

CORONA STATION RESIDENCES

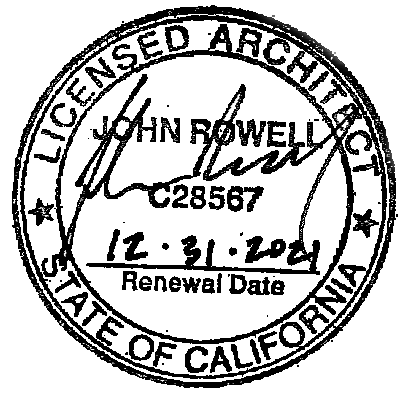
ISSUED FOR AB-2162 APPROVAL

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BROKAW**

1203 Willamette Street
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OWNER

DANCO COMMUNITIES / DANCO BUILDERS
5251 ERICSON WAY
ARCATA, CA 95521
TEL: 707-825-1531

CONTACTS:
CHRIS DART, PRESIDENT
CDART@DANCO.COM
MCKENZIE DIBBLE, ASSET MANAGER
MDIBBLE@DANCO.COM

GENERAL CONTRACTOR

DANCO COMMUNITIES / DANCO BUILDERS
5251 ERICSON WAY
ARCATA, CA 95521
TEL: 707-825-1531

CONTACTS:
CHUCK BARNHART, SENIOR VP
CBARNHART@DANCO-GROUP.COM

ARCHITECT

ROWELL BROKAW ARCHITECTS
1203 WILLAMETTE STREET, SUITE 210
EUGENE, OR 97401
PH: 541-485-1003

CONTACTS:
JOHN ROWELL, AIA, PRINCIPAL
JOHN@ROWELLBROKAW.COM
FRANK VISCONTI, AIA - ARCHITECT
FRANK@ROWELLBROKAW.COM

CIVIL ENGINEER

CSW-ST2 ENGINEERING CORP.
45 LEVERONI COURT
NOVATO, CA 94949
PH: 415-883-9850

CONTACTS:
WAYNE LEACH, PE
WAYNEL@CSWST2.COM

LANDSCAPE ARCHITECT

MACNAIR LANDSCAPE ARCHITECTURE
P.O. BOX 251
KENWOOD, CA 95452
PH: 707-833-2288

CONTACTS:
DONALD MACNAIR
DON@MACNAIRLANDSCAPES.COM

STRUCTURAL ENGINEER

TBD

MEP, SECURITY, ALARM, FIRE SPRINKLER ENGINEER

TBD

ENERGY / TITLE 24 CONSULTANT

TBD



1 VICINITY PLAN
1" = 200'-0"

PROJECT DESCRIPTION:

THE PROPOSED DEVELOPMENT IS ON 5.5 ACRES OF VACANT LAND AND INCLUDES 7 NEW BUILDING STRUCTURES FOR 131 AFFORDABLE HOUSING UNITS. 25% OF THE RESIDENTIAL UNITS WILL BE FOR PERMANENT SUPPORTIVE HOUSING AND ARE MIXED WITHIN THE VARIOUS BUILDINGS. THERE ARE 3-BEDROOM, 2-BEDROOM, 1-BEDROOM AND STUDIO UNITS WITHIN EACH BUILDING. THE STUDIO UNITS ARE PRIMARILY FOR SUPPORTIVE HOUSING. THERE IS (1) RESIDENT MANAGERS UNIT INCLUDED.

THERE ARE OFFICES, THERAPY ROOMS, A GYM AND A LARGE MULTIPURPOSE ROOM TO SERVICED THE SUPPORTIVE HOUSING TENANTS.

SIX OF THE RESIDENTIAL BUILDINGS ARE 3-STORIES AND ONE BUILDING IS 4-STORIES.

SITE DEVELOPMENT INCLUDES REPLACEMENT OF ROW SIDEWALKS, NEW ACCESS DRIVEWAYS WITH PARKING FOR 130 CARS, COVERED BIKE SHELTERS AND TRASH AND RECYCLING ENCLOSURES. AMENITIES INCLUDE OPEN GREEN SPACE, A PLAYGROUND, A TOT LOT, BASKETBALL COURT, COMMUNITY GARDENS, DOG WALK, OUTDOOR BBQS, WITHIN A NETWORK OF PEDESTRIAN AND BICYCLE FRIENDLY PATHWAYS.

GENERAL CODE REQUIREMENTS:

COMPLY WITH ALL PROVISIONS OF THE LATEST ADOPTED CODES AS APPLICABLE PER THE AHJ UPON BUILDING PERMIT APPROVAL:

- 2019 CA BUILDING CODE, TITLE 24, PART 2
- 2019 CA RESIDENTIAL CODE, TITLE 24, PART 2.5
- 2019 CA ELECTRICAL CODE, TITLE 24, PART 3
- 2019 CA MECHANICAL CODE, TITLE 24, PART 4
- 2019 CA PLUMBING CODE, TITLE 24, PART 5
- 2019 CA ENERGY CODE, TITLE 24, PART 6
- 2019 CA FIRE CODE, TITLE 24, PART 9
- 2019 CA GREEN BUILDING STANDARDS CODE, TITLE 24, PART 11
- 2019 CA REFERENCED STANDARDS CODE, TITLE 24, PART 12

APPLICABLE CODES AND REGULATIONS OF THE CITY OF PETALUMA

CONSTRUCTION TYPE: TYPE VA

OCCUPANCY TYPE:

MIXED USE SEPARATED OCCUPANCY:
APARTMENTS: GROUP R2
OFFICES: GROUP B
COMMON AREAS: R2 (UNDER 50 OCCUPANTS)
ASSEMBLY: A3 (OVER 50 OCCUPANTS)

STRUCTURAL SYSTEMS: CONCRETE SLAB-ON-GRADE, WOOD LIGHT FRAME, WITH STRUCTURAL STEEL SECTIONS, PREMANUFACTURED TRUSSES AND/OR TRUSS JOIST

GEOTECHNICAL REPORT:
ENGINEERING GEOLOGIC FOUNDATION AND SOILS REPORT APPLICABLE TO THIS PROJECT MUST BE FURNISHED BY OWNER. THE RECOMMENDATIONS INCLUDED IN THAT REPORT MUST BE ADHERED TO, WITH SPECIAL ATTENTION TO LISTED LIMITATIONS AND FOR FOUNDATION DESIGN, TESTING AND INSPECTION SERVICES.

AUTOMATIC FIRE SPRINKLERS:
INCLUDED FOR ENTIRE BUILDING (DESIGN BY OTHERS) IN ACCORDANCE WITH CBC 903.3.1.1 NFPA 13 AS AMENDED IN CBC CH. 35.

SMOKE ALARMS:
PROVIDE UL & CA SFM LISTED SMOKE DETECTION & NOTIFICATION SYSTEM PER NFPA 72. SMOKE ALARMS SHALL HAVE PRIMARY POWER FROM PERMANENT BUILDING WIRING AND EQUIPPED WITH A 10 YEAR LIFETIME BATTERY BACKUP. THE ALARM DEVICES SHALL BE INTERCONNECTED SO ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THAT DWELLING UNIT. INSTALL ALARMS IN THE FOLLOWING LOCATIONS PER MANUFACTURER'S WRITTEN INSTRUCTIONS:
1. IN EACH SLEEPING ROOM
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY.
3. ON EACH ADDITIONAL STORY OF THE DWELLING AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES OR UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS:
PROVIDE CARBON MONOXIDE ALARMS PER OFFICE OF THE STATE FIRE MARSHALL. THESE MAY BE IN THE FORM OF COMBINATION WITH SMOKE ALARMS OR AS SEPARATE UNITS. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

PARCEL ZONING INFORMATION:

PROJECT TITLE:
CORONA STATION RESIDENCES

PROJECT ADDRESS:
NORTH MCDOWELL BOULEVARD, PETALUMA, CALIFORNIA

APN: 137-061-19

TOTAL PARCEL AREA: 285,677 SF (6.56 ACRES)
NOTE THAT 55,391 SF (1.27 ACRES) WILL BE DONATED TO SMART WITH A REMAINDER OF 230,286 SF (5.29 ACRES) FOR DEVELOPMENT OF THIS PROJECT.

JURISDICTION: CITY OF PETALUMA

FIRE DISTRICT: CITY OF PETALUMA

ZONING: MIXED USE MU1B

HOUSING CODE: IN ACCORDANCE WITH CA GOV. CODE 65915, SB35 AND 2009-002)

DWELLING UNITS: 130 TOTAL RENTAL UNITS, 1 ONE-BEDROOM UNIT (FOR RESIDENT MANAGER)

DENSITY (GROSS): 25 UNITS PER ACRE

BUILDING FOOTPRINTS
BUILDING 1, 2, 3, 4, 5, 6 = 3,135 EA = 18,810 TOTAL
BUILDING 7 = 15,300 SF
TOTAL = 34,110

LOT COVERAGE: 34,110 SF / 230,286 SF = 15%

DENSITY BONUS REVIEW:
-ZONING ORDINANCE ALLOWS 30 UNITS/ACRE MAX. FOR AFFORDABLE HOUSING BONUS

MAX ZONING HEIGHT: 30 FEET
PROPOSED HEIGHT: 30 FEET (BUILDINGS 1-6), 41' (BUILDING 7)
PROPOSED STORIES: 3 STORIES (BUILDINGS 1-6), 4 STORIES (BUILDING 7)
PROJECT IS APPLYING FOR HEIGHT EXCEPTION PER AB-2162.

PROPOSED GROSS AREA (SF):
BUILDINGS 1-6: 9,825 SF X 6 = 58,950 SF
BUILDING 7: 61,895 SF
TOTAL = 120,845 SF

SPECIAL ZONE DESIGNATIONS:
COASTAL ZONE: NO
100 YR FLOOD ZONE: YES
SRA / HIGH FIRE ZONE:
WETLANDS WPCZ:
URBAN SERVICES: YES

REACH CODE:
THIS PROJECT IS SUBJECT TO THE SANTA ROSA ADOPTED "REACH" CODES REQUIRING AN "ALL ELECTRIC BUILDING/DESIGN USING PERMANENT SUPPLY OF ELECTRICITY AS THE SOURCE OF ENERGY FOR ALL SPACE HEATING, WATER HEATING, COOKING APPLIANCES AND CLOTHES DRYING APPLIANCES, AND HAVE NO NATURAL OR PROPANE PLUMBING INSTALLED IN THE BUILDING" PER SANTA ROSA ORDINANCE NO. ORD-2019-019.

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A.14	BUILDING 7 ROOF PLAN
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L2.4	PRELIMINARY PLANTING PLAN - EAST
L3.1	SITE LIGHTING PLAN / PHOTOMETRIC ANALYSIS

REVISIONS TO THIS SHEET

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Owner

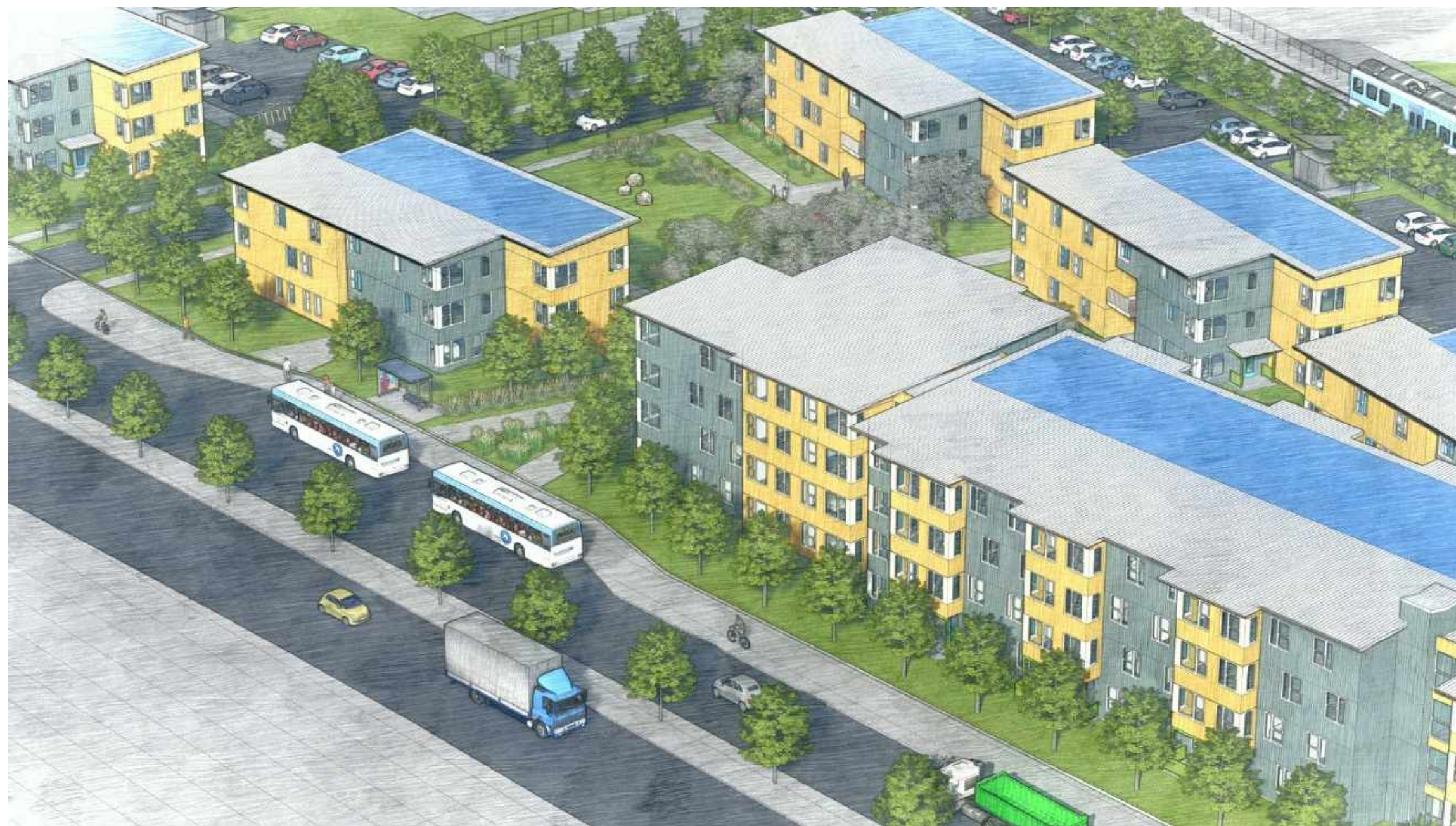
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**CORONA STATION
RESIDENCES**

