

RIVERBEND

VESTING TENTATIVE MAP A PLANNED UNIT DISTRICT SPAR

27 LOTS
529 MADISON STREET
APN 007-041-006
PETALUMA, CALIFORNIA

PROJECT DATA

SITE DATA: 529 MADISON STREET
APN 007-041-006

EXISTING ZONING: RESIDENTIAL R3

PROPOSED ZONING: PLANNED UNIT DISTRICT (PUD)

EXISTING LAND USE: DIVERSE LOW DENSITY RESIDENTIAL (DLDR)
(6.1 TO 12.0 UNITS/ACRE)

TOTAL LOTS: 27 LOTS (115,218 S.F.)

GROSS AREA: 3.36 ACRES (146,379 S.F.)

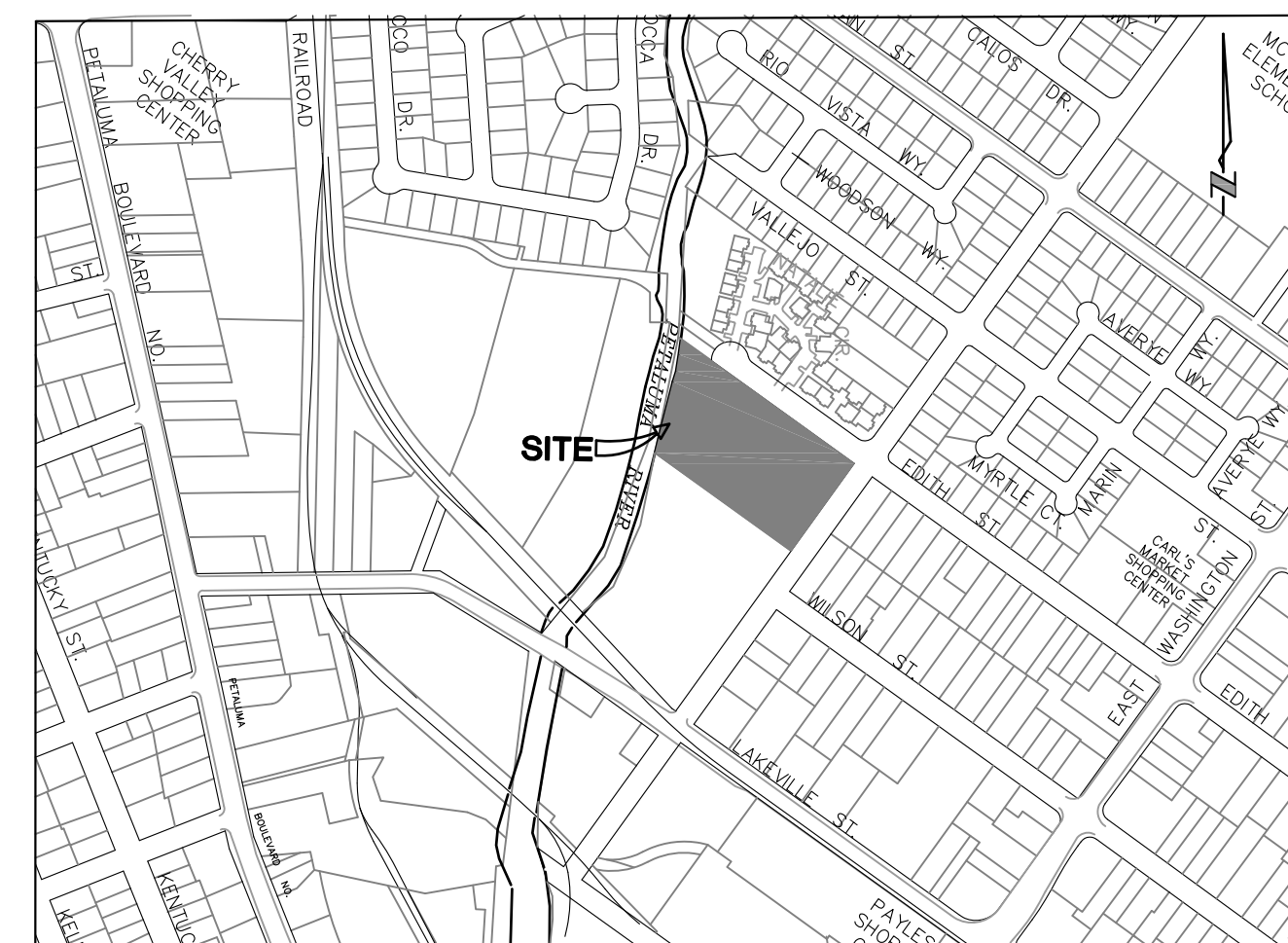
NET AREA: 2.25 ACRES (98,236 S.F.)

PROJECT DENSITY: 11.97 UNITS/ACRE

MINIMUM LOT SIZE: 2,044 S.F. GROSS (LOT 4,5)

MAXIMUM LOT SIZE: 10,764 S.F. GROSS (LOT 19)
5,826 S.F. NET

AVERAGE LOT SIZE: 4,431 S.F. GROSS



VICINITY MAP
N.T.S.

CONSULTANTS

CIVIL ENGINEER: STEVEN J. LAFRANCHI & ASSOCIATES, INC.
STEVEN LAFRANCHI
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
707.762.3122 VOICE
steve@jla.com FAX
andrea@jla.com

ARCHITECT: ECN ARCHITECTURE
EDWARD C. NOVAK
153 GILLETTE PLACE
LIVERMORE, CALIFORNIA 94550
714.323.8396 VOICE
ed@ecnarchitecture.com

GEOTECHNICAL ENGINEER: MILLER PACIFIC ENGINEERING GROUP
DAN CALDWELL
1333 N. MCDOWELL BOULEVARD, STE C
PETALUMA, CALIFORNIA 94954
707.765.6140 VOICE
707.765.6222 FAX
dcaldwel@millerpac.com

BIOLOGIST: MONK & ASSOCIATES
1136 SARANAP AVENUE, SUITE 0
WALNUT CREEK, CALIFORNIA 94595
925.947.4867 VOICE
hope@monkassociates.com

ARBORIST: BECKY DUCKLES
8876 OCCIDENTAL ROAD
SEBASTOPOL, CA 95472
707.829.0555 VOICE
bduckles@comcast.net

NOISE ASSESSMENT/AQ/GHG: ILLINGWORTH & RODKIN, INC.
429 EAST COTAIT AVENUE
COTAIT, CA 94931
707.794.0400 VOICE
mthill@illingworthrodkin.com

CULTURAL RESOURCES: DUDEK
859 SECOND STREET
ENCINITAS, CA 92024
530.563.4653 VOICE
agiacinto@dudek.com

TRAFFIC: W-TRANS.
490 MENDOCINO AVENUE, SUITE 201
SANTA ROSA, CA 954011
707.542.9500 VOICE
dwhitlock@w-trans.com



SITE DIAGRAM
SCALE: 1"=200'

OWNER/APPLICANT

UGI RIVERBEND CROSSING, LLC
1746 UNION STREET
SAN FRANCISCO, CALIFORNIA 94123
415-659-8806 VOICE
barrett.eimer@urbangreeninv.com

UTILITIES

FIRE PROTECTION CITY OF PETALUMA
WATER CITY OF PETALUMA
SANITARY SEWER CITY OF PETALUMA
STORM DRAIN CITY OF PETALUMA

SHEET INDEX

- * C-1 COVER SHEET
- * C-2 CONTEXT PLAN
- * C-3 EXISTING CONDITIONS EXHIBIT
- C-3A EXISTING CONDITIONS LYNCH CREEK TRAIL
- * C-4 DEMOLITION AND PRESERVATION PLAN
- C-4A DEMOLITION AND PRESERVATION LYNCH CREEK TRAIL
- * C-5 DENSITY LAND USE PLAN
- * C-6 PUD TENTATIVE MAP
- * C-7 PUD SITE DEVELOPMENT PLAN
- * C-8 PARKING PLAN
- * C-9 CIRCULATION PLAN
- * C-10 PRELIMINARY GRADING AND DRAINAGE PLAN
- * C-11 PRELIMINARY UTILITY PLAN
- * C-12 TYPICAL LOT GRADING AND UTILITY DETAILS
- * C-13 SECTIONS
- C-14 PROFILES
- * C-15 DETAILS
- * C-16 POST CONSTRUCTION STORM WATER CONTROL & TREATMENT PLAN
- * C-17 MAINTENANCE EXHIBIT
- * C-18 FIRE ACCESS EXHIBIT - INGRESS
- * C-19 FIRE ACCESS EXHIBIT - EGRESS
- * L-1 LANDSCAPE PLAN
- L-2 TYPICAL LOT LANDSCAPE PLAN
- L-3 MULTI-USE RECREATIONAL PATH AND EXTENSION PLAN
- L-4 LANDSCAPE PALETTE
- L-5 LANDSCAPE SECTIONS AND DETAILS
- * L-6 TRAIL AND PARK EXHIBIT
- * L-7 PUBLIC PARK RENDERED EXHIBIT
- * L-8 OAK PRESERVATION EXHIBIT

* DENOTES REVISED OR NEW DRAWING

REVISIONS	BY

COVER SHEET

RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239



DATE: 2020.10.07
SCALE: AS SHOWN
DESIGN: S.J.L. ADF
DRAWN: GRK HSM AC
CHECK: S.J.

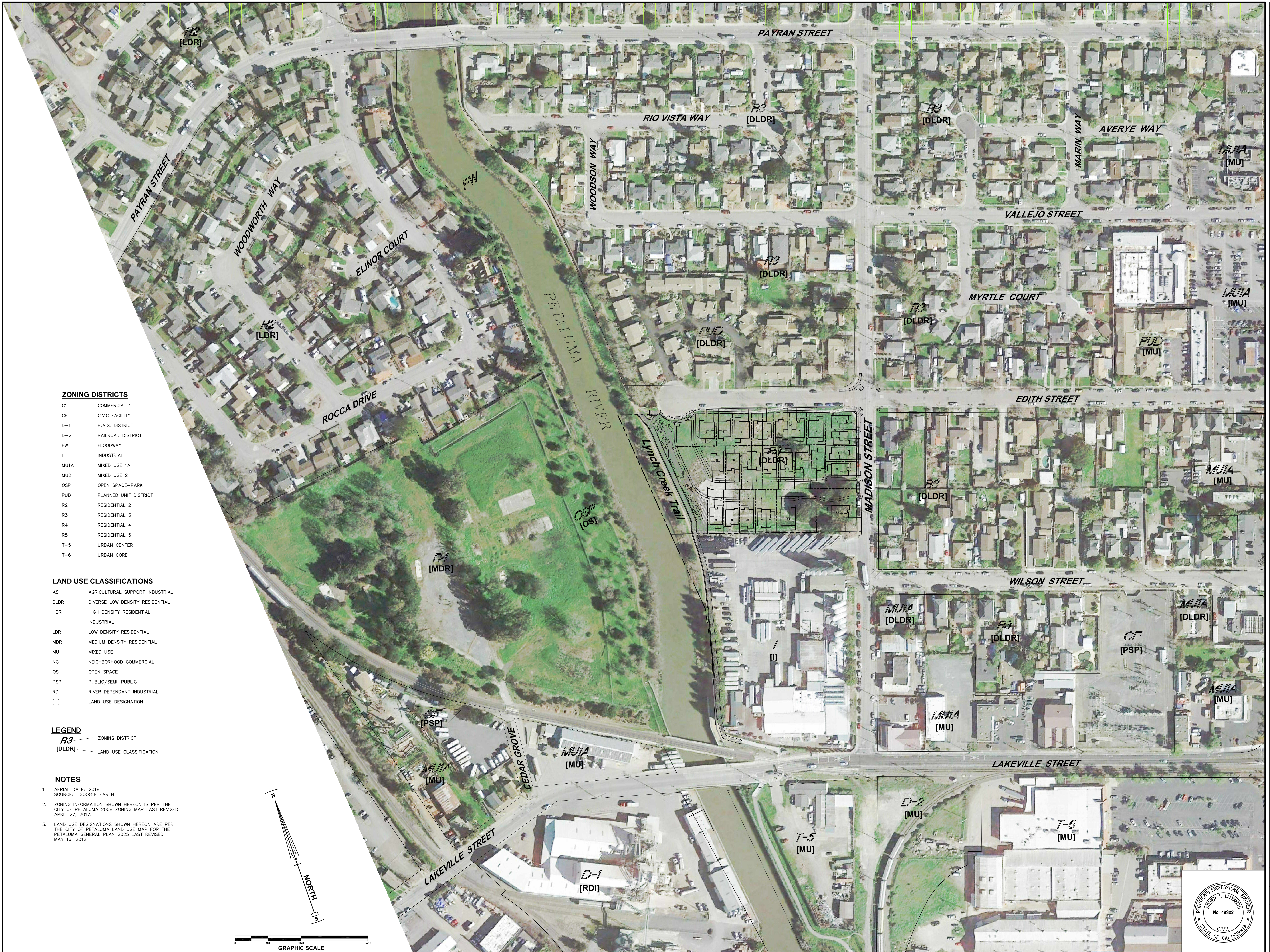
JOB: RIVERBEND
JOB No: 182043

SHEET

C-1

OF 26 SHEETS

OCTOBER 2020 SUBMITTAL



ZONING DISTRICTS

- C1 COMMERCIAL 1
- CF CIVIC FACILITY
- D-1 H.A.S. DISTRICT
- D-2 RAILROAD DISTRICT
- FW FLOODWAY
- I INDUSTRIAL
- MU1A MIXED USE 1A
- MU2 MIXED USE 2
- OSP OPEN SPACE-PARK
- PUD PLANNED UNIT DISTRICT
- R2 RESIDENTIAL 2
- R3 RESIDENTIAL 3
- R4 RESIDENTIAL 4
- R5 RESIDENTIAL 5
- T-5 URBAN CENTER
- T-6 URBAN CORE

LAND USE CLASSIFICATIONS

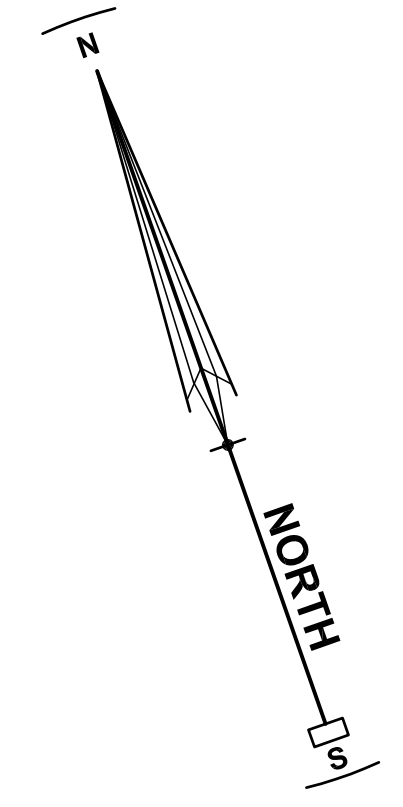
- ASI AGRICULTURAL SUPPORT INDUSTRIAL
- DLDR DIVERSE LOW DENSITY RESIDENTIAL
- HDR HIGH DENSITY RESIDENTIAL
- I INDUSTRIAL
- LDR LOW DENSITY RESIDENTIAL
- MDR MEDIUM DENSITY RESIDENTIAL
- MU MIXED USE
- NC NEIGHBORHOOD COMMERCIAL
- OS OPEN SPACE
- PSP PUBLIC/SEMI-PUBLIC
- RD1 RIVER DEPENDANT INDUSTRIAL
- [] LAND USE DESIGNATION

LEGEND

- R3 ZONING DISTRICT
- [DLDR] LAND USE CLASSIFICATION

NOTES

1. AERIAL DATE: 2018
SOURCE: GOOGLE EARTH
2. ZONING INFORMATION SHOWN HEREON IS PER THE CITY OF PETALUMA 2008 ZONING MAP LAST REVISED APRIL 27, 2017.
3. LAND USE DESIGNATIONS SHOWN HEREON ARE PER THE CITY OF PETALUMA LAND USE MAP FOR THE PETALUMA GENERAL PLAN 2025 LAST REVISED MAY 16, 2012.



