

# CASA GRANDE

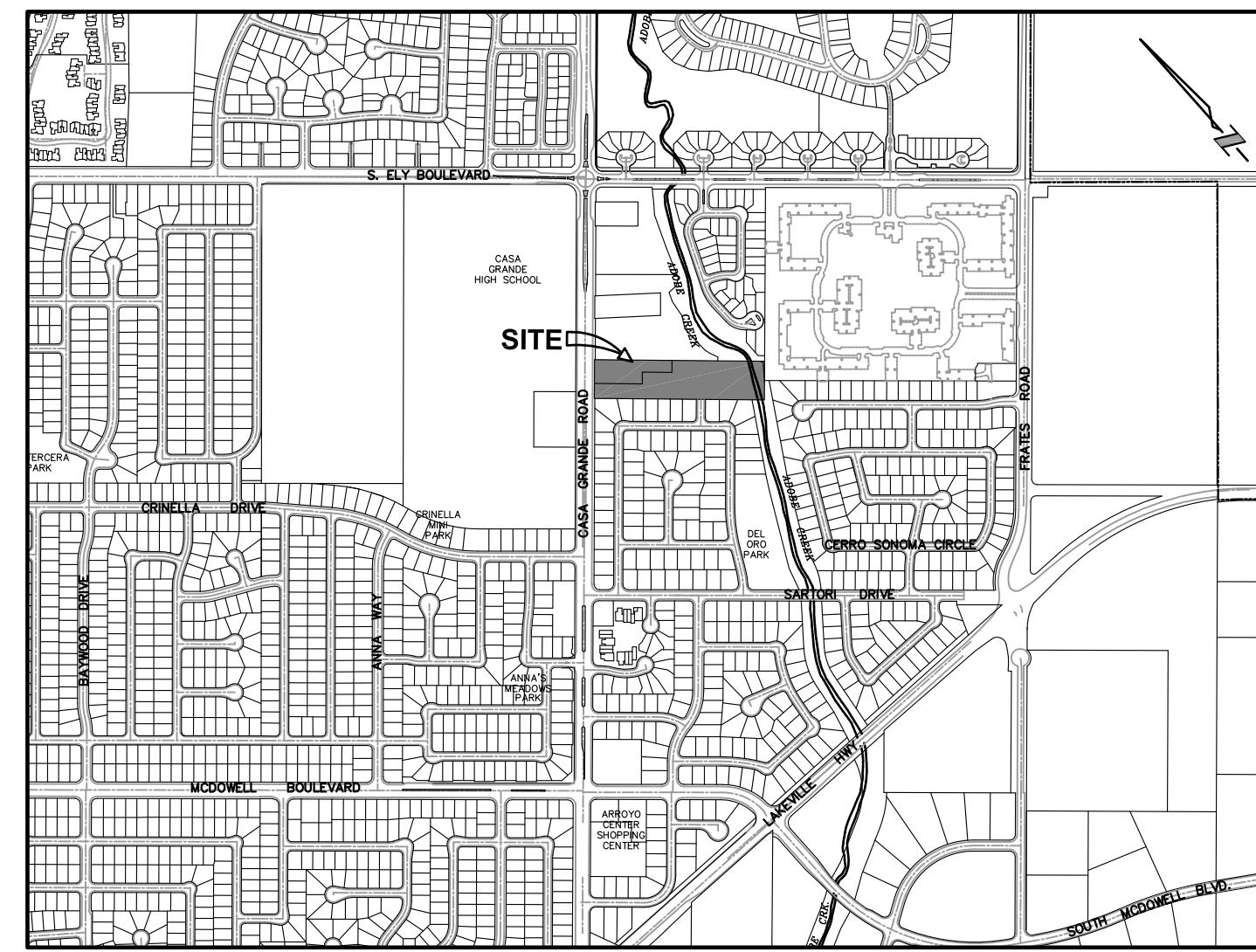
## VESTING TENTATIVE MAP A PLANNED UNIT DISTRICT SPAR

36 LOTS AND 1 COMMON PARCEL  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA, CALIFORNIA

### PROJECT DATA

SITE DATA:	240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059
EXISTING ZONING:	RESIDENTIAL R4
PROPOSED ZONING:	PLANNED UNIT DISTRICT (PUD)
EXISTING LAND USE:	MEDIUM DENSITY RESIDENTIAL (MDR) (8.1 TO 18.0 UNITS/ACRE)
TOTAL LOTS:	36 LOTS (109,089 S.F.)
GROSS AREA:	4.50 ACRES (196,022 S.F.)
*NET AREA 1:	3.56 ACRES (155,327 S.F.)
**NET AREA 2:	2.44 ACRES (106,339 S.F.)
***PROJECT DENSITY 1:	10.09 UNITS/ACRE
****PROJECT DENSITY 2:	14.75 UNITS/ACRE
MINIMUM LOT SIZE:	2,003 S.F. GROSS (LOT 33,34)
MAXIMUM LOT SIZE:	4,104 S.F. GROSS (LOT 17) 3,860 S.F. GROSS (LOT 36)
AVERAGE LOT SIZE:	3,030 S.F. GROSS

\*EXCLUDES ALL PUBLIC RIGHT-OF-WAY AND VEHICULAR EASEMENT  
 \*\*EXCLUDES ALL PUBLIC RIGHT-OF-WAY, VEHICULAR EASEMENT AND PARCEL A  
 \*\*\*EXCLUDES ALL PUBLIC RIGHT-OF-WAY AND VEHICULAR EASEMENT  
 \*\*\*\*EXCLUDES ALL PUBLIC RIGHT-OF-WAY, VEHICULAR EASEMENT AND PARCEL A



VICINITY MAP  
N.T.S.

### OWNER

NEAL CARTENSEN  
250 CASA GRANDE ROAD  
PETALUMA, CALIFORNIA 94954  
707-484-1931 VOICE  
cartensenfarm@gmail.com

### APPLICANT

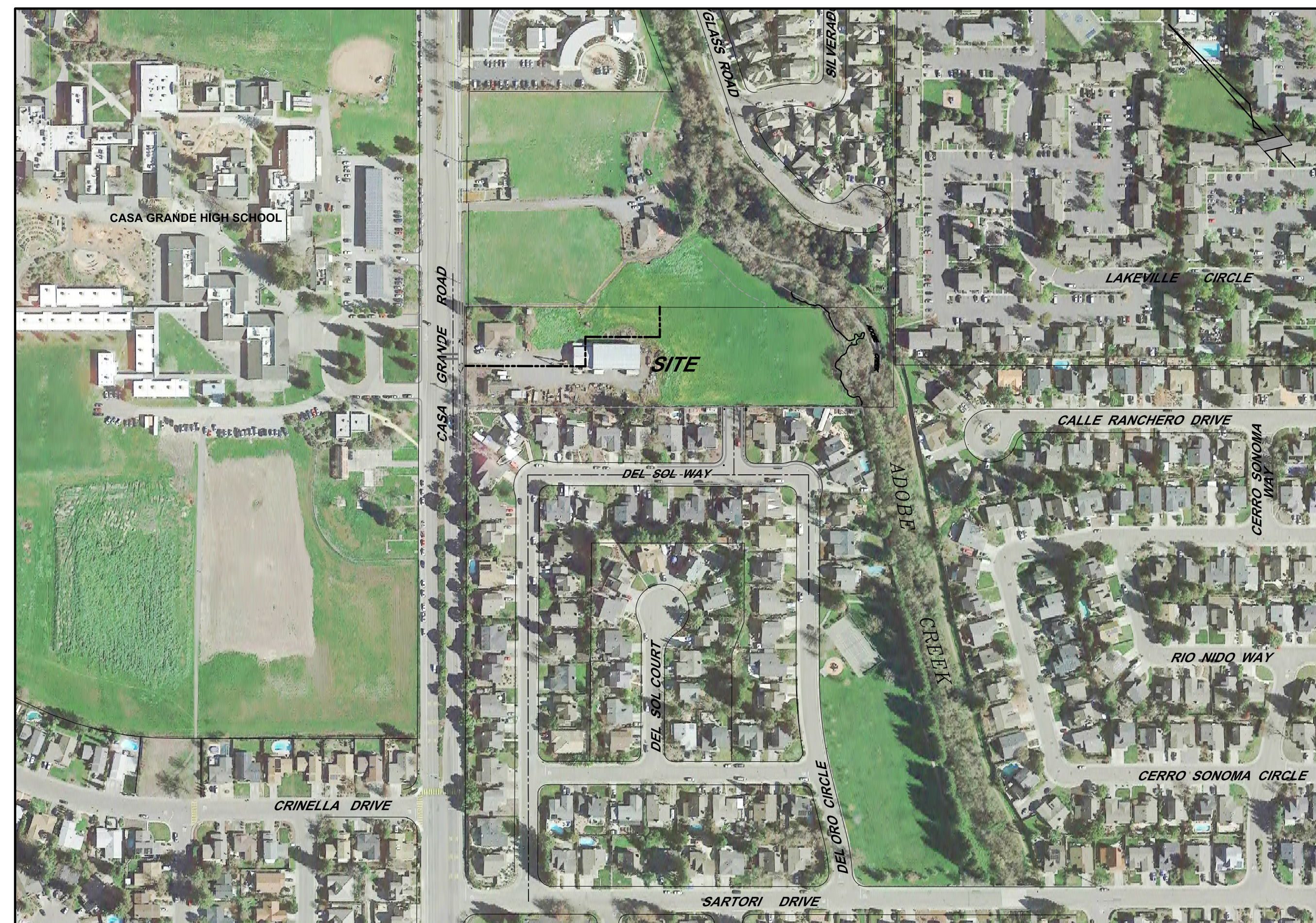
FALCON POINT ASSOCIATES, LLC  
c/o DRG BUILDERS  
CASA GRANDE-PETALUMA LP  
3496 BUSKIRK AVENUE #104  
PLEASANT HILL, CALIFORNIA 94523  
925-939-3473 VOICE  
doyle@drgbuilders.com

### UTILITIES

FIRE PROTECTION CITY OF PETALUMA  
WATER CITY OF PETALUMA  
SANITARY SEWER CITY OF PETALUMA  
STORM DRAIN CITY OF PETALUMA

### CONSULTANTS

CIVIL ENGINEER	STEVEN J. LAFRANCHI & ASSOCIATES, INC. STEVEN LAFRANCHI 140 SECOND STREET, SUITE 312 PETALUMA, CALIFORNIA 94952 707.762.3122 VOICE 707.762.3239 FAX steve@sjla.com andrea@sjla.com
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LANDSCAPE ARCHITECT	
ARCHITECT	ECN ARCHITECTURE EDWARD C. NOVAK 153 GILLETTE PLACE LIVERMORE, CALIFORNIA 94550 714.323.8396 VOICE ed@ecnarchitecture.com
GEOTECHNICAL ENGINEER	PJC 600 MARTIN AVENUE, SUITE 210 ROHNERT PARK, CALIFORNIA 94928 707.584.4804 VOICE pat@pjgeotech.com
BIOLOGIST	ANALYTICAL ENVIRONMENTAL SERVICES 1801 7TH STREET, SUITE 100 SACRAMENTO, CALIFORNIA 95811 916.447.3479 VOICE nbonzay@analyticalcorp.com
CULTURAL RESOURCES ENVIRONMENTAL ASSESSMENT	
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PHOTOMETRICS	LIGHTHOUSE DESIGN, INC. 1881 VINEYARD DRIVE, SUITE 212 ANTIOCH, CALIFORNIA 94509 925.757.4259 VOICE dmohler@ltdesigninc.com



SITE DIAGRAM  
SCALE: 1"=200'

### SHEET INDEX

- C-1 COVER SHEET
- C-2 CONTEXT PLAN
- C-3 EXISTING CONDITIONS EXHIBIT
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- C-8 PARKING PLAN
- C-9 CIRCULATION PLAN
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- C-12 TYPICAL LOT GRADING AND UTILITY DETAILS
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- L-3 LANDSCAPE PALETTE
- L-4 PRELIMINARY LANDSCAPE DETAILS
- L-5 TREE REMOVAL AND PROTECTION PLAN

PHOTO DATE: 2018  
SOURCE: GOOGLE EARTH



8-25-2020 UPDATE

REVISIONS	BY

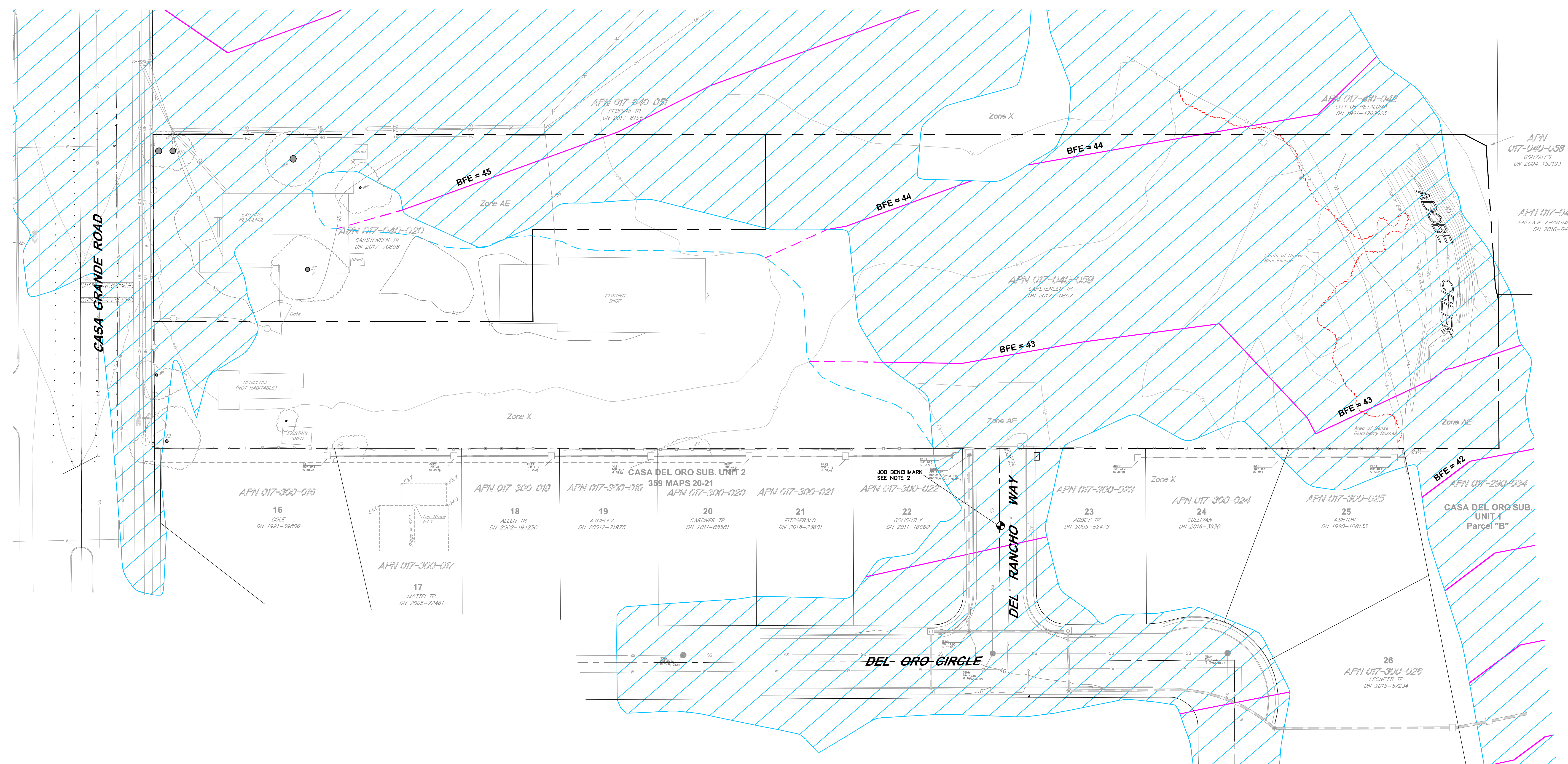
**COVER SHEET**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND ENGINEERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

DATE:	2020.08.24
SCALE:	AS SHOWN
DESIGN:	S.J.L. ADF
DRAWN:	CRK HSM JTG
CHECK:	S.J.
JOB:	DRG CASA GRANDE
JOB No:	182029
SHEET	<b>C-1</b>
OF	24 SHEETS



REVISIONS BY	DATE	DESCRIPTION



**PRELIMINARY TREE LIST**

TREE ID NO.	TREE DESCRIPTION	TRUNK RADIUS	DIAMETER	STRUCTURE	CONDITION & CLASS	STATUS
1	BOX ELDER/ACER NEGUNDO	6.9,12"	2	2	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
2	SIBERIAN ELM/ULMUS PUMILA	17,18"	3	3	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
3	CORSDISEW WILLOW/SALIX TORTUOSA	NA	3	3	UNPROTECTED. TO BE PRESERVED	
4	COAST REDWOOD/SEQUOIA SEMPERVIRENS	NA	4	4	TO BE PRESERVED	
5	ADOBEE CREEK BANKS - WAXED RIPARIAN	NA	2 TO 5	2 TO 5	PROTECTED. TO BE PRESERVED	
6	ENGLISH WALNUT/JUGLANS HINDSI	14"	5	5	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
7	BOX ELDER/ACER NEGUNDO	30"	5	5	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
8	GIANT SEQUOIA/SEQUOIA GIGANTEA	47"	5	5	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
9	GIANT SEQUOIA/SEQUOIA GIGANTEA	24"	4	4	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	
10	GIANT SEQUOIA/SEQUOIA GIGANTEA	27"	4	4	NOT A PROTECTED TREE. TO BE REMOVED FOR CONSTRUCTION	

NOTES:  
1. TREE INFORMATION SHOWN HEREON PROVIDED BY THE PROJECT ARBORIST REPORT BY BECKY DUCKLES (707) 829-0555, DATED OCTOBER 9, 2019.

**NOTES**

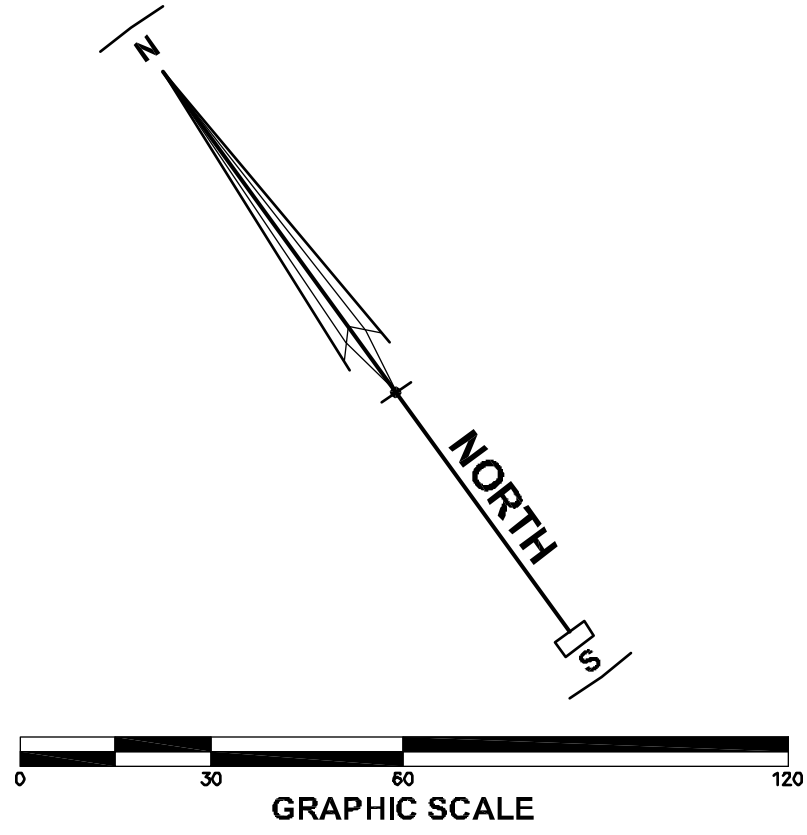
- CONTOUR AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. ON SEPTEMBER 6, 2018.
- FLOODWAY BOUNDARIES AND BASE FLOOD ELEVATION (BFE) CONTOURS ARE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 06097C 10010, EFFECTIVE DATE OCTOBER 2, 2015.
- VERTICAL DATUM: GNSS TIE TO PASSIVE CONTROL POINT "CAULFIELD", CENTRAL COAST HEIGHT MODERNIZATION PROJECT 2007 (CENH2007), ELEVATION = 11.417' NAVD 1988 DATUM; JOB BENCHMARK, SET MAG NAIL & WASHER, "S.L.A CONTROL PT." ELEVATION = 40.97' NAVD 1988 DATUM.
- BOUNDARY INFORMATION SHOWN IS BASED UPON FIELD TIES AND RECORD INFORMATION. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY. BOUNDARY INFORMATION SHOWN IS FOR PLANNING PURPOSES ONLY.
- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI AND ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
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- RIPARIAN CORRIDOR LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY ANALYTICAL ENVIRONMENTAL SERVICES ON FEBRUARY 2019.

**LEGEND**

- CONTOUR
- FENCE
- EASEMENT LINE
- PROPERTY LINE
- CENTERLINE
- TOP OF BANK
- CONCRETE
- CURB & GUTTER
- STORM DRAIN
- STORM DRAIN MANHOLE
- CATCH BASIN
- SANITARY SEWER/MANHOLE
- WATER LINE
- RIPARIAN CORRIDOR
- SEE NOTE 7
- BASE FLOOD ELEVATION (BFE) CONTOURS, SEE NOTE 2
- BASE FLOOD ELEVATION (BFE) CONTOURS, PER NOTE 1
- FEMA SPECIAL FLOOD HAZARD ZONE AE, SEE NOTE 2
- SPECIAL FLOOD HAZARD ZONE AE, SEE NOTE 1

**ABBREVIATIONS**

- AC ASPHALTIC CONCRETE
- APN ASSESSOR PARCEL NUMBER
- BFE BASE FLOOD ELEVATION
- BLDG BUILDING
- CONC CONCRETE
- EX EXISTING
- FF FINISHED FLOOR
- G GAS
- JBM JOB BENCHMARK
- JP JOINT POLE
- LP LOW POINT
- OH OVERHEAD UTILITIES
- OR OFFICIAL RECORD
- T TREE
- W WATER

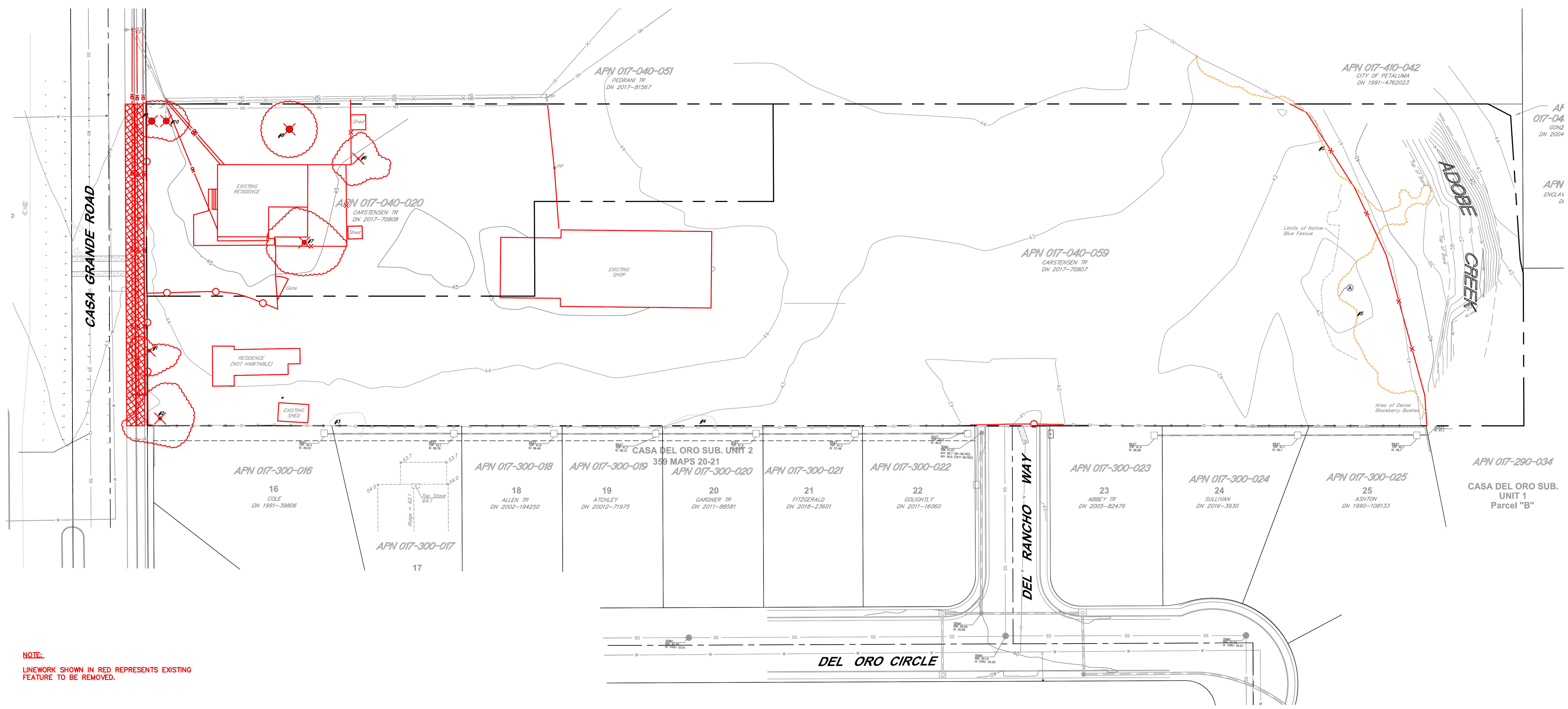


**EXISTING CONDITIONS EXHIBIT**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-2529

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: S.J.L. ADF  
 DRAWING: CRK HSM JTC  
 CHECK: S.J.L.  
 JOB: ORC CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-3**  
 OF 24 SHEETS

REVISIONS BY	DATE



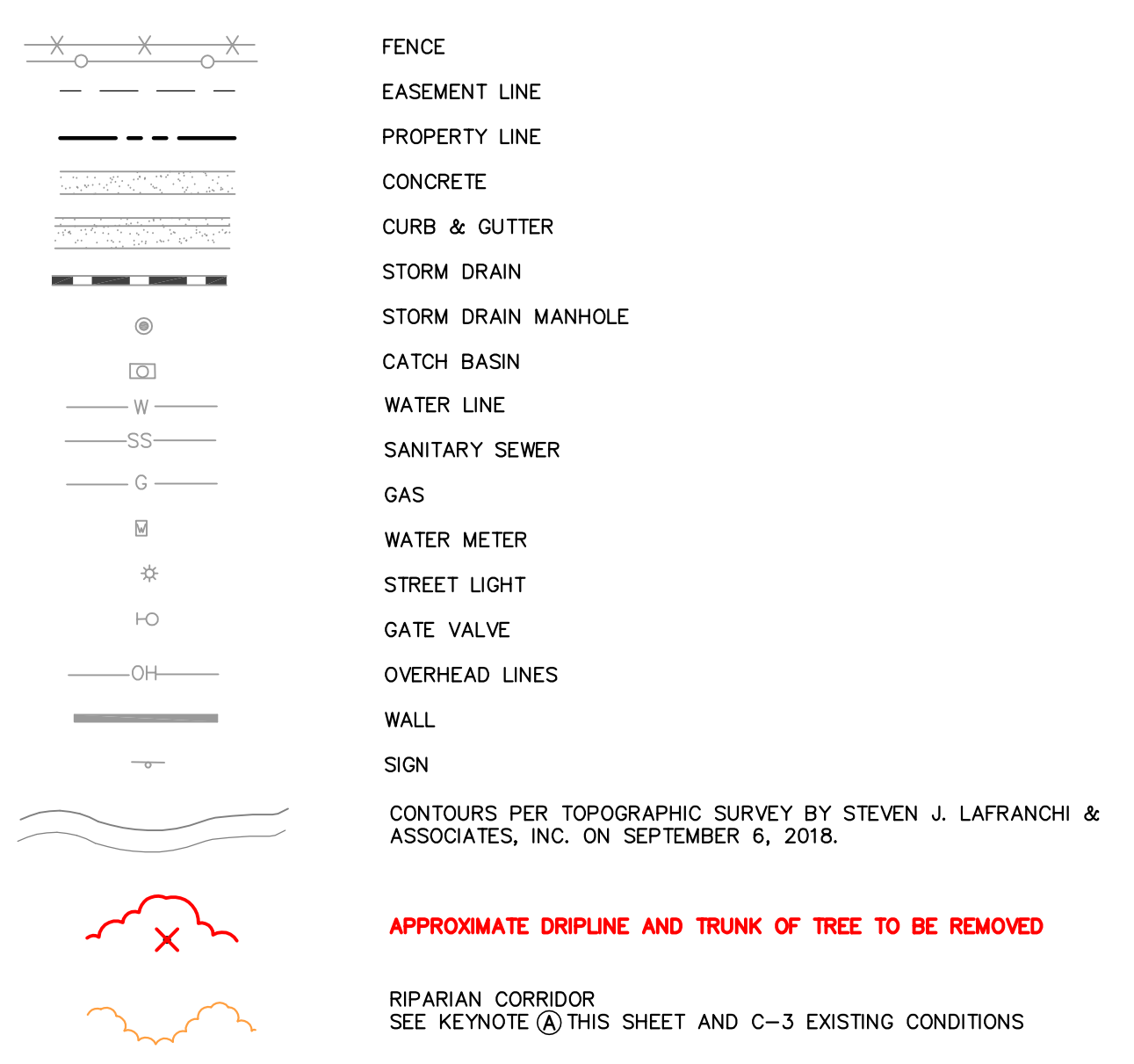
**NOTE:**  
 LINWORK SHOWN IN RED REPRESENTS EXISTING FEATURE TO BE REMOVED.

