

Appendix B: Cultural Resources Supporting Information

Appendix B contains sensitive information pertaining to cultural resources and has been withheld from public distribution pursuant to Public Resources Code, Sections 5097.9 and 5097.993.

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B.1 - Cultural Resources Study

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B.2 - Results of GPR and HHRD

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B.3 - Historic Cultural Resources Report (Overlay)

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HISTORIC CULTURAL RESOURCE REPORT
for
Downtown Housing and Economic Opportunity Overlay



South side of B Street near 4th, future site of Rex Ace Hardware

Prepared for
EKN Development
Newport Beach, California

Prepared by
Diana J. Painter, PhD
Painter Preservation
Santa Rosa, California

September 22, 2023

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Painter Preservation
HISTORIC PRESERVATION & URBAN DESIGN

September 22, 2023

Mr. Mike Jolly
SVP Construction
220 Newport Center Drive, Suite 11-262
Newport Beach, CA 92660

Re Historic Cultural Resource Report for the Petaluma Downtown Housing and Economic Opportunity Overlay

Dear Mike,

This Historic Cultural Resource Report (HCRR) is intended to accompany the *Downtown Housing and Economic Opportunity Overlay* (previously called the *Petaluma Downtown Overlay Proposal*), which was first issued on May 17, 2023. The first overlay proposal included a map that was largely coterminous with what is now the Study Area for the Overlay Subareas, which was referred to as an area with a modification of zoning allowing for greater building heights. This was presented at a Planning Commission study session on June 13, 2023. A second overlay proposal reduced the Overlay to Overlay Subareas A, B and C, which are three areas within the Study Area that are largely outside the boundaries of the city's existing historic districts. This concept was presented in a public outreach session on July 12, 2023. This was followed by a study session with the Planning Commission on August 8, 2023 that presented similar information.

This HCRR presents an overview of Petaluma's downtown historic resources as well as presenting all three Overlay Subareas in a comparative manner.

It is intended for review at a study session of the Historic and Cultural Preservation Committee on October 3, 2023. Sincerely,

Diana J. Painter, PhD
Owner/Principal Architectural Historian

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HISTORIC CULTURAL RESOURCE REPORT

INTRODUCTION

This Historic Cultural Resource Report (HCRR) is intended to accompany Petaluma's Downtown Housing and Economic Opportunity Overlay (Overlay) proposal initially dated May 17, 2023. The proposed hotel site development at 2 Petaluma Blvd. South first appeared before the Historic and Cultural Heritage Commission (HCCP) on January 10, 2023 for conceptual review. A Historic Preservation Compliance Review for the hotel dated June 7, 2022 and prepared by Painter Preservation accompanied this proposal.

The first *Petaluma Downtown Overlay Proposal*, which is the subject of this Historic Cultural Resource Report (HCRR), was presented in a Study Session with the Planning Commission on June 13, 2023. It included a map that was largely coterminous with the Study Area for the proposed overlays, referred to as an area with a modification of zoning that allowed for greater building heights (see Figure 3). In a presentation to the public on July 12, 2023, three smaller overlays (Overlay Subareas A through C) were presented that were, for the most part, outside the boundaries of existing historic districts. At this time the document was entitled *Petaluma Building Form Overlay in Downtown*. It presented much of the same information in the *Petaluma's Downtown Housing and Economic Opportunity Overlay* but included some minor changes to the development standards presented in the May 17, 2023 document. This HCRR is intended to accompany the current *Petaluma Downtown Housing and Economic Opportunity Overlay*, providing a background discussion of existing conditions and historic resources in and adjacent to the respective Overlay Subareas.

The following are the component parts of this HCRR. This introductory statement is followed by a brief discussion of existing Policies and Regulations that apply to historic resources in the city and includes a review of the *General Plan Update* that is currently underway and that will refresh the *General Plan 2025* policies. Preceding commencement of the *General Plan Update*, a series of existing conditions reports was prepared in various topic areas. The *Historic Resources Background Report* is directly relevant to this HCRR and will be reviewed here as part of the section on Plans, Studies and Special Districts.

The examination of applicable Policies and Regulations will be followed by a review of Plans, Studies and Special Districts and land use and development standards as they relate to historic resources. The *Petaluma Downtown Historic Commercial District*, which is adjacent to the Overlay Subareas B and C and may be affected by development here, is discussed next. Note that the proposed hotel at 2 Petaluma Blvd. South, which will be sited in the southwest quadrant of the intersection of Petaluma Blvd. South and B Street, is within Overlay A.

The discussion of relevant plans, policies, regulations, and design standards that apply in the Study Area is followed by a brief historic context of Petaluma and its historic character and developmental history. An overview of the subject site at 2 Petaluma Blvd. South is included. A table of properties for Overlay Subareas A through C and an accompanying parcel map showing the properties is included. The report concludes with recommendations and subjects for possible future consideration. A list of references is included, along with links for additional information.

Figure 1: Regional location map
Source: City of Petaluma General Plan 2025

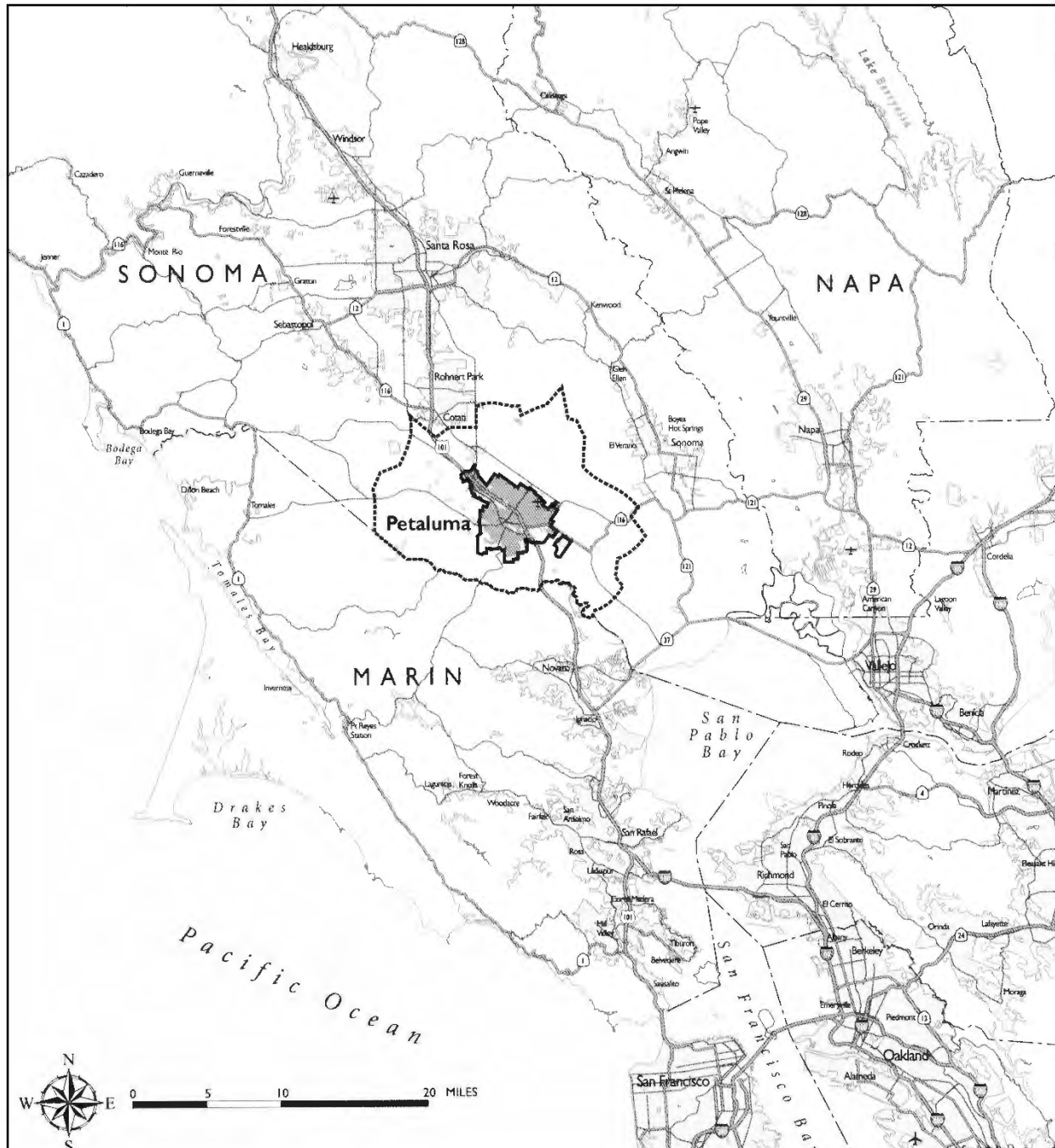
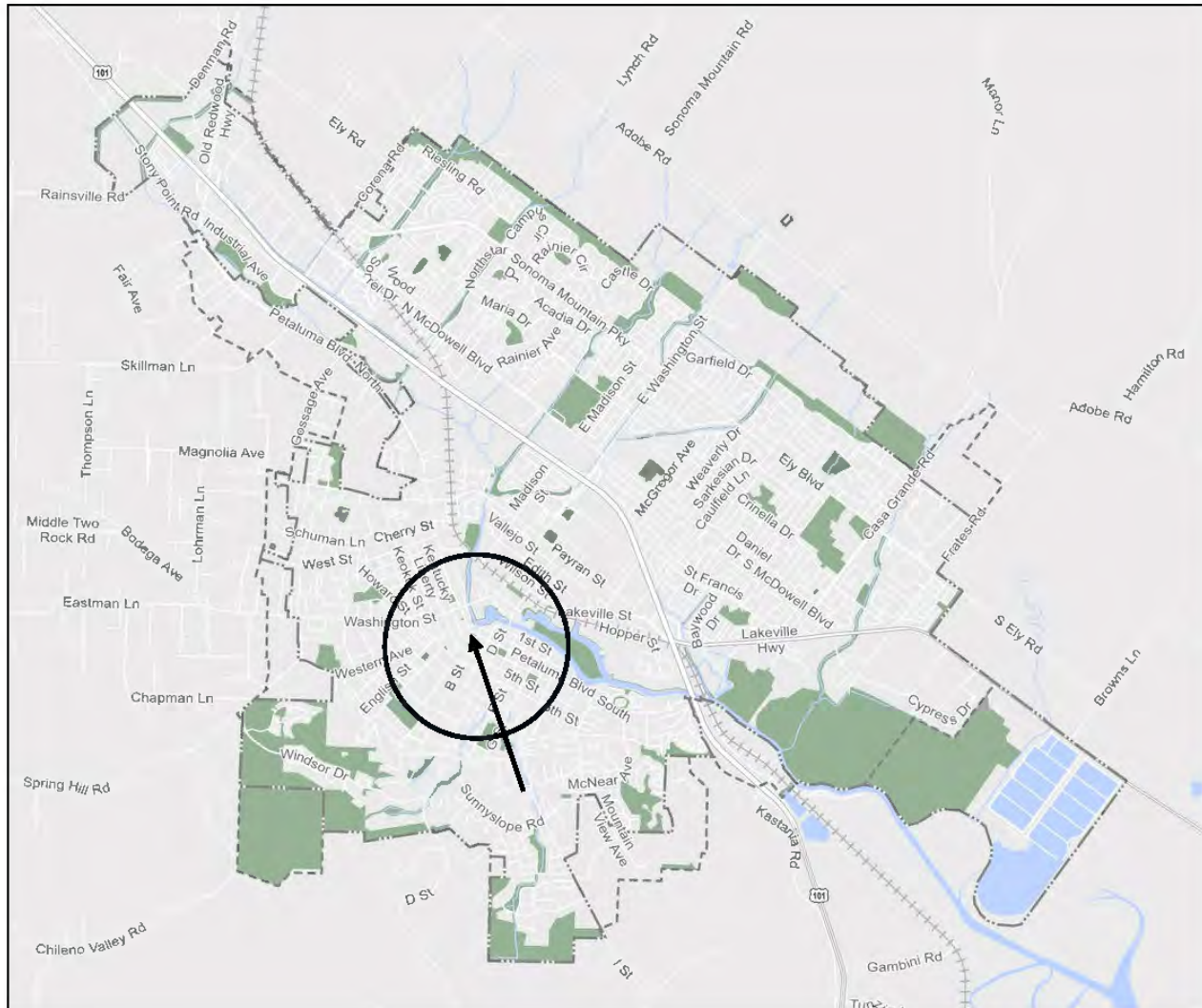


Figure 2: City of Petaluma city boundaries with arrow pointing to the Hotel Development Site
Source: City of Petaluma General Plan Update



Location and terminology

The three Overlay Subareas are located within the Study Area and Overlay Boundary Area that was presented in the May 17, 2023 report, *Petaluma Downtown Overlay Proposal* (see Figure 3). Overlay A is located south of the heart of downtown Petaluma and the Petaluma Downtown Commercial Historic District. It is bounded by Petaluma Blvd. South to the east, D Street to the south, 4th Street to the west, and B Street to the north. Overlays B and C are located south of the Oakhill-Brewster Historic District and north of the “A” Street Historic District; both west of the Petaluma Historic Commercial District (see Figure 4).

Directions in Petaluma are generally referred to as follows. North is toward Petaluma Blvd. North and Santa Rosa; east is toward the Petaluma River (from the Study Area) and East Petaluma; south is toward Petaluma Blvd. South and San Francisco; and west is toward the Pacific Ocean.

The proposed hotel has been known as The Petaluman, the Hotel Weaver, and currently, the EKN Appellation Hotel. In this report it will be referred to as the “Hotel Development Proposal.” The proposed overlay zones will be referred to as the “Overlay” or Overlay Subareas A, B or C.

Figure 3: Study Area and Overlay Boundary, May 17, 2023

Source: Source: EKN Development and Page, *Petaluma Downtown Overlay Proposal*

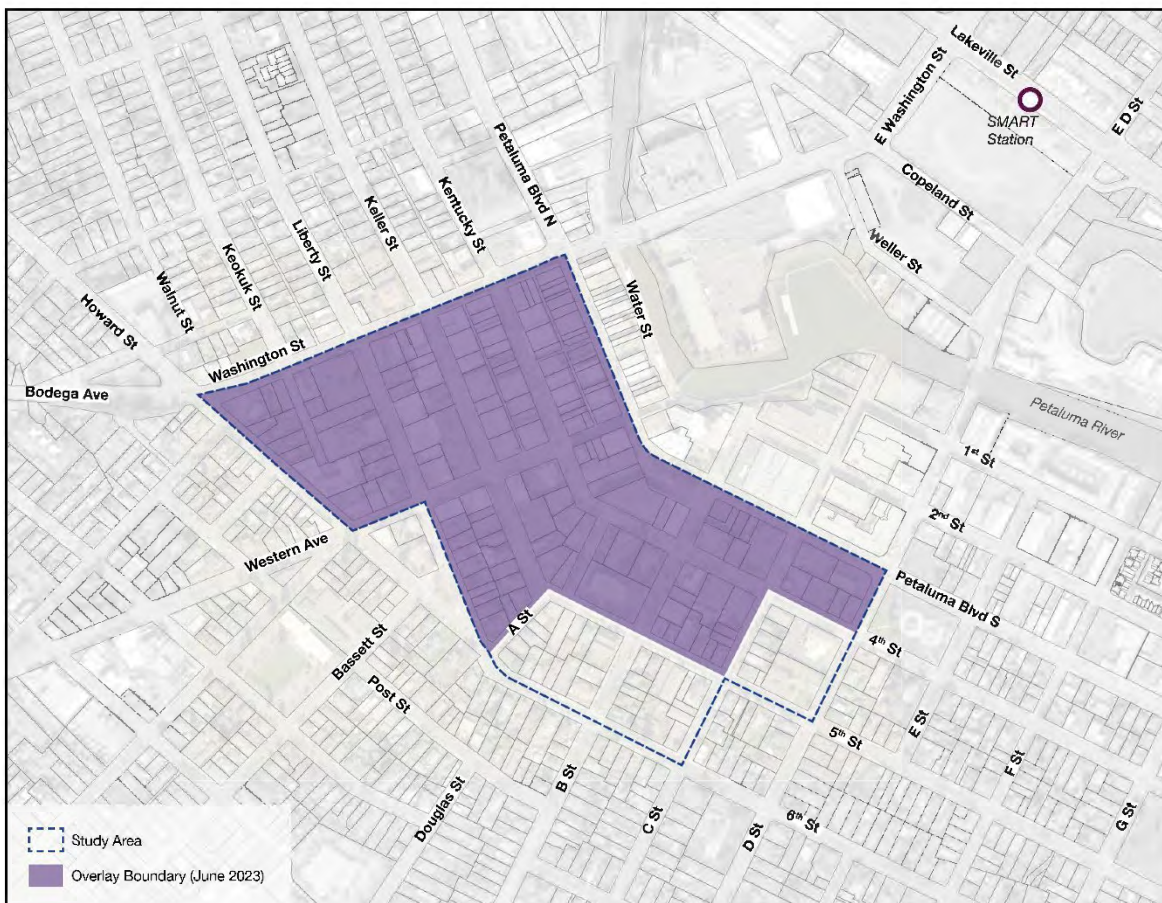
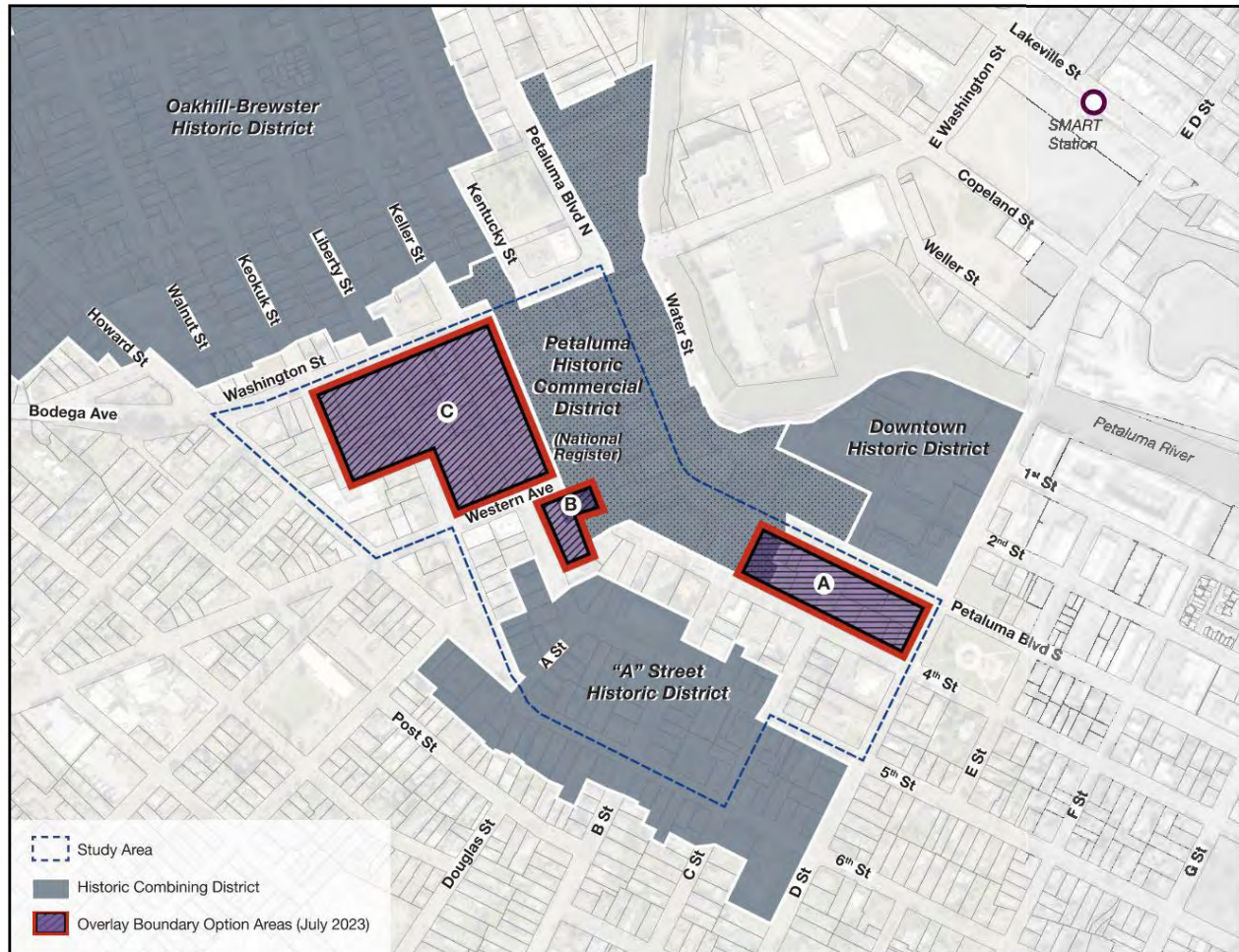


Figure 4: Overlay areas and Petaluma's historic districts, July 2023

Source: EKN Development and Page



POLICIES AND REGULATIONS

General Plan 2025

Development throughout the city of Petaluma is guided by the *City of Petaluma General Plan 2025*, which was adopted in 2008 and amended in 2021. In the words of the City of Petaluma, the purpose of the General Plan is to identify current and future needs in areas such as land use, housing, transportation, public services, environmental quality, and economic viability. The General Plan is also a policy document that embodies the community's goals and guides decisions about physical development over the long term.¹

Chapter 3 in the General Plan, "Historic Preservation," addresses historic resources. The plan states that, "The overall goal [of historic preservation] is to ensure the preservation, protection, rehabilitation and restoration of historical and cultural resources by recognizing their inherent value in linking our present form to our community's roots and evolution."² The document continues, "The preservation of historic resources defines and fosters Petaluma's unique identity, increases property values, creates neighborhood stability, promotes tourism, and spurs economic development."³

These general statements are followed by a series of goals, policies and programs. Of particular relevance to this HCRR is the goal to, "Ensure that future plans, ordinances, and City programs are complementary to the historic preservation goals and policies contained in this plan" (Goal 3-G-1). Also relevant is the policy, "Develop floor area ratio and other design standards that relate overall building size and bulk to site area for Downtown . . ." (3-P-1-C) and "Ensure that new development adjacent to eligible historic and cultural resources is compatible with the character of those resources" (3-P-6). See Figure 5 for additional policies and programs from the *General Plan 2025*.

¹ *City of Petaluma General Plan 2025*, adopted May 2008, revised May 12, 2021, <https://cityofpetaluma.org/general-plan/>, accessed July 2025.

² *Ibid*, 2021:3.2.

³ *Ibid*.

Figure 5: General Plan Historic Preservation Policies and Programs

Source: City of Petaluma Station Area Master Plan, 2013

Table 7.5.B: General Plan Policies and Programs Related to Historic Preservation in the TOD Master Plan Areas	
POLICY 3-P-1	Protect historic and archaeological resources for the aesthetic, cultural, educational, environmental, economic, and scientific contribution they make to maintaining and enhancing Petaluma's character, identity and quality of life.
Program 3-P-1-A	Maintain the historic-era integrity of the Petaluma Historic Commercial District, which is listed on the National Register of Historic Places, by adhering to the City's Historic Commercial District Design Guidelines.
Program 3-P-1-B	Maintain the historic-era integrity within the Oak Hill – Brewster and "A" Street Historic Districts as adopted local historic districts.
Program 3-P-1-C	Develop floor area ratio and other design standards that relate overall building size and bulk to the site area for Downtown, Oak Hill – Brewster, and "A" Street Historic District neighborhoods.
Program 3-P-1-D	Conduct a comprehensive, citywide survey of historic and cultural resources for the purpose of creating an historic resource inventory. <ul style="list-style-type: none"> ▪ Include updated surveys of existing Historic Districts as well as their adjacent areas. ▪ Identify individual resources for designation as local, State, or nationally designated landmarks. ▪ The historic resources inventory shall be updated on a regular basis, per national standards. Inventories should be phased by prioritizing critical areas targeted for development through the Central Petaluma Specific Plan and this General Plan.
Program 3-P-1-E	Develop historic preservation guidelines or standards for protecting resources that are not currently designated through initiating, requiring, and/or encouraging designation of additional historic districts, expanding the boundaries of existing districts, and identifying and designating local landmarks.
Program 3-P-1-F	Pursue Certified Local Government (CLG) status through the California State Office of Historic Preservation.
Program 3-P-1-G	Create a central repository for historic surveys, reports, guidelines, ordinances, etc. that is easily accessible to the public, while protecting confidentiality regarding archeological sites and Traditional Cultural Places.
POLICY 3-P-2	Provide incentives for encouraging the preservation and revitalization of historic and cultural resources.
Program 3-P-2-A	Continue and expand the Storefront Improvement Loan Program.
Program 3-P-2-B	Consider a reduced fee for projects that involve the preservation of historic resources.
Program 3-P-2-D	Encourage owners of historic resources to take advantage of the Rehabilitation Tax Credit; investigate the costs/benefits of applying limited use of the Mills Act within the City.
Program 3-P-2-E	Take advantage of the benefits of the Certified Local Government program such as grant funding available through the California Office of Historic Preservation.
POLICY 3-P-4	Foster appreciation for Petaluma's cultural heritage and encourage greater public participation in education regarding the preservation of resources.
Program 3-P-4-A	Create a program and standards for the installation of signs, kiosks, plaques, and/or interpretive art commemorating past events/sites of historical or cultural interest.

Figure 5: General Plan Historic Preservation Policies and Programs (continued)

Source: *City of Petaluma Station Area Master Plan, 2013*

Table 7.5.B: General Plan Policies and Programs Related to Historic Preservation in the TOD Master Plan Areas (continued)	
Program 3-P-4-C	Work with local groups and organizations to provide tours, educational opportunities, and other public information programs geared toward increased knowledge and understanding of Petaluma's historic and cultural resources.
POLICY 3-P-6	Ensure that new development adjacent to eligible historic and cultural resources is compatible with the character of those resources.
POLICY 3-P-7	Recognize landscape features, including trees in both their urban and natural environment as part of Petaluma's identity and part of the character defining features of the City's historic districts.
POLICY 3-P-8	Recognize the value of, and protect the operation of, active river-dependant and agricultural-support uses located within the City of Petaluma.

General Plan Update

The General Plan is in the process of being updated, a process that is anticipated to take several years. To date, the Housing Element has been developed and was adopted on March 20, 2023. The city anticipates that following the adoption of the General Plan, updates to the City's Zoning Ordinance, Station Area Master Plan, Central Petaluma Specific Plan, and Urban Growth Boundary will occur. It is intended that historic preservation will be addressed in conjunction with the policies governing Land Use and Community Character.

Prior to commencing with the General Plan Update, the city held a series of visioning exercises to engage the public and help articulate its vision for the future. Among the guiding principles that spoke directly to historic preservation and economic development, followed by implementation guidelines, were the following:

"10. Enhance Petaluma's historic downtown by preserving its historic character, expanding pedestrian and bicycle access and safety, providing public gathering spaces, and promoting a diverse mix of uses."⁴

11. Honor, celebrate, and preserve Petaluma's heritage and historic character and its place in the modern city."⁵

Also included in the document is the guiding principle: "15. Advance a forward-looking economic development strategy that focuses on diversity, opportunity, innovation, and resilience," which is implemented by a guideline that also relates to this HCRR document: "15.d. Support the creative reuse of vacant and underutilized spaces to build the local economy and support other city goals and initiatives."⁶

A number of existing conditions reports were also prepared in conjunction with the General Plan Update, including one that addresses historic preservation, which is entitled, "Historic Resources

⁴ "Final Visioning Products," *City of Petaluma General Plan Update*, February 17, 2002:8-9.

<https://www.planpetaluma.org/>, accessed July 2023. See for additional guidelines to implement these principles.

⁵ *Ibid.*, 2002:10.

⁶ *Ibid.*, 2002:8.

Background Report,” dated June 16, 2022.⁷ This report will be discussed in the next section, “Plans, Studies and Special Districts.”

Petaluma’s Municipal Code (Ch. 15 – Petaluma Implementing Zoning Ordinance)

Petaluma’s historic preservation policies are implemented through Chapter 15 of the city’s Municipal Code or Implementing Zoning Ordinance (IZO) entitled, “Preservation of the Cultural & Historic Environment.”⁸ The stated purpose of this chapter is to provide for, “The protection, enhancement, perpetuation, and use of buildings, structures, sites, objects, and districts, including archaeological sites, that are reminders of past eras, events, and persons important to local, state, or national history, or which provide significant examples of architectural styles of the past or area landmarks in the history of architecture, or which are unique and irreplaceable assets to the City and its neighborhoods, or which provide for this and future generations examples of the physical surroundings which past generations lived.”⁹

The IZO establishes the means by which the HCPC may designate historic structures and other resources and how they may be managed. It also establishes the procedures by which HCPC will:

- Review permit applications to construct or alter designated structures or structures in designated areas;
- Review applications for demolition permits; and
- Review applications to construct, alter, or demolish designated structures or structures in designated areas.¹⁰

The IZO also explains the powers and duties of the Historic and Cultural Preservation Committee (HCPC) and notes that both the HCPC and the Planning Commission may consider a joint hearing on a proposed project if both bodies require discretionary actions to address the project proposal.¹¹

As an extension of the General Plan efforts, it is intended that the IZO’s chapter on historic preservation will be updated to implement the latest provisions of the General Plan update.

PLANS, STUDIES AND SPECIAL DISTRICTS

Over time special plans have been developed in Petaluma that are typically applied to specific geographic areas and address specific planning goals or special conditions in the city. They are described below as they relate to the Overlay proposals and conditions around the Overlay Subareas. Note that these plan(s) may be implemented with specific policies, development regulations, and/or design guidelines, including the *Historic Resources Background Report*, which was prepared for the *General Plan Update*; the *Station Area Master Plan*; the *Central Petaluma Specific Plan*; and the *Petaluma River Access Plan*. They are discussed beginning with the most recent document.

⁷ “Historic Resources Background Report,” *City of Petaluma General Plan*. Prepared for the City of Petaluma. Prepared by Page & Turnbull, June 16, 2022.

⁸ Chapter 15, *Preservation of the Cultural and Historical Environment – Petaluma Implementing Zoning Ordinance*, December 19, 2022, <https://petaluma.municipal.codes/ZoningOrds/15>, accessed July 2023.

⁹ Ibid, 2022:15.020 (A).

¹⁰ Ibid, 2022:15.050, 15.060, and 15.070.

¹¹ Ibid, 2022:15.020 (D).

Historic Resources Background Report

The *Historic Resources Background Report*, which was prepared for the *General Plan Update* in 2022, provides a brief historic context for Petaluma, followed by the regulatory framework that applies to historic resources from a national, state, and local perspective.¹² This includes discussions of Petaluma's primary plans, guidelines, and regulations that guide and govern Petaluma's historic resources. It also provides a catalogue of existing designated historic resources and past efforts to identify historic resources through survey processes. The study also defines potentially eligible resources, which are resources that have been identified through alternative survey processes, such as Section 106 reviews, and may be candidates for evaluation and listing in local or other historic registers or resources that may become eligible for listing in a register once they are 50 years of age.¹³

Key findings of this report include the statement that, "While Petaluma has a strong foundation built into its preservation planning program and regulatory framework, including the current General Plan, there is room for improvement that will ensure that Petaluma can retain its remarkable community character and historic resources even as the City is further developed within its Urban Growth Boundary."¹⁴ The study recommends mechanisms whereby Petaluma's historic preservation policies are better implemented and its regulatory framework with respect to historic resources strengthened. Of potential relevance to this HCRR is the suggestion that *potential* historic resources affected by proposed projects be reviewed in accordance with the Secretary of the Interior's Standards, not just reviewed if they are already designated historic resources.¹⁵ It also recommends that a Certificate of Appropriateness (COA) process be applied throughout the City of Petaluma and not just in the CPSP area for consistency and clarity in the process. The study notes, "Careful consideration of potential impacts to historic resources will be critical given the focus of the General Plan on infill development and increased density within the Urban Growth Boundary."¹⁶ It is also suggested that policies be established to implement objective design standards for infill development within or adjacent to historic districts or sites containing historic resources."¹⁷

The study also recommends strengthening or creating incentive programs for historic preservation and augmenting existing incentive programs for rehabilitation and adaptive reuse and recognizing and protecting Petaluma's cultural or intangible heritage, in addition to its built environment.

In conjunction with the *Historic Resources Background Report* is a map of "Age-Eligible Properties In & Around Historic Districts" which is presented in Figures 6 and 7. The properties in this map are identified as Currently 76-181 Years Old (1840-1945); Currently 50-75 Years Old (1946-1971); Currently 45-49 Years Old (1972-1976); and Currently Less Than 45 Years Old (1977-2019). Two properties within Overlay Subarea A are identified as currently 50-75 years old and therefore age-eligible for consideration for listing at this time, and one is identified as in the 76-181 years old category and therefore age-eligible for listing. In Overlay Subarea B, one property is age-eligible, as it was constructed in 1962, and one is just short of age-eligible, as it was constructed in 1976. In Overlay Subarea B, 16 of the buildings are age-eligible, as they are 50 years of age or older, one is not age-eligible, and one is not dated.

¹² "Historic Resources Background Report," 2022.

¹³ Ibid.

¹⁴ Ibid., 2022:3.

¹⁵ Ibid., 2022:4. Note that CEQA provides for the evaluation of resources not previously identified as historic in conjunction with a proposed project.

¹⁶ Ibid., 2022:5.

¹⁷ Ibid.

Figure 6: Age-eligible properties in and around the historic districts
Source: Historic Resources Background Report, 2022

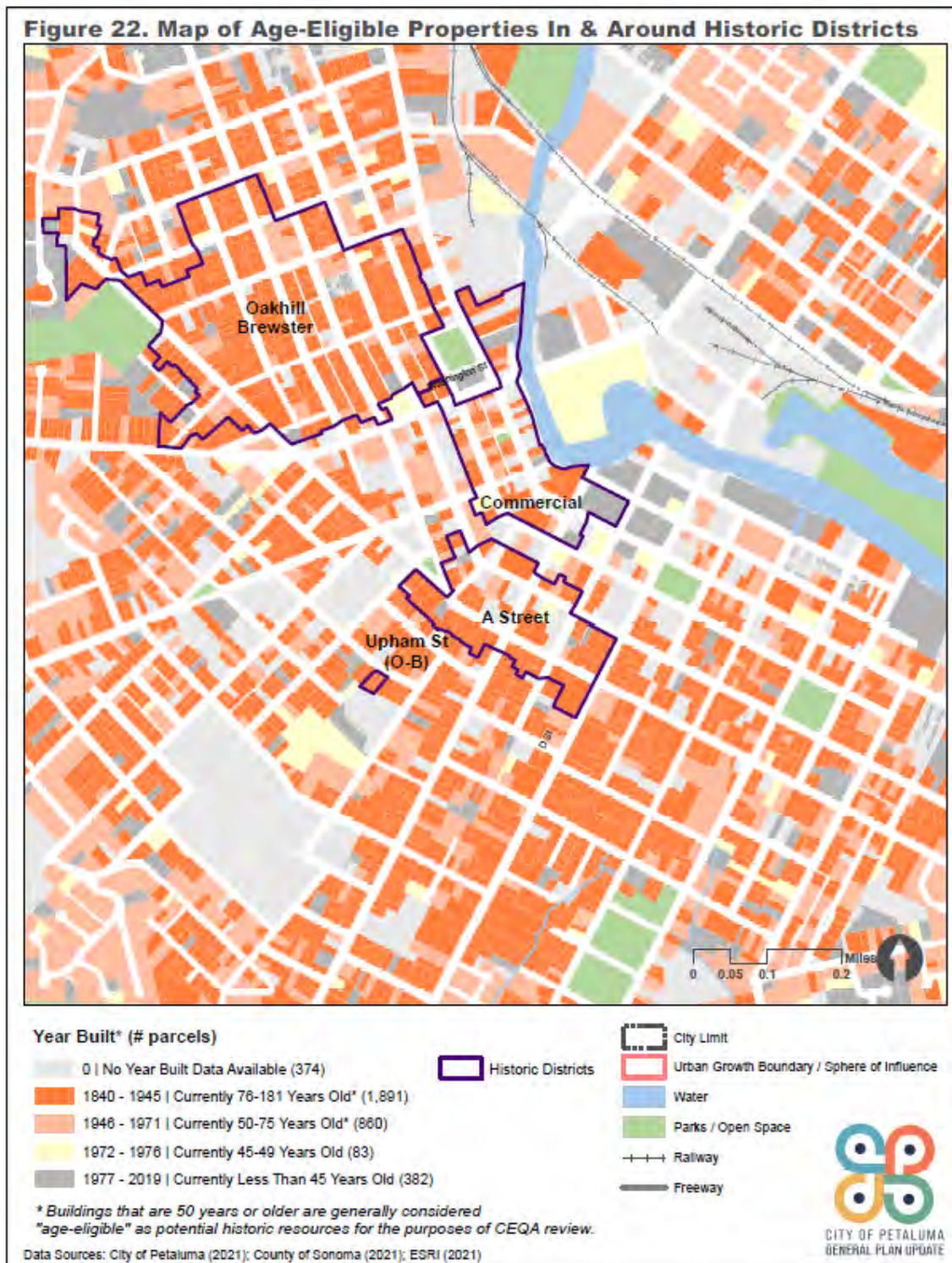
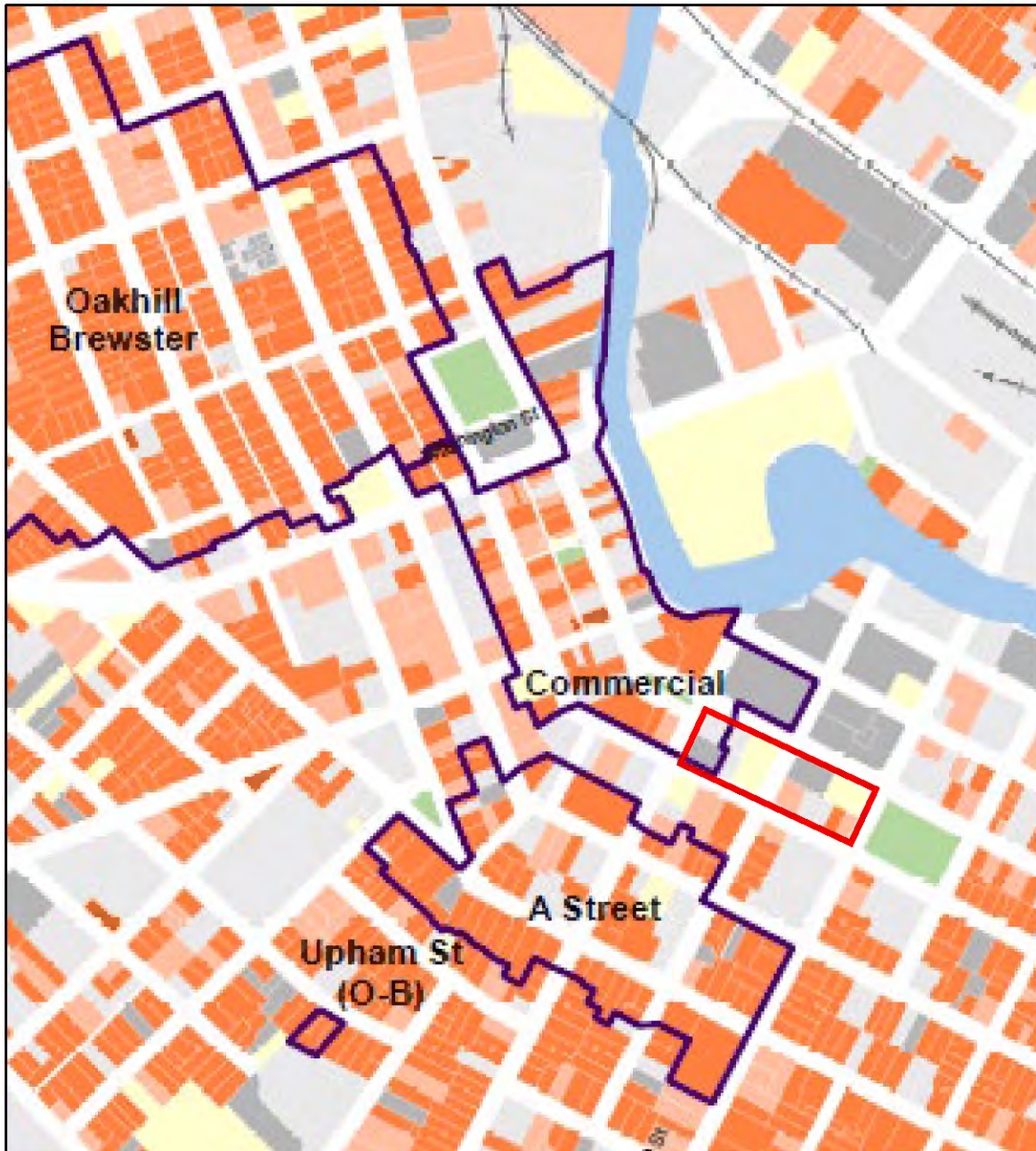


Figure 7: Age-eligible properties in and around the historic districts, excerpt showing Overlay A in red for reference

Source: Historic Resources Background Report, 2022



Station Area Master Plan

The 2013 Petaluma *Station Area Master Plan* provides guidance for future development of the areas around Petaluma's two stations that serve the SMART train commuter rail line. It provides background information in such areas as market demand, housing, pedestrian and streetscape planning, parking, and financial incentives. It also includes a chapter on historic preservation (Chapter 7: Historic Preservation) in the station areas. The station area that is in proximity to the Overlay Proposal is the Downtown Petaluma Station, which is on the east side of the Petaluma River, adjacent to the train tracks and Lakeville Street, between E. Washington and E. D streets. The half mile radius around the station and associated bus transit area, which is a planning threshold for the provision of housing, takes in all of the Overlay proposals and beyond (see Figure 8).¹⁸

The chapter provides background on Petaluma's historical resources and general history. It also provides recommendations for future preservation activities, which are based on the extensive public outreach conducted for development of the plan, including input from citizen and technical advisory committees and interviews with city staff. It also provides information on funding sources and preservation incentives. Among the prioritized recommendations are to conduct a comprehensive, city-wide survey and inventory of historic or potentially historic properties in the station area and to develop a historic context statement. The chapter notes that areas with a higher potential for redevelopment should be prioritized for surveys, if funding is not available to do a comprehensive survey. Formal surveys may also be requested for specific overlay areas or subareas.

Establishing a Mills Act program and pursuing Certified Local Government status are goals that may generate additional revenue for the city and citizens, according to the plan, for pursuing future historic preservation activities. The administrative procedures for designating and administering the city's historic preservation process are outlined.

