 720-219-2117

JOB NUMBER: 124 ROUND COURT  
PHASE: BUILDING PERMIT  
E: CITY OF PETALUMA  
FOR:

NO	DESCRIPTION	DATE
1	Revision 1	05/13/2024



1 (N) SITE PLAN  
 3/16" = 1'-0"



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ACTIVE

**PROJECT ADDRESS:**  
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124 ROUND CT  
PETALUMA, CA 94952  
APN: 019-450-008-000

**PROJECT REVISIONS**

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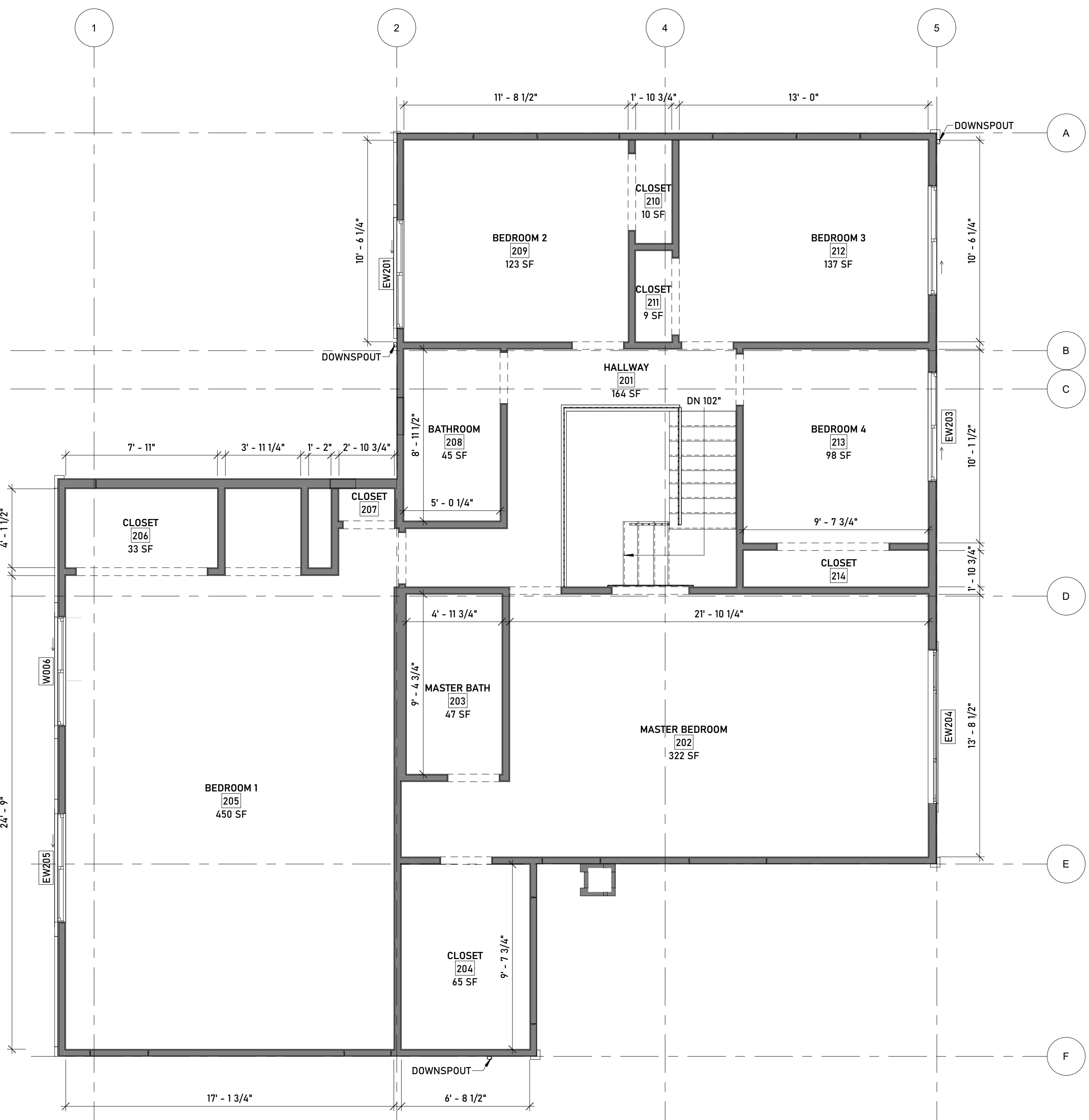
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FOR: CITY OF PETALUMA