**PRELIMINARY TREE LIST**

TREE ID NO.	TREE DESCRIPTION	TRUNK RADIUS	CONDITION & DIAMETER STRUCTURE I-E-S	STATUS
1	BOX ELDER/ACER NEGUNDO	6.912'	2	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
2	SIBERIAN-ELM/ALBINO-PUMPKIN	17.118'	3	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
3	CORKSCREW WILLOW/SLAVY TROPICANA	NA	3	UNPROTECTED, TO BE PRESERVED
4	COAST REDWOOD/SEVADA SEMPERVIRENS	NA	4	TO BE PRESERVED
5	ADOBE CREEK BIRCH - MIXED RIPARIAN	NA	2 TO 5	PROTECTED, TO BE PRESERVED
6	ENGLISH-WALNUT/AVICULANS-INDIGO	14'	2	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
7	DOG-WOOD/ALBINO-NEGUNDO	10'	2	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
8	GRANT-SEEDLING/SCOURING-BRUSH	24'	4	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
9	GRANT-SEEDLING/SCOURING-BRUSH	24'	4	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION
10	GRANT-SEEDLING/SCOURING-BRUSH	27'	4	NOT A PROTECTED TREE - TO BE REMOVED FOR CONSTRUCTION

**NOTES:**  
 1. TREE INFORMATION SHOWN HEREON PROVIDED BY THE PROJECT ARBORIST REPORT BY BECKY DICKLES (707) 829-0555, DATED OCTOBER 2019.  
 2. TREES SHOWN IN RED REPRESENT EXISTING TREE TO BE REMOVED.  
 3. SEE SHEET L-5 TREE REMOVAL AND PROTECTION PLAN FOR TREE PROTECTION MEASURES AND NOTES.

**LEGEND**

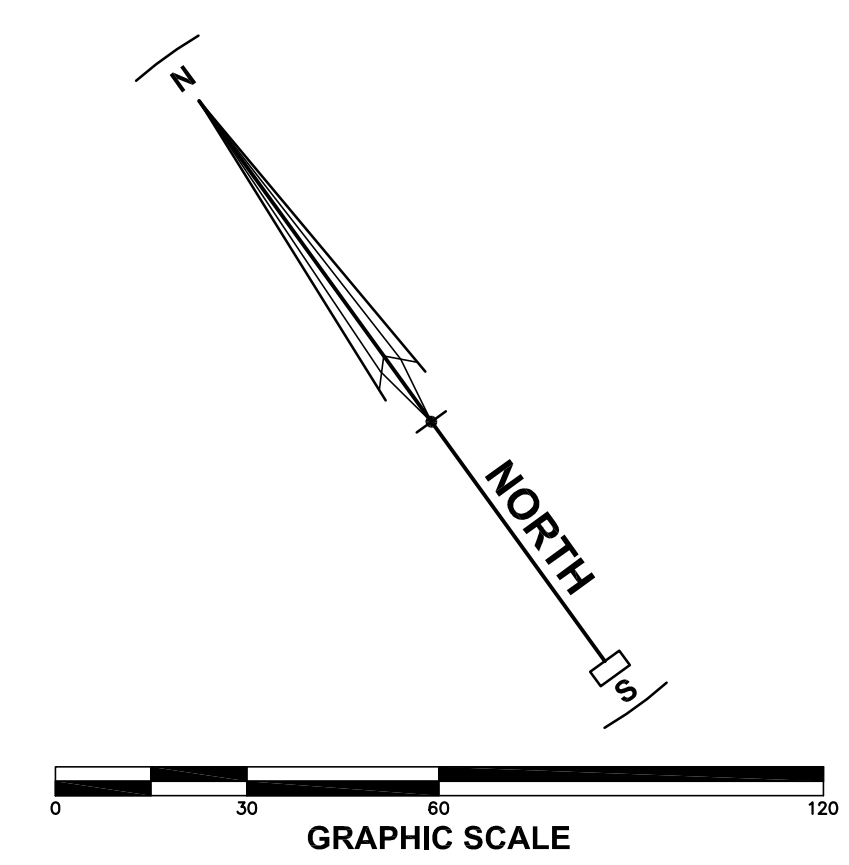


**NOTES**

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**KEY NOTE**

- ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.



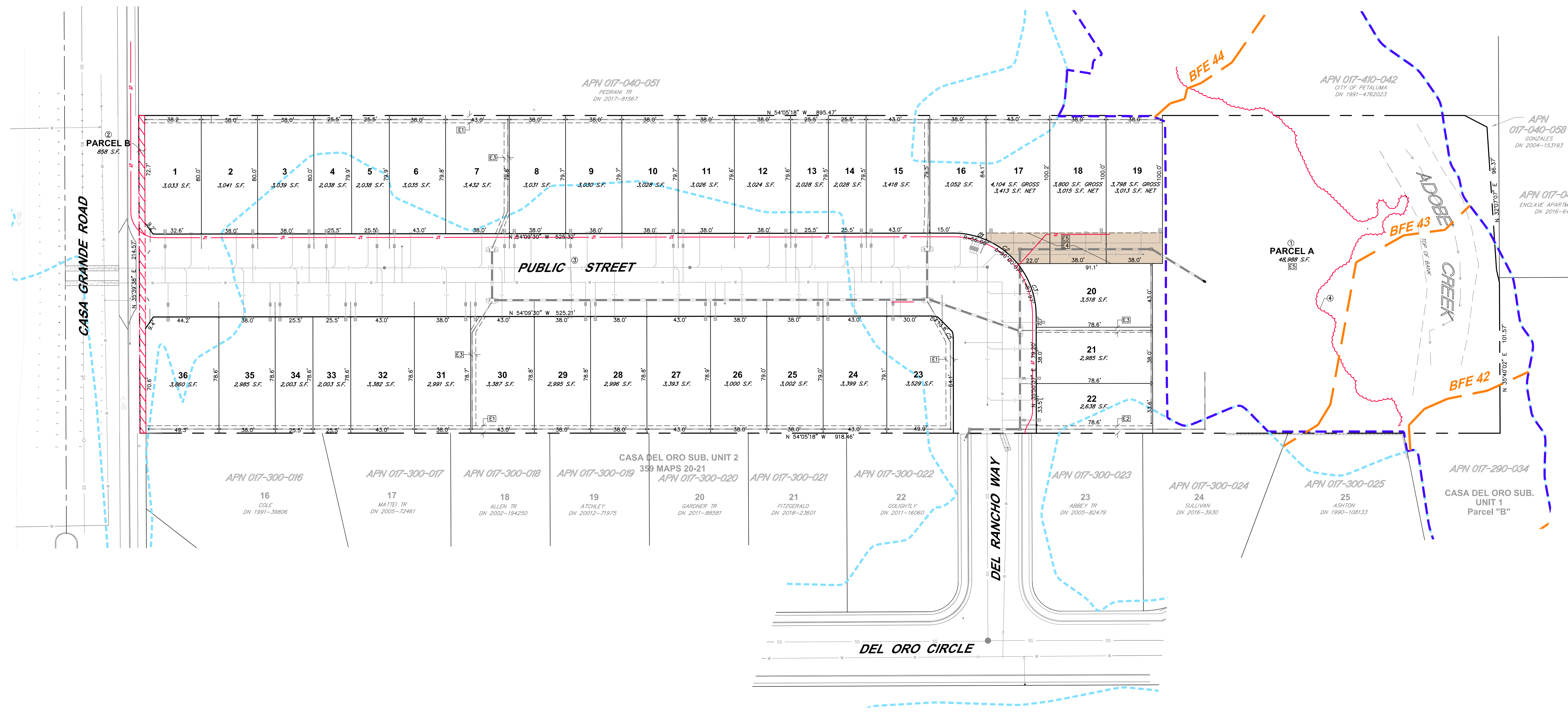
**DEMOLITION PLAN**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3259

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: S.J.L. ADF  
 DRAWING: CRK HSM JTG  
 CHECK: S.J.L.  
 JOB: DRG CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-4**  
 OF 24 SHEETS



REVISIONS	BY



APN 017-040-051  
 PEDRANI TR  
 DN 2017-81567

APN 017-410-042  
 CITY OF PETALUMA  
 DN 1991-4762023

APN 017-040-058  
 GONZALES  
 DN 2004-153193

APN 017-040-057  
 ENCLAVE APARTMENTS LLC  
 DN 2016-64579

PARCEL B  
 858 S.F.

PARCEL A  
 48,988 S.F.

ADOBES CREEK

CASA DEL ORO SUB. UNIT 2  
 MAPS 20-21

APN 017-300-016  
 COLE  
 DN 1991-39806

APN 017-300-017  
 MATTI TR  
 DN 2005-72461

APN 017-300-018  
 ALLEN TR  
 DN 2002-194250

APN 017-300-019  
 ATCHLEY  
 DN 2002-71975

APN 017-300-020  
 GARDNER TR  
 DN 2011-88581

APN 017-300-021  
 FITZGERALD  
 DN 2018-23601

APN 017-300-022  
 COLIGHTLY  
 DN 2011-16060

APN 017-300-023  
 ABBEY TR  
 DN 2005-82479

APN 017-300-024  
 SULLIVAN  
 DN 2016-3930

APN 017-300-025  
 ASHTON  
 DN 1990-108133

APN 017-290-034  
 CASA DEL ORO SUB. UNIT 1  
 Parcel "B"

**COURSE DATA**

CURVE	RADIUS	LENGTH
C1	56.0'	22.9'
C2	56.0'	28.8'
C3	56.0'	38.2'
C4	15.0'	4.6'
C5	15.0'	4.6'

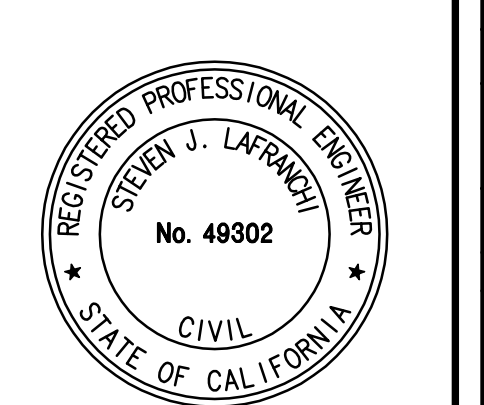
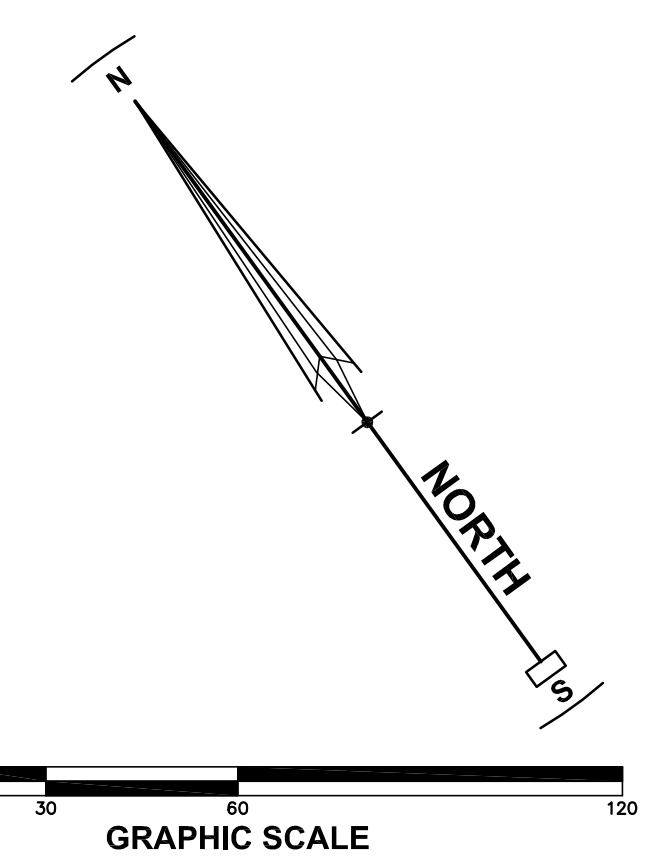
**NOTE:**  
 1. SEE PUD SITE DEVELOPMENT PLAN FOR SETBACK INFORMATION.  
 2. THE PROPOSED PUBLIC EASEMENT SHALL BE MAINTAINED BY THE HOA.

- TENTATIVE MAP KEY NOTES**
- ① PROPOSED PARCEL "A" TO BE GRANTED TO THE HOA.
  - ② PROPOSED PARCEL "B" (CASA GRANDE ROAD RIGHT-OF-WAY) TO BE DEDICATED TO THE CITY OF PETALUMA.
  - ③ PROPOSED PUBLIC ROAD RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF PETALUMA.
  - ④ ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.

- EASEMENT DESIGNATIONS**
- E1 PROPOSED 5' WIDE PRIVATE STORM DRAIN EASEMENT.
  - E2 PROPOSED 3.5' WIDE PUBLIC STORM DRAIN EASEMENT (SEE NOTE2).
  - E3 PROPOSED 3.5' WIDE PRIVATE STORM DRAIN EASEMENT.
  - E4 PROPOSED 20.5' WIDE PRIVATE ACCESS AND UTILITY EASEMENT FOR THE BENEFIT OF LOTS 17, 18 & 19.
  - E5 PUBLIC MAINTENANCE ACCESS EASEMENT.

**LEGEND**

	EXISTING		PROPOSED
	PROPERTY LINE		CENTERLINE
	EASEMENT LINE		STORM DRAIN
	STORM DRAIN MANHOLE		CATCH BASIN
	DROP INLET		WATER LINE
	WATER LATERAL/METER		SANITARY SEWER/MANHOLE
	CLEANOUT		JOINT TRENCH
	BFE = 35		BASE FLOOD ELEVATION (BFE)
	BASE FLOOD ELEVATION (BFE) CONTOURS		PRIVATE ACCESS AND UTILITY EASEMENT AREA. SEE EASEMENT DESIGNATION E4.
	UNDERLYING UTILITIES (SEE UTILITY PLAN)		RIPIARIAN COORDINATOR (SEE KEYNOTE ④ THIS SHEET AND C-3 EXISTING CONDITIONS)

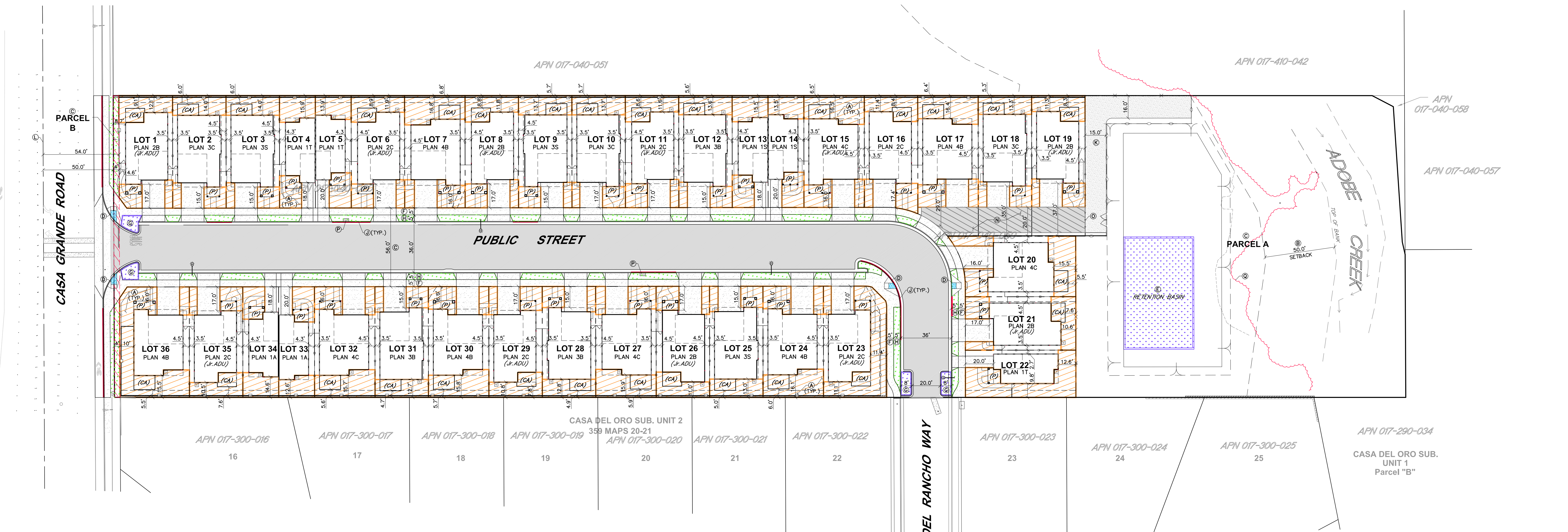


**VESTING TENTATIVE MAP**  
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 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

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 CHECK: S.J.  
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 JOB No: 182029  
 SHEET  
**C-6**  
 OF 24 SHEETS

REVISIONS	BY



**BUILDING SETBACK TABLE**

LOT	FRONT	BACK	SIDE LOT *LEFT FACING	SIDE LOT *RIGHT FACING	CORNER SIDE
LOT 1	17'	12'	3.5'	3.5'	4.6'
LOT 2	15'	14'	3.5'	3.5'	
LOT 3	15'	14'	3.5'	3.5'	
LOT 4	18'	15'	4.3'		
LOT 5	20'	13'		4.3'	
LOT 6	17'	11'	4.5'	3.5'	
LOT 7	16'	16'	4.5'	3.5'	
LOT 8	17'	11'	3.5'	3.5'	
LOT 9	15'	13'	3.5'	3.5'	
LOT 10	17'	13'	3.5'	3.5'	
LOT 11	17'	11'	4.5'	3.5'	
LOT 12	15'	13'	3.5'	3.5'	
LOT 13	18'	15'	4.3'		
LOT 14	20'	13'		4.3'	
LOT 15	16'	16'	3.5'	4.5'	
LOT 16	17'	11'	3.5'	4.5'	
LOT 17	29'	16'	3.5'	4.5'	
LOT 18	35'	13'	3.5'	3.5'	
LOT 19	37'	11'	3.5'	3.5'	4.5'
LOT 20	16'	15'	4.5'	3.5'	
LOT 21	17'	10'	4.5'	3.5'	
LOT 22	20'	12'	2.7'		9.8'
LOT 23	17'	11'	4.5'	3.5'	11.4'
LOT 24	16'	16'	4.5'	3.5'	
LOT 25	15'	13'	3.5'	3.5'	
LOT 26	17'	11'	4.5'	4.5'	
LOT 27	16'	15'	3.5'	4.5'	
LOT 28	15'	12'	3.5'	3.5'	
LOT 29	17'	10'	3.5'	3.5'	
LOT 30	16'	15'	4.5'	3.5'	
LOT 31	15'	12'	3.5'	3.5'	
LOT 32	16'	15'	4.5'	3.5'	
LOT 33	20'	12'	3.5'	3.5'	
LOT 34	18'	14'	4.5'	4.3'	
LOT 35	17'	10'	4.5'	3.5'	
LOT 36	16'	15'	4.5'		10'

\* LEFT/RIGHT FACING SIDE DIMENSION IS BASED ON FACING THE UNIT.

**BUILDING SETBACK NOTES**

- SETBACKS FROM PRINCIPAL AND ACCESSORY STRUCTURES SHALL BE DEFINED AS A DISTANCE MEASURED PERPENDICULAR FROM EITHER A PROPERTY LINE OR THE BACK OF SIDEWALK, WHICHEVER IS THE MOST RESTRICTIVE.
- SETBACK DIMENSIONS SHOWN ON THIS PLAN ARE THE TRUE DISTANCE FROM STRUCTURES TO THE PROPERTY LINE. ALL STRUCTURES ARE IN COMPLIANCE WITH SETBACKS AS SHOWN ON THE BUILDING SETBACK TABLE.

**LOT DATA TABLE**

LOT	UNIT PLAN	BR./BA.	GARAGE	CALIFORNIA UNIT (CA)	UNIT S.F.	GROSS AREA	**USABLE OPEN SPACE	% USABLE SPACE LOT SIZE	***COVERAGE	% COVERAGE WITH CA ROOM
LOT 1	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,033 S.F.	955 S.F.	31%	45%	50%
LOT 2	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,041 S.F.	878 S.F.	29%	49%	53%
LOT 3	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,039 S.F.	876 S.F.	29%	49%	53%
LOT 4	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,038 S.F.	803 S.F.	39%	43%	NOT AVAILABLE
LOT 5	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,038 S.F.	782 S.F.	38%	43%	NOT AVAILABLE
LOT 6	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,035 S.F.	872 S.F.	28%	45%	49%
LOT 7	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,432 S.F.	1,278 S.F.	37%	43%	48%
LOT 8	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,031 S.F.	867 S.F.	29%	45%	49%
LOT 9	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,030 S.F.	867 S.F.	29%	49%	53%
LOT 10	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,029 S.F.	864 S.F.	29%	48%	53%
LOT 11	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,028 S.F.	863 S.F.	28%	45%	49%
LOT 12	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,024 S.F.	861 S.F.	28%	49%	53%
LOT 13	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,028 S.F.	792 S.F.	39%	44%	NOT AVAILABLE
LOT 14	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,028 S.F.	772 S.F.	38%	44%	NOT AVAILABLE
LOT 15	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,418 S.F.	1,264 S.F.	37%	43%	48%
LOT 16	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,052 S.F.	857 S.F.	28%	45%	49%
LOT 17	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	4,104 S.F.	1,260 S.F.	31%	36%	40%
LOT 18	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,800 S.F.	851 S.F.	22%	39%	42%
LOT 19	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,798 S.F.	839 S.F.	25%	36%	40%
LOT 20	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,518 S.F.	1,300 S.F.	37%	42%	45%
LOT 21	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	2,985 S.F.	824 S.F.	28%	46%	51%
LOT 22	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,200 S.F.	1,379 S.F.	62%	40%	NOT AVAILABLE
LOT 23	PLAN 2	3/2.5	TWO CAR	OPTION	1,760 S.F.	3,529 S.F.	1,617 S.F.	46%	39%	43%
LOT 24	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,399 S.F.	1,245 S.F.	37%	44%	48%
LOT 25	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	3,002 S.F.	839 S.F.	28%	49%	53%
LOT 26	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	3,000 S.F.	927 S.F.	31%	46%	50%
LOT 27	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,393 S.F.	1,239 S.F.	36%	44%	48%
LOT 28	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	2,996 S.F.	833 S.F.	28%	49%	54%
LOT 29	PLAN 2	3/2.5	TWO CAR	OPTION	1,760 S.F.	2,995 S.F.	833 S.F.	28%	46%	51%
LOT 30	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,387 S.F.	1,233 S.F.	36%	44%	48%
LOT 31	PLAN 3	4/3	TWO CAR	OPTION	2,121 S.F.	2,991 S.F.	828 S.F.	28%	49%	54%
LOT 32	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,382 S.F.	1,228 S.F.	36%	44%	48%
LOT 33	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,003 S.F.	750 S.F.	37%	44%	NOT AVAILABLE
LOT 34	PLAN 1	3/2.5	ONE CAR	NOT AVAILABLE	1,395 S.F.	2,003 S.F.	768 S.F.	38%	44%	NOT AVAILABLE
LOT 35	PLAN 2	2/2.5	TWO CAR	OPTION	1,760 S.F.	2,985 S.F.	911 S.F.	30%	46%	51%
LOT 36	PLAN 4	3/3	TWO CAR	OPTION	2,380 S.F.	3,860 S.F.	1,878 S.F.	49%	39%	42%

- NOTES:**
- \* DENOTES INCLUSIONARY HOUSING UNIT
  - \*\* ALL UNITS ARE TWO-STORY
  - \*\*SEE USABLE OPEN SPACE DEFINITION ON THIS SHEET.
  - \*\*\*SEE COVERAGE DEFINITION ON THIS SHEET
  - (Jr.ADU)=JUNIOR ACCESSORY DWELLING UNIT.

**BUILDING SETBACK EXCEPTIONS**

- FRONT SETBACK:**
- EXCEPTION 1. - ROOF EAVES MAY PROJECT INTO REQUIRED FRONT SETBACK 2'.
  - EXCEPTION 2. - PORCHES MAY PROJECT INTO REQUIRED FRONT SETBACK 3'.
- SIDE SETBACK**
- EXCEPTION 1. - ROOF EAVES MAY PROJECT INTO SIDE YARDS 1'.
  - EXCEPTION 2. - THE SIDE SETBACK AT THE COMMON WALL OF DUET UNITS SHALL BE 0'.
- CORNER LOT STREET SIDE SETBACK:**
- EXCEPTION 1. - ROOF EAVES MAY PROJECT INTO SIDE YARDS 2'.
- REAR SETBACK:**
- EXCEPTION 1. - COVERED PATIOS MAY PROJECT INTO REAR YARDS 6'.
  - EXCEPTION 2. - ROOF EAVES MAY PROJECT INTO REAR YARDS 2'.

**8-25-2020 UPDATE**

**KEYNOTES**

- USABLE OPEN SPACE AS DEFINED IN THE CITY OF PETALUMA IMPLEMENTING ZONING ORDINANCE DATED JUNE 2008 (REVISION DATE JULY 10, 2014) AND ON THIS SHEET. SEE LOT DATA TABLE FOR AREA SQUARE FEET. SEE LEGEND FOR AREAS DEFINED AS USABLE AREA.
- 50' DEVELOPMENT SETBACK FROM TOP OF BANK.
- DEDICATION TO THE CITY OF PETALUMA AS A PUBLIC RIGHT-OF-WAY.
- PROPOSED ADA COMPLIANT RAMP.
- PROPOSED BIORETENTION AREA. SEE PRELIMINARY GRADING AND POST CONSTRUCTION STORMWATER CONTROL PLANS FOR INFORMATION.
- PROPOSED 5' PUBLIC SIDEWALK.
- LANDSCAPE/BIORETENTION AREA. SEE LANDSCAPE PLANS FOR INFORMATION.
- PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR INFORMATION.
- "CALIFORNIA ROOM" IS A COVERED PATIO. SEE ARCHITECTURAL PLANS FOR INFORMATION.
- NO PARKING. CURB PAINTED RED.
- PROPOSED PUBLIC MAINTENANCE PATH.
- CENTERLINE RIGHT-OF-WAY OF CASA GRANDE ROAD.
- PARCEL 'A' TO BE GRANTED TO AND MAINTAINED BY THE PROPOSED HOA.
- PROPOSED 20.0' WIDE PRIVATE ACCESS AND PUBLIC MAINTENANCE ACCESS. SEE TENTATIVE MAP FOR EASEMENT INFORMATION.
- REMOVABLE BOLLARDS WITH PADLOCK. BOLLARDS USA MODEL# R SERIES 150 RT, COLOR: TIMELESS BRONZE
- MAILBOXES LOCATION.
- ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.