Project Address
**CORONA STATION
PETALUMA, CA**

COVER

A.00



VIEW LOOKING AT N. MCDOWELL BLVD



VIEW LOOKING WEST



VIEW LOOKING NORTH ON N. MCDOWELL BLVD



VIEW LOOKING EAST ON N. MCDOWELL BLVD



VIEW FROM PARKING LOT



VIEW FROM EAST DRIVEWAY ENTRY

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PETALUMA, CA**

**SKETCH
RENDERINGS**

A.01



VIEW FROM LAWN LOOKING EAST



VIEW FROM LAWN LOOKING NORTH



VIEW FROM COFFEE SHOP



VIEW OF COURTYARD LOOKING WEST

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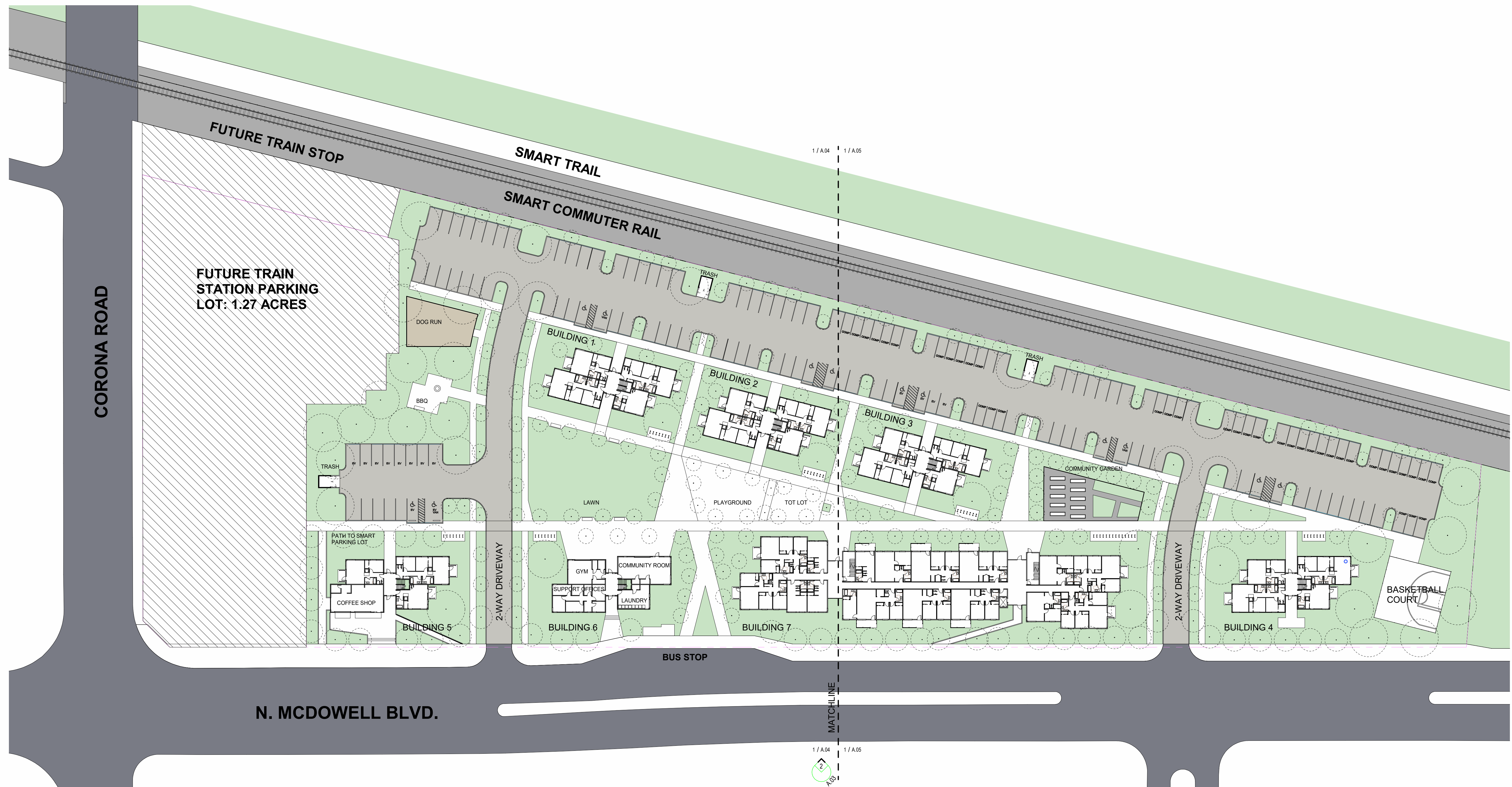
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**CORONA STATION
RESIDENCES**

Project Address
**CORONA STATION
PETALUMA, CA**

**SKETCH
RENDERINGS**

A.02



1 SITE PLAN-FULL
1" = 40'-0"



2 STREET ELEVATION
1" = 40'-0"

PROJECT UNIT DATA

UNIT INFORMATION	UNIT MIX QUANTITY	UNIT MIX TYPES	NON-RESIDENTIAL SPACES:	PARKING
BUILDING 1: 12 UNITS (UNIT MIX A)	STUDIOS: 33 UNITS	MIX TYPE A:	COFFEE SHOP: 890 SF	153 SPACES TOTAL (153/131 UNITS = 1.2 SPACES/UNIT)
BUILDING 2: 12 UNITS (UNIT MIX A)	1-BEDROOM: 29 UNITS	STUDIOS: 3 UNITS	SUPPORTIVE SERVICES	
BUILDING 3: 12 UNITS (UNIT MIX A)	2-BEDROOM: 36 UNITS	1-BEDROOM: 3 UNITS	OFFICES: 890 SF	NOTE: 33 SUPPORTIVE HOUSING UNITS ARE EXEMPT FROM PARKING REQUIREMENTS.
BUILDING 4: 12 UNITS (UNIT MIX A)	3-BEDROOM: 33 UNITS	2-BEDROOM: 4 UNITS	COMMUNITY ROOM: 835 SF	
BUILDING 5: 11 UNITS (UNIT MIX B)	TOTAL UNITS: 131	3-BEDROOM: 2 UNITS	GYM/MEETING ROOM: 415 SF	
BUILDING 6: 8 UNITS (UNIT MIX C)	TOTAL BEDS: 233	MIX TYPE B:	LAUNDRY ROOM: 550 SF	
BUILDING 7: 64 UNITS (UNIT MIX D)		STUDIOS: 3 UNITS		
TOTAL UNITS: 131 UNITS		1-BEDROOM: 3 UNITS		
		2-BEDROOM: 3 UNITS		
		3-BEDROOM: 2 UNITS		
		MIX TYPE D:		
		STUDIOS: 16 UNITS		
		1-BEDROOM: 12 UNITS		
		2-BEDROOM: 20 UNITS		
		3-BEDROOM: 16 UNITS		

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**CORONA STATION
RESIDENCES**
Project Address
**CORONA STATION
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PARTIAL SITE
PLAN-WEST

A.04



1 PARTIAL SITE PLAN-ENLARGED - WEST
1" = 20'-0"

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**PARTIAL SITE
PLAN-EAST**

A.05



1 PARTIAL SITE PLAN-ENLARGED - EAST
1" = 20'-0"



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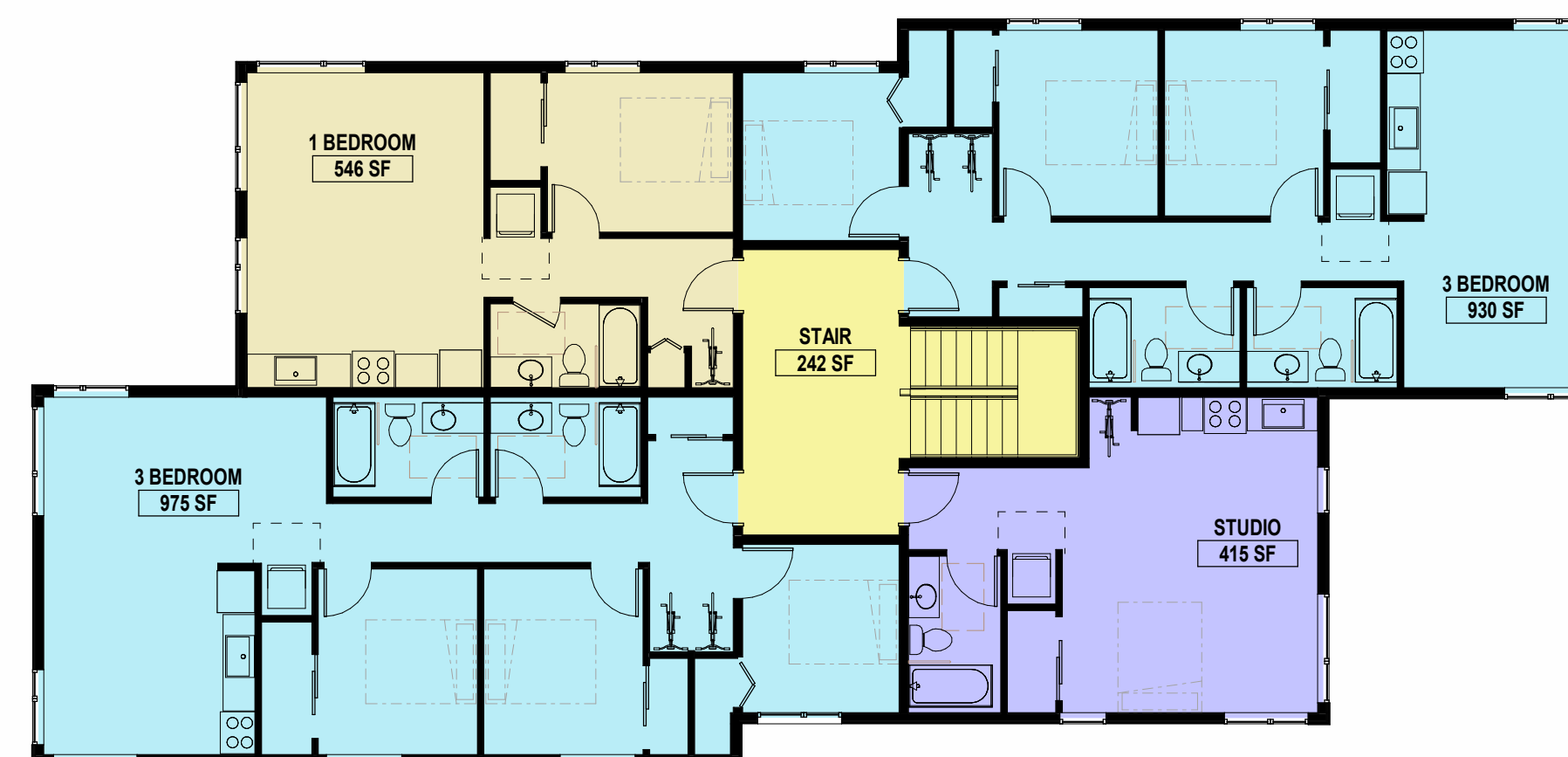
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Project Name
**DANCO-PETALUMA
BUILDINGS 1, 2, 3, 4**

Project Address
**Corona Station
Petaluma CA**

**FLOOR PLANS
ELEVATIONS AND
SECTIONS**

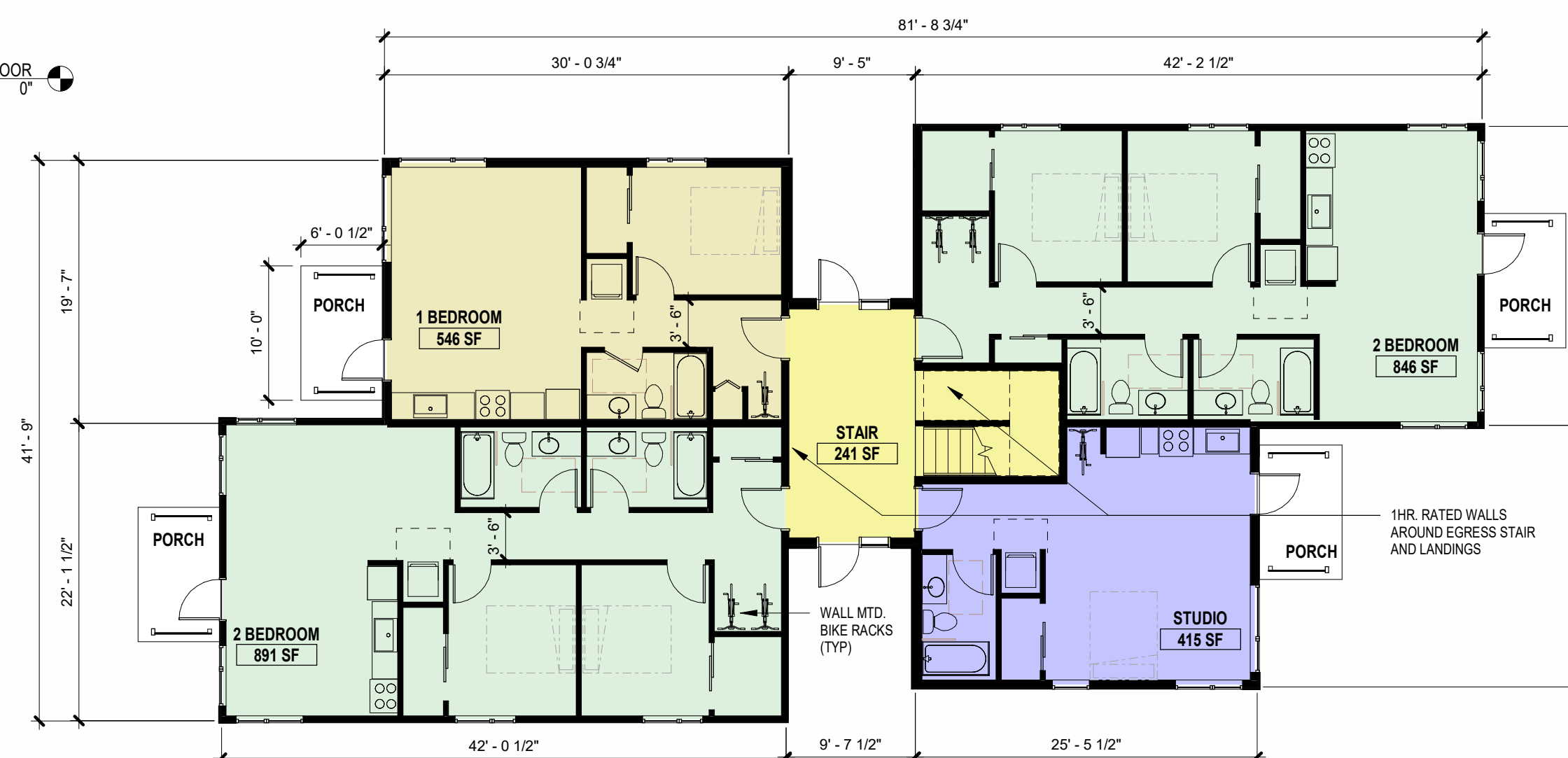
A.10



3 3RD FLOOR PLAN
1" = 10'-0"