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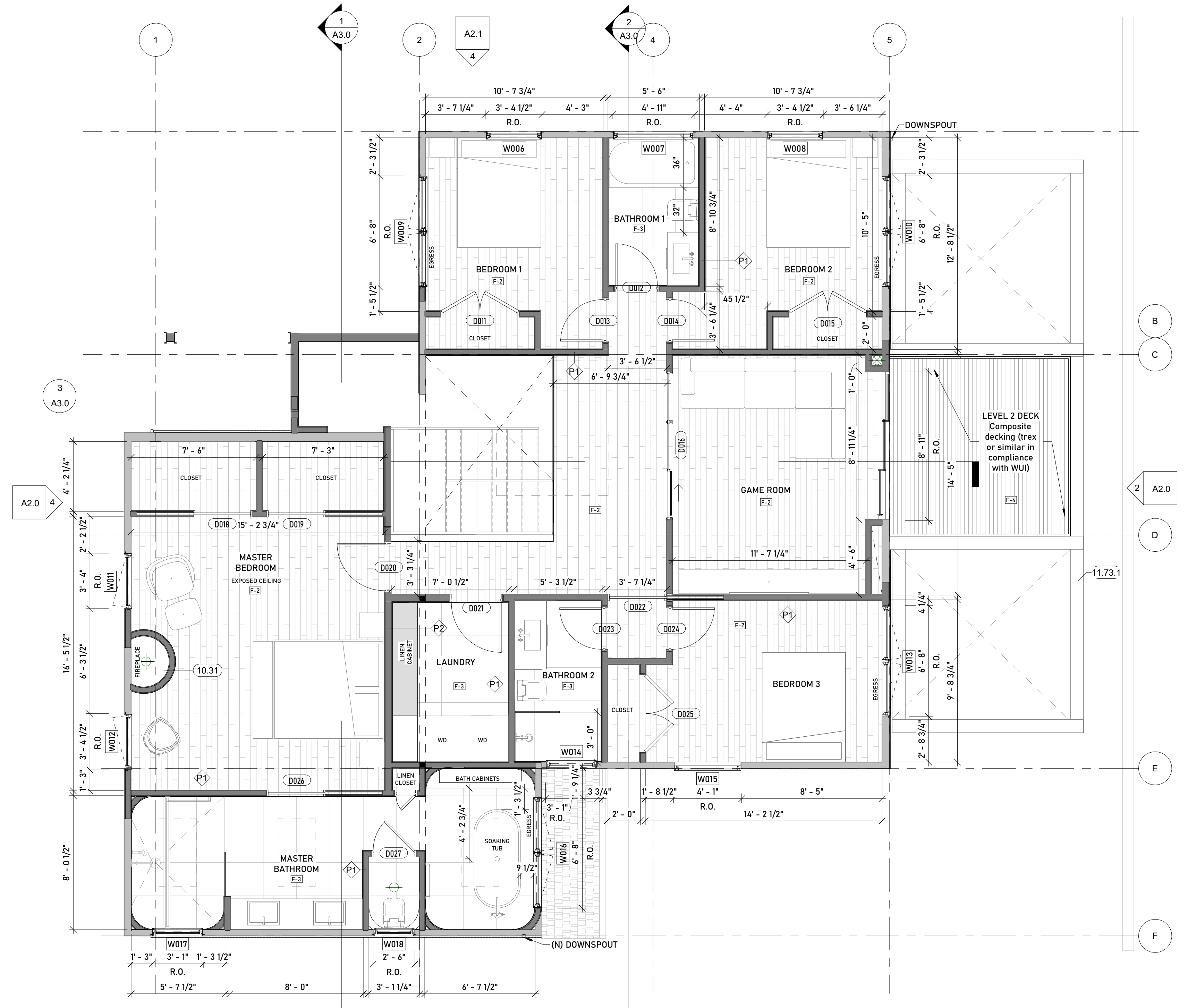
PROJECT NOTES	WALL TYPES	FLOOR TYPES
	REFERENCE SHEET A6.0	
	P1 INTERIOR PARTITION WALL ASSEMBLIES	F-1 SLAB ON GRADE
	P2 INTERIOR PARTITION WALL ASSEMBLIES	F-2 WOOD FLOOR ASSEMBLIES
	P3 INTERIOR PARTITION WALL ASSEMBLIES	F-3 TILE
	P4 INTERIOR PARTITION WALL ASSEMBLIES	F-4 CONCRETE FLOORING
	P5 EXTERIOR WALL ASSEMBLIES	F-4 WOOD DECKING
	P6 EXTERIOR WALL ASSEMBLIES	
	WINDOW & DOOR KEYS	WALL REFERENCES
	W- WINDOW TYPES	EXISTING WALLS
	D- DOOR TYPES	PROPOSED WALLS