**NOTES:**

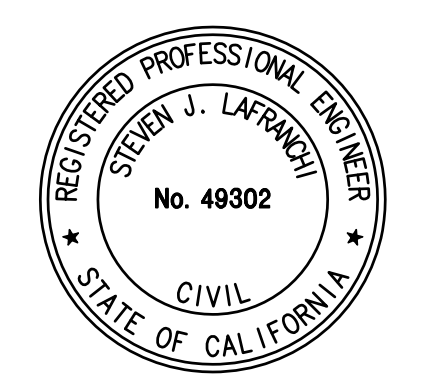
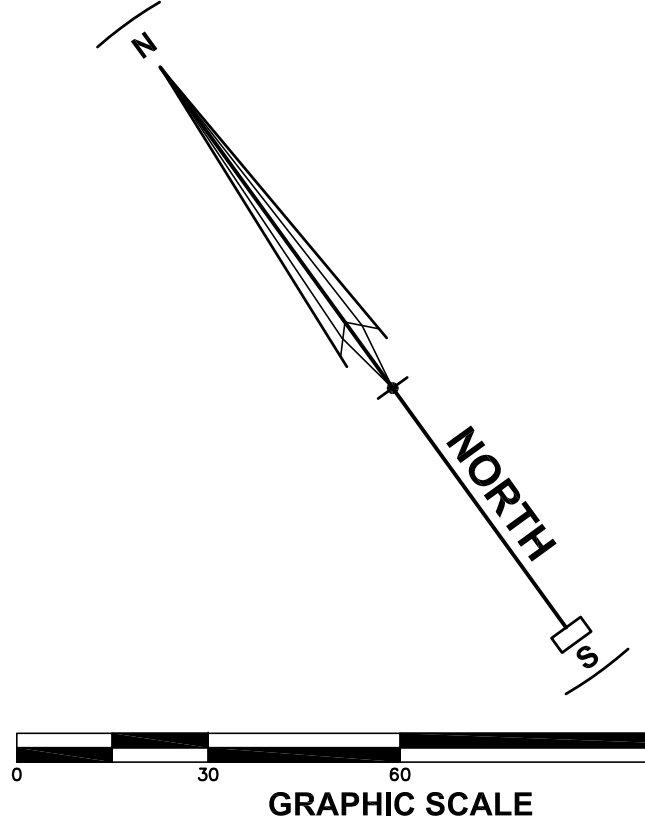
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL UNIT INFORMATION.
- SEE PARKING PLAN FOR PROPOSED PARKING INFORMATION.
- SEE LANDSCAPE PLANS FOR LANDSCAPE INFORMATION.
- SEE TENTATIVE MAP FOR EASEMENT INFORMATION.
- SEE STORM WATER PLAN FOR STORM WATER TREATMENT NOTES.

USABLE OPEN SPACE INCLUDES THE AGGREGATE AREA OF SIDE AND REAR YARDS, PATIOS, AND BALCONIES AND DECKS HAVING A DEPTH OF NOT LESS THAN (3) FEET AND AREAS NOT LESS THAN 30 SQUARE FEET, ON A BUILDING SITE OR BUILDING, WHICH IS AVAILABLE AND ACCESSIBLE TO THE OCCUPANTS OF THE BUILDING OR BUILDING SITE FOR PURPOSES OF ACTIVE AND/OR PASSIVE OUTDOOR RECREATION. THIS AREA IS EXCLUSIVE OF DRIVEWAYS, AREAS FOR OFF-STREET PARKING AND SERVICES, AND GROUND LEVEL AREAS WITH A WIDTH OF LESS THAN FIVE (5) FEET OR MAXIMUM DIMENSION OF UNDER TEN (10) FEET.

COVERAGE: THE PERCENT OF TOTAL SITE AREA COVERED BY STRUCTURES, OPEN OR ENCLOSED, EXCLUDING UNCOVERED STEPS, PATIOS AND TERRACES. PERCENT COVERAGE HAS BEEN CALCULATED USING GROSS AREA OF LOTS.

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
---	---	FENCE
---	---	PROPERTY LINE
---	---	BUILDING SETBACK LINE
---	---	ADOBE CREEK 50' SETBACK
---	---	RIPIARIAN CORRIDOR
---	---	SEE C-3 EXISTING CONDITIONS
---	---	CONCRETE
---	---	CURB & GUTTER
---	---	ASPHALT CONCRETE
---	---	LANDSCAPE AREA
---	---	LANDSCAPE/BIORETENTION AREA
---	---	PRIVATE ACCESS FOR THE BENEFIT OF LOTS 17, 18 & 19.
---	---	WALL
---	---	LIMITS OF USABLE OPEN SPACE SEE KEYNOTE (A)
---	---	NO PARKING. CURB PAINTED RED.
---	---	PORCH (SEE ARCHITECTURAL PLANS)
---	---	(CA) CALIFORNIA ROOM (SEE KEYNOTE 1)
---	---	(Jr.ADU) JUNIOR ACCESSORY DWELLING UNIT



**PUD SITE DEVELOPMENT PLAN**  
**CASA GRANDE**  
**240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059**  
**PETALUMA - CALIFORNIA**

STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND ENGINEERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: S.J.L., ADF  
 DRAWN: CRK, HSM, JTG  
 CHECK: S.A.  
 JOB: DRG CASA GRANDE  
 JOB No: 182029

SHEET **C-7**  
 OF 24 SHEETS

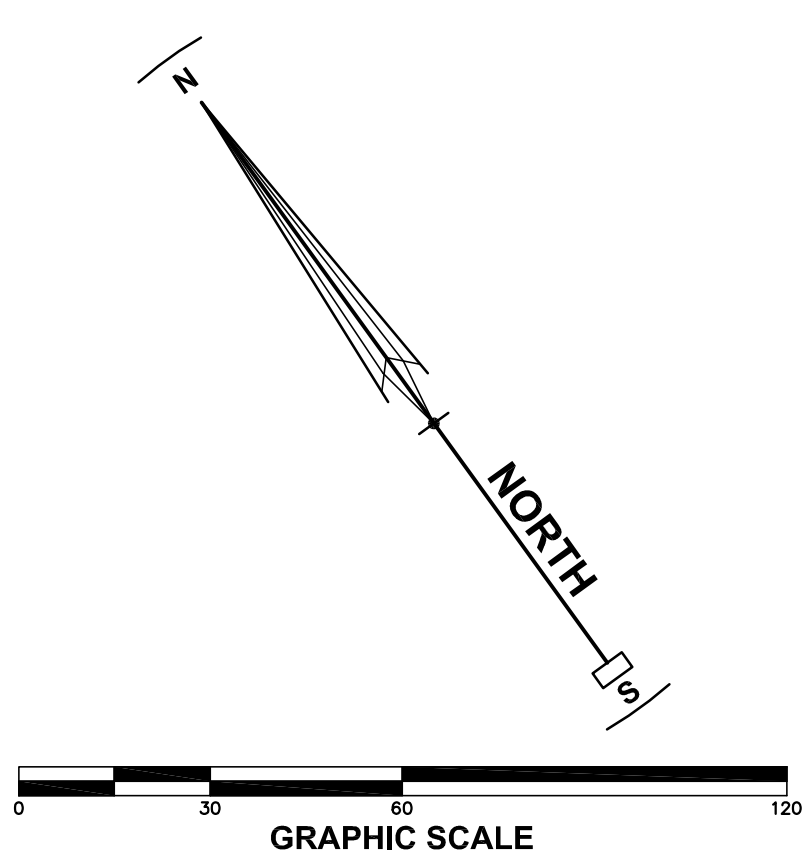
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AREA	TOTAL
UNIT PARKING (PRIVATE)	130 SPACES
*PUBLIC STREET (PUBLIC)	11 SPACES

\*PUBLIC STREET PARKING IS NOT INCLUDED IN THE PROJECT TOTAL.

- KEYNOTES**
- Ⓐ NO PARKING, CURB PAINTED RED.
  - Ⓑ PROPOSED PARALLEL PARKING PER CITY OF PETALUMA STANDARDS.
  - Ⓒ PUBLIC ON STREET PARKING IS NOT INCLUDED IN THE PROJECT PARKING TOTAL.
  - Ⓓ ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.
- LEGEND**
- |  |          |  |          |  |
|--|----------|--|----------|--|
|  | EXISTING |  | PROPOSED | FENCE  |
|  |          |  |          | PROPERTY LINE  |
|  |          |  |          | CONCRETE   |
|  |          |  |          | CURB & GUTTER  |
|  |          |  |          | PROPOSED PUBLIC ON-STREET PARKING SPACE Ⓒ                            |
|  |          |  |          | PRIVATE UNIT PARKING   |
|  |          |  |          | NO PARKING, FIRE LANE, CURB PAINTED RED.                             |
|  |          |  |          | PROPOSED FIRE HYDRANT  |
|  |          |  |          | RIPIAN CORRIDOR SEE KEYNOTE Ⓓ THIS SHEET AND C-3 EXISTING CONDITIONS |

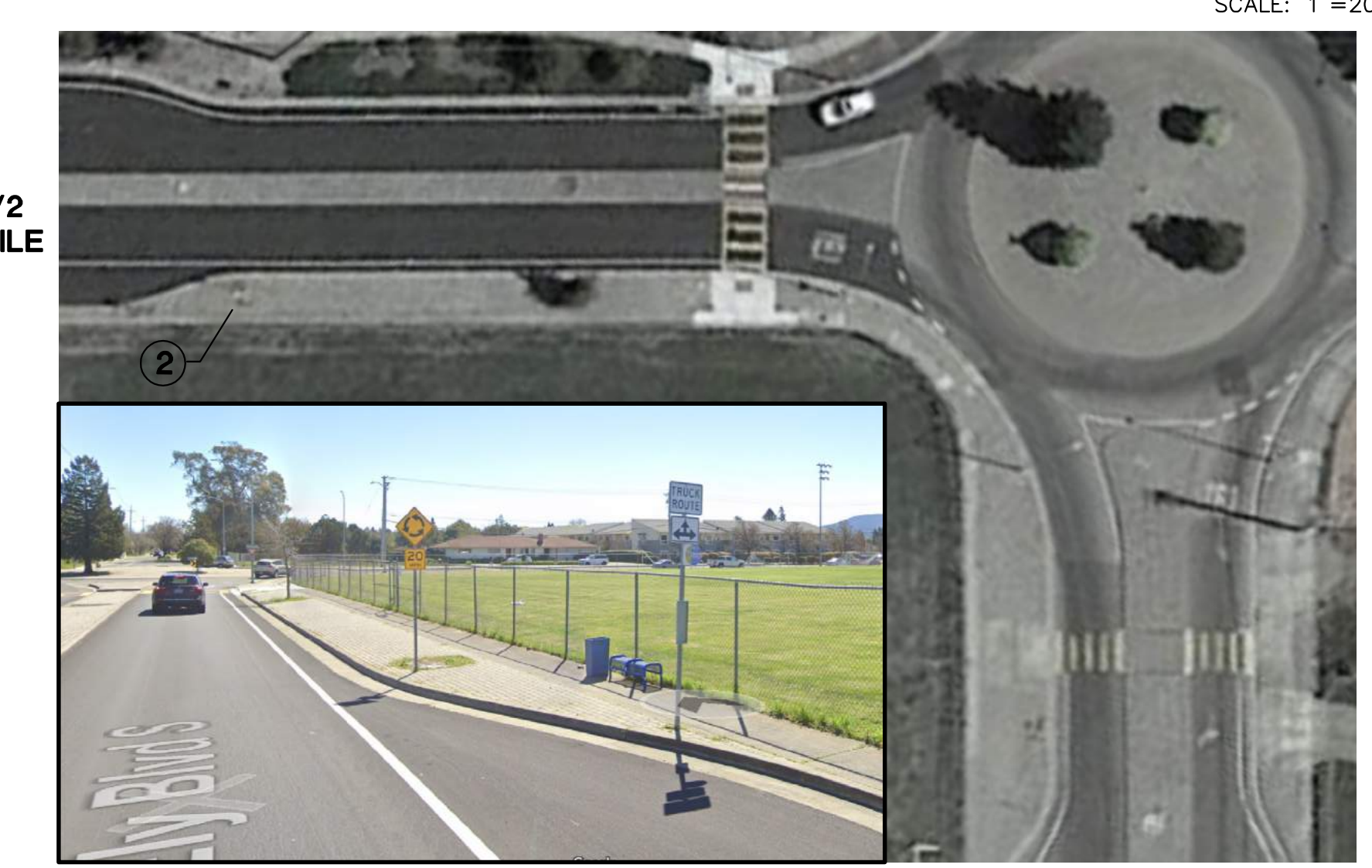
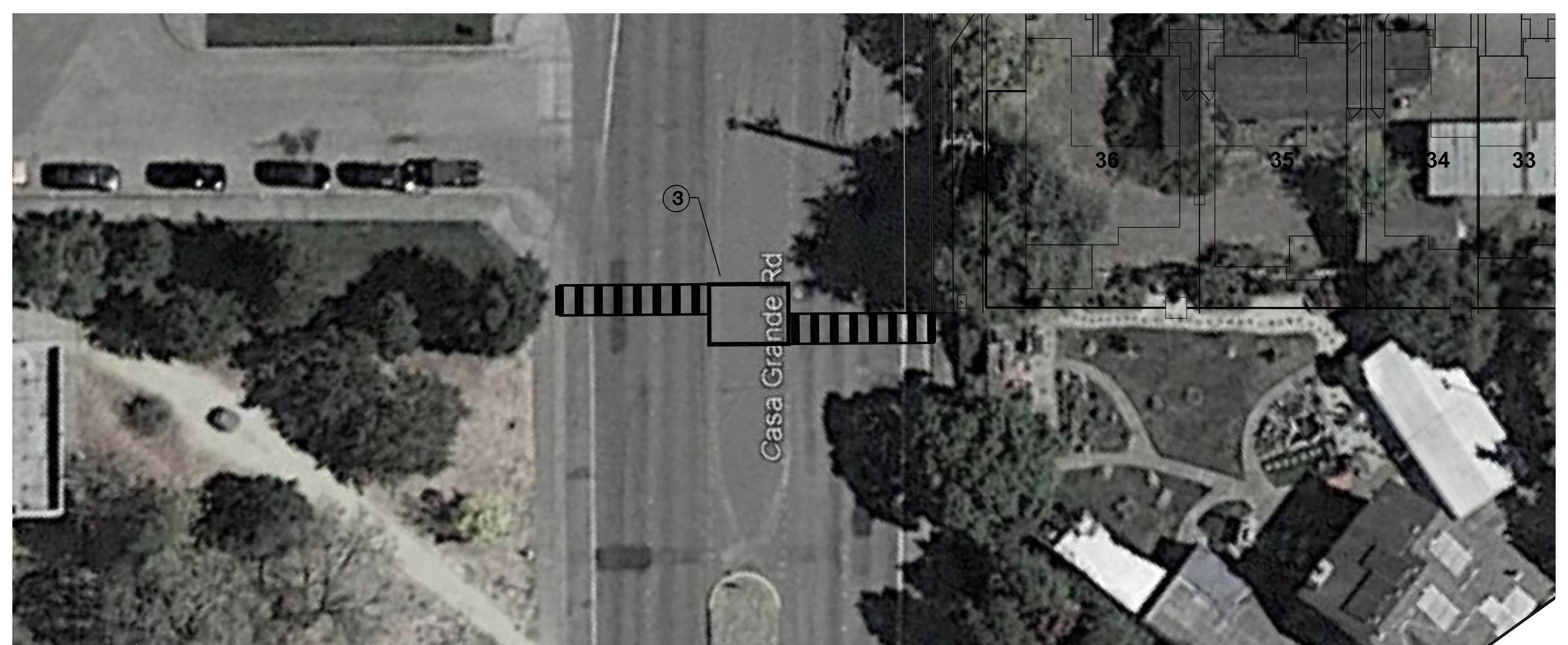
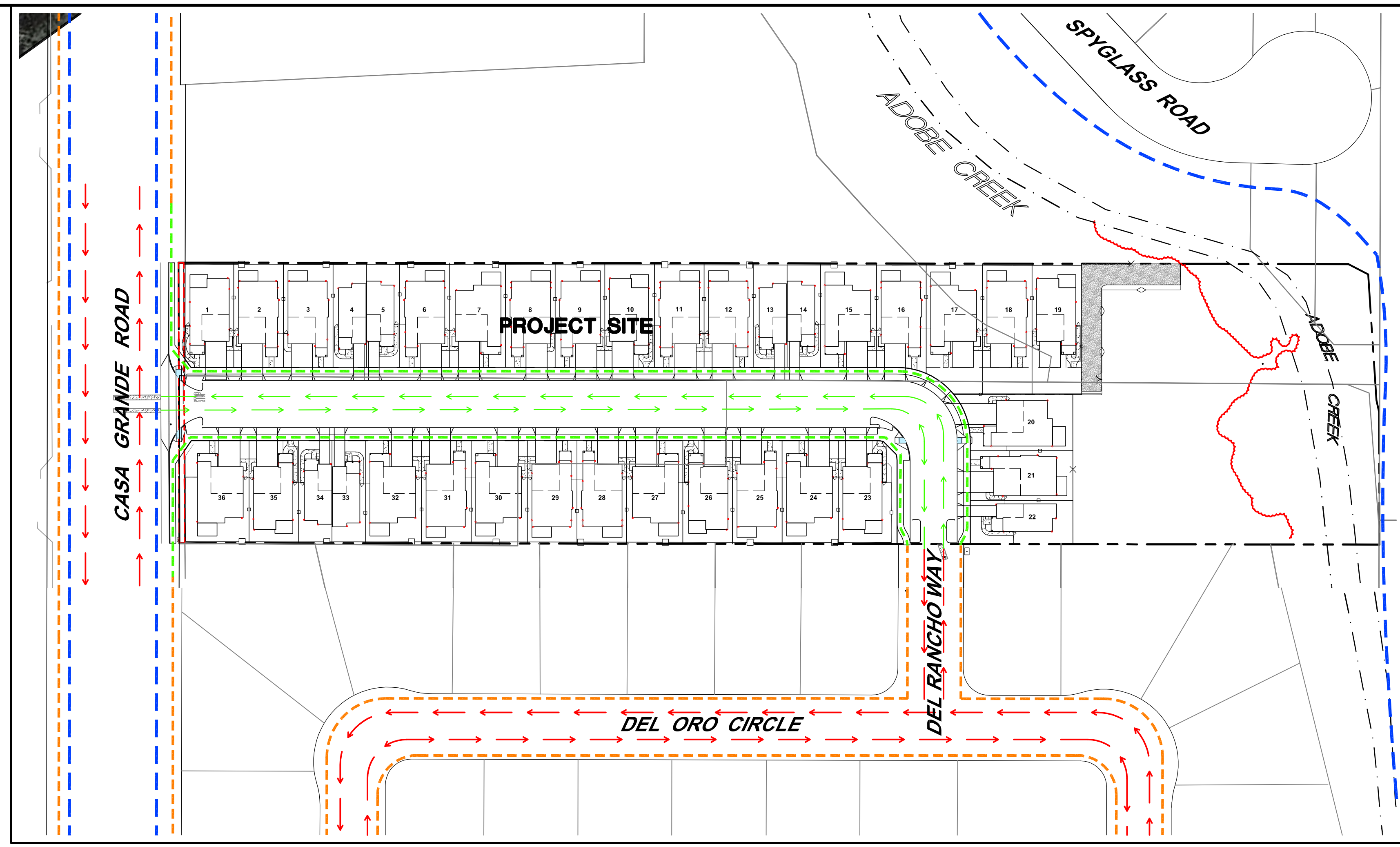
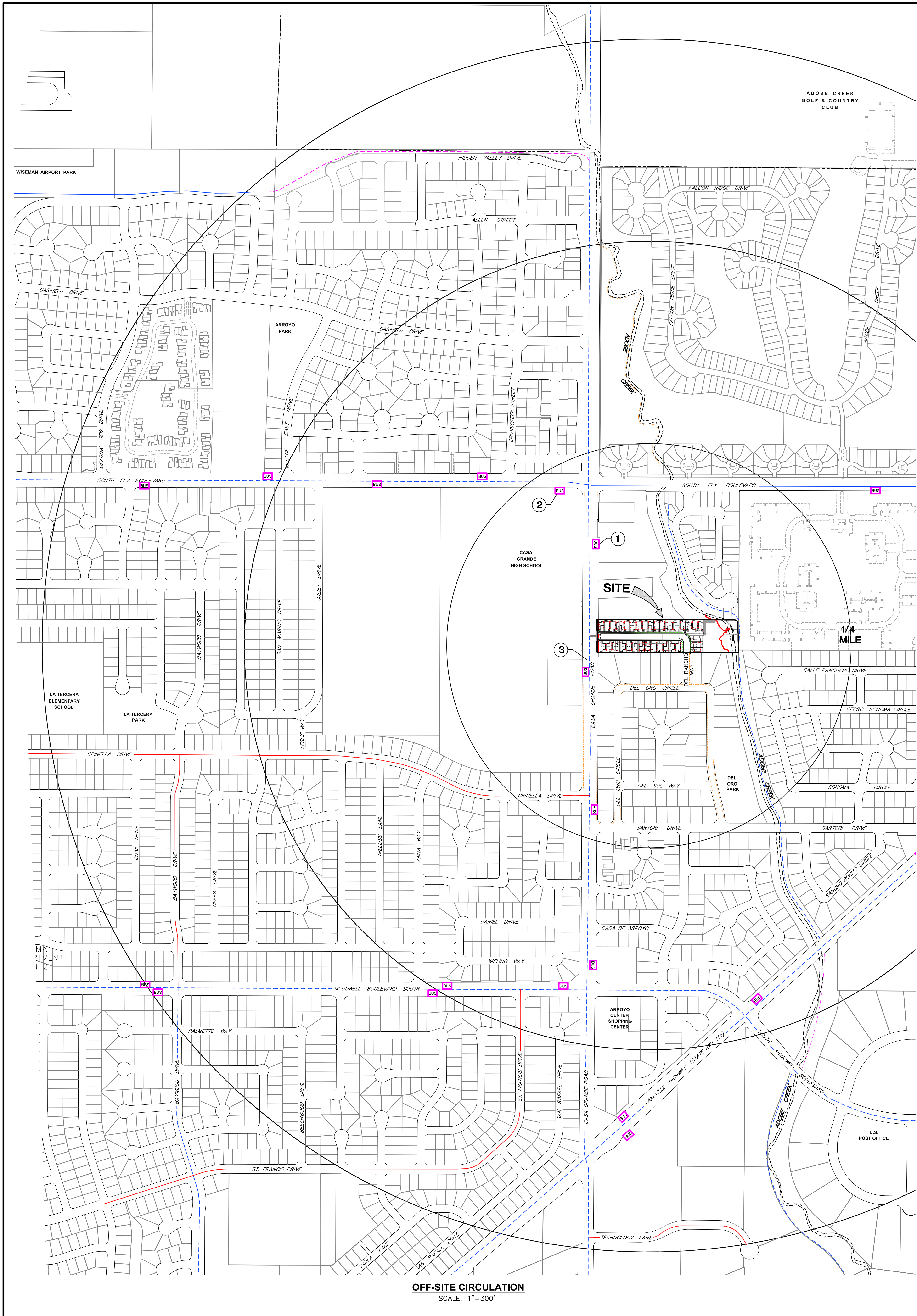


**PARKING PLAN**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: S.J.L. ADF  
 DRAWING: CRK HSM JTG  
 CHECK: S.J.L.  
 JOB: DRG CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-8**  
 OF 24 SHEETS





- LEGEND**
- PROPOSED PUBLIC PEDESTRIAN ACCESS
  - EXISTING PUBLIC PEDESTRIAN ACCESS
  - PROPOSED PUBLIC VEHICULAR ACCESS
  - EXISTING PUBLIC VEHICULAR ACCESS
- BICYCLE**
- CLASS 1 (EXIST.)
  - CLASS 2 (EXIST.)
  - CLASS 3 (EXIST.)
  - CLASS 1 (PROPOSED)
  - CLASS 2 (PROPOSED)
  - CLASS 3 (PROPOSED)
- BUS STOP LOCATION**
- BUS STOP LOCATION

- KEY NOTE**
- 1 EXISTING TRANSIT STOP ALONG CASA GRANDE ROAD, ADJACENT TO PEP FACILITY, TO BE UPGRADED.
  - 2 EXISTING TRANSIT STOP ALONG ELY BLVD, ADJACENT TO CASA GRANDE HIGH SCHOOL, TO BE UPGRADED.
  - 3 POTENTIAL LOCATION FOR ENHANCED PEDESTRIAN CROSSING ALONG CASA GRANDE ROAD.



REVISIONS BY	DATE

**CIRCULATION PLAN**

CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
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 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
 SCALE: AS SHOWN  
 DESIGN: S.J.L. ADF  
 DRAWING: CRK HSM JTG  
 CHECK: S.J.  
 JOB: ORG CASA GRANDE  
 JOB No: 182029

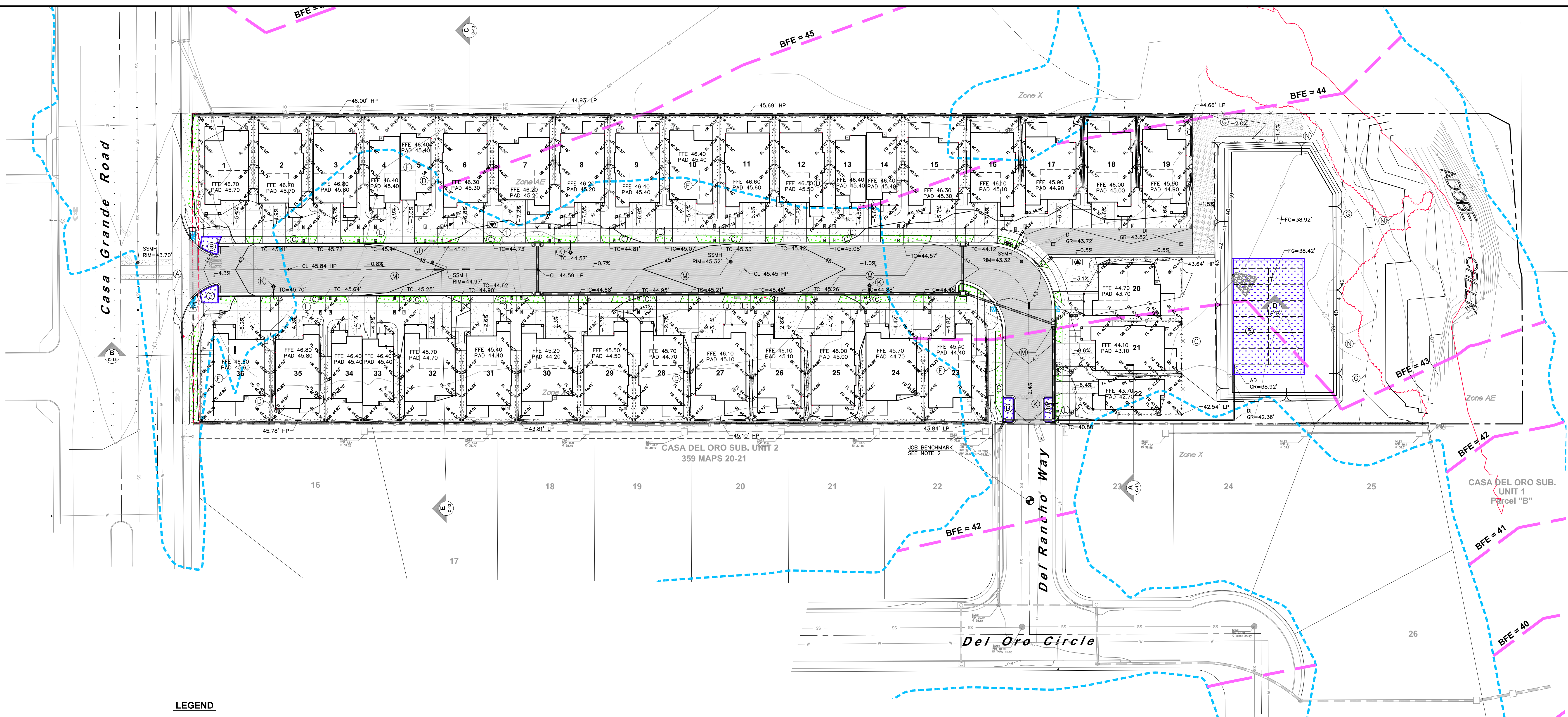
SHEET  
**C-9**  
 OF 24 SHEETS

REVISIONS	BY

**PRELIMINARY GRADING PLAN**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: S.J.L. ADF  
 DRAWING: CRK HSM JTG  
 CHECK: S.J.  
 JOB: DRG CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-10**  
 OF 24 SHEETS