The document also discusses the intent and scope of the design guidelines that apply to Petaluma's historic districts. The *Historic Commercial District Design Guidelines* are the guidelines most relevant to the overlays. The plan suggests that they also apply to infill development designed to fit with surrounding historic buildings.¹⁹ The portions of other planning documents that are relevant to historic preservation planning in the downtown station area and beyond are also summarized. A number of the goals that are summarized as part of this review of applicable planning documents are also repeated as a part of this station area planning document. Finally, the document lists all the relevant policies and programs from the General Plan 2025 (adopted in 2008 and updated in 2021) that are relevant to historic resources in the city.

The plan summarizes conditions, goals, and possible incentives for historic preservation that have been provided in other planning documents prepared for the City of Petaluma over time and does not contribute many new suggestions. An exception is the recommendation that the *Historic Commercial District Design Guidelines* be applied to new infill construction.²⁰

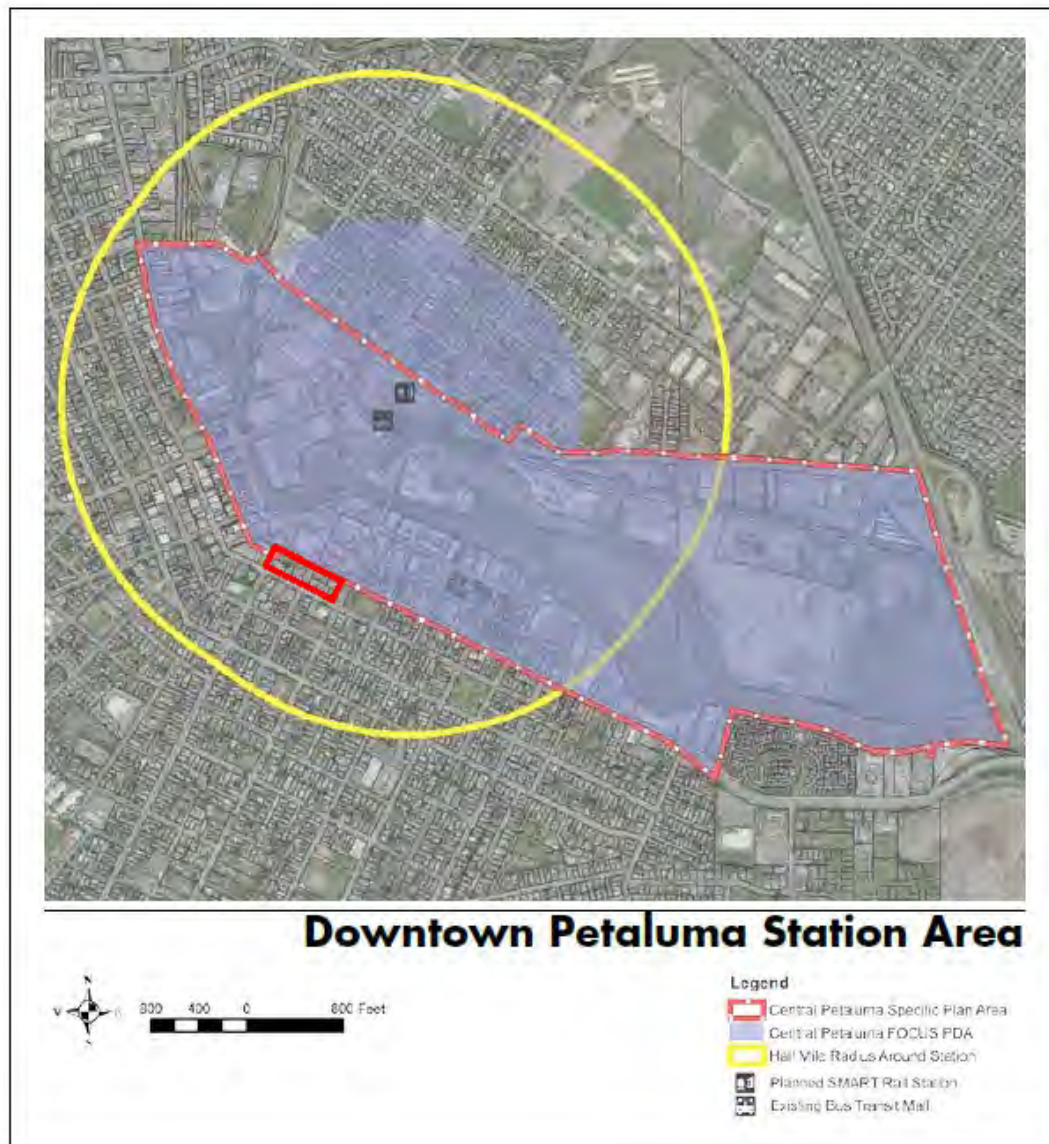
¹⁸ *Petaluma SMART Rail Station Areas: TOD Master Plan, Station Area Master Plan*. Prepared for City of Petaluma, CA. Prepared by Opticos Design, Inc., et. al, June 2013.

¹⁹ Ibid, 2013:7-14.

²⁰ Ibid.

Figure 8: Petaluma Downtown Station Area planning area showing Overlay Subarea A in red for reference

Source: City of Petaluma Downtown Station Area Plan



Central Petaluma Specific Plan

The *Central Petaluma Specific Plan* (CSPS) was developed over an approximately six-and-one-half year period with extensive public involvement and was adopted in June 2003.²¹ The plan, which includes background information, policies, development regulations and design guidelines, was intended to “examine the existing conditions and future potentials of largely underutilized urban land comprising nearly 400 acres from the Highway 101 Bridge on the south to the Lakeville Bridge on the north.”²² The western boundary of the plan area follows the east side of Petaluma Blvd. North/South (see Figure 9). The subarea closest to Overlay A is the Turning Basin Area, which extends from E. Washington to D Street on both sides of the Petaluma River. Historically, this area reflected the same characteristics that were present in Overlay A and the immediately surrounding area in the same time frame (the early-to-mid-20th century) along Petaluma Blvd. South. It contained auto-oriented uses from garages to automobile sales to gas stations. Unlike the west side of Petaluma Blvd. South, however, agriculturally oriented uses were located along the river, including The Great Mill at Petaluma Blvd. North and B Street. The agriculturally oriented uses in this subarea were found primarily in buildings along the Petaluma River, mainly warehouses, that took advantage of river and railroad transportation and in the mills in the area.

The historic character of the individual subareas is described in the CPSP and individual historic resources are listed, based on a survey of the plan area. The historic preservation and design goals of the Turning Basin subarea are somewhat outdated as a result of the destruction of many historic resources in the area in conjunction with the development of Theatre Square (exceptions are Bar Ale and Sanderson Ford). However, the regulatory framework provided by the CPSP, which was developed with extensive public input, remains valuable and may be amended in the future to reflect current conditions.

The plan also includes a SmartCode, a form-based code intended to guide development of the CPSP plan area.²³ The SmartCode includes “Section 7 – Historic Resource Conservation & Preservation,” which provides standards that are “intended to protect sites and structures identified by the community as culturally and/or historically significant, that contribute to Petaluma’s character and identity, and that should be preserved and/or restored.”²⁴ This section also provides for a Certificate of Appropriateness (COA) process that may be valuable as applied to the preferred overlay and other historic districts in Petaluma. Of particular interest is the provision that requires COAs for non-contributing properties in addition to contributing historic properties. Other provisions of this code, which address demolition, demolition by neglect, and adaptive re-use, may be useful in other historic districts and as applied to individual historic resources, as it provides another layer of protection for historic resources.²⁵

²¹ The plan was adopted by resolution 2002-105 N.C.S. on June 2, 2003.

²² City of Petaluma, *Central Petaluma Specific Plan*, June 2, 2003:3.

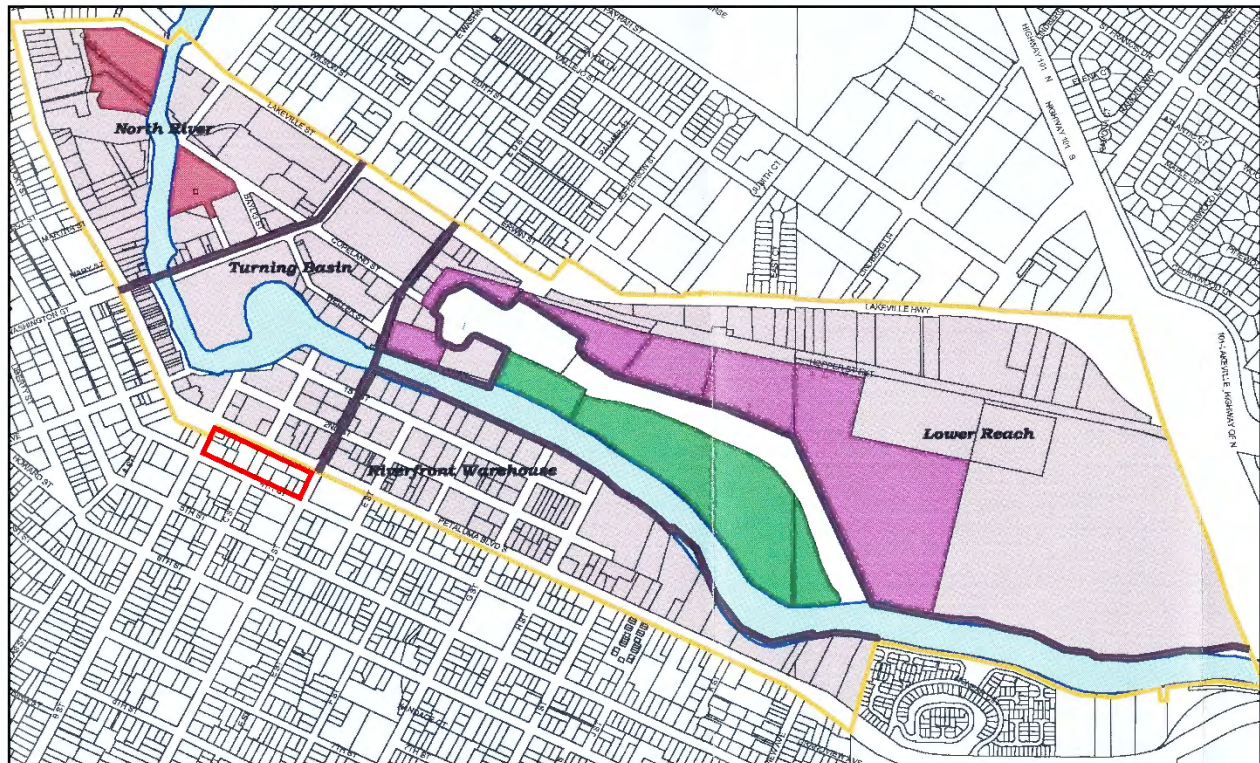
²³ “Appendix “A”, SmartCode,” *Central Petaluma Specific Plan*, June 16, 2003.

²⁴ “Historic Resources Background Report,” *City of Petaluma General Plan*. Prepared for the City of Petaluma. Prepared by Page & Turnbull, June 16, 2022:22.

²⁵ *Ibid.*, 2022:23.

Figure 9: Central Petaluma Specific Plan sub-areas, showing Overlay Subarea A in red for reference

Source: City of Petaluma Central Petaluma Specific Plan



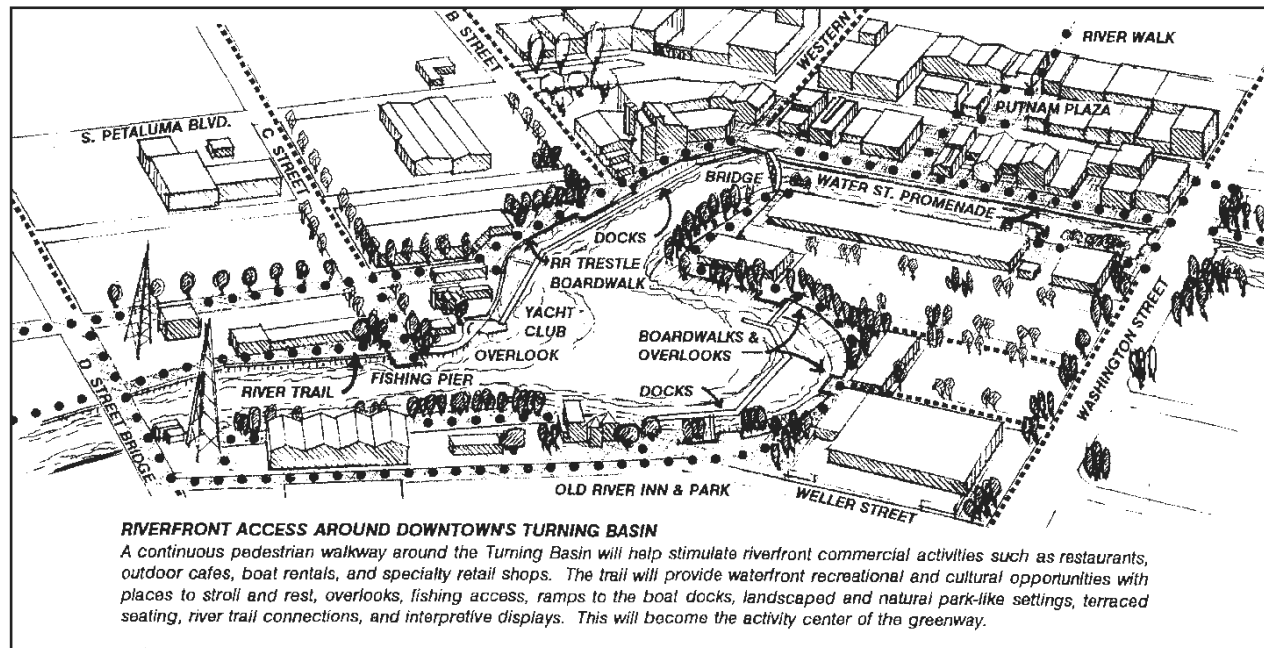
Petaluma River Access Plan

The 1996 *Petaluma River Access and Enhancement Plan* was developed to articulate Petaluma's vision for the Petaluma River, including its riverfront uses, activities, and developments. It also included the means and financial incentives to implement the vision.²⁶ While Overlay A is not directly on the river, it is located one block from the Downtown Segment of the Plan Area and may benefit from guidelines that have been put in place to improve access to the river and enhance and activate the spaces in this area. While the plan provides guidelines for establishing new uses for historic buildings that respects the historic building stock, their effectiveness have been diminished with the development of Theatre Square, for which demolition of a significant portion of the historic building stock in this area occurred. Nonetheless, the guidelines are useful and may be beneficial for envisioning improved connections to the Petaluma River from the Overlay Subareas.

²⁶ City of Petaluma, *Area Plan, Petaluma River Access and Enhancement Plan*, May 1996.
<https://cityofpetaluma.org/documents/river-access-and-enhancement-plan/>, accessed July 2025.

Figure 10: Riverfront Access Plan at the Turning Basin, showing former gas station site for reference

Source: City of Petaluma River Access Plan



HISTORIC DOWNTOWN COMMERCIAL DISTRICT

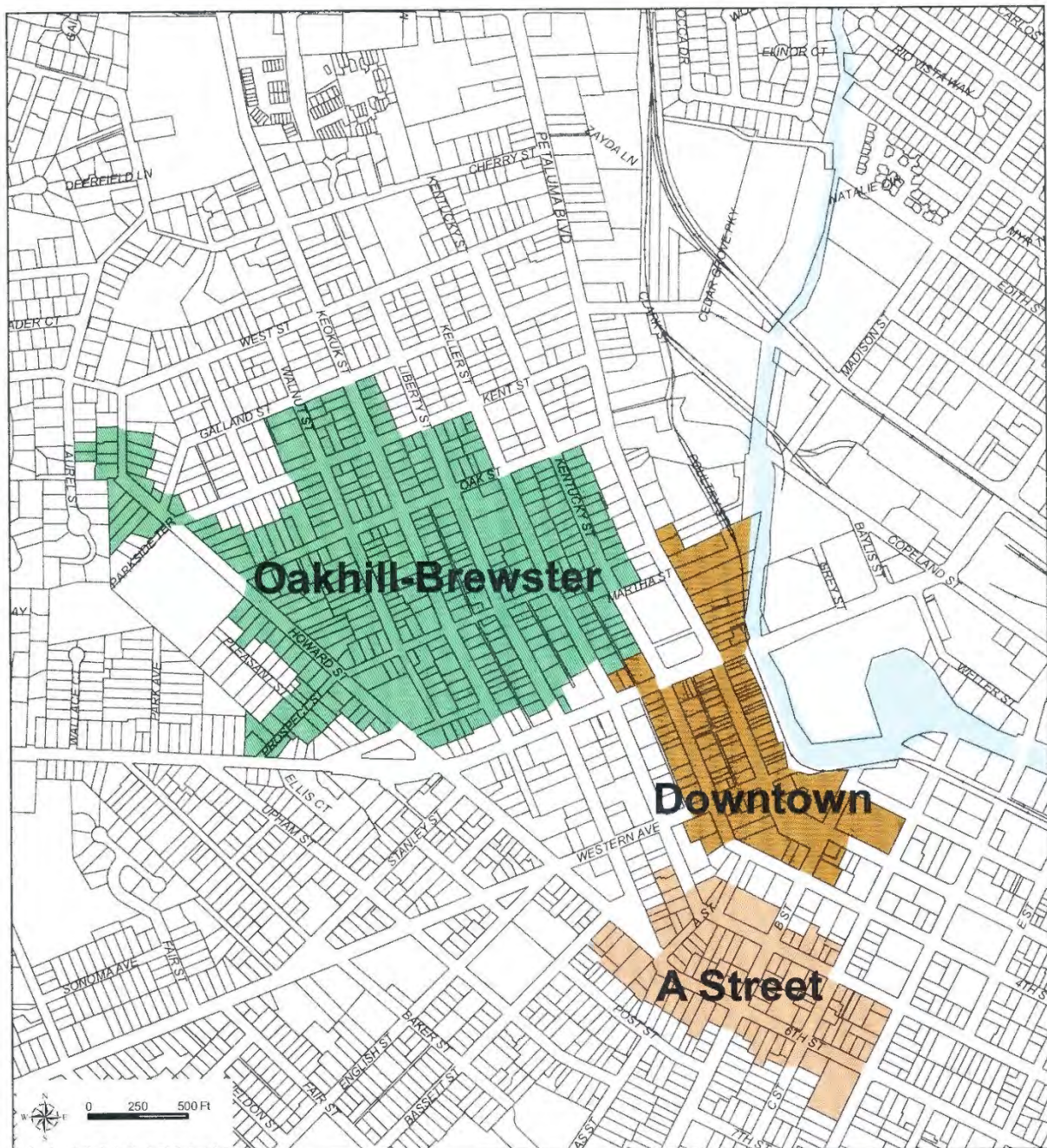
Petaluma's Historic Districts

Petaluma has essentially three historic districts: the 1995 Petaluma Downtown Commercial District, which is both a National Register of Historic Resources historic district and a local historic district; the 1989 "A" Street Historic District, a local district; and the 1986 Oakhill-Brewster Historic District, also a local district. The "A" Street and Oakhill-Brewster historic districts are both primarily residential districts and are governed by design guidelines.²⁷ Proximities from the Petaluma Downtown Commercial District to the Overlay Subareas will be discussed in greater detail here than proximities between the Overlay Subareas and the residential historic districts, due to the potential of redevelopment to have a greater effect on the Petaluma Downtown Commercial District than the neighboring residential districts.

²⁷ City of Petaluma, "A" Street Historic District Preservation Guidelines and Standards, October 1986; City of Petaluma, Oakhill-Brewster Historic District Preservation Guidelines & Standards, April 1990.

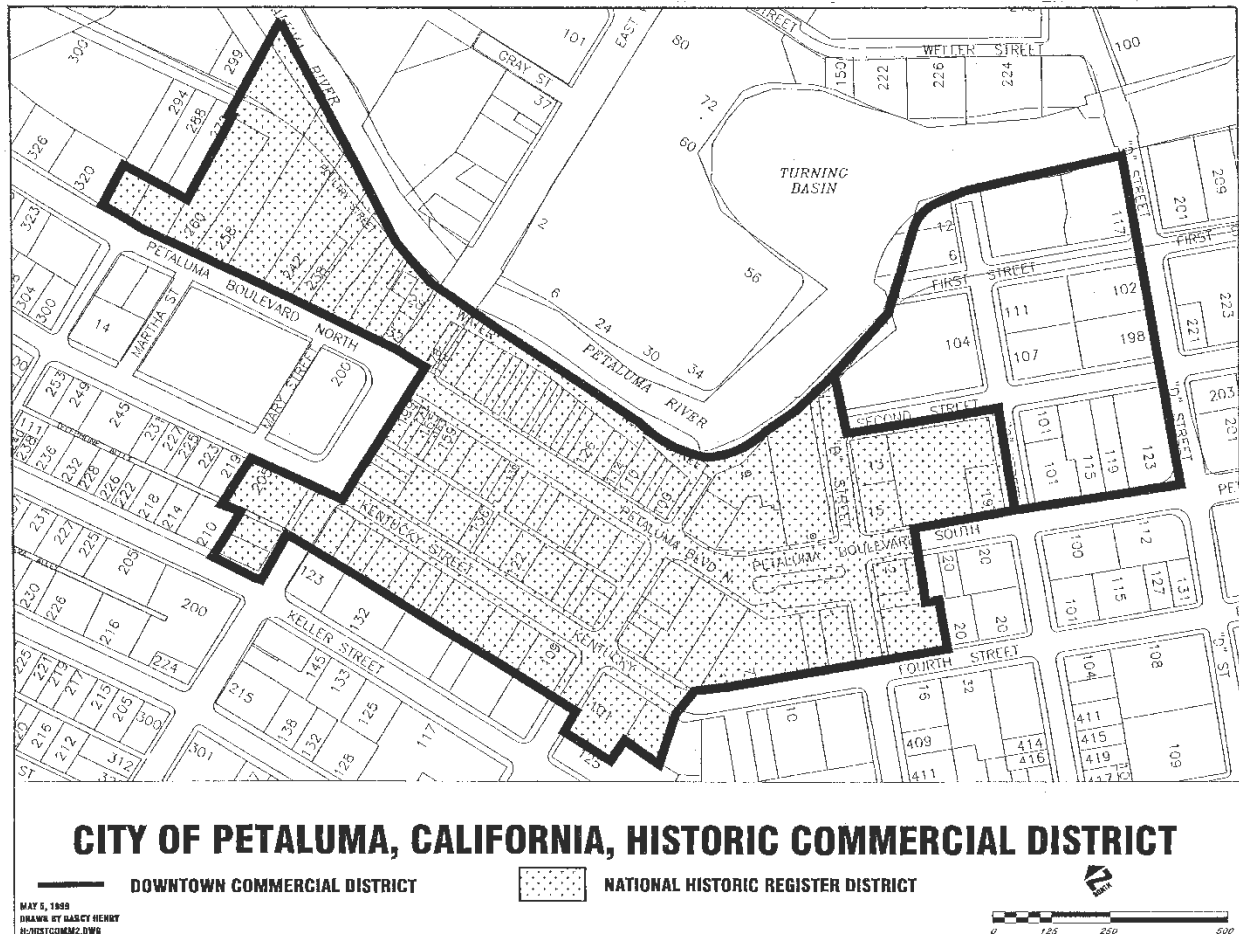
Figure 11: Petaluma's Historic Districts²⁸

Source: City of Petaluma



²⁸ See Figure 4 for a map of the Overlay Subareas in juxtaposition to the historic districts.

Figure 12: Petaluma Historic Commercial District
Source: City of Petaluma Historic Commercial District Design Guidelines



Petaluma Historic Commercial District

The 1995 Petaluma National Register Historic District is largely coterminous with the local Downtown Commercial District, with the exception that the Downtown Commercial District extends approximately three blocks further south/southeast of the National Register district, taking in the potential historic resources at 6 C Street, a two-story house-turned-office, and at 198 E. D Street, the Art Deco Petaluma Fire Station. Collectively, the two districts are referred to as the Petaluma Historic Commercial District and are governed by the *Petaluma Historic Commercial District Design Guidelines*,²⁹ which were adopted under Ordinance No. 2097 in 1999.³⁰

At the time the National Register nomination was drafted, the proposed district contained 99 resources, 64 of which were contributing, 35 that were non-contributing, and 14 were empty parcels. The period of

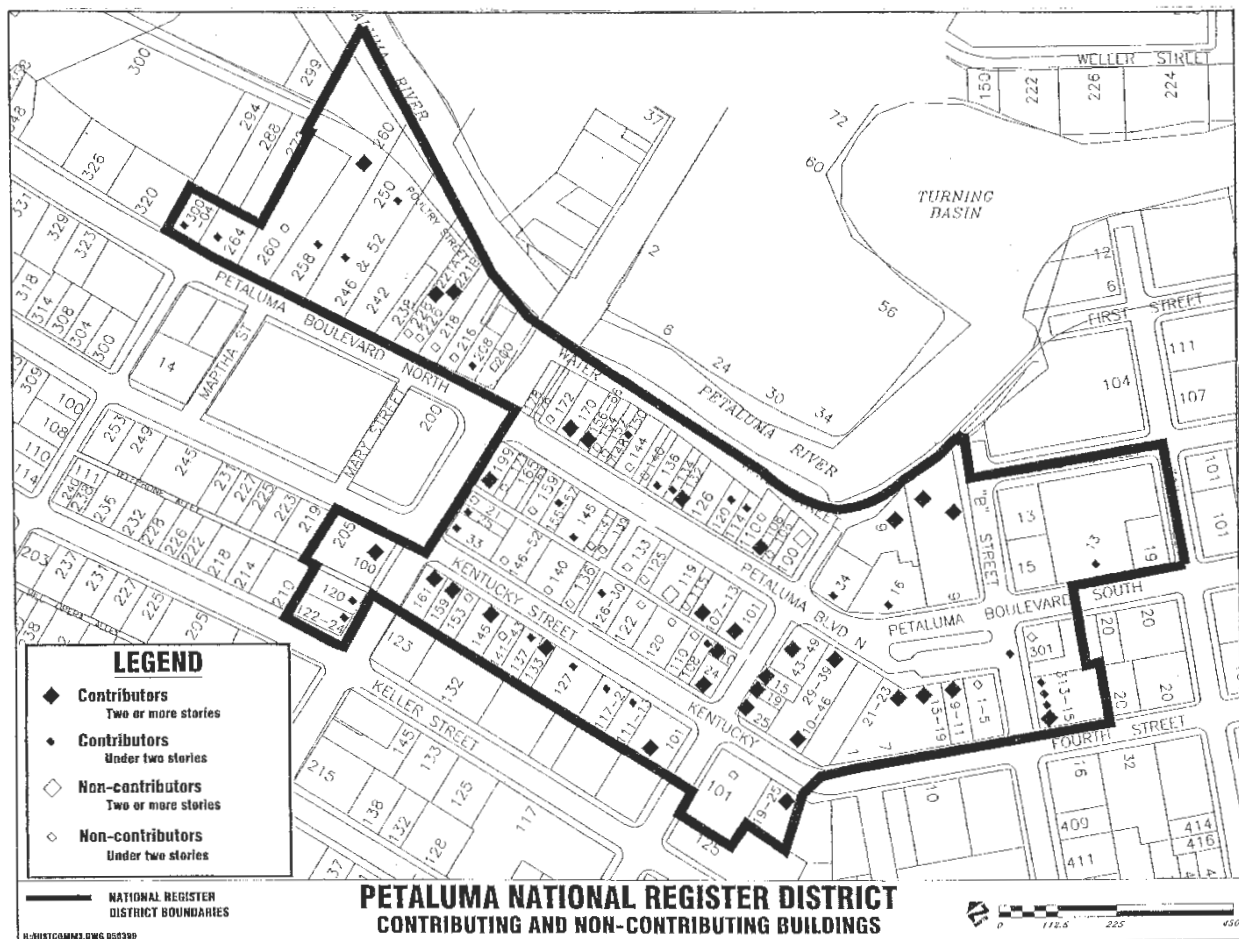
²⁹ City of Petaluma, *Petaluma Historic Commercial District Design Guidelines*, 1999.

³⁰ City of Petaluma, "Ordinance No. 2097, Amending Zoning Ordinance No. 1072 N.C.S., as amended, by Applying an Historic Overlay Zoning District to Parcels within the Petaluma Downtown Commercial District and Amending Article 17, Preservation of the Cultural and Historic Environment, of the Zoning Ordinance," October 7, 1999.

significance is 1854 to 1945. The significance of the historic district was defined as follows: "The Petaluma Historic Commercial District represents the development of commerce in the city from the mid-nineteenth century to the end of World War II. It also provides a diverse and well-designed collection of commercial buildings, the architectural importance which is unmatched in Sonoma County. Although the district has changed its appearance somewhat since 1945, it retains a high degree of architectural integrity and maintains its associations to the historic period."³¹

Figure 13: Contributing and non-contributing properties in the Petaluma Historic Commercial District

Source: City of Petaluma Historic Commercial District Design Guidelines



Three parcels within Overlay Subarea A are within the National Register Historic District. Two are within the Hotel Development Site. This property is shown as non-contributing in the "Contributing and Non-contributing Buildings" map that is included in the Design Guidelines document, because at the time the guidelines were adopted, the site was occupied by a modern service station.³² However, the building was

³¹ Donald S. Napoli., *Petaluma Historic Commercial District National Register of Historic Places Nomination*, November 2, 1994:27.

³² City of Petaluma, *Petaluma Historic Commercial District Design Guidelines*, 1999.

demolished ca 2009 and the site has subsequently been vacant, so this is no longer the case. The third site within Overlay Subarea A that is within the National Register Historic District is the site occupied by Rex Ace Hardware at 313 B Street. This site is shown as contributing to the historic district. However, Rex Ace Hardware burned in 2006 and was replaced in 2007. As a result, the building is non-contributing to the National Register Historic District today. The site was historically made up of incrementally developed wood buildings. The replacement for the main portion of the site was constructed as one individual building of Hardiplank synthetic wood. As a result, it is not a true reconstruction as defined by the National Park Service's Secretary of Interior's Standards and is therefore not a historic resource today. Nonetheless, the site is culturally important in the city of Petaluma and is valued for this reason.

One parcel within Overlay Subarea B is in the National Register Historic District. It is occupied by Chase Bank today. The construction of Chase Bank occurred outside the period of significance for the historic district. As a result, it is not contributing to the historic district.

No sites within Overlay Subarea C are within a historic district.

Figure 14: Rex Ace Hardware viewed from B and 4th streets, 1993
Source: Petaluma Camera Club



Figure 15: Rex Ace Hardware today, 2023

Photo by Diana Painter



HISTORIC CONTEXT

Overview

The following brief overview of Petaluma's history is adapted from the *Petaluma Station Area Master Plan*. Petaluma was incorporated in 1858. The city got its start supplying game and other foodstuffs to San Francisco, which was settled after the California gold rush of 1848 and began to grow exponentially. This fact, along with Petaluma's rich agricultural lands and the presence of a navigable river, made it an active shipping hub for potatoes, hay, fruit, grain, and dairy products. In 1871 the city was linked to Santa Rosa and Tiburon by the San Francisco and Northern Pacific Railroad. The combined efficiency of river and rail shipping led to significant growth in the city's population and economy. In 1879, Petaluma resident Lyman Byce invented the first reliable incubator, which revolutionized the egg industry and gave Petaluma worldwide recognition as, "The World's Egg Basket." The city's historic downtown commercial district, which was adopted as a National Register Historic District in 1995, has survived through modernization, a freeway bypass, and an earthquake and continues to maintain its position as the major commercial, financial, and retail center of Petaluma.³³

³³ *Petaluma SMART Rail Station Areas: TOD Master Plan, Station Area Master Plan*. Prepared for City of Petaluma, CA. Prepared by Opticos Design, Inc., et. al, June 2013:7-4. Note that additional historic context materials are in the *Historic Resources Background Report*.

Figure 16: Aerial view of Petaluma in 1969, arrow pointing to Hotel Development Site

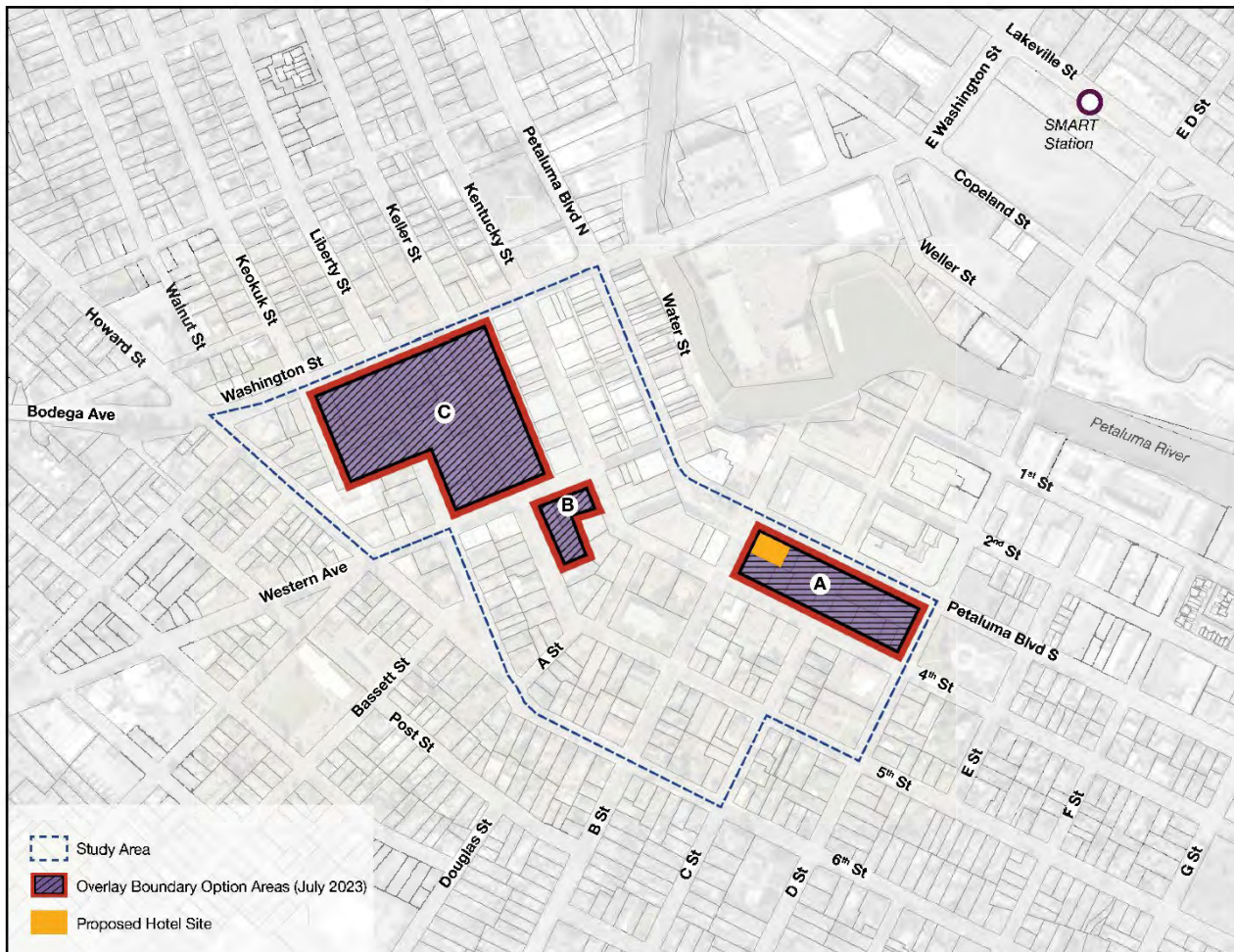
Source: Sonoma County Library



The three Overlay Subareas, A, B and C, are located within the Study Area and Overlay Boundary Area that was presented in the May 17, 2023 report, *Petaluma Downtown Overlay Proposal* (see Figure 3). Overlay Subarea A is located south of the heart of downtown Petaluma and the Petaluma Downtown Commercial Historic District. It is bounded by Petaluma Blvd. South to the east, D Street to the south, 4th Street to the west, and B Street to the north. Overlay Subareas B and C are located south of the Oakhill-Brewster Historic District and north of the “A” Street Historic District; both are west of the Petaluma Historic Commercial District (see Figure 4). Petaluma’s Downtown Commercial Historic District is best known for its iconic cast-iron district. Within this centrally located block between Petaluma Blvd. North, Western Avenue, Kentucky and 4th streets, and B Street, can be seen such local landmarks as the McNear Building and Mystic Theater, the Mutual Life Building, and the Masonic Building. Across Petaluma Blvd. North in this vicinity is the historic Great Petaluma Mill (G. P. McNear Co., Hay Grain & Feed) and Sanderson Ford, which is directly across the street from the Hotel Development Site. Overlays B and C are located between Oakhill-Brewster to the north and “A” Street, both residential historic districts, to the south. They are both located west of the Petaluma Historic Commercial District.³⁴

³⁴ See below for additional details on Overlays B and C.

Figure 17: Map showing proposed Overlay Subareas A, B and C³⁵
Source: EKN Development and Page, July 2023



OVERLAY SUBAREA

History of Overlay Subarea A

Note that Block 63, as referred to in the following discussion, is the block bounded by Petaluma Blvd. South, C Street, 4th Street, and B Street, and is just south of downtown Petaluma. Block 64 is bounded by Petaluma Blvd. South, D Street, 4th Street, and C Street and is south of Block 63.

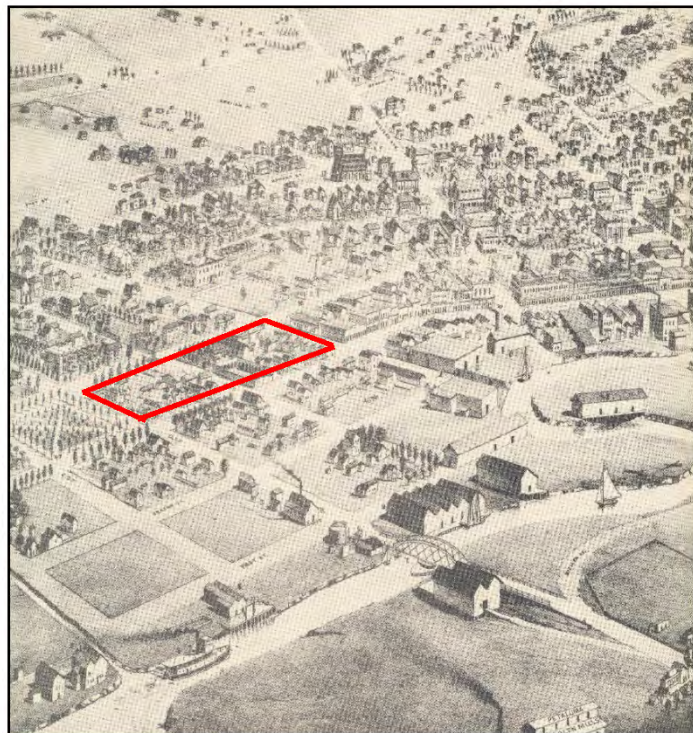
The land use history of the two blocks in Overlay Subarea A can be found in historical maps, including Sanborn Fire Insurance maps. The 1871 bird's-eye view of Petaluma shows that Block 63 contains primarily residential uses, with the exception of a few commercial buildings facing B Street. Block 64 was more densely developed, with large houses that were one-and-one-half to two-stories in height.³⁶

³⁵ See Figure 4 for the Subareas in relationship to the historic districts.

³⁶ Bird's-Eye View of the City of Petaluma, Sonoma County, California, 1884 (map).

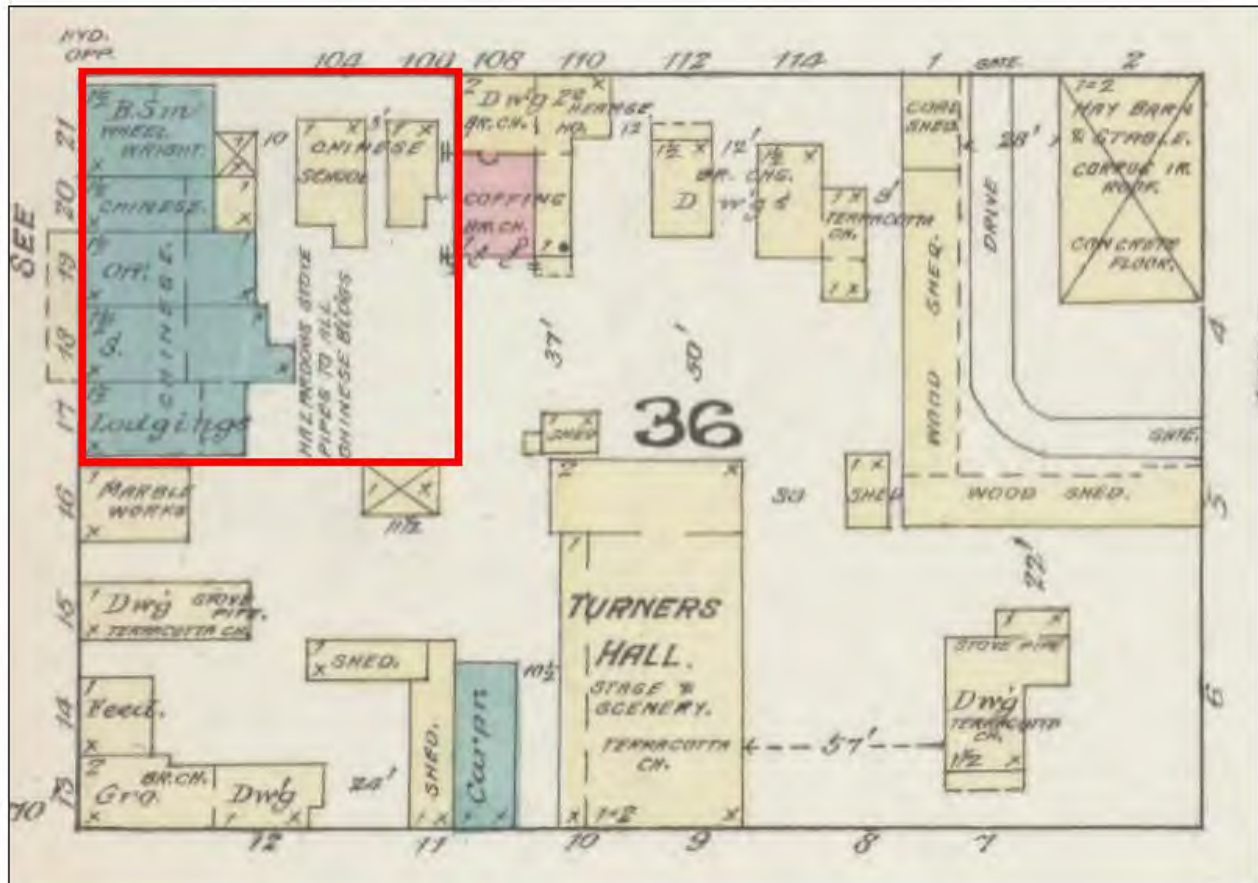
By 1884 Block 63 was very densely developed, with a series of gabled buildings facing B Street (the location of Petaluma's Chinatown), the Chinese School, and a large, enclosed courtyard in the southeast corner that contained John A. McNear's hay barn and stables. The courtyard enclosure comprised long narrow woodsheds and a coal shed. Block 64 to the south was primarily residential in character, with several stables. By 1888, Petaluma's Chinatown was gone, although the Chinese School was still present.³⁷ Also by this time, McNear's Stock Yard was clearly delineated in the northwest quadrant of Block 2 (where Foster's Freeze would be located in the future) and included a series of stables.