REVISIONS	BY

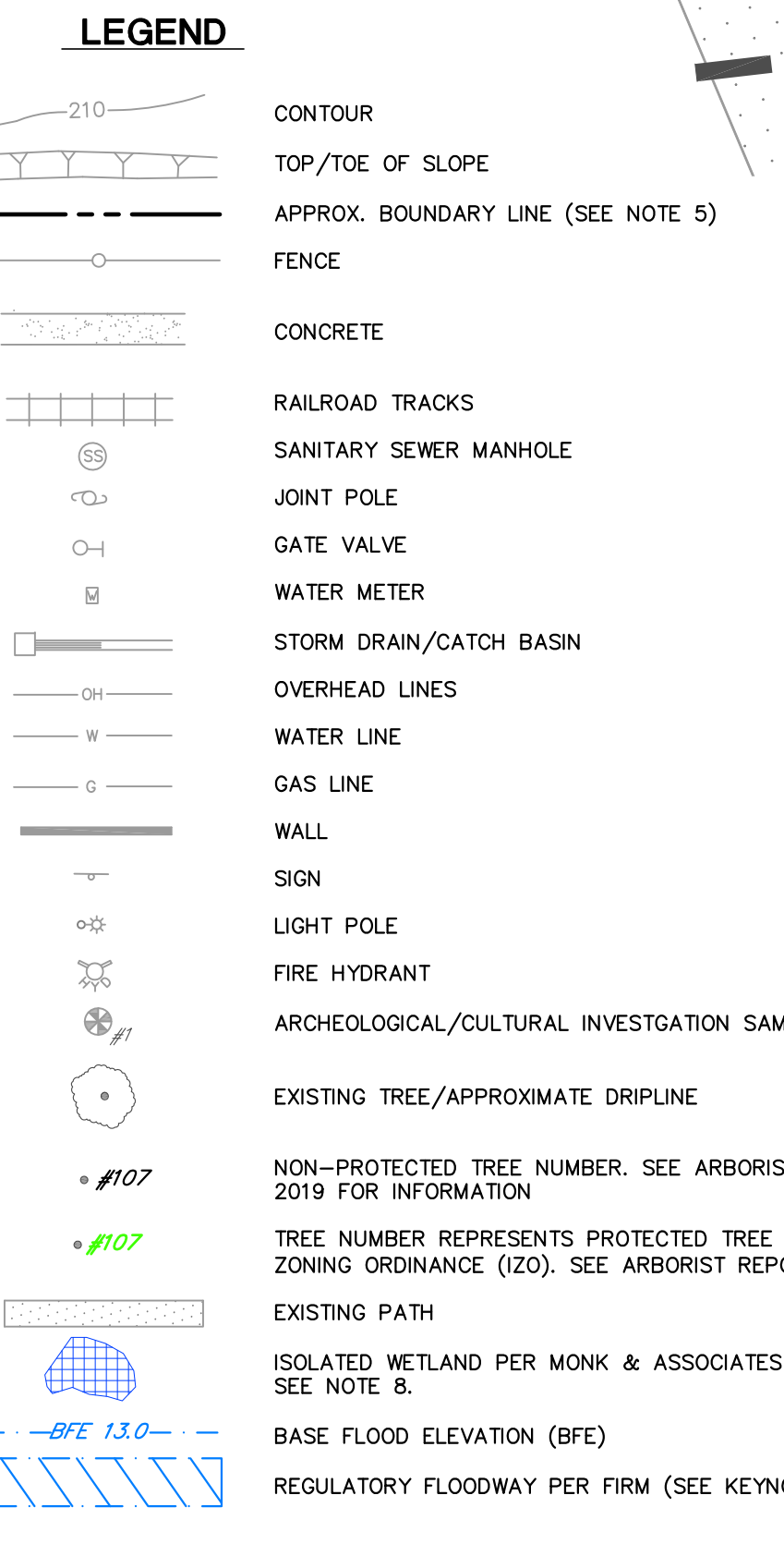
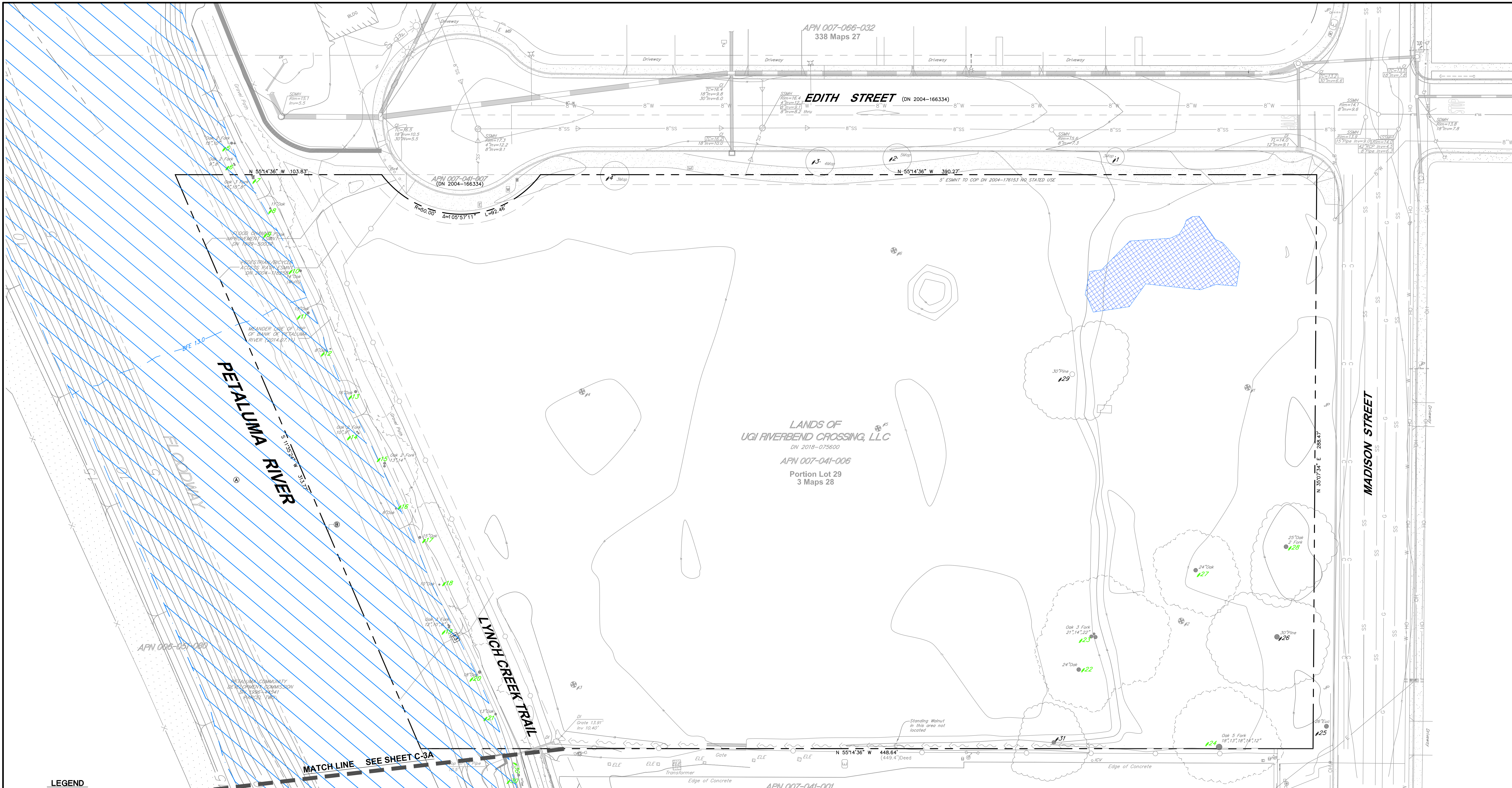
CONTEXT PLAN
 RIVERBEND
 529 MADISON STREET APN 007-041-006
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239



DATE: 2020.10.07
 SCALE: 1"=80'
 DESIGN: S.J.L. ADF
 DRAWING: CRK HSM AC
 CHECK: S.J.L.
 JOB: RIVERBEND
 JOB No: 182043

SHEET
C-2
 OF 26 SHEETS



PRELIMINARY TREE LIST

TREE DESCRIPTION	RADIUS	DIAMETER	CONDITION (1-5)	PROPOSED STATUS
1 RED MAPLE	4"	3"	4	TO BE REMOVED
2 RED MAPLE	7"	3"	3	TO BE REMOVED
3 RED MAPLE	5"	3"	3	TO BE REMOVED
4 RED MAPLE	5"	3"	3	TO BE REMOVED
5 COAST LIVE OAK	10.15'	3"	3	TO BE PRESERVED
6 COAST LIVE OAK	10.10' @ 3'	3"	3	TO BE PRESERVED
7 COAST LIVE OAK	8.9.10' @ 2'	3"	3	TO BE PRESERVED
8 VALLEY OAK	11"	3"	3	TO BE PRESERVED
9 VALLEY OAK	17' @ 4'	3"	3	TO BE PRESERVED
10 COAST LIVE OAK	10' @ 2'	3"	3	TO BE PRESERVED
11 COAST LIVE OAK	10' @ 3'	3"	3	TO BE PRESERVED
12 COAST LIVE OAK	10'	3"	3	TO BE PRESERVED
13 VALLEY OAK	17' @ 3'	3"	3	TO BE PRESERVED
14 COAST LIVE OAK	6.9.10'	3"	3	TO BE PRESERVED
15 COAST LIVE OAK	13.14'	3"	3	TO BE PRESERVED
16 VALLEY OAK	11.12'	3"	3	TO BE PRESERVED
17 VALLEY OAK	10'	3"	3	TO BE PRESERVED
18 VALLEY OAK	4.6.10.12'	3"	3	TO BE PRESERVED
19 COAST LIVE OAK	21' @ 3'	3"	3	TO BE PRESERVED
20 COAST LIVE OAK	13'	3"	3	TO BE PRESERVED
21 VALLEY OAK	14.20'	3"	3	TO BE PRESERVED
22 COAST LIVE OAK	21.22'	3"	3	TO BE PRESERVED
23 COAST LIVE OAK	14.16.28'	3"	3	TO BE PRESERVED
24 COAST LIVE OAK	14.16.28'	3"	3	TO BE PRESERVED
25 LONDON PLANE	25'	4"	4	TO BE REMOVED
26 MONTEREY PINE	31"	3"	3	TO BE REMOVED
27 COAST LIVE OAK	22'	3"	3	TO BE PRESERVED
28 COAST LIVE OAK	17.23'	3"	3	TO BE PRESERVED
29 MONTEREY PINE	30'	2"	2	TO BE REMOVED
30 VALLEY OAK	15' @ 12'	3"	3	TO BE PRESERVED
31 BLACK WALNUT	11.12.12.14'	3"	3	TO BE PRESERVED
32 COAST LIVE OAK	10' @ 2'	3"	3	TO BE PRESERVED
33 VALLEY OAK	9.10.10.12'	3"	3	TO BE PRESERVED
34 VALLEY OAK	9.14'	3"	3	TO BE PRESERVED
35 VALLEY OAK	9.14'	3"	3	TO BE PRESERVED
36 VALLEY OAK	8.8'	3"	3	TO BE PRESERVED
36A VALLEY OAK	6.11'	3"	3	TO BE PRESERVED
36A VALLEY OAK	15.10'	3"	3	TO BE PRESERVED
37 COAST LIVE OAK	5.7'	3"	3	TO BE PRESERVED
38 COAST LIVE OAK	7.8'	3"	3	TO BE PRESERVED
39 VALLEY OAK	3.4'	3"	3	TO BE PRESERVED
40 COAST LIVE OAK	4.4'	3"	3	TO BE PRESERVED
41 COAST REDWOOD	16'	4"	4	TO BE PRESERVED
42 COAST REDWOOD	25'	4"	4	TO BE PRESERVED
43 COAST REDWOOD	28'	4"	4	TO BE PRESERVED
44 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
45 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
46 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
47 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
48 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
49 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
50 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
51 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
52 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
53 COAST REDWOOD	29'	4"	4	TO BE PRESERVED
54 COAST REDWOOD	29'	4"	4	TO BE PRESERVED

NOTES

- TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON MAPPING PROVIDED BY CARLENZOLI / BKF ENGINEERING DATED AUGUST 2005 AND APRIL 2007 AND NOVEMBER 2014. UTILITY INVERT INFORMATION IN EDITH AND MADISON STREETS, ALONG WITH TOP OF PIPE INFORMATION ALONG PETALUMA CREEK ARE BASED ON ADDITIONAL TOPOGRAPHIC MAPPING BY STEVEN J. LAFRANCHI & ASSOCIATES FROM FEBRUARY TO APRIL 2015. ADDITIONAL SURVEY OF EXISTING TREES WAS ADDED IN FEBRUARY 2019.
- VERTICAL DATUM: NAVD 1988. JOB BENCHMARK, 2" BRASS DISK & PUNCH IN MONUMENT WELL LOCATED AT INTERSECTION OF CENTERLINES OF EDITH COURT AND MADISON STREET, ELEVATION=13.16' NAVD 1988.
- TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- BOUNDARY INFORMATION IS BASED ON THE SURVEY PROVIDED BY CARLENZOLI / BKF. BOUNDARY INFORMATION IS FOR REFERENCE ONLY.
- TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY ORDER NUMBER 08100193-JL, DATED FEBRUARY 8, 2019.
- THIS MAP IS PROVIDED IN DIGITAL FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE DIGITAL FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS DIGITAL FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT. AND IN THE EVENT THE DIGITAL FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE DIGITAL FILE, OR FOR ANY PRODUCTS DERIVED FROM THE DIGITAL FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.
- WETLANDS BOUNDARIES WERE PROVIDED BY MONK & ASSOCIATES ENVIRONMENTAL CONSULTANTS DATED DECEMBER 11, 2015 AND AMENDED IN MARCH 2019.

NOTE:
TREE INFORMATION TAKEN FROM ARBORIST REPORT BY BECKY DUCLES (707) 829-0555, DATED MARCH 18, 2019 AND RECENTLY UPDATED TREE INVENTORY DATED JANUARY 13, 2020.