**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		CONTOUR
		TOE/TOP OF SLOPE
		FENCE
		EXTERIOR PROPERTY LINE
		LOT LINE
		CONCRETE
		CURB & GUTTER
		ASPHALT CONCRETE
		LANDSCAPE AREA
		BIORETENTION/LANDSCAPE AREA
		STORM DRAIN
		STORM DRAIN MANHOLE
		SUBDRAIN
		DROP INLET/TURNING STRUCTURE
		WATER LINE
		JOINT TRENCH
		SANITARY SEWER MANHOLE
		CATCH BASIN
		WATER METER
		DOUBLE CHECK VALVE
		CANOPY (SEE ARBORIST REPORT DATED XXXX FOR TREE INFORMATION)
		TREE TO BE REMOVED
		SURFACE FLOW
		SIGN
		FIRE HYDRANT
		JOINT POLE
		GATE VALVE
		STREET LIGHT
		GUY
		3" UNDERSIDEWALK DRAIN
		OVERFLOW STRUCTURE AT BIORETENTION BASIN (AREA DRAIN)
		TRANSFORMER
		BASE FLOOD ELEVATION (BFE)
		BASE FLOOD ELEVATION (BFE) CONTOURS
		FEMA SPECIAL FLOOD HAZARD ZONE AE

**\*EARTHWORK QUANTITIES**

** CUT=	3692 CY
** FILL=	4988 CY
NET FILL =	1296 CY

\*\* CUT & FILL VOLUMES BASED ON BUILDING PADS AND ROADWAY SUBGRADE

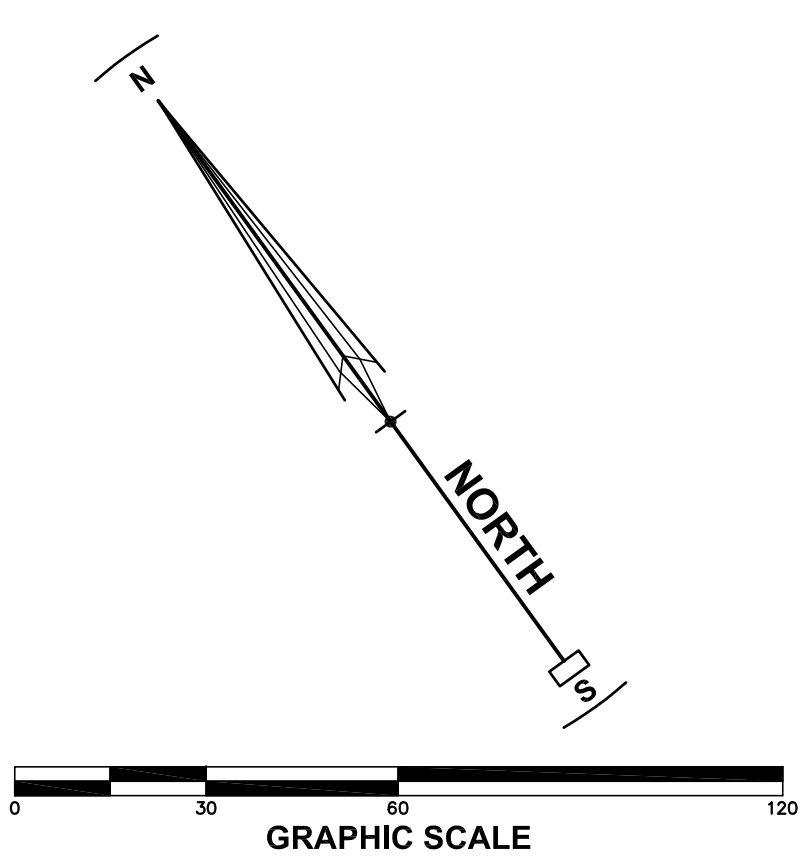
\*EARTHWORK QUANTITIES ARE BASED ON IN SITE VOLUME AND SECTION OF FINISHED DESIGN PRIOR TO APPLICATION OF SHRINK/SWELL FACTORS

**PAVEMENT STRUCTURAL SECTIONS**

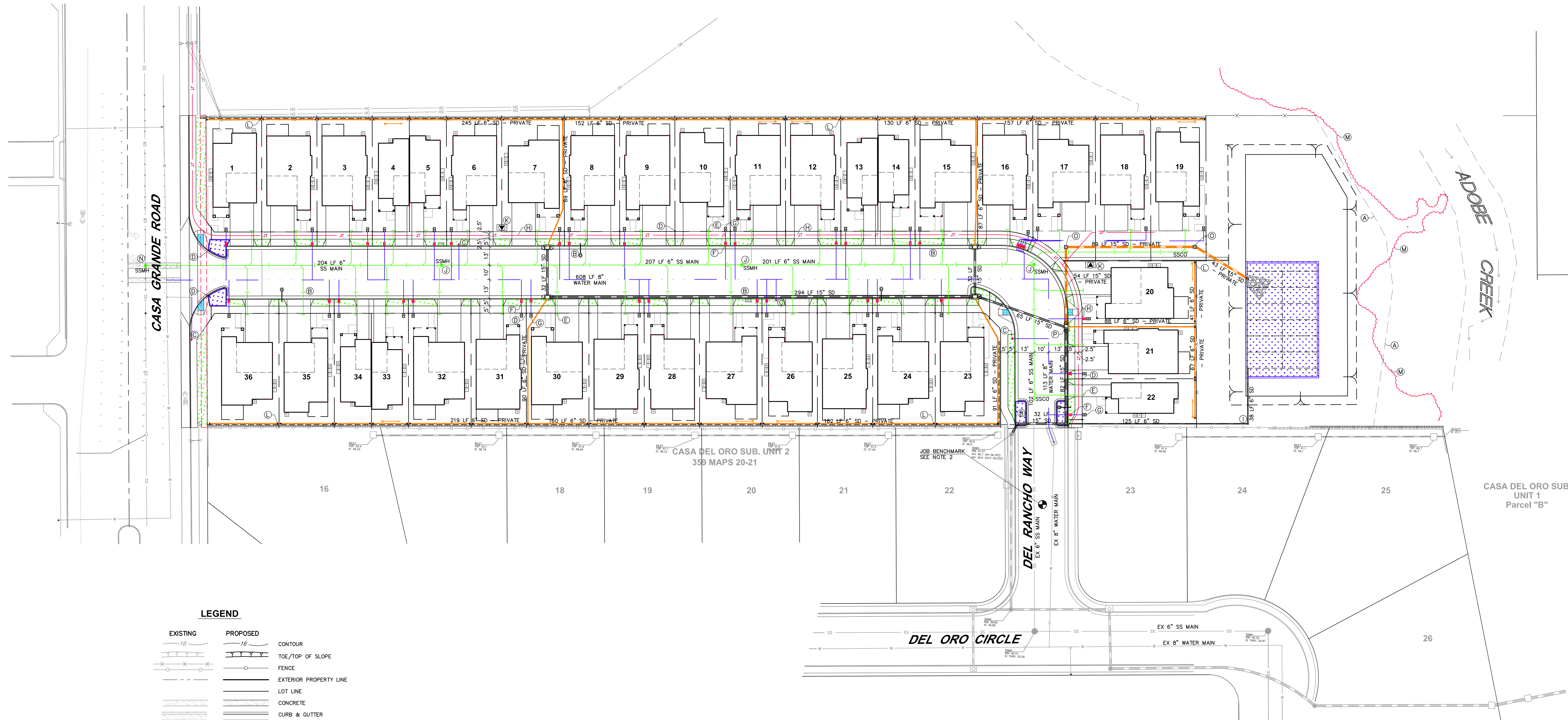
	AREA	AC	VOL.(CY)	AB	VOL.(CY)
PUBLIC STREET	21143 SF	3"	195.8	13.5"	881
PRIVATE DRIVEWAYS	14718 SF	4" P.C.C.	179.9	4"	179.9
	2001 SF	3"	18.5	13.5"	83.4
CONCRETE SIDEWALK	5685 SF	4" P.C.C.	69.5	4"	69.5
VALLEY GUTTER	814 SF	6" P.C.C.	15.1	8"	20.2
<b>SUMMARY TOTALS (CY)</b>			1234	CLASS II AGGREGATE BASE	214.3
			264.5	ASPHALT CONCRETE	1,712.8
				PORTLAND CEMENT CONCRETE	

- KEYNOTES**
- (A) CONCRETE VALLEY GUTTER PER C.O.P. STD. 205.
  - (B) BIORETENTION BASIN. SEE DETAIL ON SHEET C-15.
  - (C) LANDSCAPE AREA. SEE LANDSCAPE PLANS.
  - (D) DRAINAGE SWALE, TYPICAL. SEE DETAIL SHEET C-15.
  - (E) 1-2 2"x12" RETAINING KICKER BOARDS.
  - (F) LIMITS FLOODWAY AS INDICATED ON FLOOD RATE INSURANCE MAP (F.R.I.M.) COMMUNITY PANEL NUMBER 060379 0982 P. REVISED OCTOBER 2015. THIS AREA IS "ZONE AE".
  - (G) 50' DEVELOPMENT SETBACK FROM TOP OF RIVER BANK.
  - (I) PROPOSED TRANSFORMER LOCATION.
  - (J) MAILBOX CLUSTER, SEE LANDSCAPE PLANS FOR DETAIL.
  - (K) STREET LIGHT PER C.O.P. STD. 602.
  - (L) CONCRETE SIDEWALK PER C.O.P. STD. 203.
  - (M) PUBLIC STREET 3" AC OVER 13.5" CL2 AB.
  - (N) ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.

- NOTES**
1. SEE SHEET C-11 FOR PRELIMINARY UTILITY PLAN.
  2. SEE SHEET C-12 FOR TYPICAL LOT GRADING AND UTILITY DETAILS.
  3. SEE SHEET C-13 FOR SECTIONS.
  4. SEE SHEET C-14 FOR PROFILES.
  5. SEE SHEET C-15 FOR DETAILS.
  6. SEE SHEET C-16 FOR STORM WATER CONTROL & TREATMENT PLAN.



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**LEGEND**

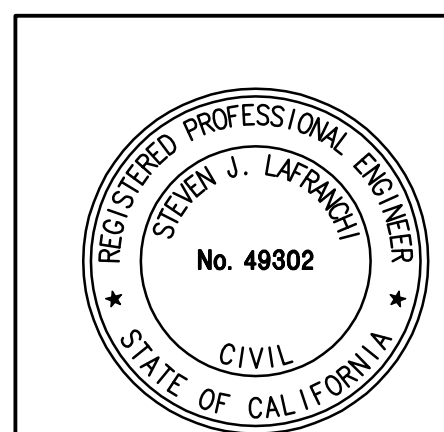
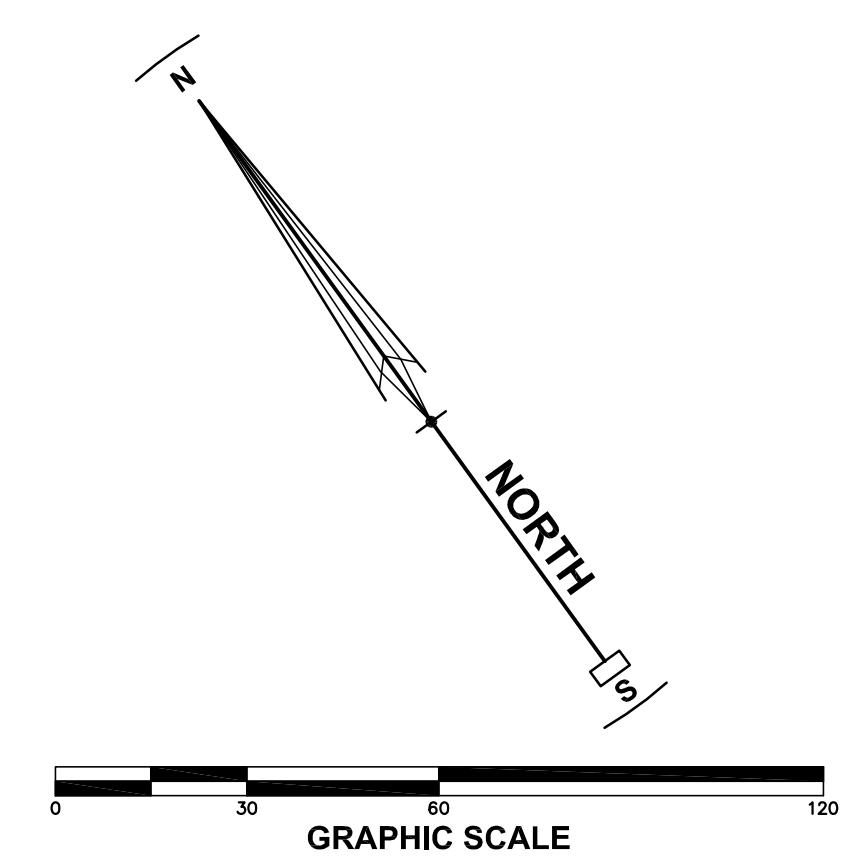
		CONTOUR
		TOE/TOP OF SLOPE
		FENCE
		EXTERIOR PROPERTY LINE
		LOT LINE
		CONCRETE
		CURB & GUTTER
		ASPHALT CONCRETE
		LANDSCAPE AREA
		BIORETENTION/LANDSCAPE AREA
		PUBLIC STORM DRAIN
		PRIVATE STORM DRAIN
		STORM DRAIN MANHOLE
		DROP INLET/TURNING STRUCTURE
		WATER LINE
		JOINT TRENCH
		SANITARY SEWER MANHOLE
		CATCH BASIN
		WATER METER
		DOUBLE CHECK VALVE
		CANOPY (SEE ARBORIST REPORT DATED XXXX FOR TREE INFORMATION)
		TREE TO BE REMOVED
		SURFACE FLOW
		SIGN
		FIRE HYDRANT
		JOINT POLE
		GATE VALVE
		STREET LIGHT
		GUY
		3" UNDERSIDE WALK DRAIN
		OVERFLOW STRUCTURE AT BIORETENTION TRENCH (DROP INLET OR TURNING STRUCTURE)
		TRANSFORMER
		EXTENT OF RIPARIAN CORRIDOR, SEE NOTE 7.

**ABBREVIATIONS**

BOW	BACK OF WALK	OHL	OVERHEAD LINES
CB	CATCH BASIN	W	WATER
CL	CENTERLINE	SS	SANITARY SEWER
DI	DROP INLET	TC	TOP OF CURB
FG	FINISHED GRADE	TW	TOP OF WALL
HP	HIGH POINT	INV/G	INVERT/INVERT GRADE
LID	LOW IMPACT DEVELOPMENT	WM	WATER METER
LP	LOW POINT	WV	WATER VALVE
SSMH	SANITARY SEWER MANHOLE	FH	FIRE HYDRANT
SDMH	STORM DRAIN MANHOLE	SD	STORM DRAIN
TC	TOP OF CURB	SSCO	SANITARY SEWER CLEAN OUT
TG	TOP OF GRATE	LE	LANDSCAPE EASEMENT

- KEYNOTES**
- (A) 50' SETBACK FROM TOP OF BANK.
  - (B) STREET LIGHT PER C.O.P. STD. 602.
  - (C) FIRE HYDRANT PER C.O.P. STD. 857.
  - (D) 3" SIDEWALK UNDERDRAIN PER C.O.P. STD. 404.
  - (E) 4" SANITARY SEWER LATERAL, TYPICAL.
  - (F) WATER METER PER C.O.P. STD. 862, TYPICAL.
  - (G) RESIDENTIAL DOUBLE CHECK VALVE BACK FLOW ASSEMBLY PER C.O.P. STD. 875, TYPICAL.
  - (H) JOINT TRENCH LINE, SEE PLANS BY OTHERS.
  - (I) PEDESTRIAN WALKWAY.
  - (J) 48" SANITARY SEWER MANHOLE PER C.O.P. STD. 500.
  - (K) PROPOSED TRANSFORMER LOCATION.
  - (L) 6" TEE WITH RISER, 12" SQUARE GRATE INLET, TYPICAL.
  - (M) ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.
  - (N) 60" INSIDE DROP MANHOLE PER COP STD. 503.
  - (O) 24"x24" DROP INLET W/ TRAFFIC RATED ADA COMPLIANT GRATE.
  - (P) BYPASS STRUCTURE - SEE DETAIL SHEET.

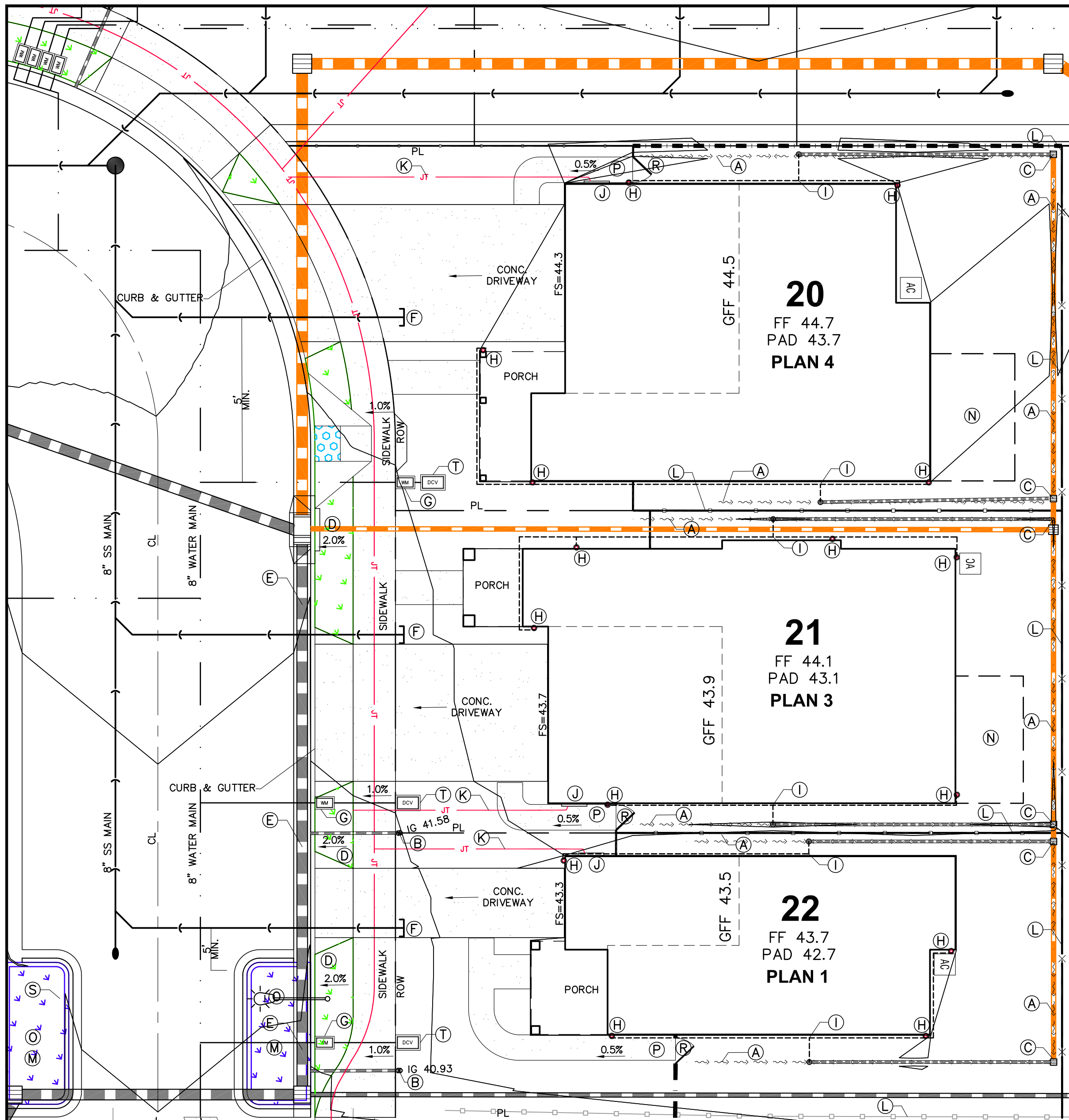
- NOTES**
1. SEE SHEET C-10 FOR PRELIMINARY UTILITY PLAN.
  2. SEE SHEET C-12 FOR TYPICAL LOT GRADING AND UTILITY DETAILS.
  3. SEE SHEET C-13 FOR SECTIONS.
  4. SEE SHEET C-14 & C-15 FOR PROFILES.
  5. SEE SHEET C-16 FOR DETAILS.
  6. SEE SHEET C-17 FOR STORM WATER CONTROL & TREATMENT PLAN.
  7. RIPARIAN CORRIDOR LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY ANALYTICAL ENVIRONMENTAL SERVICES ON FEBRUARY 2019.



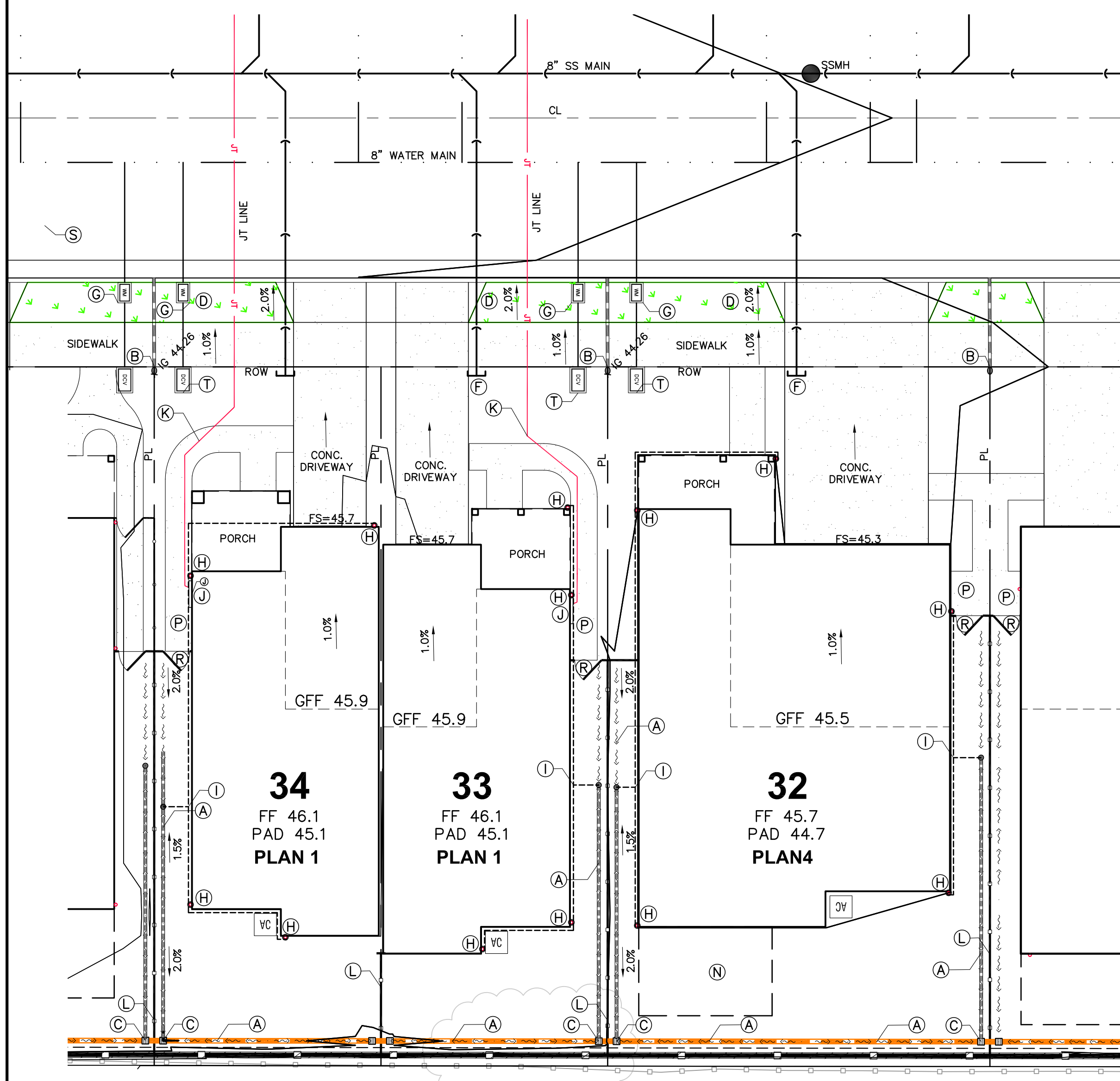
**PRELIMINARY UTILITY PLAN**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

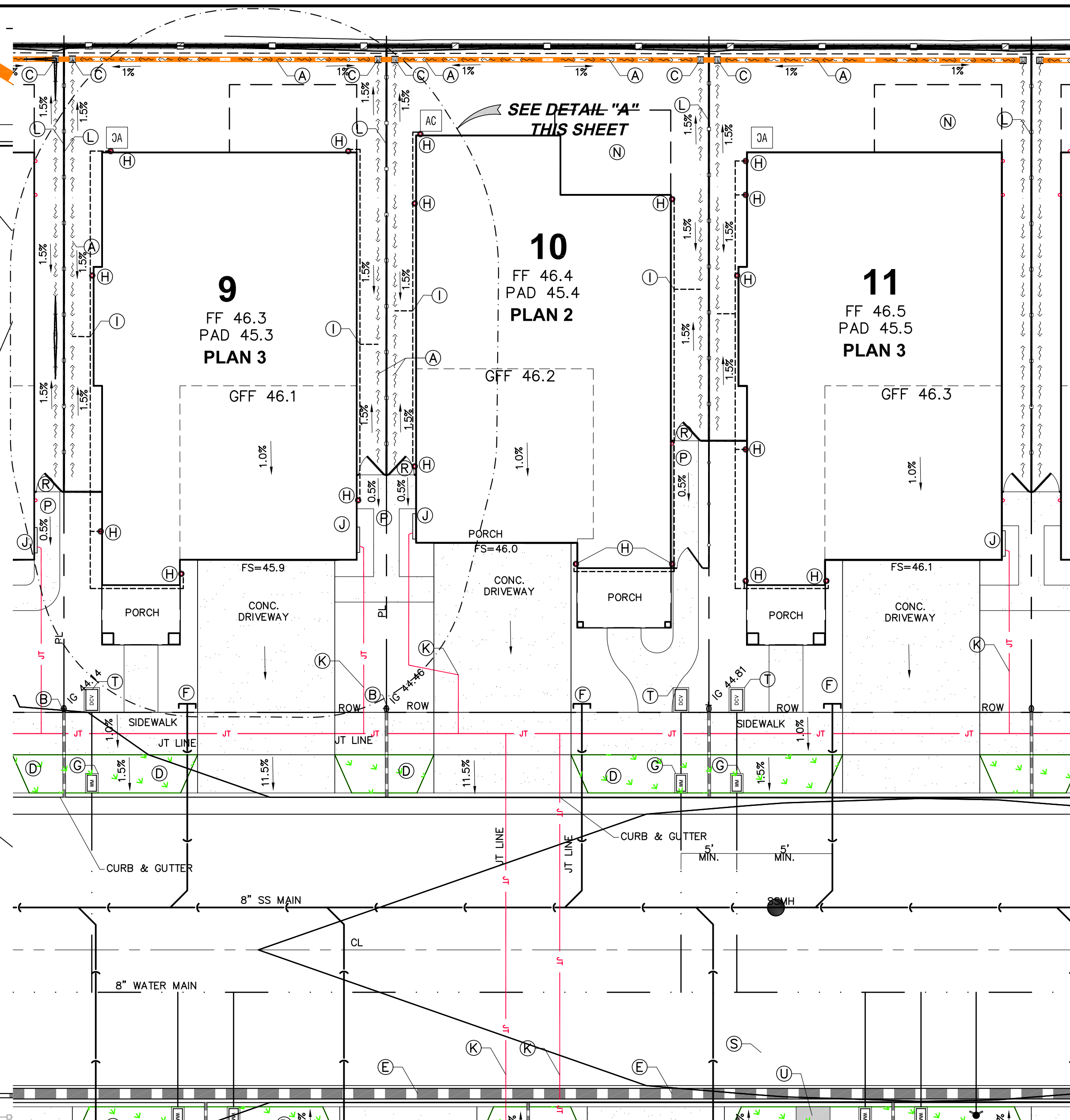
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 DRAWING: CRK HSM JTG  
 CHECK: S.J.L.  
 JOB: DRG CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-11**  
 OF 24 SHEETS