Figure 18: Petaluma in 1884, showing Overlay Subarea A in red for reference
Source: Petaluma Sonoma Co. Cal.



³⁷ Sanborn Fire Insurance maps, 1883, 1885, 1888, 1894, 1906, 1910, 1919, 1923, 1923, 1969, 1955, 1965.

Figure 19: Petaluma's Chinatown in 1885, Hotel Development Site is denoted by red outline
Source: Sanborn Fire Insurance map

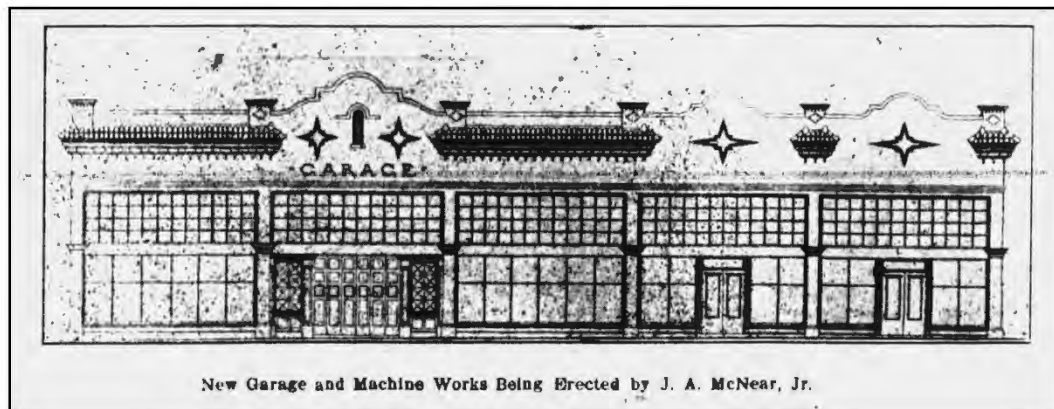


The Chinese, as well as other Asian immigrants, came to California in great numbers to participate in the 1848 gold rush. As this work became less lucrative, many Chinese, who were the predominant immigrant group, became engaged in building the railroads, particularly the Central Pacific Railroad. As this work waned, the Chinese often migrated to urban centers, particularly to San Francisco, but also to smaller towns like Petaluma and also worked in agriculture. Facing increased anti-Chinese sentiment, the national 1882 Chinese Exclusion Act was passed, which precluded the immigration of Chinese laborers to the US. This legislation was preceded by the Federal 1875 Page Act, which paved the way for other national and California legislation. The Chinese Exclusion Act in its various forms remained in effect until 1943.

By 1894 the Chinese School had been converted to a Chinese Mission and single dwelling within Block 63, and McNear's hay barn and stables in Block 63 was now "J. McNear's Truck Stable." Within Block 64, J. McNear's extensive stables as well as a two-story brick harness room was located in the northwest corner of the block. A neat row of primarily 1-1/2 and 2-story residences occupied the east and south sides of the block.

Figure 20: John A. McNear's Garage at Petaluma Blvd. South and C Street, designed by Brainerd Jones

Source: Petaluma Argus-Courier, June 11, 1907, courtesy Terry Park, Petaluma History Museum & Research Library



By the time the 1910 Sanborn Fire Insurance map was published the land uses and buildings in Block 63 had begun the transition to auto-oriented uses (although a horse-shoeing shop remained), which would dominate the block in the 20th century. McNear had built his series of warehouses in the northeast corner of the block, the largest being a garage, which he had hired Petaluma's prominent architect Brainerd Jones to design. A gas station was located in the northeast corner (the Hotel Development Site), the first of several at this location over about a 100-year period (a wood and coal building also remained as a vestige of an earlier fuel business). Other uses on the block (in addition to the dance hall, a continuation of the earlier Turner Hall), were a vulcanizing business, a battery charging station, and an auto supply shop.

The transition to auto-oriented uses along both sides of Petaluma Blvd. South was complete by the time the 1923 Sanborn Fire Insurance map was issued. Among the uses in this four-block area were a used auto market, a motorcycle repair business, an auto painting shop, a battery shop, a machine shop with auto repair, a garage, two auto sales businesses, and four gas stations. Also present was a planing mill and lumber yard and two laundries, one a Chinese laundry. A few houses still existed.

Figure 22: Portion of Overlay Subarea A area in 1949 (Block 63), showing Hotel Development Site in red

Source: Sanborn Fire Insurance map

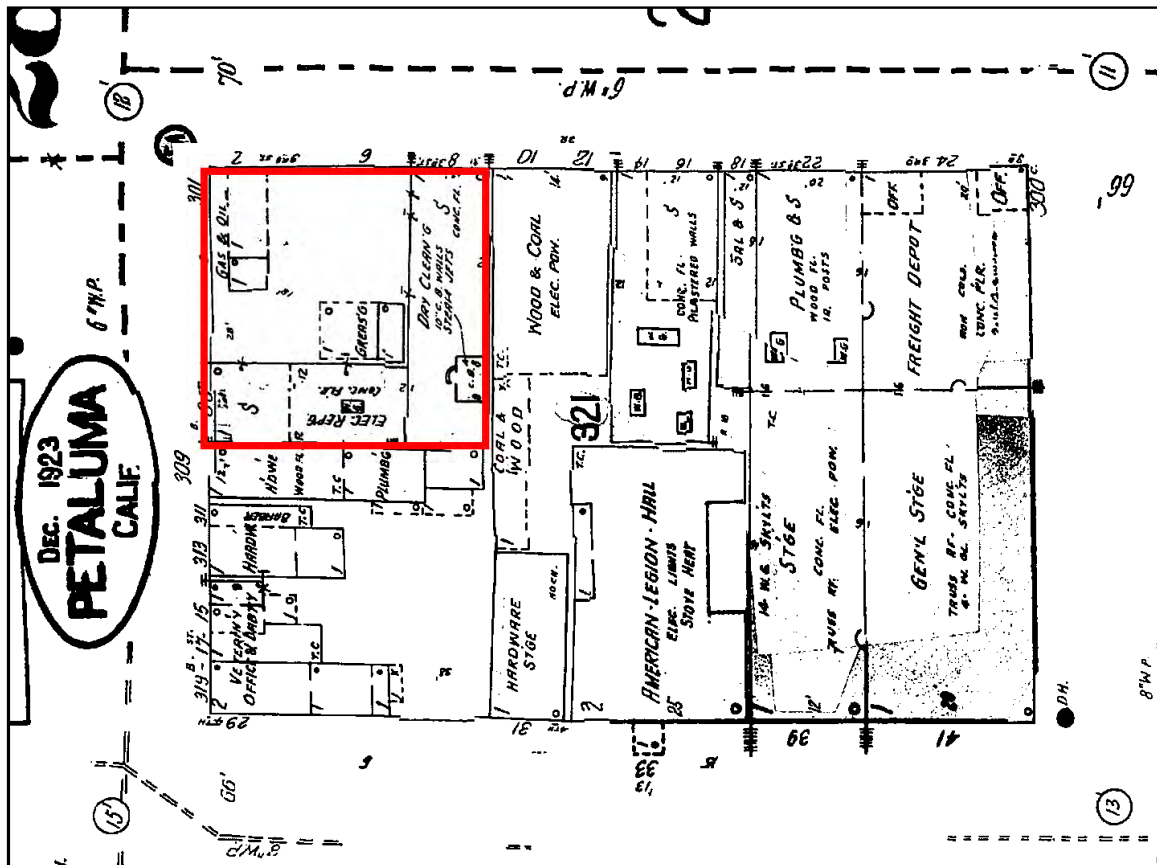


Figure 23: View of Overlay Subarea A (blue) and Standard Station (lower corner) and Hotel Development Site (red) in 1973

Source: Sonoma County Library



Existing Conditions in Overlay Subarea A

Figure 24 : Hotel Development Site in 2023, shown in red

Source: Google maps



Today the two-block overlay zone is occupied by the following built environment resources. Parcels in Overlay Subarea A that were either vacant or parking lots were not included in this table.

Table 1: Properties in Overlay Subarea A

Block/APN	Historic name	Current name	Use	Address	Date 1	Date 2
63-007	Northbay Savings and Loan	Bank of the West	Bank	20 Petaluma Blvd S	1974	
63-009; 008; 011	Kreger's Standard Station	Vacant	Vacant commercial	2 Petaluma Blvd S	1935	2009 demo.
63-012	Rex's Hardware	Rex's Hardware	Multiple stores in 1 structure	313 B St	No date	2007
64-002	Summit State Bank	Fidelity National Title	One story office bldg	100 Petaluma Blvd S	1979	
64-007	Lewis Medico-Dental Bldg	Compass Real Estate	One story office bldg	127 4TH St	1935	1949
64-005	Quinley's	Walnut Park Grill	Drive-in restaurant	131 4TH St	1954	
64-008	Foster's Freeze	Fourth & Sea Fish & Chips	Drive-in restaurant	101 4TH St	1950	
64-010	Seven-Eleven	Seven-Eleven	Multiple stores in 1 structure	112 Petaluma Blvd S	1977	

Figure 25: Parcel map for Overlay Subarea A



Three buildings are age-eligible; that is, they are over 50 years old and provided they have significance and retain integrity, may be historic resources (highlighted in gray in the above table). They are as follows.³⁸ Note that this table is a summary with limited information about these properties and is not intended to represent the findings of a reconnaissance-level survey.

The **Dr. Mark L. Lewis Medico-Dental Building** (127 4th Street) was built in 1935; an addition was constructed in 1949. The one-story Colonial Revival office building was considered “the last word in modernity” when constructed. The significance of the building may be as an early modern professional office building in Petaluma, or it could be significant for its association with Dr. Mark L. Lewis. The building retains excellent integrity.

³⁸ Note that information on the three age-eligible buildings was provided by Katherine J. Rinehart, Consulting Historian.



Dr. Lewis Medico-Dental Building, 2023

Photo by Katherine J. Rinehart

The **Foster's Freeze** restaurant site was previously occupied by the large, two-story stable where John A. McNear kept his draft horses within the McNear Corporation Yard. The stable was demolished in 1949. At the time the *Petaluma Argus-Courier* stated, "Old time stable with historic past in the process of being razed to make room for a modern drive-in ice milk products plant at Fourth and C Street." The Foster Freeze Old Fashion Products, Inc. was a chain established by George Foster in California in 1946 that prided itself on the quality of its milk products. Foster, who would eventually run all the restaurants as franchises, fashioned them after Dairy Queen and featured soft serve ice cream. As a mid-century drive-in restaurant, the significance of the building may be as a good example of roadside architecture in Petaluma. The building retains good integrity.



After 50 years in business Foster's Freeze became Fourth & Sea Fish & Chips
Courtesy The Good, The Bad and The Inedible Restaurant Reviews



Foster's Freeze building today
Photo by Diana Painter

Quinley's was built by Alvin Quinley as PDQ in 1952.³⁹ The PDQ on Walnut Park was the second location for the restaurant. The first opened in 1945 on Petaluma Blvd. South at I Street and is considered the first drive-in in the North Bay.⁴⁰ Quinley was a restaurateur who owned several fast-food restaurants in the Bay Area and a chain of Quinley's "good food" restaurants in Petaluma, Santa Rosa and Marin.⁴¹ Grandson Alvin Cooper restored the building about 1991 and re-named the PDQ "Quinley's." Quinley's closed in 2004 when Joe Cooper, Alvin Cooper's brother and business partner, was diagnosed with cancer. It re-opened as the Walnut Park Grill about 2004, which closed in 2020. As a mid-century drive-in restaurant, the significance of the former Quinley's may be as a good example of roadside architecture in Petaluma. The building retains good integrity.

Figure 26: Quinley's in 1994

Photo courtesy the Petaluma Argus-Courier



³⁹ The PDQ on Walnut Park was the second location for the restaurant. The first opened in 1945 on Petaluma Blvd. South.

⁴⁰ Corey Young, "Remembering Joe Cooper, the man behind the Quinley's counter," *Petaluma Argus-Courier*, November 29, 2006.

⁴¹ Ann Frantz, "Quinley's carries on PDQ '50s tradition," *Petaluma Argus-Courier*, June 21, 1994.



Quinley's became the Walnut Park Grill in 2006
Photo courtesy the Petaluma Argus-Courier

Connie Williams of the Sonoma County Library wrote in 2023 that, “The last remnants of drive-in culture were seen in Petaluma with Foster’s Freeze and PDQ continuing the tradition.”⁴² Now both businesses are closed and the buildings remain shuttered.

Hotel Development Site

The Hotel Development Site at 2 Petaluma Blvd. South was occupied beginning in the late 1800s by Petaluma’s Chinatown and Chinese School, which was later the Chinese Mission Church. This school/mission was no longer extant by 1906 and the site was occupied by a dwelling through at least 1910. The Sanborn Fire Insurance map of 1919 shows that the site was occupied by its first gas and oil station by that time, in addition to a cobbler shop and the dwelling.⁴³ This was the first in a series of gas stations on the parcel.⁴⁴ According to historian Terry Park, “A Union Oil station opened in 1917 and was replaced by a Standard/Chevron station in 1919. The station was demolished and rebuilt in 1935 and remained in business until 2008. This location boasted the longest operating gas station with 91 years in business.”⁴⁵ The building was demolished in 2009. The site remains vacant today.

⁴² Connie Williams, “Driving in and eating out Petaluma: 1950s and 60s,” (blog), *Sonoma County Library*, June 14, 2023.

⁴³ Sanborn Fire Insurance maps, 1883, 1885, 1888, 1894, 1906, 1910, 1919, 1923, 1923, 1969, 1955, 1965.

⁴⁴ An electrical repair shop and dry cleaners also occupied the site at mid-century.

⁴⁵ Personal communication, Terry Park, Petaluma History Museum and Research Library, July 12, 2023.

Figure 27: Hoot Kreger's Standard Station, located at the Hotel Development Site from 1964 to 1983

Courtesy Terry Park, Petaluma History Museum & Research Library



OVERLAY SUBAREA B

History of Overlay Subarea B

Overlay Subarea B is composed of a portion of a large block. It extends from Kentucky Street to Keller Street and is one parcel deep south of Western Avenue. The block between Kentucky and Keller Streets consists of Chase Bank (1962) and associated parking and a Wells Fargo Bank (1976) and a large parking lot.

The area that is occupied by Overlay Subarea B today was actually much more densely developed historically than it has been since about the late 1960s. The parcel at the corner of Kentucky Street and Western Avenue was occupied by a three story hotel from the mid-1850s until 1968, when the third version of what was by then called the New Continental Hotel burned.⁴⁶ The two-story building at the corner of Keller Street and Western Avenue, at the other end of the block, was occupied by various shops at the ground level over time and a social hall at the second level from about the turn of the century until

⁴⁶ Katherine J. Rinehart, *Petaluma, A History in Architecture*. Charleston, SC: Arcadia Publishing, 2005.

at least 1923. In the period from ca 1906 to ca 1949 what is the parking lot today along Keller was occupied by one or two businesses and two residences.⁴⁷

Figure 28: The New Continental Hotel at Kentucky and Western, looking southwest

Source: Sonoma County Library



⁴⁷ Sanborn Fire Insurance maps.

Existing conditions in Overlay Subarea B

Table 2: Properties in Overlay Subarea B

Block/APN	Historic name	Current name	Use	Address	Date 1	Date 2
51-024		Chase Bank	Bank	101 Western Ave	1962	
51-025		Wells Fargo Bank	Bank	125 Western Ave	1976	

One building is age-eligible; that is, it is over 50 years old and provided it is significant and retains integrity, may be a historic resource (highlighted in gray in the above table). Note that this table is a summary of limited information about these properties and is not intended to represent the findings of a reconnaissance-level survey.

Figure 29: Parcel map for Overlay Subarea B



The parcel on which the 1962 Chase Bank in Overlay Subarea B is located is within the Petaluma Historic Commercial District. While the Chase Bank building has the potential to be considered a historic resource, as it is over 50 years of age, it is not contributing to the Petaluma Downtown Commercial District, because its construction date lies outside the period of significance for the district.

OVERLAY SUBAREA C

History of Overlay Subarea C

Overlay Subarea C is bounded by E. Washington Street on the north; the alley between Kentucky and Keller Streets on the east (this is also the boundary of the Petaluma Historic Commercial District); an extension of Keokuk Street (also seen as Court Street) on the north side of this boundary and Liberty Street on the south side; and Western Avenue on the south. It encompasses portions of Keller and Liberty streets. The major streets are E. Washington Street and Western Avenue, which trend west to east.

Overlay Subarea C is located east of the Kentucky Street shopping district, extending west as it does from the alley between Kentucky and Keller streets between Western Avenue and Washington Street. This block is Petaluma's primary shopping street on the west side, both historically and today. In the early 20th century, this area within Overlay Subarea C consisted primarily of residences and stables, although the Brooklyn Hotel, the City Livery Stable, Hill Opera House (still extant), the First M.E. Church, and Pepper Kindergarten also existed along Keller and Liberty streets.⁴⁸ These conditions were still in place in 1910.⁴⁹

By 1923, the half-block bounded Liberty, Washington and Keokuk (Court) streets was still occupied by large residences and the Pepper Kindergarten, but the stables along Court Street in 1910 had been replaced by residences or were vacant. In the one-and-one-half block area bounded by the alley between Kentucky and Keller streets and Liberty Street, a number of the houses were gone, replaced by commercial buildings or vacant land. The City Livery had been replaced by Vonsen's office and feed store (see Figure 30). One garage was located in the area.⁵⁰

Conditions were not dramatically different in the mid-20th century, according to the 1949 Sanborn Fire Insurance maps. Two one-story multi-family properties existed in the area, plus a combination of commercial/industrial and residential properties. Hill Opera House (now the California Theatre, still extant) and Pepper Kindergarten were still in place. Approximately 15 properties were vacant or had substantial open space (sometimes used for parking) around a building within the parcel.

Today the area is primarily known for one-story businesses, parking areas associated with the businesses, the two-story City of Petaluma Parking Garage, and the historic Phoenix Theater.

⁴⁸ 1906 Sanborn Fire Insurance map.

⁴⁹ 1910 Sanborn Fire Insurance map.

⁵⁰ 1923 Sanborn Fire Insurance map.

Figure 30: M. Vonsen Co. building by Brainerd Jones, now the City of Petaluma parking garage
Source: Sonoma County Library



Existing Conditions in Overlay Subarea C

Overlay Subarea C is composed of a mix of office and retail buildings, with a few parking lots associated with businesses and the city's three-story parking garage. There is one residence in the district that serves as a retail space. Most of the buildings date to the mid-20th century. The oldest building in the overlay, the Keller Professional Office Building, is attributed to 1910 which does not appear to be the correct, with its stacked brick finish. In 1910 the space housed a feed store and mill; in 1923 it was part of a wholesale eggs sales space; and in 1949 it held the offices for the *Argus-Courier* newspaper, which is a more likely an approximate construction date. Aside from the Argus-Courier building at 135 Keller Street and the late Victorian residence, the 1925 Phoenix Theater at 201-205 E. Washington Street is the oldest building in the overlay. It was re-named the California Theatre sometime after 1924 and was rebuilt after a fire in 1957. The original building, which had Beaux Arts styling, was called the Hill Opera House, constructed sometime after 1910.

Even the mid-20th century buildings in the Overlay Subarea have the appearance of being updated at some point. Most of the buildings are one-story in height. One site, at 131 Liberty Street, is currently being redeveloped with a mixed-use complex.

There are no individually nominated landmarks in this overlay area. The Petaluma Historic Commercial District (National and local registers) abuts the overlay on the east side, the boundary being the alley between Kentucky and Keller streets. The Oakhill-Brewster Historic District is adjacent to Overlay Subarea C in two places, where the Oakhill-Brewster district extends to E. Washington Street. As a result, Volpi's, an Italian restaurant and bar that was formerly a grocery and speakeasy at 124 E Washington Street, 120 Washington Street, and the two-story apartment building designed by Brainerd Jones at 226 E. Washington Street are adjacent to Overlay C on the north side of Washington Street. The overlay is about a half block from a small extension of the "A" Street Historic District. There are no known surveys of individual buildings in the overlay area.

Table 3: Existing conditions in Overlay Subarea C

Block/APN	Historic name	Current name	Use	Address	Date 1	Date 2
363-024		Keller Street Co-Work	Professional offices	140 Keller St	1927	
363-		Restaurant	Restaurant	132 Keller St	1927	
363-001 ⁵¹		160 Keller St	Retail & office spaces	160 Keller St	1954	
3636-023; 005; 007; 004 ⁵²	M. Vonsen Co. bldg. (no longer extant)	City of Petaluma Parking Garage	Parking garage	120 Western Ave	1960	
362-014	Argus Courier offices	Keller Street Professional Bldg.	Professional offices	135 Keller St	1910	ca 1949
362-012; 025	California Theatre	Phoenix Theater	Theater	Washington St	1925	1957
362-010		The Bagel Mill, Stockhome	Multiple stores in 1 structure	214 & 220 Western Ave	1940	
362-009		Sack's Thrift store	Retail store	128 Liberty St	1948	
362-022		Alpha Analytic Laboratories	One story office building	110 Liberty St	1949	
362-15	Motel & restaurant	Hallie's Diner	Multiple combo/stores & office	125 KELLER ST	1956	
362-001		Sonoma Autowerks	Auto repair	215 Washington St	1957	
362-023		Petaluma Market	Supermarket	210 Western Ave	1965	
362-003		Salon	Residence used for retail	132 Liberty St	ca 1900	no date
362-024		ArtaLuma	Retail store	145 Keller St		
361-033	Pacific Telephone & Telegraph Bldg.	PTLMCA01 Central Office	Utility	125 Liberty St	Ca 1965	
361-028		Chalet Florist	Retail store	311 Washington St	1950	
361-031		Petaluma Orthodontist	Dental offices	301 Washington St	1962	
361-033		Vacant	One story office building	131 Liberty St	1972	

⁵¹Also 184 and 186 Keller Street and 117-125 Washington Street

⁵² Also 114, 120 and 126 Keller Street

Figure 31: Map of Overlay Subarea C



All buildings in Overlay Subarea C are age-eligible; that is, they are over 50 years old and provided they are significant and retain integrity, may be historic resources. Note that this table is a summary of limited information about these properties and is not intended to represent the findings of a reconnaissance-level survey.

PROTECTING HISTORIC RESOURCES

It is the intention of this HCRR to assist in avoiding or minimizing adverse effects to historic resources in Petaluma's downtown and neighborhood historic districts that may result from redevelopment in the Overlay Subareas. To that end, the report provides information on the existing historic resources in the Overlay Subareas as proposed, information on their adjacencies, in terms of proximity to historic districts and potential historic resources, and in this section, recommendations and discussion points for achieving these goals. In the course of developing this HCRR, the proposed Overlay has been reduced from a broad overlay, coterminous with the Study Area within which zoning modifications were proposed to the reduced Overlay Subareas that are under discussion in this report (see Figure 4). Note that a base level of information is provided in this HCRR. Additional studies, including historic resource surveys and design

studies, would have to be conducted in order to assess impacts from say, for example, an impact to a historic resource due to its altered view resulting from a redevelopment project. These types of studies may be required as part of the redevelopment process.

Recommendations of the HCRR

It is recommended here that a reconnaissance-level survey of the Overlay Subareas or area, if one area is pursued, be conducted to better review and address potential impacts to historic properties within the Overlay. Historic Resource Evaluations (HREs) or intensive level surveys should be prepared for properties that are targeted for redevelopment or rehabilitation, as well as adjacent properties when relevant. Note that this is consistent with best practices and CEQA requirements. If the property is found to be historically significant, redevelopment should proceed in compliance with CEQA. CEQA applies to discretionary projects and equates a substantial adverse change in the significance of a historical resource with a significant effect on the environment (PRC Section 2108.1). Substantial adverse change is defined as demolition, destruction, relocation, or alteration activities which would impair historical significance (Section 5020.1).⁵³

Note that a reconnaissance or an intensive-level survey of the impact or potential impact on historic resources does not replace visual studies that might be required as part of the regulatory review process.

Recommendations of the Downtown Housing and Economic Opportunity Overlay

Two design strategies are proposed as part of the *Downtown Housing and Economic Opportunity Overlay*. One involves incorporating setbacks or stepbacks in the proposed structure to protect views of the relevant historic façade when the new development abuts a historic resource. The other is to require a datum line in the proposed structure to recognize a datum line (or base) in a historic structure, or its height in the case of a one-story building.⁵⁴ This would be required as part of redevelopment within the relevant overlay when the new building abuts a historic resource.⁵⁵ Note that building to the property line, without setbacks on the ground plain, is already a characteristic of buildings in the Petaluma Downtown Commercial District.

⁵³ "CEQA & Historical Resources," *CEQA Technical Advice Series*. Sacramento, CA: Governor's Office of Planning and Research (n.d.):1.

⁵⁴ Note that the first floor height of a new building proposed within an Overlay area would be 14'.

⁵⁵ *Petaluma Downtown Overlay Proposal*. Prepared for the City of Petaluma. Prepared by EKN Development and Page. May 17, 2023:45.

Figure 32: Treatment of new construction adjacent to a historic building, July 2023

Source: EKN Development and Page Downtown Housing and Economic Opportunity Overlay

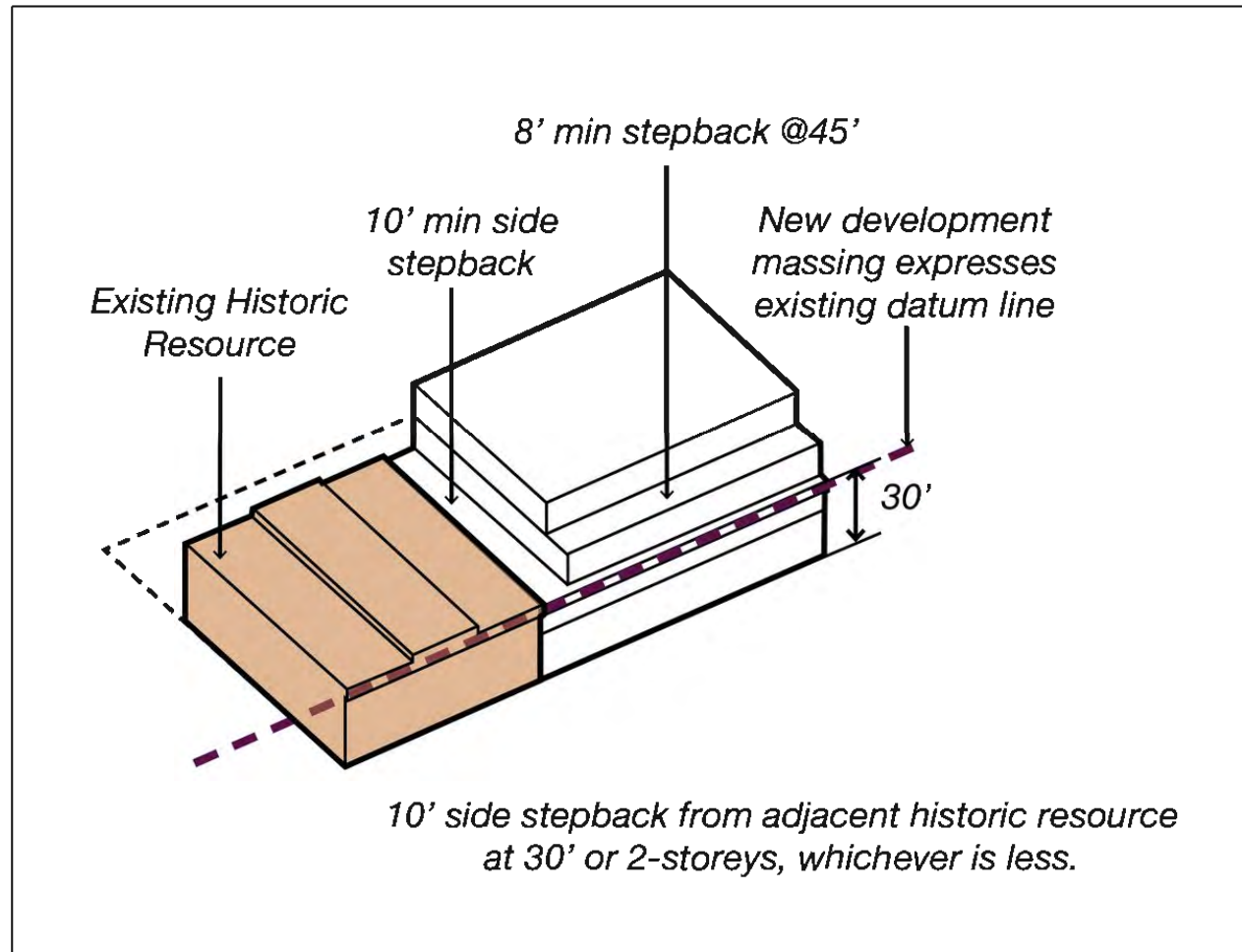
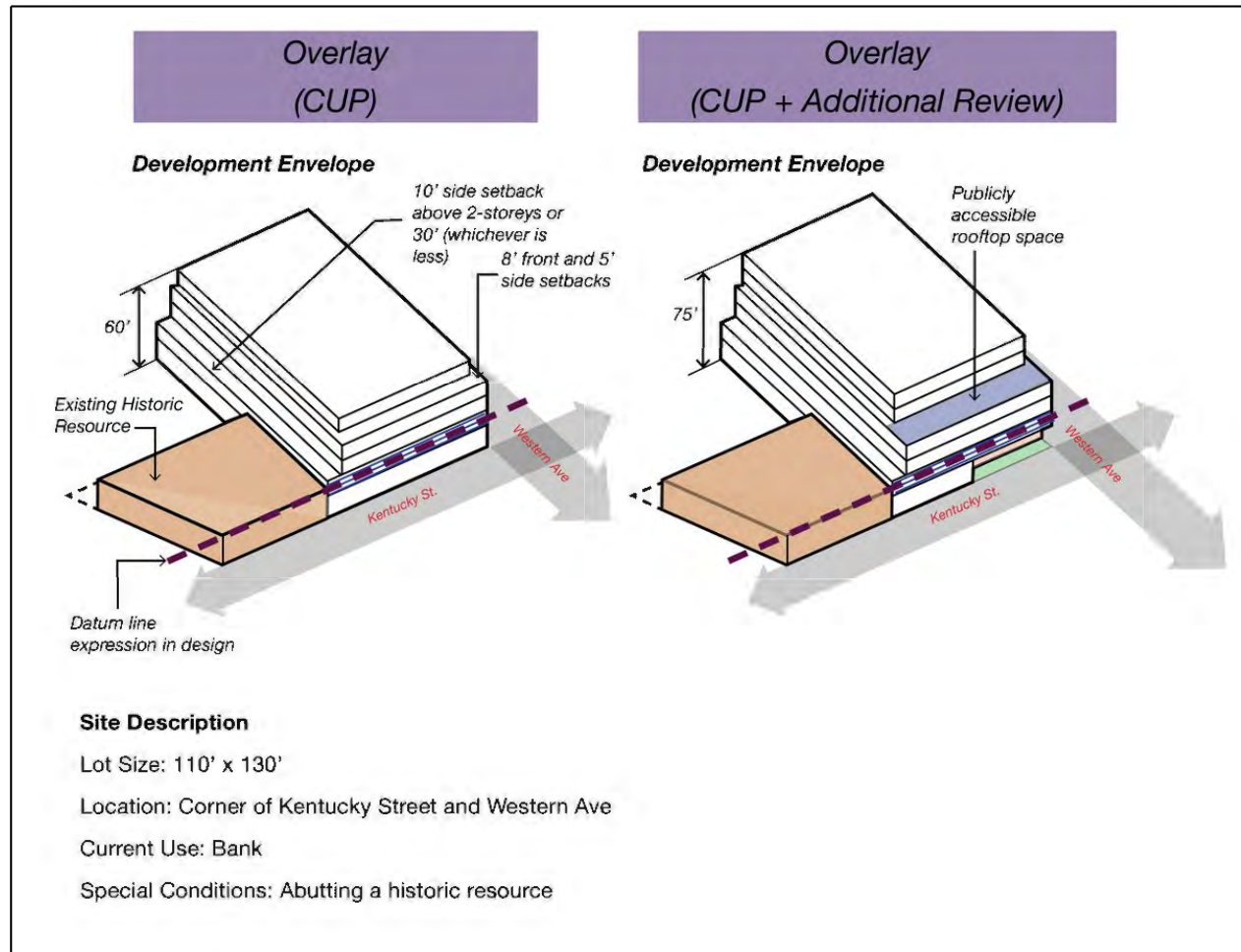


Figure 33: Treatment of new construction adjacent to a historic building, July 2023
Source: EKN Development and Page Downtown Housing and Economic Opportunity Overlay



Further Considerations

Below are several topics for discussion purposes. These measures to protect historic resources in the Overlay areas, adjacent to the Overlay areas, and within portions of the historic districts in downtown Petaluma, are for discussion purposes only and are not necessarily endorsed as part of this HCRR. Significant study would have to take place to explore the advantages and disadvantages of some of these suggestions before they might be incorporated in redevelopment plans, with exceptions as noted below. Note that some suggestions have already been made as part of other planning documents prepared for the City of Petaluma, such as the *Historic Resources Background Report*, prepared for the *General Plan Update*, and some have been suggested as part of the public outreach process for the *Downtown Housing and Economic Opportunity Overlay*.

- Consider an amendment to the *Central Petaluma Specific Plan* that includes the two-block Overlay A that is being considered as part of the *Downtown Housing and Economic Opportunity*

Overlay, rather than adopting this overlay as a freestanding overlay area. The ensuing development standards could be crafted to be consistent with the vision presented for the *Downtown Housing and Economic Opportunity Overlay*, distinct from the present standards for other subareas in the CPSP. This could have the advantage of 1) incorporating the type of standards found in this document that have been vetted by the public; 2) incorporating the measures to protect historic resources that are present in the SmartCode in *Chapter 7: Historic Resource Conservation & Preservation*; and 3) would require that new development in the proposed overlay be subject to a Certificate of Appropriateness (COA), as stipulated in the SmartCode.⁵⁶

- Consider requiring compliance with the *Petaluma Historic Commercial District Design Guidelines*, including the Secretary of Interior's Standards, for any redevelopment projects proposed in the *Downtown Housing and Economic Opportunity Overlay* area. This would have the advantage of ensuring that redevelopment adjacent to the Downtown Commercial Historic District is subject to the same protective measures that properties in the historic district are.
- Require a viewshed analysis of views from historic resources to redevelopment projects in the *Downtown Housing and Economic Opportunity Overlay* area as part of the permitting process. Note that this can already be done in conjunction with redevelopment but should be carefully defined on a case-by-case basis to take into account views from individually designated historic properties on adjacent or nearby parcels and key points in surrounding historic districts to any redevelopment proposal.
- The demolition ordinance should be amended to apply to properties 45 years old or older and that may be historic resources, rather than resources that were constructed in 1945 or earlier.⁵⁷ This is consistent with CEQA's definition of age-eligibility for potential historic resources, with the exception that an additional five years has been added to the standard 50 years or older to account for the time it takes for a redevelopment project to be realized.
- The *Historic Resources Background Report* for the *General Plan Update* has suggested that "Additional historic resources surveys should occur prior to adopted an updated housing site inventory or identifying specific sites for increased densities to ensure that there is a clear understanding of how these policy decisions may impact eligible historic resources."⁵⁸ This has been recommended as part of this HCRR.

This HCRR may be modified as consideration of the proposed Petaluma *Downtown Housing and Economic Opportunity Overlay* is considered. This report is based on the three Overlay Subareas for downtown Petaluma that have been presented to date. As the development of the Overlay(s) and their design strategies continue to be fine-tuned and presented to the city/public, there may be revisions to this HCRR. There also may be revisions if or when further historic research is undertaken in the relevant Overlay Subareas.

⁵⁶ City of Petaluma, *Central Petaluma Specific Plan*, June 2, 2003, SmartCode, 2003:43. This has also been suggested as part of the findings for the "Historic Resources Background Report," 2022:4.

⁵⁷ This has also been suggested as part of the findings for the *Historic Resources Background Report*, 2022:4.

⁵⁸ *Ibid.*, 2022:5.

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B.4 - Historic Built Environment Impacts Assessment (Hotel)

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June 24, 2024

Dr. Dana Douglas DePietro
Director of Cultural Resources
FirstCarbon Solutions
Email: ddepietro@fcs-intl.com

RE: Historic Built Environment Impacts Assessment for the EKN Hotel Project, City of Petaluma, California

Dear Dr. DePietro:

South Environmental was retained by FirstCarbon Solutions (FCS) to prepare a historic built environment assessment report in support of the EKN Hotel Project (project) in the City of Petaluma, California. The purpose of this report is to determine if the proposed project will result in impacts to historic built environment resources located within and immediately adjacent to the project site. This report was prepared in conformance of the requirements of the California Environmental Quality Act (CEQA) Guidelines § 15064.5 for historical resources and the City of Petaluma's designation criteria (Petaluma Municipal Code Sections 7.10.030 and 15.040) and the City's General Plan 2025.

The project site is currently undeveloped and is comprised of three parcels: Accessor's Parcel Numbers (APNs) 008-063-008-000, 008-063-009-000, and 008-063-011-000. While the project site is currently undeveloped, there are two properties immediately adjacent to the project site that contain buildings constructed over 45 years ago. The adjacent properties are identified as 313 B Street (APN 008-063-012-000) and 20 Petaluma Boulevard S (APNs 008-063-005-000, 008-063-006-000, and 008-063-007-000). In accordance with the requirements of CEQA Guidelines §15064.5 for historical resources, these properties were recorded and evaluated for historical significance and integrity on the appropriate set of State of California Department of Parks and Recreation Series 523 Forms (DPR forms, Attachment A) to adequately assess project-related impacts to historical resources.

This significance evaluation and associated impacts assessment was prepared by Principal Architectural Historian Sarah Corder, MFA with Quality Assurance and Quality Control performed by Samantha Murray, Cultural Resources Director. Ms. Corder and Ms. Murray both meet the Secretary of the Interior's Professional Qualification Standards for architectural history and history. Ms. Corder's resume is provided in Attachment C.

Introduction

Project Description

The project proposes construction of a 93-room, 6-story (approximately 68-foot, 10-inch) hotel over a below-grade, 58-space parking garage. The gross building area is approximately 77,000 gross square feet inclusive of three outdoor spaces including a 901 square foot ground-floor seating area, an 898 square foot second-floor terrace, and a 5,585 square foot rooftop terrace. See Project Plans in Attachment B.

Floor Plan and Architectural Design

The subterranean parking garage comprises 58 parking spaces, as further described below, bike room, storage area, and utility rooms. The ground floor comprises valet and baggage storage, front office, employee areas, laundry and housekeeping, utility rooms, kitchen, and the 3,209 square foot restaurant (2,308 square foot interior space, 901 square foot exterior space) for seating of up to 150 guests. Floors 2-6 feature a “U” shaped floor plan which is intended to maximize the number of hotel bedrooms, retain sufficient guestroom space, and provide natural lighting in all 93 guestrooms. The second floor comprises 20 guestrooms, an outdoor courtyard, fitness room, and an administration office. The third and fourth floors each contain 27 guestrooms. The fifth floor exhibits a recessed building façade, and comprises one bridal suite with a private balcony, one deluxe suite, 4 executive suites, and 13 guestrooms. The sixth floor is limited to the 5,585 square foot rooftop terrace, 1,444 square foot enclosed event space, 900 square feet of pantry and support space, and mechanical equipment.

The proposed building features a modern design and is built to the property lines on all sides. The ground level restaurant opening, recessed entryway, recessed balconies at the second and fourth floors, and the small open terrace at the corner of Petaluma Boulevard South and B Street on the fifth floor seek to break up the overall massing of the building. The building would be clad in flush porcelain panels with contrasting cladding at the fifth level where the building face is set back. Laser cut metal panels in a decorative pattern are located at the sliding glass doors and windows on the main body of the building.

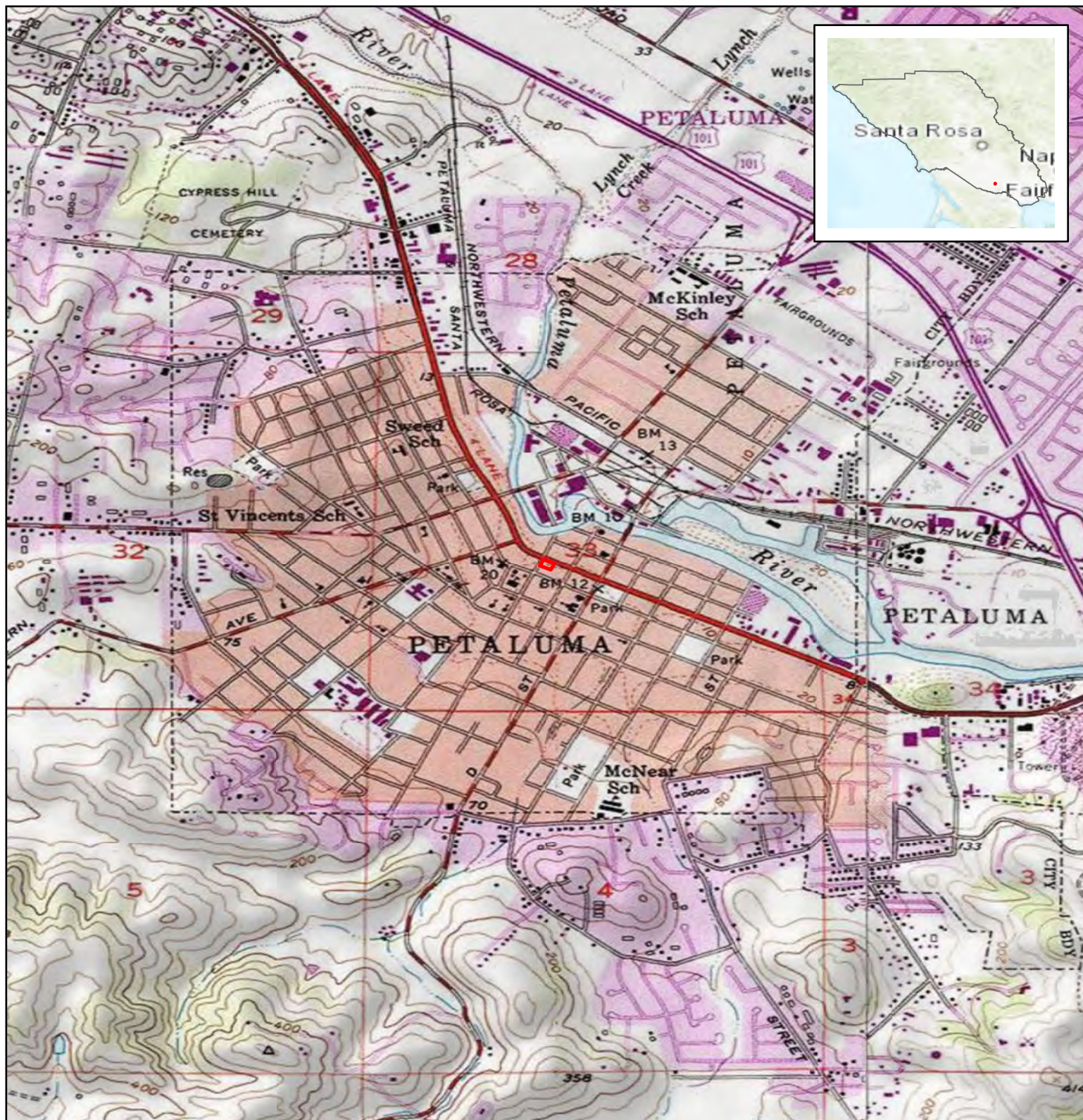
Windows and doors throughout the building have clear glass and dark bronze metal frames. The proportions of the storefront and upper story windows are informed by surrounding traditional storefronts and windows within the Commercial Historic District. Storefront windows at the ground floor of the building are narrow with one-over-one-lights, with upper light having the appearance of a transom. Curvilinear patterns are etched in the glass panels, repeating motifs found elsewhere on the building and creating visual interest at the pedestrian level. The proposed color palette for the hotel is shades of light to dark grey, and tones of ivory, tan, and light brown.