ABBREVIATIONS

- AC ASPHALTIC CONCRETE
- APN ASSESSOR PARCEL NUMBER
- BFE BASE FLOOD ELEVATION
- BUDG BUILDING
- CONC CONCRETE
- DN DOCUMENT NUMBER
- ELE ELECTRIC UTILITY
- EX EXISTING
- FBO FOR THE BENEFIT OF
- FF FINISHED FLOOR
- G GAS
- JBM JOB BENCHMARK
- JP JOINT POLE
- LP LOW POINT
- OH OVERHEAD UTILITIES
- OR OFFICIAL RECORD
- T TREE
- W WATER

KEY NOTE

(A) LIMITS OF FLOODWAY AS INDICATED ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 0507C09825 REVISED OCTOBER 2, 2015. THIS AREA IS "ZONE AE"

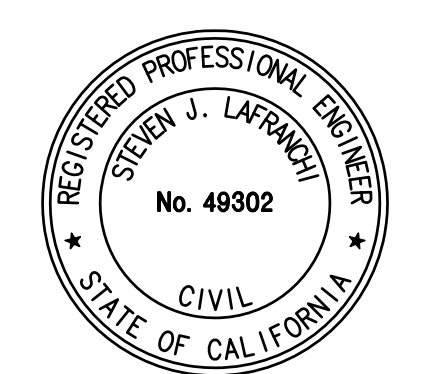
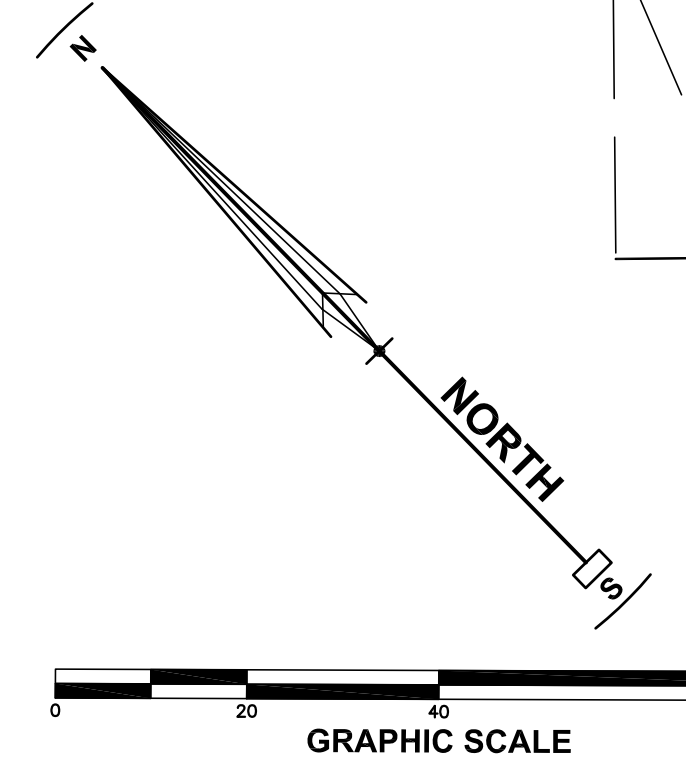
(B) DEED CALL TO HISTORIC PETALUMA RIVER TOP OF BANK PER DN 2018-075600

EASEMENT KEY NOTES

(1) EXISTING 5' WIDE EASEMENT FOR UNDISCLOSED PURPOSES, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED NOVEMBER 22, 2004 IN DOCUMENT NUMBER 2004-176153, SCR

(2) EXISTING EASEMENT FOR FLOOD CHANNEL IMPROVEMENTS, FBO THE PETALUMA COMMUNITY DEVELOPMENT COMMISSION, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO PETALUMA COMMUNITY DEVELOPMENT COMMISSION, RECORDED APRIL 19, 1999, IN DOCUMENT NUMBER 1999-059039, SCR

(3) EXISTING EASEMENT FOR A PEDESTRIAN/BICYCLE ACCESS PATH, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED AUGUST 2, 2004 IN DOCUMENT NUMBER 2004-118256, SCR

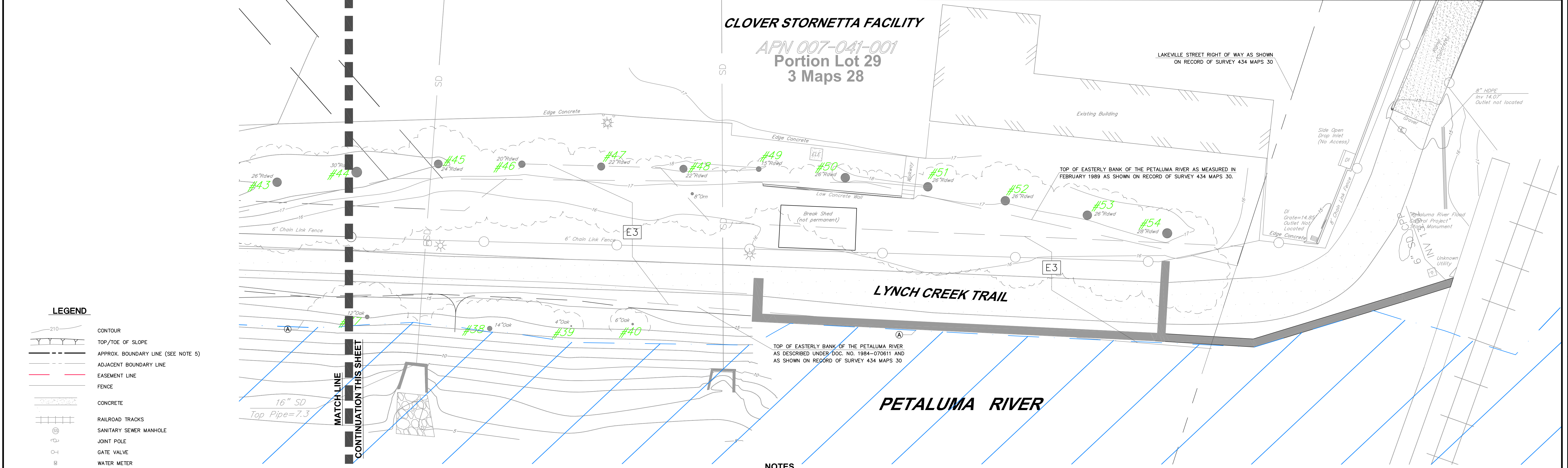
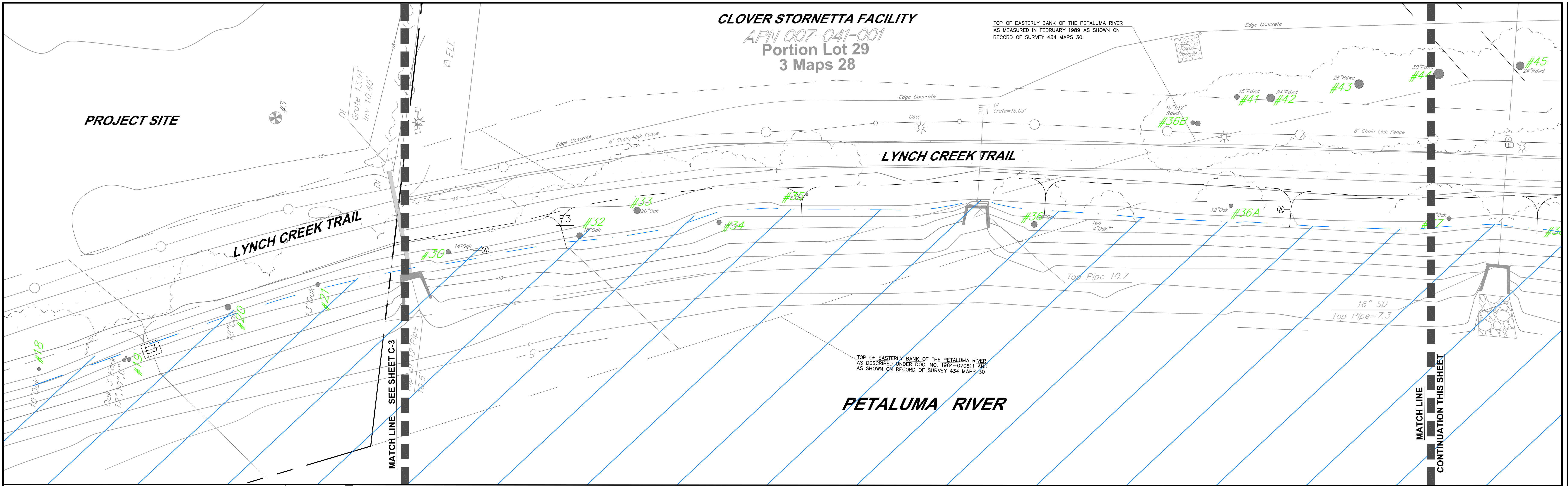


REVISIONS BY

EXISTING CONDITIONS EXHIBIT
RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
SCALE: 1"=20'
DESIGN: S.J.L. ADF
DRAWING: CRK HSM AC
CHECK: S.J.
JOB: RIVERBEND
JOB No: 182043
SHEET
C-3
OF 26 SHEETS



LEGEND

	CONTOUR
	TOP/TOE OF SLOPE
	APPROX. BOUNDARY LINE (SEE NOTE 5)
	ADJACENT BOUNDARY LINE
	EASEMENT LINE
	FENCE
	CONCRETE
	RAILROAD TRACKS
	SANITARY SEWER MANHOLE
	JOINT POLE
	GATE VALVE
	WATER METER
	ELECTRIC VAULT
	STORM DRAIN/CATCH BASIN
	OVERHEAD LINES
	WATER LINE
	GAS LINE
	WALL
	SIGN
	LIGHT POLE
	FIRE HYDRANT
	EXISTING TREE/APPROXIMATE DRIPLINE
	NON-PROTECTED TREE NUMBER. SEE ARBORIST REPORT DATED MARCH 18, 2019 FOR INFORMATION
	TREE NUMBER REPRESENTS PROTECTED TREE PER IMPLEMENTING ZONING ORDINANCE (ZO). SEE ARBORIST REPORT FOR INFORMATION
	EXISTING PATH
	BASE FLOOD ELEVATION (BFE)
	REGULATORY FLOODWAY PER FIRM (SEE KEYNOTE A) FOR THE BENEFIT OF

NOTES

1. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON MAPPING PROVIDED BY CARLENZOLI / BKF ENGINEERING DATED AUGUST 2006 AND APRIL 2007 AND NOVEMBER 2014. UTILITY INVERT INFORMATION IN EDITH AND MADISON STREETS, ALONG WITH TOP OF PIPE INFORMATION ALONG PETALUMA CREEK ARE BASED ON ADDITIONAL TOPOGRAPHIC MAPPING BY STEVEN J. LAFRANCHI & ASSOCIATES FROM FEBRUARY TO APRIL 2015. ADDITIONAL SURVEY OF EXISTING TREES WAS ADDED IN FEBRUARY 2019.
2. VERTICAL DATUM: NAVD 1988. JOB BENCHMARK, 2" BRASS DISK & PUNCH IN MONUMENT WELL LOCATED AT INTERSECTION OF CENTERLINES OF EDITH COURT AND MADISON STREET, ELEVATION=13.16' NAVD 1988.
3. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
4. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. STEVEN J. LAFRANCHI & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
5. BOUNDARY INFORMATION IS BASED ON THE SURVEY PROVIDED BY CARLENZOLI / BKF. BOUNDARY INFORMATION IS FOR REFERENCE ONLY.
6. TITLE REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY ORDER NUMBER 0812016193-JJ, DATED FEBRUARY 8, 2019.
7. THIS MAP IS PROVIDED IN DIGITAL FORMAT AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE DIGITAL FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS DIGITAL FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE DIGITAL FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE DIGITAL FILE OR FOR ANY PRODUCTS DERIVED FROM THE DIGITAL FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.
8. WETLANDS BOUNDARIES WERE PROVIDED BY MONK & ASSOCIATES ENVIRONMENTAL CONSULTANTS DATED DECEMBER 11, 2015 AND AMENDED IN MARCH 2019.

KEY NOTE

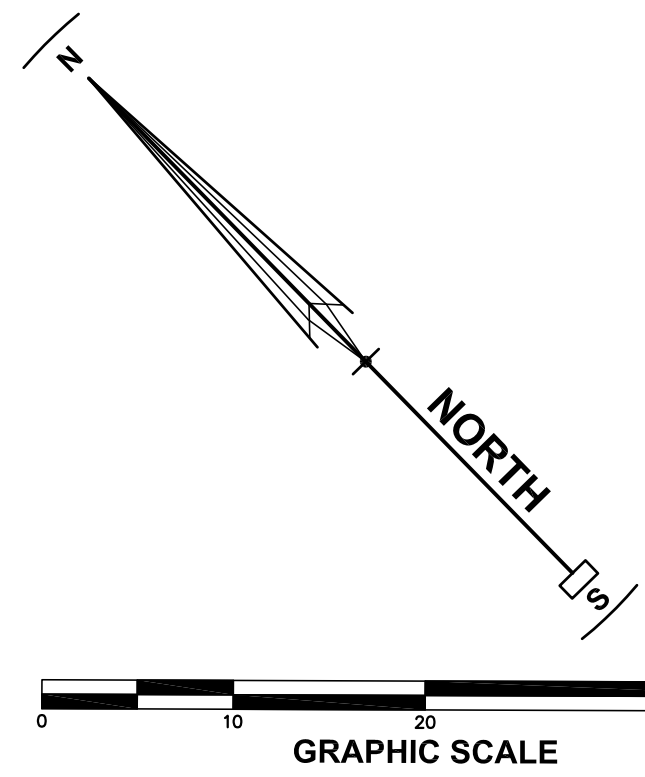
- Ⓐ LIMITS OF FLOODWAY AS INDICATED ON FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 06097C0982C REVISED OCTOBER 2, 2015. THIS AREA IS "ZONE AE"

EASEMENT KEY NOTES

- Ⓔ1 EXISTING 5' WIDE EASEMENT FOR UNDISCLOSED PURPOSES, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED NOVEMBER 22, 2004 IN DOCUMENT NUMBER 2004-176153, SCR
- Ⓔ2 EXISTING EASEMENT FOR FLOOD CHANNEL IMPROVEMENTS, FBO THE PETALUMA COMMUNITY DEVELOPMENT COMMISSION, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO PETALUMA COMMUNITY DEVELOPMENT COMMISSION, RECORDED APRIL 19, 1999, IN DOCUMENT NUMBER 1999-050039, SCR
- Ⓔ3 EXISTING EASEMENT FOR A PEDESTRIAN/BICYCLE ACCESS PATH, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED AUGUST 2, 2004 IN DOCUMENT NUMBER 2004-182958, SCR

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
APN	ASSESSOR PARCEL NUMBER
BFE	BASE FLOOD ELEVATION
BLDG	BUILDING
CONC	CONCRETE
DN	DOCUMENT NUMBER
EX	EXISTING
FF	FINISHED FLOOR
G	GAS
JBM	JOB BENCHMARK
JP	JOINT POLE
LP	LOW POINT
OR	OVERHEAD UTILITIES
OR	OFFICIAL RECORD
T	TREE
W	WATER

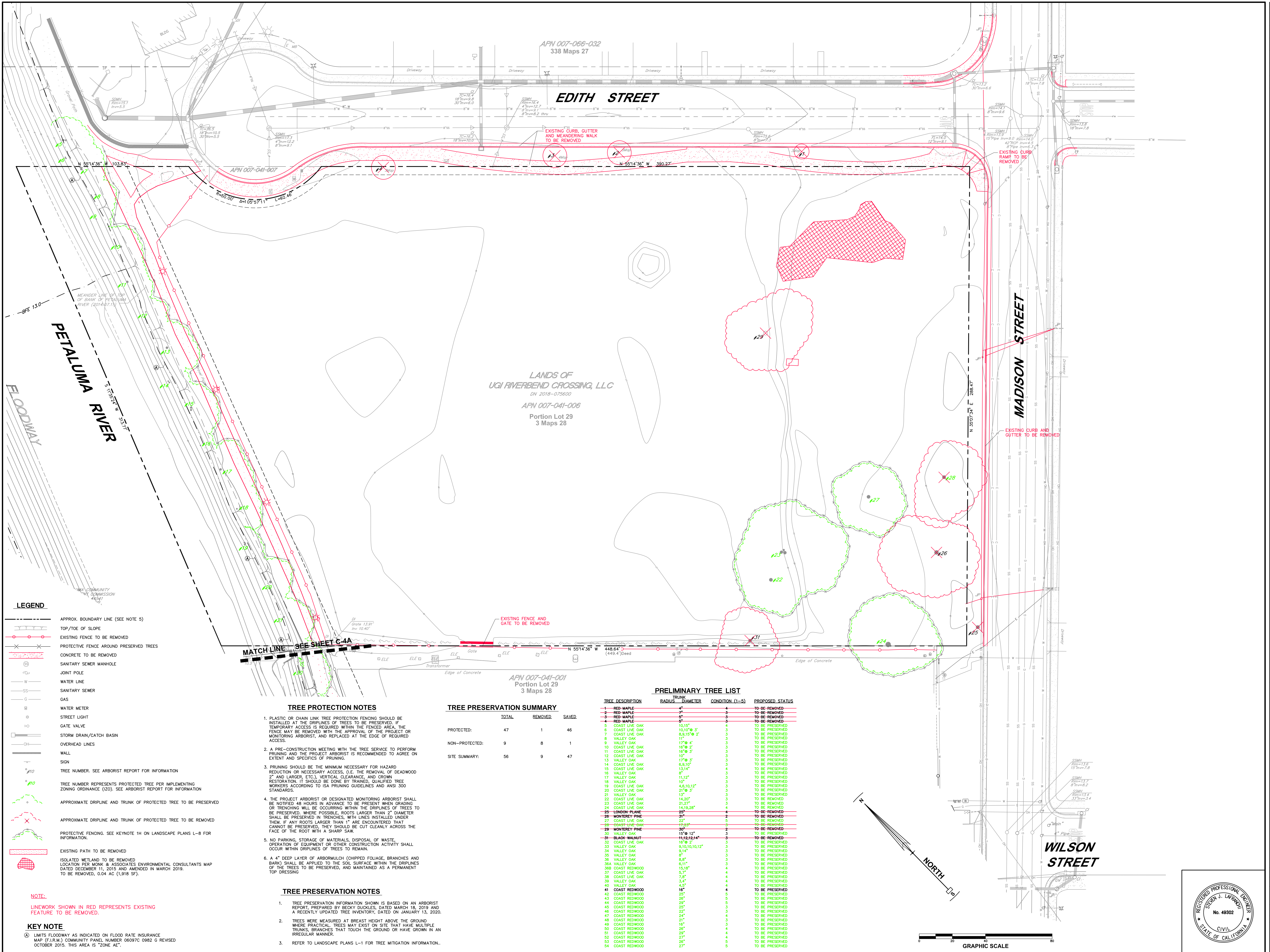


REVISIONS	BY

EXISTING CONDITIONS LYNCH CREEK TRAIL
 RIVERBEND
 529 MADISON STREET APN 007-041-006
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
 SCALE: 1"=10'
 DESIGN: S.J.L. ADF
 DRAWING: CRK HSM AC
 CHECK: S.J.L.
 JOB: RIVERBEND
 JOB No: 182043
 SHEET
C-3A
 OF 26 SHEETS