**SHEET TITLE**  
**LEVEL 1 EXISTING AND PROPOSED**

**SHEET NUMBER**  
**A1.0**



① (E) UPPER FLOOR PLAN  
1/4" = 1'-0"



② (N) UPPER FLOOR PLAN  
1/4" = 1'-0"

PROJECT NOTES	WALL TYPES	FLOOR TYPES
	REFERENCE SHEET A6.0	
	P1 INTERIOR PARTITION WALL ASSEMBLIES	F-1 SLAB ON GRADE
	P2 INTERIOR PARTITION WALL ASSEMBLIES	F-2 WOOD FLOOR ASSEMBLIES
	P3 INTERIOR PARTITION WALL ASSEMBLIES	F-3 TILE
	P4 INTERIOR PARTITION WALL ASSEMBLIES	F-4 CONCRETE FLOORING
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APN: 019-450-008-000

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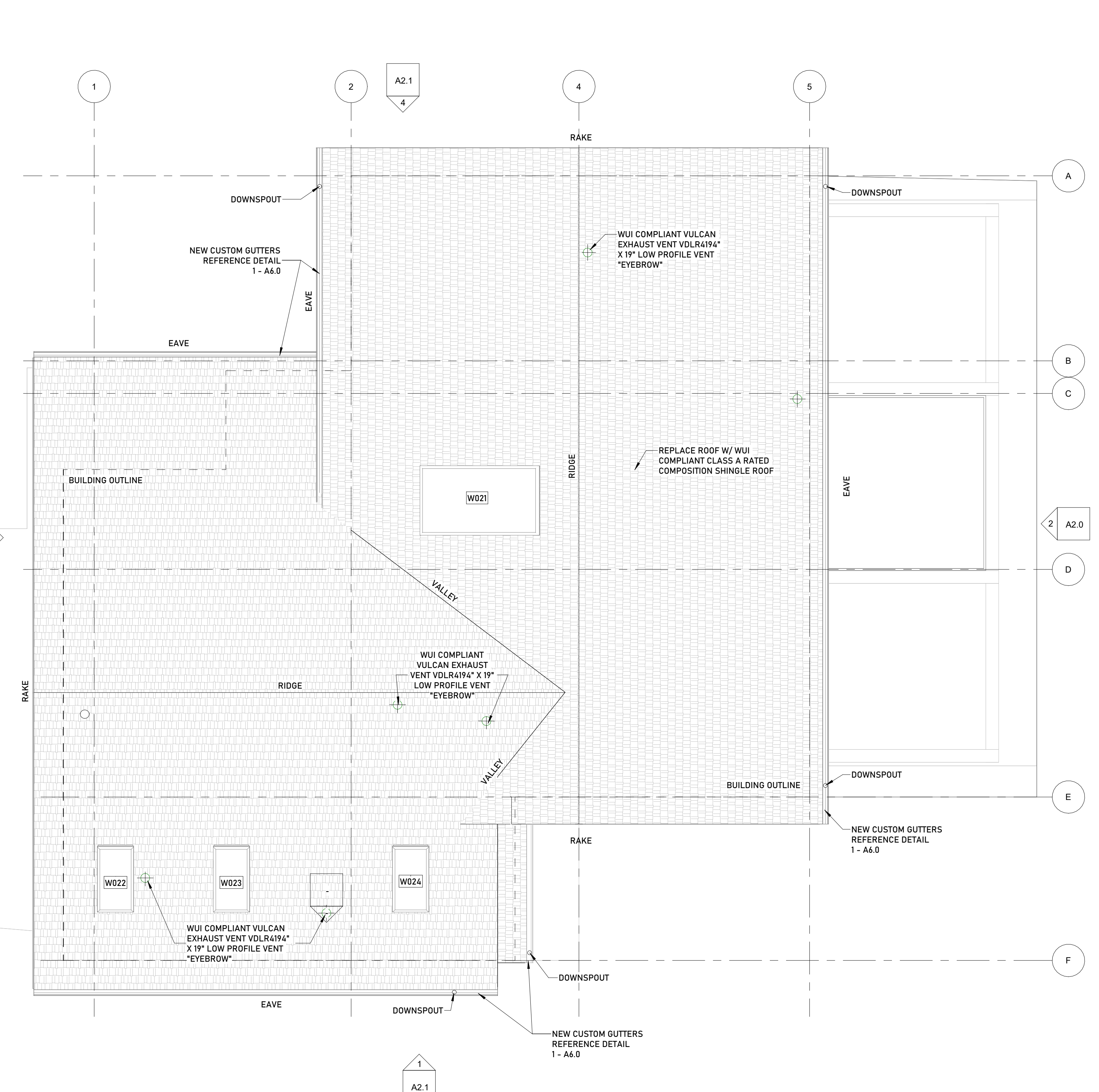
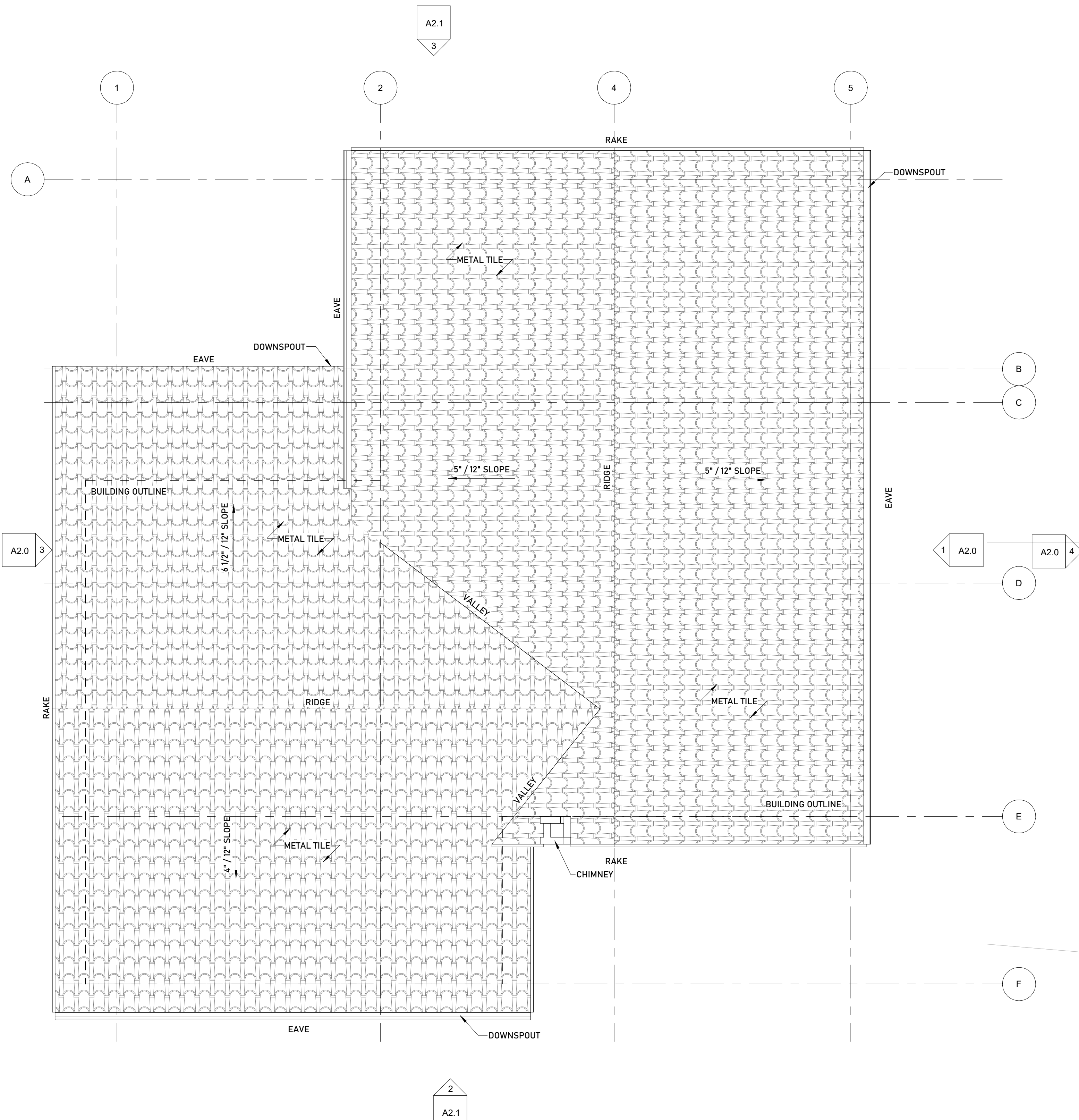
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E: FOR  
FOR: CITY OF PETALUMA