Project Location

The project site is currently undeveloped and comprises three APNs 008-063-008-000, 008-063-009-000, and 008-063-011-000. It is located on the south side of Petaluma Boulevard South in the City of Petaluma, in Sonoma County, California (Figures 1 and 2).

Built Environment Study Area

The Built Environment Study Area includes the project site and two commercial properties immediately adjacent to it that are identified as 313 B Street (Building 1) and 20 Petaluma Boulevard South (Building 2). These adjacent properties contain buildings that are more than 45 years old, and have the potential to be impacted by the proposed project. As such, they were included in the Built Environment Study Area to determine if there would be impacts to historical resources as defined by CEQA (Figure 3).



Source: ESRI USA Topo Maps and World Topo Map 2024

Petaluma EKN Hotel Project

Figure 1. Project Location Map

Project Site Boundary

Project Location is within Arcadia, California, in Los Angeles County on the USGS Mount Wilson 7.5-minute quadrangle map in Section 28 of Township 01 North and Range 11 West

Center Coordinate (Decimal Degrees):
Latitude: 34.1444656N Longitude: -118.0324219W



0 1,000 2,000 Feet
Scale: 1:24,000



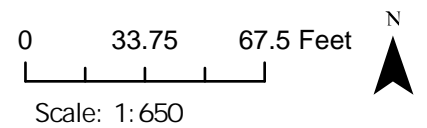


Source: BING Aerial Map 2024

Petaluma EKN Hotel Project

Figure 2. Project Site Detail

 Project Area Boundary





Source: BING Aerial Map 2024

Petaluma EKN Hotel Project

Figure 3. Built Environment Study Area

- Project Area Boundary
- Built Environment Study Area



Buildings

Building 1, 313 B Street

Building 2, 20 Petaluma Blvd S

0 50 100 Feet
Scale: 1:1,000



Regulatory Setting

California Register of Historical Resources

In California, the term “historical resource” includes but is not limited to “any object, building, structure, site, area, place, record, or manuscript which is historically or archaeologically significant, or is significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California” (California Public Resources Code Section 5020.1(j)). In 1992, the California legislature established the CRHR “to be used by state and local agencies, private groups, and citizens to identify the state’s historical resources and to indicate what properties are to be protected, to the extent prudent and feasible, from substantial adverse change” (California Public Resources Code Section 5024.1(a)). The criteria for listing resources on the CRHR (enumerated below) were expressly developed to be in accordance with previously established criteria developed for listing in the National Register of Historic Places (NRHP). According to California Public Resources Code Section 5024.1(c)(1–4), a resource is considered historically significant if it (i) retains “substantial integrity,” and (ii) meets at least one of the following criteria:

- (1) Is associated with events that have made a significant contribution to the broad patterns of California’s history and cultural heritage.
- (2) Is associated with the lives of persons important in our past.
- (3) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.
- (4) Has yielded, or may be likely to yield, information important in prehistory or history.

In order to understand the historic importance of a resource, sufficient time must have passed to obtain a scholarly perspective on the events or individuals associated with the resource. A resource less than 50 years old may be considered for listing in the CRHR if it can be demonstrated that sufficient time has passed to understand its historical importance (see 14 CCR 4852(d)(2)).

The CRHR protects cultural resources by requiring evaluations of the significance of prehistoric and historic resources. The criteria for the CRHR are nearly identical to those for the NRHP, and properties listed or formally designated as eligible for listing in the NRHP are automatically listed in the CRHR, as are the state landmarks and points of interest. The CRHR also includes properties designated under local ordinances or identified through local historical resource surveys.

California Environmental Quality Act

CEQA requires a lead agency to determine whether a project may have a significant effect on historical resources (Public Resources Code [PRC], Section 21084.1). A historical resource is a resource listed in,

or determined to be eligible for listing, in the CRHR, a resource included in a local register of historical resources or any object, building, structure, site, area, place, record, or manuscript that a lead agency determines to be historically significant (State CEQA Guidelines, Section 15064.5[a][1-3]).

Under CEQA, a project may have a significant effect on the environment if it may cause “a substantial adverse change in the significance of an historical resource” (California Public Resources Code Section 21084.1; CEQA Guidelines Section 15064.5(b)). If a site is either listed or eligible for listing in the CRHR, or if it is included in a local register of historic resources or identified as significant in a historical resources survey (meeting the requirements of California Public Resources Code Section 5024.1(q)), it is a “historical resource” and is presumed to be historically or culturally significant for purposes of CEQA (California Public Resources Code Section 21084.1; CEQA Guidelines Section 15064.5(a)). The lead agency is not precluded from determining that a resource is a historical resource even if it does not fall within this presumption (California Public Resources Code Section 21084.1; CEQA Guidelines Section 15064.5(a)).

A “substantial adverse change in the significance of an historical resource” reflecting a significant effect under CEQA means “physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired” (CEQA Guidelines Section 15064.5(b)(1); California Public Resources Code Section 5020.1(q)). In turn, CEQA Guidelines section 15064.5(b)(2) states the significance of an historical resource is materially impaired when a project:

1. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources; or
2. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
3. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

Pursuant to these sections, the CEQA inquiry begins with evaluating whether a project site contains any “historical resources,” then evaluates whether that project will cause a substantial adverse change

in the significance of a historical resource such that the resource's historical significance is materially impaired.

Secretary of the Interior's Standards for the Treatment of Historic Properties

Where maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of the historical resource will be conducted in a manner consistent with the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (the Standards, Weeks and Grimmer 1995, revised 2017), the project's impact on historical resources would be considered mitigated to below a level of significance and, thus, not significant (14 CCR 15126.4(b)(1)). In most cases, a project that demonstrates conformance with the Standards is categorically exempt from CEQA (14 CCR 15331).

There are four distinct approaches that may be applied to the treatment of historical resources: preservation, rehabilitation, restoration, and reconstruction. Rehabilitation was determined to be the most appropriate treatment option for the proposed project because it allows for a compatible use for the property through repair, alterations, or additions while preserving those portions or features that conveys its historical and architectural values.

Standards for Rehabilitation

The Standards and Guidelines for Rehabilitation (below), taken together with *The Petaluma Historic Commercial District Design Guidelines* (City of Petaluma 1999), provide the framework in which project design plans were reviewed.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

City of Petaluma, Municipal Code Section 7.10.030 Historic Landmark Designation

The Council may designate an improvement, natural feature, or site as an historic landmark and any area within the City as an historic district in compliance with this Section, based on the Council's evaluation of the age of the subject structures, distinguishing characteristics, distinct geographical area, familiar visual feature, significant achievement, and/or other distinctive feature.

- A. Procedure. The designation of an historic landmark or district on Petaluma's Historic Register, or the removal of an historic landmark or district from the register, shall comply with the procedure established by the Zoning Ordinance for amendments (Article 27), including public notice and a hearing in compliance with State law, a recommendation by the Historic and Cultural Preservation Committee, and a final decision by the Council.
- B. Permit issuance during nomination process. No permit for any improvement or structure within a proposed historic district or relative to a nominated historic landmark shall be issued while the nomination process is pending.
- C. Placement on the Historic Register. The nominated district, site, or structure shall be placed on the Historic Register after being officially accepted by the Council, and the designation shall be recorded for each affected parcel in the office of the Sonoma County Recorder.

City of Petaluma, Municipal Code Section 15.040 Designation of Landmarks and Historic District by Ordinance

- A. Landmarks shall be defined as buildings or sites listed on the State Office of Historic Preservation's directory of historic properties (i.e., Historic Properties Data Inventory), or designated by the City as a local landmark, except that buildings or sites located within the National Register Historic District shall not automatically be considered to be a landmark, unless individually so designated by the City Council in accordance with the provisions of this Chapter.
- B. The City Council may by ordinance designate:
 - 1. One or more individual structures or other features, or integrated groups of structures and features on one or more lots or sites, having a special character or special historical, architectural, or aesthetic interest or value, as landmarks, and shall designate a landmark site for each landmark.
 - 2. One or more areas containing a number of structures having special character or special historical architectural or aesthetic interesting value, and constituting distinct sections of the City, as historic districts.
- C. Each designating ordinance shall include a description of the characteristics of the landmark or historic district which justify its designation, and a list of any particular features in addition to those features which would be affected by work described in Section 15.050(A1-2) that are to be preserved, and shall specify the location and boundaries of the landmark site or historic district.
- D. The property designated as a landmark or a historic district shall be subject to the control and standards contained in this Chapter. In addition, the property shall be subject to the following further controls and standards if imposed by the designating ordinance:
 - 1. For a publicly owned landmark, review of proposed changes in major interior architectural features.
 - 2. For a historic district, such further controls and standards as the City Council finds necessary or desirable, including, but not limited to, facade, setbacks, and height controls.
- E. The City Council may amend or rescind a designation only by ordinance. The procedure for amending or rescinding a designation shall be the same as that for the original designation.

City of Petaluma General Plan 2025 (May 2008, Updated 2021)

The City of Petaluma General Plan was adopted in 2008 and updated in 2021. It includes the following goals, policies, and programs pertaining to historic preservation.

GOAL 3-G-1: Historic Preservation

Identify, recognize and protect Petaluma's unique and irreplaceable cultural heritage through the implementation of policies and programs that maintain the character and identity of the community, enhance the quality of the built environment, encourage awareness and appreciation for its history and culture, and contribute to its economic vitality. Ensure that future plans, ordinances, and City programs are complimentary to the historic preservation goals and policies contained within this plan.

Policies and Programs:

3-P-1. Protect historic and archaeological resources for the aesthetic, cultural, educational, environmental, economic, and scientific contribution they make to maintaining and enhancing Petaluma's character, identity and quality of life.

3-P-2. Provide incentives for encouraging the preservation and revitalization of historic and cultural resources.

3-P-3. As a policy, the City of Petaluma does not support demolition by neglect.

3-P-4. Foster appreciation for Petaluma's cultural heritage and encourage greater public participation in education regarding the preservation of resources.

3-P-5. The protection of historic resources shall be a key consideration and an equal component in the development review process.

3-P-6. Ensure that new development adjacent to eligible historic and cultural resources is compatible with the character of those resources.

3-P-7. Recognize landscape features, including trees in both their urban and natural environment as part of Petaluma's identity and part of the character defining features of the City's historic districts.

3-P-8. Recognize the value of, and protect the operation of, active river-dependent and agricultural-support uses located within the City of Petaluma.

Petaluma Historic Commercial District Design Guidelines (City of Petaluma 1999)

The City has a set of design guidelines for the preservation of the Petaluma Historic Commercial District (City of Petaluma 1999). Contained within Section 7 of the design guidelines are Guidelines for New Construction. Those guidelines are presented below:

Section 7.0 Guidelines for New Construction

7.1. Proportions of the Façade

The average height and width of the surrounding buildings determine a general set of proportions for an infill structure. The infill building should fill the entire space and reflect the characteristic rhythm of facades along the street.

If the site is large, the mass of the façade can be broken into a number of small bays, to maintain a rhythm similar to the surrounding buildings.

7.2. Composition

The composition of the infill façade (that is, the organization of its parts should be similar to that of surrounding facades.

Rhythms that carry throughout the block (such as window spacing) should be incorporated not the new façade.

The size and proportion of window and door openings of an infill building should be similar to those on surrounding facades. The same applies to the ratio of window area to solid wall for the façade as a whole.

7.3 Detailing

Infill architecture should reflect some of the detailing of the surrounding buildings in window shapes, cornice lines, and brickwork.

7.4 Materials

An infill façade should be composed of materials complementary to the adjacent facades. The new buildings shall not unduly stand out as inappropriate or disconnected from the scheme of the surrounding buildings.

7.5 Colors

The colors chosen for the face of an infill building shall compliment the colors of neighboring buildings.

7.6 Building Setback

The new façade should be flush with its neighbors. If this cannot be achieved, the façade should be located such that it will present a natural break in the rhythm of the buildings along the street.

Methods

Building Development and Archival Research

The following sources and repositories were reviewed and consulted for this study. All of the information obtained was used in the preparation of the historic context presented as part of this study.

City of Petaluma

South Environmental received building permits for the subject property and all adjacent properties from the City of Petaluma Building Permit Counter on May 13, 2024.

Petaluma Historical Library and Museum

South Environmental contacted the Petaluma Historical Library and Museum on May 10, 2024 and requested information on all properties within and immediately adjacent to the project site. Information gathered from this source included newspaper articles, historic images, and historical background information regarding the properties within the Built Environment Study Area.

Sonoma County Library

South Environmental contacted the Sonoma County Library on May 14, 2024 and requested information for all properties within and immediately adjacent to the project site.

Built Environment Resource Directory

The Built Environment Resource Directory (BERD) is an online resource that provides information, organized by county, regarding non-archaeological resources in the California Office of Historic Preservation (OHP) inventory. This includes resources reviewed for eligibility for the NRHP, CRHR, and the California Historical Landmarks programs through federal and state environmental compliance laws, and resources nominated under federal and state registration programs. South Environmental accessed the BERD from OHP on May 14, 2024. The property at 313 B Street was listed in the BERD in 1995 as a 1D, contributor to the Petaluma Historic Commercial District. The bank building at 20 Petaluma Boulevard South was not listed in the BERD.

Historical Newspaper Search

South Environmental reviewed all available historical newspapers covering the City of Petaluma and Sonoma County to understand the development of the property and surrounding areas.

Sanborn Fire Insurance Maps

South Environmental reviewed Sanborn Fire Insurance Company maps, available on the Los Angeles Public Library website to understand the development of the property. The subject property appears in the 1885, 1888, 1894, 1906, 1910, 1923 editions, and 1923 with 1949 corrections.

Historical Aerial Photographs

South Environmental conducted a review of historical aerial photographs for the following years: 1952, 1953, 1957, 1965, 1968, 1982, 1993, 2005, 2009, 2010, 2012, 2014, 2016, 2018, and 2020 (NETR 2024; UCSB 2024).

Survey

FCS Senior Cultural Resources Specialist Charles Mikulik, MA, RPA completed an intensive-level pedestrian survey of the project site and surrounding areas on May 17, 2024. The built environment survey entailed walking the project site and the built environment study area and documenting the exterior of the existing buildings and structures with notes and photographs (Exhibits 1-10).



Exhibit 1. 313 B Street, north end of west elevation, view east (FCS 2024)



Exhibit 2. 313 B Street, south end of west elevation, view east (FCS 2024)



Exhibit 3. 313 B Street, south elevation, view north (FCS 2024)

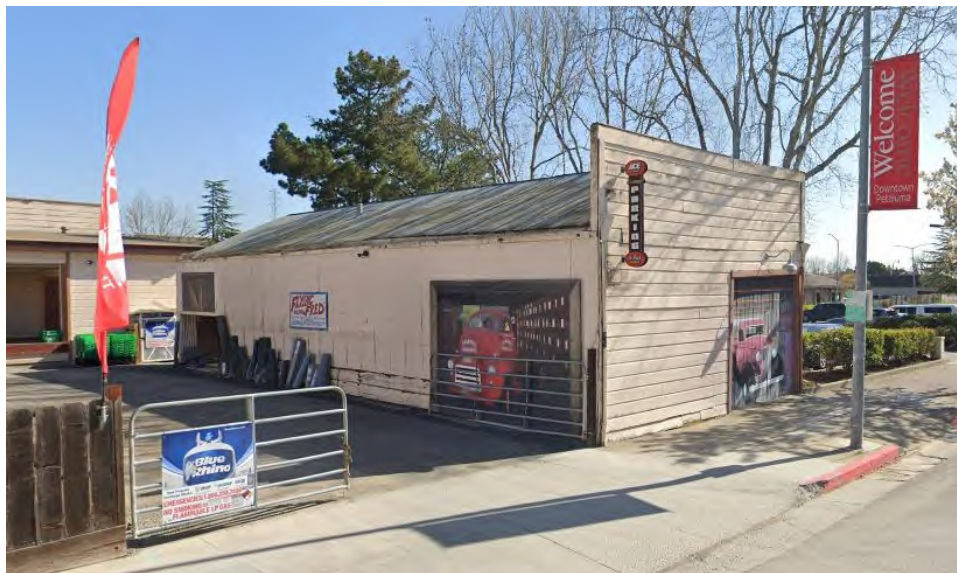


Exhibit 4. View of 313 B Street, historic-age ancillary building, view to the east (Google 2024)



Exhibit 5. Overview of project site, view to southeast (Google 2024)



Exhibit 6. View of 313 B Street from the project site, view to southeast (FCS 2024)



Exhibit 7. View of 20 Petaluma Boulevard South from the project site, west and north elevation, view southeast (FCS 2024)



Exhibit 8. 20 Petaluma Boulevard South, east and north elevation, view southwest (FCS 2024)



Exhibit 9. 20 Petaluma Boulevard South, south elevation, view northwest (FCS 2024)



Exhibit 10. 20 Petaluma Boulevard South, west elevation, view east (FCS 2024)

Identified Resources

The project site is an undeveloped lot and there are no historical resources within its boundaries. However, it is located within the boundaries of the Petaluma Historic Commercial District (P-49-004803).

Petaluma Historic Commercial District (P-49-004803)

Archival research indicated that there is one previously recorded historical resource overlapping the proposed project site, the Petaluma Historic Commercial District (P-49-004803). The district was designated as a NRHP historic district in 1995. The boundaries of the district are defined in the nomination form as follows: "Petaluma Boulevard and intersecting streets between B and Prospect Streets (Napoli 1994)." The district was found to be significant for under Criteria A and C for commerce and architecture and has a period of significance of 1854-1945. The nomination form indicates that the district is an important reflection of the City's downtown at the end of World War II. The district features a variety of architecture styles including Italianate, Queen Anne, Period Revivals, Streamline Moderne, and International. The district contains 64 contributing elements, 35 non-contributing elements, and 14 vacant parcels (Napoli 1994).

The district is predominantly commercial buildings or mixed-use buildings that front Petaluma Boulevard or one of the intersecting streets. The following character-defining features of the district are discussed in the nomination form (Napoli 1994):

- Flat roofs or roofs hidden by parapets
- Use of a variety of materials including cast iron, stucco, brick, terracotta, stone, and wood
- Use of classically inspired ornamentation such as bracketed cornices, pilasters, and dentil and belt courses.
- A variety of heights
- Intact detailing above the first floor as a result of storefront alterations
- A variety of architectural styles

Built Environment Study Area Properties

The project site is immediately adjacent to two at least partially historic-age properties identified as 313 B Street and 20 Petaluma Boulevard South. These adjacent properties were recorded and evaluated for historical significance on the appropriate set of DPR Forms in consideration of CRHR and City designation criteria and integrity requirements (Attachment A).

The property at 20 Petaluma Boulevard South is outside the boundary of the Petaluma Historic Commercial District and it was found not eligible at the individual level of significance as part of the current study under all state and local designation criteria due to a lack of significant historical associations and architectural merit. The property was constructed outside of the historic district's period of significance, and thus has no potential to serve as a contributing property to the district.

The property at 313 B Street was previously identified as a contributor to the Petaluma Historic Commercial District, but a fire in 2006 destroyed the majority of the property leaving only one ancillary building at the eastern edge of the property. The remaining ancillary building appears to be substantially altered from its original appearance. Therefore, due to a near total loss of its original buildings, the property at 313 B Street was found to no longer have the requisite integrity to convey significance as an individual property or a contributor to the historic district.

Impacts Assessment

The project site is undeveloped, and the immediately adjacent properties were found ineligible (as individual properties and as potential district contributors) under all state and local designation criteria and integrity requirements. Therefore, none of the properties within the block containing the project site are considered historical resources under CEQA. However, the project site is located within the boundaries of the Petaluma Historic Commercial District and potential impacts to the district resulting from proposed new construction must be considered.

New Construction in a Historic District

Petaluma Historic Commercial District Design Guidelines

The Petaluma Historic Commercial District Design Guidelines (City of Petaluma 1999) provides design guidance for rehabilitation projects and new construction projects within the Petaluma Historic Commercial District. The following analyzes the proposed new construction for conformance with these guidelines.

Guidelines for New Construction

The portion of the historic district overlapping the proposed project site is located on the eastern edge of the district which has experienced significant redevelopment in recent years. For example, within the block containing the project site, there has been significant demolition and reconstruction with the construction of the bank at 20 S Petaluma Boulevard in 1974, the demolition of the original gas station on the project site between 1993 and 2005, and the reconstruction project at 313 B Street in 2006. Other examples of redevelopment include the establishment and associated new construction in and adjacent to the Petaluma Theater District to the north, east, and west east of the project site (Figure 4 and Exhibit 11). These projects have introduced new architectural styles, materials, and pedestrian experiences. This redevelopment has compromised the historic integrity of

this portion of the historic district, thus there is no potential for the proposed project to impact the existing historic setting/context of the district. Additionally, is the proposed project site is located at the easternmost edge of the district, so the majority of district to the west would retain its ability to convey historical significance after the project's construction (NETR 2024; UCSB 2024; Google Streetview 2024; Petaluma Argus-Courier 2004).



Exhibit 11. View of recent development on the north side of Petaluma Boulevard South, across from the project site, view to the northwest (Google Streetview 2024)

The following elements of the design guidelines were used to analyze the proposed project: façade proportions, composition, detailing, materials, colors, and building setback.

The design guidelines state that proposed new construction should take its design cues from the surrounding historic buildings. While this part of the historic district has been significantly redeveloped in recent years, there are buildings to the east of the project site that serve as points of design reference for the project. The design of the hotel utilizes the tradition in the historic district of having a pedestrian friendly experience at the street level by incorporating multiple entrance points and a publicly accessible restaurant on the ground floor. The ground floor design is also visually compliant with the design guidelines with its use of columns to create multiple bays. Further, the ground floor is differentiated from the upper floors by incorporating recesses on the ground level, which can be seen in historic commercial buildings within the historic district.

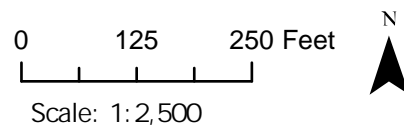


Source: BING Aerial Map 2024

Petaluma EKN Hotel Project

Figure 4. Overview of Surrounding Properties

- Project Area Boundary
- Built Environment Study Area
- Petaluma Historic Commercial District Boundary
- Building 1, 313 B Street
- Building 2, 20 Petaluma Blvd South



The upper floors of the building also comply with the design guidelines. For instance, fenestration on the upper floors is symmetrical and has a rhythm similar to historic buildings in the district and to recent developments across the street. In addition, the building utilizes a banded detail at the top of the first level and the top of the fourth level, drawing inspiration from the cornice line detailing and belt courses seen on historic buildings throughout the historic district.

While the proposed building will be taller than the immediately surrounding buildings, the use of multiple stories is not a new concept in the historic district, as the district nomination form prepared in 1994 stated that a variety of heights were present in the district. The project complies with this by limiting its height to five stories with a roof deck so that it does not tower over other buildings in the district. The proposed design also utilizes setbacks and the previously mentioned cornice line detailing to minimize the height difference visible from the street. The design also utilizes flat roof components to be aesthetically similar to other buildings in the historic district.

From a materials and color standpoint, the proposed project is compliant with the guidelines. The use of modern materials with a muted color palette reflects the fact that the building is new and not of historic age but does not detract from other buildings in the district. The design also limits ornamentation to avoid detracting from other buildings in the historic district.

The proposed new construction will not introduce incompatible massing and scale, as there are buildings within the vicinity that have a similar scale and massing as a result of recent redevelopment, such as the theater and the mixed-use building to the north of the project site.

For these reasons, the proposed hotel design appears to be in conformance with the historic district design guidelines and the project will not impact the historic district's ability to continue to convey its significance.

Secretary of the Interior's Standards for the Treatment of Historic Properties

Of particular relevance to new construction in historic districts and construction adjacent to existing historical resources are Standards for Rehabilitation #9 and #10, which state the following:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

As demonstrated in Figure 4, the surrounding built environment within and adjacent to the easternmost edge of the Petaluma Historic Commercial District is comprised of buildings from different periods and of varying heights, massing, scale, and architectural styles. For example, buildings within the immediate vicinity of the project site include the adjacent reconstructed Rex Hardware building at 313 B Street (constructed 2006, mimics False Front style) and the former bank building at 20 Petaluma Boulevard South (constructed 1974, Shed Style). Buildings directly across the street from the project site include a commercial building at 312-316 B Street (constructed 1959, Mid Century Modern style) and a brick commercial building at 5-25 Petaluma Boulevard South (constructed 1920, brick commercial style with multiple storefronts that was rehabilitated in the 2000s). Therefore, the proposed new construction would not destroy historic materials, features, or spatial relationships that characterize the historic district (Standard 9), as this portion of the district has already seen its historic setting significantly altered and generally lacks aesthetic cohesion.

As previously discussed, and as illustrated in the Project Plans (Attachment B), the proposed project will utilize height limitations and complementary scale and massing to comply with Standard 9. The limitation on the height and scale will allow the new building to blend into the existing historic district and not detract from its historical significance. In addition, the proposed project will not be physically connected to historic properties and will be separated from other historic buildings in the historic district by city streets, so there is no potential to impair other historical resources, thereby complying with Standard 10.

With the utilization of modern materials, limited scale and density, thoughtful landscape and streetscape designs, and compatible architectural aesthetics, the proposed new construction is consistent with the City's design guidelines and with the Secretary of the Interior's Standards 9 and 10 for new construction. As such, the proposed project will not inhibit the historic district's ability to continue to convey its significance. Therefore, the proposed project will have a less than significant impact on the Petaluma Historic Commercial District and no mitigation is required.

Conclusions

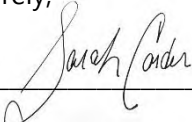
The project site is undeveloped and contains no historical resources. As a result of this study, two immediately adjacent properties were recorded and evaluated for historical significance on the appropriate set of DPR Forms in consideration of CRHR and City designation criteria and integrity requirements (Attachment A). Both properties were found not eligible under all state and local designation criteria due to a lack of significant historical associations and architectural merit. Therefore, there are no historical resources under CEQA within or immediately adjacent to the project site.

Additionally, the project site is overlapped by the existing Petaluma Historic Commercial District (P-49-004803). Review of the proposed project plans in consideration of the City's historic district design guidelines and the Secretary of the Interior's Standards for Rehabilitation indicate that the proposed

new construction will not adversely impact the historic district or its setting. Therefore, the proposed project will result in a less than significant impact to historical resources under CEQA. No mitigation measures are recommended.

Should you have any questions regarding this report or its findings, please do not hesitate to contact us at scorder@southenvironmental.com or (760) 334-3355.

Sincerely,



Sarah Corder, MFA
Principal Architectural Historian

Attachments

- A. DPR Form Sets
- B. Project Plans
- C. Preparer's Qualifications

References

- City of Petaluma. 1999. Petaluma Historic Commercial District Design Guidelines. August 16, 1999. Accessed online June 2024 via <https://storage.googleapis.com/proudcity/petalumaca/uploads/2019/12/DesignGuidelines-Complete.pdf>
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- Weeks, K.D. and Anne R. Grimmer. 1995, revised by Grimmer in 2017. The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings. U.S. Department of the Interior National Park Service Technical Preservation Services Washington, D.C. Accessed online: <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>.

ATTACHMENT A.

DPR Form Sets

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 17 *Resource Name or #: (Assigned by recorder) 313 B Street

P1. Other Identifier:

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Sonoma and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Petaluma Date 1981 T 05 N ; R 07 W; ☐ of ☐ of Sec 33; MD B.M.

c. Address 313 B Street City Petaluma Zip 94952

d. UTM: Zone 11S, 531585.00 mE/ 4231711.00 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APN 008-063-012-000. The subject property is located on the northeast corner of B Street and 4th street within the Petaluma Historic Commercial District.

***P3a. Description:**

The subject property consists of a main building (2007) and one ancillary building (circa 1870). The main building is a modern two-story building that fronts onto B Street and 4th Street. It has an L-shaped floor plan and was built with a flat parapet wall along the roofline to mimic a False Front commercial building from the late 19th century (Photograph 1). The building is clad with wide, horizontal wood siding. First floor windows consist of aluminum sash plate windows and the second-floor features aluminum sash single-hung windows (see Continuation Sheet).

***P3b. Resource Attributes:** (List attributes and codes) HP6. 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) Photograph 1. West and south elevations, view
northeast (FCS 2024)



***P6. Date Constructed/Age and Source:** ☒ Historic ☐ Prehistoric ☐ Both

2007 (County Assessor)

***P7. Owner and Address:**

Jeffery C. Tomasini &
Tomasini GRO
P.O. Box 588
Petaluma, CA 94953

***P8. Recorded by:**

Laura Carias,
South Environmental
2061 N. Los Robles Ave.
Ste. 205
Pasadena, CA 91104

***P9. Date Recorded:** 6/11/2024

***P10. Survey Type:** Intensive

***P11. Report Citation:**

Historic Built Impacts
Assessment for the EKN
Hotel Project, Petaluma,
Sonoma County, California
(South Environmental 2024)

***Attachments:** ☐ NONE ☒ Location

Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

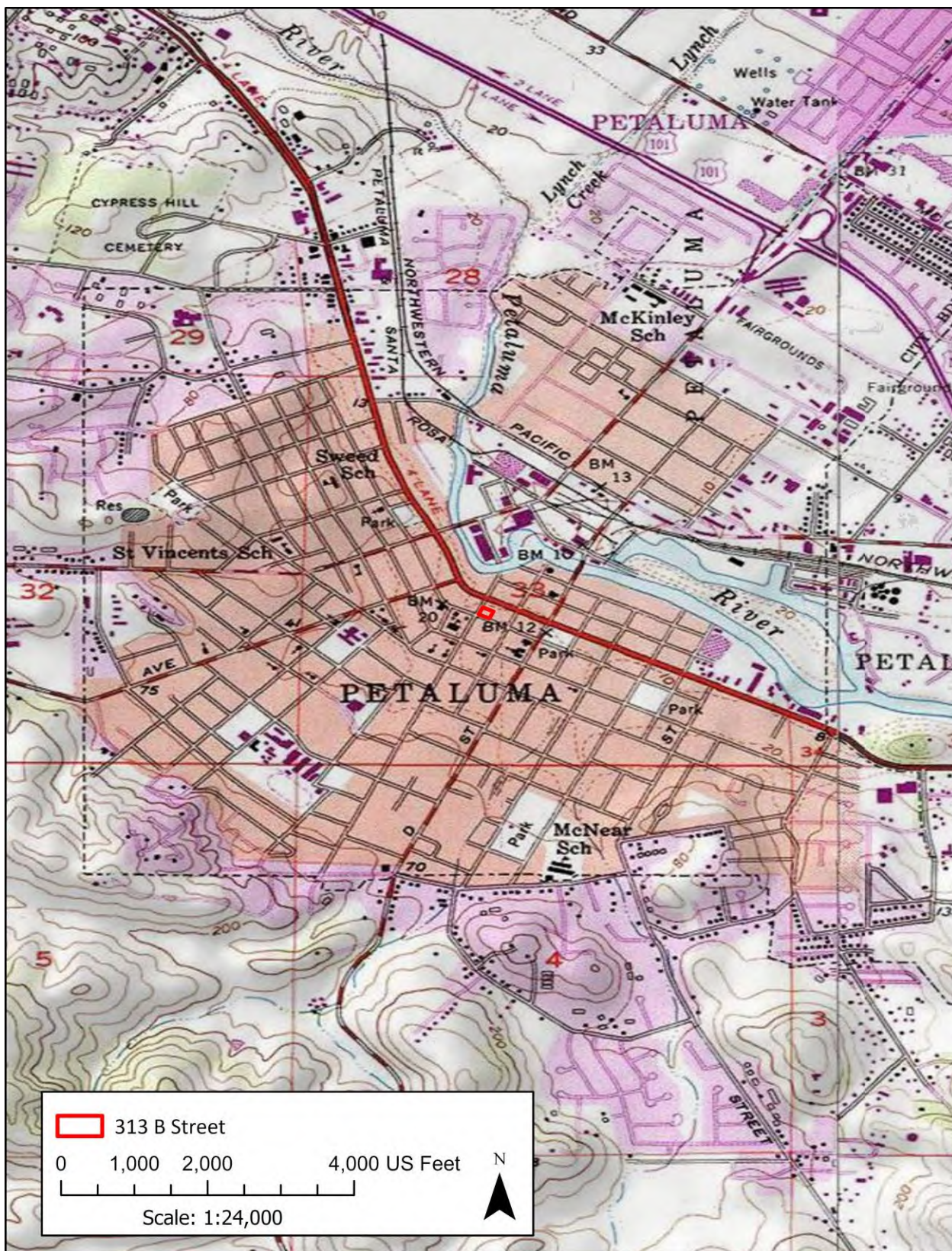
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

State of California Natural Resources Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary #
HRI#
Trinomial

Page 2 of 17 *Resource Name or # (Assigned by recorder) 313 B Street
*Map Name: Petaluma, California *Scale: 1:24,000 *Date of map: 1981



BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 313 B Street *NRHP Status Code 6Z
Page 3 of 17

B1. Historic Name: _____
B2. Common Name: Rex Ace Hardware Store
B3. Original Use: Commercial buildings B4. Present Use: Commercial building
*B5. Architectural Style: False Front

*B6. Construction History: (Construction date, alterations, and date of alterations)

The subject property's original development period was from circa 1870-1920. During this time five buildings were constructed on the property including the one ancillary building that remains on the property today (Napoli 1994). In 2006, there was a fire on the property that destroyed all of the buildings with the exception of the one remaining ancillary. Shortly after the fire, the main building was rebuilt to resemble the original building that burned (Permit No. 20061388).

*B7. Moved? ☒ No ☐ Yes ☐ Unknown Date: n/a Original Location: n/a

*B8. Related Features:

B9a. Architect: n/a b. Builder: n/a

*B10. Significance: Theme n/a Area n/a Period of Significance n/a Property Type n/a Applicable Criteria n/a

The subject property is not eligible under all CRHR and local designation criteria due to a lack of important historical associations and architectural merit (see Continuation Sheet).

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References: See Continuation Sheet

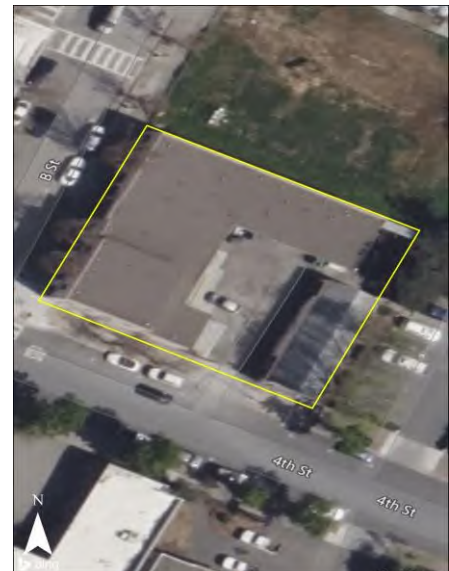
B13. Remarks:

*B14. Evaluator: Laura Carías and Sarah Corder, South Environmental

*Date of Evaluation: 06/11/2024

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Property Name: 313 B Street

Page 4 of 17

*P3a. Description (Continued):

The main entrance is located on the west facing primary elevation. It is recessed within the building featuring one wood framed glazed door; a man-lift is located adjacent to the main entrance (Photograph 2). A driveway into the loading dock is located along 4th Street (Photograph 3). Secondary entrances are located along the interior (east) and south elevations (Photographs 4 and 5). The north elevation has a full width modern mural that reads "Magnificent" (Photograph 6).

The only remaining historic age building on the property is a one-story ancillary building located along the eastern edge of the parcel. It has a front gabled roof clad with corrugated metal sheets concealed by a flat front parapet wall (Photograph 7). The ancillary building is clad with horizontal wood siding at the south elevation and painted corrugated metal siding on the west and east elevations (Photographs 8 and 9). A one-car garage opening is located on the eastern end of the south elevation. The garage door features a mural of a vintage car (Photograph 10). The west elevation also features a mural of a vintage truck (Photograph 11).



Photograph 2. West elevation of rebuilt main building, view facing east (FCS 2024)

CONTINUATION SHEET

Property Name: 313 B Street

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Photograph 3. South elevation, view facing north (FCS 2024)



Photograph 4. South elevation, view facing north (FCS 2024)

CONTINUATION SHEET

Property Name: 313 B Street

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Photograph 5. East elevation of main building, view facing west (FCS 2024)



Photograph 6. North elevation of main building, view facing southeast (FCS 2024)

CONTINUATION SHEET

Property Name: 313 B Street

Page 7 of 17



Photograph 7. Ancillary building, south elevation, view facing north (FCS 2024)



Photograph 8. Ancillary building, west elevation, view facing east (FCS 2024)

CONTINUATION SHEET

Property Name: 313 B Street

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Photograph 9. Ancillary building, east elevation, view west (FCS 2024)



Photograph 10. Ancillary building, mural at south elevation, view north (FCS 2024)

CONTINUATION SHEET

Property Name: 313 B Street

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Photograph 11. Ancillary building, mural at west elevation, view east (FCS 2024)

*B10. Significance (Continued):

Historic Context

The area now known as Petaluma was explored early in the 18th century by European settlers but was not permanently established because of strong opposition from the Miwok tribes that lived in the area. Until the 19th Century, the primary focus of the European settlers was to establish and secure the Mission at Sonoma. One of the nearby Miwok villages was named "Péta Lúuma" which was adapted to "Petaluma" by the Spanish and the name was used for the Rancho Petaluma land grant in 1834 (Page & Turnbull 2022).

After California joined the Union in 1846, Petaluma became a major transit point as the Petaluma River provided access to San Francisco, a major economic hub during the Gold Rush (Shivaie 2022). Petaluma's soil was also rich, and game was plentiful, which also made it a desirable location hunters and farmers. During the Gold Rush, there was a desperate need for food in the larger cities, so Petaluma's game hunters and farmers began to sell produce and fresh game to these cities (Sommer 2016; Shivaie 2022). By 1854, the population was 1,200 and professional gamer, Tom Baylis, constructed a wild game warehouse. The walls were constructed using 18-inche thick stone and the building currently stands as the oldest structure in town and is known as the Great Petaluma Mill shopping center (Sommer 2016).

In 1857, Petaluma shipped 187,000 pounds of butter, 186,000 pounds of cheese, and 21,000 dozen eggs to San Francisco. By 1860, the population of Sonoma County was 11,867. Eggs were a highly sought out commodity as they offered a reliable source of nutrition (Shivaie 2022).

With the establishment of the San Francisco and North Pacific Railroad in 1870, Petaluma

CONTINUATION SHEET

Property Name: 313 B Street

Page 10 of 17

established itself as a major commercial center. "Shipments of hay, grain, fruit, potatoes, hops, butter, cheese, eggs, wine, hogs, sheep, cattle, poultry, wood, lumber, and charcoal from the whole of Sonoma and Lake, and a large portion of Marin and Mendocino Counties, made their way to Petaluma and then to San Francisco and points beyond" (Wilson 2001). Lyman Byce and Isaac Dias invented the first egg incubator in 1879 and a few years later, Christopher Nisson used that technology to establish the world's first commercial hatchery (Wilson 2001). Petaluma shipped 95,000 dozen eggs in 1880 (Shivaie 2022).

Petaluma's success in commerce was the river. Before the railroad arrived, roads were unreliable especially during inclement weather and the poorly maintained roads limited the amount of goods that could be sold. While other towns such as Napa and Santa Rosa were also producers of fresh produce and eggs, Petaluma had the advantage of river access. The river provided direct access to San Francisco and allowed fresh goods to be sold the next day without the worry of it spoiling (Shivaie 2022).

Petaluma incorporated in 1858, and infrastructure was set in place such as cobblestone paved streets, water lines, churches, schools, and a fire truck (Sommer 2016). The success of the agricultural enterprises in the City made for a rich community that boasted banks, parks, hotels, businesses, and stately homes (Wilson 2001).

Petaluma also gained the reputation as a manufacturing center. Following the 1906 San Francisco earthquake, many industries moved to Petaluma. The City's distance from the San Andreas fault spared it from major earthquake damage and its easy access to river and rail transportation made it desirable to these companies. Industries such as the Carlson Currier Company, Lachman and Jacobi Winery, Heynemann Overall Factory, tanneries, and one woolen mill made Petaluma their home (Wilson 2001).

During the 1930s, the Works Progress Administration (WPA) was responsible for new construction projects such as the grading of over 1,000 linear feet of city streets, painting city schools, the construction of a new post office, fire station, sewer plant, storm sewers, parks, and D Street Bridge (Wilson 2001). Although the 1930s was a period of development in the City, the 1940s proved to be the beginning of the decline of the egg industry in Petaluma. New technologies allowed chickens to be bred and raised in colder and less desirable regions. The construction of the highway system in the 1950s also made it easier to transport eggs and dairy products in refrigerated trucks rather than by train (Wilson 2001). By the 1960s, the decline of the poultry and dairy industries along with the construction of a new shopping center in east Petaluma led to the decline of downtown. Helen Putnam, mayor of Petaluma in the 1970s, championed the rehabilitation of downtown starting with the rehabilitation of Lan Mart and the Great Petaluma Mill into shops and restaurants (Petaluma Historian 2022).