REVISIONS BY	DATE	DESCRIPTION

DEMOLITION AND PRESERVATION PLAN
 RIVERBEND
 529 MADISON STREET APN 007-041-006
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
 SCALE: 1"=20'
 DESIGN: S.J.L. ADF
 DRAWING: CRK HSM AC
 CHECK: S.J.L.
 JOB: RIVERBEND
 JOB No: 182043
 SHEET
C-4
 OF 26 SHEETS



- LEGEND**
- APPROX. BOUNDARY LINE (SEE NOTE 5)
 - TOP/TOE OF SLOPE
 - EXISTING FENCE TO BE REMOVED
 - PROTECTIVE FENCE AROUND PRESERVED TREES
 - CONCRETE TO BE REMOVED
 - SANITARY SEWER MANHOLE
 - JOINT POLE
 - WATER LINE
 - SANITARY SEWER
 - GAS
 - WATER METER
 - STREET LIGHT
 - GATE VALVE
 - STORM DRAIN/CATCH BASIN
 - OVERHEAD LINES
 - WALL
 - SIGN
 - TREE NUMBER. SEE ARBORIST REPORT FOR INFORMATION
 - TREE NUMBER REPRESENTS PROTECTED TREE PER IMPLEMENTING ZONING ORDINANCE (Z20). SEE ARBORIST REPORT FOR INFORMATION
 - APPROXIMATE DRIPLINE AND TRUNK OF PROTECTED TREE TO BE PRESERVED
 - APPROXIMATE DRIPLINE AND TRUNK OF PROTECTED TREE TO BE REMOVED
 - PROTECTIVE FENCING. SEE KEYNOTE 1H ON LANDSCAPE PLANS L-8 FOR INFORMATION.
 - EXISTING PATH TO BE REMOVED
 - ISOLATED WETLAND TO BE REMOVED

NOTE:
 LINEWORK SHOWN IN RED REPRESENTS EXISTING FEATURE TO BE REMOVED.

KEY NOTE
 (A) LIMITS FLOODWAY AS INDICATED ON FLOOD RATE INSURANCE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 06097C 0982 C REVISED OCTOBER 2015. THIS AREA IS "ZONE A".

TREE PROTECTION NOTES

- PLASTIC OR CHAIN LINK TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIPLINES OF TREES TO BE PRESERVED. IF TEMPORARY ACCESS IS REQUIRED WITHIN THE FENCED AREA, THE FENCE MAY BE REMOVED WITH THE APPROVAL OF THE PROJECT OR MONITORING ARBORIST, AND REPLACED AT THE EDGE OF REQUIRED ACCESS.
- A PRE-CONSTRUCTION MEETING WITH THE TREE SERVICE TO PERFORM PRUNING AND THE PROJECT ARBORIST IS RECOMMENDED TO AGREE ON EXTENT AND SPECIFICS OF PRUNING.
- PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION OR NECESSARY ACCESS (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ETC.), VERTICAL CLEARANCE, AND CROWN RESTORATION. IT SHOULD BE DONE BY TRAINED, QUALIFIED TREE WORKERS ACCORDING TO ISA PRUNING GUIDELINES AND ANSI 300 STANDARDS.
- THE PROJECT ARBORIST OR DESIGNATED MONITORING ARBORIST SHALL BE NOTIFIED 48 HOURS IN ADVANCE TO BE PRESENT WHEN GRADING OR TRENCHING WILL BE OCCURRING WITHIN THE DRIPLINES OF TREES TO BE PRESERVED. WHERE POSSIBLE, ROOTS LARGER THAN 2" DIAMETER SHALL BE PRESERVED IN TRENCHES, WITH LINES INSTALLED UNDER THEM. IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED THAT CANNOT BE PRESERVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW.
- NO PARKING, STORAGE OF MATERIALS, DISPOSAL OF WASTE, OPERATION OF EQUIPMENT OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIPLINES OF TREES TO REMAIN.
- A 4" DEEP LAYER OF ARBORMULCH (CHIPPED FOLIAGE, BRANCHES AND BARK) SHALL BE APPLIED TO THE SOIL SURFACE WITHIN THE DRIPLINES OF THE TREES TO BE PRESERVED, AND MAINTAINED AS A PERMANENT TOP DRESSING.

TREE PRESERVATION SUMMARY

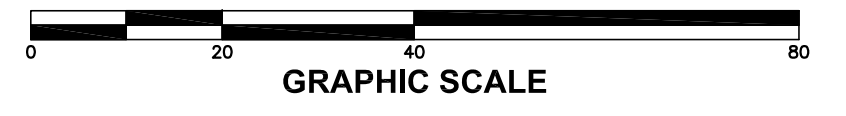
	TOTAL	REMOVED	SAVED
PROTECTED:	47	1	46
NON-PROTECTED:	9	8	1
SITE SUMMARY:	56	9	47

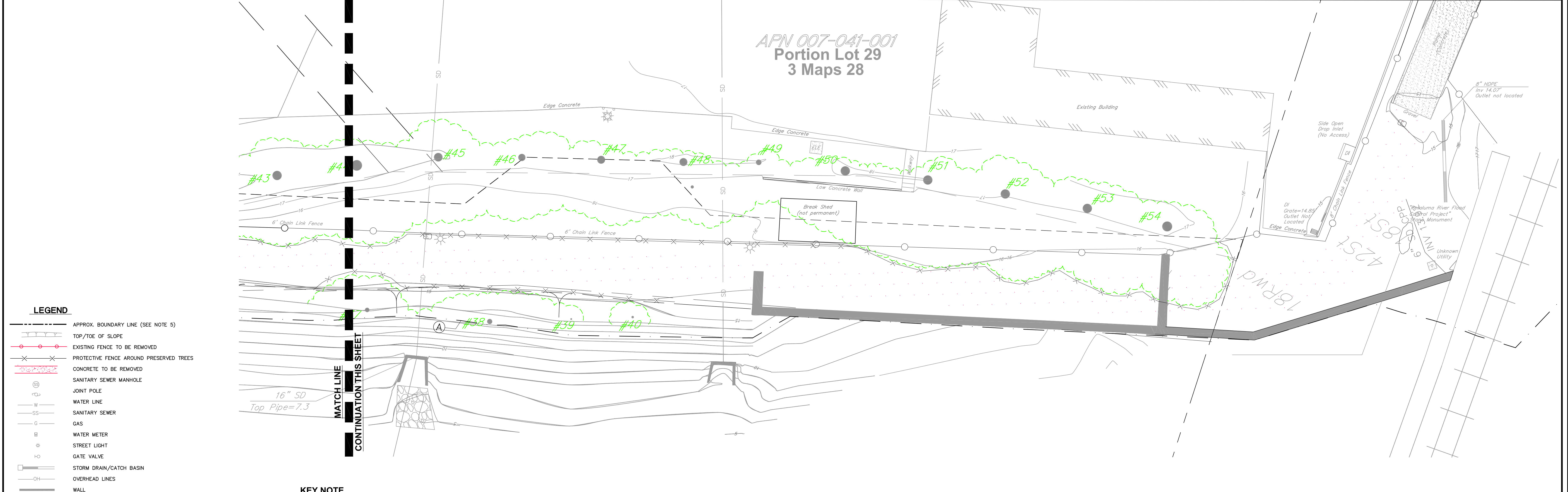
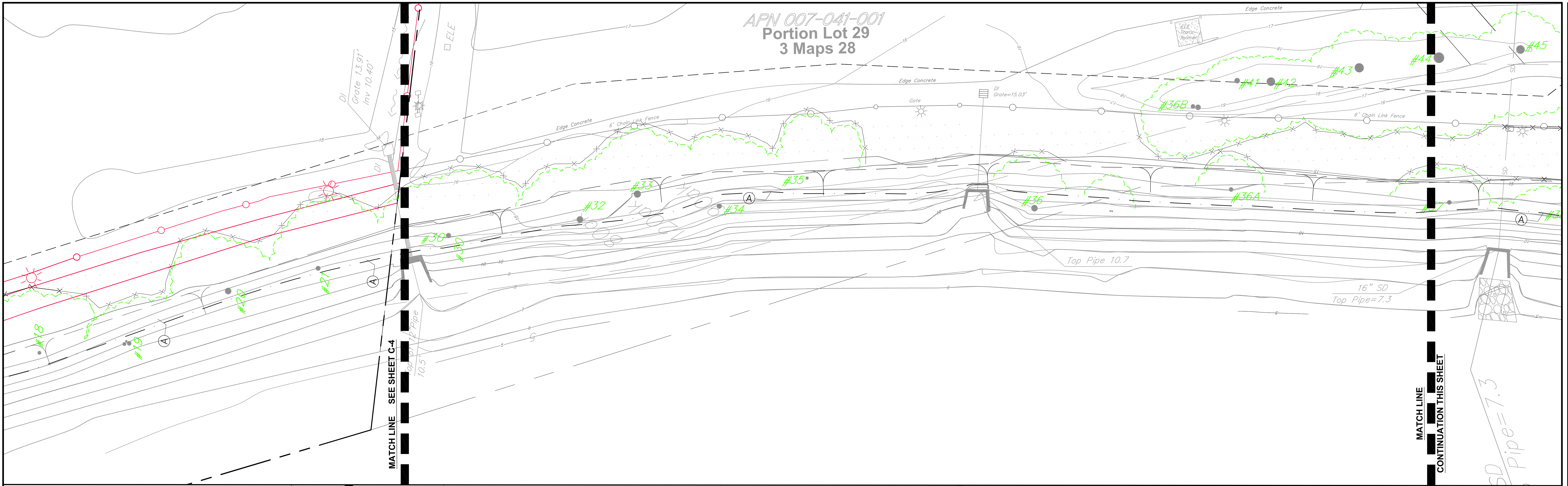
PRELIMINARY TREE LIST

TREE DESCRIPTION	RADIUS	TRUNK DIAMETER	CONDITION (1-5)	PROPOSED STATUS
1- RED MAPLE	4"	4"	4	TO BE REMOVED
2- RED MAPLE	5"	5"	3	TO BE REMOVED
3- RED MAPLE	5"	5"	3	TO BE REMOVED
4- RED MAPLE	5"	5"	3	TO BE REMOVED
5- COAST LIVE OAK	10,15"	3"	4	TO BE PRESERVED
6- COAST LIVE OAK	10,10" @ 3'	3"	4	TO BE PRESERVED
7- COAST LIVE OAK	6,9,11" @ 2'	3"	4	TO BE PRESERVED
8- VALLEY OAK	11"	3"	3	TO BE PRESERVED
9- VALLEY OAK	17" @ 4'	3"	3	TO BE PRESERVED
10- COAST LIVE OAK	16" @ 2'	3"	3	TO BE PRESERVED
11- COAST LIVE OAK	16" @ 3'	3"	3	TO BE PRESERVED
12- COAST LIVE OAK	17" @ 3'	3"	3	TO BE PRESERVED
13- VALLEY OAK	10"	3"	3	TO BE PRESERVED
14- COAST LIVE OAK	6,8,10"	3"	3	TO BE PRESERVED
15- COAST LIVE OAK	13,14"	4"	4	TO BE PRESERVED
16- VALLEY OAK	8"	3"	3	TO BE PRESERVED
17- VALLEY OAK	11,12"	3"	3	TO BE PRESERVED
18- VALLEY OAK	10"	3"	3	TO BE PRESERVED
19- COAST LIVE OAK	4,5,10,12"	3"	3	TO BE PRESERVED
20- COAST LIVE OAK	21" @ 3'	3"	3	TO BE PRESERVED
21- VALLEY OAK	13"	3"	3	TO BE PRESERVED
22- COAST LIVE OAK	14,20"	3"	3	TO BE REMOVED
23- COAST LIVE OAK	21,22"	3"	3	TO BE REMOVED
24- COAST LIVE OAK	14,19,28"	4"	4	TO BE REMOVED
25- VALLEY OAK	8"	3"	3	TO BE PRESERVED
26- MONTEREY PINE	20"	2"	2	TO BE REMOVED
27- COAST LIVE OAK	22"	5"	5	TO BE REMOVED
28- COAST LIVE OAK	19,23"	3"	3	TO BE PRESERVED
29- MONTEREY PINE	30"	2"	2	TO BE REMOVED
30- VALLEY OAK	10" @ 12'	3"	3	TO BE PRESERVED
31- BLACK WALNUT	11,12,12,14"	3"	3	TO BE REMOVED
32- COAST LIVE OAK	16" @ 2'	3"	3	TO BE PRESERVED
33- VALLEY OAK	9,10,10,10,12"	3"	3	TO BE PRESERVED
34- VALLEY OAK	8,14"	3"	3	TO BE PRESERVED
35- VALLEY OAK	8"	3"	3	TO BE PRESERVED
36- VALLEY OAK	8,8"	3"	3	TO BE PRESERVED
37- VALLEY OAK	6,11"	3"	3	TO BE PRESERVED
38- COAST REDWOOD	15,18"	4"	4	TO BE PRESERVED
39- COAST LIVE OAK	7,8"	4"	4	TO BE PRESERVED
40- COAST LIVE OAK	7,8"	4"	4	TO BE PRESERVED
41- VALLEY OAK	3,4"	4"	4	TO BE PRESERVED
42- VALLEY OAK	4,5"	4"	4	TO BE PRESERVED
43- COAST REDWOOD	18"	4"	4	TO BE PRESERVED
44- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
45- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
46- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
47- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
48- COAST REDWOOD	21"	3"	3	TO BE PRESERVED
49- COAST REDWOOD	21"	3"	3	TO BE PRESERVED
50- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
51- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
52- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
53- COAST REDWOOD	28"	4"	4	TO BE PRESERVED
54- COAST REDWOOD	27"	4"	4	TO BE PRESERVED

TREE PRESERVATION NOTES

- TREE PRESERVATION INFORMATION SHOWN IS BASED ON AN ARBORIST REPORT, PREPARED BY BECKY DUKES, DATED MARCH 18, 2019 AND A RECENTLY UPDATED TREE INVENTORY, DATED ON JANUARY 13, 2020.
- TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER.
- REFER TO LANDSCAPE PLANS L-1 FOR TREE MITIGATION INFORMATION..