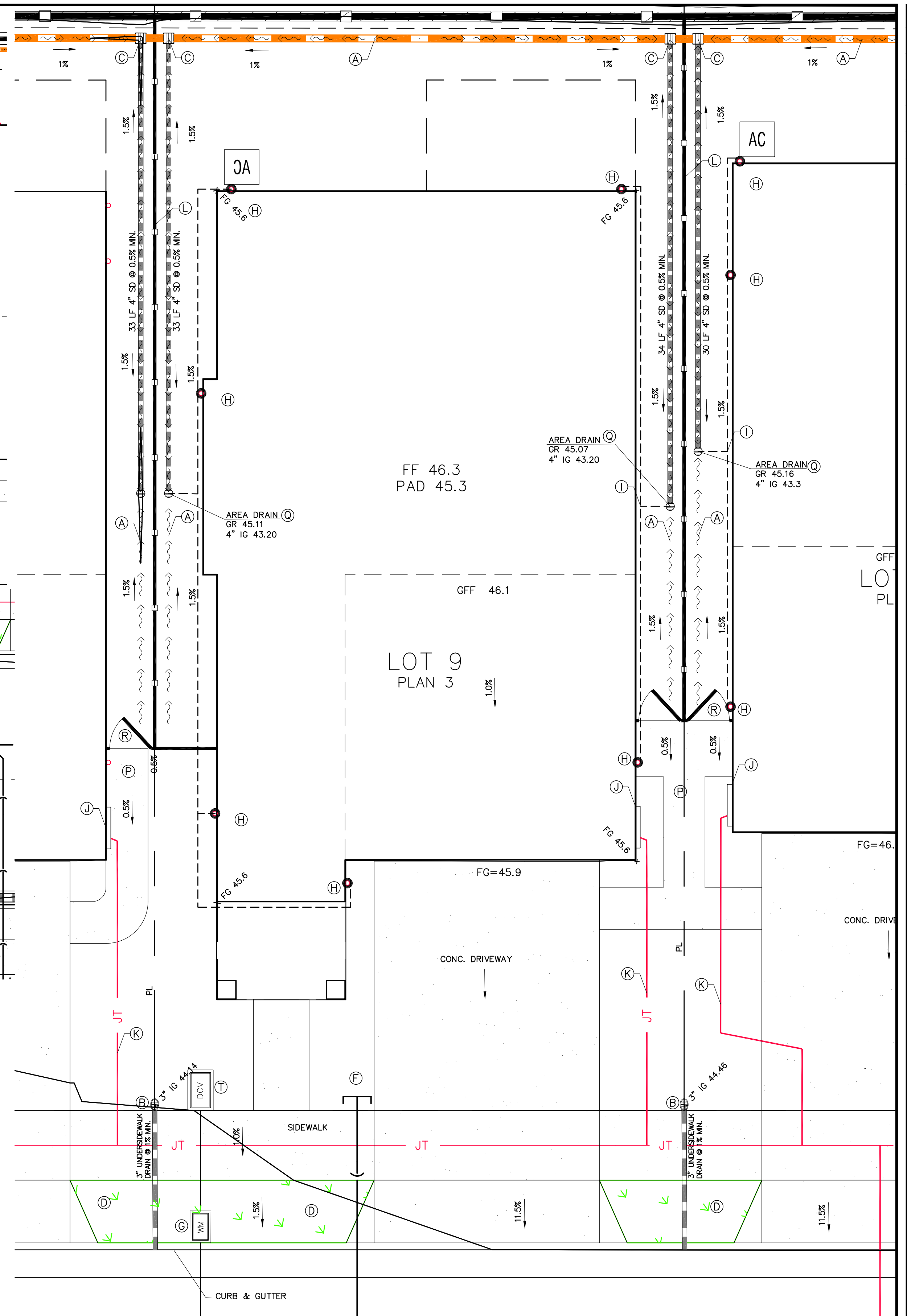
**LOTS 20, 21, 22**  
SCALE: 1"=10'



**LOTS 32, 33, 34**  
SCALE: 1"=10'



**LOTS 9, 10, 11, 26, 27**  
SCALE: 1"=10'



**DETAIL "A"**  
SCALE: 1"=5'

**ABBREVIATIONS**

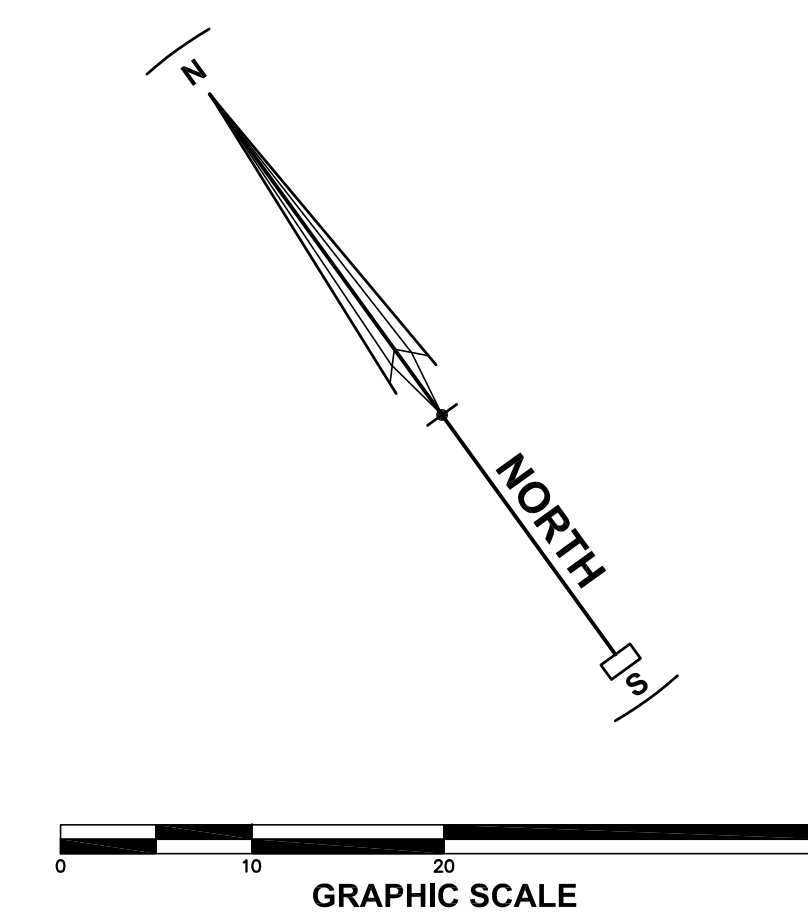
- AC ASPHALTIC CONCRETE
- APN ASSESSOR PARCEL NUMBER
- BLDG BUILDING
- BOW BACK OF WALK
- CL CENTERLINE
- CONC CONCRETE
- EX EXISTING
- FG FINISH GRADE
- FF FINISHED FLOOR
- FL FLOWLINE
- G GAS
- GFF GARAGE FINISH FLOOR
- HP HIGH POINT
- IG INVERT GRADE
- JP JOINT POLE
- JT JOINT TRENCH
- LP LOW POINT
- LU OVERHEAD UTILITIES
- PL PROPERTY LINE
- PVC POLYVINYL CHLORIDE
- SS SANITARY SEWER
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- W WATER

**KEYNOTES**

- (A) DRAINAGE SWALE @ 1.0% MIN. SLOPE. (FOR SURFACE DRAINAGE COLLECTION ONLY) OUTLET TO STORM DRAIN SYSTEM IN REAR OF LOT.
- (B) 3" UNDERSIDEWALK DRAIN
- (C) 4-WAY TEE WITH RISER AND 12" GRATE
- (D) PLANTER STRIP. SEE LANDSCAPE PLANS.
- (E) 15" SOLID PIPE TO CATCH BASIN OR APPROPRIATE DISCHARGE POINT.
- (F) 4" SANITARY SEWER LATERAL.
- (G) DOMESTIC WATER METER PER C.O.P. STD. 862.
- (H) DOWNSPOUTS. SEE ARCH PLANS FOR FINAL LOCATIONS.
- (I) 4" DOWNSPOUT COLLECTOR PIPE TO OUTLET STORM DRAIN SYSTEM AT REAR OF LOT. SEE DETAILS SHEET C-16.
- (J) GAS AND ELECTRICAL METERS, TYPICAL
- (K) GAS AND ELECTRIC SERVICES. SEE JT PLANS BY OTHERS.
- (L) FENCELINE. SEE LANDSCAPE PLANS. INSTALL KICKERBOARD IF THE FINISH GROUND ELEVATION DIFFERENCE BETWEEN ADJOINING LOTS IS 6" OR GREATER.
- (M) BASIN RETENTION AREA OR FACILITY. SEE SHEET C-16 FOR DETAILS.
- (N) "OPTIONAL" CALIFORNIA ROOM. SEE ARCHITECTURAL PLANS.
- (O) CURB POP OUT FOR BIO RETENTION BASIN AND LANDSCAPING.
- (P) SIDEYARD ACCESS PATH. SEE LANDSCAPE PLANS.
- (Q) 4" IN-LINE DRAINS, DROP-IN GRATES AND PVC FITTINGS BY NYLOPLAST OR APPROVED EQUIVALENT.
- (R) YARD GATE. SEE LANDSCAPE PLANS.
- (S) STREET LIGHT PER C.O.P. STD. 602 & 605.
- (T) WATER LINE DOUBLE CHECK VALVE PER C.O.P. STD. 875.
- (U) MAILBOX CLUSTER. SEE LANDSCAPE PLANS.

**NOTES**

1. SEE SHEET C-10 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
2. SEE SHEET C-11 FOR PRELIMINARY UTILITY PLAN
3. SEE SHEET C-13 FOR SECTIONS.
4. SEE SHEET C-14 & C-15 FOR PROFILES.
5. SEE SHEET C-16 FOR DETAILS
6. SEE SHEET C-17 FOR STORM WATER CONTROL & TREATMENT PLAN



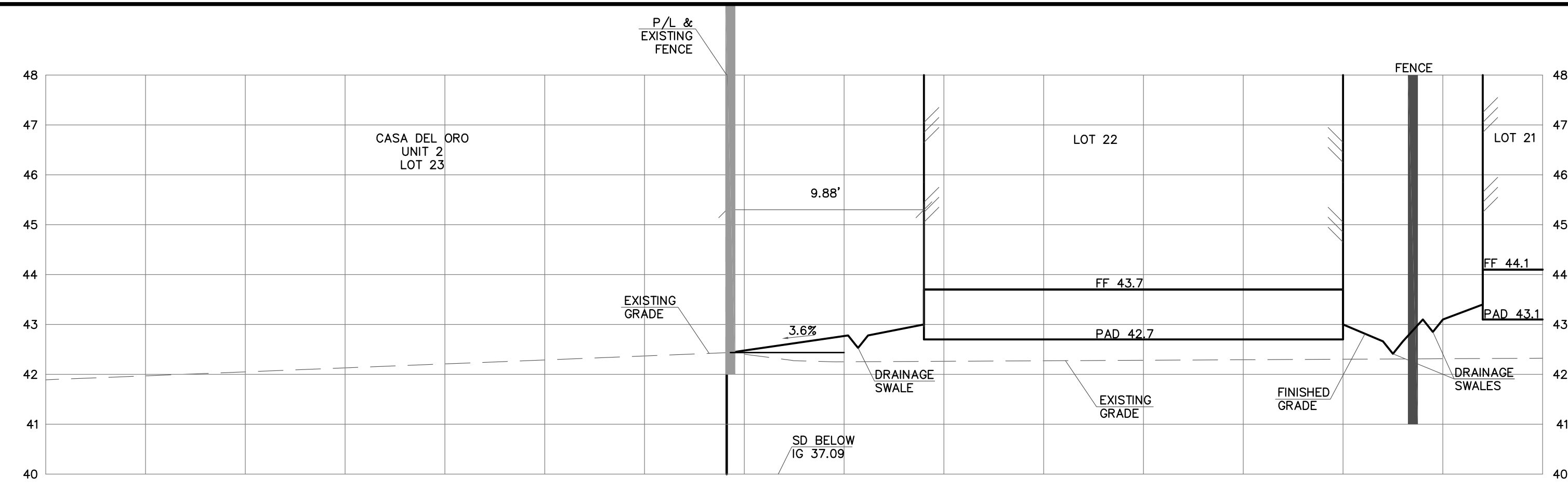
REVISIONS	BY

**TYPICAL LOT GRADING & UTILITY**  
CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

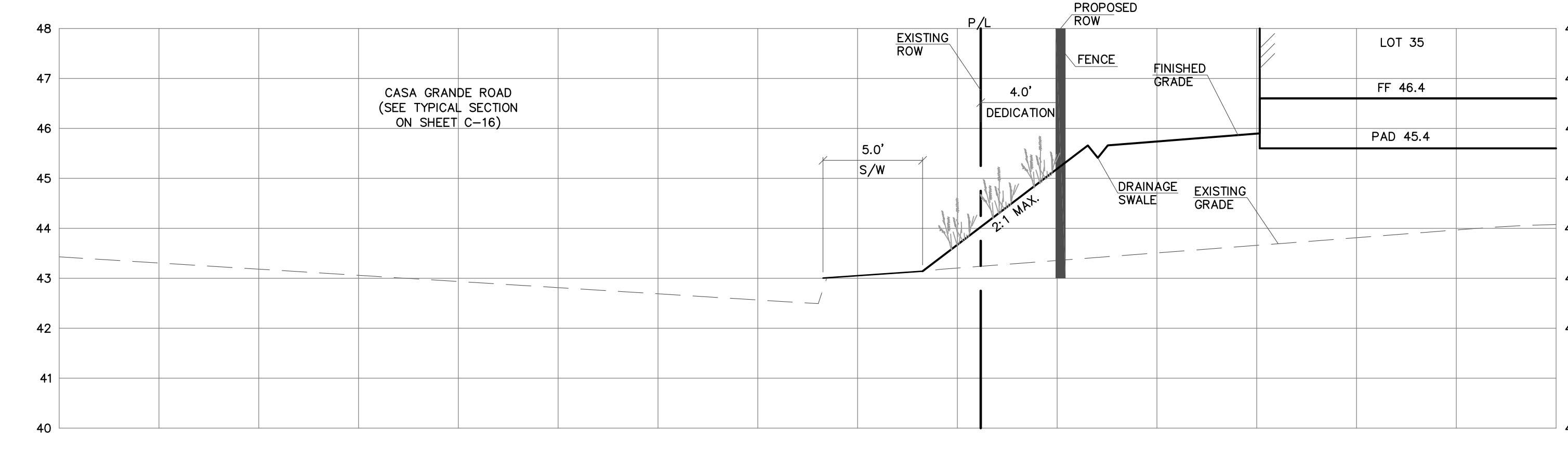
**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
CIVIL ENGINEERS - LAND SURVEYORS  
LAND PLANNERS - LANDSCAPE ARCHITECTS  
PETALUMA THEATRE SQUARE  
PETALUMA, CALIFORNIA 94952  
(707) 762-3122 FAX (707) 762-3239



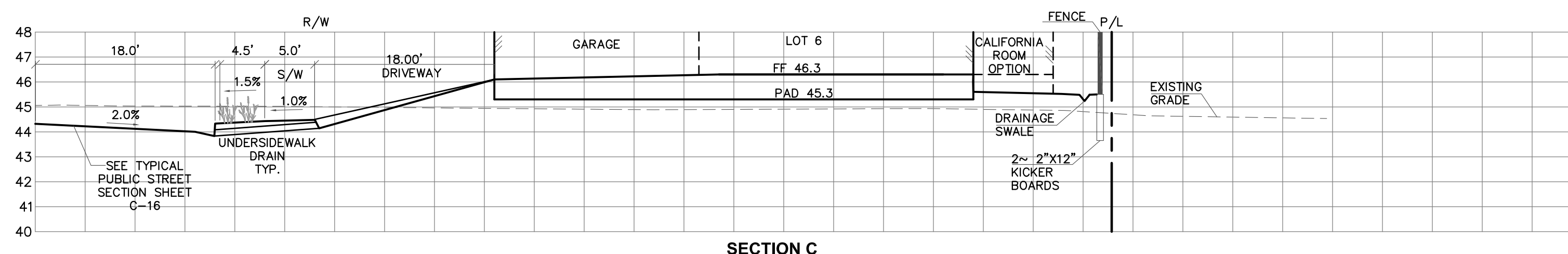
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DRAWING: CRK HSM JTG  
CHECK: S.J.L.  
JOB: DRG CASA GRANDE  
JOB No: 182029  
SHEET  
**C-12**  
OF 24 SHEETS



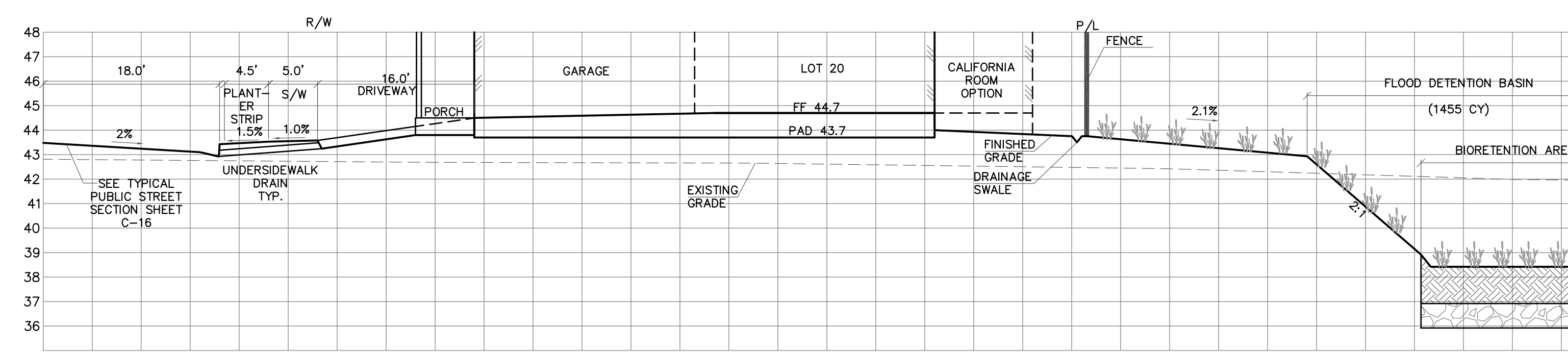
SECTION A  
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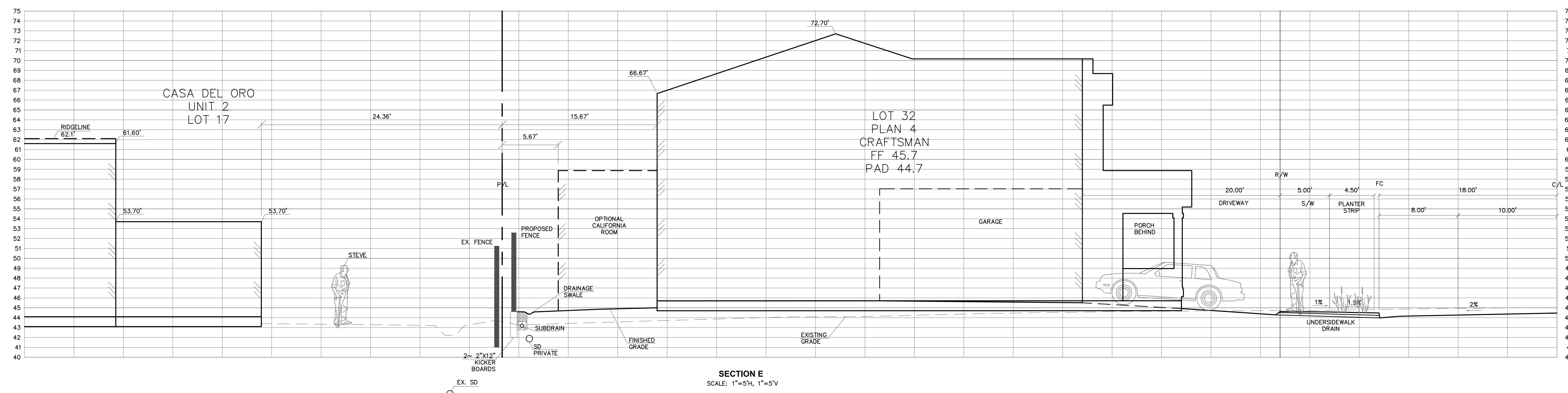
SECTION B  
SCALE: 1"=5'H, 1"=2'V



SECTION C  
SCALE: 1"=10'H, 1"=4'V



SECTION D  
SCALE: 1"=10'H, 1"=4'V



SECTION E  
SCALE: 1"=5'H, 1"=5'V

NOTES

1. SEE SHEET C-10 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
2. SEE SHEET C-12 FOR TYPICAL LOT GRADING AND UTILITY DETAILS.
3. SEE SHEET C-14 & C-15 FOR PROFILES.
4. SEE SHEET C-16 FOR DETAILS.
5. SEE SHEET C-17 FOR STORM WATER CONTROL & TREATMENT PLAN.
6. SEE LANDSCAPE PLANS FOR FENCE DETAILS.

REVISIONS	BY

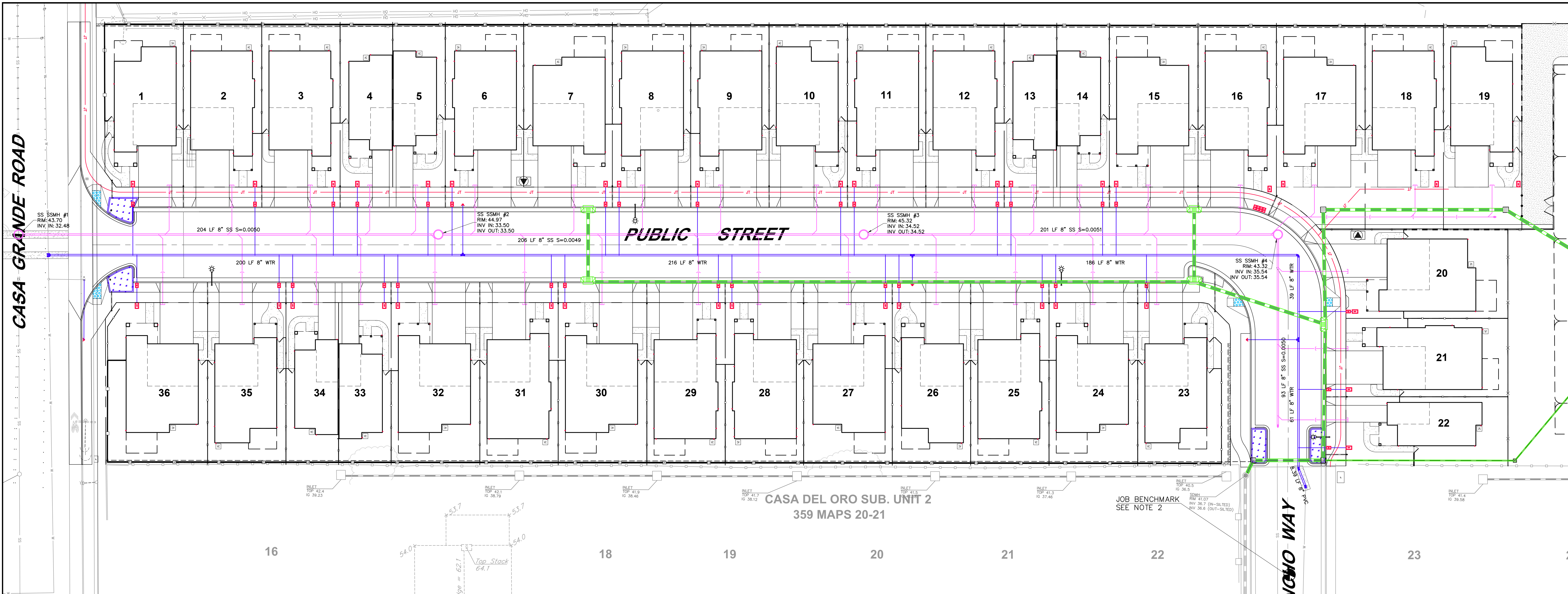
SECTIONS  
CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
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PETALUMA THEATRE SQUARE  
PETALUMA, CALIFORNIA 94952  
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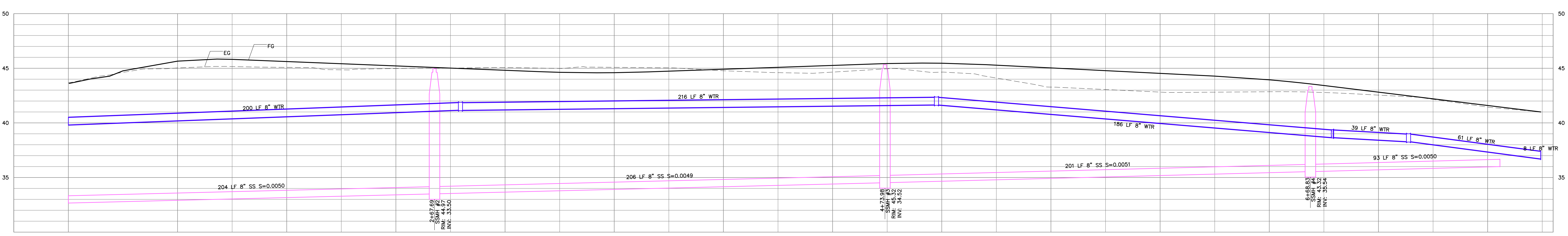
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DESIGN: S.J.L. ADF  
DRAWN: CRK HSM JTG  
CHECK: S.J.