Today, Petaluma has a population of over 56,000 people. The City has a vibrant downtown area filled with year-round community events. Although Petaluma continues to focus on dairy and poultry, the other companies include those involved in technology, specialty food and beverage processing, advanced manufacturing, and green technology (City of Petaluma 2024).

Property History

The subject property's early development history began circa 1870. In its early history, the property featured multiple buildings that served a variety of functions based on a review of the Sanborn Fire Insurance Company Maps. Prior to the occupation of the subject property by Rex Hardware Company in 1942, it was previously the location of the following

CONTINUATION SHEET

Property Name: 313 B Street

Page 11 of 17

businesses: Case's Horseshoeing, Tamale Parlor, Henry Myer's Eagle Saloon, grocery store, blacksmith-carriage repair company, veterinarian's office, barber shop, and possibly a bordello (Exhibit 1) (Johnson 2006a, Sanborn var.).

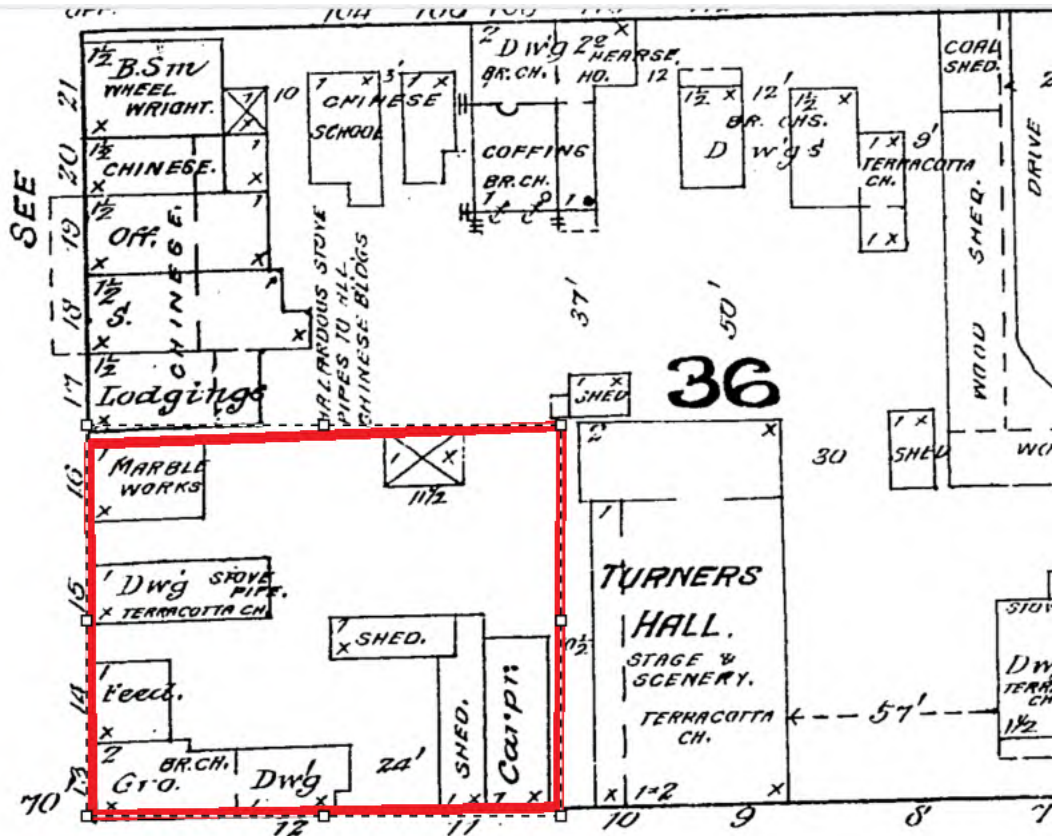


Exhibit 1, 1885 Sanborn Map with subject property outlined in red (Sanborn 1885)

The longest standing tenant at the subject property was the Rex Hardware Company. The company was first established as the Rex Mercantile Company in 1907 by Ernest Hobbie, Park Van Bebber, and Herbert Sweed at 3 Main Street (now Petaluma Boulevard North). Hobbie bought out his partner's shares and changed the name to Rex Hardware Company. Ernest operated the store alongside his sons, George and Walter (Park 2024; Jennings 2006). In 1922 Hobbie purchased the following buildings within the boundaries of the current subject property: 309, 311, and 313 B Street, and the ancillary building fronting onto 4th Street. He used these buildings in the early days as storage for the hardware store (Park 2024). The hardware store building at 3 Main Street caught fire in 1942 and Rex Hardware Company relocated to the subject property and became identified as 311 B Street. In 1957, the Hobbie family sold Rex Hardware Company to Henry E. Tomasini in 1957. Years later in 1984, Henry's son, Jeff, took over management of the store. Between 1942 and 1994, the hardware store annexed and connected all of buildings on the subject property except the ancillary building to create the conglomeration referred to in the 1994 nomination form. (Napoli 1994; Johnson 2006a; Petaluma Argus-Courier 1991).

In 1994, the subject property was recorded as part of the NRHP Historic District nomination for the Petaluma Historic Commercial District (Exhibit 2). In the nomination form the subject property was described as follows:

CONTINUATION SHEET

Property Name: 313 B Street

Page 12 of 17

a conglomeration of one- and two-story wood-framed structures, the three largest of which (c. 1870) have gable roofs of corrugated metal and siding of horizontal board or corrugated metal. Also included one very small brick building (c. 1960) with arched door and window in the rear. The street elevations join the separate elements with stucco siding and parapets. In the rear is a large shed (c. 1870) with a gable roof, plain parapet, and large sliding door" (Napoli 1994).

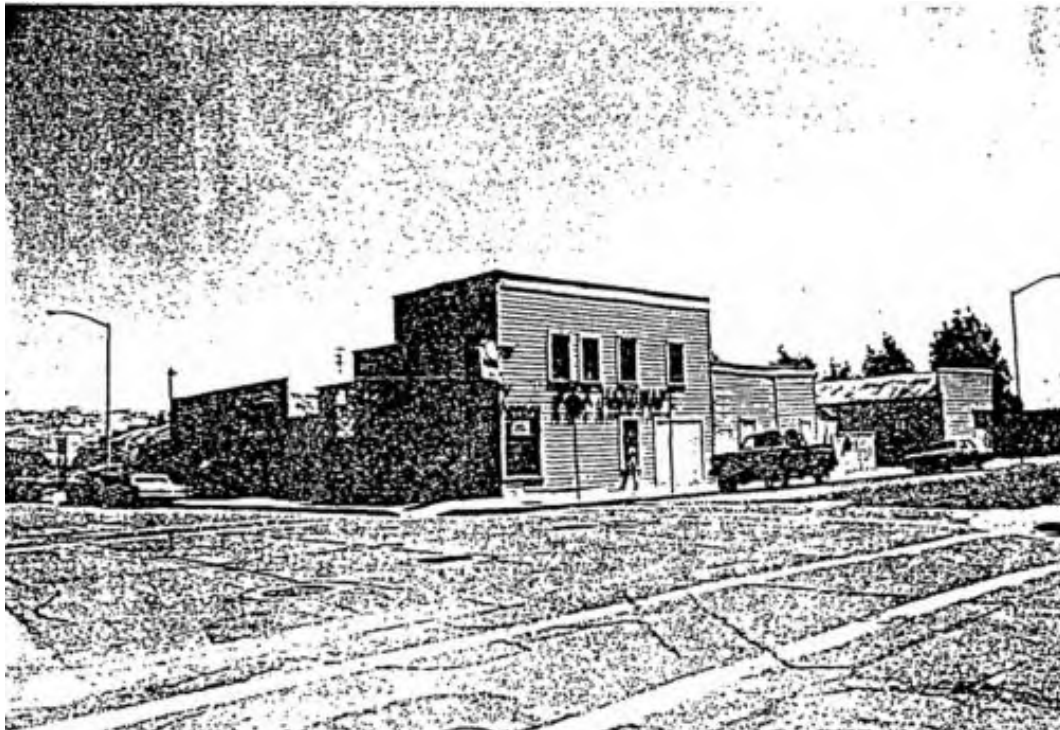


Exhibit 2. 1994 National Register nomination photograph of 313-315 B Street, south and west elevations, view northeast (Napoli 1994)

In June 2006, a fire gutted all but one of the subject property buildings, the ancillary building. This damage necessitated demolition except for the ancillary building located along the eastern end of the parcel (Permit 20060844; Johnson 2006b). Historic aerials provide evidence that the ancillary building remained in place after the fire and construction of the current L-shaped main building (Exhibits 3 and 4) (UCSB 2024; Google 2024).

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Property Name: 313 B Street

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Exhibit 3. Red outline delineates subject property with arrow pointing to ancillary building, 1965 (UCSB 1965)

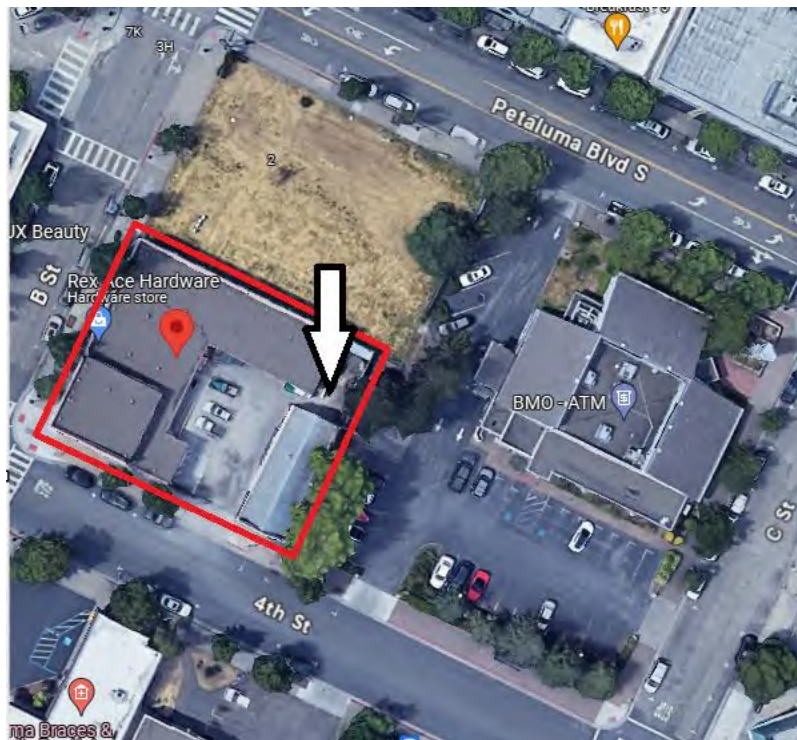


Exhibit 4. Red outline delineates subject property with arrow pointing to ancillary building that survived the 2006 fire (Google 2024)

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Property Name: 313 B Street

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As early as November 2006, the foundation for the new building was poured and work began on the construction of the new Rex Hardware Company hardware store (Permits 20061474 and 20061388). The community urged Tomasini to rebuild and to make the new store resemble the old store as much as possible, including the squeaking wood floors (Permit 20061388) (Johnson 2007). Although the new hardware store looks similar to the original, it is a modern building that was constructed with modern materials to resemble the front of the original building. The only historic building remaining on the property today is the ancillary building on the eastern side of the subject property.

The ancillary building was constructed circa 1870 according to the 1994 NRHP nomination form. Archival research generally supports this date with the building being clearly visible on the 1885 Sanborn Map. The building also continues to be visible in historic aerials and later Sanborn Maps (UCSB 2024; Sanborn 1885). The Sanborn Maps label the building as "carpenter" in 1885, 1888, 1894. Other uses include Salvation Army in 1906, coal shed in 1910 and 1923, and hardware storage in 1949 (Sanborn var.) (Exhibit 5).

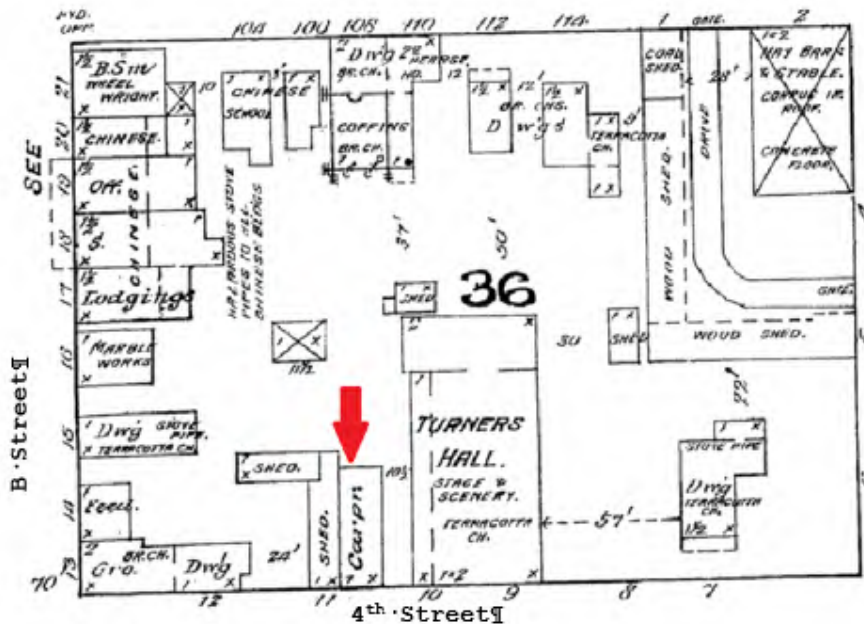


Exhibit 5. 1885 Sanborn map, red arrow pointing to ancillary building (Sanborn 1885)

As discussed above, the main building at 313 B Street was destroyed by a fire in 2006. As a result of this fire, the only remaining building that is of historic age is the ancillary building (circa 1870) located on the eastern border of the parcel. Throughout its history, the ancillary building has received the following alterations, the dates of which are unknown:

- Sealing of garage door on the south elevation.
- Changes in fenestration on the south and west elevations
- Replacement of original siding with corrugated metal on north, east, and west elevations.
- Reroof

CONTINUATION SHEET

Property Name: 313 B Street

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Significance Evaluation

The following presents an evaluation of the subject property in consideration of CRHR and local designation criteria.

CRHR Criterion 1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The subject property once consisted of a grouping of five buildings that were constructed between circa 1870 and 1920. A fire in 2006 burned the buildings, sparing only the easternmost ancillary building. This event compromised the historical integrity of the property and left one remaining building without any of its original context. While the subject property was developed and used throughout its history, from a historical standpoint it no longer has enough integrity to convey significance as an important commercial building complex within the downtown core of the City. Therefore, the subject property is recommended not eligible under CRHR Criterion 1.

CRHR Criterion 2. Is associated with the lives of persons important in our past.

The subject property was associated with father and son, Henry and Jeff Tomasini. Henry Tomasini bought the business in 1957 and son, Jeff, took over in 1984. Henry Tomasini was the founder of Northbay Savings and Loan located adjacent to the subject property. His son, Jeff, took over the hardware business in 1984. Archival research into Henry Tomasini implies that the work he is best known for is not tied to the subject property. Information regarding Jeff Tomasini did not go beyond his role as owner and operator of Rex Hardware Company store. No information was found to suggest there were any other noteworthy occupants or owners of the property. Further, the fire in 2006 destroyed the property's historical integrity and setting, thus making it unable to convey historical associations even if they were found. Therefore, the subject property is recommended not eligible under CRHR Criterion 2 for associations with important people.

CRHR Criterion 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

The subject property was developed circa 1870 and historical images show that it was originally designed with a False Front. In 2006, the main original building for the property burned and a new building was constructed in its place that resembled the original building. Following the fire, only the ancillary building on the property remained, thus the fire destroyed the subject property's historical significance and setting. Even though one of the original ancillary buildings remains on the property, without its other buildings it has no historical context. Further, the ancillary building was designed as a utilitarian building with no distinguishing or high artistic features. Further, alterations have been made to the ancillary building that continue to hinder its ability to convey historical significance. For these reasons, the subject property is recommended not eligible under CRHR Criterion 3.

CRHR Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property is not significant as a source, or likely source, of important historical information nor does it appear likely to yield important information about historic construction methods, materials or technologies. Therefore, the property is not recommended eligible under CRHR Criterion 4.

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Property Name: 313 B Street

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City Designation Criteria (Municipal Code 15.040 Designation of Landmarks and Historic District by Ordinance)

As described above in the discussion of CRHR criteria, the subject property does not appear to have "a special character or special historical, architectural, or aesthetic interest or value." Therefore, it appears ineligible as a City of Petaluma Landmark.

Integrity

Location: The subject property retains integrity of location. The current building was constructed in roughly the same location as the original main building and the ancillary building on the property remains in its original location.

Design: The subject property no longer retains integrity of design. As a result of the fire, there is not enough original fabric remaining of the subject property to show any elements of its original design.

Setting: The subject property no longer retains integrity of setting. Buildings all around the subject property are not original to the block and date well past the original building's 1870-1920 date of construction.

Materials: The subject property lacks integrity of materials as the main building has been reconstructed. The ancillary building has also been altered and replacement materials have been added.

Workmanship: The subject property lacks integrity of workmanship as the main building has been reconstructed. The remaining ancillary building has also been altered.

Feeling: The subject property does not retain integrity of feeling as the main building was reconstructed in 2006. While the new construction nods to the original design, it no longer feels like a building from the late 1800s/early 1900s.

Association: The subject property lacks integrity of association. The property's overall lack of integrity resulting from its new construction leaves it with no important associations with events, people, or important patterns of development in the City.

For all of the reasons provided above, the property at 313 B Street is not eligible for designation in the CRHR or as a City of Petaluma landmark.

B12. References:

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CONTINUATION SHEET

Property Name: 313 B Street

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State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary #
HRI #
Trinomial
NRHP Status Code 6Z

Other Listings
Review Code

Reviewer

Date

Page 1 of 16 *Resource Name or #: (Assigned by recorder) 20 Petaluma Boulevard South

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☒ Unrestricted

*a. County Sonoma and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Petaluma Date 1981 T 05N ; R 07 W ; ☐ of ☐ of Sec 33; MD B.M.

c. Address 20 Petaluma Blvd South City Petaluma Zip 95126

d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 531637.00 mE/ 4231706.00 mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, decimal degrees, etc., as appropriate)

APNs 008-063-005-000, 008-063-006-000, 008-0196-007-000. The subject property is located on the southwest corner of Petaluma Boulevard South and C Street. It is within the Petaluma Historic Commercial District.

***P3a. Description:**

The subject property is a one-story commercial building that functioned as a bank throughout its history (Photograph 1). The building is clad in painted brick and is capped with a mix of shed and flat roofs clad in composition shingles (Photograph 1). The wide fascia are clad with wood planks and surround the building. The exterior consists of painted brick and board-formed concrete (Photograph 2). The main entrance is located on the northeast corner of the building (see Continuation Sheet).

***P3b. Resource Attributes:** (List attributes and codes) HP6. 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.)



P5b. Description of Photo: (view, date, accession #) Photograph 1. Primary north elevation, view to south (FCS 2024)

***P6. Date Constructed/Age and Source:** ☒ Historic ☐ Prehistoric ☐ Both
1974 (ParcelQuest)

***P7. Owner and Address:**
Victor L & Marisa De Carli Trust et al
P.O. Box 377
Petaluma, CA 94953

***P8. Recorded by:**
Laura Carias,
South Environmental
2061 N. Los Robles Ave.,
Ste. 205
Pasadena, CA 91104

***P9. Date Recorded:** 5/31/2024

***P10. Survey Type:** Intensive-Level Pedestrian

***P11. Report Citation:** (Cite survey

report and other sources, or enter "none.")

Historic Built Environment Impacts Assessment for the EKN Hotel Project, City of Petaluma, California (South Environmental 2024)

***Attachments:** ☐ NONE ☒ Location Map ☒ Continuation Sheet ☒ Building, Structure, and Object Record

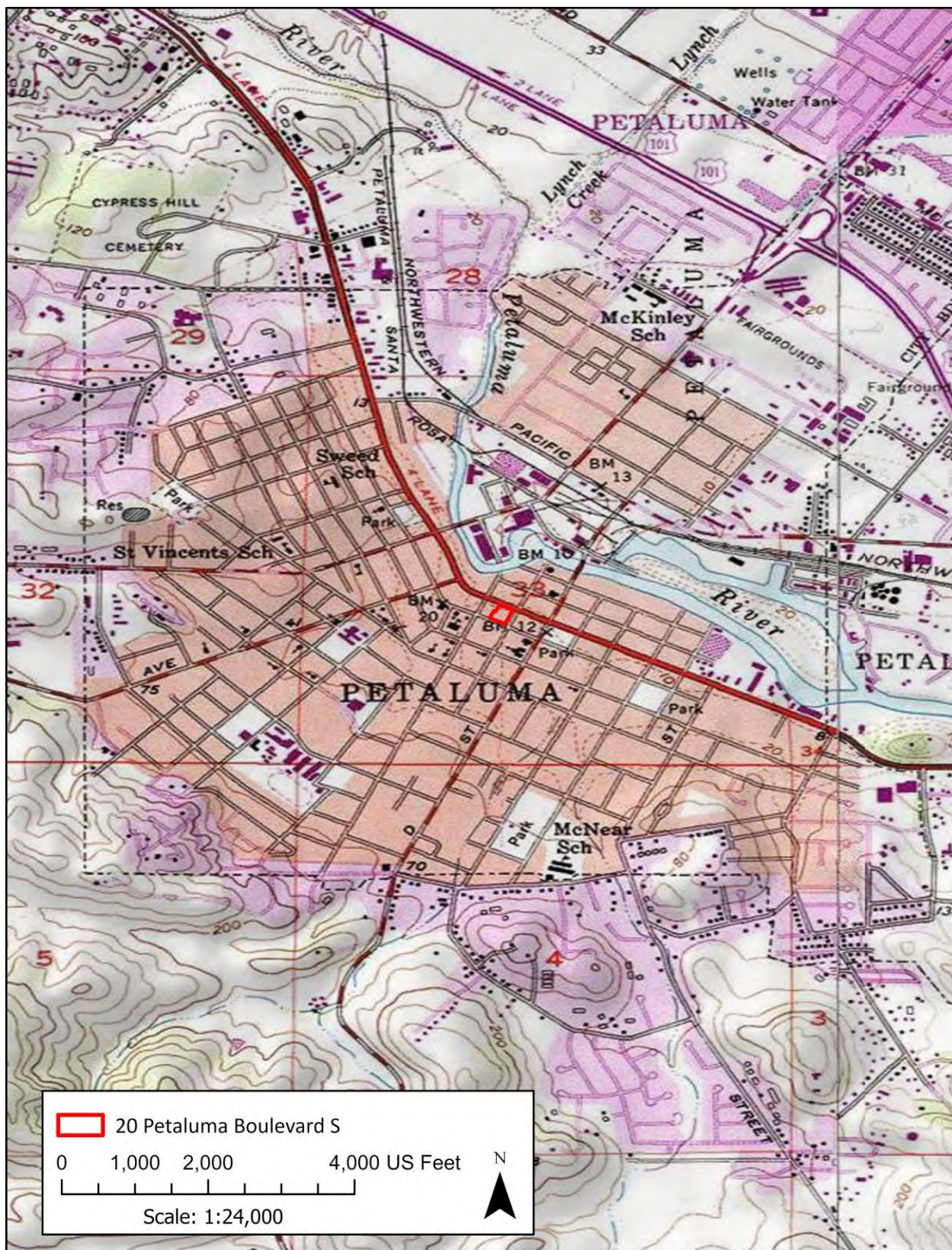
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photograph Record ☐ Other (List): _____

State of California Natural Resources Agency
DEPARTMENT OF PARKS AND RECREATION
LOCATION MAP

Primary #
HRI#
Trinomial

Page 2 of 16 *Resource Name or # (Assigned by recorder) 20 Petaluma Boulevard South
*Map Name: Petaluma, California *Scale: 1:24,000 *Date of map: 1981



BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or # (Assigned by recorder) 20 Petaluma Boulevard South *NRHP Status Code 6Z
Page 3 of 16

B1. Historic Name: Northbay Savings and Loan

B2. Common Name: Bank of the West

B3. Original Use: Bank B4. Present Use: vacant

* B5. Architectural Style: Shed

*B6. Construction History: (Construction date, alterations, and date of alterations)

The building was constructed 1974 (ParcelQuest). The following alterations were made to the building throughout its history:

1986: Install 20"x20" steel access panel at CSJ side of building. Paint to match wall (Permit No. 86001672)

1987: Remove existing bank screen. Install teller counter and electric outlets also [illegible] to expose ATM (Permit No. 8700958)

1998: Tear off existing roofing, replace with same (Permit No. 98002176)

1996: Remove existing signs and replace "Bank of the West" (Permit No. 96000563)

1996: ATM walk-up installation & ADA retrofit (Plans, JLC Contracting)

Unknown: Removal of original wood shake roof shingles (Pettengill 1974; visual inspection)

*B7. Moved? ☒No ☐Yes ☐Unknown Date: _____ Original Location: _____

*B8. Related Features: n/a

B9a. Architect: Frederick K. Lesan b. Builder: Swallow Construction Company

*B10. Significance: Theme n/a Area n/a

Period of Significance n/a Property Type n/a Applicable Criteria n/a

The subject property is not eligible under all CRHR and local designation criteria due to a lack of important historical associations and architectural merit.

(See Continuation Sheet).

B11. Additional Resource Attributes: _____

*B12. References: See Continuation Sheet

B13. Remarks:

*B14. Evaluator: Laura Carias, South Environmental

*Date of Evaluation: 5/31/2024

(This space reserved for official comments.)

(Sketch Map with north arrow required.)



CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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*P3a. Description (Continued):

It is located beneath a flat cantilevered overhang (Photograph 3). A secondary entrance is located on the south elevation, and it is recessed within the building and beneath a cantilevered overhang. Windows consist of plate-glass windows divided horizontally with wide wood mullions (Photograph 4). A drive-thru window is located on the west elevation beneath a flat roof projecting upwards.

A flowerbed is located northeast of the main entrance. A three-sided marquee with a digital clock is located within the flowerbed (Photograph 3).



Photograph 2. South elevation, view north (FCS 2024)

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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Photograph 3. East elevation, view southwest (FCS 2024)



Photograph 4. North elevation, view southwest (FCS 2024)

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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*B10. Significance (Continued):

Historic Context

The area now known as Petaluma was explored early in the 18th century by European settlers but was not permanently established because of strong opposition from the Miwok tribes that lived in the area. Until the 19th Century, the primary focus of the European settlers was to establish and secure the Mission at Sonoma. One of the nearby Miwok villages was named "Péta Lúuma" which was adapted to "Petaluma" by the Spanish and the name was used for the Rancho Petaluma land grant in 1834 (Page & Turnball 2022).

After California joined the Union in 1846, Petaluma became a major transit point as the Petaluma River provided access to San Francisco, a major economic hub during the Gold Rush (Shivaie 2022). Petaluma's soil was also rich, and game was plentiful, which also made it a desirable location hunters and farmers. During the Gold Rush, there was a desperate need for food in the larger cities, so Petaluma's game hunters and farmers began to sell produce and fresh game to these cities (Sommer 2016; Shivaie 2022). By 1854, the population was 1,200 and professional gamer, Tom Baylis, constructed a wild game warehouse. The walls were constructed using 18-inche thick stone and the building currently stands as the oldest structure in town and is known as the Great Petaluma Mill shopping center (Sommer 2016).

In 1857, Petaluma shipped 187,000 pounds of butter, 186,000 pounds of cheese, and 21,000 dozen eggs to San Francisco. By 1860, the population of Sonoma County was 11,867. Eggs were a highly sought out commodity as they offered a reliable source of nutrition (Shivaie 2022).

With the establishment of the San Francisco and North Pacific Railroad in 1870, Petaluma established itself as a major commercial center. "Shipments of hay, grain, fruit, potatoes, hops, butter, cheese, eggs, wine, hogs, sheep, cattle, poultry, wood, lumber, and charcoal from the whole of Sonoma and Lake, and a large portion of Marin and Mendocino Counties, made their way to Petaluma and then to San Francisco and points beyond" (Wilson 2001). Lyman Byce and Isaac Dias invented the first egg incubator in 1879 and a few years later, Christopher Nisson used that technology to establish the world's first commercial hatchery (Wilson 2001). Petaluma shipped 95,000 dozen eggs in 1880 (Shivaie 2022).

Petaluma's success in commerce was the river. Before the railroad arrived, roads were unreliable especially during inclement weather and the poorly maintained roads limited the amount of goods that could be sold. While other towns such as Napa and Santa Rosa were also producers of fresh produce and eggs, Petaluma had the advantage of river access. The river provided direct access to San Francisco and allowed fresh goods to be sold the next day without the worry of it spoiling (Shivaie 2022).

Petaluma incorporated in 1858, and infrastructure was set in place such as cobblestone paved streets, water lines, churches, schools, and a fire truck (Sommer 2016). The success of the agricultural enterprises in the City made for a rich community that boasted banks, parks, hotels, businesses, and stately homes (Wilson 2001).

Petaluma also gained the reputation as a manufacturing center. Following the 1906 San Francisco earthquake, many industries moved to Petaluma. The City's distance from the San Andreas fault spared it from major earthquake damage and its easy access to river and rail transportation made it desirable to these companies. Industries such as the Carlson Currier Company, Lachman and Jacobi Winery, Heynemann Overall Factory, tanneries, and one woolen mill made Petaluma their home (Wilson 2001).

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Property Name: 20 Petaluma Boulevard South

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During the 1930s, the Works Progress Administration (WPA) was responsible for new construction projects such as the grading of over 1,000 linear feet of city streets, painting city schools, the construction of a new post office, fire station, sewer plant, storm sewers, parks, and D Street Bridge (Wilson 2001). Although the 1930s was a period of development in the City, the 1940s proved to be the beginning of the decline of the egg industry in Petaluma. New technologies allowed chickens to be bred and raised in colder and less desirable regions. The construction of the highway system in the 1950s also made it easier to transport eggs and dairy products in refrigerated trucks rather than by train (Wilson 2001). By the 1960s, the decline of the poultry and dairy industries along with the construction of a new shopping center in east Petaluma led to the decline of downtown. Helen Putnam, mayor of Petaluma in the 1970s, championed the rehabilitation of downtown starting with the rehabilitation of Lan Mart and the Great Petaluma Mill into shops and restaurants (Petaluma Historian 2022).

Today, Petaluma has a population of over 56,000 people. The City has a vibrant downtown area filled with year-round community events. Although Petaluma continues to focus on dairy and poultry, the other companies include those involved in technology, specialty food and beverage processing, advanced manufacturing, and green technology (City of Petaluma 2024).

Property Development History

The subject property, consisting of three parcels, first housed a former auto service shop dating to 1907 (Park 2024) (Exhibit 1). In 1973, Northbay Savings and Loan purchased the three parcels from their respective owners, Sybil Joseph, the Petaluma Post of the American Legion, and Jean McNear Pope, with the intent to build a new bank building (Petaluma Argus-Courier 1973). Northbay Savings and Loan was an established bank that opened in 1965 with their offices located at 17 Petaluma Boulevard South but were looking to expand their office space (Press Democrat 1973).

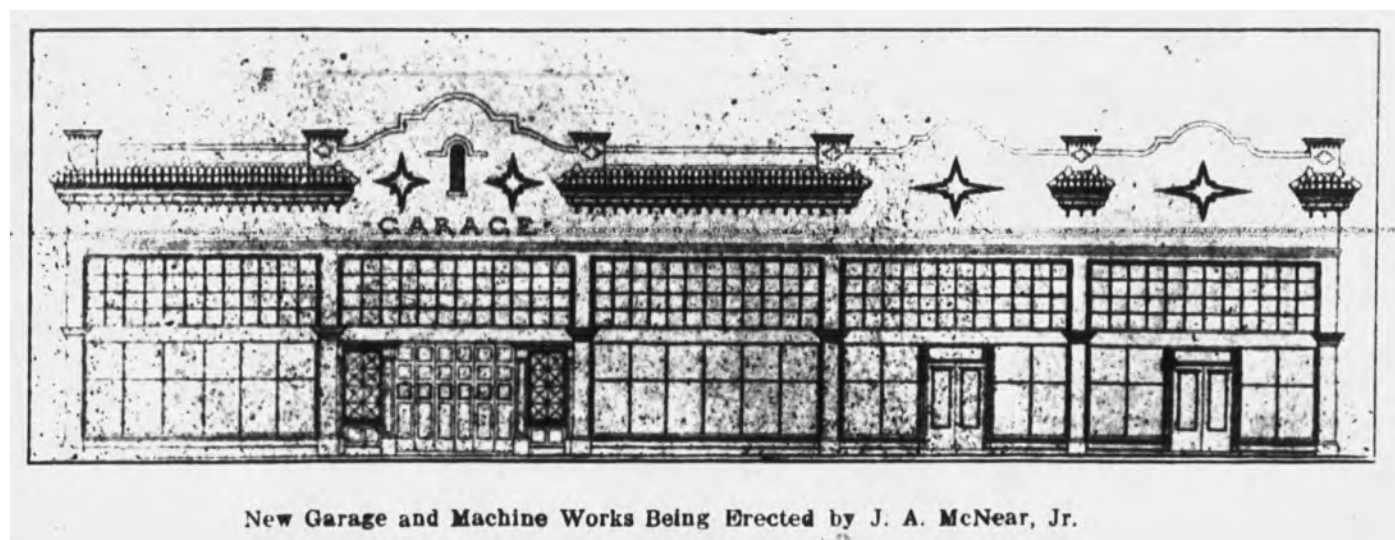


Exhibit 1. 1907 building once located where the subject property now sits (Petaluma Argus-Courier 1907).

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Property Name: 20 Petaluma Boulevard South

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Exhibit 2. Demolition of 1907 building making way for subject property (Petaluma Argus-Courier 1974b)

The demolition of the auto repair shop began in January 1974 to make way for the new 8,500 square foot bank building (Exhibit 2). Along with bank offices, the building also featured a large community room that took up one-fifth of the entire building to be used by the company and local organizations (Petaluma Argus-Courier 1974). The groundbreaking ceremony took place on March 28, 1974, with directors, Henry Tomasini, Don Ramatici, and Marty Stinar; president, Herold Mahoney; and contractors Steve and Ez Swallow of Swallow Construction Company (Petaluma Argus-Courier 1974a).

The grand opening was set for Saturday, December 7, 1974 (Exhibit 3). The day before the grand opening, the Petaluma press was given a behind-the-scenes tour of the new bank. The interior was described as "keyed to a color scheme of warm oranges and browns, and the main business area is centered with an impressive fireplace and conversational grouping of comfortable couches that invites visitors to stop and relax" (Draper 1974). The building also featured a community room complete with a kitchen. A fountain was installed out front, that was Tomasini's idea. He said it was the only fountain in Petaluma other than the drinking fountain installed at the corner of Petaluma Boulevard and Western which was installed many years prior (Draper 1974). Tomasini told the reporters they had had problems with children putting detergent into the foundation and inundating it with bubbles. He strongly resisted the suggestion to convert the water feature into a planter (Draper 1974).

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Property Name: 20 Petaluma Boulevard South

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Exhibit 3. Grand opening for Northbay Savings and Loan (Daily Independent Journal 1974)

A review of several aerial images from each decade since the subject property's construction revealed that no additions or other footprint modifications were made to the property (Google Maps 2024).

By 1995, Northbay Savings (formerly Northbay Savings and Loan) had deposits of \$284 million and assets of \$391 million and eight Sonoma County offices. However, in 1995 Northbay Savings announced that Bank of the West would acquire the bank pending approval by bank regulatory authorities and the shareholders of Northbay Financial Corporation (Petaluma Argus-Courier 1995). The building changed hands again in 2021, when Bank of the West sold to Bank of Montreal (BMO) for \$16.3 billion. According to a notice currently posted on the building, BMO vacated the property in 2022 and it has been vacant since.

Property Occupant History

Northbay Savings and Loan was established in 1965 by local businessmen and professionals Herold Mahoney, James McDowell, Victor L. DeCarli, Donald Ramatici, Arthur W. Parent, Martin Stinar, Dr. Ray Nizibian, and Henry Tomasini (Petaluma Argus-Courier 1967). The bank was first located at 17 Petaluma Boulevard North before it built a new location at 20 Petaluma Boulevard South in 1974. By 1985, the bank had grown to five offices with a total of \$135 million in assets (Petaluma Argus-Courier 1985). The bank changed its name to Northbay Savings Bank in 1990 before merging with Bank of the West in 1996 (US Bank Locations 2024).

The founders of Northbay Savings and Loan were Petaluma businessmen that were either natives or had spent a large part of their lives in Petaluma. Mahoney was a third-generation resident of Petaluma and a distributor of Phillips 66 since 1947. McDowen was a rancher who was active with the Associated Dairyman, Farm Bureau, and Sonoma-Marin

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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Dairymen. Ramaticci worked in the insurance business since 1951. Stiner operated a real estate firm. Dr Nizibian had a dental practice in Petaluma and was a clinical instructor at the University of San Francisco (Petaluma Argus-Courier 1970).

Victor L. DeCarli was in the liquid gas business. He was a native of Petaluma and studied electrical engineering at the University of California, Berkeley. His graduate work at Berkely influenced the development of the wind tunnel at the mechanical engineering laboratory and the 1941 project under his supervision was useful in the development and refinement of World War II airplanes. He also acted as chief engineer on Mare Island working with the Navy on propulsion systems for Navy ships. He worked in the banking and savings and loan business for 33 years. In 1946 he and his brother Charlie started DeCarli Brothers Butane. He also was part of a small group that established the Best Western Petaluma Inn in 1957. In 1969, DeCarli and his wife Marisa purchased two rundown buildings in downtown Petaluma known as the Centennial Building, built in 1876. They rehabilitated the buildings and converted them into the Lan Mart Shops. The project was the first of its kind in the City of Petaluma and was later awarded the first Certificate of Recognition (Petaluma Argus-Courier 2000).

Donald Ramaticci established Don Ramaticci Insurance in 1958. He was an active member in the community as a long-time member of the Petaluma Elk's Club, the Native Son's, the Elk's Foundation, and the Elk's Hall Association. He was also the past Rotary President and board member (Petaluma Argus-Courier 2018).

Arthur W. Parent trained in mortuary practice and worked for a firm in San Francisco before taking a position with the Mount Funeral Chapel in Petaluma in 1938. Parent eventually purchased the business in 1944 and renamed it Parent Funeral Chapel; he sold the business in 1981. Parent served as mayor of Petaluma from 1957 to 1961. He was responsible for having the city water switched from private ownership to a city owned system. Amongst other positions, Parent was the past president of the Petaluma Chamber of Commerce and past president of the Petaluma Lions Club (Petaluma Argus-Courier 1991).

Henry Tomasini was the owner of Petaluma's Rex Hardware since 1957 and had been the director of the California Savings and Loan League and the president of the Bay Cities Savings and Loan League amongst other organizations (Johnson 2006; Petaluma Argus-Courier 1994).

Other banks associated with the subject property include Bank of the West from 1995 to 2021 when BMO took over in 2021. Archival research failed to indicate any other individuals associated with the subject property.

Architects and Builders

Bank Building Corp.

Bank Building Corp. was first established as the St. Louis Bank Fixture Company. It specialized in "the design, fabrication, and installation of wood cabinetry, teller cages, letter trays, and other wood fixtures such as custom paneling for executive offices, board rooms, and courthouses" (Midcentury Banks 2019). In 1913, cousins Joseph B. Gander and Louis J. Orabka purchased the company and renamed it the Bank Building & Equipment Corporation of America. The company soon added vaults, iron bars, gates, and other metal products to their line of services. The biggest addition was the expansion of services that now included planning, design, construction, and fixture installation (Midcentury Banks 2019).

The company began to manufacture pinball machines, furniture, and designed and built

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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mausoleums. After the Prohibition Era, they also began marketing fine beer cabinets, bars, and lounge furniture to hotels. During World War II, they began manufacturing prefabricated housing for the military and overseas shipping crates (Midcentury Banks 2019).

After World War II, Gander began a design-build process at the company, in which they provided full services to design, construct, and build banks to save the clients time and money. The company is credited with spearheading the new bank-friendly policies implemented after World War II. They helped "popularize the branch bank, the consumer-oriented lobby, drive-up banking, and the modern teller station" (Midcentury Banks 2019). In its prime, immediately following World War II, Bank Building Corp. was completing a new building every three days, working in 32 states, and had another 22 contracts in five Central and South American countries. The company began to decline in the 1980s and eventually filed for bankruptcy and closed in 1990 (Midcentury Banks 2019).

Frederick K. Lesan, AIA

Frederick Lesan was the architect on file for the subject property. Little to no information was found regarding his personal life. A search through newspaper archives reveals that he designed many bank buildings in California (Bowker 1962, 1970). The known banks are as listed:

- Bank of America, San Diego, California (1958) (San Diego Union 1958)
- Bank of America, Torrance, California (1959) (Los Angeles Examiner 1959)
- Sacramento Teachers Credit Union, Sacramento, California (1972) (Sacramento Bee 1972)
- Chico Savings and Loan, Chico, California (1973) (Paradise Post 1973)
- Vandenberg Federal Credit Union, Lompoc, California (1974) (Pettengill 1974)
- Laguna Federal Savings, San Clemente, California (1976) (Sun Post News 1976)
- Laguna Federal Savings, Lake Elsinore, California (1979) (Valley Tribune 1978)

Swallow Construction

J.E., also known as Ez, and Steven Swallow were partners in Swallow Construction. They were responsible for the construction of various schools, churches, funeral homes, municipal buildings, and car dealerships throughout Petaluma. In a 1974 Petaluma Argus-Courier newspaper article, Swallow Construction was said to have been in the construction business for over 20 years (Petaluma Argus-Courier 1974c). No other information was found regarding the firm.

Architectural Style

Shed Style (1965-1990)

Shed style architecture was inspired largely by the development of the Sea Ranch Lodge in 1965 in Northern California. Much like other subsets of the Modern movement, Shed style buildings used mass produced materials like concrete, wood, and veneers and were easy to construct to meet rising population and housing needs. The style was prevalent throughout the 1960s-1990s for a variety of property types including single-family and multi-family residences, and commercial buildings. In its truest form, the style also attempted to integrate natural surroundings into the design with landscaping elements and the use of unpainted wood. Although the style was popular for multiple decades, the cost of maintenance of materials like untreated/unpainted wood led to the decline of the style by the late 1980s and early 1990s (McAlester 2015; Fletcher, et. al. 2018; DAHP 2024; SF Planning n.d).