- LEGEND**
- APPROX. BOUNDARY LINE (SEE NOTE 5)
 - TOP/TOE OF SLOPE
 - - - EXISTING FENCE TO BE REMOVED
 - - - PROTECTIVE FENCE AROUND PRESERVED TREES
 - CONCRETE TO BE REMOVED
 - SANITARY SEWER MANHOLE
 - JOINT POLE
 - WATER LINE
 - SANITARY SEWER
 - GAS
 - WATER METER
 - STREET LIGHT
 - GATE VALVE
 - STORM DRAIN/CATCH BASIN
 - OVERHEAD LINES
 - WALL
 - SIGN
 - TREE NUMBER. SEE ARBORIST REPORT FOR INFORMATION
 - TREE NUMBER REPRESENTS PROTECTED TREE PER IMPLEMENTING ZONING ORDINANCE (IZO). SEE ARBORIST REPORT FOR INFORMATION
 - APPROXIMATE DRIPLINE AND TRUNK OF PROTECTED TREE TO BE PRESERVED
 - APPROXIMATE DRIPLINE AND TRUNK OF PROTECTED TREE TO BE REMOVED
 - PROTECTIVE FENCING. SEE KEYNOTE 1H ON LANDSCAPE PLANS L-B FOR INFORMATION
 - EXISTING PATH TO BE REMOVED
 - ISOLATED WETLAND TO BE REMOVED

KEY NOTE

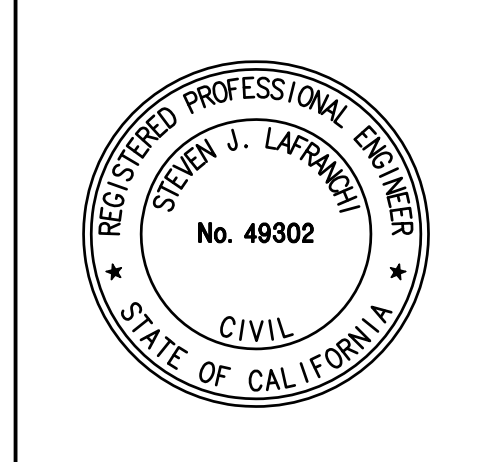
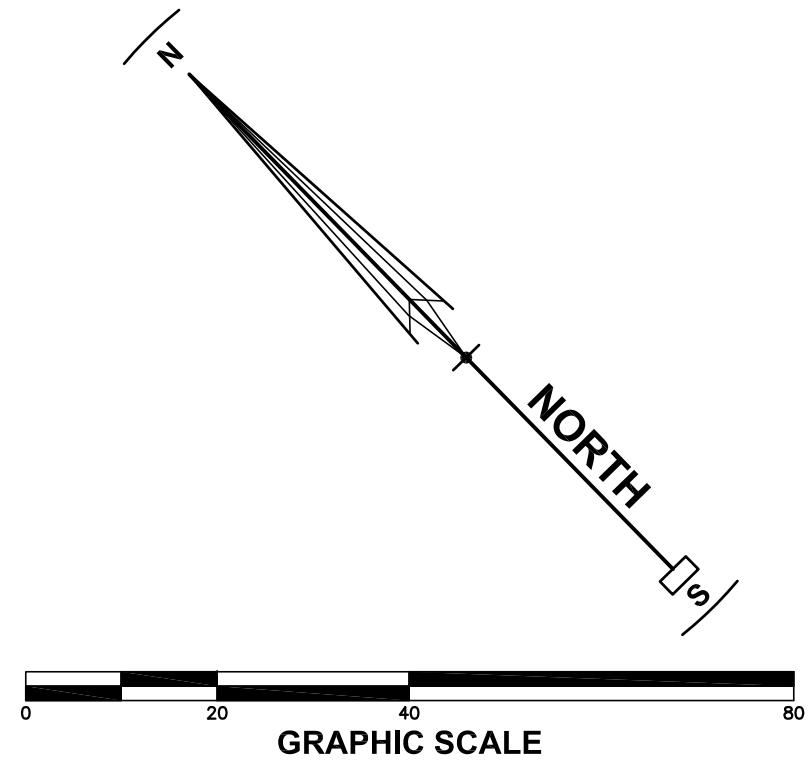
④ LIMITS FLOODWAY AS INDICATED ON FLOOD RATE INSURANCE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 06097C 0982 G REVISED OCTOBER 2015. THIS AREA IS "ZONE AC".

NOTE:

LIMITS OF WORK ALONG THE LYNCH TRAIL IMPROVEMENTS WITHIN THE CLOVER STORNETTA PROPERTY CURRENTLY PROPOSED TO BE BETWEEN TOP OF BANK/ EDGE OF EXISTING TRAIL TO THE EXISTING CHAINLINK FENCE ON CLOVER FACILITY PROPERTY.

NOTE:

LINEWORK SHOWN IN RED REPRESENTS EXISTING FEATURE TO BE REMOVED.



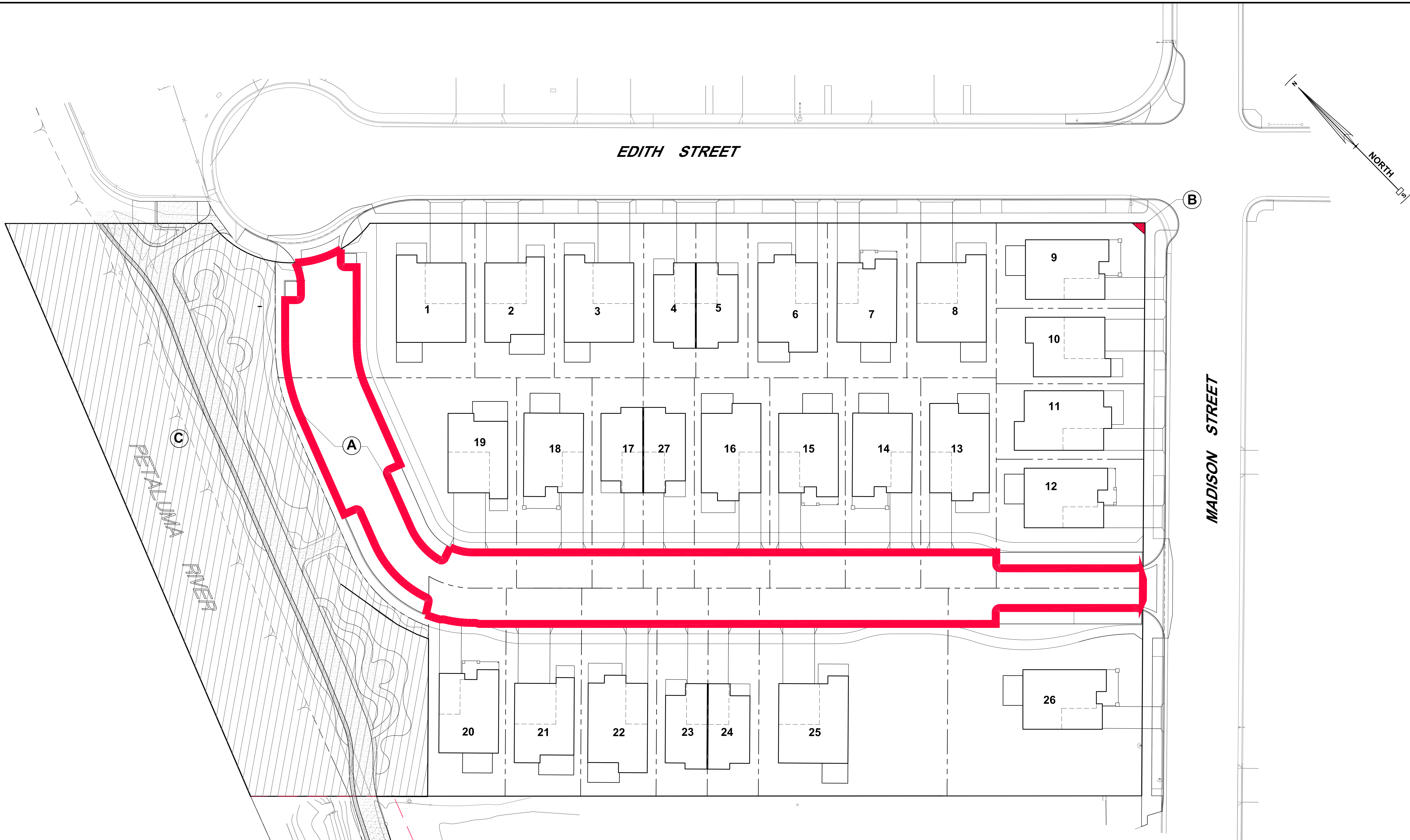
REVISIONS BY	DATE	DESCRIPTION

DEMOLITION AND PRESERVATION LYNCH CREEK TRAIL

RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
SCALE: 1"=20'
DESIGN: S.J.L, ADF
DRAWING: CRK, HSM, AC
CHECK: S.J.L
JOB: RIVERBEND
JOB No: 182043
SHEET
C-4A
OF 26 SHEETS



**DIVERSE LOW DENSITY RESIDENTIAL
(6.1 TO 12.0 UNITS/ACRE)**

146,379 S.F./ 3.360 ACRES GROSS AREA

98,236 S.F./ 2.255 ACRES NET AREA *

27 UNITS

11.97 UNITS/ ACRE *

146,379 S.F./ 3.360 ACRES GROSS AREA

115,434 S.F./ 2.65 ACRES NET AREA **

27 UNITS

10.19 UNITS/ACRE **

AREA TABLE

- * ** (A) 0.39 ACRES (16,948 S.F.) - VEHICULAR EASEMENT
- * ** (B) 0.00 ACRES (20 S.F.) - RIGHT-OF-WAY DEDICATION
- * (C) 0.71 ACRES (31,144 S.F.) - PARCEL A

* AREAS ARE DEDUCTED FROM GROSS AREA TO OBTAIN NET AREA (FOR USEABLE DEVELOPMENT LANDS).

** AREAS ARE DEDUCTED FROM GROSS AREA TO OBTAIN NET AREA (PER STANDARD CITY POLICY FOR DENSITY TRANSFER).



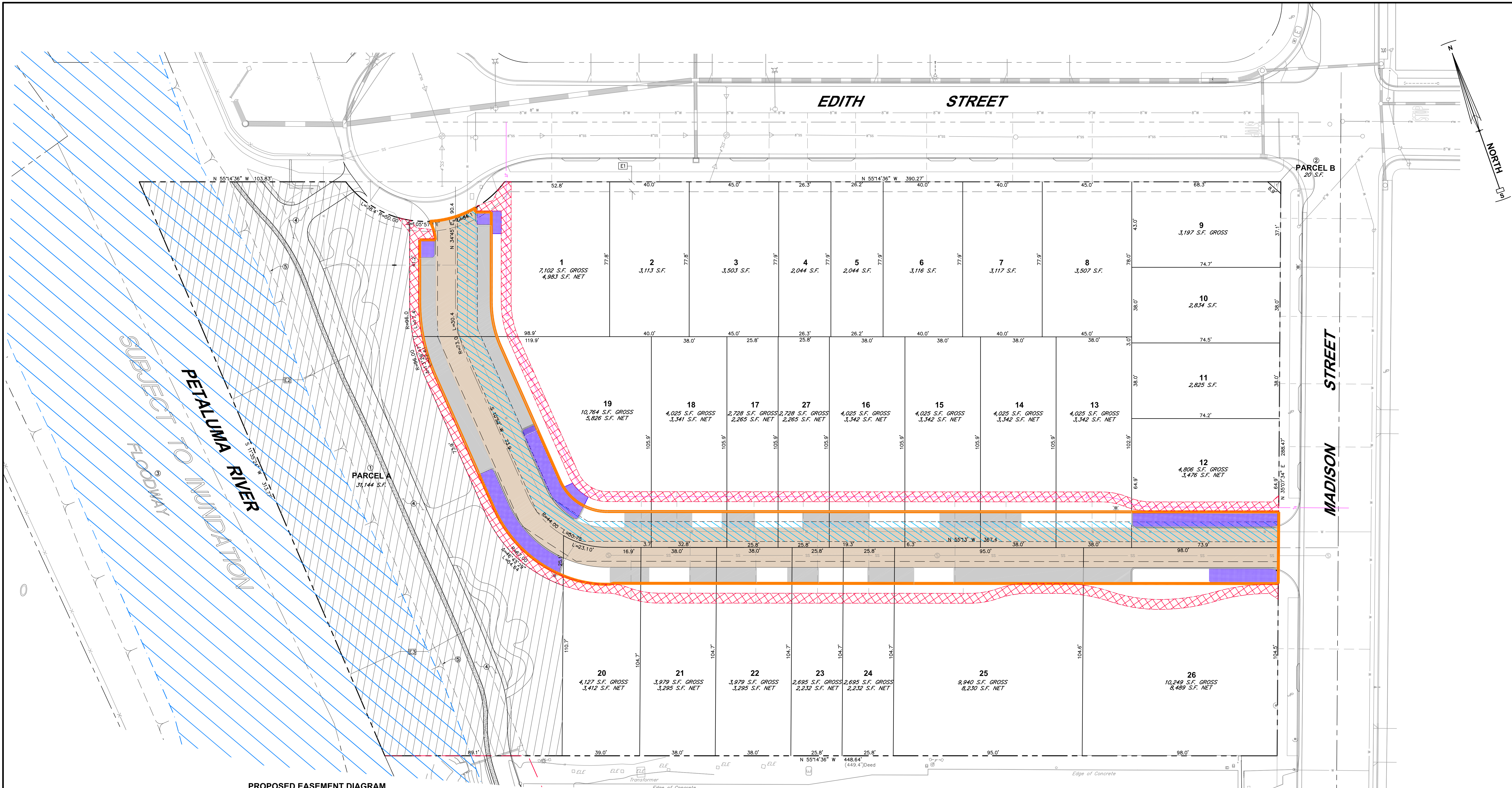
REVISIONS BY	DATE

DENSITY LAND USE PLAN
RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239



DATE: 2020.10.07
SCALE: 1"=20'
DESIGN: S.J.L. ADF
DRAWING: CRK HSM AC
CHECK: S.J.
JOB: RIVERBEND
JOB No: 182043
SHEET
C-5
OF 26 SHEETS



PROPOSED EASEMENT DIAGRAM

- A** PRIVATE VEHICULAR ACCESS, PUBLIC BICYCLE ACCESS AND PUBLIC EVA
- B** PRIVATE PARKING
- C** PRIVATE SANITARY SEWER, PRIVATE STORM WATER TREATMENT AND PRIVATE DRAINAGE
- D** PUBLIC WATER LINE
- E** PUBLIC PEDESTRIAN ACCESS
- F** PRIVATE STORM WATER BASIN RETENTION FACILITY
- G** PUBLIC UTILITIES
- H** PRIVATE LANDSCAPE

PROPOSED EASEMENT KEY NOTES

- A** THE PROPOSED PRIVATE STREET, VEHICULAR USE BY THE DEVELOPMENT, PUBLIC USE FOR BICYCLES AND FOR EMERGENCY SERVICES.
- B** THE PROPOSED PARKING ON PRIVATE STREET FOR USE BY THE DEVELOPMENT.
- C** THE PROPOSED EASEMENT AREAS SHALL BE FURTHER DEFINED ON THE FINAL MAP.
- D** THE PROPOSED PUBLIC WATER EASEMENT SHALL BE 10 FEET WIDE FOR THE MAIN AND 5 FEET WIDE FOR THE SERVICE LINES TO THE METERS.
- E** THE PROPOSED SIDEWALK SHALL BE OPEN FOR PUBLIC ACCESS.
- F** THE PROPOSED STORM WATER BASIN RETENTION FACILITIES WITHIN THE PRIVATE STREET SHALL REQUIRE EASEMENTS ON LOTS 12, 19 AND 26.
- G** THE PROPOSED PUBLIC UTILITY EASEMENT SHALL BE 10 FEET WIDE FOR THE MAIN JOINT TRENCH AND 5 FEET WIDE FOR THE SERVICE LINES TO THE METERS. SERVICE LINE LOCATIONS TO BE DETERMINED.
- H** THE PROPOSED PRIVATE LANDSCAPE AREAS WITHIN THE PRIVATE STREET SHALL REQUIRE EASEMENTS ON LOTS 1, 13-27.

NOTE:
SEE C-7 PUD SITE DEVELOPMENT PLAN FOR SETBACK INFORMATION.