NO	DESCRIPTION	DATE
1	Revision 1	05/13/2024

SHEET TITLE  
**LEVEL 2 EXISTING AND PROPOSED**

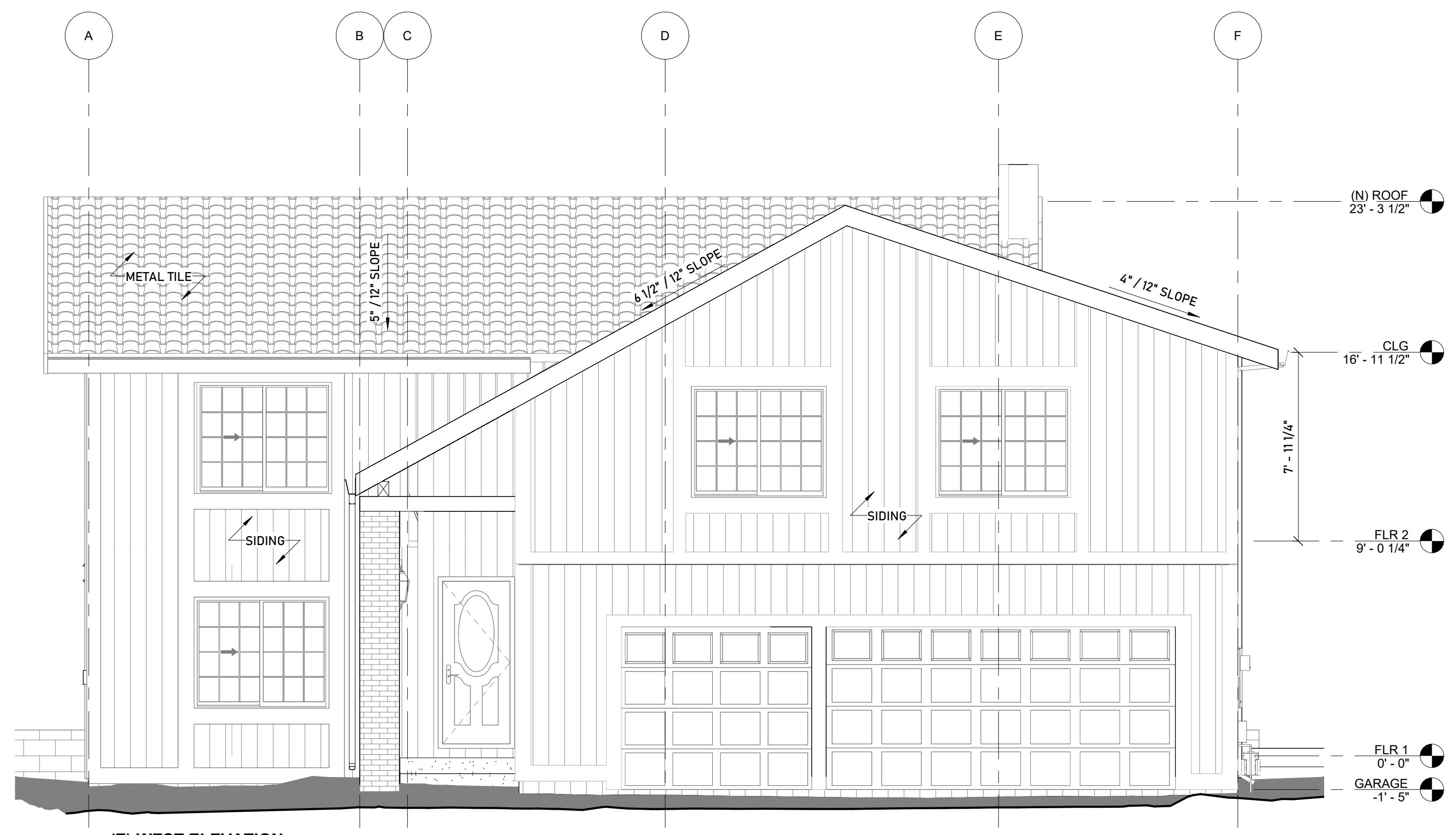
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SUBMITTAL NO	DESCRIPTION	DATE
1	Revision 1	05/13/2024