Key character-defining features of the Shed Style include the following (McAlester 2015):

- Shed roof forms

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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- Multidirectional rooflines
- Wood wall cladding (diagonal, vertical, horizontal, or shingles)
- Smooth roof-wall junction commonly with little to no overhang
- Use of bold diagonal elements
- Simple windows
- Minimal exterior detailing

Significance Evaluation

The following presents an evaluation of the subject property in consideration of CRHR designation criteria.

CRHR Criterion 1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage.

The subject property was constructed in 1974 for the Northbay Savings and Loan Bank during a period when downtown Petaluma had fallen into disrepair. While Mayor Helen Putnam encouraged the rehabilitation of downtown, the construction of the bank was not a result of the mayor's downtown revitalization initiative. The vision was to rehabilitate and reuse old buildings. As stated previously, a 1907 building was also demolished for the bank's construction, thus further indicating that the subject property is not an example of the mayor's vision to rehabilitate and reuse old buildings. The reason for the subject property's construction was that the Northbay Savings and Loan Bank had outgrown their first location and needed additional space. The plans for the bank also included a meeting space for local community groups. Archival research failed to indicate any noteworthy contributions to, or associations with, the subject property. It is not associated with any specific events in the City, region, or state. Therefore, the subject property is recommended not eligible under CRHR Criterion 1 for associations with important events.

CRHR Criterion 2. Is associated with the lives of persons important in our past.

The subject property is associated with the founders of the Northbay Savings and Loan: Herold Mahoney, James McDowell, Victor L. DeCarli, Donald Ramatici, Arthur W. Parent, Martin Stinar, Dr. Ray Nizibian, and Henry Tomasini. All men were either lifelong residents of Petaluma or had lived a considerable part of their lives in the City and had successful businesses in Petaluma. They were also part of the community and invested their time in fraternal organizations, with one individual (Arthur W. Parent), serving as City mayor. However, their contributions were tied to organizations outside the bank, and not the bank itself. Therefore, the subject property is recommended not eligible under CRHR Criterion 2 for associations with important people.

CRHR Criterion 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values.

The subject property was constructed in 1974 in the Shed style of architecture. It features multiple shed roofs, painted brick and board-formed concrete, and large plate windows. There are only a few known alterations including the removal of wood shake roof shingles and the addition of an ATM and ADA improvements to the subject property. One newspaper article listed Bank Building Corp. as the consultants, however no specific architect was listed. Swallow Construction was listed as the builder. No further information was found on the contractor other than that they had built many residential and commercial buildings in Petaluma. Although it follows the basic elements of Shed style architecture with its boxy form and varied roofline, the building presents as a ubiquitous, post-war bank

CONTINUATION SHEET

Property Name: 20 Petaluma Boulevard South

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building seen throughout California. Furthermore, the design is quite utilitarian with no distinguishing or high artistic features. As such, it is not a good example of the Shed style of architecture.

Frederick K. Lesan was the architect of the subject property. Extensive archival research indicates that Lesan spent the majority of his career designing bank buildings throughout California. The majority of his projects were for Bank of America and took place in the 1970s. No additional information was found about any other contributions that he made to architectural history, as such it is unlikely that he rises to the level required to be considered a master architect. .

For these reasons, the subject property is recommended not eligible under CRHR Criterion 3.

CRHR Criterion 4. Has yielded, or may be likely to yield, information important in prehistory or history.

The subject property is not significant as a source, or likely source, of important historical information nor does it appear likely to yield important information about historic construction methods, materials or technologies. Therefore, the property is not recommended eligible under CRHR Criterion 4.

City Designation Criteria (Municipal Code 15.040 Designation of Landmarks and Historic District by Ordinance)

As described above in the discussion of CRHR criteria, the subject property does not appear to have "a special character or special historical, architectural, or aesthetic interest or value." Therefore, it appears ineligible as a City of Petaluma Landmark.

Integrity

Location: The subject property retains integrity of location. The property is sited in the original location it was constructed in its original orientation.

Design: The subject property retains integrity of design. The only known alterations are the addition of an ATM, ADA accessibility, and converting the water foundation into a planter.

Setting: The subject property has a diminished sense of integrity of setting. The block that includes the subject property has been redeveloped multiple times throughout the history of the building as a result of building demolition and fire damage. Buildings directly north and to the northeast were also replaced in the last 20 years.

Materials: The subject retains integrity of materials as it remains largely intact.

Workmanship: The subject property retains integrity of workmanship as only minor alterations such as the addition of an ATM have been made.

Feeling: The subject property retains integrity of feeling. It still conveys a feeling of a 1970s bank building.

Association: The subject property lacks integrity of association. The property has no important associations with events, people, or important patterns of development in the City.

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Property Name: 20 Petaluma Boulevard South

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For all of the reasons provided above, the property at 20 Petaluma Boulevard South is not eligible for designation in the CRHR or as a City landmark.

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ATTACHMENT B.

Project Plans

EIR SUPPLEMENT
04/04/2024

EIR INDEX OF DRAWINGS			
SHEET NO	SHEET TITLE	ISSUE DATE	REVISED DATE
EIR			
EIR-G0	GENERAL - COVER	04 APRIL 2024	
EIR-1.2	ARCHITECTURAL - SITE PLAN	04 APRIL 2024	
EIR-1.3	CIVIL - CONCEPTUAL SITE PLAN	04 APRIL 2024	
EIR-1.4	CIVIL - CONCEPTUAL UTILITY PLAN	04 APRIL 2024	
EIR-1.5	STREET PLAN	04 APRIL 2024	
EIR-1.6	SITE LANDSCAPE PLAN - LEVEL 01	04 APRIL 2024	
EIR-1.7	SITE LANDSCAPE PLAN - LEVEL 02	04 APRIL 2024	
EIR-1.8	SITE LANDSCAPE PLAN - LEVEL 06	04 APRIL 2024	
EIR-1.9	SITE LANDSCAPE MATERIALS	04 APRIL 2024	
EIR-4.0	ARCHITECTURAL - EXTERIOR ELEVATIONS	04 APRIL 2024	
EIR-4.1	ARCHITECTURAL - EXTERIOR ELEVATIONS	04 APRIL 2024	
EIR-5.0	ARCHITECTURAL - RENDERINGS	04 APRIL 2024	
EIR-5.1	ARCHITECTURAL - RENDERINGS	04 APRIL 2024	
EIR-5.2	ARCHITECTURAL - RENDERINGS	04 APRIL 2024	

PROJECT INFORMATION			
PROJECT ADDRESS:	2 PETALUMA BLVD NORTH PETALUMA, CALIFORNIA		
OCCUPANCY TYPE:	A-2 RESTAURANTS R-1 HOTEL GUESTROOMS S-2 PARKING		
APN:			
CONSTRUCTION TYPE:	1A		
NUMBER OF STORIES:	SIX STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE.		
BUILDING HEIGHT ABOVE GRADE:	66' 7" (TOP OF ROOF)		
SITE AREA:	14,256.54 SF		
FAR:	4.78		
PROJECT AREA:		Gross	Net
	Basement	13,100	
	Parking		9174
	Storage		1286
	MEP		1082
	Ground Floor	12,727	
	Restaurant		2308
	outdoor seating		901
	Kitchen		1832
	MEP		1142
	trash		176
	Hotel		1460
	boh		3213
	Level 2	12,117	
	Guest		6860
	Fitness		1283
	Balc		508
	Terrace		898
	Admin		1050
	Level 3	12,117	
	Guest		9323
	Balc		508
	Level 4	12,117	
	Guest		9323
	Balc		508
	Level 5	11,502	
	Guest		8700
	Balc		988
	Level 6	4,220	
	Event		1372
	Pantry		967
	Terrace		5514
Total Above Grade Gross (shafts not removed)		64,800	
Land area		14,256	
FAR		4.55	
Site coverage		100%	
Keys		93	
Building Height (max to top of event roof from ave grade)		67'-10"	



EKN APPELLATION

2 Petaluma Blvd South
Petaluma, California



Page Southerland Page, Inc.
414 Jackson Street, 4th Floor
San Francisco, CA 94111
pagethink.com

TEL 415.249.0130
FAX 415.249.0132

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444 Flower St 3800
Los Angeles, CA
90071
323 536 2362

MEP
INTERACE ENGINEERING
601 South Figueroa St
Suite 2750
Los Angeles, CA 90017
213 694 3408

LANDSCAPE
BRIGHTVIEW
8 Hughes
Ste. 150
Irvine, CA, 4900
949 238 4900

CIVIL
N CONSULTENG
4 Park Plz
Irvine, CA
92614
949 396 1161

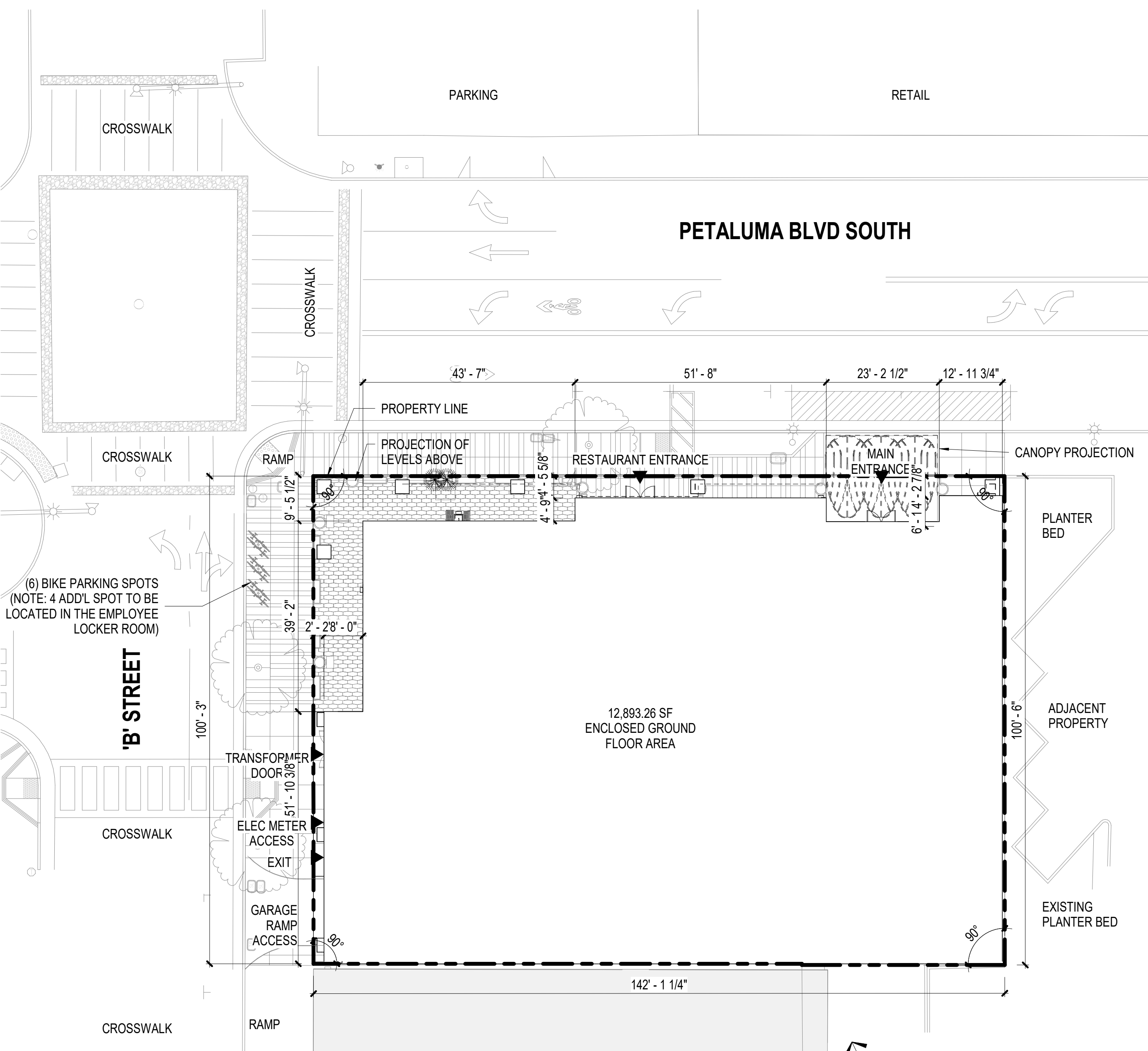
FF&E
DH-COMPANIES
7591 Coppermine Drive
Manassas, VA
20109
703 520 1885

INTERIOR
SIXTEEN-FIFTY
7509 Girard Ave.
La Jolla, CA
92037
858 454 6909

FOR REVIEW ONLY

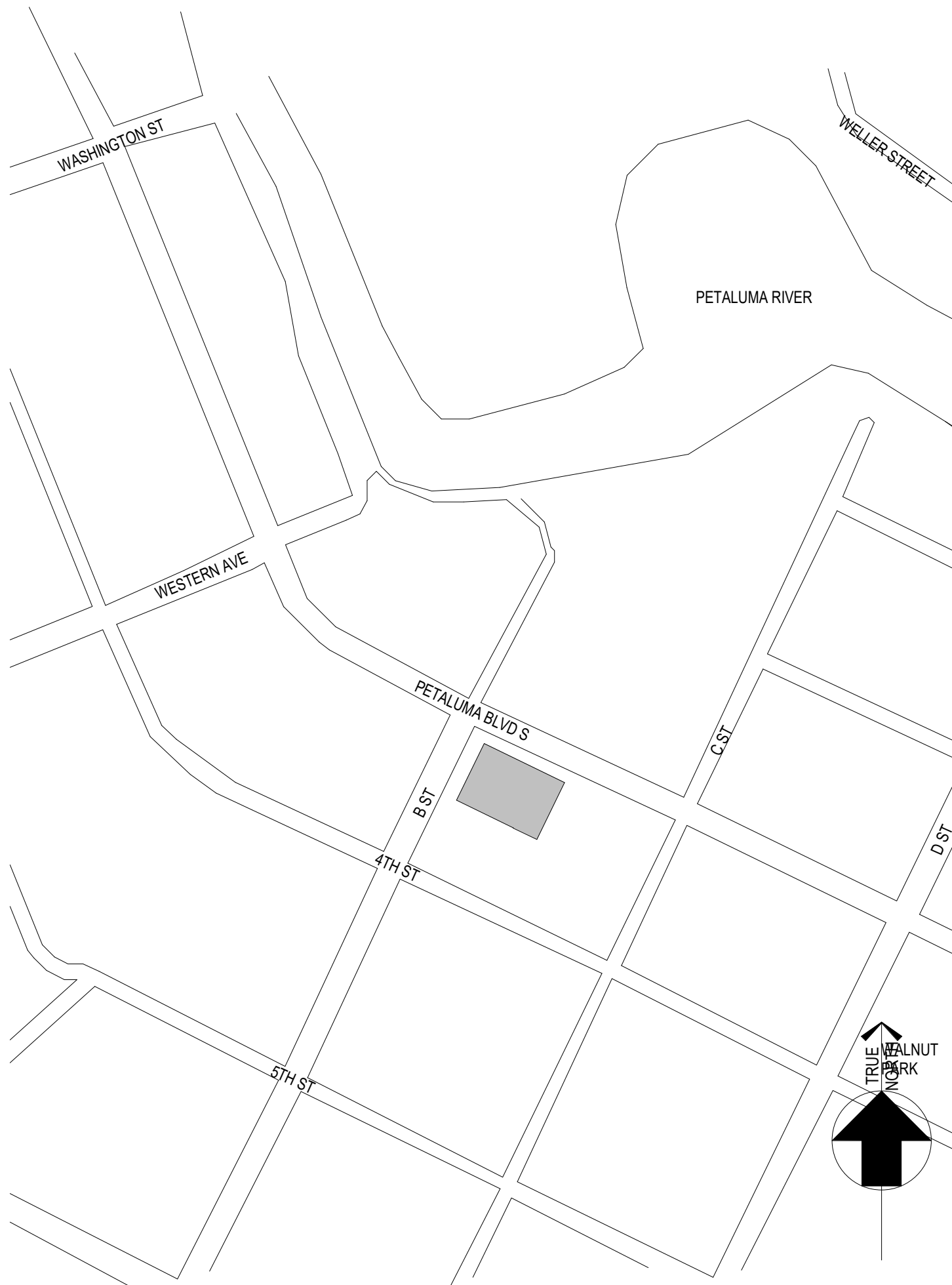
INTERIM REVIEW
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PURPOSE OF INTERIM REVIEW UNDER THE
AUTHORITY OF
*** choose ARCHITECT or ENGINEER ***
from list in Family Types
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APPROVAL, BIDDING, PERMIT, OR
CONSTRUCTION PURPOSES.

EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

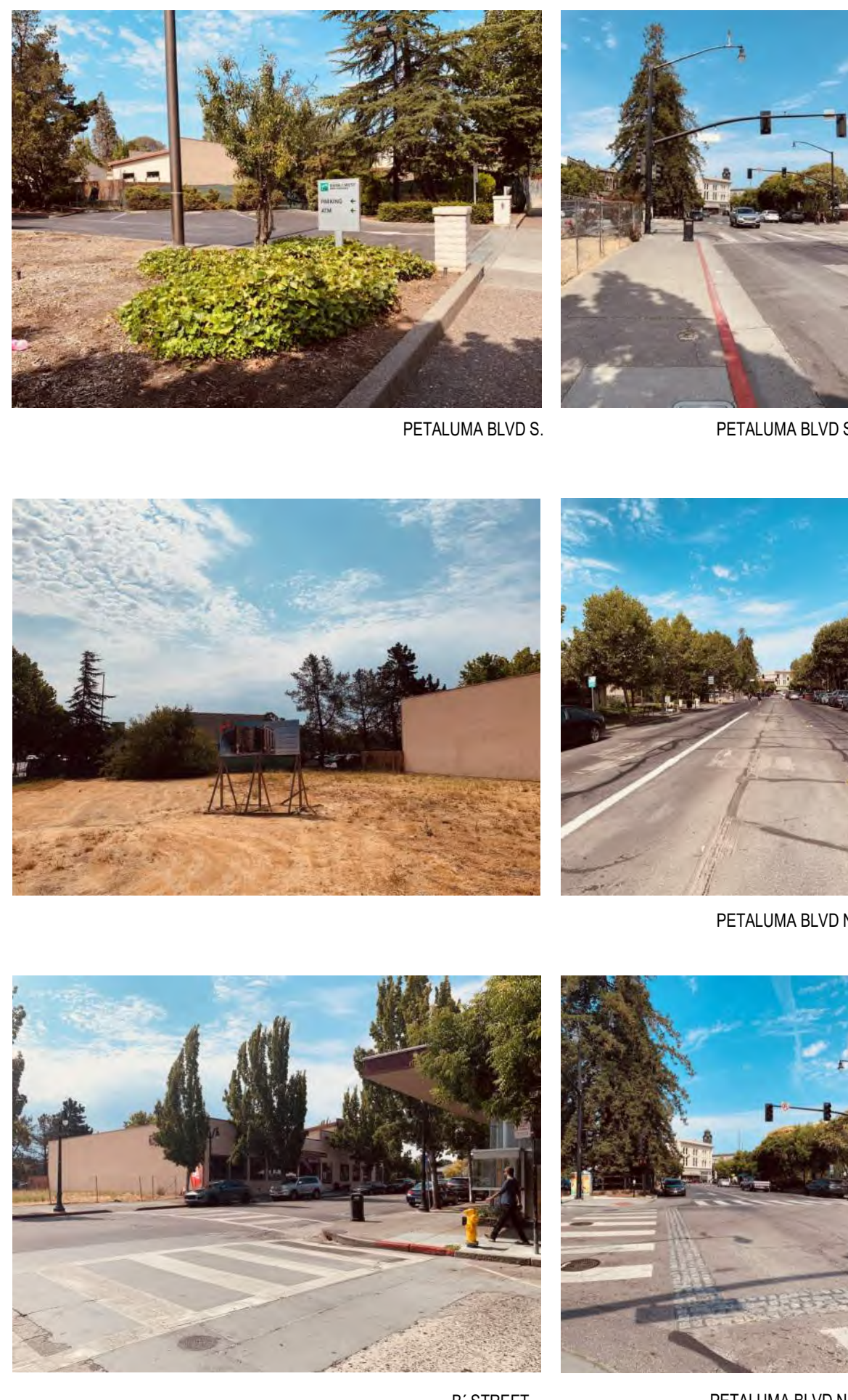


ARCHITECTURAL - SITE

1
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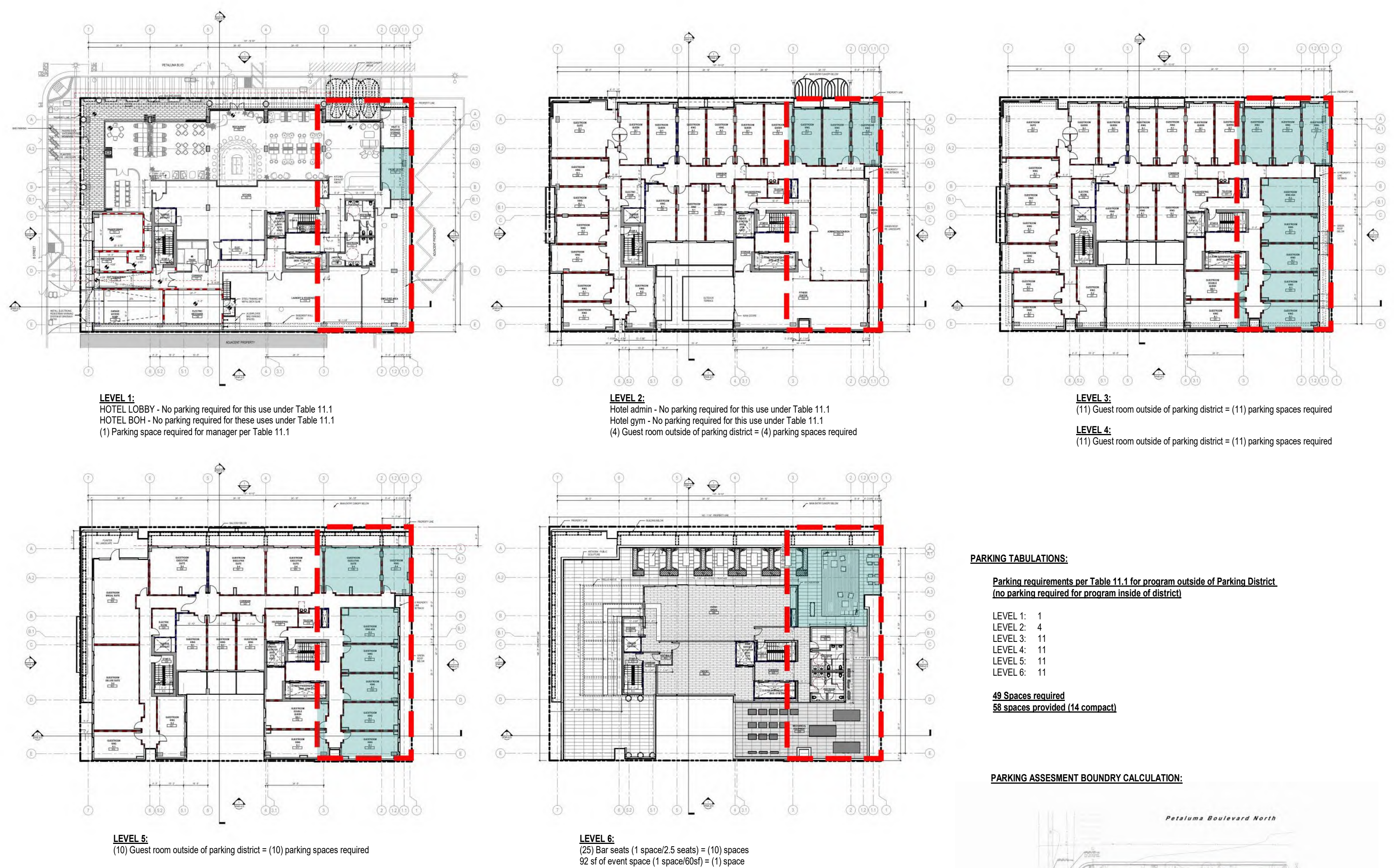


1 VICINITY MAP 1
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2 SITE - PHOTOS 1
SCALE: 1" = 160'-0"

PROGRAM OUTSIDE OF PARKING DISTRICT:

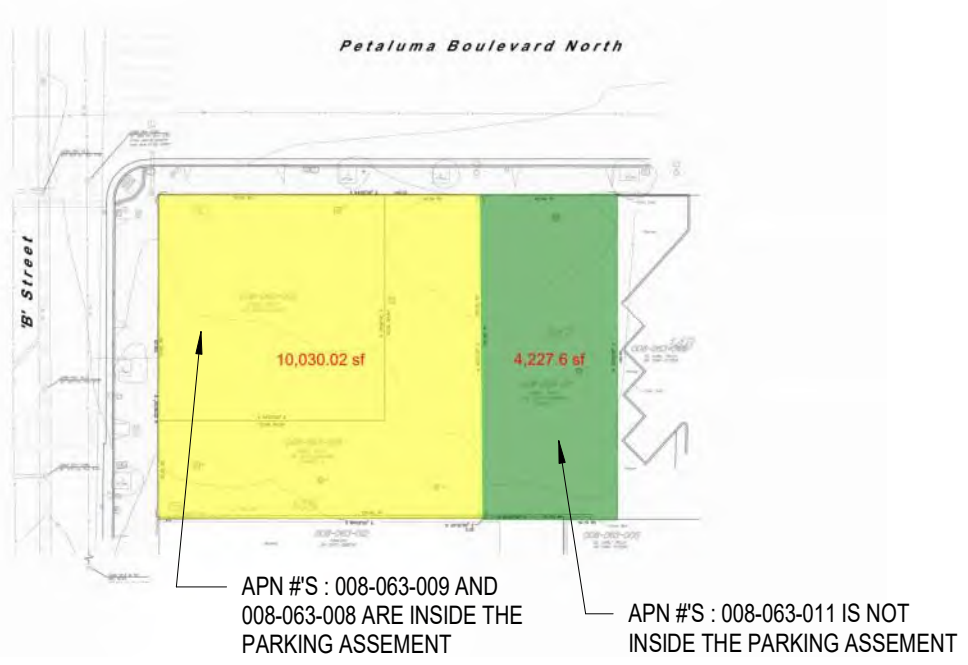


PARKING TABULATIONS:
Parking requirements per Table 11.1 for program outside of Parking District
(no parking required for program inside of district)

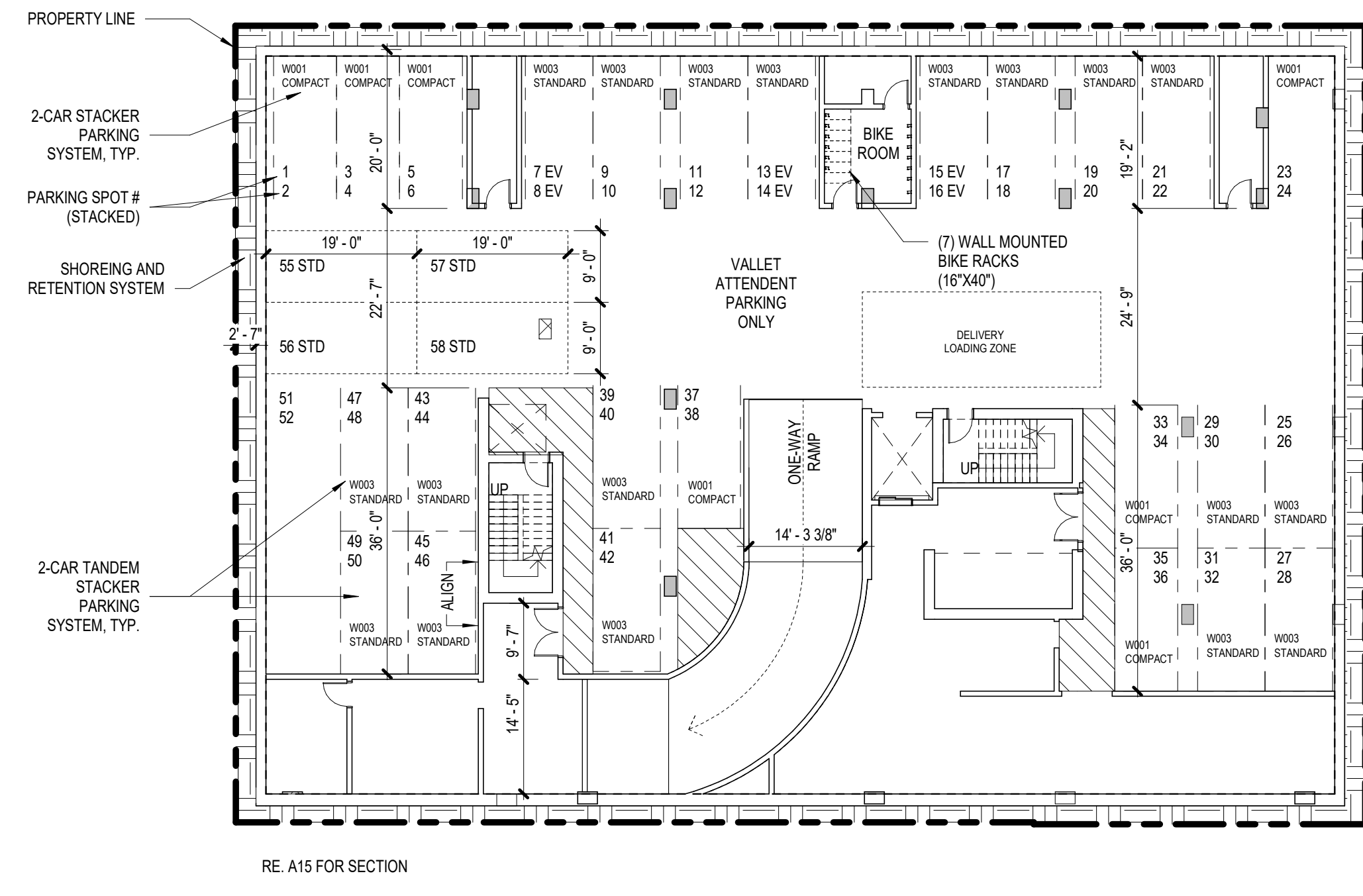
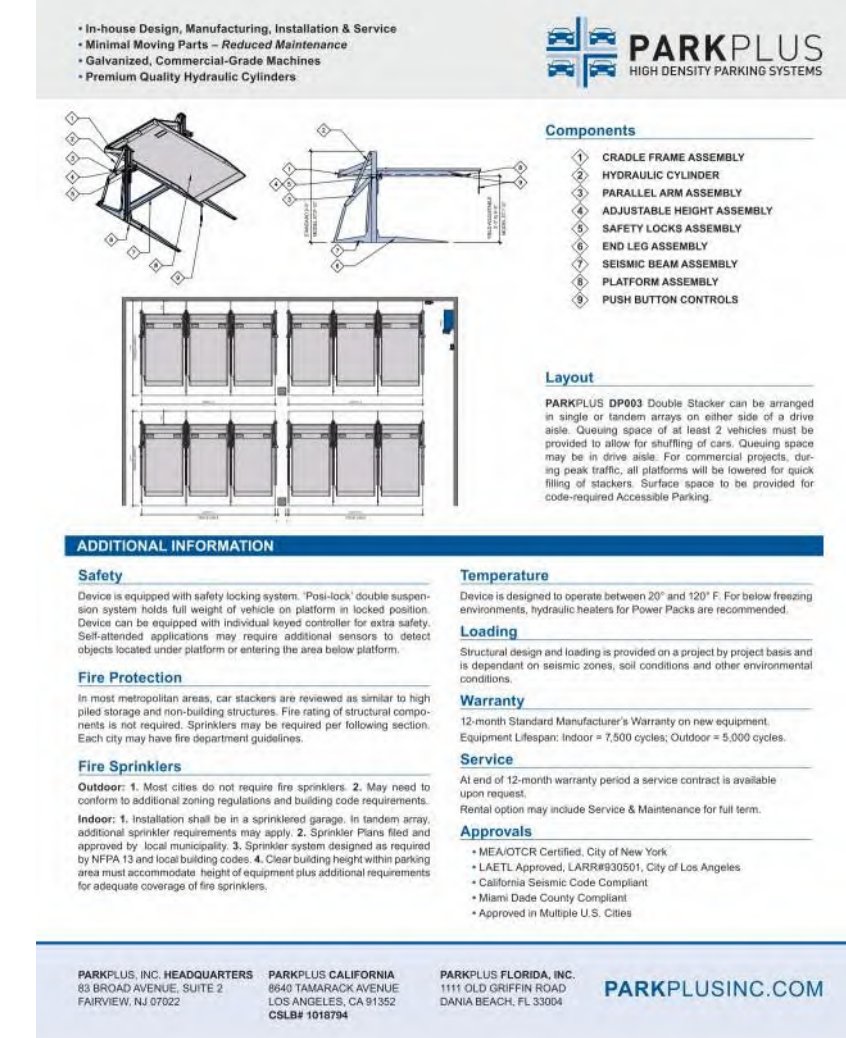
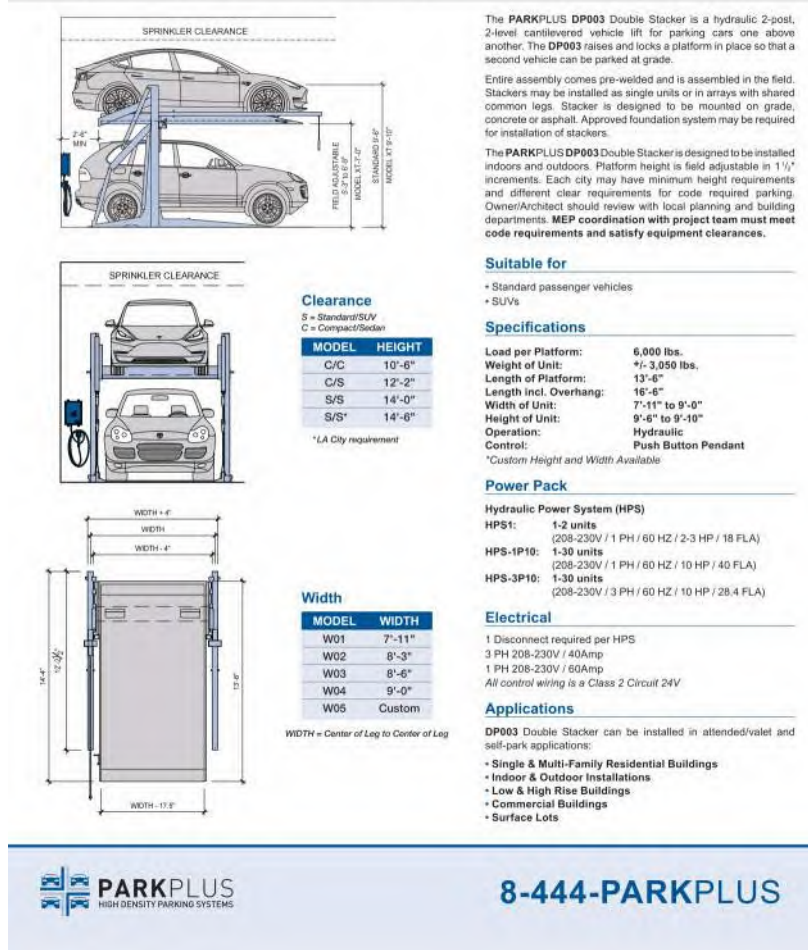
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LEVEL 2:	4
LEVEL 3:	11
LEVEL 4:	11
LEVEL 5:	11
LEVEL 6:	11

49 Spaces required
58 spaces provided (14 compact)

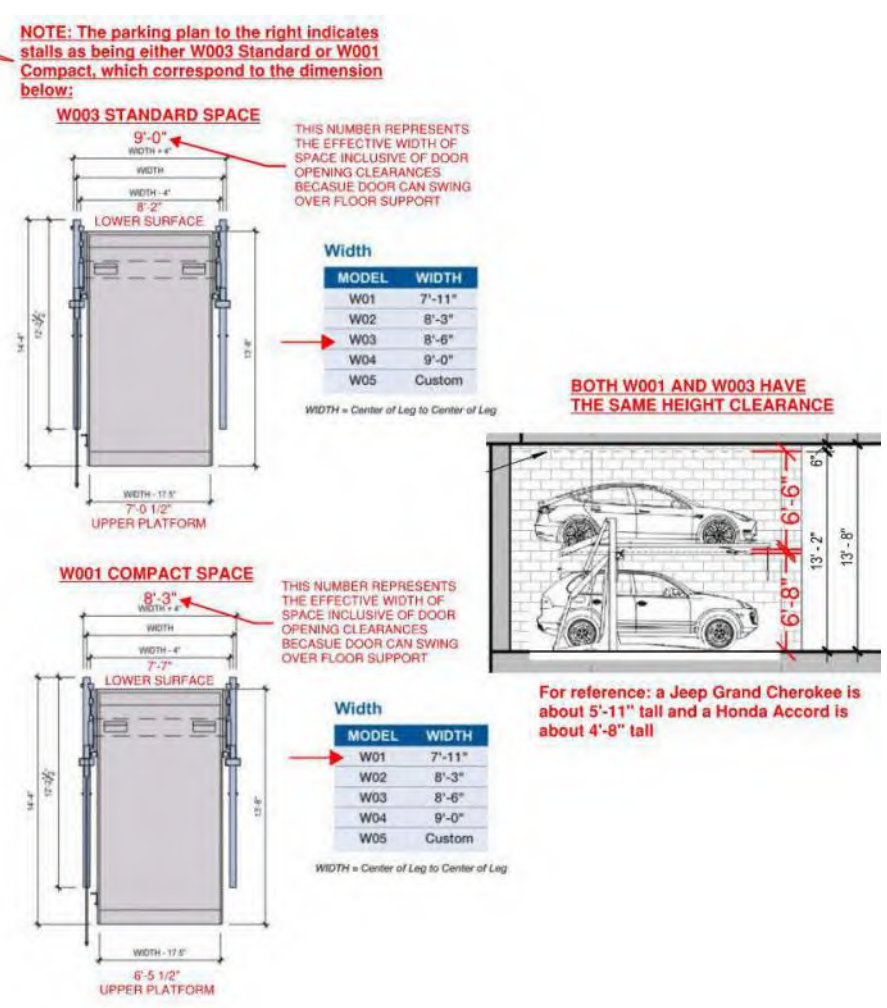
PARKING ASSESSMENT BOUNDARY CALCULATION:



SPEC SHEET PARKPLUS DP003 DOUBLE STACKER



3 PARKING SUMMARY 1
SCALE: 1/16" = 1'-0"



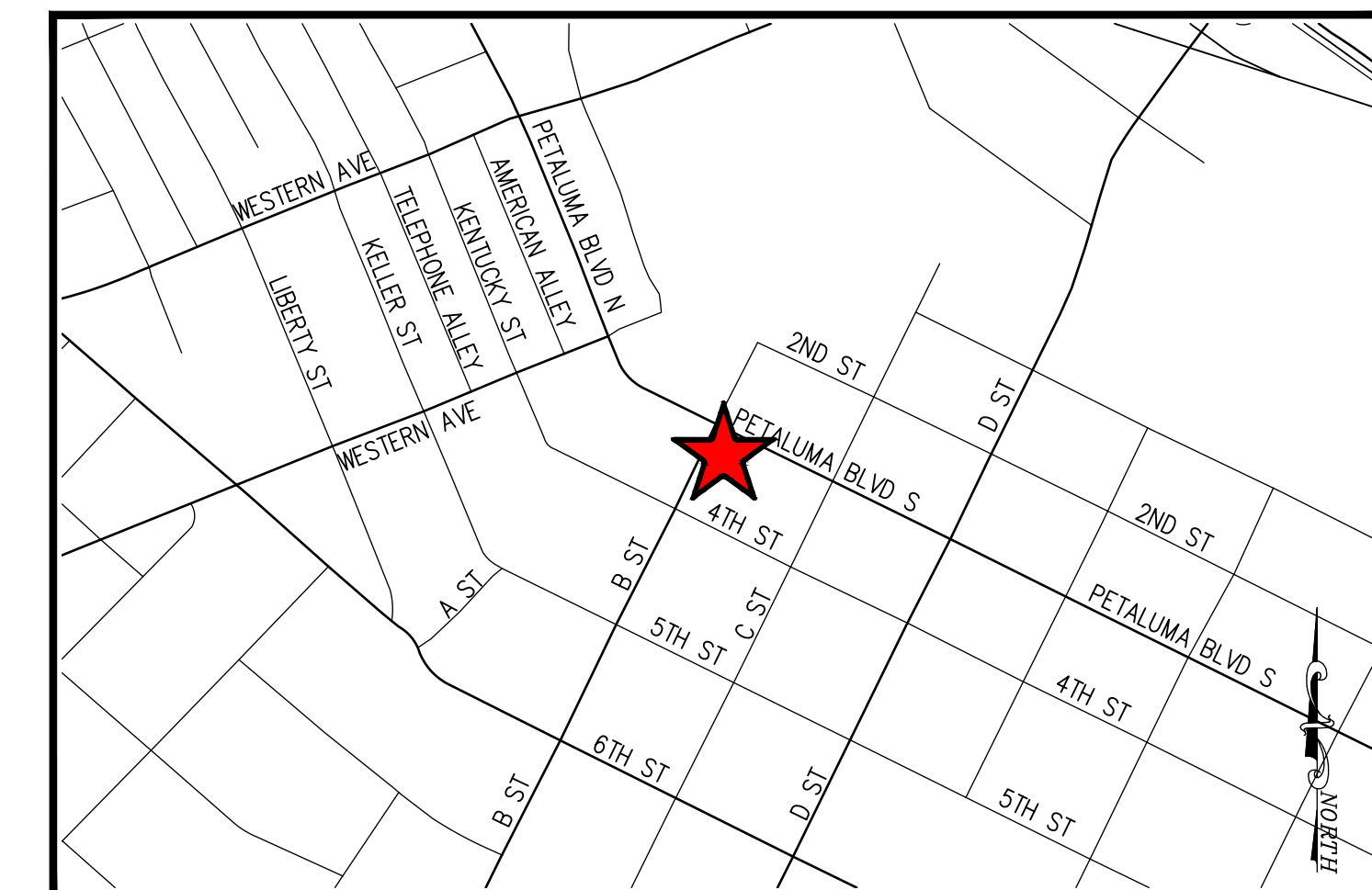
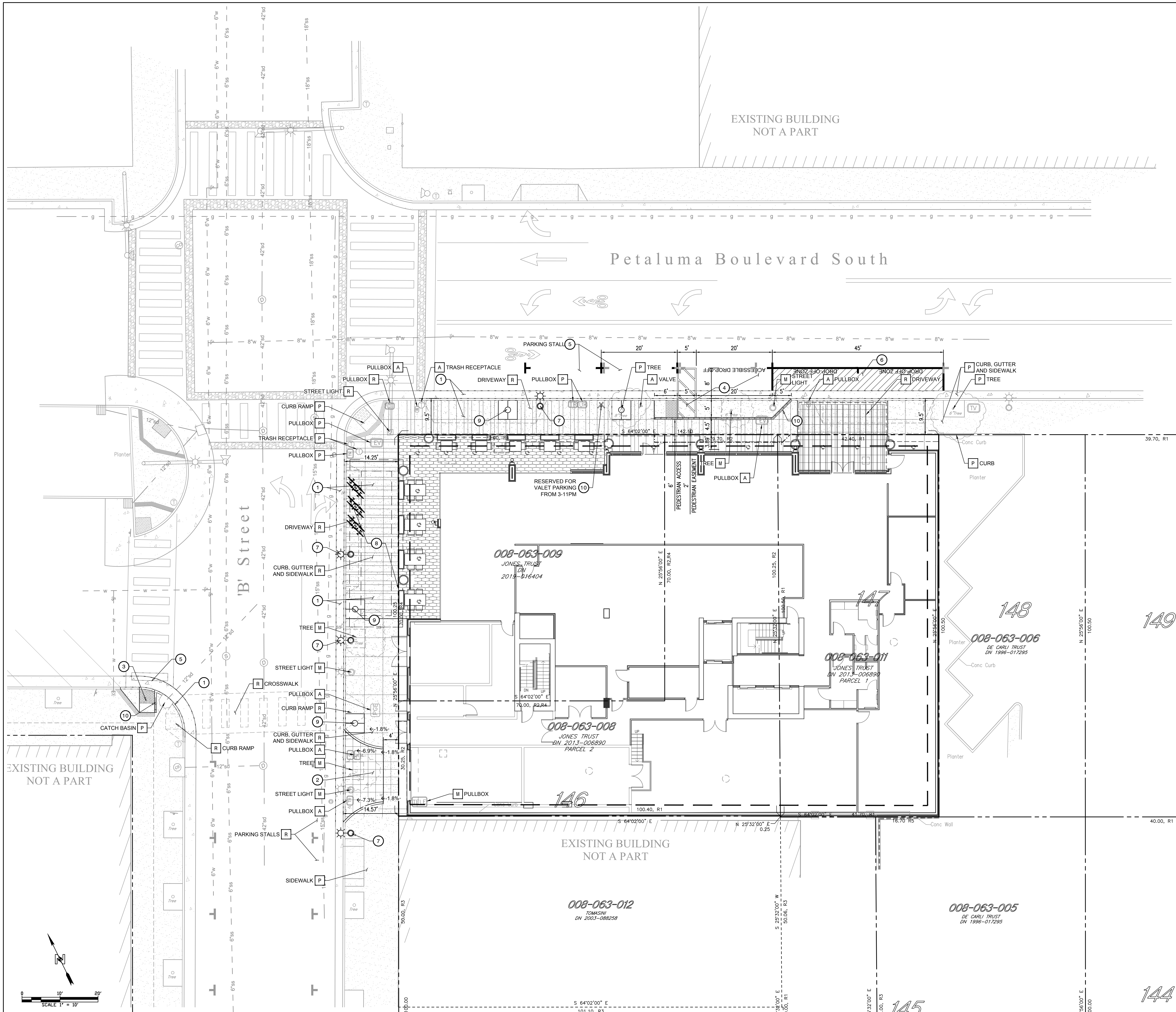
REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	
2	THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF ARCHITECT or ENGINEER	
3	*** choose ARCHITECT or ENGINEER ***	
4	from list in Family Types	
5	IT IS NOT TO BE USED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.	