JOB: DRG CASA GRANDE  
JOB No: 182029  
SHEET  
**C-13**  
OF 24 SHEETS



CASA DEL ORO SUB. UNIT 2  
359 MAPS 20-21

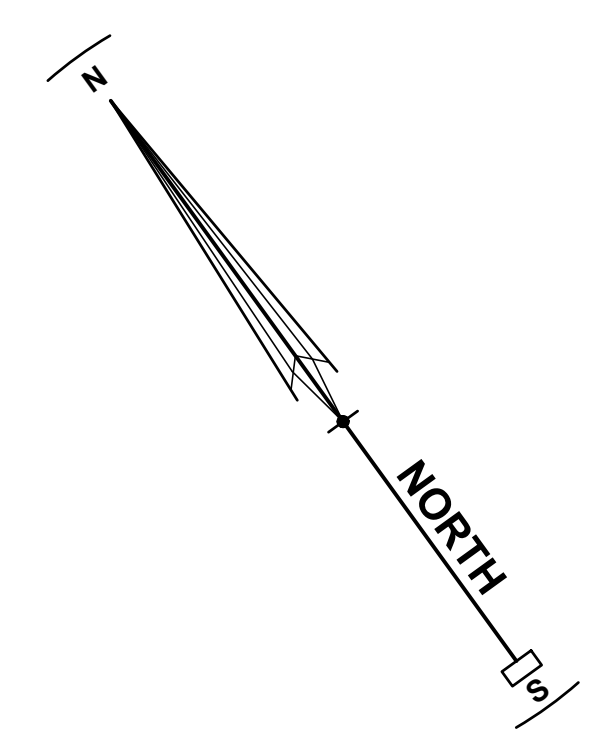
JOB BENCHMARK  
SEE NOTE 2



SANITARY SEWER AND WATER PROFILE  
SCALE: 1"=20' H, 1"=4' V

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	EXTERIOR PROPERTY LINE
- - - - -	- - - - -	LOT LINE
- - - - -	- - - - -	PUBLIC STORM DRAIN
○	○	STORM DRAIN MANHOLE
□	□	DROP INLET/TURNING STRUCTURE
- - - - -	- - - - -	WATER LINE
- - - - -	- - - - -	JOINT TRENCH
○	○	SANITARY SEWER MANHOLE
□	□	CATCH BASIN
□	□	WATER METER
□	□	DOUBLE CHECK VALVE
○	○	FIRE HYDRANT
○	○	JOINT POLE
○	○	GATE VALVE
○	○	STREET LIGHT
○	○	GUY WIRE
- - - - -	- - - - -	3" UNDERSIDEWALK DRAIN
○	○	OVERFLOW STRUCTURE AT BIORETENTION TRENCH (AREA DRAIN)
○	○	TRANSFORMER



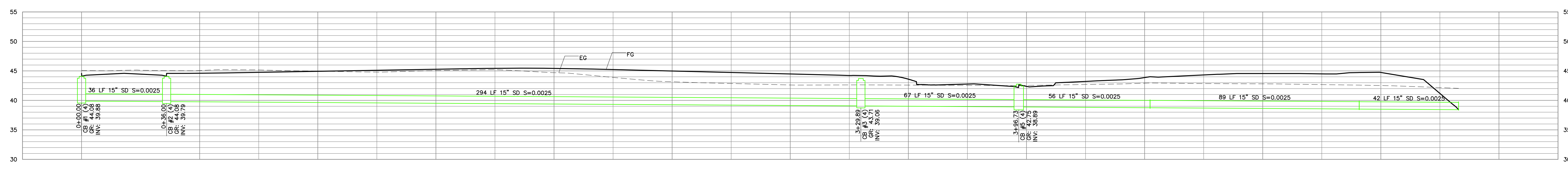
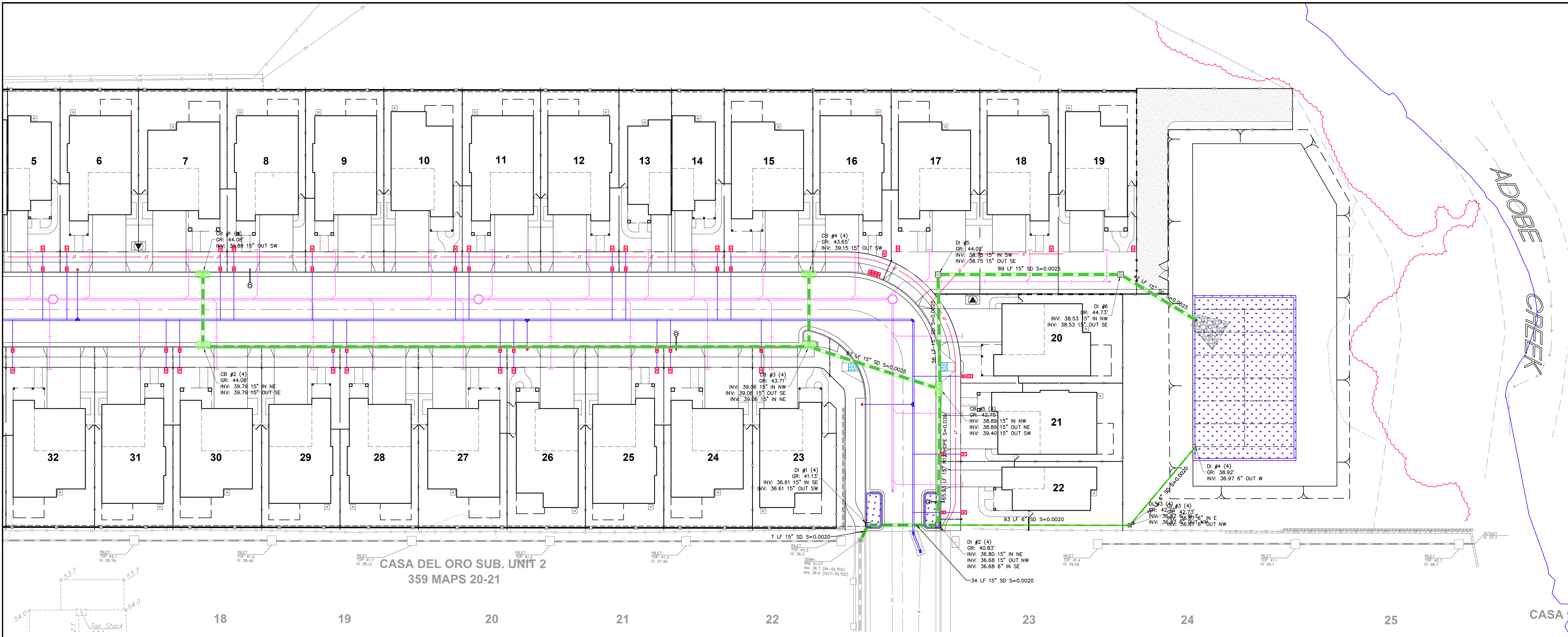
REVISIONS BY


**SEWER AND WATER PLAN AND PROFILE**  
CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

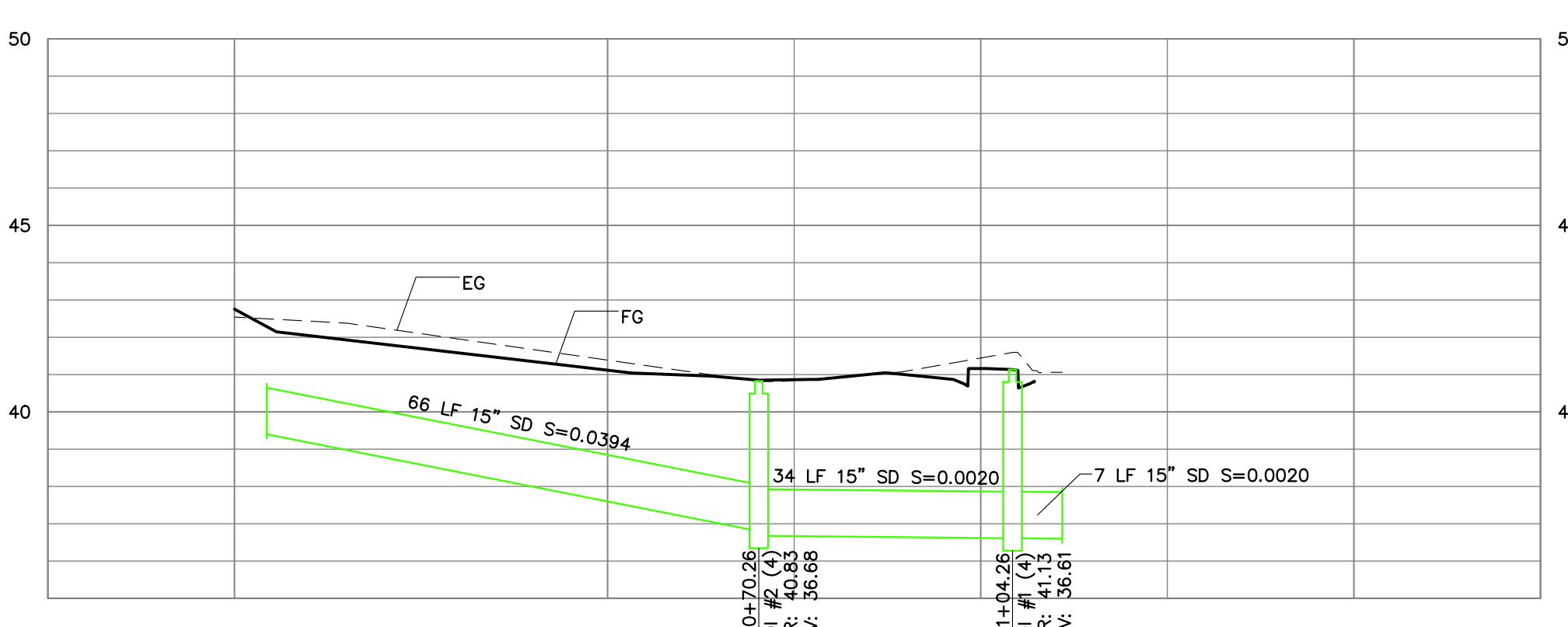
STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
CIVIL ENGINEERS - LAND SURVEYORS  
LAND PLANNERS - LANDSCAPE ARCHITECTS  
140 SECOND STREET, SUITE 312  
PETALUMA, CALIFORNIA 94952  
(707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
SCALE: 1"=30'  
DESIGN: S.J., ADF  
DRAWN: CRK HSM JTG  
CHECK: S.J.  
JOB: DRG CASA GRANDE  
JOB No: 182029  
SHEET  
**C-14**  
OF 24 SHEETS

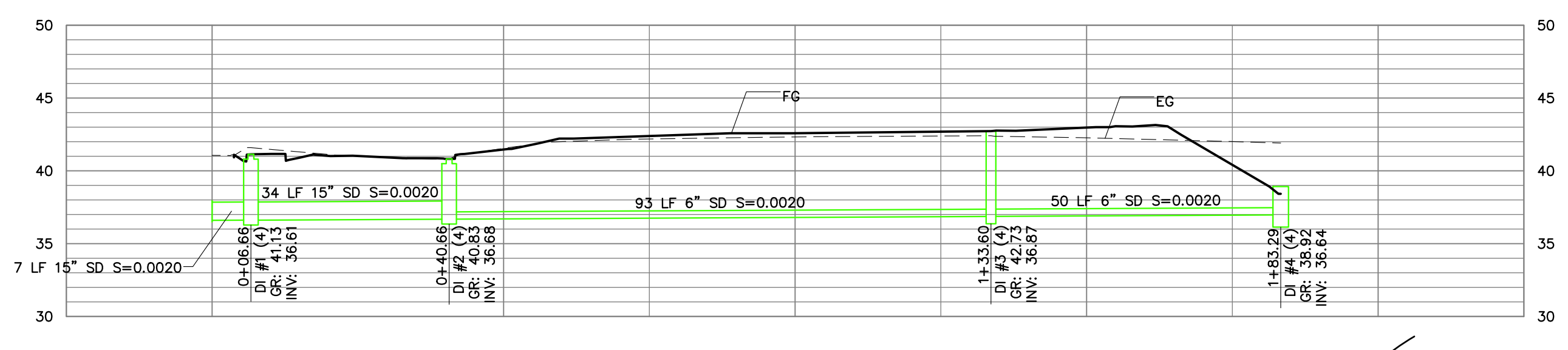
REVISIONS	BY



STORM DRAIN PROFILE 2 (1)  
SCALE: 1"=20' H, 1"=8' V

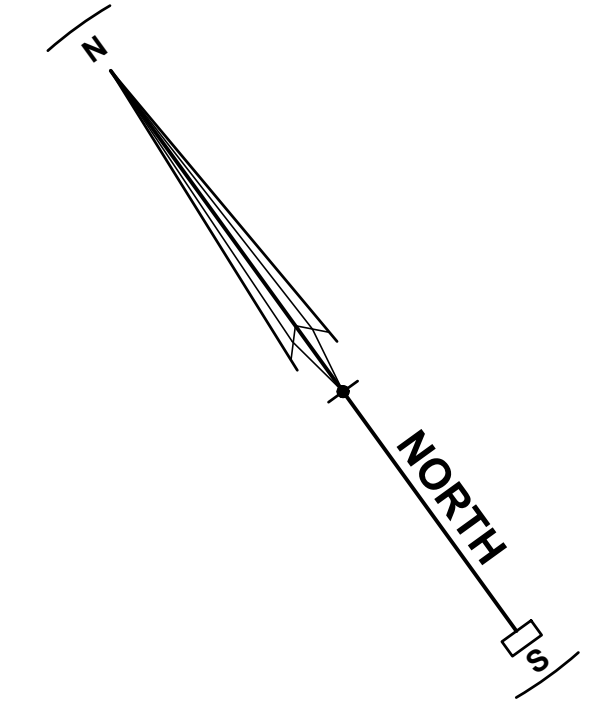


SD BYPASS PROFILE  
SCALE: 1"=20' H, 1"=4' V



Basin Drain Profile (2)  
SCALE: 1"=20' H, 1"=8' V

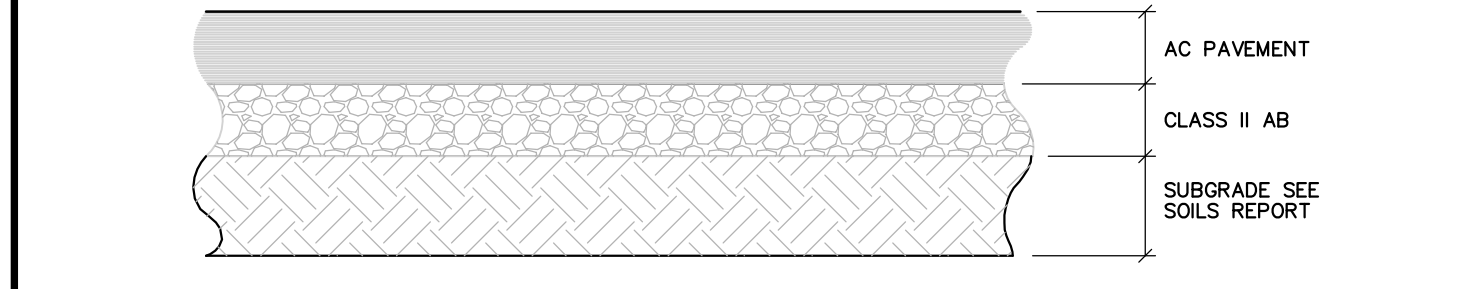
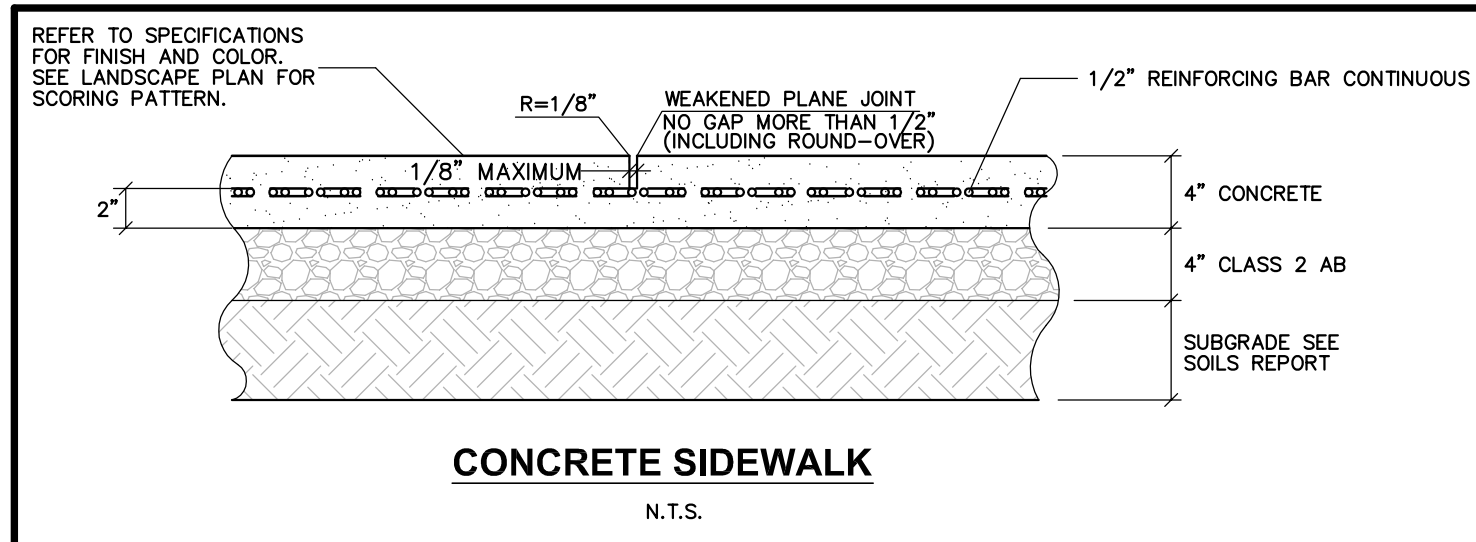
- LEGEND**
- |  |  |                                 |  |
|--|--|---------------------------------|--|
|  |  | EXISTING EXTERIOR PROPERTY LINE | PROPOSED EXTERIOR PROPERTY LINE                        |
|  |  | EXISTING LOT LINE               | PROPOSED LOT LINE                                      |
|  |  | PUBLIC STORM DRAIN              | STORM DRAIN MANHOLE                                    |
|  |  | DROP INLET/TURNING STRUCTURE    | WATER LINE   |
|  |  | JOINT TRENCH                    | SANITARY SEWER MANHOLE                                 |
|  |  | CATCH BASIN                     | WATER METER  |
|  |  | DOUBLE CHECK VALVE              | FIRE HYDRANT   |
|  |  | STREET LIGHT                    | GUY WIRE   |
|  |  | 3" UNDERSIDE DRAIN              | OVERFLOW STRUCTURE AT BIORETENTION TRENCH (AREA DRAIN) |
|  |  | TRANSFORMER                     |  |



**STORM DRAIN PLAN AND PROFILES**  
CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
CIVIL ENGINEERS - LAND SURVEYORS  
LAND PLANNERS - ARCHITECTS  
148 SECOND STREET, SUITE 312  
PETALUMA, CALIFORNIA 94952  
(707) 762-3122 FAX (707) 762-3239

DATE: 2020.06.08  
SCALE: 1"=30'  
DESIGN: S.L., ADF  
DRAWN: CRK HSM JTG  
CHECK: S.L.  
JOB: DRG CASA GRANDE  
JOB No: 182029  
SHEET  
**C-15**  
OF 24 SHEETS