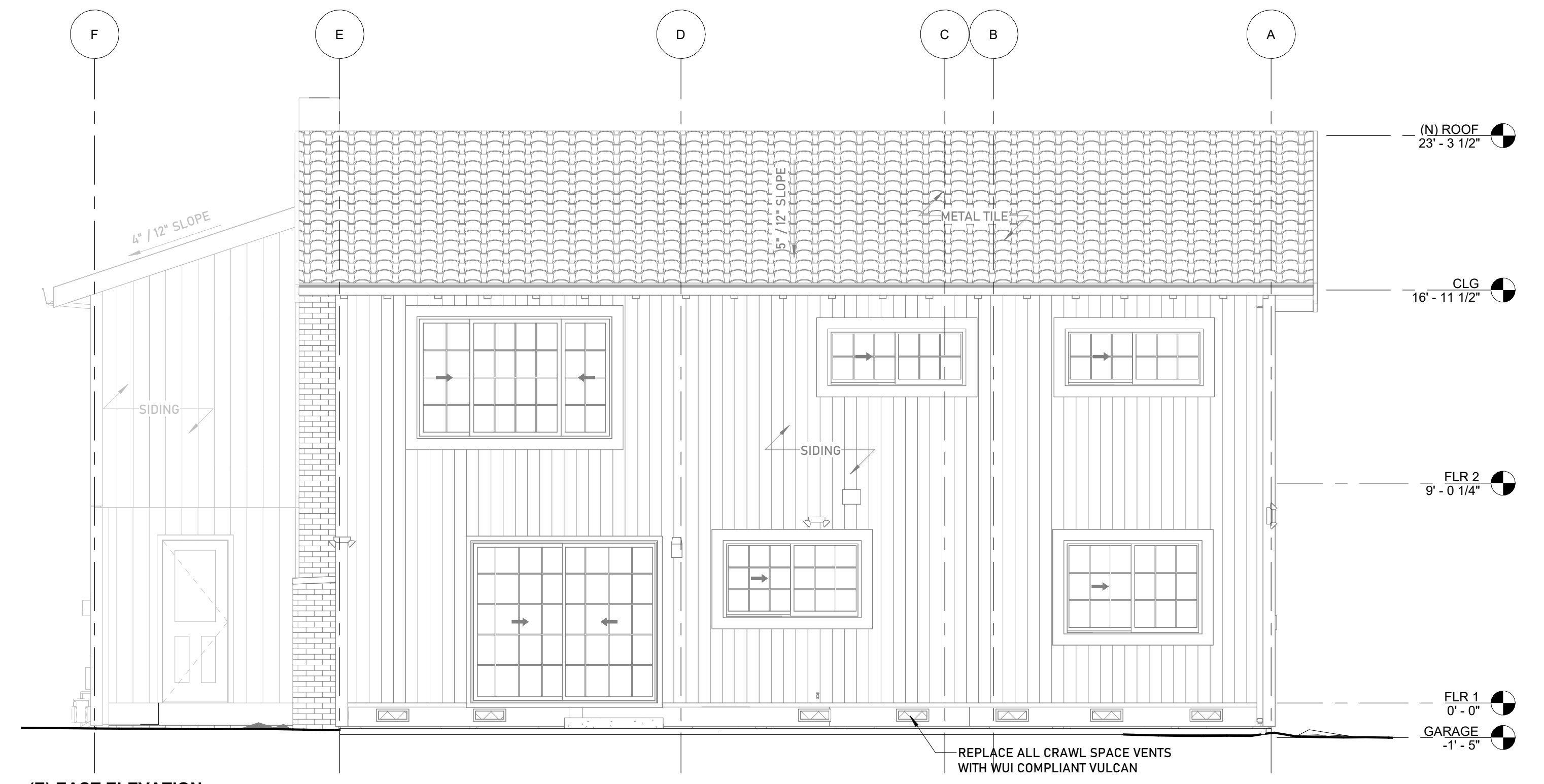


PROJECT NOTES	WALL TYPES	FLOOR TYPES
REFERENCE SHEET A6.0	<ul style="list-style-type: none"> <li><span style="border: 1px solid black; padding: 2px;">P1</span> INTERIOR PARTITION WALL ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">P2</span> INTERIOR PARTITION WALL ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">P3</span> INTERIOR PARTITION WALL ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">P4</span> INTERIOR PARTITION WALL ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">P5</span> EXTERIOR WALL ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">P6</span> EXTERIOR WALL ASSEMBLIES</li> </ul>	<ul style="list-style-type: none"> <li><span style="border: 1px solid black; padding: 2px;">F-1</span> SLAB ON GRADE</li> <li><span style="border: 1px solid black; padding: 2px;">F-2</span> WOOD FLOOR ASSEMBLIES</li> <li><span style="border: 1px solid black; padding: 2px;">F-3</span> TILE</li> <li><span style="border: 1px solid black; padding: 2px;">F-4</span> CONCRETE FLOORING</li> <li><span style="border: 1px solid black; padding: 2px;">F-4</span> WOOD DECKING</li> </ul>
	<b>WINDOW &amp; DOOR KEYS</b> <ul style="list-style-type: none"> <li><span style="border: 1px solid black; padding: 2px;">W-</span> WINDOW TYPES</li> <li><span style="border: 1px solid black; padding: 2px;">D-</span> DOOR TYPES</li> </ul>	<b>WALL REFERENCES</b> <ul style="list-style-type: none"> <li><span style="border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> EXISTING WALLS</li> <li><span style="background-color: gray; border: 1px solid black; display: inline-block; width: 10px; height: 10px;"></span> PROPOSED WALLS</li> </ul>