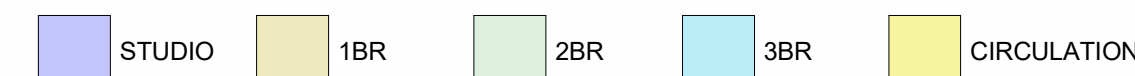
2 2ND FLOOR PLAN
1" = 10'-0"



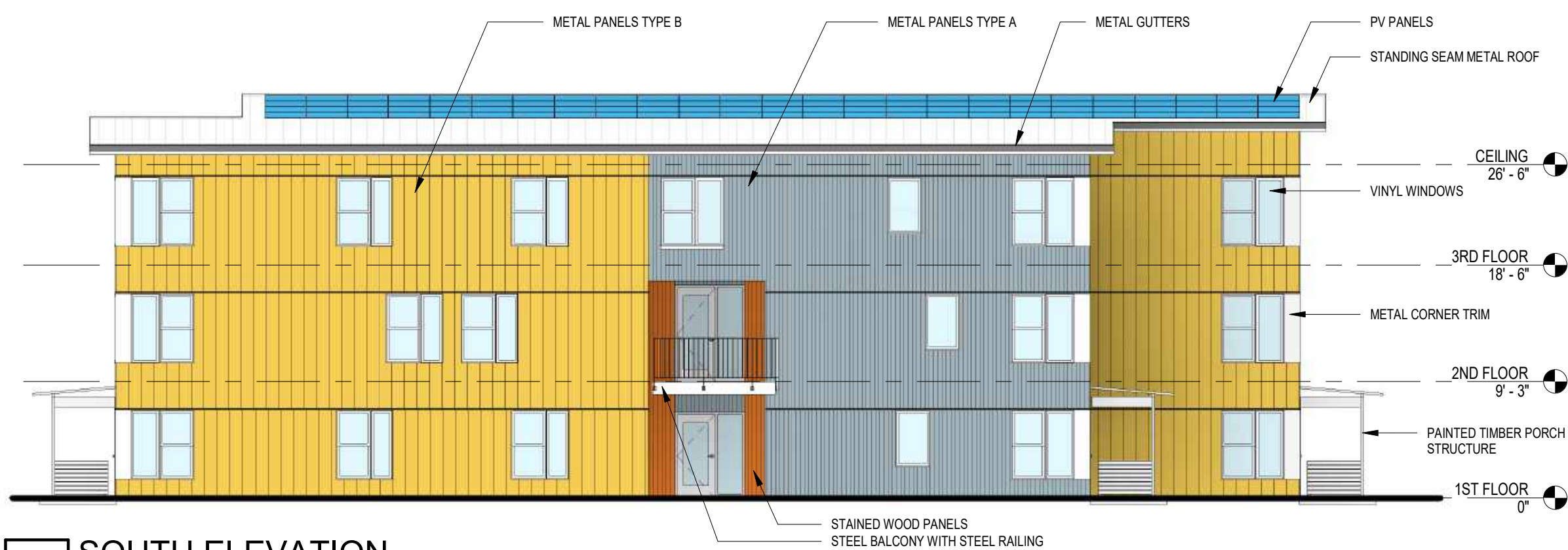
1 1ST FLOOR PLAN
1" = 10'-0"

BUILDING AREA:	
1ST FLOOR:	3135 SF
2ND FLOOR:	3135 SF
3RD FLOOR:	3555 SF
TOTAL:	9825 SF

ROOM TYPE LEGEND



4 NORTH ELEVATION
1" = 10'-0"



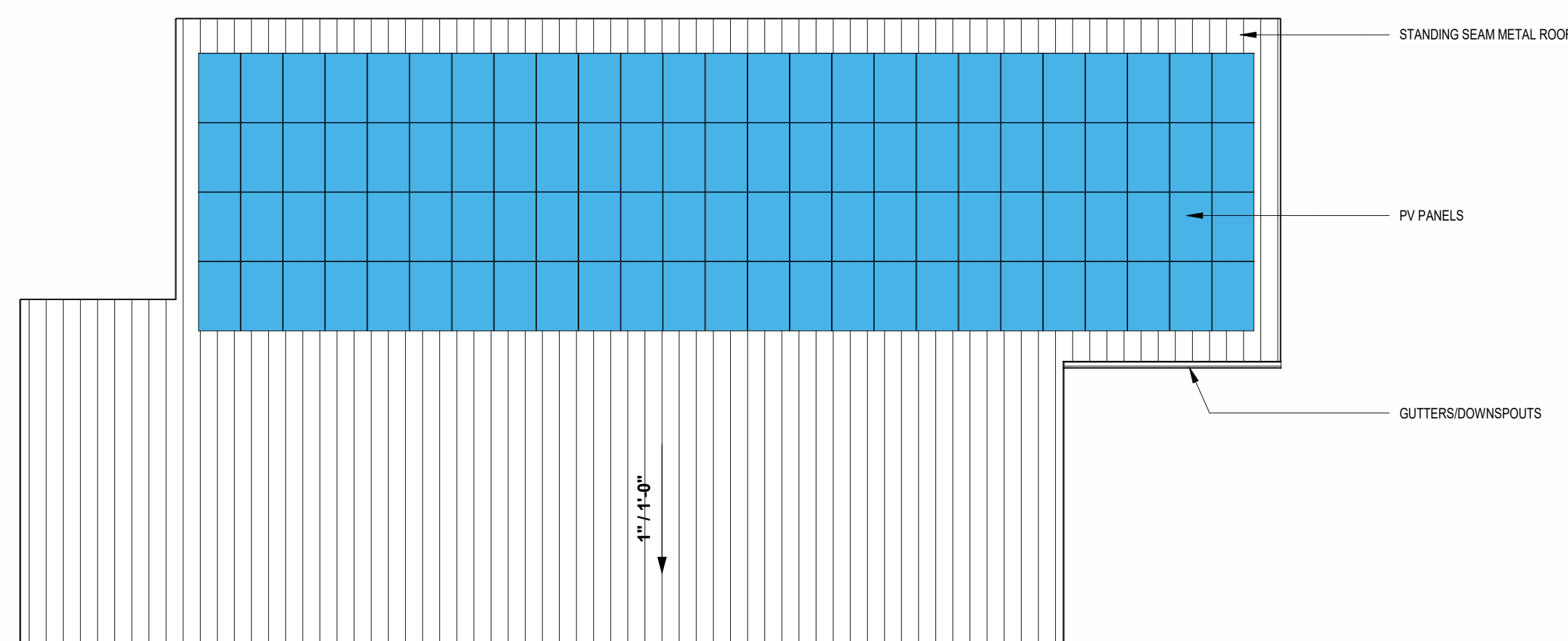
5 SOUTH ELEVATION
1" = 10'-0"



8 TYPICAL CROSS SECTION
1" = 10'-0"
TYPICAL FOR BUILDINGS 1, 2, 3, 4, 5, 6

7 WEST ELEVATION
1" = 10'-0"

6 EAST ELEVATION
1" = 10'-0"



9 ROOF PLAN
1" = 10'-0"

TYPICAL FOR BUILDINGS 1, 2, 3, 4, 5, 6

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Project Name
DANCO-PETALUMA BUILDING 5

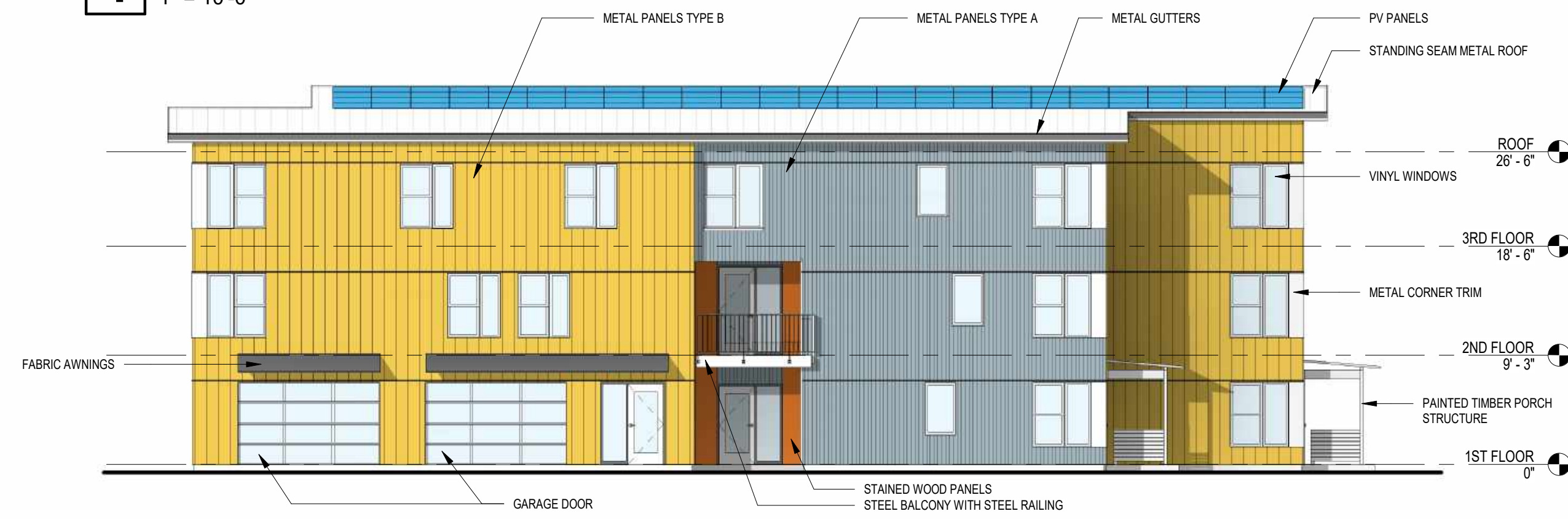
Project Address
**Corona Station
Petaluma CA**