ARCHITECTURAL - SITE PLAN

DRAWN BY	CHECKED BY
PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
EIR SUPPLEMENT	04 APRIL 2024

EIR-1.2
SHEET NUMBER



VICINITY MAP
SCALE: 1" = 500'

PROJECT TEAM	
OWNER / DEVELOPER EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660 CONTACT: MIKE JOLLY PHONE: 310.776.0621	ARCHITECT PAGE SOUTHERLAND PAGE, INC. 414 JACKSON STREET, 4TH FLOOR SAN FRANCISCO, CA 94111 CONTACT: SAM GELFAND PHONE: 415.249.0130
CIVIL ENGINEER N CONSULTING ENGINEERS, INC. 4 PARK PLAZA, SUITE 1750 IRVINE, CA 92614 CONTACT: DEREK KARIMOTO P.E., QSD PHONE: 714.514.8858	LANDSCAPE ARCHITECT BRIGHTVIEW 8 HUGHES, STE. 150 IRVINE, CA 92614 CONTACT: MATT DUNCAN PHONE: 949.396.1161
STRUCTURAL BUEHLER 444 FLOWER ST 3800 LOS ANGELES, CA 90071 CONTACT: PHONE: 323.536.2362	MEP INTERFACE ENGINEERING, INC. 601 SOUTH FIGUEROA STREET, SUITE 2750 LOS ANGELES, CA 90071 CONTACT: EUGENE DE SOUZA PHONE: 213.694.3408

PROJECT DATA	
APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94952
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COMBINING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,256 SF 0.327 ACRES

DEMOLITION NOTES	
[A] ADJUST TO GRADE.	EA
[M] MOVE OR RELOCATE.	EA
[P] PROTECT IN PLACE.	EA
[R] REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES	
1. CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2. CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3. CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4. CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5. STRIPE IN-KIND.	LF
6. PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45" @ 3" O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF
7. INSTALL RELOCATED STREET LIGHT PER CITY OF PETALUMA STANDARD DETAIL 611.	EA
8. INSTALL STORM WATER DETENTION SYSTEM.	EA
9. CONSTRUCT TREE WELL PER LANDSCAPE PLANS.	EA
10. INSTALL HANDRAIL.	LF
11. INSTALL SIGN POST AND SIGNAGE.	EA

LEGEND	
---	PROPERTY LINE
---	EXCAVATION LIMITS
---	SAWCUT LINE
---	EXISTING GAS
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING WATER
---	PEDESTRIAN EASEMENT

EARTHWORK:	
CUT:	7136 C.Y.
FILL:	0 C.Y.
IMPORT:	0 C.Y.
EXPORT:	7136 C.Y.
EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.	

CIVIL - CONCEPTUAL SITE PLAN	
DRAWN BY	CHECKED BY
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE	DATE
EIR SUPPLEMENT	04 APRIL 2024
EIR-1.3	
SHEET NUMBER	

NO	DATE	REVISION DESCRIPTION	BY	DATE

DIGALERT
DIAL TOLL FREE
811
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NOTICE TO CONTRACTOR:
1. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. N CONSULTING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF N CONSULTING.

BENCH MARK
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.
BASIS OF BEARINGS
192 MAPS 26, SCR.

CONSULTING ENGINEERS
17780 Fitch
Irvine, CA 92614
PHONE: 949.396.1161
www.nconsulting.com

DEREK H. KARIMOTO
DATE

PROJECT ADDRESS:
2 PETALUMA BLVD
PETALUMA, CA 94952
CLIENT:
EKN DEVELOPMENT GROUP
220 NEWPORT CENTER DRIVE, SUITE 11-262
NEWPORT BEACH, CA 92660
ISSUE:
SPAR APPLICATION SUBMITTAL - 2022-08-26

SITE:
APPELLATION HOTEL
TITLE:
CONCEPTUAL SITE PLAN
DRAWN: S.S.
CHECKED: D.H.K.
SCALE AT D: 1" = 10'
DATE: 3/30/2023
PROJECT NO: 21-002
SHEET: SPAR C1

P:\21-002 EKN Petaluma Hotel\Drawings\Prelim\21002-10-CSP.dwg Mar 30, 2023 5:23pm

EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

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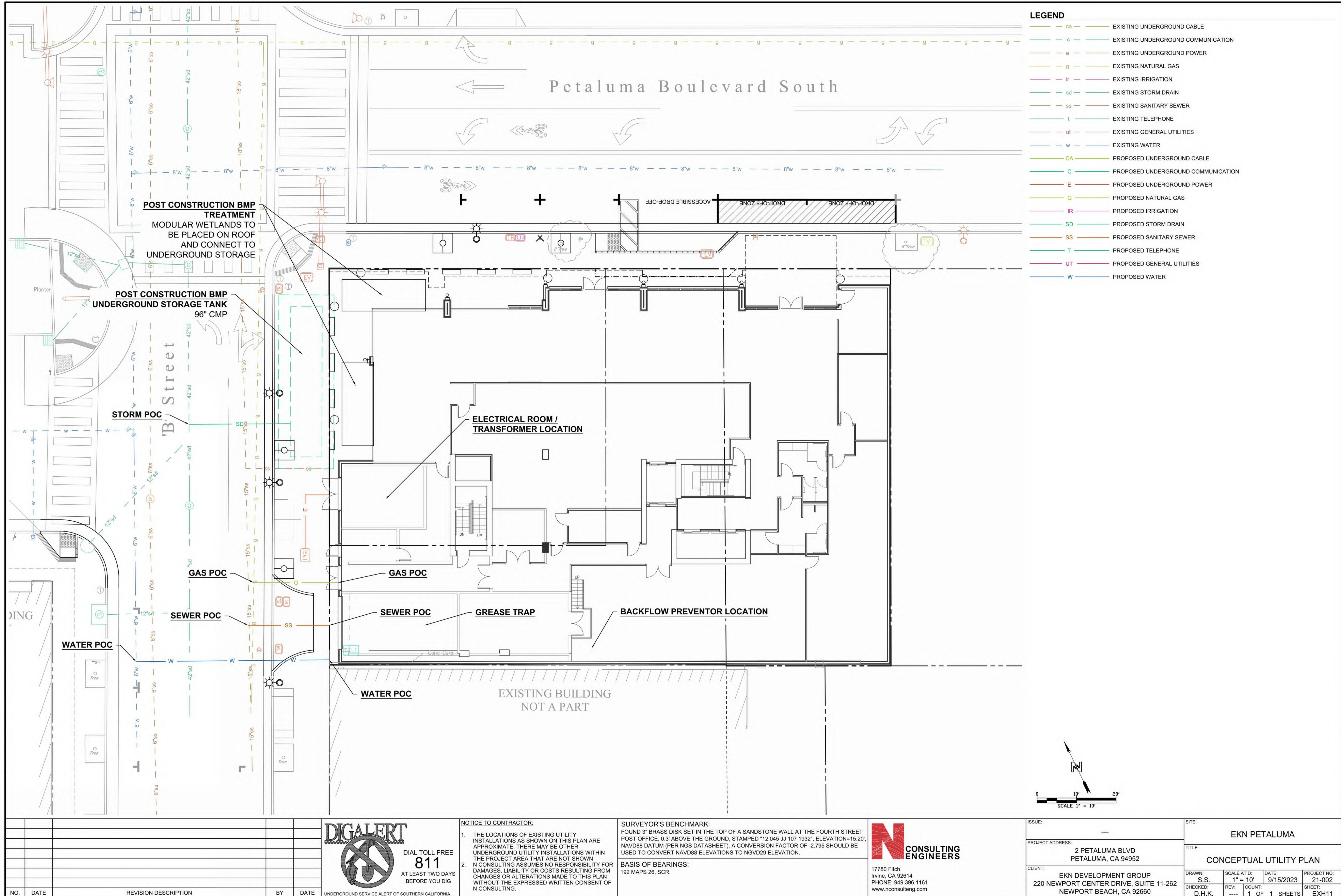
CIVIL - CONCEPTUAL UTILITY PLAN

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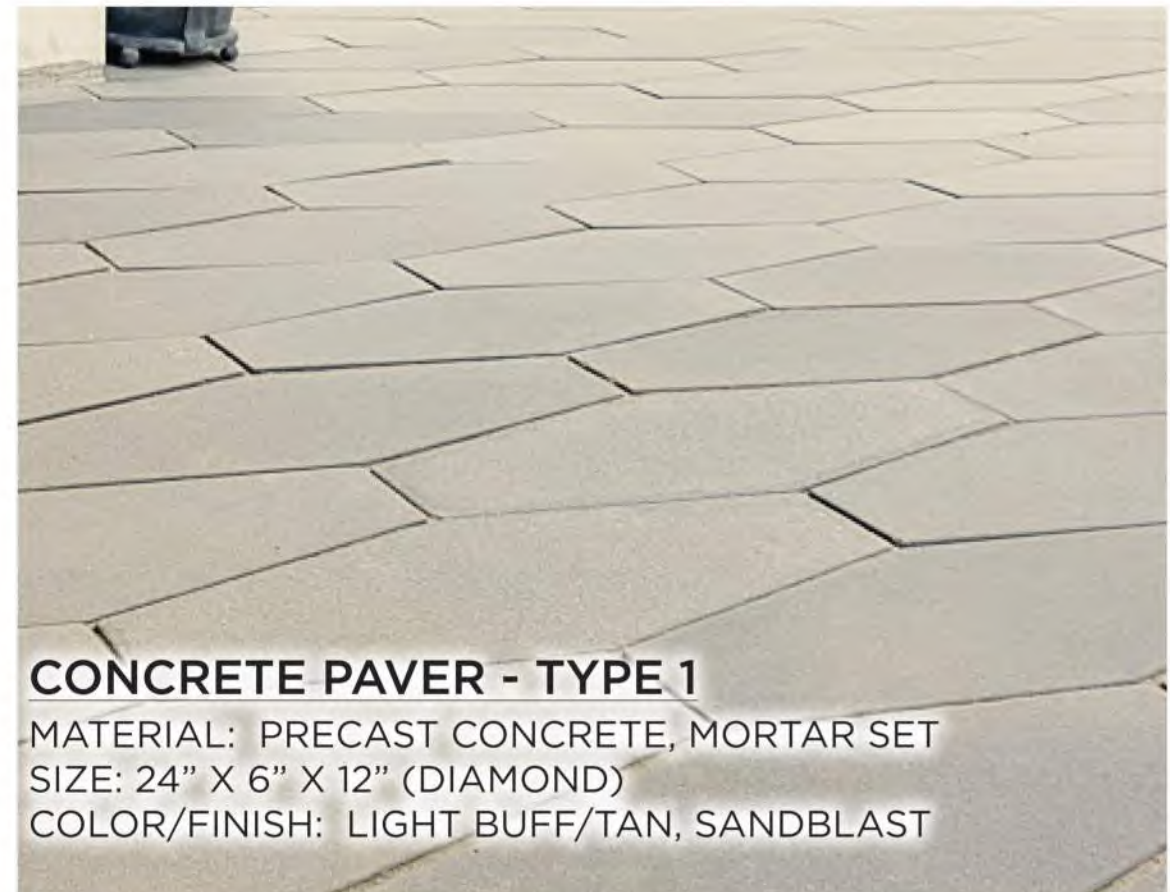
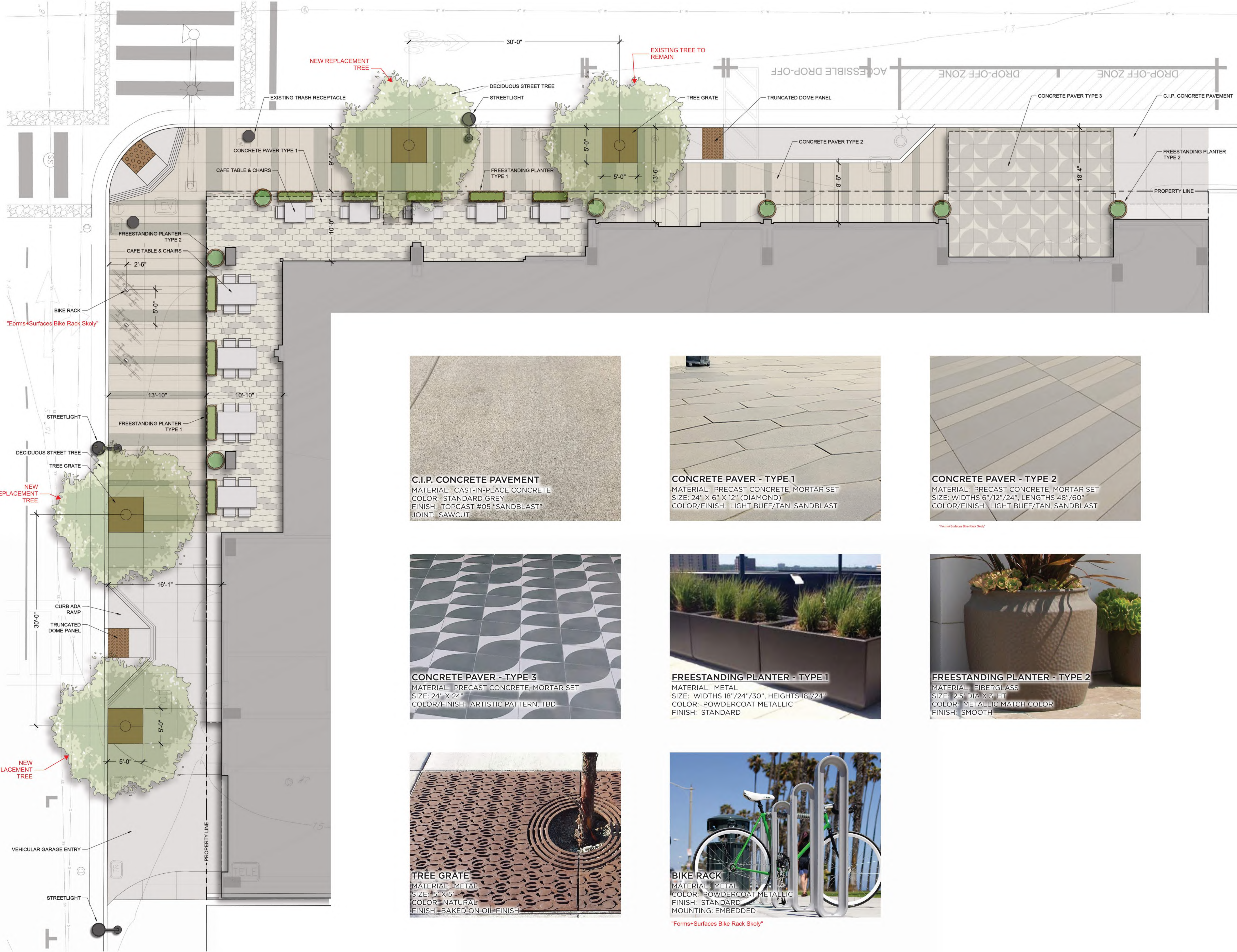
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Irvine, CA
92614
949.399.1161



EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY		
REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	
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STREET PLAN		
DRAWN BY	CHECKED BY	
PROJECT NUMBER	PROJECT ABBREVIATION	PH
621010		
ORIGINAL ISSUE	DATE	04 APRIL 2024
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EIR-1.5		
SHEET NUMBER		

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949 389 1161

EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15-17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMPs) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
 - 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
 - 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

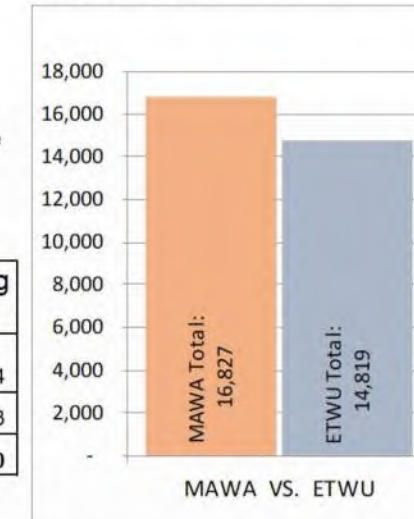
1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 902-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTINGS AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P1	C.I.P. CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND, MORTAR SET)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR, MORTAR SET)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, MORTAR SET)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
SITE FURNISHINGS	
SF1	BIKE RACK "Three-Columns Blue Rock Stack" (METAL, 2 BICYCLES)
SF2	TREE GRATE (METAL, 5' X 5')
SITE LIGHTING	
L3	STREET/PEDESTRIAN LIGHT
L4	DOWNLIGHT
L5	WALL SCONCE

PRELIMINARY WATER CALCULATIONS

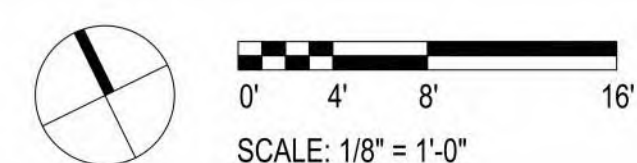
Reference Evapotranspiration (Eto)		Private - POC 1		Non-Residential	
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq Ft)	Estimated Total Water Use (ETWU)
Regular Landscape Area					
LOW	0.3	Drip	0.81	1,363	505
MEDIUM	0.5	Drip	0.81	160	99
HIGH	0.7	Drip	0.81	0.86	-
			1	0.00	-
Regular Landscape Area Totals:				1,523	604
Special Landscape Area					
			1	-	-
			1	-	-
			1	-	-
Special Landscape Area Totals:				0	0
				ETWU Total:	14,819
Maximum Allowed Water Allowance (MAWA)					
Over All Landscape Area Totals:					1,523 MAWA Total: 16,827
*Hydrozone W/Planting Description E.g. 1) front lawn 2) low water use plantings 3) medium water use planting					
*Irrigation Method overhead spray or drip					
*Irrigation Efficiency 0.75 for spray 0.81 for drip					
*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.					
*MAWA (Annual Gallons Allowed) = (Eto) / (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45					
ETAF Calculations					
Regular Landscape Area		All Landscape Area (Including special landscape area)			
Total ETAF x Area	604	Total ETAF x Area	604		
Total Area	1,523	Total Area	1,523		
Average ETAF	0.40	Site-wide ETAF	0.40		
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.					



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED
SHRUB AREAS					
	45 SF		SUCCULENT MIX - LOW		
	ADE	8	AEONIUM DECORUM	1 GAL	LOW
	CPE	10	PINWHEEL	1 GAL	LOW
	DPU	10	CRASSULA PERFORATA	1 GAL	LOW
	STE	38	DUDLEYA PULVERULENTA	1 GAL	LOW
	SRO	5	SEMPERVIVUM TECTORUM	1 GAL	LOW
	SSE	8	HEN-AND-CHICKS	1 GAL	LOW
			SENECIO ROWLEYANUS	1 GAL	LOW
			STRING OF BEADS	1 GAL	LOW
			SENECIO SERPENS	1 GAL	LOW
			BLUE CHALKSTICKS	1 GAL	LOW
	28 SF		SUCCULENT MIX - TALL		
	ABG	6	AGAVE X 'BLUE GLOW'	1 GAL	LOW
	SMA	21	BLUE GLOW AGAVE	1 GAL	LOW
			SENECIO MANDRALISCAE	1 GAL	LOW
	SRA	21	BLUE FINGERS	1 GAL	LOW
			SENECIO RADICANS	1 GAL	LOW
			STRING OF BANANAS	1 GAL	LOW

SITE LANDSCAPE PLAN - LEVEL 01



REVISION HISTORY

REVISION DESCRIPTION DATE

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SITE LANDSCAPE PLAN - LEVEL 01

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PROJECT NUMBER PROJECT ABBREVIATION

621010 PH

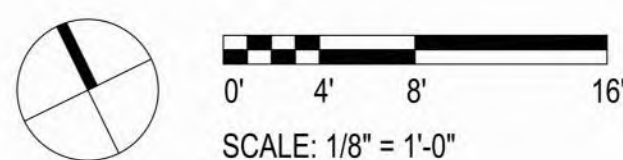
ORIGINAL ISSUE DATE

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EIR-1.6

SHEET NUMBER

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NOTES

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- ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
- PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
 - PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
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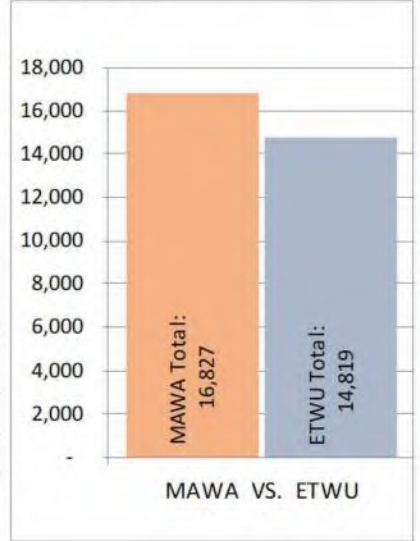
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SITE LEGEND (THIS SHEET)




CODE	DESCRIPTION
PAVING	
(P5)	PRECAST CONCRETE PAVER - TYPE 4 (FIELD, SQUARE, MORTAR SET)
(P6)	SYNTHETIC TURF OVER BASE TILE (MORTAR SET)
PLANTERS	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
(L1)	BOLLARD

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)			39.60		Private - POC 1		Non-Residential	
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Area								
LOW	0.3	Drip	0.81	0.37	1,363	505	12,384	
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425	
HIGH	0.7	Drip	0.81	0.86	-	-	-	
			1	0.00	-	-	-	
Regular Landscape Area Totals					1,523	604		
Special Landscape Area								
				1	-	-	-	
				1	-	-	-	
				1	-	-	-	
Special Landscape Area Totals					0	0	-	
						ETWU Total:	14,819	
Maximum Allowed Water Allowance (MAWA)								
Over All Landscape Area Totals					1,523	MAWA Total:	16,827	
*Hydrozone #/ Planting Description E.g. 1.) front lawn 2.) low water use plantings 3.) medium water use planting		*Irrigation Method overhead spray or drip		*Irrigation Efficiency 0.75 for spray 0.81 for drip		*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.		
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Average ETAF	0.40	Sitewide ETAF	0.40					
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.								
							MAWA VS. ETWU	



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW	
SHRUB AREAS						
	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		372 SF	PLANTER MIX			
	AYG	20	ANIGOZANTHOS X "YELLOW GEM"	1 GAL	LOW	20% @ 24"
	KUV	20	YELLOW GEM KANGAROO PAW	1 GAL	LOW	20% @ 24"
	PDD	9	KNIPHOFIA UVARIA	5 GAL	LOW	20% @ 36"
	PTW	9	RED HOT POKER	5 GAL	LOW	20% @ 36"
	WFR	9	PHORMIUM X "DARK DELIGHT"	5 GAL	LOW	20% @ 36"
			DARK DELIGHT PURPLE FLAX	5 GAL	LOW	20% @ 36"
			PITTOSPORUM TOBIRA "WHEELER'S DWARF"	5 GAL	LOW	20% @ 36"
			WHEELER'S DWARF PITTOSPORUM	5 GAL	LOW	20% @ 36"
			WESTRINGIA FRUTICOSA "WES05" TM	5 GAL	LOW	20% @ 36"
			MUNDI COAST ROSEMARY	5 GAL	LOW	20% @ 36"
		351 SF	GREEN ROOF - SEDUM MIX			

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Petaluma, California

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SITE LANDSCAPE PLAN - LEVEL 02

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE EIR SUPPLEMENT	DATE 04 APRIL 2024

EIR-1.7
SHEET NUMBER

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
 - 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND
 - 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/CC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTINGS AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

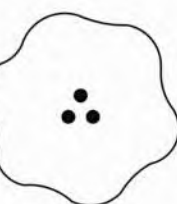
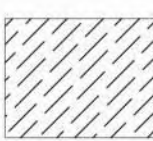
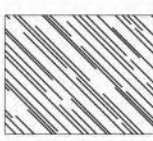
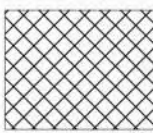
SITE LEGEND (THIS SHEET)

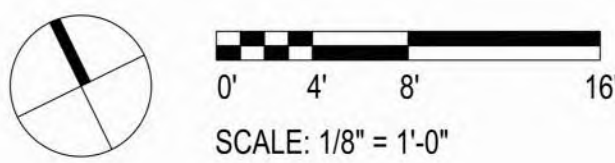
CODE	DESCRIPTION
PAVING	
(P4)	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, ON PEDESTAL)
(P7)	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR, ON PEDESTAL)
(P8)	WOOD TILE PAVER (ACCENT, RECTANGULAR, ON PEDESTAL)
PLANTERS	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL2)	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
(L1)	BOLLARD
(L2)	UPLIGHT

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)			39.60	Private - POC 1		Non-Residential	
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF*IE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,394
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,429
HIGH	0.7	Drip	0.81	0.86	-	-	-
					1	0.03	-
Regular Landscape Area Totals:					1,523	604	-
Special Landscape Area							
					1	-	-
					1	-	-
					1	-	-
Special Landscape Area Totals:					0	0	-
						ETWU Total:	14,819
Maximum Allowed Water Allowance (MAWA)							
Over All Landscape Area Totals:					1,523	MAWA Total:	16,827
*Hydrozone # / Planting Description E.g. 1) front lawn 2) low water use plantings 3) medium water use planting						*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.	
*Irrigation Method overhead spray or drip						*Irrigation Efficiency 0.75 for spray 0.81 for drip	
*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45						18,000 16,000 14,000 12,000 10,000 8,000 6,000 4,000 2,000 -	
ETAF Calculations							
Regular Landscape Area		All Landscape Area (including special landscape area)					
Total ETAF x Area	604	Total ETAF x Area	604				
Total Area	1,523	Total Area	1,523				
Average ETAF	0.40	Site-wide ETAF	0.40				
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.							
						MAWA VS. ETWU	
						MAWA Total: 16,827	
						ETWU Total: 14,819	

PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	LA	4	LUMA APICULATA CHILEAN MYRTLE	15 GAL.	MED	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		144 SF	SUCCULENT MIX - LOW			
	ADE	23	AEONIUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12"
	CPE	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12"
	DPU	30	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12"
	STE	120	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6"
	SRO	15	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12"
	SSE	23	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12"
		20 SF	SUCCULENT MIX - TALL			
	ABG	5	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12"
	SMA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9"
	SRA	15	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9"
		403 SF	PLANTER MIX			
	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW	20% @ 24"
	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW	20% @ 24"
	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW	20% @ 36"
	PTW	10	PITTOSPORUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	5 GAL	LOW	20% @ 36"
	WFR	10	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW	20% @ 36"



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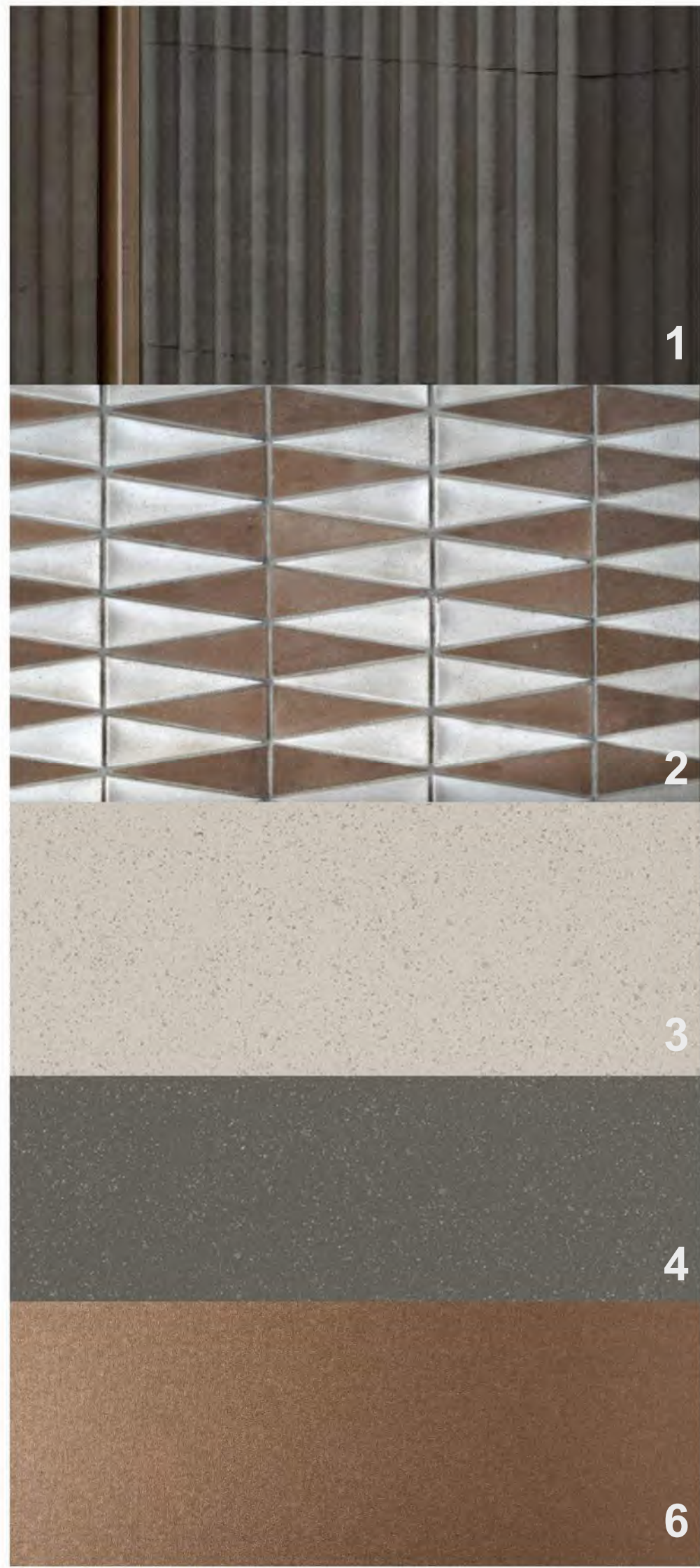
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SITE LANDSCAPE PLAN - LEVEL 06

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ORIGINAL DATE EIR SUPPLEMENT	DATE 04 APRIL 2024

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SHEET NUMBER

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USER NAME: jdoyle
DATE/TIME: 4/17/2024 12:13:39 PM



1
CLADDING - DECORATIVE TILE 01 -
DIMENSIONAL CONCRETE TILE - DARK
GRAY
LOCATION: LEVEL 1 EXTERIOR FINISH

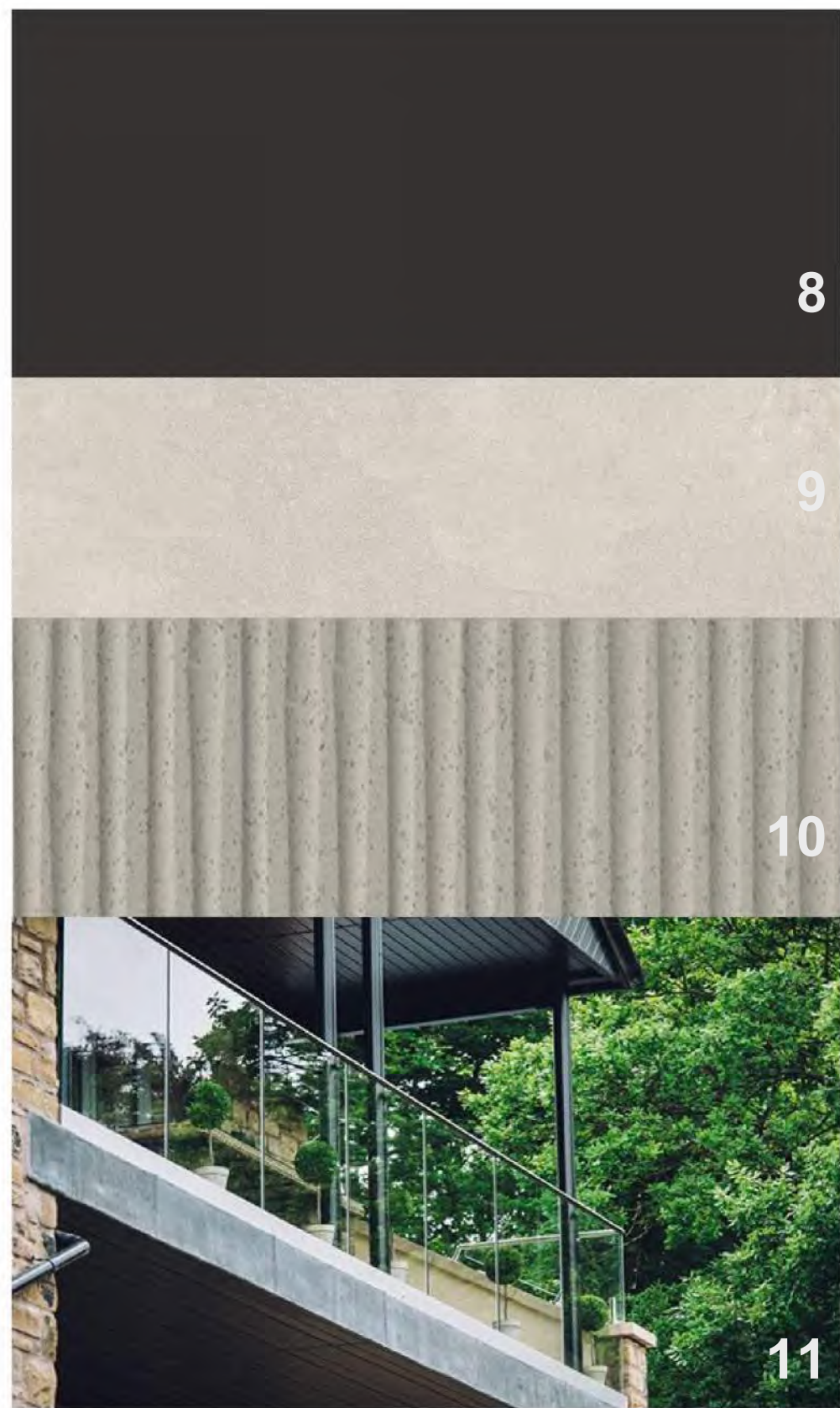
2
CLADDING - DECORATIVE TILE 02 -
DIMENSIONAL ANGLED TRIANGLE
TILE - TWO TONE
LOCATION: LEVEL 1 EXTERIOR
FINISH - BELOW STOREFRONT

3
CLADDING - PORCELANOSA
MAKER ROPE
LOCATION: GENERAL MASS
EXTERIOR FINISH

4
CLADDING - PORCELANOSA MAKER
SMOKE
LOCATION: TOP MASS (LEVEL 05)
EXTERIOR FINISH

6
CUSTOM CUT METAL PANEL -
BRONZE
LOCATION: ENTRY CANOPY

7
NOT USED



8
METAL - DARK BRONZE
LOCATION: ALL METAL FRAMES

9
STUCCO - COLOR TO
MATCH PORCELANOSA
MAKER ROPE
LOCATION: SOUTH
ELEVATION

10
FLUTED CORNICE TILE
LOCATION: NORTH, EAST
AND WEST ELEVATIONS

11
RAILING - STRUCTURAL
GLASS
LOCATION: ALL RAILINGS



12 - DA
OUTDOOR SCONCE
LOCATION: LEVEL 1
RESTAURANT



14
CLADDING - ALUMINUM
WOODGRAIN
KNOTWOOD DRIFTWOOD
LOCATION: EXTERIOR
ROOFTOP WALL FINISH



2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 ELEVATION - MAIN ENTRY - NORTH
SCALE: 1/8" = 1'-0"

EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION
--------	-------------

WINDOW TYPE LEYEND

- TYPE 01: FIXED WINDOWS
TYPE 02: STOREFRONT.
TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT.
TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT.
TYPE 05: FULL HEIGHT ONE SLIDING PANEL.
TYPE 06: SLIDING OPERABLE WALL.
*ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
3. CLADDING - PORCELANOSA - MAKER ROPE.
4. CLADDING - PORCELANOSA - MAKER SMOKE.
5. GLASS - CLEAR.
6. CUSTOM CUT METAL PANEL - BRONZE.
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
8. METAL - DARK BRONZE.
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10. DECORATIVE CORNICE TILE.
11. RAILING - STRUCTURAL GLASS.
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14. CLADDING - ALUMINUM WOODGRAIN.