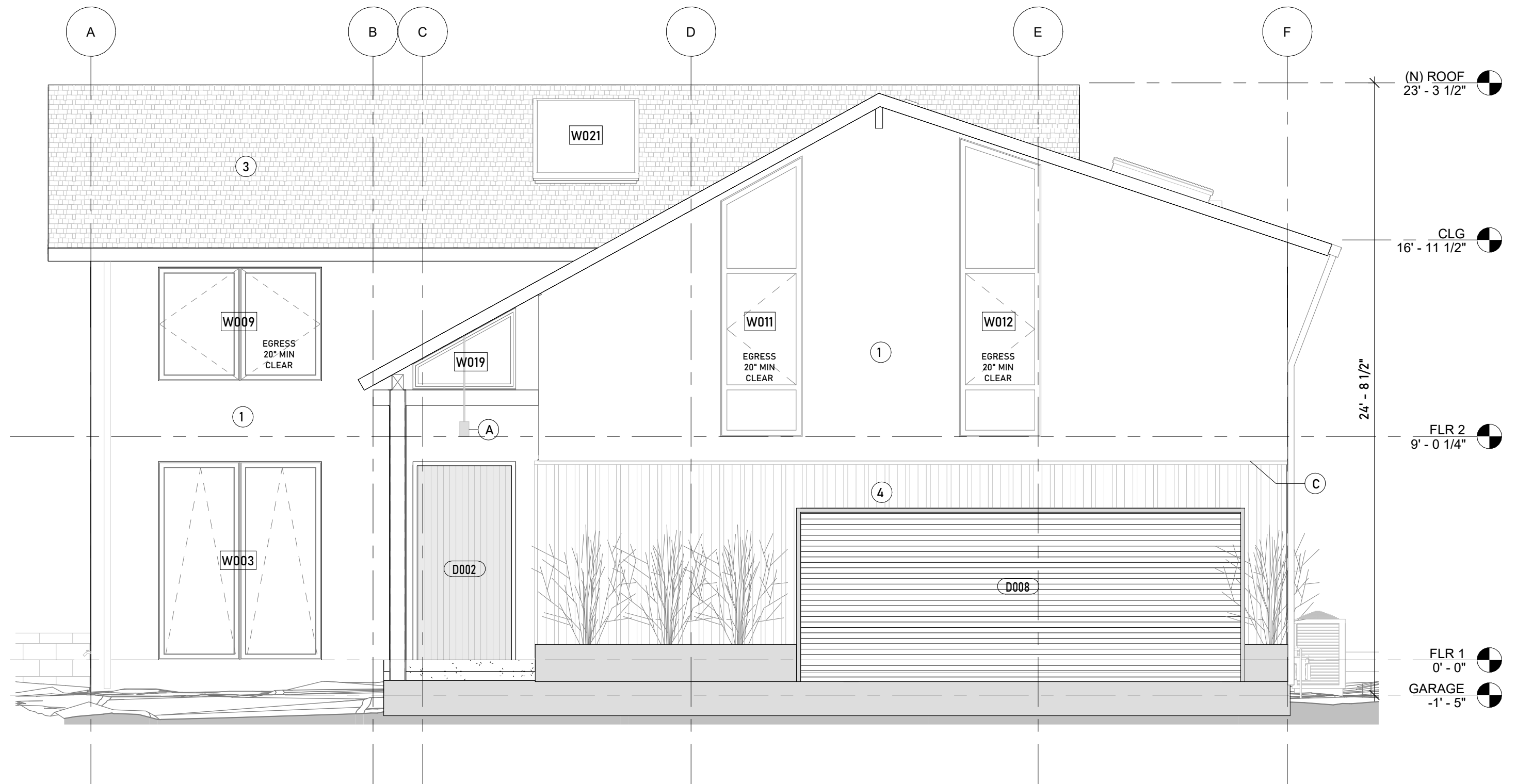
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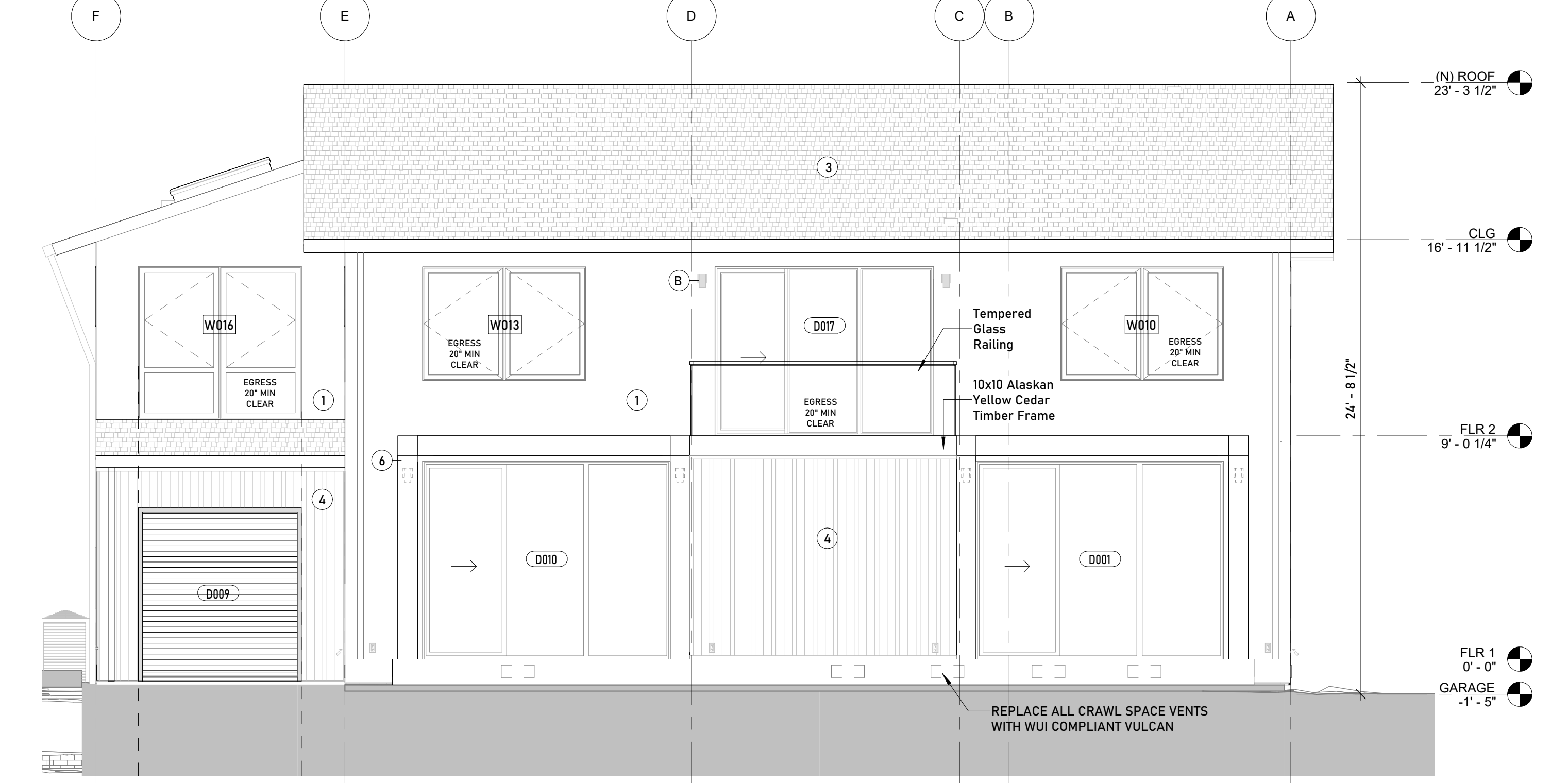
③ (E) WEST ELEVATION  
1/4" = 1'-0"



① (E) EAST ELEVATION  
1/4" = 1'-0"



④ (N) WEST ELEVATION  
1/4" = 1'-0"



② (N) EAST ELEVATION  
1/4" = 1'-0"

**Finishes Selection**

					
① Exterior Walls Plaster - Color: White Ibis	② Windows Powder Coat - Color: Charcoal	③ Roof Shingle - Color: Dark Grey	④ T&G ALASKAN YELLOW CEDAR SIDING - WUI Cedar T&G Siding per OSFM Listing no. 8140-2084-0003	⑤ TREX TRANSEND COMPOSITE DECKING	⑥ HEAVY TIMBER - ALASKAN YELLOW CEDAR

**Lighting Selection** (REFERENCE SHEET E0.0 AND E0.1)

		
A WAC PENDANT CUBE ARCHITECTURAL DC-PD05	B WAC CUBE ARCHITECTURAL DC-VIS05 LED Wall Mounts	C WAC INVISLED RECESSED DOWN LIGHT LED-T-CH

SHEET TITLE

EXISTING AND PROPOSED ELEVATIONS

SHEET NUMBER