FLOOR PLANS ELEVATIONS AND SECTIONS

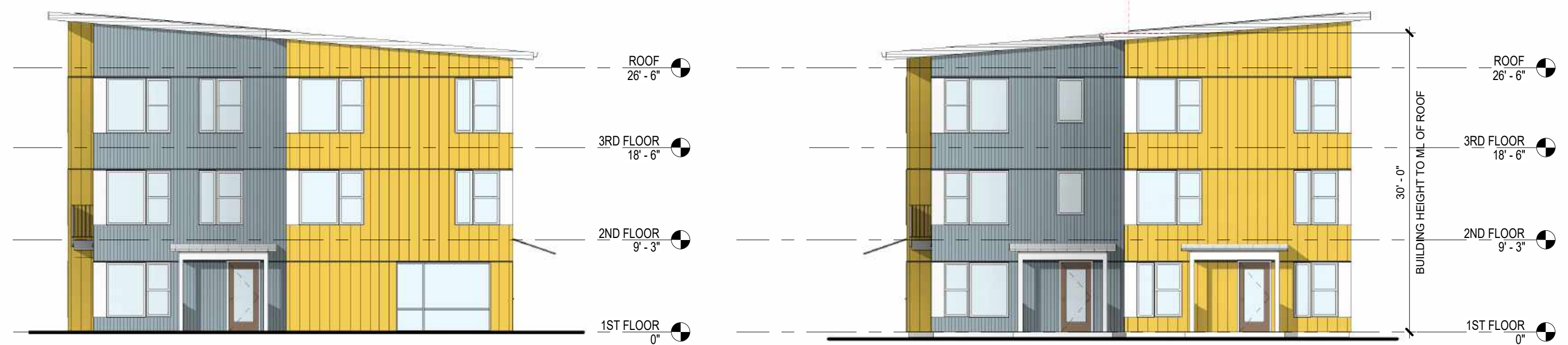
A.11



4 NORTH ELEVATION
1" = 10'-0"

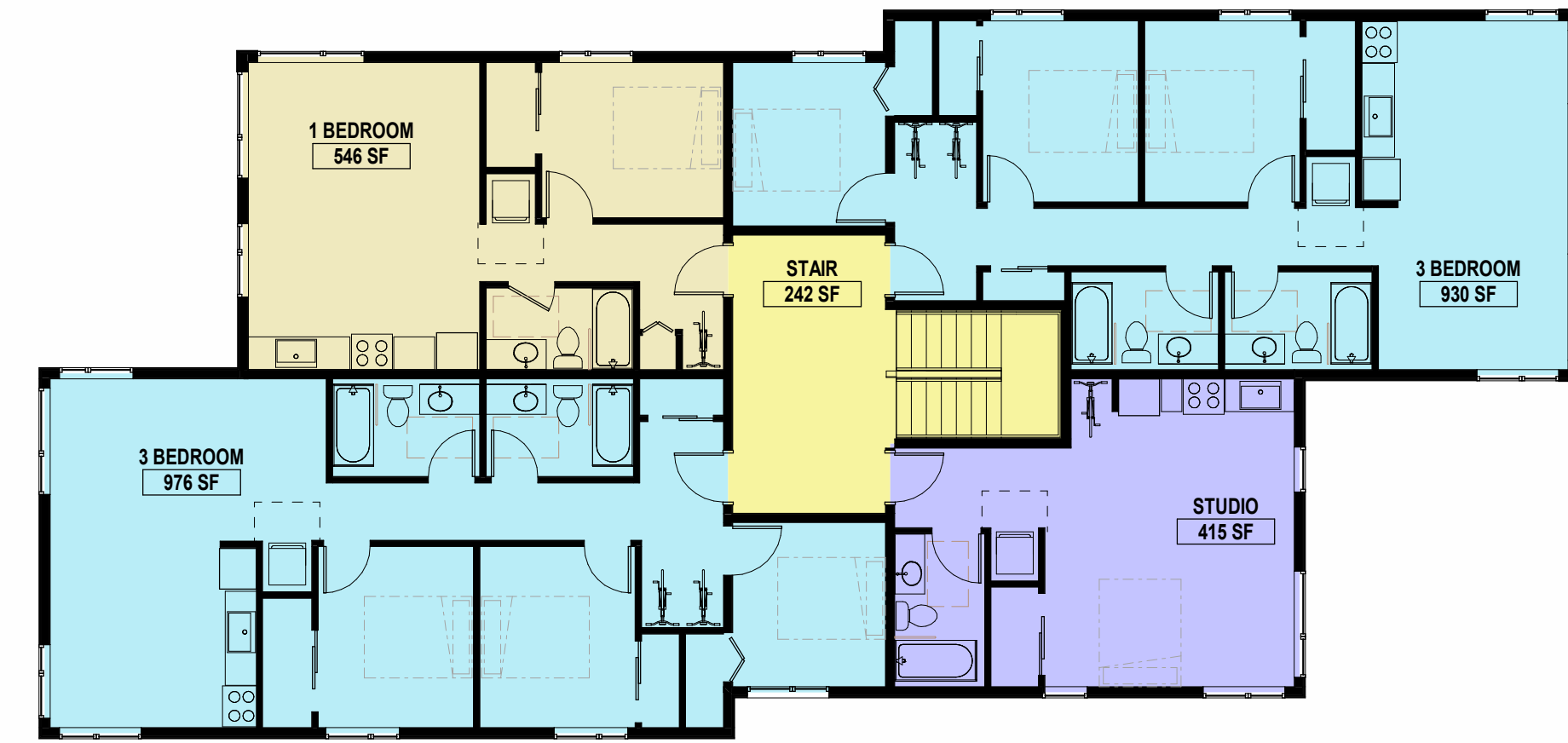


5 SOUTH ELEVATION
1" = 10'-0"

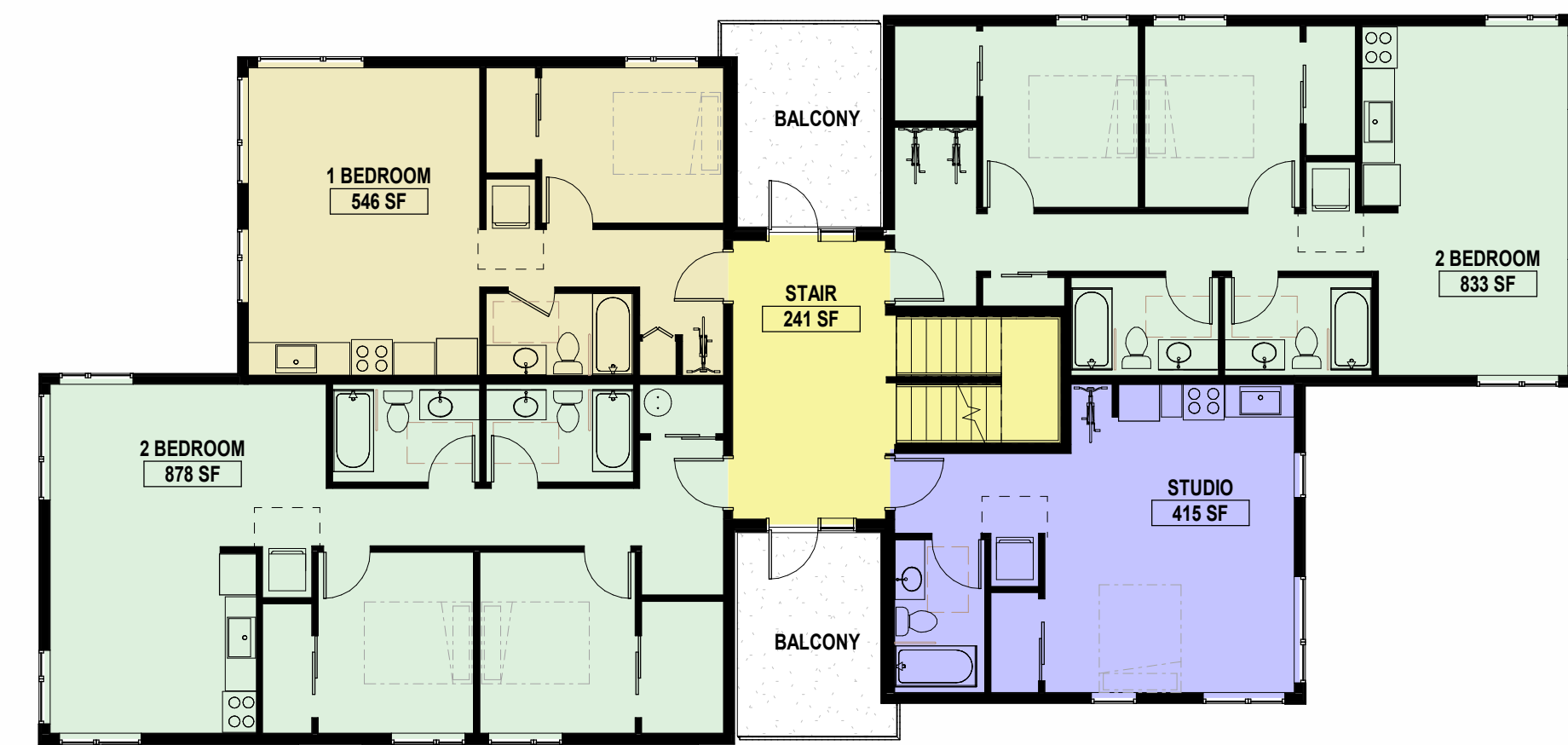


7 WEST ELEVATION
1" = 10'-0"

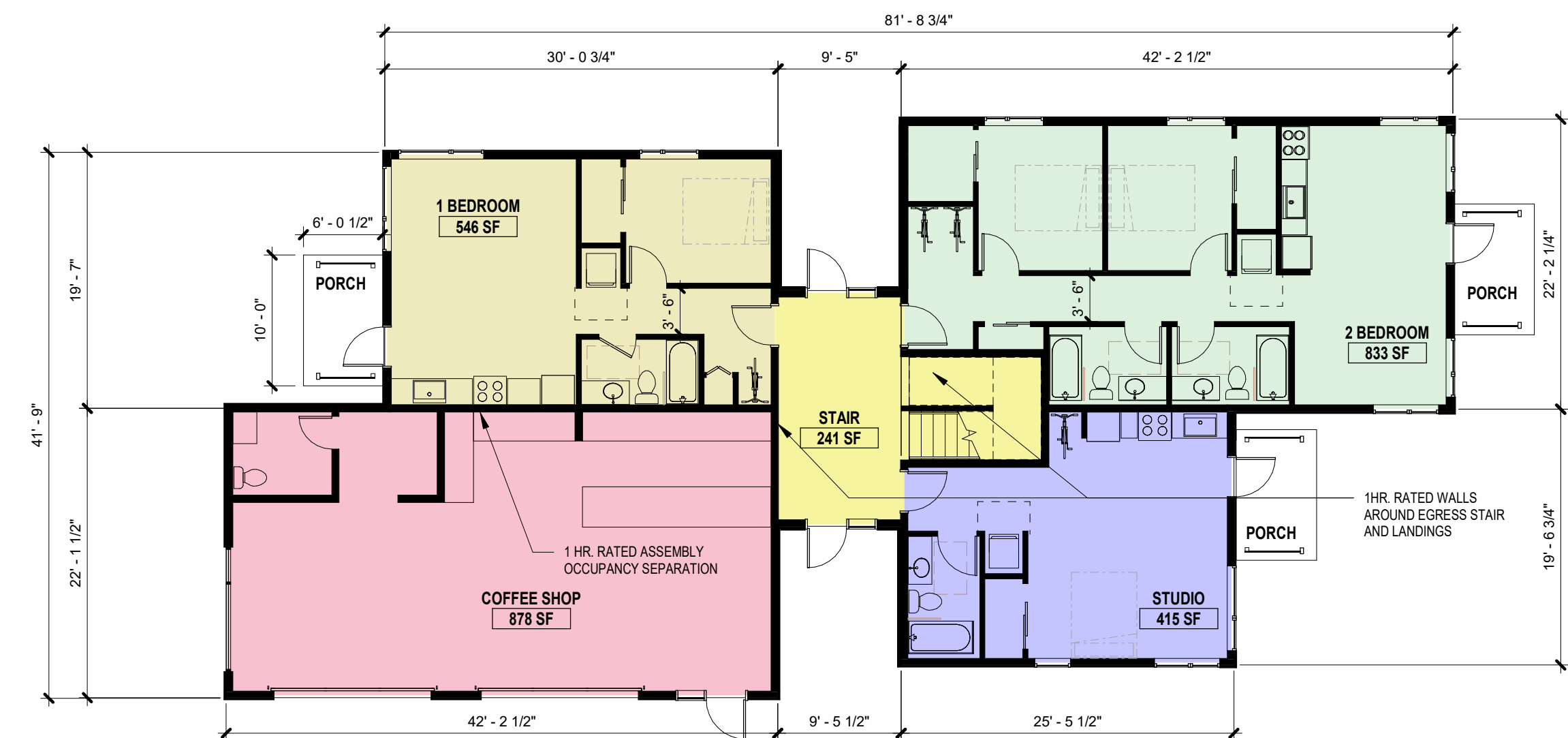
6 EAST ELEVATION
1" = 10'-0"



3 3RD FLOOR PLAN
1" = 10'-0"



2 2ND FLOOR PLAN
1" = 10'-0"



1 1ST FLOOR PLAN
1" = 10'-0"

BUILDING AREA:	
1ST FLOOR:	3135 SF
2ND FLOOR:	3135 SF
3RD FLOOR:	3555 SF
TOTAL:	9825 SF

ROOM TYPE LEGEND





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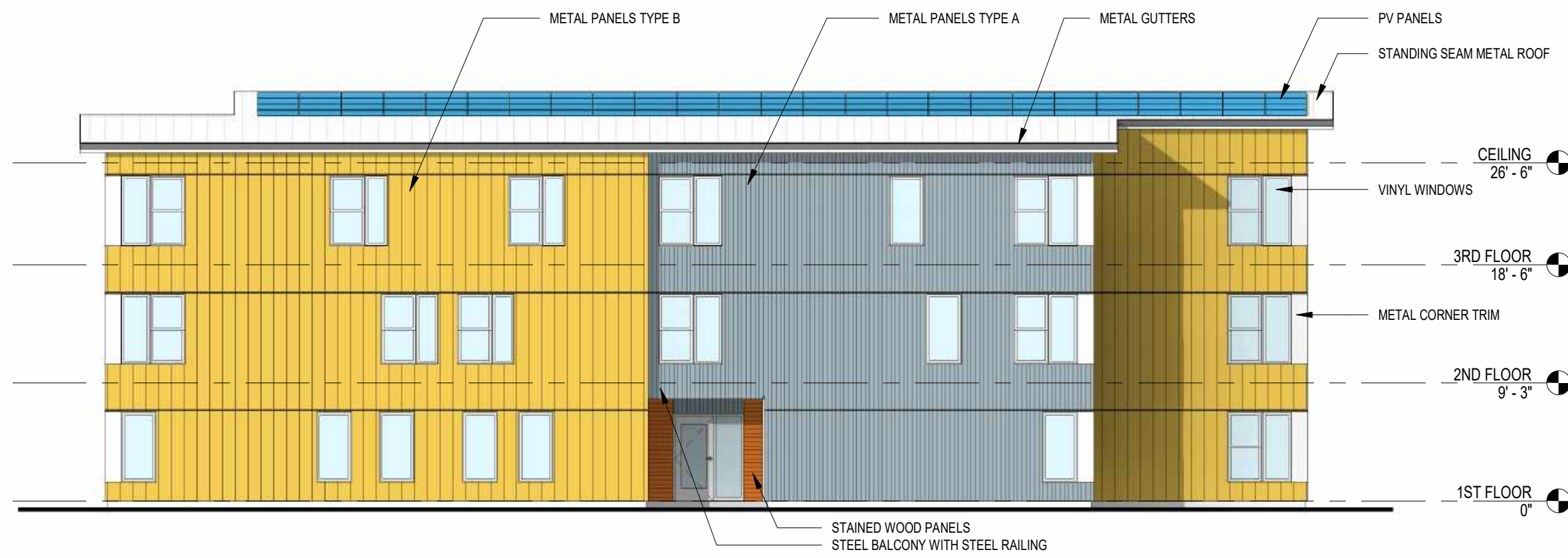
Project Name
**DANCO-PETALUMA
BUILDING 6**