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KEYED NOTES

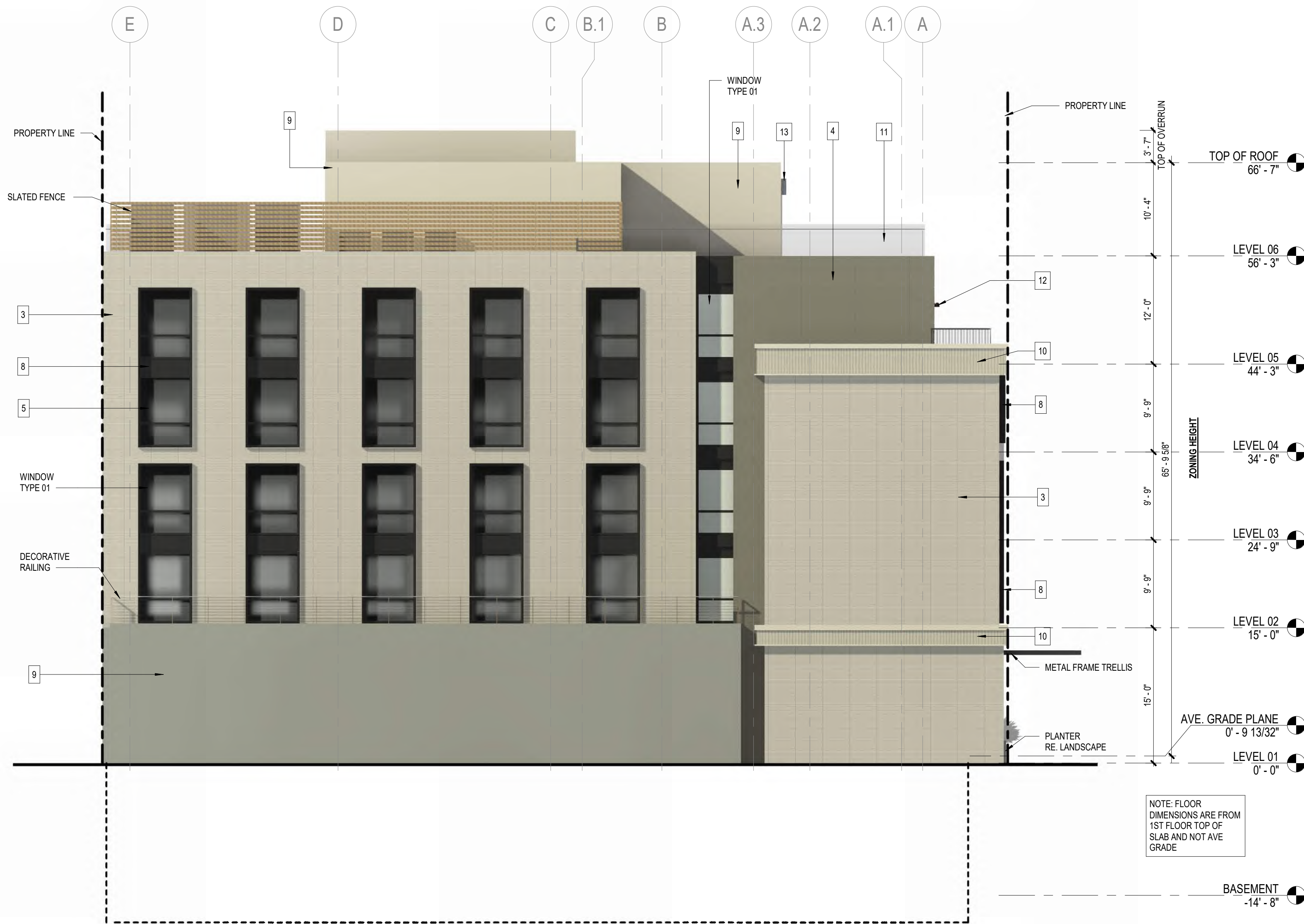
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WINDOW TYPE LEYEND

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TYPE 02: STOREFRONT.
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TYPE 06: SLIDING OPERABLE WALL.
- *ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

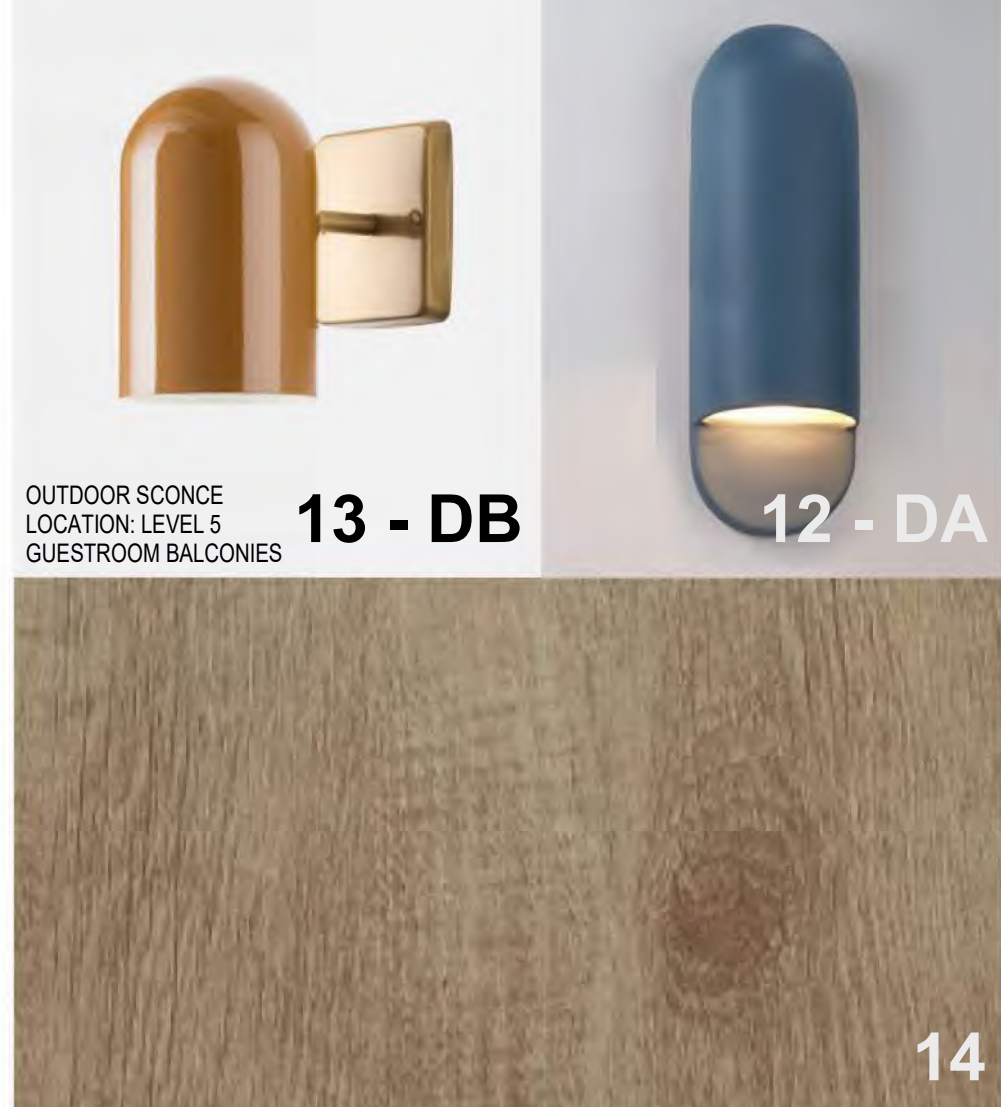
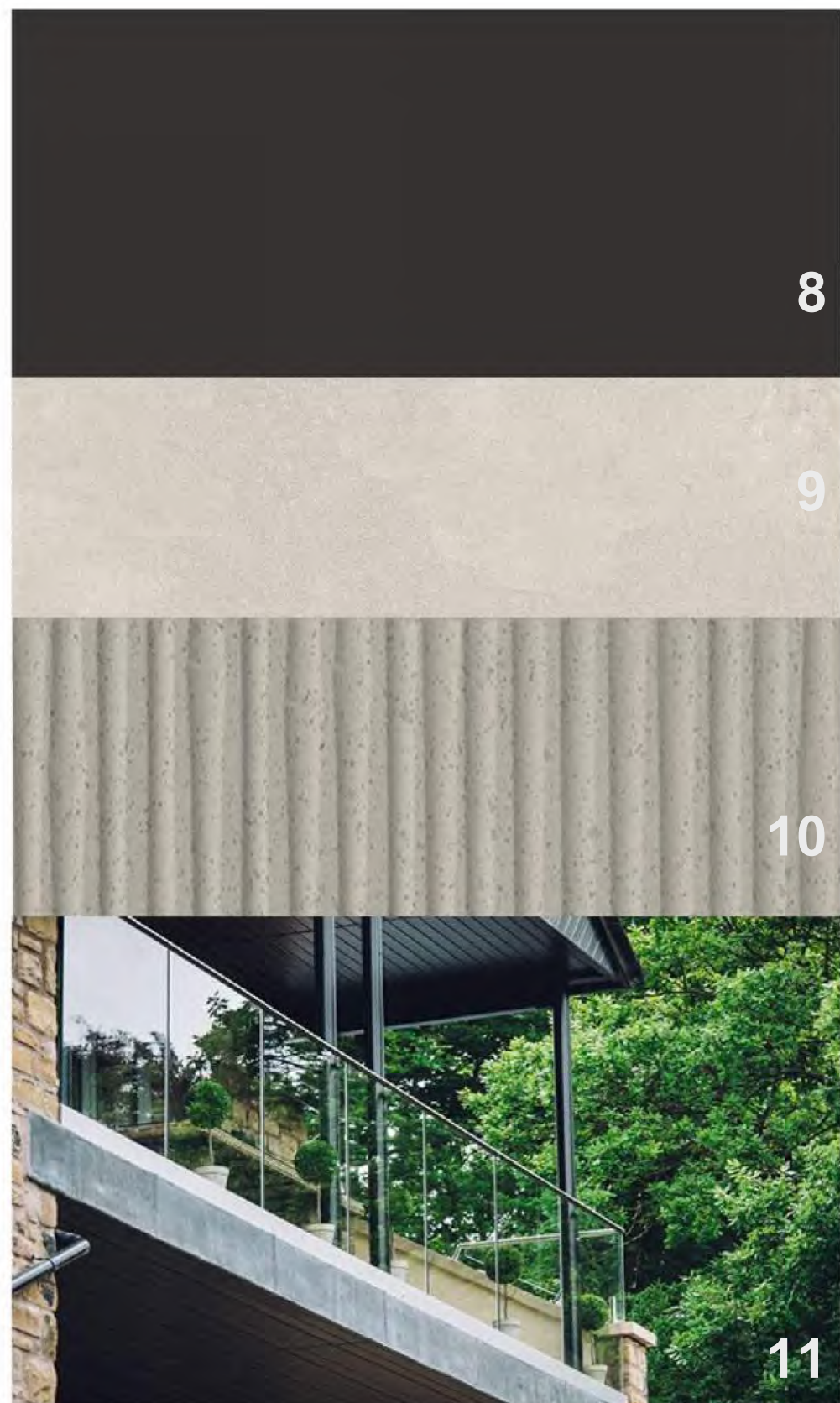
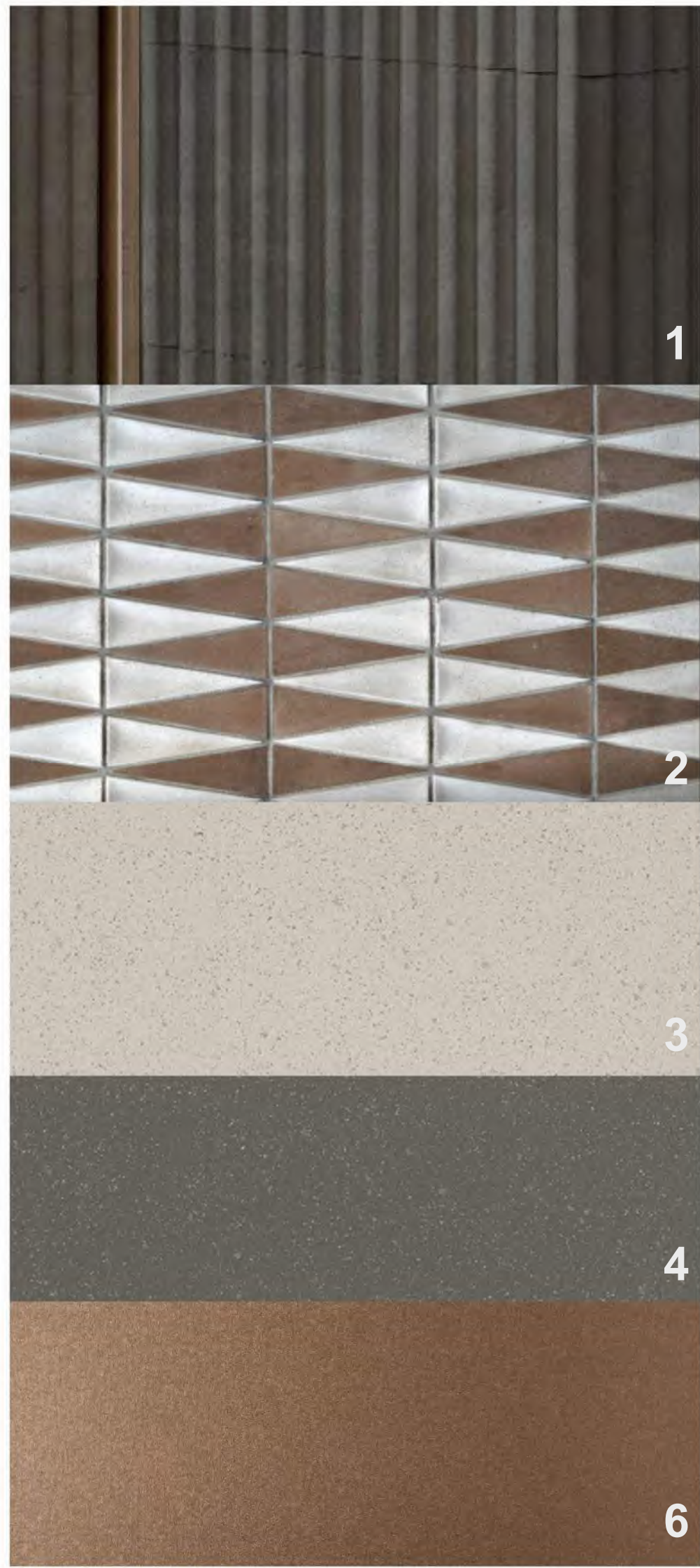
1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY
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8. METAL - DARK BRONZE
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE
10. DECORATIVE CORNICE TILE
11. RAILING - STRUCTURAL GLASS
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE
14. CLADDING - ALUMINUM WOODGRAIN



1 ARCHITECTURAL - EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 ARCHITECTURAL - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



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ORIGINAL ISSUE EIR SUPPLEMENT	DATE 04 APRIL 2024

EIR-5.0
SHEET NUMBER



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EKN Petaluma LLC
EKN APPELLATION
2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS	INTERIM REVIEW THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF *** choose ARCHITECT or ENGINEER *** from list in Family Types IT IS NOT TO BE USED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.	

ARCHITECTURAL - RENDERINGS

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ATTACHMENT C.

Preparer's Qualifications

EDUCATION

M.F.A., Historic Preservation,
Savannah College of Art and
Design, Savannah, Georgia,
2004

B.A., History, Bridgewater
College, Bridgewater,
Virginia, 2002

PROFESSIONAL

AFFILIATIONS

California Preservation
Foundation

Los Angeles Conservancy

Society of Architectural
Historians

National Trust for Historic
Preservation

Sarah Corder, MFA

PRINCIPAL ARCHITECTURAL HISTORIAN

Sarah Corder is the Principal Architectural Historian at South Environmental with 20 years' experience in all elements of cultural resources management, including project management, historic preservation planning, rehabilitation of historic buildings, community engagement, intensive-level field investigations, citywide surveys, architectural history studies, and historical significance evaluations in consideration of the NRHP, CRHR, and local-level evaluation criteria. Sarah has conducted thousands of historical resource evaluations and developed detailed historic context statements for a multitude of property types and architectural styles, including private residential, commercial, military, industrial, educational, recreational, civic, and agricultural properties. Sarah has also worked closely with design teams, property owners, and agencies on numerous projects that required conformance with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards) and local design guidelines.

Sarah exceeds the Secretary of the Interior's Professional Qualification Standards for both Architectural History and History. She has extensive experience preparing environmental compliance documentation in support of projects that fall under the CEQA/NEPA, and Sections 106 and 110 of the National Historic Preservation Act. Sarah also has extensive experience consulting with lead agencies and managing large scale projects for municipalities like the City of Gilroy, City of Coronado, the City of San Diego, and the County of Los Angeles.

EXPERTISE

- CEQA, NEPA, and Section 106 of the NHPA compliance documentation in consideration of impacts to historical resources, and historic properties.
- Large scale historic resources survey management and execution.
- Large scale historic context statement development.
- Community engagement.
- Resource significance evaluations in consideration of NRHP, CRHR, and local designation criteria.
- Project design review for conformance with the Secretary of the Interior's Standards.

PROJECT EXPERIENCE

Historic Property Inventory and Finding of Effect for the Butte County Barn Project, Butte County, California (2024). South Environmental was retained to prepare a historic property inventory and finding of effect for a rural agricultural property located in Butte County. The property is located within a floodplain managed by the California Central Valley Flood Protection Board (CVFPB) and requires a 408 permit from the USACE, which in turn required compliance with Section 106 of the NHPA and coordination with both agencies. The project also included coordination with the SHPO. The report included a CHRIS records search of the project APE and a 0.25-mile search radius, property development and archival research, development of an appropriate historic context, and recordation and evaluation of two built environment resources within the project APE over 50 years old that have not been previously evaluated for historical significance. Both properties were evaluated for historical significance in consideration of NRHP designation criteria and integrity requirements. The properties were found not eligible due to a lack of important historical associations and architectural merit. The report was reviewed and approved by the SHPO. Ms. Corder served as the principal architectural historian and project manager for the project, coordinated with CVFPB and USACE, coordinated with the SHPO, co-authored the technical report, and provided QA/QC on all project deliverables.

Historic Built Environment Assessment for the Glider Elementary School Project, City of San Jose, California (2024). South Environmental was retained to prepare a historic built environment assessment report in support of the Glider Elementary School Project in the City of San José, California. This study included intensive-level survey of the project site; building development and archival research; and an assessment of potential impacts to historic built environment resources under CEQA. The property was also evaluated for historical significance in consideration of CRHR and local designation criteria and integrity requirements. Ms. Corder served as the principal architectural historian and provided QA/QC on all project deliverables.

Historic Built Environment Impacts Assessment and Design Review for the Marina Point Project, City of Richmond, California (2023). South Environmental was retained to conduct a design review and impacts assessment of the proposed Marina Point Project located in the City of Richmond, California. The project proposes to construct 70 townhomes, and 30 Junior Accessory Dwelling Units on the 4.92 gross-acre site. All proposed project components are immediately adjacent to the existing NRHP designated Ford Motor Company Assembly Plant (P-07-001180) and the Rosie the Riveter/World War II Home Front National Historical Park. Ms. Corder served as the principal architectural historian for the project, coordinated with the National Park Service (NPS), reviewed all project plans for conformance with the Standards, and prepared all project documents.

Historic Built Environment Assessment for the Berryessa Peak Communications Site, Berryessa Peak, Yolo County, California (2023). South Environmental was retained to prepare a historic built environment assessment report in support of the Berryessa Peak Communications Site Project located at Berryessa Peak, on the border of Yolo and Napa Counties. As the property is managed by the Bureau of Land Management, the project was subject to Section 106 of the NHPA and consultation with the BLM was required. The report included a CHRIS records search of the project APE and a 0.5-mile search radius, property development and archival research, development of an appropriate historic context, and recordation and evaluation of two built environment resources within the project APE over 50 years old that have not been previously evaluated for historical significance: The Berryessa Microwave Station (circa 1972) and the Berryessa Amateur Radio Klub Berryessa Repeater (circa 1959). Both properties were evaluated for historical significance in consideration of NRHP designation criteria and integrity requirements. The properties were found not eligible due to a lack of important historical associations

and architectural merit. Ms. Corder served as the principal architectural historian and project manager for the project, co-authored the technical report, and provided QA/QC on all project deliverables.

Historic Built Environment Survey Report for the Barber Yard Specific Plan, City of Chico, Butte County, California (2023). South Environmental was retained to prepare a Historic Built Environment Survey Report in support of the Barber Yard Specific Plan. This report included the results of an intensive-level pedestrian survey of all built environment resources over 45 years old within the project's Area of Potential Effect (APE); site development and archival research; and recordation and evaluation of the Machine Shop and the Match Block Storage Building of the former Diamond Match Company site for historical significance in consideration of federal, state, and local designation criteria and integrity requirements. Responsibilities included co-authorship of the report, QA/QC of the DPR forms, and coordination with the GIS team.

Historic Built Environment Assessment for the 1170 Pedro Street Project, City of San José, California (2023). South Environmental was retained to prepare a historic built environment assessment for the San José Swim and Racquet Club that was constructed in 1957 within the City of San José. The assessment included the results of an intensive-level, pedestrian survey of the project site; building development and archival research; and recordation and evaluation of one property for historical significance in consideration of CRHR and City of San José criteria and integrity requirements. As a result of the property significance evaluation, the property was recommended not eligible for local and CRHR designation. Ms. Corder served as the principal architectural historian for the project and provided QA/QC on all project deliverables.

Historic Built Environment Assessment for the BoDean Company Construction Materials Processing Plant, Planned Development and Subdivision Project, Town of Windsor, Sonoma County, California (2023). South Environmental was retained to prepare a historic built environment assessment for multiple industrial buildings that were part of the Fluor-Ecodyne Manufacturing Facility, which developed from 1943-1985. The assessment included the results of an intensive-level, pedestrian survey of the project site and a reconnaissance-level survey of the remaining sections of the manufacturing facility; building development and archival research; and recordation and evaluation of a historic district for historical significance in consideration of NRHP and CRHR criteria and integrity requirements. As a result of the assessment, the manufacturing facility was recommended not eligible for designation due to the lack of visual cohesion and integrity. Ms. Corder served as the principal architectural historian for the project, performed archival research, and co-authored the report.

California State University Monterey Bay, City of Seaside, California (2021). While working for her previous firm, Ms. Corder served as the principal architectural historian and primary report author. The project included a built environment inventory and evaluation study and report for the proposed CSUMB Master Plan. For the purposes of this project Ms. Corder formally recorded and evaluated 11 campus properties over 45 years old that were proposed for renovation, alteration, or demolition as part of the Project. All 11 of these built environment properties were identified as not eligible for national, state, or local designation.

B.5 - Additional Cultural Resources Data

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Table 1: Properties within Areas A, B, and C Identified During this Study or Listed in the BERD

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Northbay Savings and Loan, Bank of the west	--	--	6Z (preliminary)	Subarea A	1974	20 Petaluma Boulevard South	008-063-007	--
Proposed Hotel Location (vacant lot), Kreger's Standard Station	--	--	N/A	Subarea A	1935	2 Petaluma Boulevard South	008-63-008; 008-63-009; 008-63-011	--
Rex's Hardware, Ace Hardware	--	--	6Z (preliminary)	Subarea A	1870; 2007	313 B Street	008-63-012	--
Summit State Bank; Fidelity National Title	--	--	Unassessed	Subarea A	1979	100 Petaluma Boulevard South	008-64-002	--
Lewis Medico-Dental Building; Compass Real Estate	--	--	Unassessed	Subarea A	1935; 1949	127 4th Street	008-64-007	--
Quinley's; Walnut Park Grill	--	--	Unassessed	Subarea A	1954	131 4th Street	008-64-005	--
Foster's Freeze; Fourth & Sea Fish & Chips	--	--	Unassessed	Subarea A	1950	101 4th Street	008-64-008	--
Seven-Eleven	--	--	Unassessed	Subarea A	1977	112 Petaluma Boulevard South	008-64-010	--
Chase Bank	--	--	Unassessed	Subarea B	1962	101 Western Avenue	008-051-024	--
Wells Fargo Bank	--	--	Unassessed	Subarea B	1976	125 Western Avenue	008-051-025	--
Keller Street Co-Work	--	--	Unassessed	Subarea C	1927	140 Keller Street	006-363-024	--
None	--	--	Unassessed	Subarea C	1954	160 Keller Street	006-363-001	--
M. Vonsen Co. Building, City of Petauma Parking Garage	--	--	Unassessed	Subarea C	1960	120 Western	Multiple	--
Restaurant	--	--	Unassessed	Subarea C	1927	132 Keller Street	006-363-024	--

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Argus Courier Offices	--	--	Unassessed	Subarea C	1910	135 Keller Street	006-363-014	--
California Theatre, Phoenix Theater	--	--	Unassessed	Subarea C	1925	201 - 205 Washington Street	006-363-014; 025	--
The Bagel Mill, Stockhome	--	--	Unassessed	Subarea C	1940	214, 220 Western Avenue	006-363-010	--
Sack's Thrift Store	--	--	Unassessed	Subarea C	1948	128 Liberty Street	006-362-009	--
Alpha Analytic Laboratories	--	--	Unassessed	Subarea C	1949	110 Liberty Street	006-362-022	--
Hallies' Diner	--	--	Unassessed	Subarea C	1956	125 Keller Street	006-362-015	--
Sonoma Autowerks	--	--	Unassessed	Subarea C	1957	215 Washington Street	006-362-001	--
Petaluma Market	--	--	Unassessed	Subarea C	1965	210 Western Avenue	006-362-023	--
None	--	--	Unassessed	Subarea C	1900	132 Liberty Street	006-362-003	--
ArtaLuma	--	--	Unassessed	Subarea C	Unknown	145 Keller Street	006-362-024	--
None	P-49-006360	404537	3S (no longer extent)	Subarea A	1870	108 Petaluma Boulevard South	008-064-002	4952-0234-0000
Petaluma Mill, Brainerd Jones	--	474431	2D3	Subarea A	Unknown	Believed to be located at the current location of 20 Petaluma Boulevard South	008-063-007	--
Pacific Telephone & Telegraph Building, PTLMCA01 Central Office	--	--	Unassessed	Subarea C	1965	125 Liberty Street	006-361-033	--
Chalet Florist	--	--	Unassessed	Subarea C	1950	311 Washington Street	006-361-028	--
Petaluma Orthodontist	--	--	Unassessed	Subarea C	1962	301 Washington Street	006-361-031	--
Office Building	--	--	Unassessed	Subarea C	1972	131 Liberty Street	006-361-033	--

Table 2: Resources Listed in the BERD within and Adjacent to the Study Area

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Petaluma Post Office	P-49-004872	404532	1S	Study Area	1932	120 Fourth Street	008-062-009	NPS-85000140-0000; 4952-0229-0000; Petaluma Landmark # 22
Old Petaluma Opera House	P-49-004873	404347	1S, 1D	Study Area	1870	149 Kentucky Street	006-363-014	NPS-95000354-0082, NPS-78000801-0000, 4952-0050-0000, Petaluma Landmark # 20
Zartman Jr Residence	P-49-006149	404315	3S	Study Area	1890	111 Liberty Street	006-361-035	4952-0017-0000
Veale Home	P-49-006150	404316	3S	Study Area	1895	115 Liberty Street	006-361-034	4952-0018-0000
Brick School, Old Lincoln Primary School, Petaluma School	P-49-006164	404330	3S, 7J	Study Area	1911	11 5th Street	008-052-001	4952-0032-0000
Manse of First Congregational Church, Ed Mannion Residence	P-49-006165	404331	5S2	Study Area	1902	1 Keller Street	008-041-008	4952-0033-0000
Cavanaugh Home	P-49-006166	404332	3S	Study Area	1902	10 Keller Street	008-051-005	4952-0034-0000
Gross Building	P-49-006177	404343, also listed as 492336	5S2, 1D	Study Area	1900	1 4th Street	008-032-007	4952-0045-0000, NPS-95000354-0011
Bundensen's Seed & Garden Supplies	P-49-006178	404344	5B	Study Area	1925	10 4th Street	008-052-003	4952-0046-0000
Schluckebier & Gwinn Building	P-49-006180	404345	1D, 3S, 7J	Study Area	1895	133 Kentucky Street	006-363-016	NPS-95000354-0079, 4952-0048-0000
Petaluma Swiss American Bank, Petaluma Health Food	P-49-006181	404346	5S2	Study Area	1915	139 Kentucky Street	006-363-008	4952-0049-0000
Gwinn Building	P-49-006182	404348	5S2	Study Area	1913	155 Kentucky Street	006-363-012	4952-0051-0000

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Herold Building	P-49-006183	404349, also listed as 470850 and 492465	1D, 3S	Study Area	1899, 1910	161 Kentucky Street	006-363-011	NPS-95000354-0084, 4952-0052-0000, NPS-95000354-0085
Gossage, O'Neill Building	P-49-006198	404364, also listed as 492332	1D, 3S	Study Area	1903	9 Petaluma Boulevard North	008-053-008	4952-0067-0000, NPS-95000354-0007
McNear Building	P-49-006199	404365, also listed as 492333	1D, 3S	Study Area	1911	15, 17, and 19 Petaluma Boulevard North	008-053-007	4952-0068-0000, NPS-95000354-0008, Petaluma Landmark # 9
McNear Building, McNear Building II	P-49-006200	404366, also listed as 492334	1D, 3S	Study Area	1886	23 Petaluma Boulevard North	008-053-007	4952-0069-0000, NPS-95000354-000
Lanmart Building, Old Centennial Block Site	P-49-006203	404369, also listed as 492335	1D, 5S2	Study Area	1911	41 Petaluma Boulevard North	008-053-005	4952-0072-0000, NPS-95000354-0010
Masonic Building & Clocktower	P-49-006204	404370, also listed as 492337	1D, 3S2	Study Area	1882	49 Petaluma Boulevard North	008-053-004	4952-0073-0000, NPS-95000354-0012
Wells Fargo Bank, Petaluma National Bank, American Trust Building	P-49-006205	404371, also listed as 492342	1D, 3S	Study Area	1926	101 Petaluma Boulevard North	006-281-011	4952-0074-0000, NPS-95000354-0017
Independent Order of Odd Fellows Building	P-49-006206	404372, also listed as 492343	1D, 3S	Study Area	1871	107, 109, 113 Petaluma Boulevard North	006-281-012	4952-0075-0000, NPS-95000354-0018
Sonoma County National Bank, Westgate Realty Company, Sonoma County and Petaluma Savings Bank	P-49-006210	404376, also listed as 492419	1D, 3S	Study Area	1926	199 Petaluma Boulevard North	006-281-027	4952-0079-0000, NPS-95000354-0029
Linch Jewelry Building	P-49-006219	404386	1D, 3S	Study Area	1890	10 Western Avenue	006-281-002	NPS-95000354-0072, 4952-0089-0000
Arcade Saloon, Bob's Sporting Goods	P-49-006220	404387	3S, 7J	Study Area	1881	15 Western Avenue	008-053-003	4952-0090-0000

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Andresen's Tavern, New Model Saloon	P-49-006221	404388	1D, 3S	Study Area	1885	19 Western Avenue	008-053-002	NPS-95000354-0070, 4952-0091-5316, Petaluma Landmark #5
The Prince Building, Free Public Library of Petaluma	P-49-006222	404389, also listed as 470848	1D, 3S	Study Area	1910	24 Western Avenue	006-281-001	NPS-95000354-0073, 4952-0092-0000, Petaluma Landmark # 21
Mutual Relief Building, Coca Cola Sign	P-49-006223	404390	1D, 2S2, 3S	Study Area	1885	25 Western Avenue	008-053-001	NPS-95000354-0065, 4952-0093-0000, Petaluma Landmark #4
Carithers Department Store, Great Western Bank	P-49-006224	404391	5S2, 6X	Study Area	1970	101 Western Avenue	006-363-020	4952-0094-0000, NPS-95000354-0064
Zartman Home, Liberty Belle Apartments	P-49-006225	404392	5S2	Study Area	1860	310 Western Avenue	006-361-023	4952-0095-0000
Reverend James Whitaker Residence, Melott Residence	P-49-006226	404393	5S2	Study Area	1900	411 A Street Petaluma	008-046-003	4952-0096-0000
St. Vincent's Church	P-49-006305	404476	3S	Study Area	1927	35 Liberty Street	008-042-004	4952-0173-0000
Amil Drees House	P-49-006306	404477	7N	Study Area	1900	401 A Street	008-046-004	4952-0174-0000
Elder/Lougee/Respini House	P-49-006309	404478	5S2	Study Area	1908	423 A Street	008-046-005	4952-0175-0000
Reynauld Home	P-49-006343	404519	3S	Study Area	1925	47 6th Street	008-103-007	4952-0216-0000
Thomas Mooney Residence	P-49-006349	404525	3S	Study Area	1885	26 5th Street	008-103-005	4952-0222-0000
Greyhound Bus Depot	P-49-006355	404531	3S	Study Area	1925	77 4th Street	008-061-017	4952-0228-0000
St. John's Episcopal Church	P-49-006354	404530	3S	Study Area	1890	40 5th Street	008-103-013	4952-0227-0000
None	P-49-006371	404548	5S2	Study Area	1915	407 C Street	008-062-011	4952-0245-0000
Carnegie Library, Old Petaluma Library, Free Public Library of Petaluma	P-49-006422	404608	1S, 2S2, 3S	Study Area	1906	20 4th Street	008-052-004	4952-0047-0000, NPS-88000925-0000, HUD980624C, 4952-0306-0000

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Petaluma Auto Parts	--	470846	7K	Study Area	Unknown	32 4th Street	008-061-018	--
Regency Lamps	--	492463	6X	Study Area	1910	141 Kentucky	006-363-015	NPS-95000354-0081
Bicycle Factory	--	470839	7K	Study Area	Unknown	143 Kentucky	006-363-015	--
None (possibly the same as Arcade Saloon, Bob's Sporting Goods)	--	470841	1D, 7K	Study Area	1881	15 Western Avenue	008-053-03	NPS-95000354-0071
Mattei Bros.	--	470845, also listed as 492472	7K, 6X	Study Area	1965	140 Kentucky	006-281-034	NPS-95000354-0092
Schluckebier Trust	--	492456	1D	Study Area	1951	19 Kentucky Street	008-051-09	NPS-95000354-0074
Couches Etc (may be associated with Carithers Department Store)	--	492457	1D	Study Area	1938	101 Kentucky Street (not mapped)	006-363-020	NPS-95000354-0075
111 - 113 Kentucky Street	--	492458	1D, 7J	Study Area	1900	111 Kentucky Street	006-363-019	NPS-95000354-0076
Gervasoni Building	--	492460	1D	Study Area	1900	117 Kentucky Street	006-363-018	NPS-95000354-0077
People's Building	--	492461	1D	Study Area	1900	127 Kentucky Street	006-363-017	NPS-95000354-0078
Final Touch	--	492470	1D	Study Area	1915	126 Kentucky Street	006-281-019	NPS-95000354-0090
KCO Children's Wear	--	492469	6X	Study Area	1988	122 Kentucky Street	006-281-028	NPS-95000354-0089
None	--	492462, also see 404346	1D	Study Area	1910	137 Kentucky Street	006-363-008	NPS-95000354-0080
Copperfield's Books	--	492464	6X	Study Area	1910	153 Kentucky Street	006-363-013	NPS-95000354-0083
Trellis Group, Inc	--	492466	1D	Study Area	1915	108 Kentucky Street	006-281-003	NPS-95000354-0086

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Bicycle Factory	--	492467	6X	Study Area	1970	110 Kentucky Street	006-281-004	NPS-95000354-0087
Bee's Houseware	--	492468	6X	Study Area	1855	120 Kentucky Street	006-281-029	NPS-95000354-0088
Ott's	P-49-004872	492471	6X	Study Area	1965	136 Kentucky Street	006-281-036	NPS-95000354-0091
None	--	492473	6X	Study Area	1965	146 Kentucky Street	006-281-007	NPS-95000354-0093
None	P-49-006302	404472	3D	Study Area	1870	8 Liberty Street	008-041-019	4952-0172-0001
None	P-49-006303	404473	3D	Study Area	1895	10 Liberty Street	008-041-016	4952-0172-0002
None	P-49-006304	404474	3D	Study Area	1885	14 Liberty Street	008-041-015	4952-0172-0003
West America Bank III	--	492476	1D	Study Area	1925	33 Washington Street	006-281-008	NPS-95000354-0096
West America Bank	--	492474	6X	Study Area	1925	21 Washington Street	006-281-010	NPS-95000354-0094
West America Bank II	--	492475	1D, 7J	Study Area	1925	25 Washington Street	006-281-009	NPS-95000354-0095
Bayless, Wickersham Warehouse	--	474672	2D3	Study Area	Unknown	22 Petaluma Boulevard North	008-53-007	--
Keg's Shoes	--	492344	6X	Study Area	1880	115 Petaluma Boulevard North	006-281-013	NPS-95000354-0019
Marin Outdoors, JC Penny's	--	492345	6X, 7J	Study Area	1885-1903	119 Petaluma Boulevard North	006-281-014	NPS-95000354-0020
Music Coop	--	492346	6X	Study Area	1950	125 Petaluma Boulevard North	006-281-015	NPS-95000354-0021
Perry's Delicatessen	--	492348	6X	Study Area	1960	139 Petaluma Boulevard North	006-282-037	NPS-95000354-0023

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Upscale Downtown Baker	--	492416	6X	Study Area	1880	141 Petaluma Boulevard North	006-281-018	NPS-95000354-0024
Phoenix Block, McNear Building	--	492417, also listed as 470849	1D, 7K	Study Area	1920	145 Petaluma Boulevard North	006-281-020	NPS-95000354-0025
Gazette Building	--	492418	1D	Study Area	1880	155 Petaluma Boulevard North	006-281-021	NPS-95000354-0026
Aaron's Furniture	--	470842	6X, 7K	Study Area	1950	159 Petaluma Boulevard North	006-281-030	NPS-95000354-0027
Simone's Clock	--	470843	6X	Study Area	1975	171 Petaluma Boulevard North	006-281-026	NPS-95000354-0028
WCTU Fountain	--	492338	1D	Study Area	1891	Western Avenue AND Petaluma Boulevard North		NPS-95000354-0013, Petaluma Landmark #6
None	P-49-003852	--	5D1 (preliminary)	Adjacent	1910	509 C Street	008-104-007	--
Weston, Hackman, Andrew's House, Garage	P-49-003164	404459	6Z (preliminary)	Adjacent	1878	22 6th Street	008-045-023	4952-0153-0000
Napalitano House	P-49-003185	--	3S (preliminary)	Adjacent	1860	40 6th Street	008-101-013	--
None	P-49-003928	--	6Y (preliminary)	Adjacent	1885	7 Howard Street	008-045-003	--
Goodwill; J.C. Scott Hardware, Guglielmetti Bros. Garage, Sotnes Furniture	P-49-004027	492437	6X	Adjacent	1880	172 Petaluma Boulevard North	006-282-018	NPS-95000354-0048
Caulfield House	--	404450	3S	Adjacent	1885	11 Howard Street	008-045-002	4952-0153-0000

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Hotel Petaluma	P-49-004802	404385	1D, 5S2	Adjacent	1923	100 Washington Street	006-275-023	NPS-95000354-0097, , 4952-0088-0000
Weston, Hackman, Andrew's House	P-49-005796	404459	3S	Adjacent	1878	22 6th Street	008-045-023	4952-0153-0000
Fino	P-49-005967	492439	1D	Adjacent	1870	208 Petaluma Boulevard North	008-284-041	NPS 95000354-0050
Maclay Building, Paul's Bargain's	P-49-006202	404368, also listed as 492341 and 470844	1D, 5S2, 7K	Adjacent	1918	36, 38, and 42 Petaluma Boulevard North	008-054-001	4952-0071-0000, NPS-95000354-0016
Steiger Building, Petaluma Realty	P-49-006207	404373, also listed as 492426	1D, 5S2	Adjacent	1885	132 Petaluma Boulevard North	006-282-007	4952-0076-0000, NPS-95000354-0036
Café Passport	P-49-006208	404374, also listed as 492435	1D, 3S	Adjacent	1875	166 Petaluma Boulevard North	006-282-015, 016	4952-0077-0000, NPS-95000354-0046
Wickersham Building, Beasley's Restaurant	P-49-006209	404375, also listed as 492436	1D, 5S2	Adjacent	1910	168 Petaluma Boulevard North	006-282-017	4952-0078-0000, NPS-95000354-0047
Weston Home, Hall Weston Home	P-49-006280	404449	3S	Adjacent	1860	1 Howard Street	008-045-033	4952-0152-0000
None	P-49-006286	404451	5S2	Adjacent	1910	15 Howard Sreet	008-045-001	4952-0154-0000
Winan, Dr. Leoni Residence, Gannon House	P-49-006288	404458	5S2	Adjacent	1916	16 6th Street	008-045-021	4952-0158-0000
Stewart/Byce Residence, John & Mahtee Olmsted House	P-49-006290	404457	3S	Adjacent	1868	10 6th Street	008-045-017	4952-0157-0000
None	P-49-006341	404517	5S2	Adjacent	1910	32 6th Street	008-101-011	4952-0214-0000
De Carli Home, Brainerd Home	P-49-006344	404520	3S	Adjacent	1903	52 6th Street	008-101-024	4952-0217-0000
Palmer Residence, Dabner/Groux House	P-49-006350	404526	5S2	Adjacent	1880	100 5th Street	008-104-008	4952-0223-0000

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Graham/Edwards Residence, Ward House,	P-49-006351	404527	5S2	Adjacent	1883	112 5th Street	008-104-011	4952-0224-0000
None	P-49-006374	404551	5S2	Adjacent	1890	419 D Street	008-112-005	4952-0248-0000
None	P-49-006375	404552	3S	Adjacent	1885	423 D Street	008-112-006	4952-0249-0000
Huntington House, Fratini House	P-49-006376	404553	5S2	Adjacent	1885	500 D Street	008-104-013	4952-0250-0000
Perry House, Boynton/McGrath Home	P-49-006377	404554	3S	Adjacent	1895	501 D Street	008-181-001	4952-0251-0000
Hanna Stewart Smith House, Henry Residence	P-49-006722	404456	3S	Adjacent	1865	6 6th Street	008-045-015	4952-0156-0000
None	P-49-006283	404452	5D2	Adjacent	1870	109 Howard Street	006-394-013	4952-0155-0001
None	P-49-006284	404453	5D2	Adjacent	1870	119 Howard Street	006-394-006	4952-0155-0002, Petaluma Landmark #1
None	P-49-006285	404454	5D2	Adjacent	1875	123 Howard Street	006-394-005	4952-0155-0003
Senter Building	--	492423	6X	Adjacent	1880	110 Petaluma Boulevard North	006-282-005	NPS-95000354-0033
Volpi's	--	492478, also listed as 470847	1D, 7K	Adjacent	1925	122 Washington Street	006-275-012	NPS-95000354-0099
Mike's Glass	--	492477	1D	Adjacent	1925	120 Washington Street	006-275-013	NPS-95000354-0098
Gr. Petaluma Mill II	--	492454	1D	Adjacent	1880	6 Petaluma Boulevard North	008-054-005	NPS-95000354-0068, Petaluma Landmark #7
Gr. Petaluma Mill III	--	492455	1D	Adjacent	1903	6 Petaluma Boulevard North	008-054-005	NPS-95000354-0069, Petaluma Landmark #7
Victory Auto Sales	--	492239	1D	Adjacent	1915	13 Petaluma Boulevard South	008-065-006	NPS-95000354-0001
Old Post Office	--	492340	1D	Adjacent	1920	16 Petaluma Boulevard North	008-054-004	NPS-95000354-0015, Petaluma Landmark #8

Property Name	Primary Number	OTIS ID	Eligibility Status	Project Location	Age	Address	Parcel	Other Reference Number
Office Building	--	492420	6X	Adjacent	1991	100 Petaluma Boulevard North	006-282-023	NPS-95000354-0030
Gale's Central Club	--	492421	6X	Adjacent	1925	106 Petaluma Boulevard North	006-282-003	NPS-95000354-0031
River Place	--	492422	1D	Adjacent	1880	108 Petaluma Boulevard North	006-282-004	NPS-95000354-0032
Aunt Julie's Toys, Moreto's Sporting Goods	--	470837, also listed as 492424	1D, 7K	Adjacent	1870	114 Petaluma Boulevard North	006-282-020	NPS-95000354-0034
Bluestone Main	--	492425	1D	Adjacent	1860	120 Petaluma Boulevard North	006-281-006	NPS-95000354-0035
Rear Building	--	492427	1D	Adjacent	1885	132 Petaluma Boulevard North	006-282-007	NPS-95000354-0037
Brick House	--	470840	1D, 7K	Adjacent	1886	134 Petaluma Boulevard North	006-282-008	NPS-95000354-0038
Salvation Army	--	492428	1D	Adjacent	1880	136 Petaluma Boulevard North	006-282-009	NPS-95000354-0039
Fourth Street Cutters	--	492429	6X	Adjacent	1880	140 Petaluma Boulevard North	006-282-011	NPS-95000354-0040
Comforts of Home	--	492430	6X	Adjacent	1871	144 Petaluma Boulevard North	006-282-011	NPS-95000354-0041
Chelsea Antiques, Chelsea Antiques II	--	492431, also listed as 94952	1D, 6X	Adjacent	1900, 1910	148 Petaluma Boulevard North	006-282-012	NPS-95000354-0042
Riverside Antiques	--	492433	6X	Adjacent	1880	152 Petaluma Boulevard North	006-282-013	NPS-95000354-0044
None	--	492434	6X	Adjacent	1880	154 Petaluma Boulevard North	006-282-014	NPS-95000354-0045
Soberane's Monument	--	492438	6X	Adjacent	1970	200 Petaluma Boulevard North	006-284-019	NPS-95000354-0049