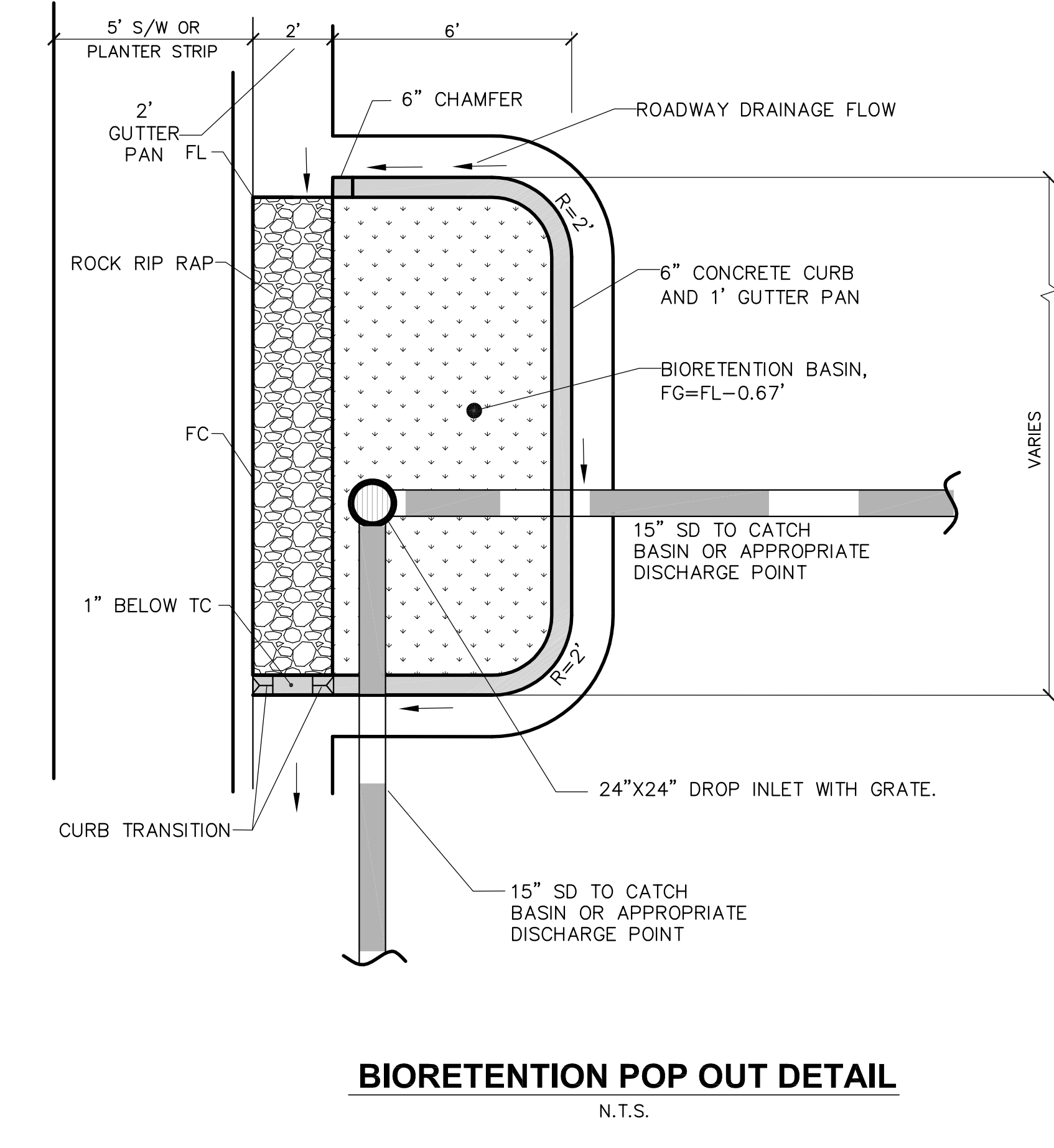
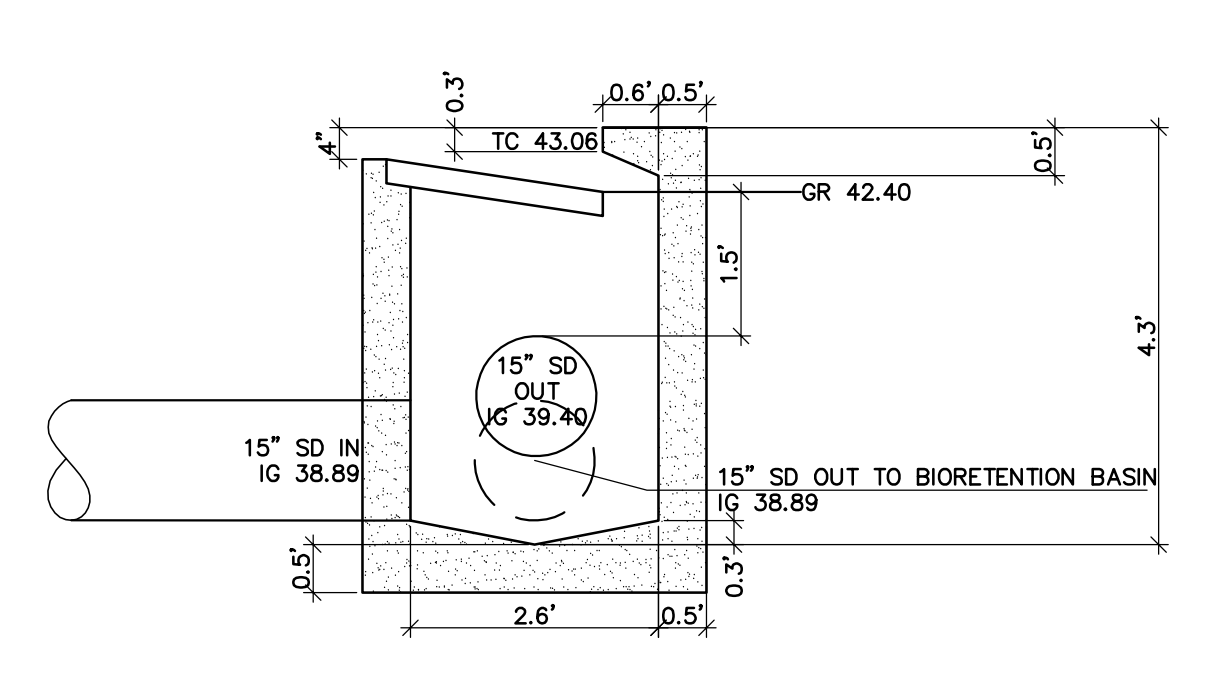
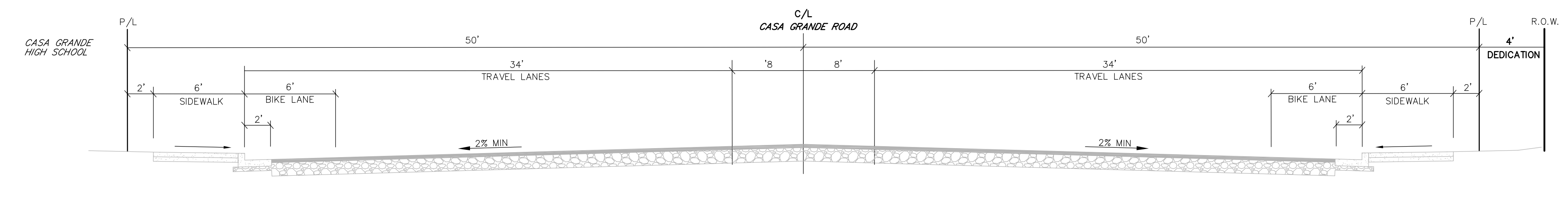
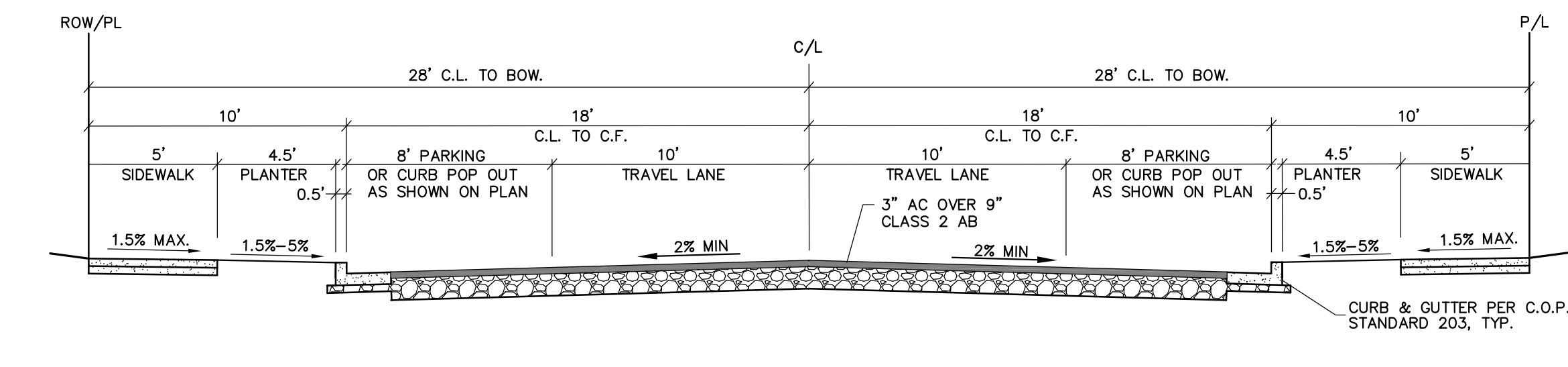
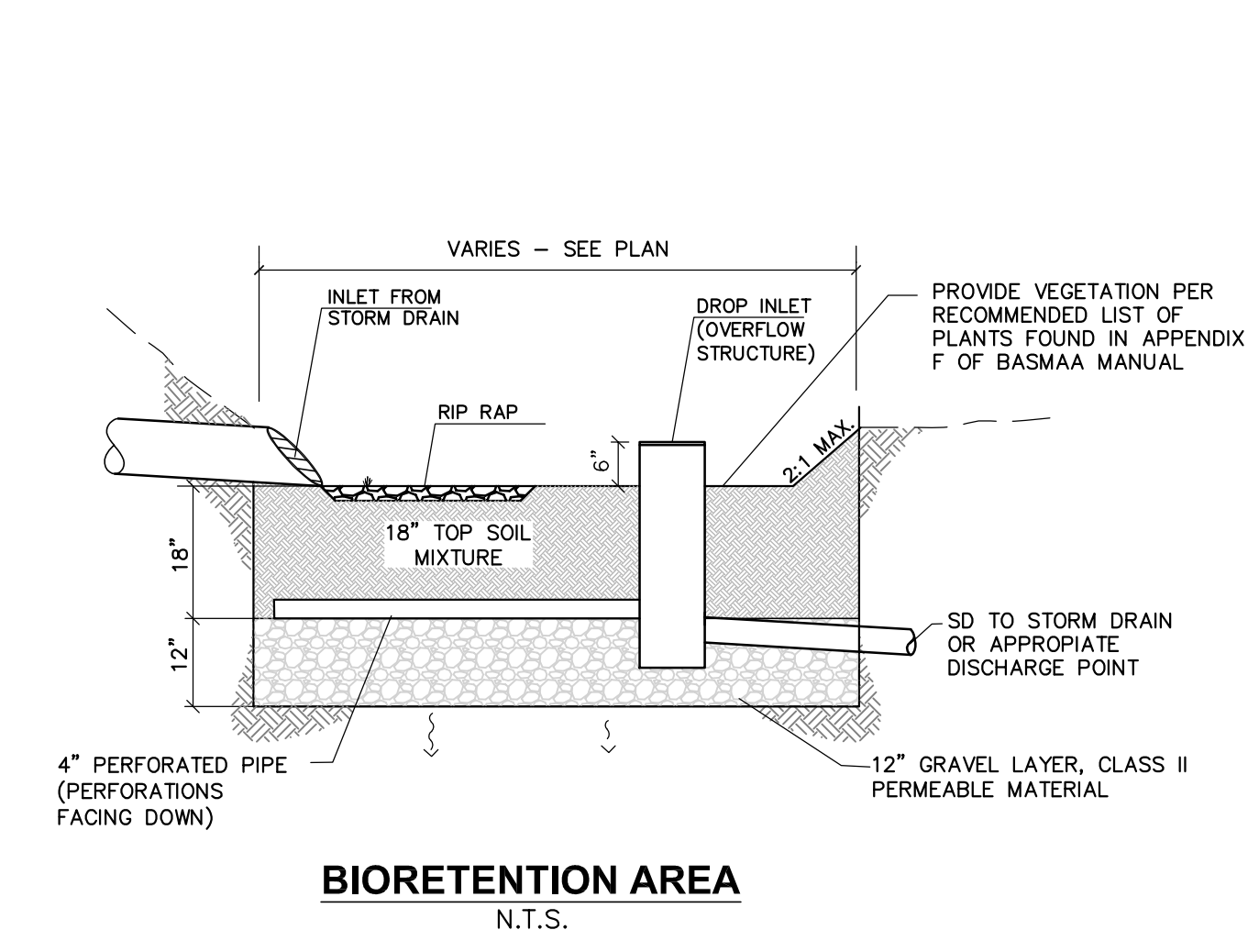
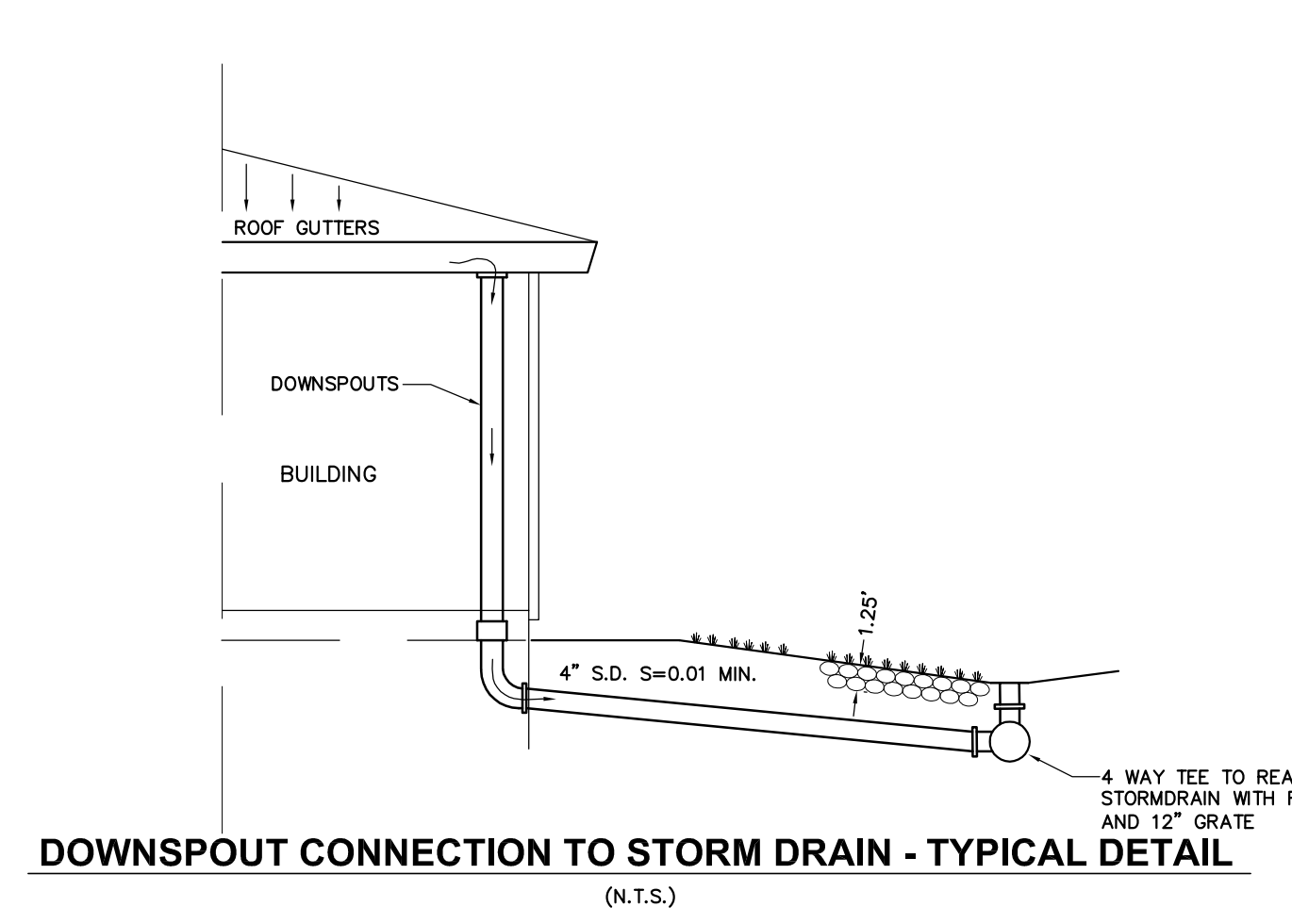
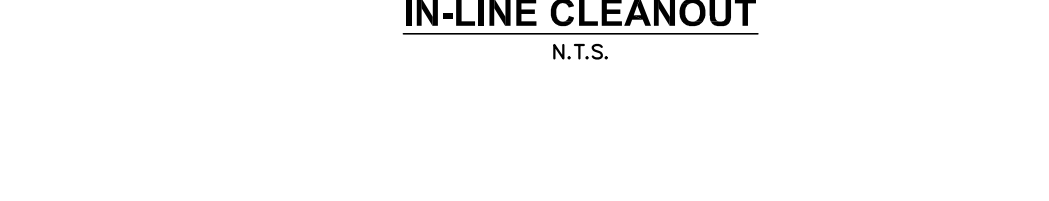
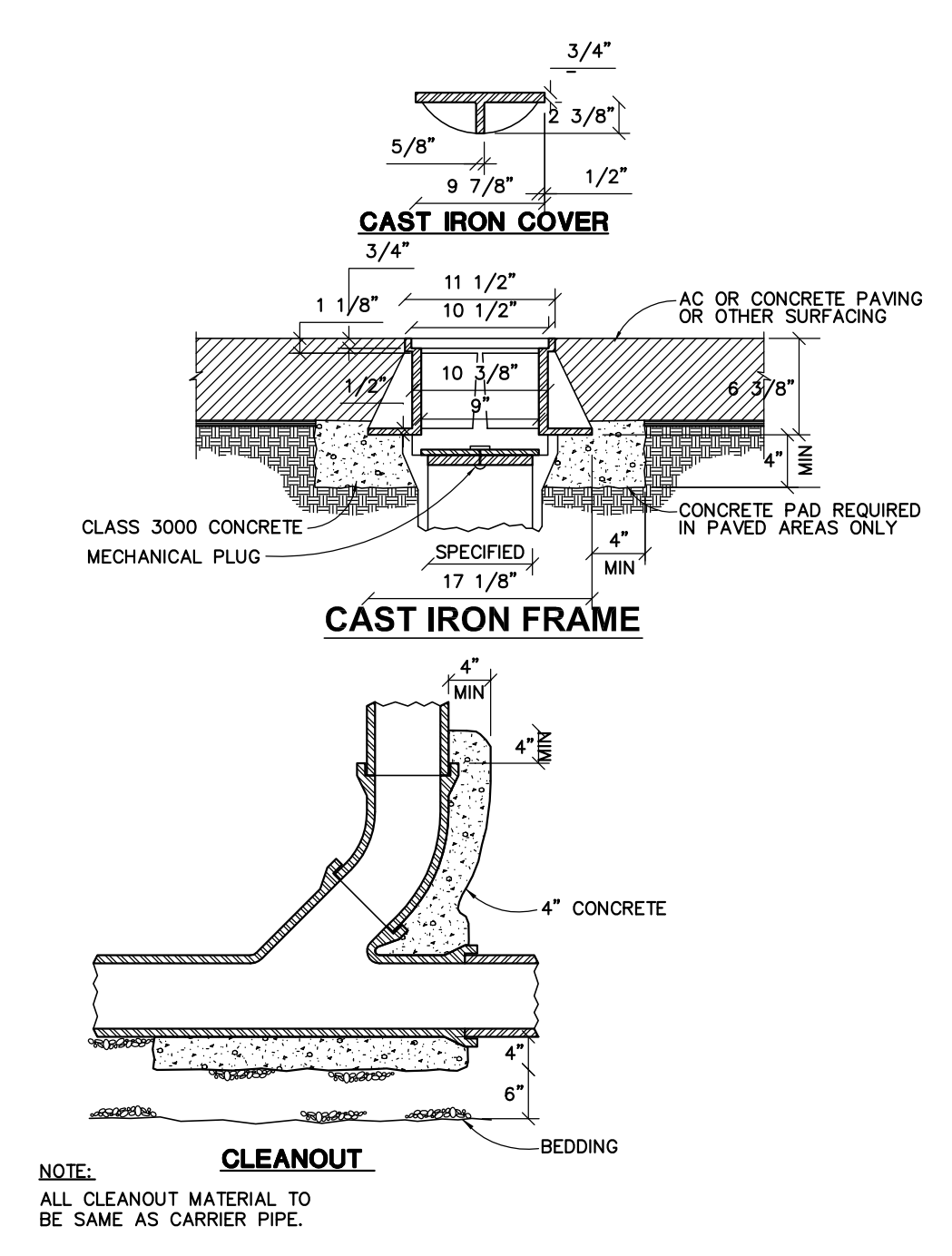
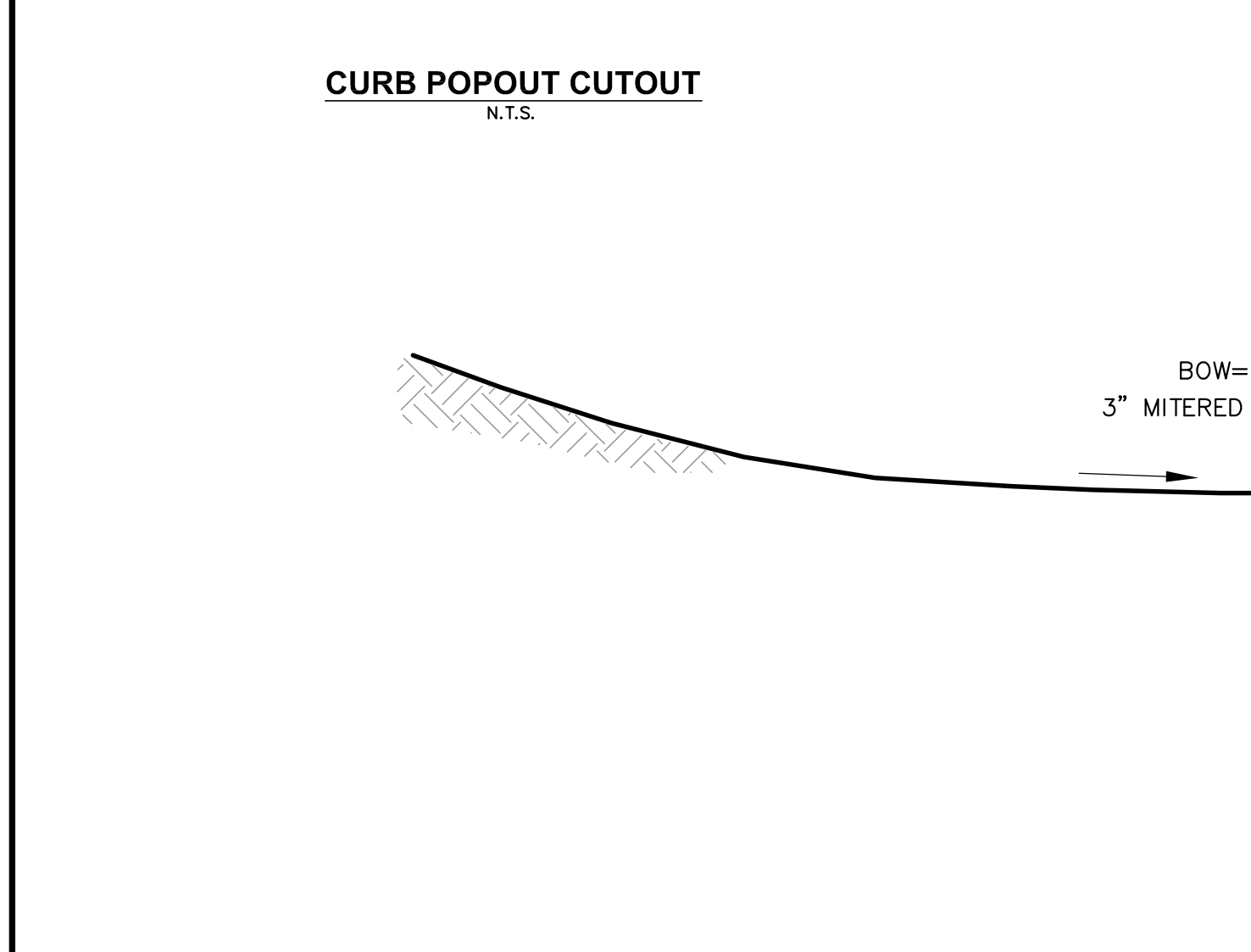
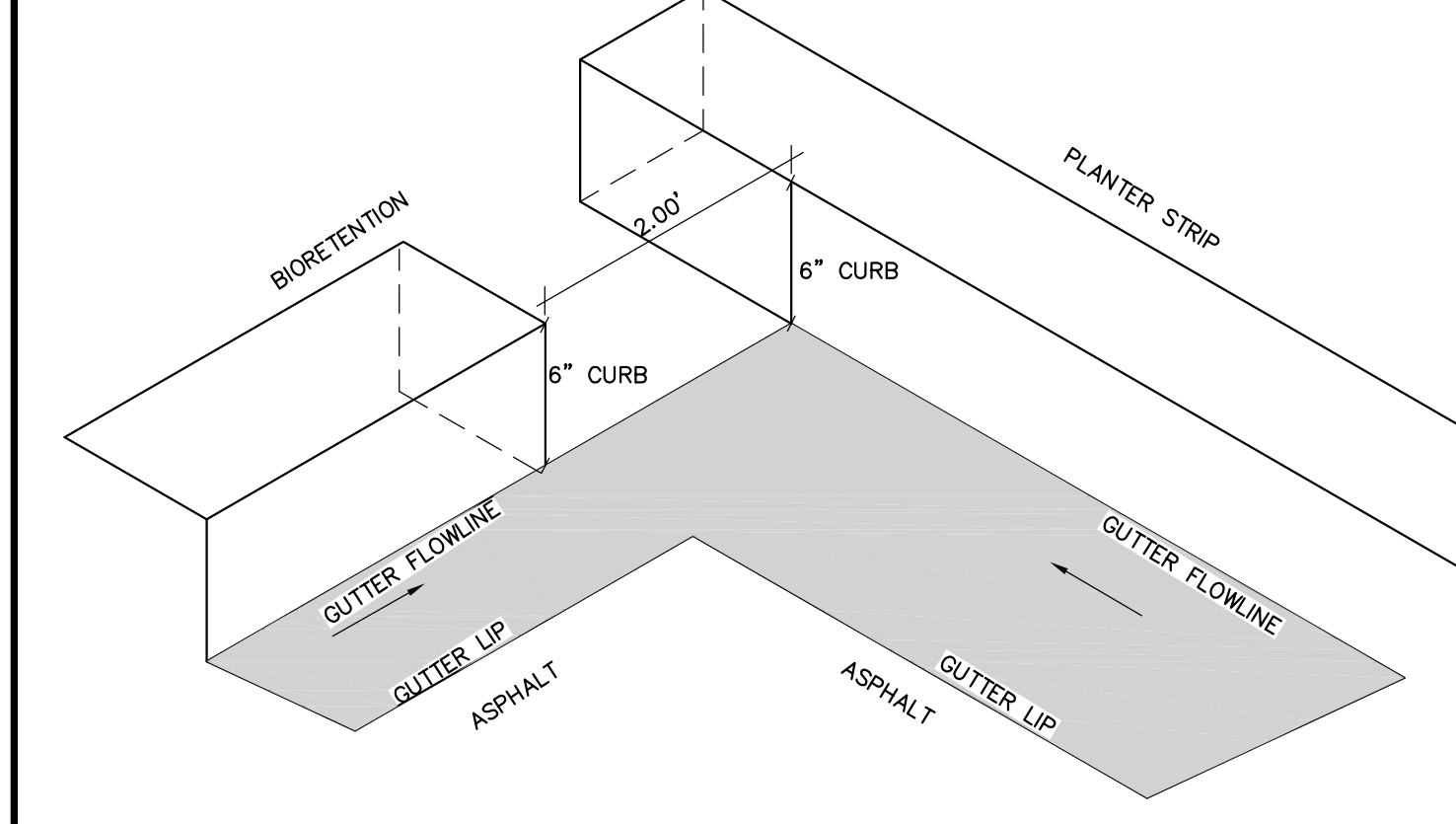
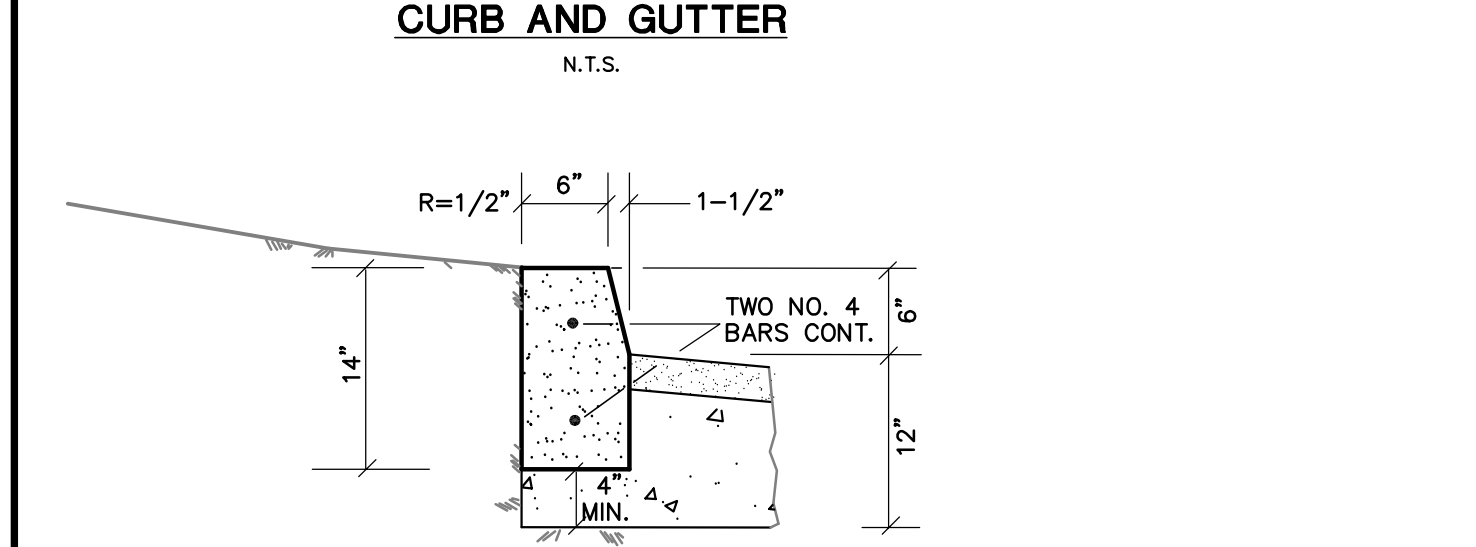
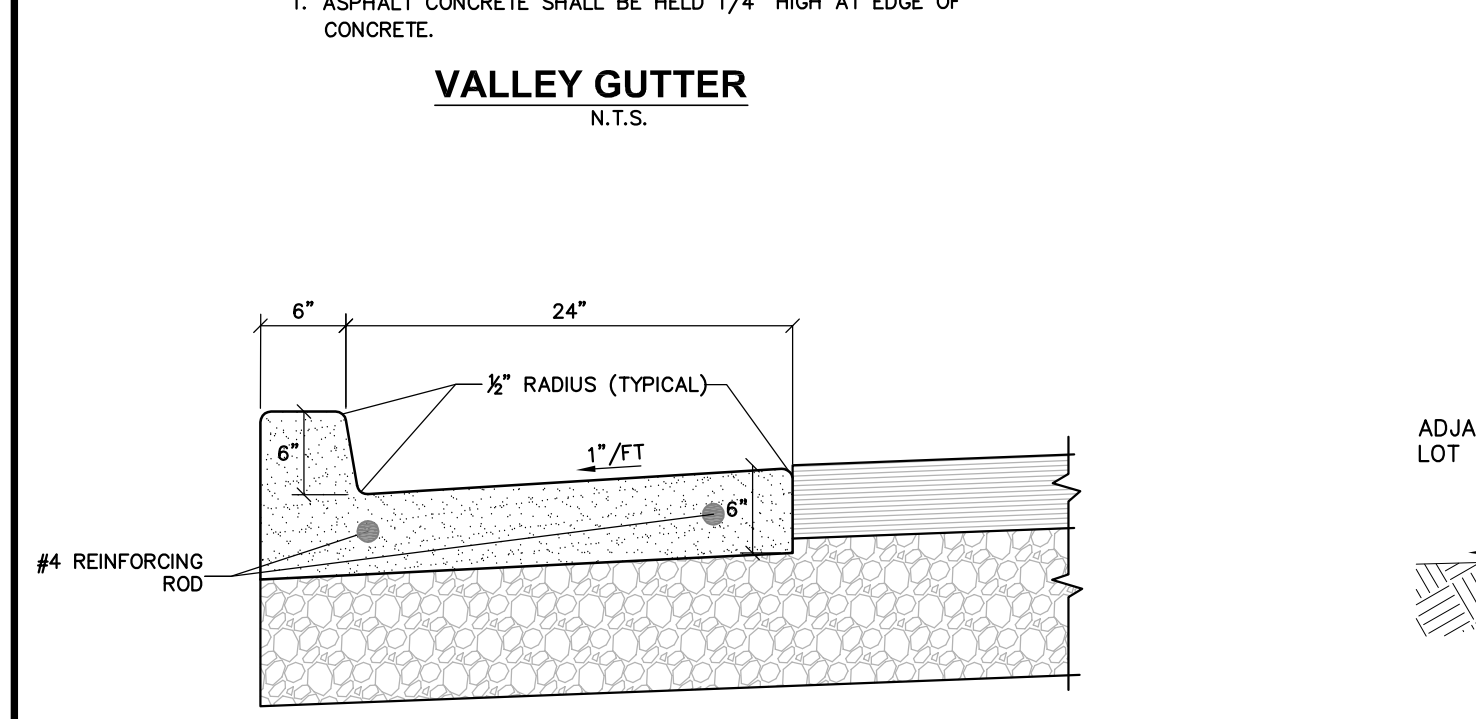
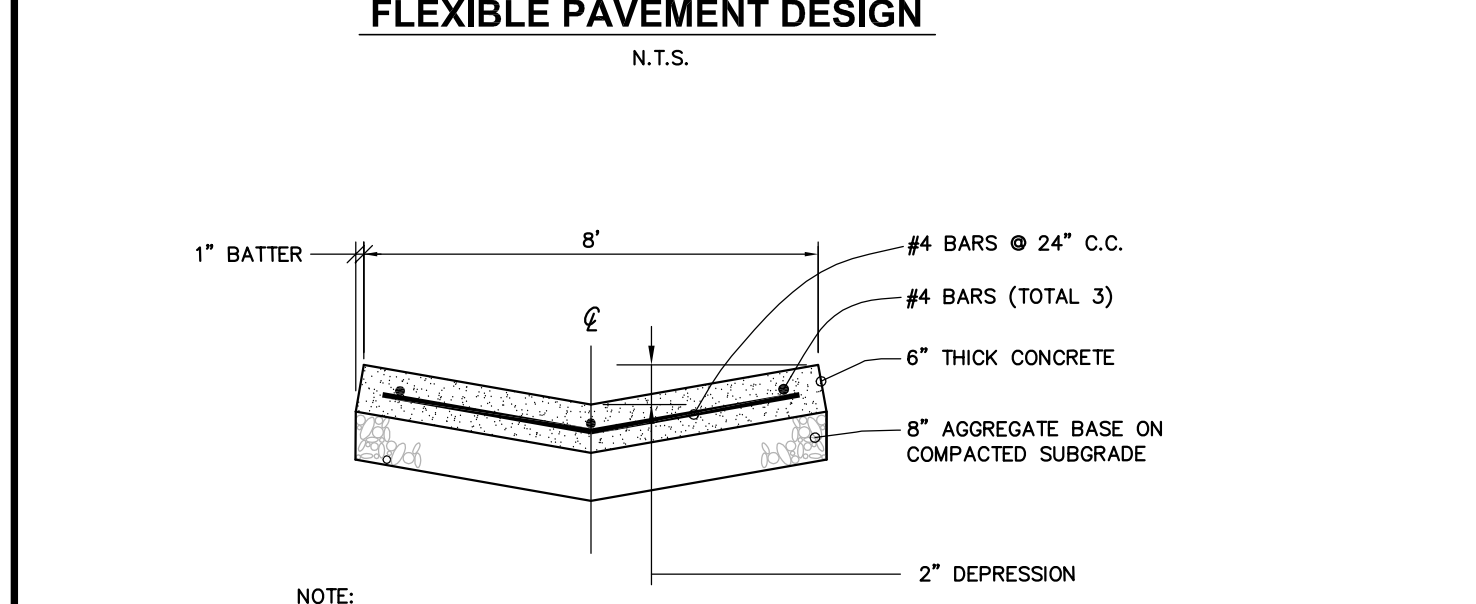


REFER TO SPECIFICATIONS FOR FINISH AND COLOR. SEE LANDSCAPE PLAN FOR SCORING PATTERN.

THE FOLLOWING INFORMATION IS BASED ON THE RECOMMENDATIONS AS EXPRESSED IN THE GEOTECHNICAL INVESTIGATION PREPARED BY MILLER PACIFIC ENGINEERING GROUP.

PARKING AND ACCESS AREAS	A.C.	CL. 2 A.B.
	4"	12"
HEAVY TRUCK ACCESS	4.5"	16"

CONTRACTOR SHALL REFER TO SAID GEOTECHNICAL INVESTIGATION FOR DETAILED INFORMATION.