TENTATIVE MAP KEY NOTES

- 1** PROPOSED PARCEL A DEDICATION TO THE CITY OF PETALUMA AS A PARK OR OPEN SPACE.
- 2** PROPOSED PARCEL B DEDICATED TO THE CITY OF PETALUMA FOR PUBLIC RIGHT-OF-WAY.
- 3** LIMITS FLOODWAY AS INDICATED ON FLOOD RATE INSURANCE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 06097C 0982 G REVISED OCTOBER 2015, THIS AREA IS "ZONE AE".
- 4** PROPOSED PUBLIC MULTI-USE PATH.
- 5** EXISTING TOP OF BANK OF THE PETALUMA RIVER.

EXISTING EASEMENT DESIGNATIONS

- E1** EXISTING 5' WIDE EASEMENT FOR UNDISCLOSED PURPOSES, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED NOVEMBER 22, 2004 IN DOCUMENT NUMBER 2004-118153, SCR. TO BE VACATED.
- E2** EXISTING EASEMENT FOR FLOOD CHANNEL IMPROVEMENTS, FBO THE PETALUMA COMMUNITY DEVELOPMENT COMMISSION, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO PETALUMA COMMUNITY DEVELOPMENT COMMISSION, RECORDED APRIL 19, 1999, IN DOCUMENT NUMBER 1999-0050039, SCR. TO BE VACATED.
- E3** EXISTING EASEMENT FOR A PEDESTRIAN/BICYCLE ACCESS PATH, FBO THE CITY OF PETALUMA, PER EASEMENT GRANT DEED, CLOVER STORNETTA FARMS INC. TO CITY OF PETALUMA, RECORDED AUGUST 2, 2004 IN DOCUMENT NUMBER 2004-118258, SCR TO BE VACATED.

LEGEND

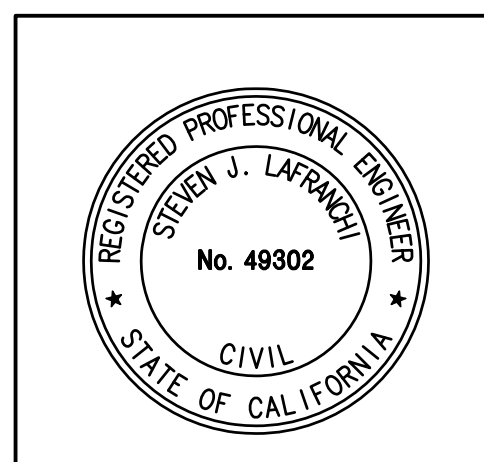
- | EXISTING | PROPOSED | |
|----------|----------|--|
| --- | --- | PROPERTY LINE |
| --- | --- | EASEMENT LINE |
| --- | --- | CENTERLINE |
| --- | --- | FLOODWAY LIMITS PER FIRM
SEE KEYNOTE 3 |
| --- | --- | DEDICATION
SEE KEYNOTE 1 & 2 |
| --- | --- | STORM DRAIN |
| --- | --- | STORM DRAIN MANHOLE |
| --- | --- | WATER LINE |
| --- | --- | WATER LATERAL |
| --- | --- | SANITARY SEWER/MANHOLE |
| --- | --- | SANITARY SEWER FORCE MAIN |
| --- | --- | JOINT TRENCH |
| --- | --- | CATCH BASIN |
| --- | --- | UNDERLYING UTILITIES
(SEE UTILITY PLAN) |

REVISIONS	BY

VESTING TENTATIVE MAP

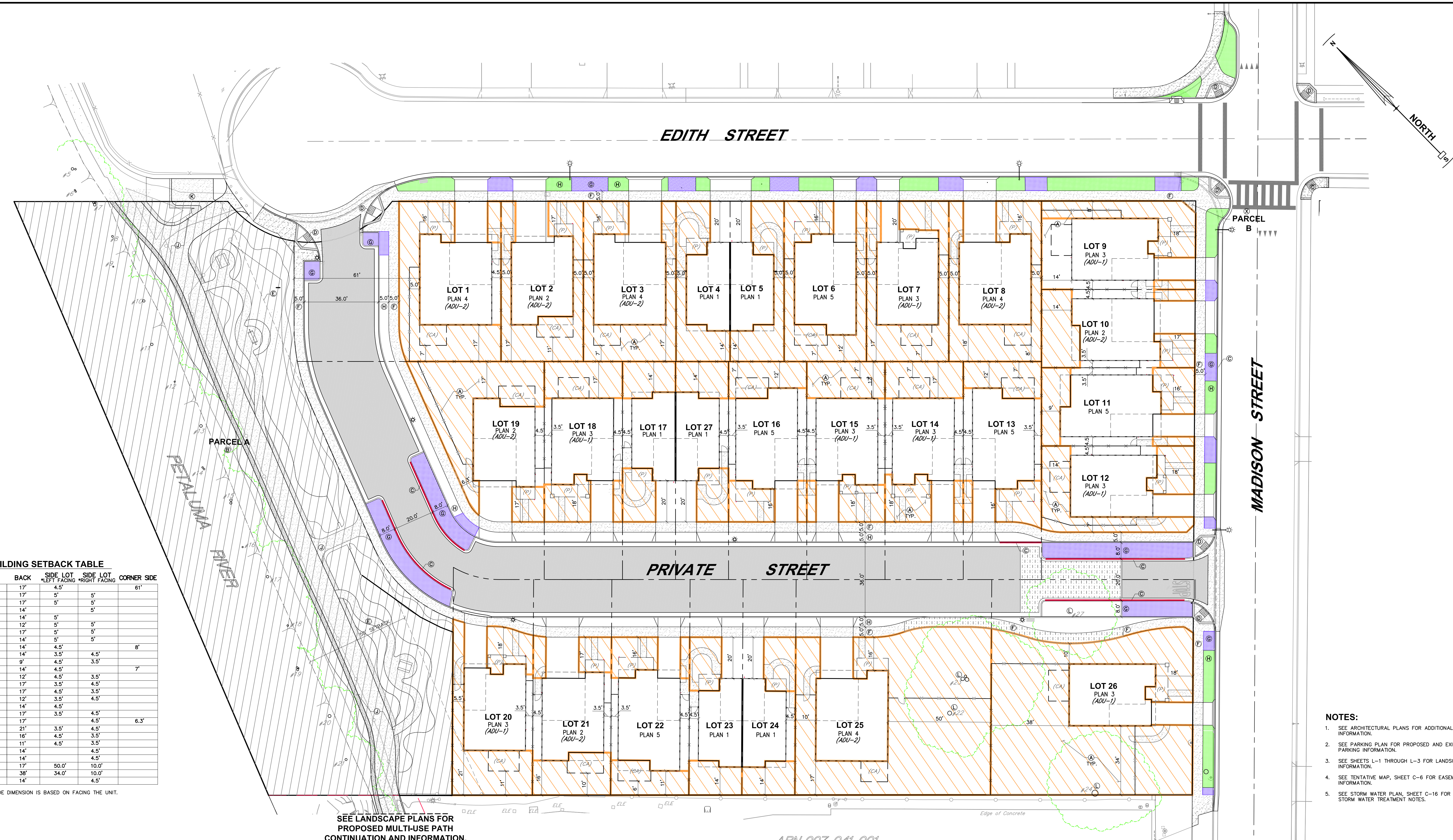
RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239



DATE: 2020.10.07
SCALE: 1"=20'
DESIGN: S.J.L. ADF
DRAWN: CRK HSM AC
CHECK: S.J.
JOB: RIVERBEND
JOB No: 182043
SHEET
C-6
OF 26 SHEETS

REVISIONS	BY



BUILDING SETBACK TABLE

LOT	FRONT	BACK	SIDE LOT LEFT FACING	SIDE LOT RIGHT FACING	CORNER SIDE
LOT 1	16'	17'	4.5'	5'	61'
LOT 2	17'	17'	5'	5'	
LOT 3	16'	17'	5'	5'	
LOT 4	20'	14'	5'	5'	
LOT 5	20'	14'	5'	5'	
LOT 6	16'	12'	5'	5'	
LOT 7	20'	17'	5'	5'	
LOT 8	16'	14'	5'	5'	
LOT 9	18'	14'	4.5'	4.5'	8'
LOT 10	17'	14'	3.5'	4.5'	
LOT 11	16'	9'	4.5'	3.5'	
LOT 12	18'	14'	4.5'	3.5'	7'
LOT 13	16'	12'	4.5'	3.5'	
LOT 14	18'	17'	3.5'	4.5'	
LOT 15	18'	17'	4.5'	3.5'	
LOT 16	16'	12'	3.5'	4.5'	
LOT 17	20'	14'	4.5'	4.5'	
LOT 18	18'	17'	3.5'	4.5'	
LOT 19	17'	17'	3.5'	4.5'	6.3'
LOT 20	18'	21'	3.5'	4.5'	
LOT 21	17'	16'	4.5'	3.5'	
LOT 22	16'	11'	4.5'	3.5'	
LOT 23	20'	14'	4.5'	4.5'	
LOT 24	20'	14'	4.5'	4.5'	
LOT 25	16'	17'	50.0'	10.0'	
LOT 26	18'	38'	34.0'	10.0'	
LOT 27	20'	14'	4.5'	4.5'	

* LEFT/RIGHT FACING SIDE DIMENSION IS BASED ON FACING THE UNIT.

- NOTES:**
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL UNIT INFORMATION.
 - SEE PARKING PLAN FOR PROPOSED AND EXISTING PARKING INFORMATION.
 - SEE SHEETS L-1 THROUGH L-3 FOR LANDSCAPE INFORMATION.
 - SEE TENTATIVE MAP, SHEET C-6 FOR EASEMENT INFORMATION.
 - SEE STORM WATER PLAN, SHEET C-16 FOR STORM WATER TREATMENT NOTES.

- BUILDING SETBACK EXCEPTIONS**
- FRONT SETBACK:**
- EXCEPTION 1. - ROOF EAVES MAY PROJECT INTO REQUIRED FRONT SETBACK.
 - EXCEPTION 2. - PORCHES MAY PROJECT INTO REQUIRED FRONT SETBACK.
- SIDE SETBACK:**
- EXCEPTION 1. - WALL PROJECTIONS, BAYS MAY PROJECT INTO SIDE YARDS.
 - EXCEPTION 2. - ROOF EAVES MAY PROJECT INTO SIDE YARDS.
- CORNER LOT STREET SIDE SETBACK:**
- EXCEPTION 1. - WALL PROJECTIONS, BAYS MAY PROJECT INTO SIDE YARDS
 - EXCEPTION 2. - ROOF EAVES MAY PROJECT INTO SIDE YARDS
- REAR SETBACK:**
- EXCEPTION 1. - WALL PROJECTIONS, BAYS AND COVERED PATIOS MAY PROJECT INTO REAR YARDS.
 - EXCEPTION 2. - ROOF EAVES MAY PROJECT INTO REAR YARDS.

LOT DATA TABLE

LOT	UNIT PLAN	BR./BA.	GARAGE	CALIFORNIA UNIT (CA)	UNIT S.F.	GROSS AREA	NET AREA	**USABLE OPEN SPACE	% USABLE SPACE	***% COVERAGE
LOT 1	PLAN 4	3/3	TWO CAR	OPTION	2,272 S.F.	7,102 S.F.	4,983 S.F.	1,891 S.F.	26%	31%
LOT 2	PLAN 2	3/2.5	TWO CAR	OPTION	1,600 S.F.	3,113 S.F.	1,625 S.F.	1,625 S.F.	52%	39%
LOT 3	PLAN 4	3/3	TWO CAR	OPTION	2,272 S.F.	3,503 S.F.	1,715 S.F.	1,715 S.F.	48%	44%
LOT 4	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,044 S.F.	1,027 S.F.	1,027 S.F.	50%	44%
LOT 5	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,044 S.F.	1,016 S.F.	1,016 S.F.	50%	43%
LOT 6	PLAN 5	3/2.5	ONE CAR	OPTION	1,756 S.F.	3,116 S.F.	1,580 S.F.	1,580 S.F.	51%	47%
LOT 7	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	3,117 S.F.	1,618 S.F.	1,618 S.F.	52%	42%
LOT 8	PLAN 4	3/3	TWO CAR	OPTION	2,272 S.F.	3,507 S.F.	1,746 S.F.	1,746 S.F.	50%	44%
LOT 9	PLAN 3	3/2.5	ONE CAR	NOT AVAILABLE	1,800 S.F.	3,197 S.F.	1,086 S.F.	1,086 S.F.	34%	41%
LOT 10	PLAN 2	3/2.5	TWO CAR	NOT AVAILABLE	1,600 S.F.	2,834 S.F.	1,040 S.F.	1,040 S.F.	37%	43%
LOT 11	PLAN 5	3/2.5	ONE CAR	OPTION	1,756 S.F.	2,825 S.F.	945 S.F.	945 S.F.	33%	51%
LOT 12	PLAN 3	3/2.5	ONE CAR	NOT AVAILABLE	1,800 S.F.	4,806 S.F.	1,478 S.F.	1,478 S.F.	36%	38%
LOT 13	PLAN 5	3/2.5	ONE CAR	OPTION	1,756 S.F.	4,025 S.F.	3,342 S.F.	1,099 S.F.	27%	43%
LOT 14	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	4,025 S.F.	3,342 S.F.	1,227 S.F.	30%	39%
LOT 15	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	4,025 S.F.	3,342 S.F.	1,208 S.F.	30%	39%
LOT 16	PLAN 5	3/2.5	ONE CAR	OPTION	1,756 S.F.	4,025 S.F.	3,342 S.F.	1,083 S.F.	27%	43%
LOT 17	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,728 S.F.	836 S.F.	836 S.F.	31%	39%
LOT 18	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	4,025 S.F.	3,341 S.F.	1,211 S.F.	30%	39%
LOT 19	PLAN 2	3/2.5	TWO CAR	OPTION	1,600 S.F.	10,764 S.F.	5,826 S.F.	2,206 S.F.	21%	21%
LOT 20	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	4,127 S.F.	3,412 S.F.	1,620 S.F.	39%	39%
LOT 21	PLAN 2	3/2.5	TWO CAR	OPTION	1,600 S.F.	3,979 S.F.	3,295 S.F.	1,112 S.F.	28%	37%
LOT 22	PLAN 5	3/2.5	ONE CAR	OPTION	1,756 S.F.	3,979 S.F.	3,295 S.F.	1,038 S.F.	26%	44%
LOT 23	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,695 S.F.	2,232 S.F.	792 S.F.	29%	40%
LOT 24	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,695 S.F.	2,232 S.F.	792 S.F.	29%	39%
LOT 25	PLAN 4	3/3	ONE CAR	OPTION	2,272 S.F.	9,940 S.F.	8,230 S.F.	5,728 S.F.	58%	16%
LOT 26	PLAN 3	3/2.5	ONE CAR	OPTION	1,800 S.F.	10,249 S.F.	8,489 S.F.	6,146 S.F.	60%	18%
LOT 27	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,263 S.F.	2,728 S.F.	2,265 S.F.	829 S.F.	30%	39%

- KEYNOTES**
- USABLE OPEN SPACE AS DEFINED IN THE CITY OF PETALUMA IMPLEMENTING ZONING ORDINANCE DATED JUNE 2008 (REVISION DATE JULY 10, 2014) AND ON THIS SHEET. SEE LOT DATA TABLE FOR AREA SQUARE FEET. SEE LEGEND FOR AREAS DEFINED AS USABLE AREA.
 - DEDICATION TO THE CITY OF PETALUMA, PARCEL "A" AS A PARK. PARCEL "B" AS PUBLIC RIGHT-OF-WAY.
 - CURB SHALL BE PAINTED RED. NO PARKING, FIRE LANE.
 - PROPOSED ADA COMPLIANT RAMP.
 - 50' DEVELOPMENT SETBACK FROM TOP OF BANK.
 - PROPOSED 5' SIDEWALK.
 - LANDSCAPE/BIORETENTION AREA. SEE LANDSCAPE PLANS FOR INFORMATION.
 - LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR INFORMATION.
 - "CALIFORNIA ROOM" IS A COVERED PATIO. SEE ARCHITECTURAL PLANS FOR INFORMATION.
 - PROPOSED PUBLIC MULTI-USE PATH.
 - MULTI-USE PATH AMENITIES. SEE LANDSCAPE PLANS.
 - PROTECTED TREE PRESERVATION. SEE LANDSCAPE PLANS.