Project Address
**Corona Station
Petaluma CA**

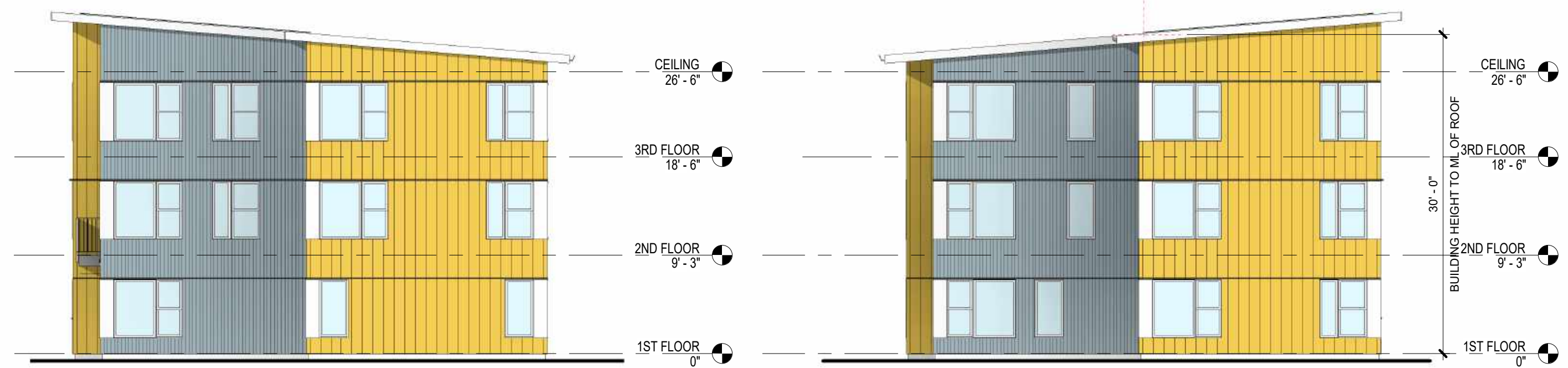
FLOOR PLANS
ELEVATIONS AND
SECTIONS



4 NORTH ELEVATION
1" = 10'-0"

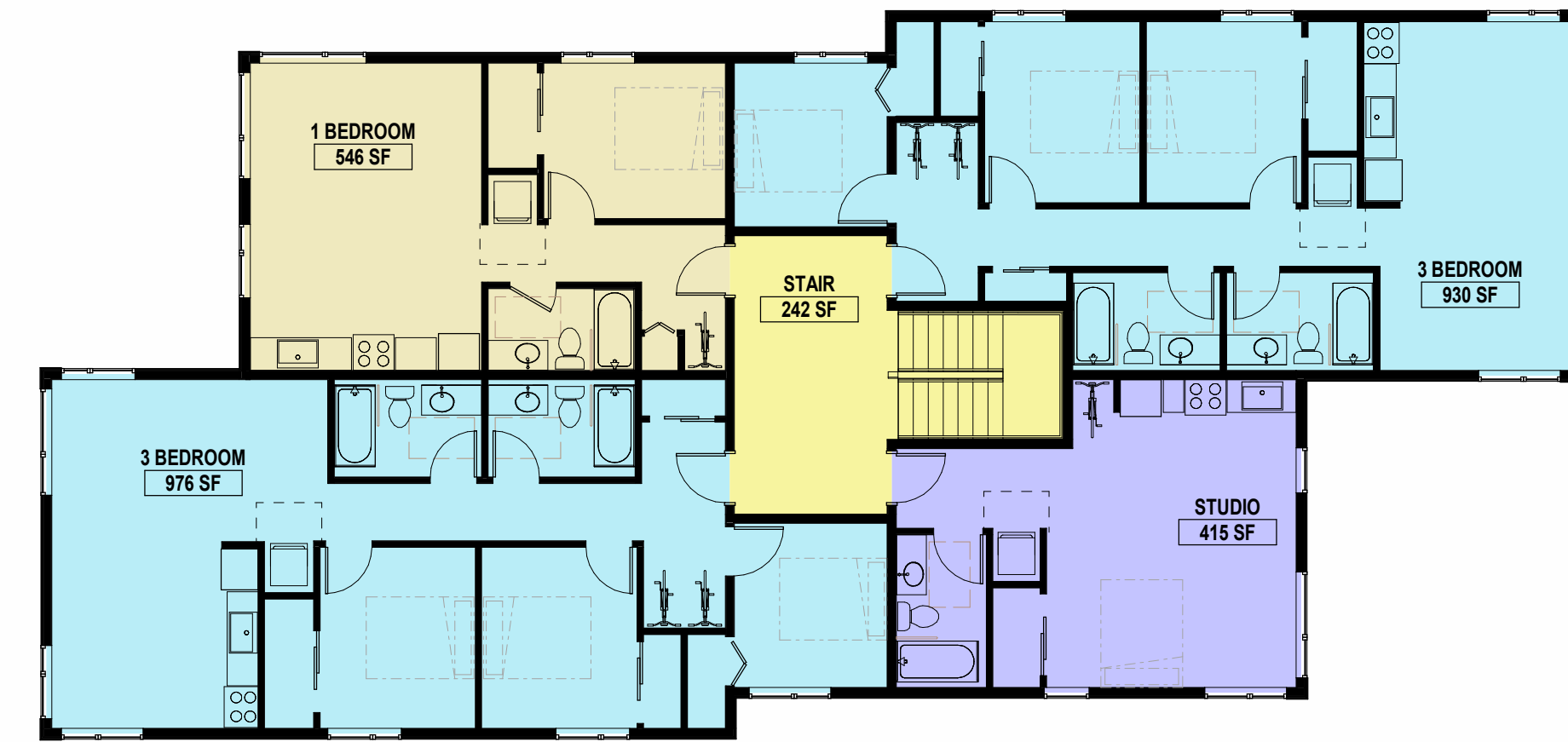


5 SOUTH ELEVATION
1" = 10'-0"

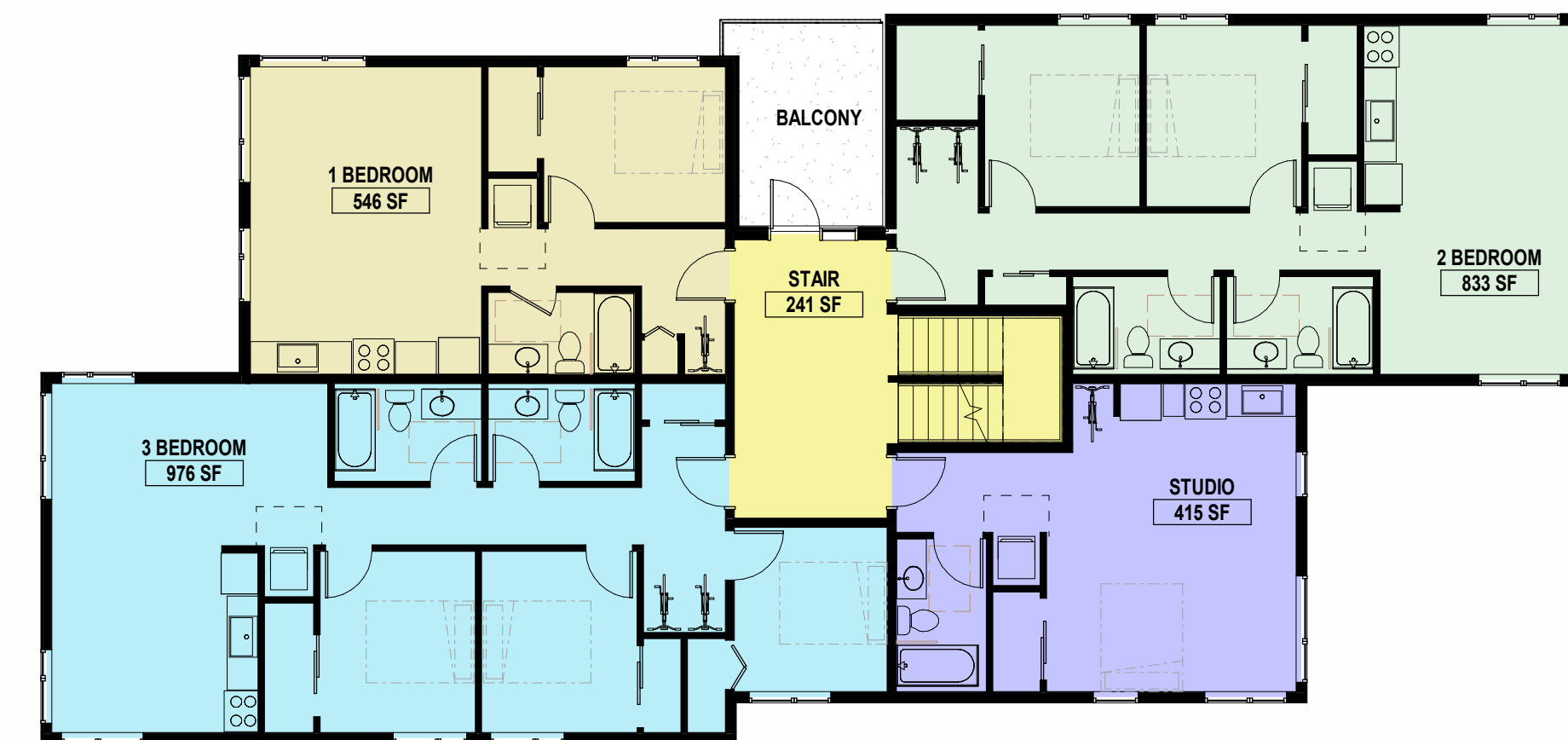


6 WEST ELEVATION
1" = 10'-0"

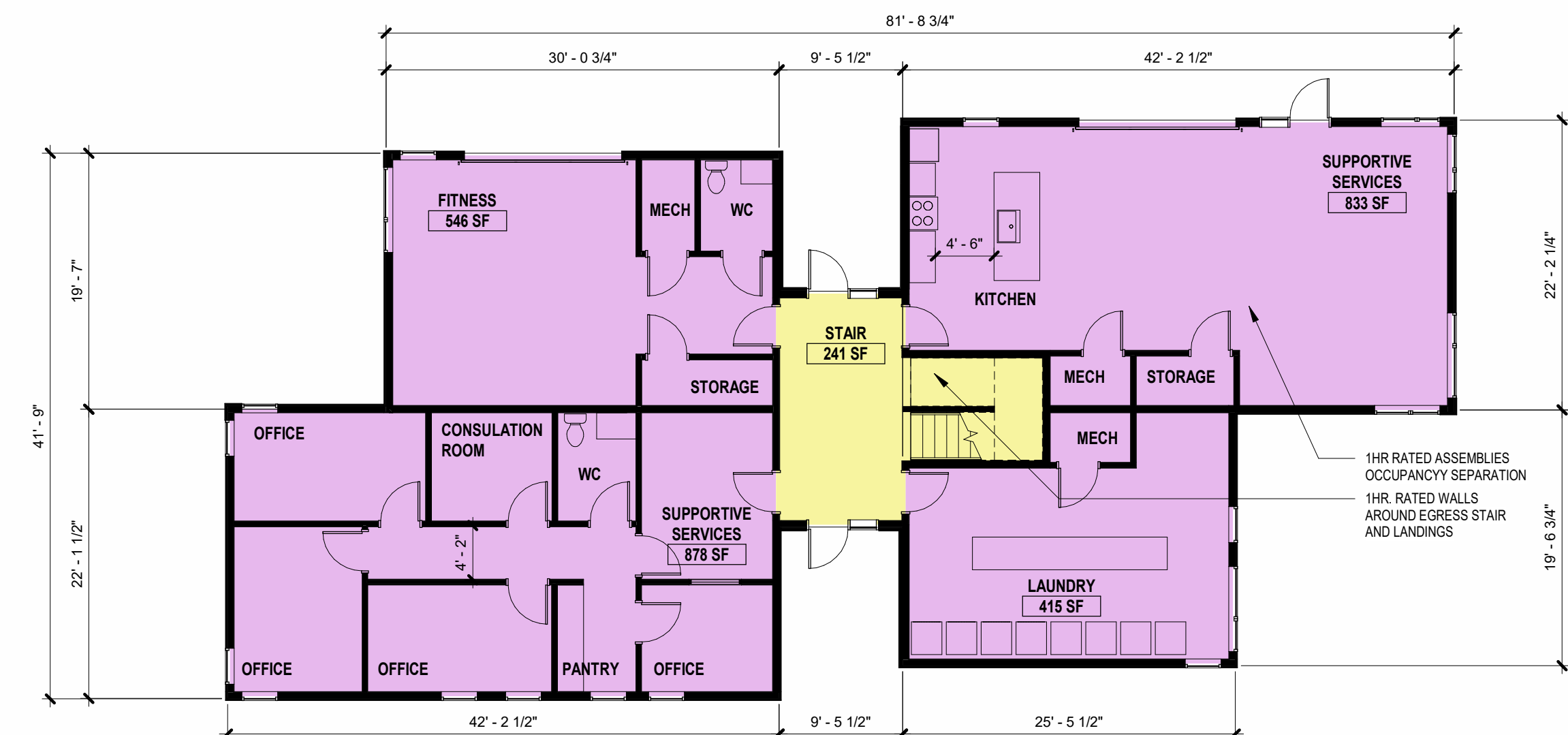
7 EAST ELEVATION
1" = 10'-0"



3 3RD FLOOR PLAN
1" = 10'-0"



2 2ND FLOOR PLAN
1" = 10'-0"



1 1ST FLOOR PLAN
1" = 10'-0"

BUILDING AREA:	
1ST FLOOR:	3136 SF
2ND FLOOR:	3136 SF
3RD FLOOR:	3556 SF
TOTAL:	9828 SF

ROOM TYPE LEGEND



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Project Name
DANCO-PETALUMA BUILDING 7