REVISIONS	BY

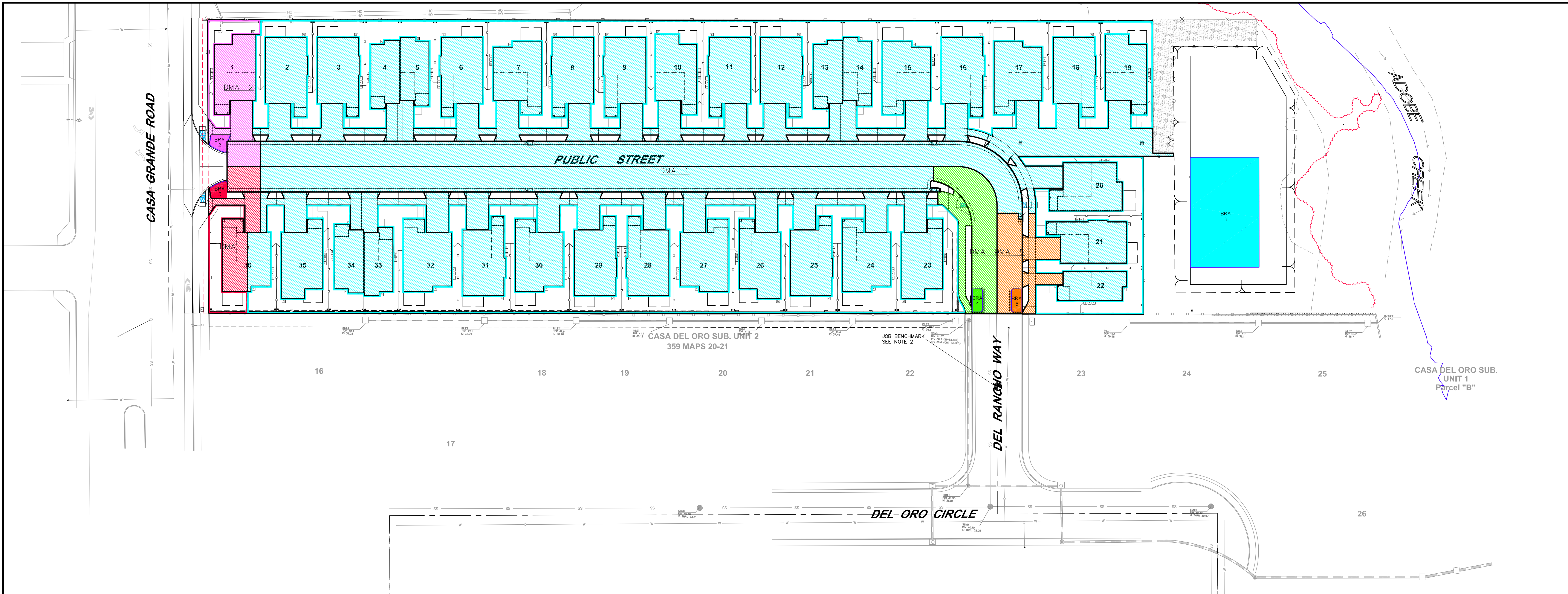
**DETAILS**  
CASA GRANDE  
240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
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LAND PLANNERS - LANDSCAPE ARCHITECTS  
PETALUMA THEATRE SQUARE  
PETALUMA, CALIFORNIA 94952  
(707) 762-3122 FAX (707) 762-3239



DATE: 2020.06.08  
SCALE: 1"=30'  
DESIGN: S.J.L. ADF  
DRAWN: CRK HSM JTG  
CHECK: S.J.L.  
JOB: DRG CASA GRANDE  
JOB No: 182029  
SHEET  
**C-16**  
OF 24 SHEETS





DMA #	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Facility Name	
DMA 1	49,337	Roof	1.0	49,336.6	BRA 1	
	40,203	Landscape	0.1	4,020.3	Minimum	Proposed
	38,988	Pavement	1.0	38,988.0	Sizing Factor	Facility Area
						Facility Area
	92,344.9				0.04	3693.8
DMA 2	1,459	Roof	1.0	1,459.0	BRA 2	
	1,724	Landscape	0.1	172.4	Minimum	Proposed
	1,535	Pavement	1.0	1,534.7	Sizing Factor	Facility Area
						Facility Area
	3,166.1				0.04	126.6
DMA 3	937	Roof	1.0	937.0	BRA 3	
	2,058	Landscape	0.1	205.8	Minimum	Proposed
	1,459	Pavement	1.0	1,458.7	Sizing Factor	Facility Area
						Facility Area
	2,601.5				0.04	104.1
DMA 4	0	Roof	1.0	0.0	BRA 4	
	325	Landscape	0.1	32.5	Minimum	Proposed
	2,991	Pavement	1.0	2,990.9	Sizing Factor	Facility Area
						Facility Area
	3,023.4				0.04	120.9
DMA 5	0	Roof	1.0	0.0	BRA 5	
	797	Landscape	0.1	79.7	Minimum	Proposed
	2,191	Pavement	1.0	2,190.7	Sizing Factor	Facility Area
						Facility Area
	2,270.4				0.04	90.8

**LEGEND**

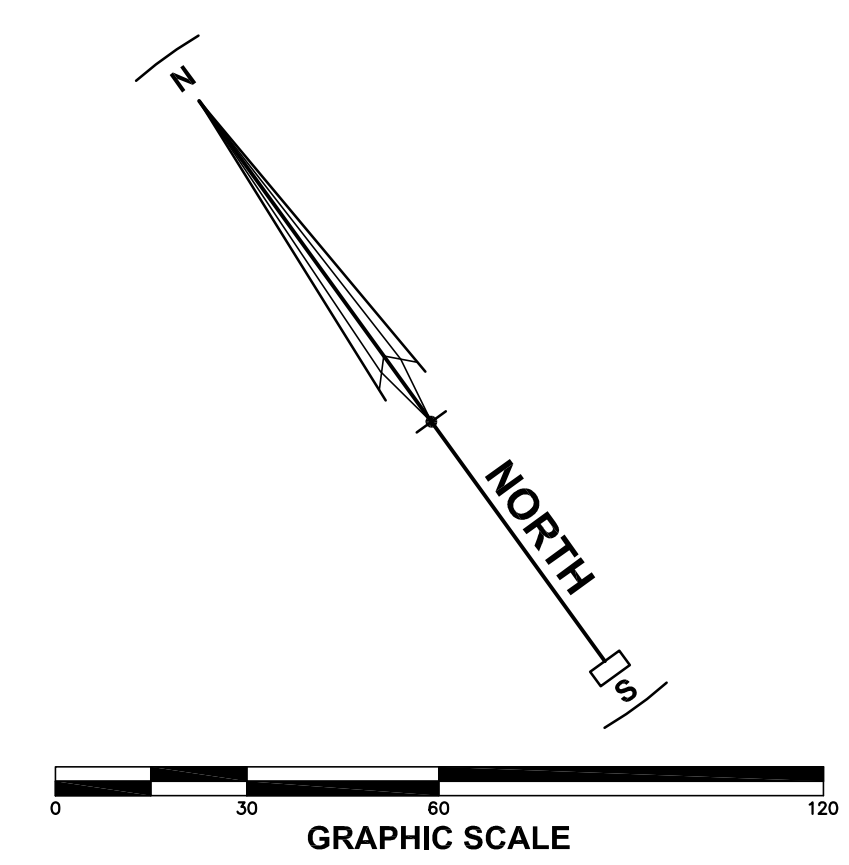
- PROPERTY LINE
- STORM DRAIN LINE
- BRA BASIN RETENTION AREA. SEE DETAIL SHEET C-15.
- DMA DRAINAGE MANAGEMENT AREA (IMPERVIOUS SURFACES) ROOFS, AC PAVEMENT, SIDEWALK, DRIVEWAYS.
- DMA DRAINAGE MANAGEMENT AREA (PERVIOUS SURFACES) LANDSCAPE AREAS, TURFBLOCK OR GRAVEL, OPEN OR POROUS PAVERS, GRANULAR PAVEMENT, GROUND COVER

**ABBREVIATION**

BRA BASIN RETENTION AREA OR FACILITY  
 DMA DRAINAGE MANAGEMENT AREA

- NOTES**
- SEE SHEET C-10 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
  - SEE SHEET C-11 FOR PRELIMINARY UTILITY PLAN.
  - SEE SHEET C-13 FOR SECTIONS
  - SEE SHEET C-16 FOR DETAILS.
  - SEE BASMAA STORM WATER CONTROL PLAN PREPARED BY SJLA AND DATED 10-09-2019 FOR BMP DESCRIPTIONS, SIZING CALCULATIONS, OPERATIONS AND MAINTENANCE.

- STORM WATER TREATMENT NOTES**
- THE STORM WATER TREATMENT AND CONTROL PLAN IS BASED ON POST-CONSTRUCTION MANUAL GUIDELINES PREPARED BY THE BAY AREA STORM WATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) PHASE II COMMITTEE.
  - THE PRELIMINARY STORM WATER CONTROL PLAN EXHIBIT IDENTIFIES DRAINAGE MAINTENANCE AREAS (DMA) WITH CORRESPONDING BASIN RETENTION AREAS (BRA). THE BRA'S HAVE BEEN SIZED PER BASMAA TABLE 4.1 THROUGH 4.5. THE CALCULATIONS REQUIRE A BRA SIZE TO BE 4% OF THE CORRESPONDING DMA.
  - THE STORM WATER CONTROL PLAN IS SUBJECT TO REVISION BASED ON FINAL APPROVED CONSTRUCTION DOCUMENTS.



REVISIONS	BY

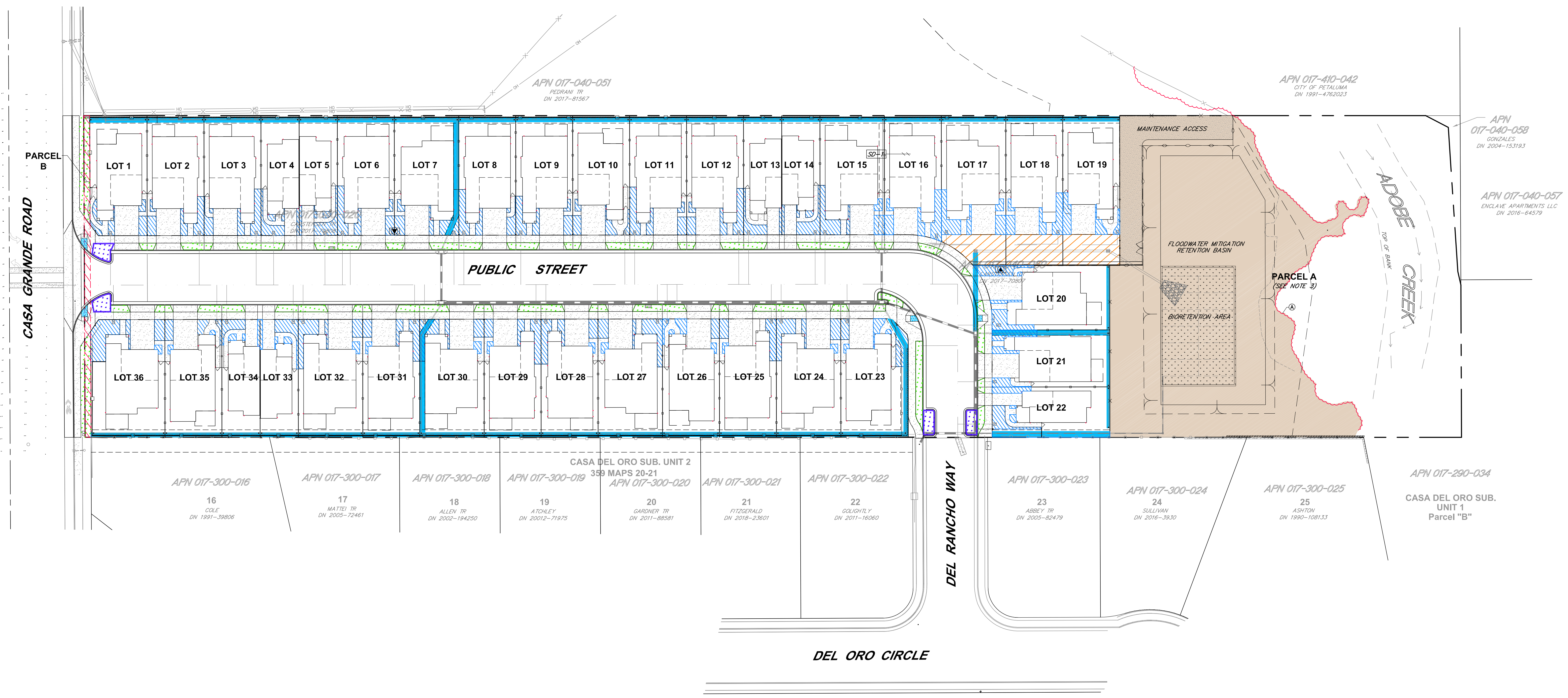
**POST CONSTRUCTION STORMWATER CONTROL PLAN**

CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3299

DATE: 2020.06.08  
 SCALE: 1"=30'  
 DESIGN: SJL, ADF  
 DRAWING: CRK, HSM, JTG  
 CHECK: SJA  
 JOB: DRG CASA GRANDE  
 JOB No: 182029  
 SHEET  
**C-17**  
 OF 24 SHEETS

REVISIONS BY	



**NOTES**

- HOA SHALL MAINTAIN THE AREAS AS SHOWN IN THE HOME OWNER ASSOCIATION MAINTENANCE AREAS LEGEND.
- HOME OWNER SHALL MAINTAIN THE AREAS AS SHOWN IN THE HOME OWNER MAINTENANCE AREAS LEGEND AND INCLUDING DRIVEWAYS, PRIVATE WALKWAYS, PUBLIC SIDEWALKS, STRUCTURES & BACKYARDS.
- NO MAINTENANCE ALLOWED WITHIN SENSITIVE RIPARIAN AREA WITHOUT SPECIAL PERMITS REQUIRED FROM OUTSIDE AGENCIES. CITY OF PETALUMA CONTRACTS WITH SONOMA COUNTY WATER AGENCY FOR MAINTENANCE IN THIS AREA.

**MAINTENANCE AREA LEGEND**

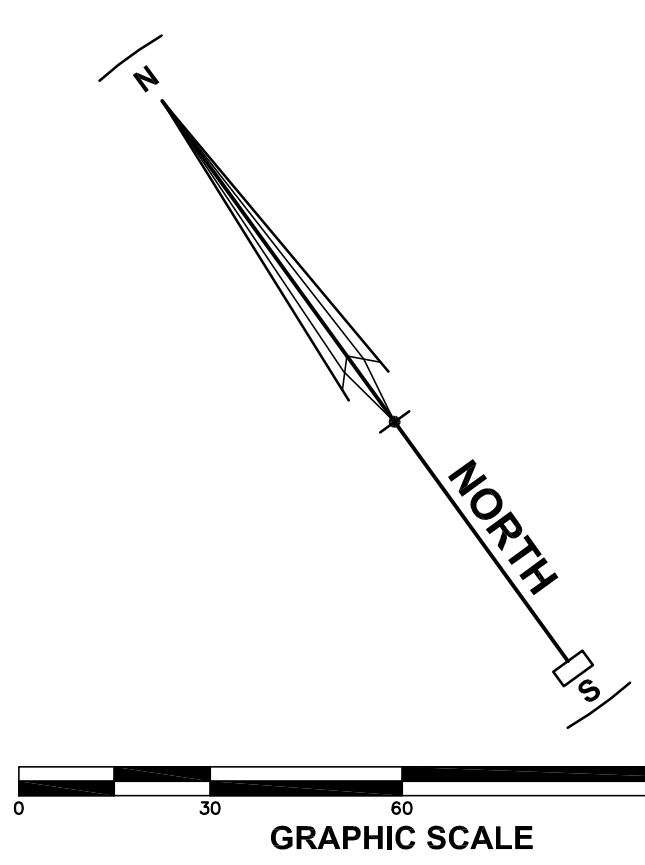
- HOME OWNERS ASSOCIATION MAINTENANCE AREAS**
- Parcel A; BIORETENTION AND MAINTENANCE ACCESS (EXCLUDES SENSITIVE RIPARIAN AREA. SEE NOTE 3)
- HOME OWNER MAINTENANCE AREAS**
- LANDSCAPE STRIP WITHIN THE PUBLIC RIGHT-OF-WAY AND PARCEL B
  - BIORETENTION AREAS, LOTS 1, 22, 23 & 36
  - FRONT YARD LANDSCAPE & IRRIGATION
  - PRIVATE STORM DRAIN
  - PRIVATE ACCESS AND PRIVATE UTILITIES, LOTS 17, 18 & 19

**LEGEND**

- |          |          |  |
|----------|----------|--|
| EXISTING | PROPOSED | PROPERTY LINE  |
| ---      | ---      | RIGHT-OF-WAY (EQUALS BACK OF SIDEWALK)                                     |
| ---      | ---      | EASEMENT LINE  |
| ---      | ---      | FENCE  |
| ---      | ---      | RIPARIAN CORRIDOR (SEE KEYNOTE (A) THIS SHEET AND C-3 EXISTING CONDITIONS) |
| ---      | ---      | STORM DRAIN  |
| ---      | ---      | STORM DRAIN MANHOLE  |
| ---      | ---      | CATCH BASIN  |
| ---      | ---      | DROP INLET   |
| ---      | ---      | WATER LINE   |
| ---      | ---      | WATER METER  |
|          |          | UNDERLYING UTILITIES (SEE UTILITY PLAN)                                    |

**KEYNOTE**

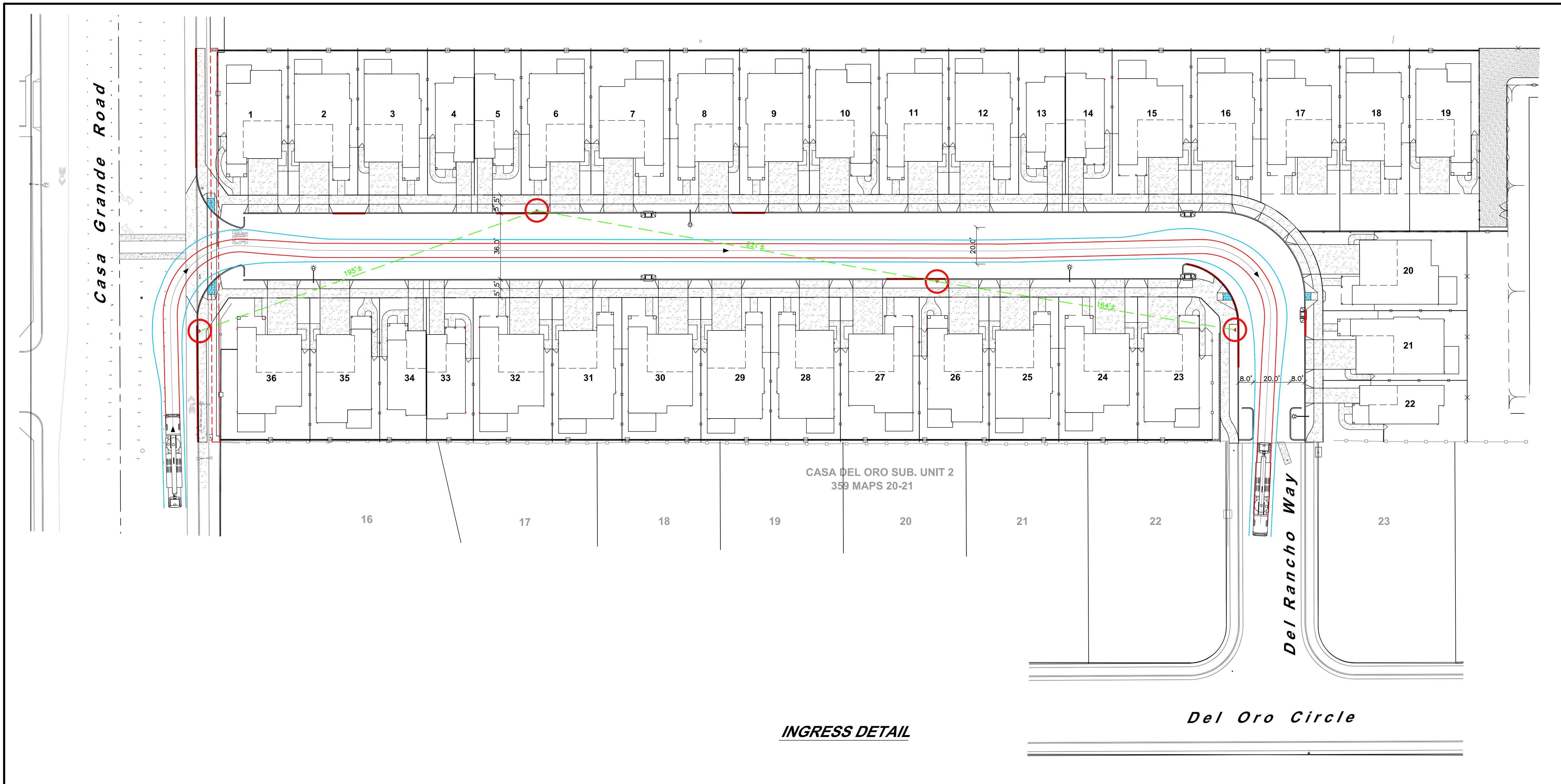
(A) ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.



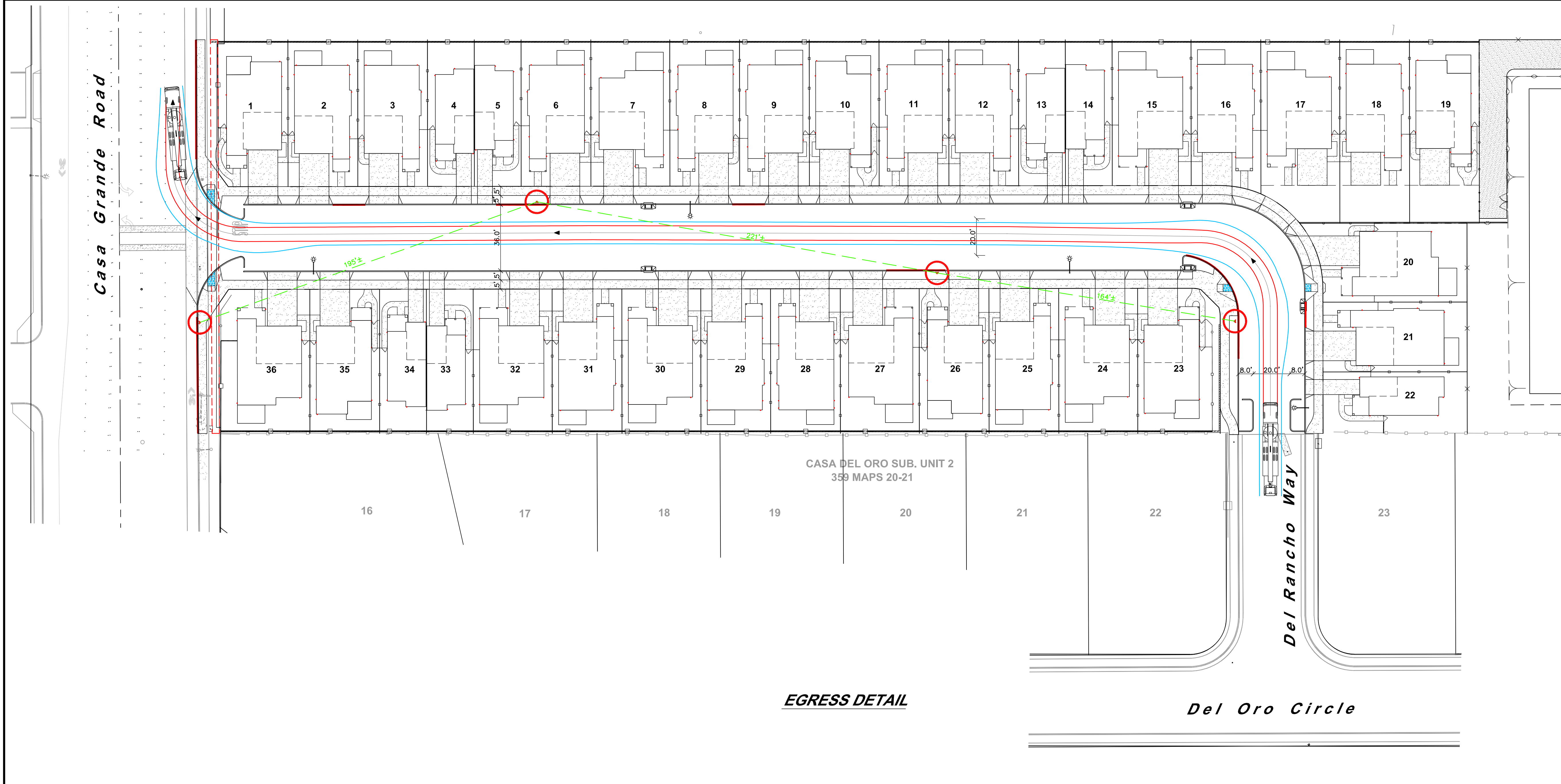
**MAINTENANCE EXHIBIT**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
 PETALUMA CALIFORNIA

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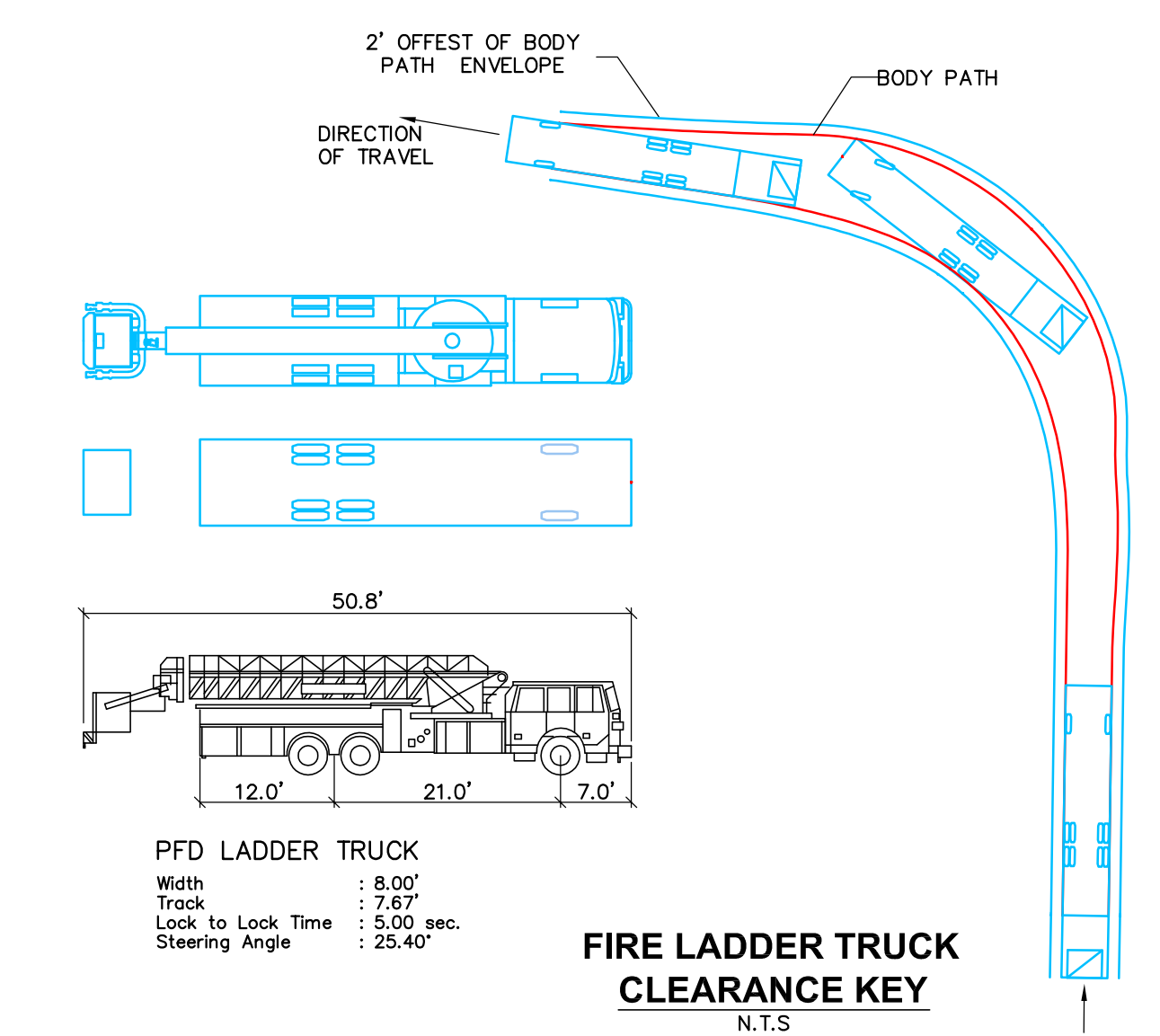
DATE:	2020.06.08
SCALE:	1"=30'
DESIGN:	S.J.L. ADF
DRAWN:	CRK HSM JTG
CHECK:	S.J.L.
JOB:	ORG CASA GRANDE
JOB No:	182029
SHEET	<b>C-18</b>
OF	24 SHEETS



**INGRESS DETAIL**

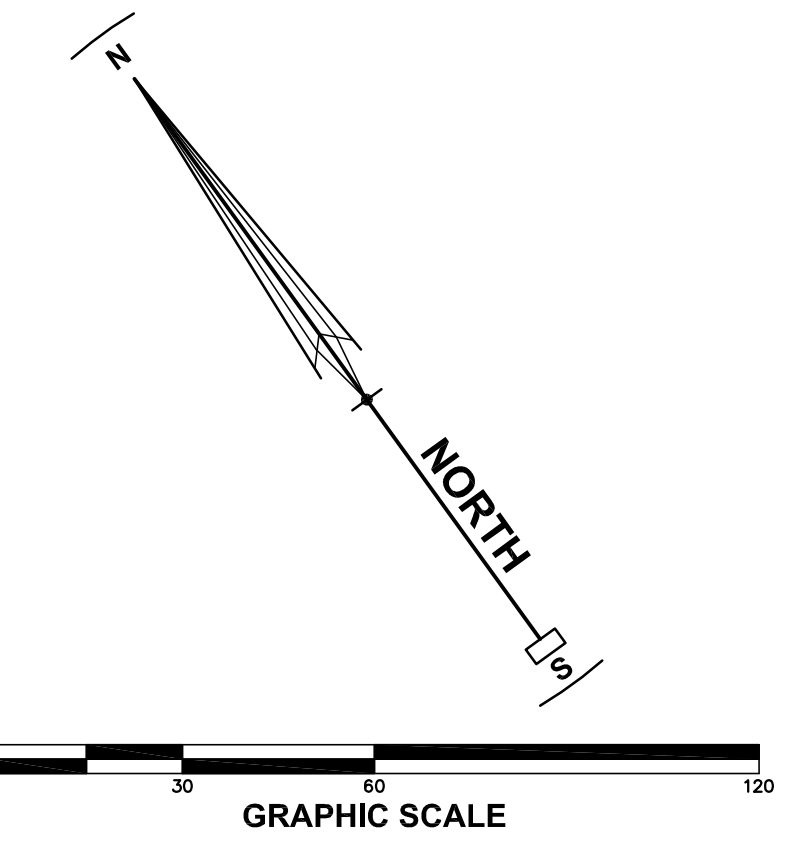


**EGRESS DETAIL**



**LEGEND**

- NO PARKING, CURB PAINTED RED.
- PROPOSED FIRE HYDRANT
- PROPOSED STREET LIGHT



REVISIONS	BY

**FIRE LADDER TRUCK ACCESS PLAN**  
 CASA GRANDE  
 240 & 250 CASA GRANDE ROAD APN 017-040-020 & 059  
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 SHEET  
**C-19**  
 OF 24 SHEETS