- LEGEND**
- | | | |
|----------|----------|---|
| EXISTING | PROPOSED | FENCE |
| --- | --- | PROPERTY LINE |
| --- | --- | BUILDING SETBACK LINE |
| --- | --- | CONCRETE |
| --- | --- | CURB & GUTTER |
| --- | --- | ASPHALT CONCRETE |
| --- | --- | LANDSCAPE AREA |
| --- | --- | LANDSCAPE/BIORETENTION AREA |
| --- | --- | LIMITS OF USABLE OPEN SPACE (SEE KEYNOTE (A)) |
| --- | --- | NO PARKING FIRE LANE. CURB PAINTED RED. |
| --- | --- | SIGN |
| --- | --- | PORCH (SEE ARCHITECTURAL PLANS) |
| --- | --- | CALIFORNIA ROOM (SEE KEYNOTE (L)) |
| --- | --- | APPROXIMATE DRIPLINE AND TRUNK OF TREE TO BE PRESERVED. SEE DEMOLITION AND PRESERVATION PLAN FOR INFORMATION. |

USABLE OPEN SPACE: INCLUDES THE AGGREGATE AREA OF SIDE AND REAR YARDS, PATIOS, AND BALCONIES AND DECKS HAVING A DEPTH OF NOT LESS THAN (3) FEET AND AREAS NOT LESS THAN 30 SQUARE FEET, ON A BUILDING SITE OR BUILDING, WHICH IS AVAILABLE AND ACCESSIBLE TO THE OCCUPANTS OF THE BUILDING OR BUILDING SITE FOR PURPOSES OF ACTIVE AND/OR PASSIVE OUTDOOR RECREATION. THIS AREA IS EXCLUSIVE OF DRIVEWAYS, AREAS FOR OFF-STREET PARKING AND SERVICES, AND GROUND LEVEL AREAS WITH A WIDTH OF LESS THAN FIVE (5) FEET OR MAXIMUM DIMENSION OF UNDER TEN (10) FEET.

COVERAGE: THE PERCENT OF TOTAL SITE AREA COVERED BY STRUCTURES, OPEN OR ENCLOSED, EXCLUDING UNCOVERED STEPS, PATIOS AND TERRACES. PERCENT COVERAGE HAS BEEN CALCULATED USING NET AREA OF LOTS.

- NOTES:**
- *NOTES INCLUSIVE HOUSING UNIT
 - ALL UNITS ARE TWO-STORY
 - **SEE USABLE OPEN SPACE DEFINITION ON THIS SHEET.
 - ***SEE COVERAGE DEFINITION ON THIS SHEET
 - (ADU-1)-REQUIRED ACCESSORY DWELLING UNIT.
 - (ADU-2)-OWNER OPTIONAL ACCESSORY DWELLING UNIT.



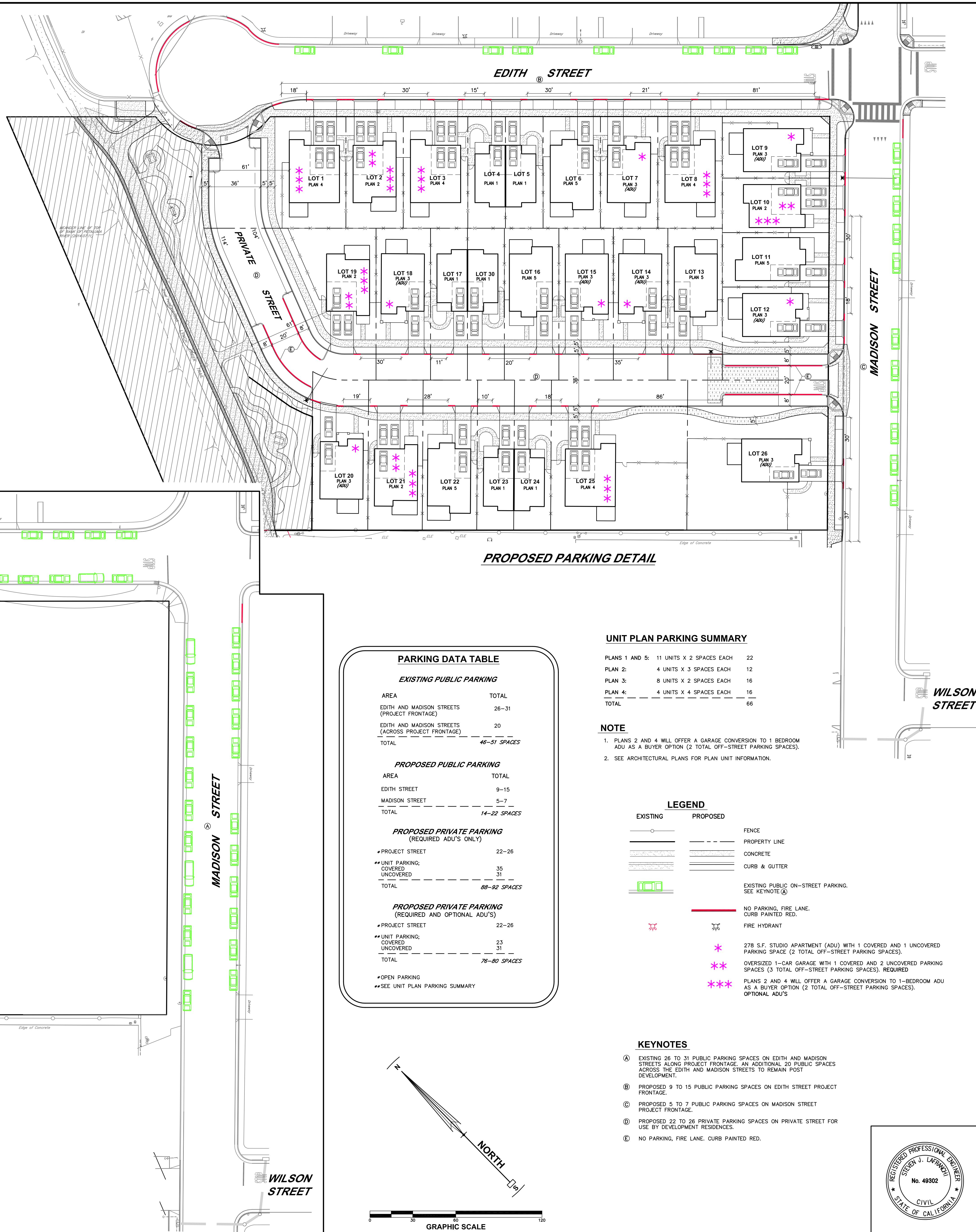
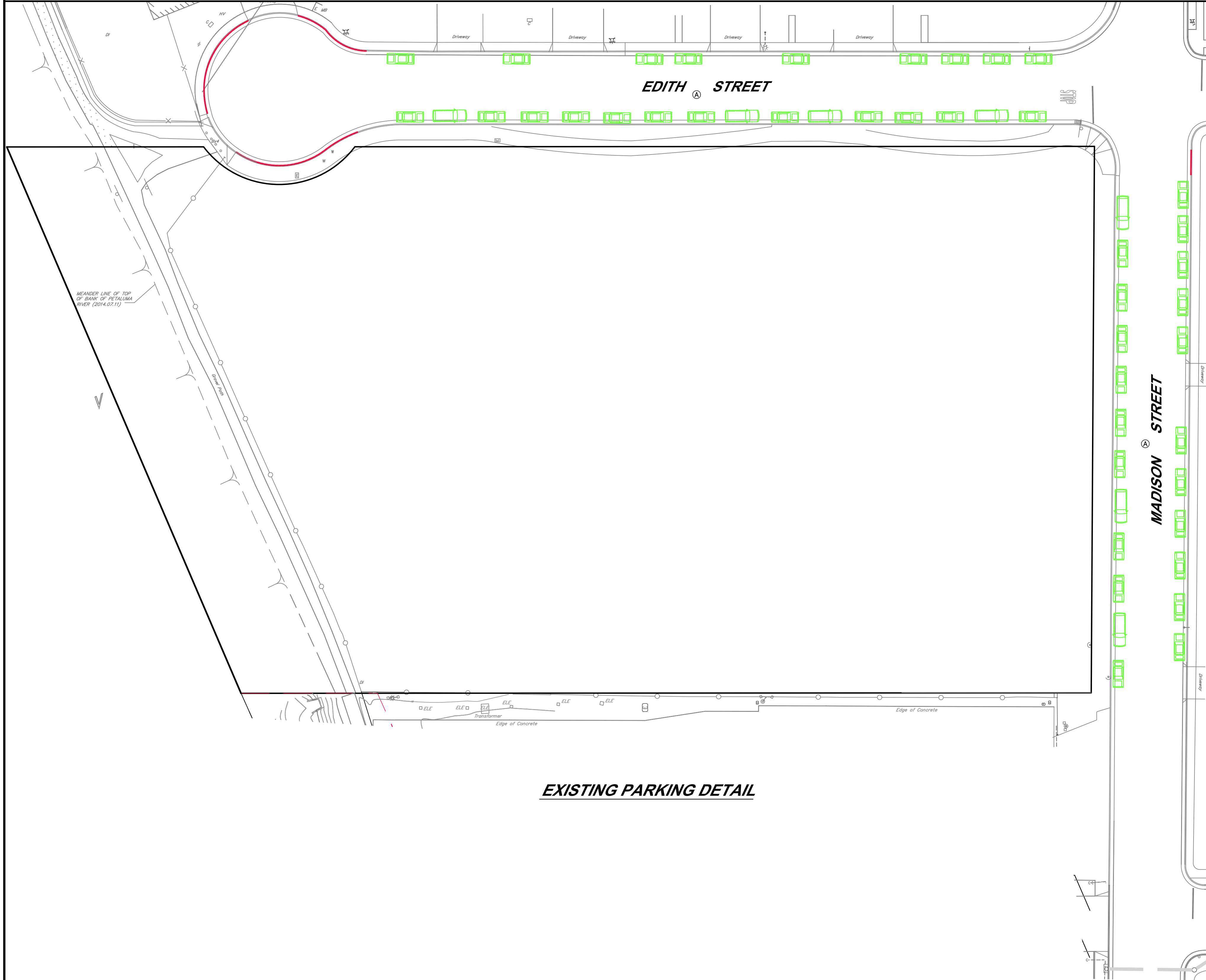
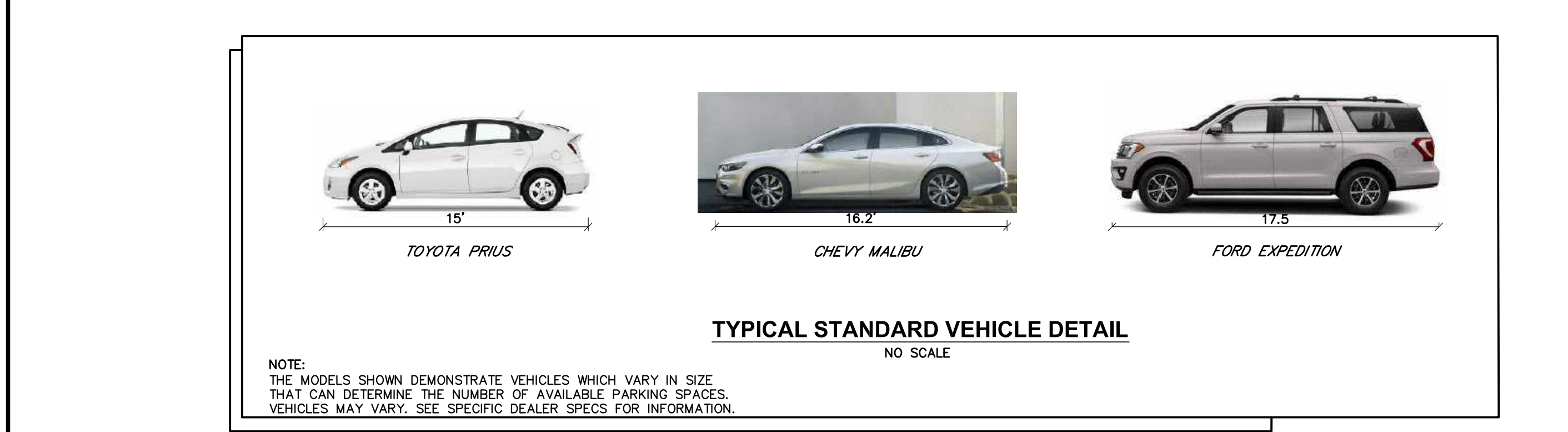
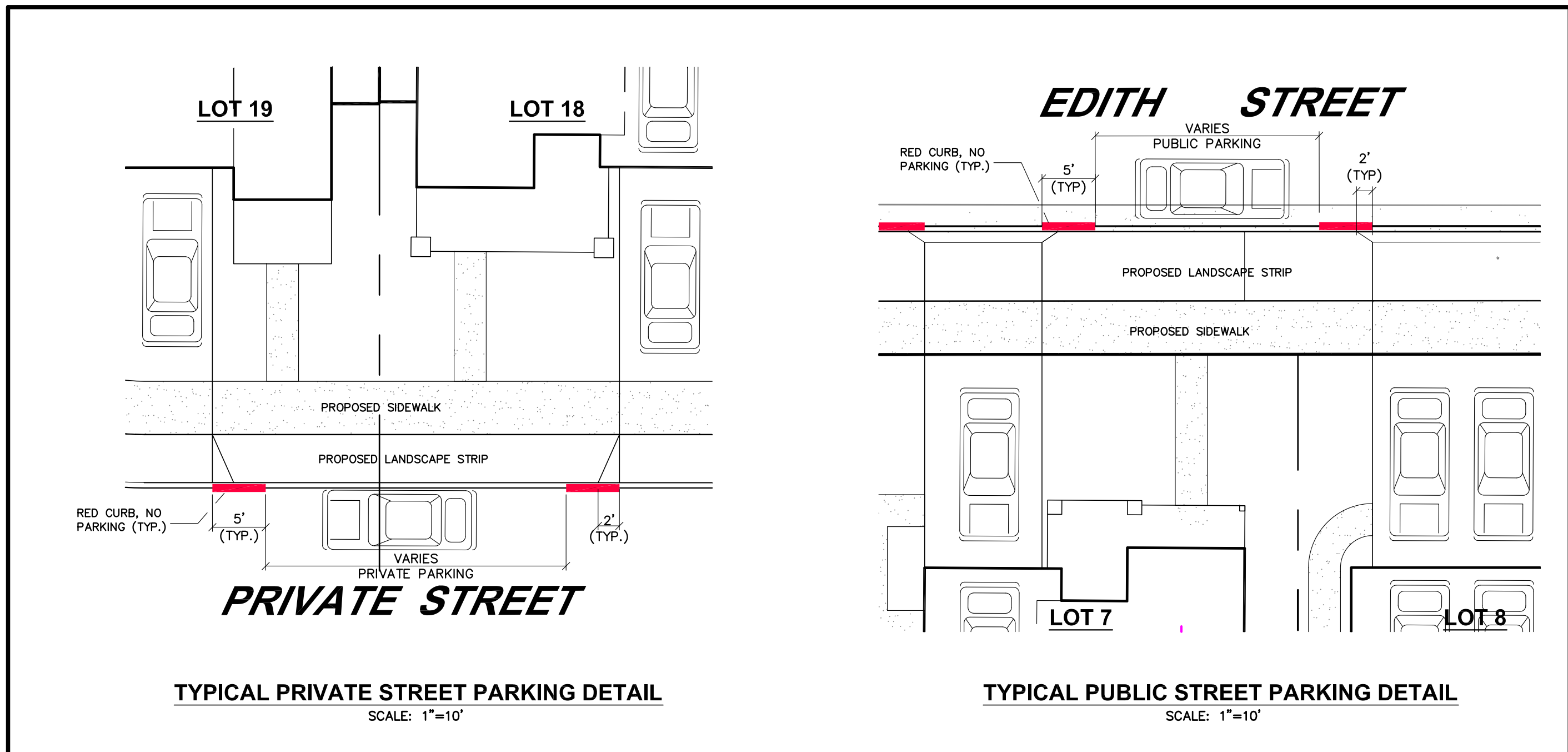
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
 SCALE: 1"=20'
 DESIGN: S.J.L. ADF
 DRAWING: CRK HSM AC
 CHECK: S.J.
 JOB: RIVERBEND
 JOB No: 182043
 SHEET
C-7
 OF 26 SHEETS