Project Address
**Corona Station
Petaluma CA**

FLOOR PLANS

A.13



2 TYPICAL FLOOR PLAN
1" = 10'-0"

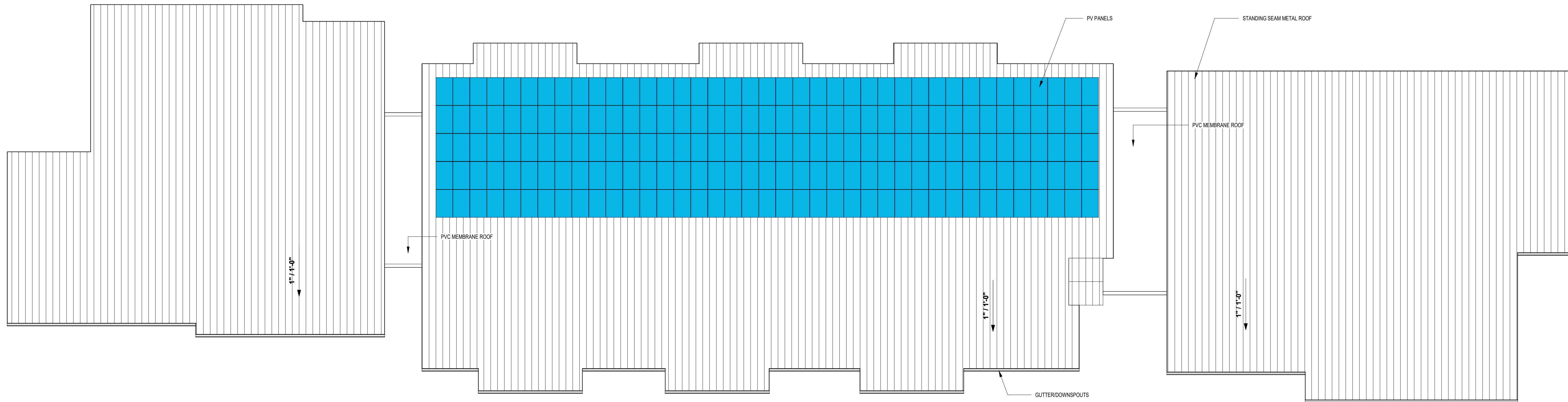


1 1ST FLOOR PLAN
1" = 10'-0"

BUILDING AREA:	
1ST FLOOR:	15300 SF
2ND FLOOR:	15463 SF
3RD FLOOR:	15463 SF
4TH FLOOR:	15435 SF
TOTAL:	61661 SF

ROOM TYPE LEGEND

STUDIO
 1 BEDROOM
 2 BEDROOM
 3 BEDROOM
 UTILITY
 CIRCULATION
 FIRE EXIT



1 ROOF PLAN
1" = 10'-0"

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**DANCO-PETALUMA
BUILDING 7**

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**Corona Station
Petaluma CA**

ROOF PLAN

A.14



2 NORTH ELEVATION
1" = 10'-0"



1 SOUTH ELEVATION
1" = 10'-0"

REVISIONS TO THIS SHEET		
REV.	DATE	DESCRIPTION

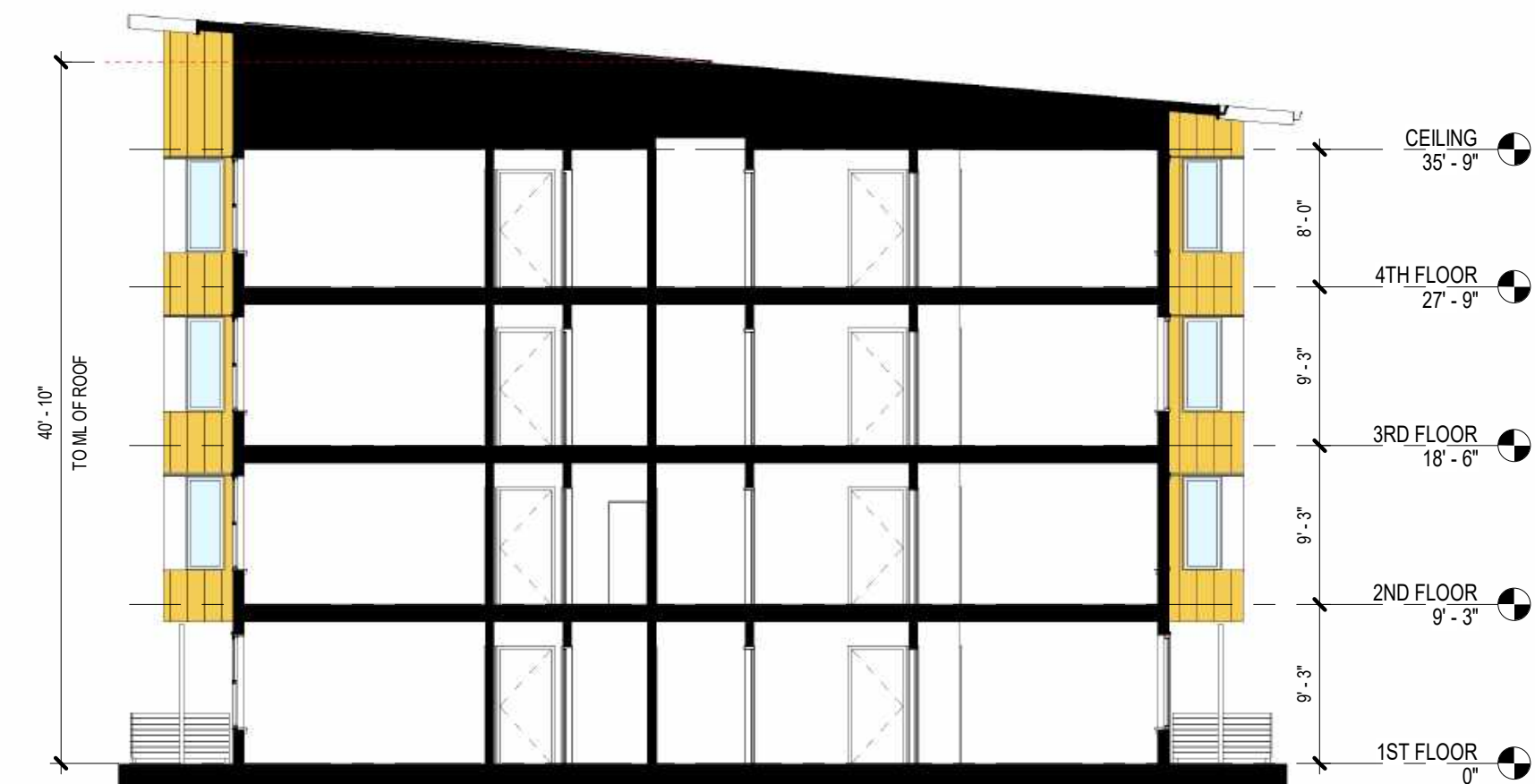
SET ISSUE DATE
2020.10.30 AB-2162 SUBMISSION



3 EAST ELEVATION
1" = 10'-0"



4 WEST ELEVATION
1" = 10'-0"



5 CROSS SECTION
1" = 10'-0"

PROJECT TRACKING
RBA #: 2011
P.I.C.: JOHN ROWELL
PM / PA: FRANK VISCONTI

Owner
DANCO

Project Name
**DANCO-PETALUMA
BUILDING 7**
Project Address
**Corona Station
Petaluma CA**

**BUILDING
ELEVATIONS**

A.15

ROWELL BROKAW

1203 Willamette Street
Suite 210
Eugene, Oregon 97401
541 485 1003
rowellbrokaw.com

Architecture. Design. Strategy.

STAMP



NOT FOR CONSTRUCTION

REVISIONS TO THIS SHEET

REV.	DATE	DESCRIPTION
------	------	-------------

SET ISSUE DATE

2020.10.30 AB-2162 SUBMISSION

PROJECT TRACKING

RBA #: 2011
P.I.C.: JOHN ROWELL
PM / PA: FRANK VISCONTI

Owner

DANCO

Project Name
**DANCO-PETALUMA
BUILDINGS 1, 2, 3, 4**

Project Address
**Corona Station
Petaluma CA**

MATERIALS & COLOR SELECTIONS

A.16

METAL PANEL TYPE B:
MEDIUM GAUGE VERTICAL BOX RIB METAL SYSTEM
WITH CONCEALED FASTENERS. ACCENTED COLOR TO BE
FACTORY APPLIED WARRANTIED FINISH.

TYPICAL ROOF:
METAL STANDING SEAM WITH CONCEALED FASTENERS.
COLOR TO BE LIGHT GRAY FACTORY APPLIED
WARRANTIED FINISH.

METAL PANEL TYPE A:
MEDIUM GAUGE VERTICAL BOX RIB METAL SYSTEM
WITH CONCEALED FASTENERS. COLOR TO BE GRAY
FACTORY APPLIED WARRANTIED FINISH.

TYPICAL WINDOWS:
VINYL IN WHITE FINISH

ACCENT WOOD PANELS WITH CLEAR STAIN

METAL DOORS WITH WHITE FINISH

PAINTED STEEL BALCONIES (WHITE)

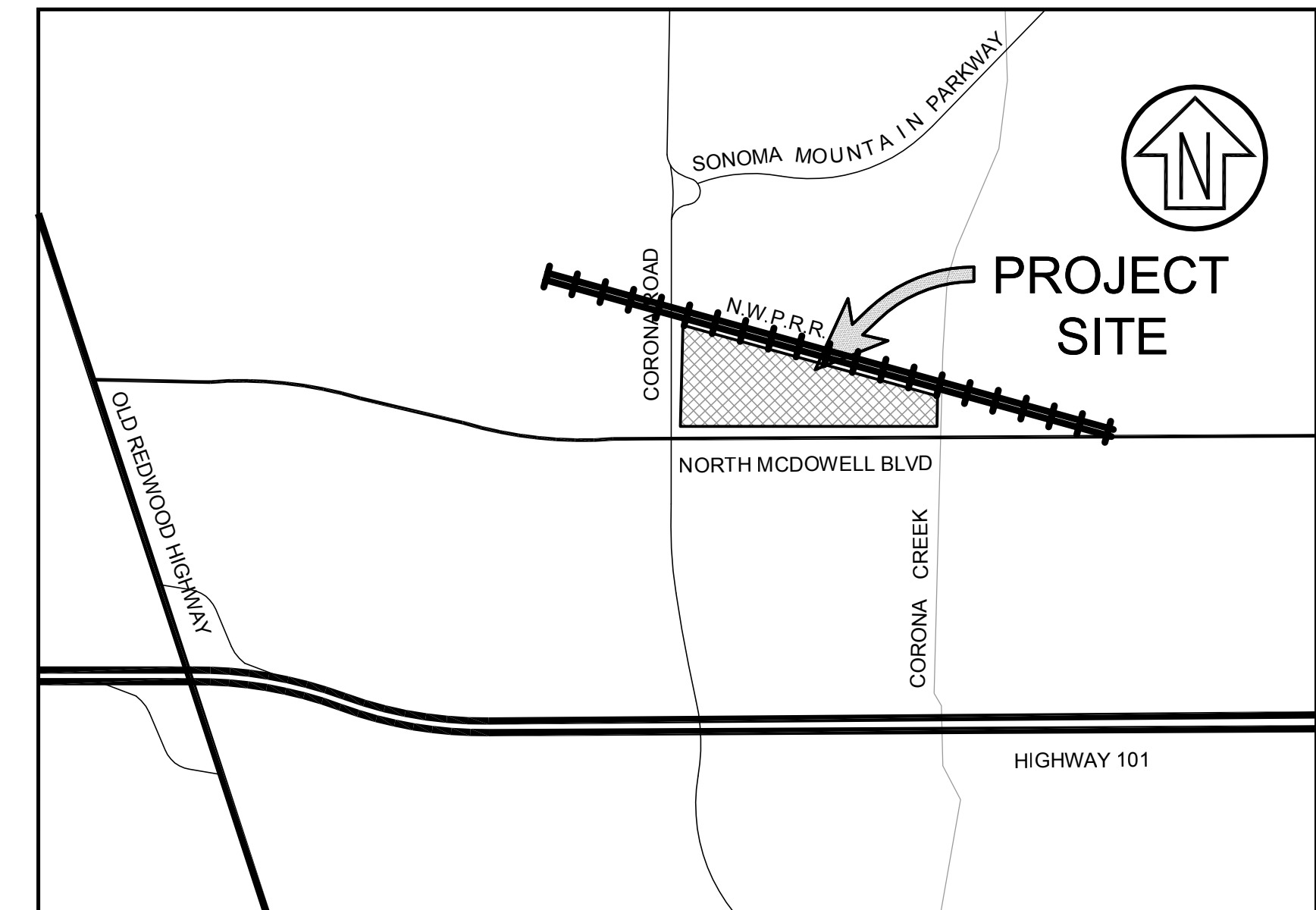
1 TYPICAL EXTERIOR MATERIALS & COLORS

1/2" = 1'-0"

TYPICAL FOR ALL BUILDINGS

PRELIMINARY PLANS FOR CORONA STATION RESIDENCES

PETALUMA, CALIFORNIA



VICINITY MAP
SCALE: NTS

Rev	Date	Description	Designed	Drawn	Checked
1	10/28/2020	INITIAL SUBMITTAL TO CITY			

SYMBOLS

EXISTING	PROPOSED

LINETYPES

EXISTING	PROPOSED

ABBREVIATIONS

AB	AGGREGATE BASE	FF	FINISH FLOOR	PVC	POLYVINYL CHLORIDE PIPE
AC	ASPHALT CONCRETE	FG	FINISH GRADE	RCP	REINFORCED CONCRETE PIPE
AD	AREA DRAIN	FH	FIRE HYDRANT	RP	RADIAL POINT
ACR	ACCESS COMPLIANT RAMP	FL	FLOWLINE	RW	RIGHT OF WAY
BC	BEGIN CURVE	FS	FINISH SURFACE	SD	STORM DRAIN
BCR	BEGIN CURB RETURN	GB	GRADE BREAK	SDCO	STORM DRAIN CLEANOUT
BF	BOTTOM OF FOOTING	HDPE	HIGH DENSITY POLYETHYLENE PIPE	SDMH	STORM DRAIN MANHOLE
BSW	BACK OF SIDEWALK	HP	HIGH POINT	SF	SQUARE FEET
BVC	BEGIN VERTICAL CURVE	INV	INVERT	SS	SANITARY SEWER
CB	CATCH BASIN	JB	JUNCTION BOX	SSCO	SANITARY SEWER CLEANOUT
CJ	CONTROL JOINT	JP	JOINT POLE	SSFM	SANITARY SEWER FORCE MAIN
CL	CENTERLINE / CONTROL LINE	JT	JOINT TRENCH	SSMH	SANITARY SEWER MANHOLE
CP	CONTROL POINT	LF	LINEAR FEET	SW	SIDEWALK
CR	CURB RETURN	LP	LOW POINT	TC	TOP OF CURB
DI	DROP INLET	MH	MANHOLE	TF	TOP OF FOOTING
DL	DAYLIGHT	NTS	NOT TO SCALE	TG	TOP OF GRATE
DWY	DRIVEWAY	PB	PULLBOX	TW	TOP OF WALL
EC	END CURVE	PC	POINT ON CURVE	tw	TOE OF WALL
ECR	END CURB RETURN	PCC	POINT OF COMPOUND CURVE	UNO	UNLESS NOTED OTHERWISE
EG	EXISTING GRADE	P.C.C.	PORTLAND CEMENT CONCRETE	VC	VERTICAL CURVE
EL	ELEVATION	PML	POST MOUNTED LIGHT	VIF	VERIFY IN FIELD
EP	EDGE OF PAVEMENT	PRC	POINT OF REVERSE CURVE	WML	WALL MOUNTED LIGHT
EX	EXISTING	PRO	PROPOSED	WL	WATER LINE
EVC	END OF VERTICAL CURVE	PT	POINT OF TANGENCY		
FC	FACE OF CURB				

BASIS OF TOPOGRAPHY

BASIS OF TOPOGRAPHY: TOPOGRAPHY SHOWN IS BASED ON AN AERIAL SURVEY BY 360 AERIAL SURVEYS. THE AERIAL WAS FLOWN ON 6/13/17. AERIAL CONTROL PROVIDED BY CSW|ST2.