PUD SITE DEVELOPMENT PLAN
 RIVERBEND
 529 MADISON STREET APN 007-041-006
 PETALUMA CALIFORNIA



REVISIONS	BY

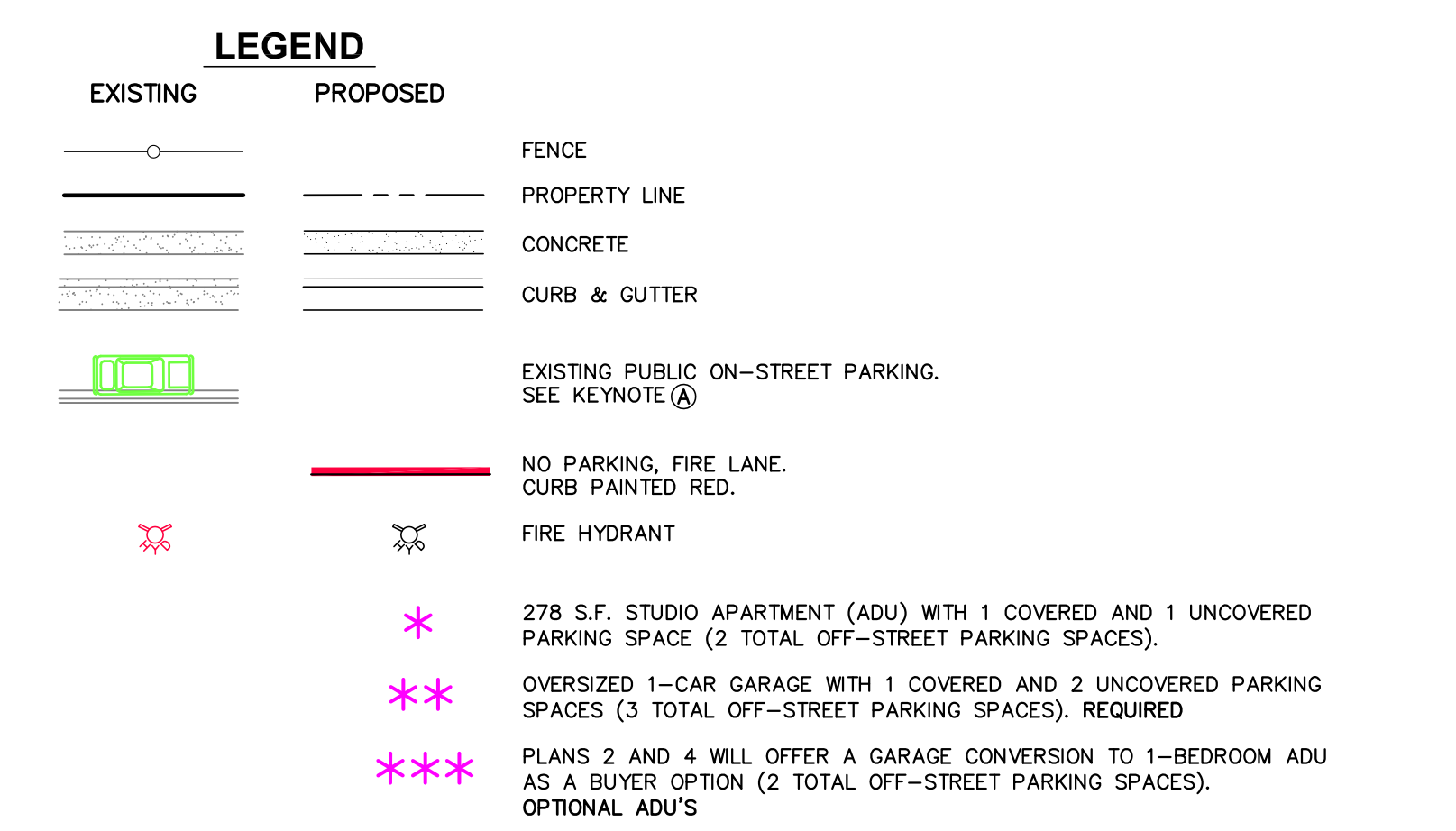


PARKING DATA TABLE	
EXISTING PUBLIC PARKING	
AREA	TOTAL
EDITH AND MADISON STREETS (PROJECT FRONTAGE)	26-31
EDITH AND MADISON STREETS (ACROSS PROJECT FRONTAGE)	20
TOTAL	46-51 SPACES
PROPOSED PUBLIC PARKING	
AREA	TOTAL
EDITH STREET	9-15
MADISON STREET	5-7
TOTAL	14-22 SPACES
PROPOSED PRIVATE PARKING (REQUIRED ADU'S ONLY)	
# PROJECT STREET	22-26
# UNIT PARKING:	
COVERED	35
UNCOVERED	31
TOTAL	88-92 SPACES
PROPOSED PRIVATE PARKING (REQUIRED AND OPTIONAL ADU'S)	
# PROJECT STREET	22-26
# UNIT PARKING:	
COVERED	23
UNCOVERED	31
TOTAL	76-80 SPACES
# OPEN PARKING	
# SEE UNIT PLAN PARKING SUMMARY	

UNIT PLAN PARKING SUMMARY		
PLANS 1 AND 5:	11 UNITS X 2 SPACES EACH	22
PLAN 2:	4 UNITS X 3 SPACES EACH	12
PLAN 3:	8 UNITS X 2 SPACES EACH	16
PLAN 4:	4 UNITS X 4 SPACES EACH	16
TOTAL		66

NOTE

- PLANS 2 AND 4 WILL OFFER A GARAGE CONVERSION TO 1 BEDROOM ADU AS A BUYER OPTION (2 TOTAL OFF-STREET PARKING SPACES).
- SEE ARCHITECTURAL PLANS FOR PLAN UNIT INFORMATION.



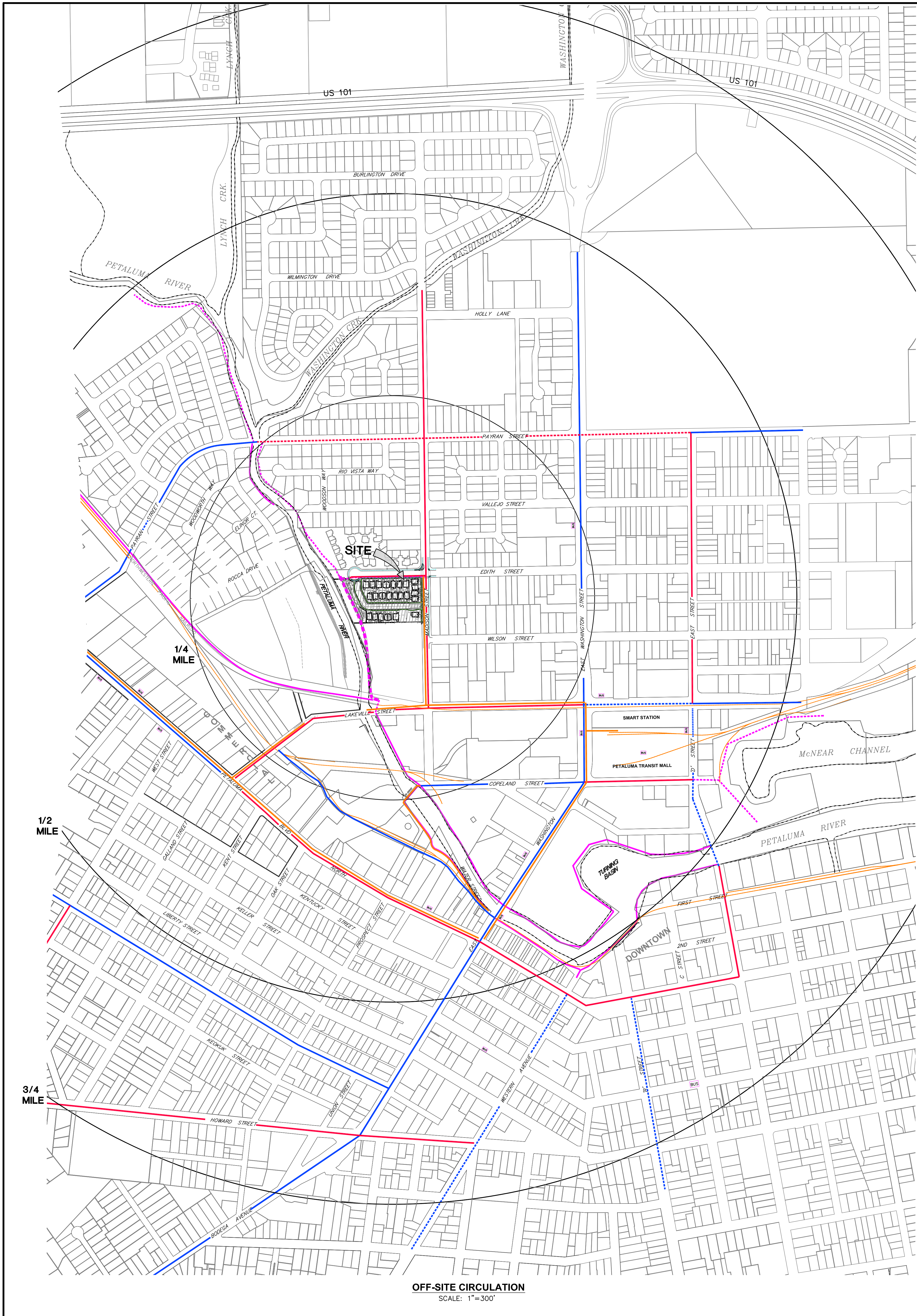
- KEYNOTES**
- EXISTING 26 TO 31 PUBLIC PARKING SPACES ON EDITH AND MADISON STREETS ALONG PROJECT FRONTAGE. AN ADDITIONAL 20 PUBLIC SPACES ACROSS THE EDITH AND MADISON STREETS TO REMAIN POST DEVELOPMENT.
 - PROPOSED 9 TO 15 PUBLIC PARKING SPACES ON EDITH STREET PROJECT FRONTAGE.
 - PROPOSED 5 TO 7 PUBLIC PARKING SPACES ON MADISON STREET PROJECT FRONTAGE.
 - PROPOSED 22 TO 26 PRIVATE PARKING SPACES ON PRIVATE STREET FOR USE BY DEVELOPMENT RESIDENCES.
 - NO PARKING, FIRE LANE. CURB PAINTED RED.

PARKING PLAN
 RIVERBEND
 529 MADISON STREET APN 007-041-006
 PETALUMA CALIFORNIA

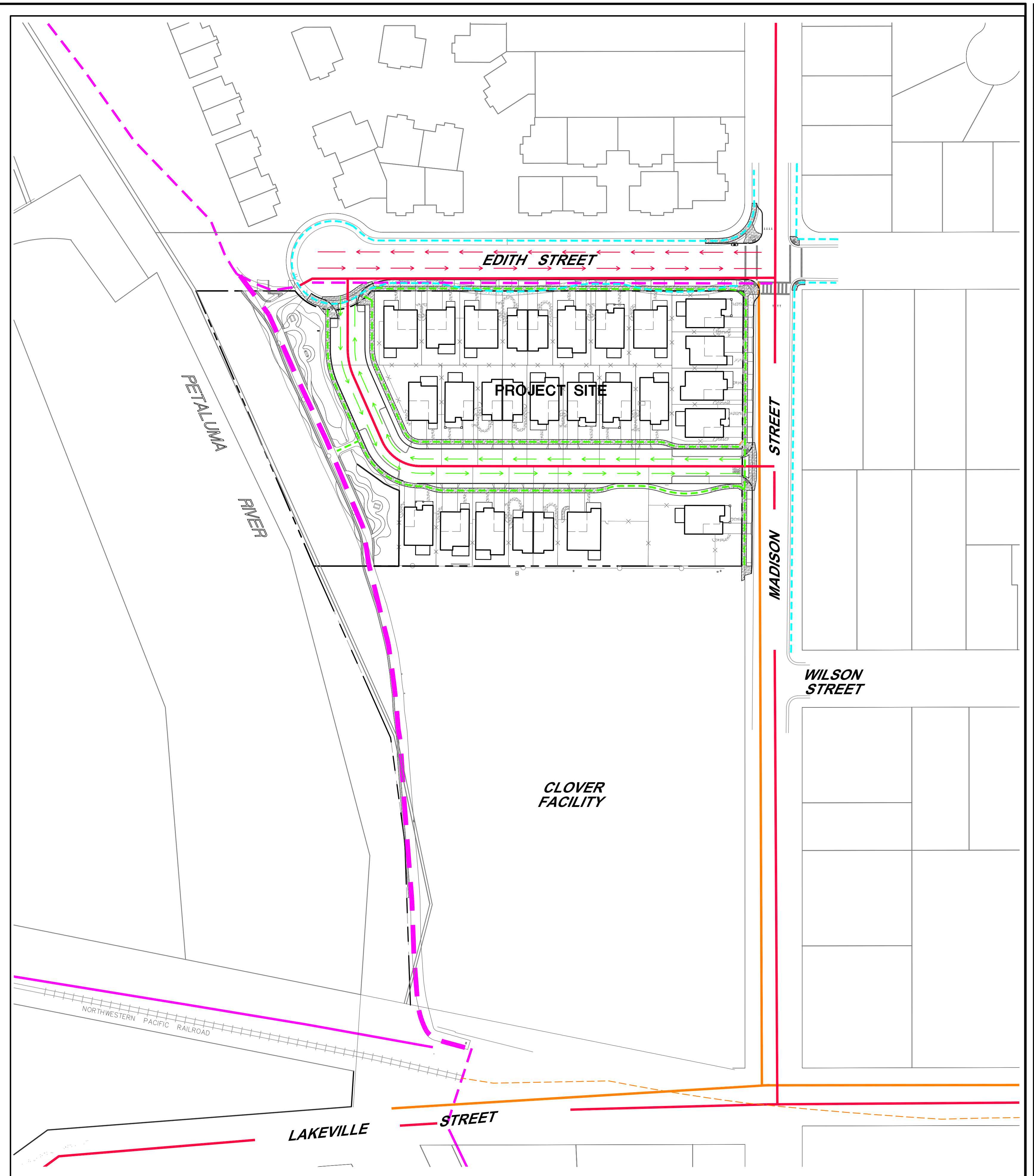
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239



DATE: 2020.10.07
 SCALE: 1"=30'
 DESIGN: S.J.L. ADF
 DRAWING: CRK HSM AC
 CHECK: S.J.L.
 JOB: RIVERBEND
 JOB No: 182043
 SHEET
C-8
 OF 26 SHEETS



OFF-SITE CIRCULATION
SCALE: 1"=300'



ON-SITE CIRCULATION DETAIL
SCALE: 1"=60'

LEGEND

- PROPOSED PUBLIC PEDESTRIAN ACCESS
- EXISTING PUBLIC PEDESTRIAN ACCESS
- PROPOSED PUBLIC VEHICULAR ACCESS
- EXISTING PUBLIC VEHICULAR ACCESS
- EXISTING PEDESTRIAN ACCESSIBILITY TO COMMERCIAL

BICYCLE

- CLASS 1 (EXIST.)
- CLASS 2 (EXIST.)
- CLASS 3 (EXIST.)
- CLASS 1 (PROPOSED)
- CLASS 2 (PROPOSED)
- CLASS 3 (PROPOSED)
- CLASS 1 (IMPROVED)

BUS STOP LOCATION

- BUS

RAILROAD/SMART

- RAILROAD TRACKS



REVISIONS	BY

CIRCULATION PLAN

RIVERBEND
529 MADISON STREET APN 007-041-006
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2020.10.07
SCALE: AS SHOWN
DESIGN: S.J.L. ADF
DRAWING: CRK HSM AC
CHECK: S.J.
JOB: RIVERBEND
JOB No: 182043
SHEET
C-9
OF 26 SHEETS