BENCHMARK

VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) PER OPUS SOLUTION ON FILE IN THIS OFFICE.

BASIS OF BEARINGS

BASIS OF BEARINGS: N 35°30'40" E BEING THE MONUMENTED CENTERLINE OF CORONA ROAD AS SHOWN ON RECORD OF SURVEY, 387 MAPS 45, SONOMA COUNTY RECORDS.

SHEET INDEX

C1.0	COVER SHEET/VICINITY MAP
C2.0	EXISTING CONDITION PLAN
C3.0	CIVIL SITE PLAN - OVERALL
C3.1	CIVIL SITE PLAN - NORTH PORTION
C3.2	CIVIL SITE PLAN - SOUTH PORTION
C3.2	CIVIL SITE PLAN - SIDEWALK EXTENSIONS
C4.0	GRADING AND DRAINAGE KEY MAP/MASTER PLAN
C4.1	GRADING AND DRAINAGE PLAN (NORTH PORTION)
C4.2	GRADING AND DRAINAGE PLAN (SOUTH PORTION)
C5.0	STORM WATER CONTROL MASTER PLAN
C5.1	STORM WATER CONTROL PLAN (NORTH PORTION)
C5.2	STORM WATER CONTROL PLAN (SOUTH PORTION)
C5.3	STORM WATER CONTROL DETAILS
C6.0	UTILITY KEY MAP/MASTER PLAN
C6.1	UTILITY PLAN (NORTH PORTION)
C6.2	UTILITY PLAN (SOUTH PORTION)

PROJECT INFO

DEVELOPER
DANCO
5251 ERICSON WAY
ARCATA, CA 95521
TEL.: 707-825-1531
CONTACT: CHRIS DART

CIVIL ENGINEER
CSW|STUBER-STROEH ENGINEERING GROUP, INC.
45 LEVERONI COURT
NOVATO, CA 94949
TEL. 415/883-9850
CONTACT: WAYNE LEACH, RCE 54309

ASSESSOR PARCEL NUMBER: 137-061-19

CORONA STATION RESIDENCES
COVER SHEET
DANCO (APN 137-061-19)

City Of
Petaluma
County Of
Sonoma
State Of
California

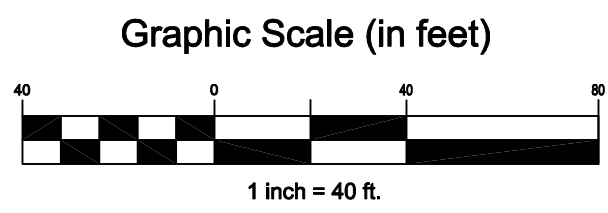
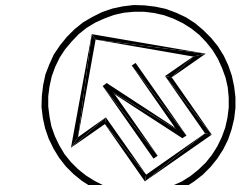
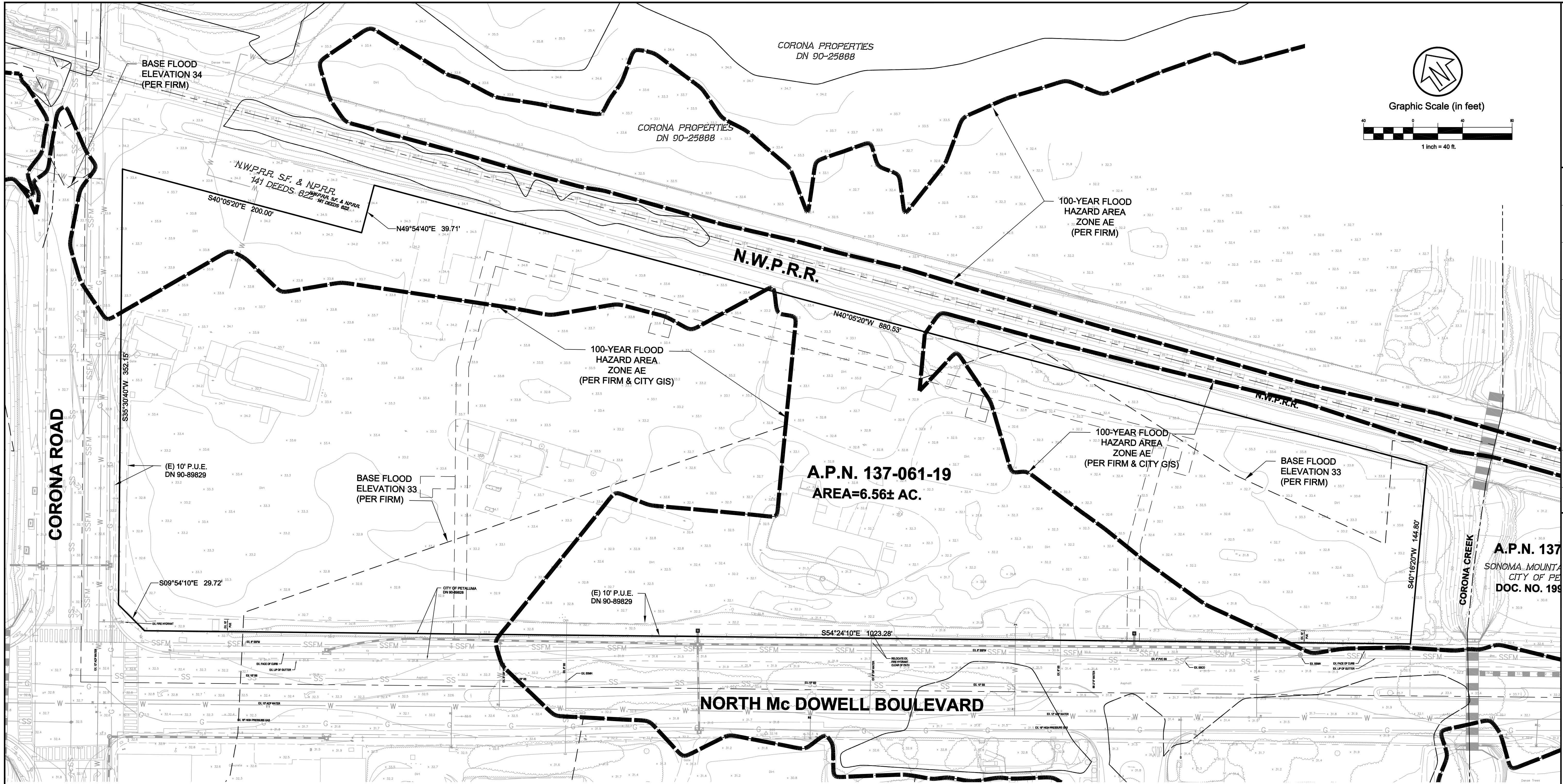
Prepared Under the Direction of:



Sheet
C1.0

Scale: NTS
Date: 10/07/2020
Project Number: 20.10.128
Plan File: XX

PRELIMINARY




CSW | ST2
CSW/Stuber-Stroeh Engineering Group, Inc.
 45 Leveroni Court tel: 415.883.9850
 Novato, CA 94949 fax: 415.883.9335
 Civil & Structural Engineers
 Surveying & Mapping
 Environmental Planning
 Land Planning
 Construction Management
 http://www.cswst2.com © 2017

Rev	Date	Description	Designed	Drawn	Checked

CORONA STATION RESIDENCES
 EXISTING CONDITIONS
 DANCO (APN 137-061-19)

City Of
Petaluma
 County Of
Sonoma
 State Of
California

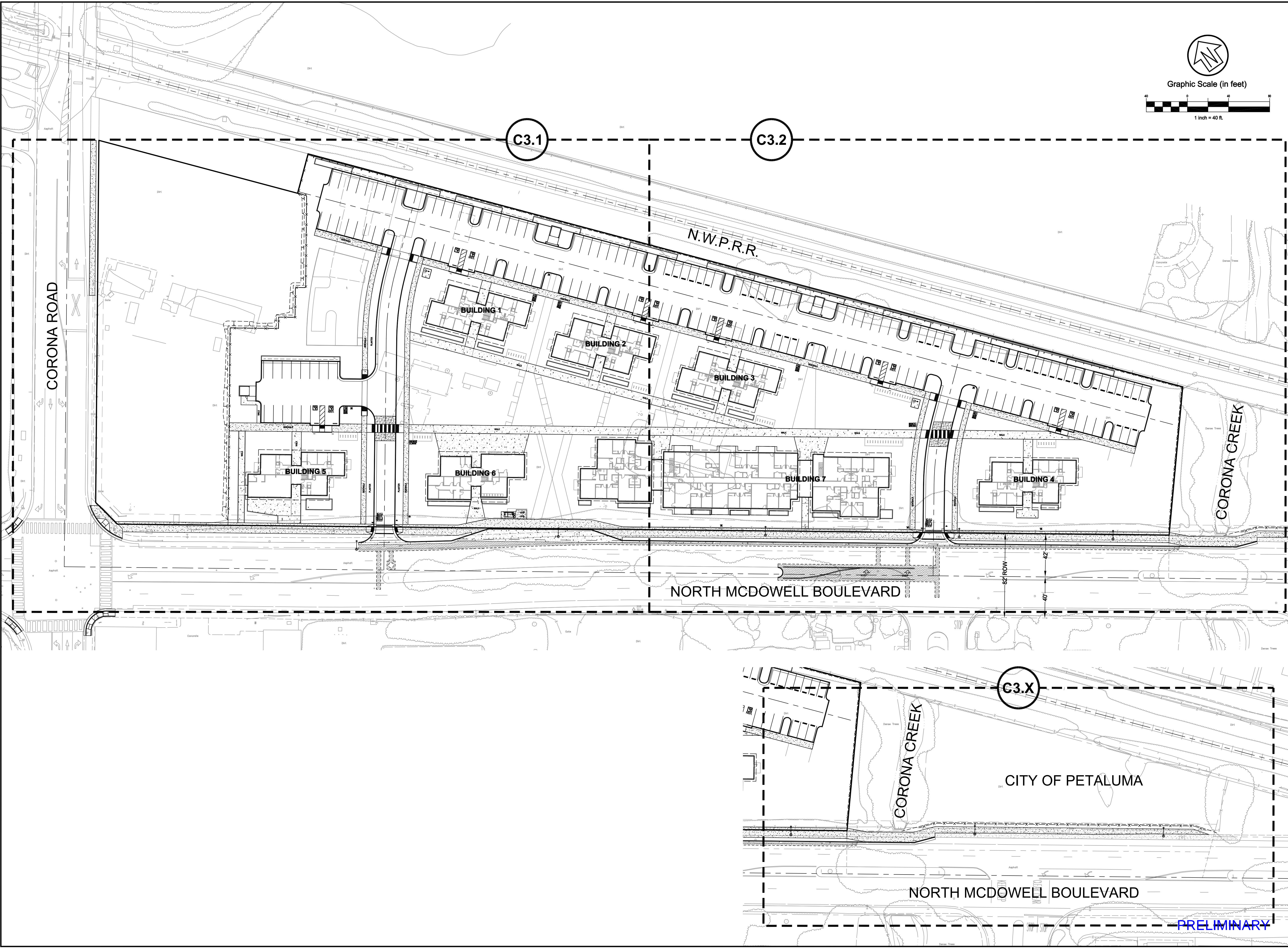
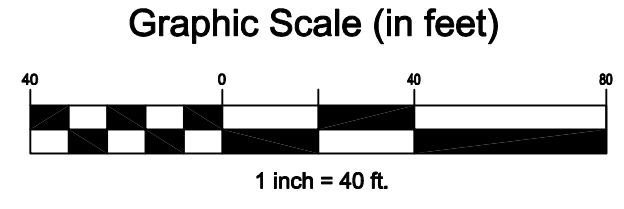
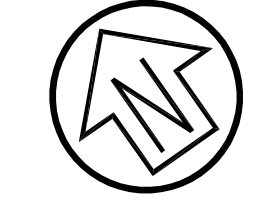
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C2.0
 Scale: 1" = 40'
 Date: 10/07/2020
 Project Number: 20.10.128
 Plan File: 19

- PROJECT NOTES:**
1. PORTIONS OF PROPERTY ARE LOCATED IN SPECIAL FLOOD HAZARD AREAS.
 2. PROJECT IS SUBJECT TO REQUIREMENTS OF THE FLOODWAY AND FLOOD PLAIN DISTRICTS.
 3. FLOODPLAIN AREA IS BASED ON CITY OF PETALUMA GIS INFORMATION AND FIRM 060379-0894-F EFFECTIVE DATE 2/19/2014
 4. PER CH 6 FLOODWAY AND FLOODPLAIN DISTRICTS, 6.070 GENERAL PROVISIONS: RESIDENTIAL CONSTRUCTION AND NON-RESIDENTIAL CONSTRUCTION SHALL HAVE LOWEST HABITABLE FLOOR ELEVATED AT LEAST 12 ABOVE BASE FLOOD ELEVATION
 5. AREAS OF WATER DEPTHS WITHIN SPECIAL FLOOD HAZARD AREA ARE ESTIMATED TO BE LESS THAN ONE FOOT.
 6. DEVELOPMENT IS EXPECTED TO BE SUBJECT TO STORMWATER DETENTION THAT MITIGATES ANY INCREASES IN FLOW RATES FROM A 10-YEAR STORM EVENT.
 7. DETENTION IS EXPECTED TO BE ACHIEVED THROUGH INCREASED STORM DRAIN PIPES OR BELOW GROUND STORAGE LOCATED IN DRIVES AND PARKING AREAS.
 8. STORMWATER TREATMENT IS EXPECTED TO BE ACHIEVED THROUGH BIoretention TYPE TREATMENT MEASURES.
 9. STORMWATER TREATMENT AREA TO BE APPROXIMATELY 4-PERCENT OF THE IMPERVIOUS SURFACES.

PRELIMINARY

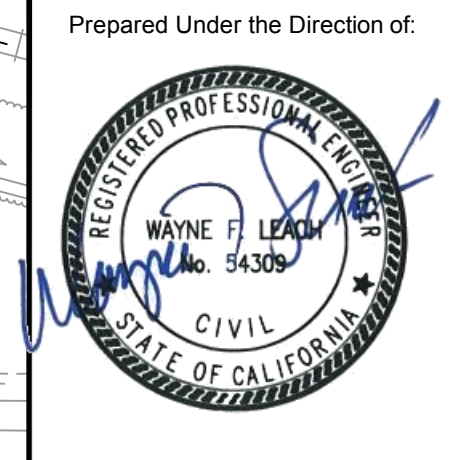
10/28/2020 INITIAL SUBMITTAL TO CITY



Rev	Date	Description	Designed	Drawn	Checked

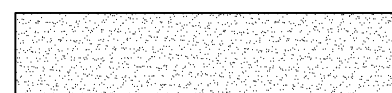
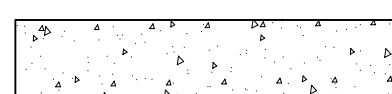
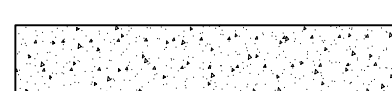
CORONA STATION RESIDENCES
CIVIL SITE PLAN
OVERALL
 DANCO (APN 137-061-19)

City Of
 Petaluma
 County Of
 Sonoma
 State Of
 California



Sheet
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 Scale: 1" = 40'
 Date: 10/07/2020
 Project Number: 20.10.128
 Plan File: 05

LEGEND

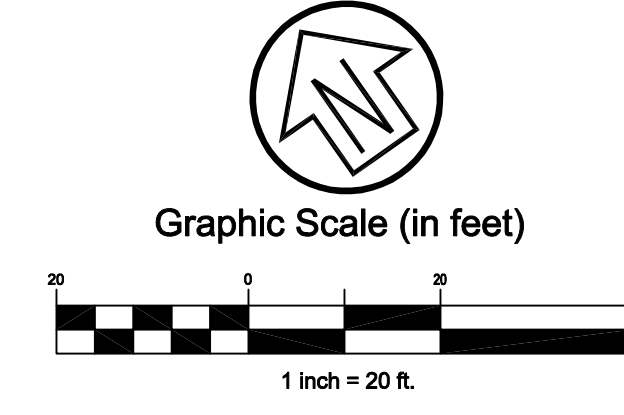
-  AC PAVEMENT
SEE SHEET C7.0 / DETAIL 1
-  VEHICULAR CONCRETE PAVEMENT
SEE SHEET C7.0 / DETAIL 2
-  CONCRETE WALK
SEE SHEET C7.0 / DETAIL 3

CITY STREET MONUMENT PER C.O.P.S. 214.1.2, AND 3
FIRE HYDRANT & BLUE MARKER
SIGN

KEYNOTES

- ① FENCE. SEE LANDSCAPE PLANS FOR DETAILS.
- ② TRANSFORMER PAD
- ③ CASE F ACCESS COMPLIANT RAMP PER CALTRANS STD. PLAN A88A
- ④ CASE A ACCESS COMPLIANT RAMP PER CALTRANS STD. PLAN A88A
- ⑤ DOUBLE ACCESSIBLE PARKING STALLS (1 VAN, 1 STANDARD) WITH CASE C ACCESS COMPLIANT RAMP
- ⑥ STREET & STOP SIGN
- ⑦ 4" WHITE STANDARD CROSSWALK (6' WIDE) UNLESS NOTED OTHERWISE.
- ⑧ 12" WHITE STANDARD CROSSWALK (8' WIDE)
- ⑨ ONSITE LIGHT STANDARD
- ⑩ RETAINING WALL PER CALTRANS STD. LAN B3-7. TYPE 5.

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CSW/Stuber-Stroeh Engineering Group, Inc.
 45 Leverone Court | tel: 415.883.9850
 Novato, CA 94949 | fax: 415.883.9335
 Civil & Structural Engineers
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 Environmental Planning
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 Construction Management
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N.W.P.R.R. S.F. & N.P.R.R.
141 DEEDS 822

STORMWATER BIORETENTION AREAS (TYP.)

2' VEHICLE OVERHANG

N.W.P.R.R.

INCREASE END STALLS 1' AT ALL PLANTERS (TYP.)

BUILDING 1

BUILDING 2

BUILDING 5

BUILDING 6

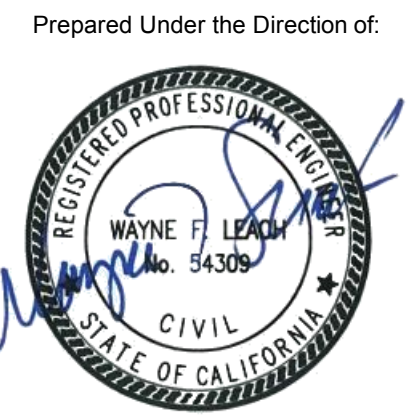
CORONA ROAD

NORTH MCDOWELL BLVD

Rev	Date	Description

**CORONA STATION RESIDENCES
 CIVIL SITE PLAN
 NORTH PORTION
 DANCO (APN 137-061-19)**

City Of
Petaluma
 County Of
Sonoma
 State Of
California



Sheet	C3.1
Scale:	1" = 20'
Date:	10/07/2020
Project Number:	20.10.128
Plan File:	06

PRELIMINARY

STREET LIGHT TO BE REMOVED AND REPLACED AS SHOWN. PROVIDE NEW STANDARD STREET LIGHT ARTERIAL STREET COMPLETE IN PLACE PER CITY STD DETAIL 604 & 605. (TYP.)

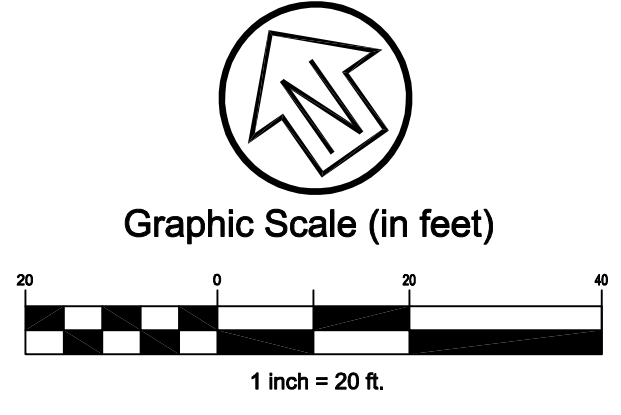
BUS STOP WITH 10' WIDE X 100' LONG APRON
 BUS SHELTER (9' LOW DOME WITH FLAT AD BOX - TOLAR MANUFACTURING INC. OR EQUIVALENT PER CITY TRANSIT) 2 BIKE RACKS, AND 2 TRASH RECEPTACLES

STREET LIGHT TO BE REMOVED AND REPLACED AS SHOWN. PROVIDE NEW STANDARD STREET LIGHT ARTERIAL STREET COMPLETE IN PLACE PER CITY STD DETAIL 604 & 605.

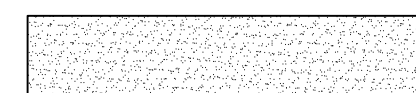
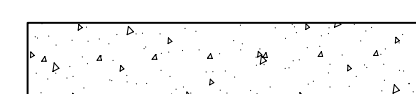




EX. CONC. SIDEWALK
 EX. FACE OF CURB
 EX. LIP OF GUTTER

Asphalt

205
32.16



LEGEND

-  AC PAVEMENT
SEE SHEET C7.0 / DETAIL 1
-  VEHICULAR CONCRETE PAVEMENT
SEE SHEET C7.0 / DETAIL 2
-  CONCRETE WALK
SEE SHEET C7.0 / DETAIL 3
-  CITY STREET MONUMENT PER C.O.P.S. 214.1.2, AND 3
-  FIRE HYDRANT & BLUE MARKER
-  SIGN

KEYNOTES


- 1 FENCE. SEE LANDSCAPE PLANS FOR DETAILS.
- 2 TRANSFORMER PAD
- 3 CASE F ACCESS COMPLIANT RAMP PER CALTRANS STD. PLAN A88A
- 4 CASE A ACCESS COMPLIANT RAMP PER CALTRANS STD. PLAN A88A
- 5 DOUBLE ACCESSIBLE PARKING STALLS (1 VAN, 1 STANDARD)
- 6 STREET & STOP SIGN
- 7 4" WHITE STANDARD CROSSWALK (6' WIDE) UNLESS NOTED OTHERWISE.
- 8 12" WHITE STANDARD CROSSWALK (8' WIDE)
- 9 HISTORIC STYLE STREET LIGHT WITH ACORN FIXTURE PER C.O.P.S. 609
- 10 RETAINING WALL PER CALTRANS STD. LAN B3-7, TYPE 5.

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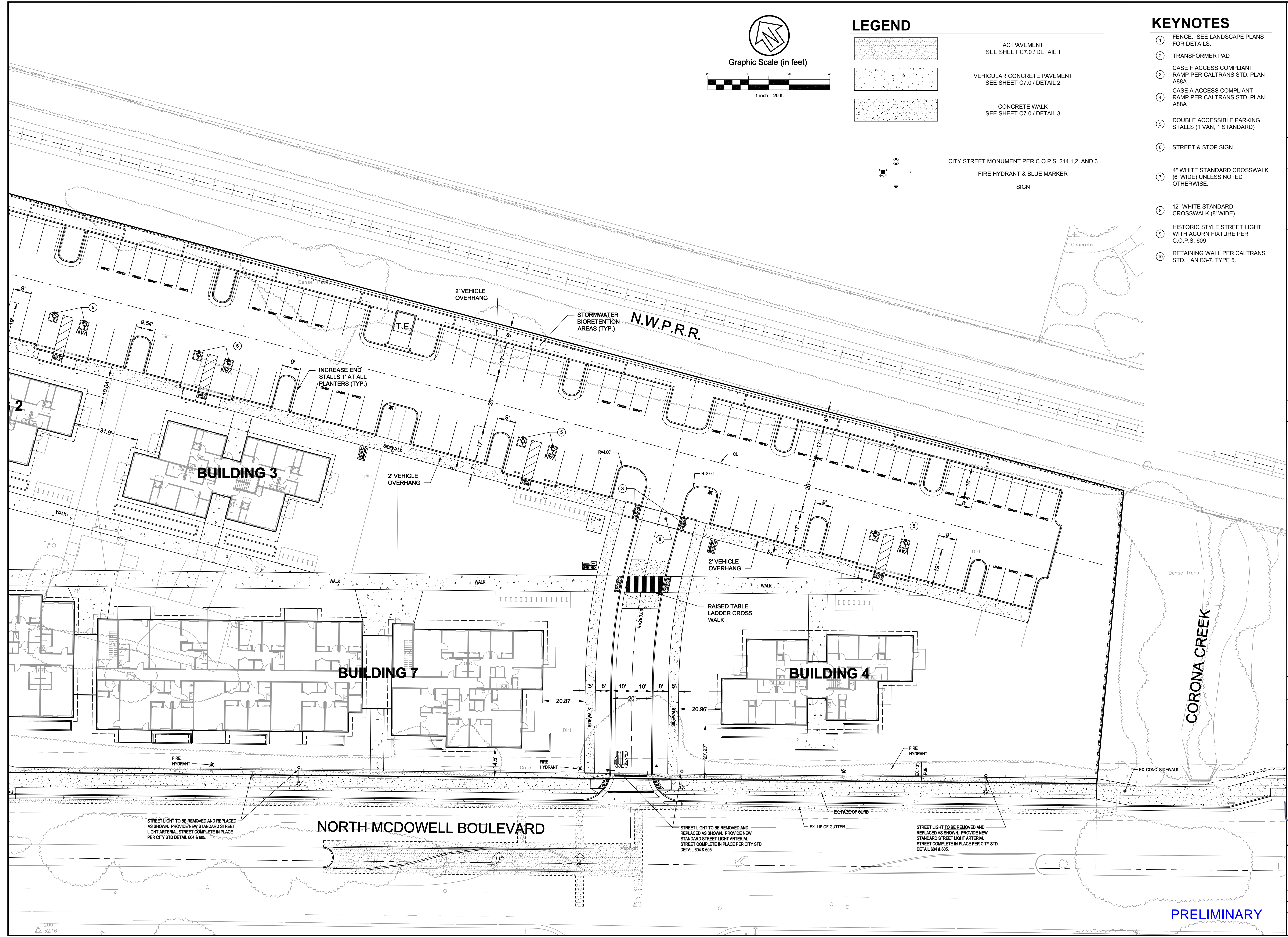
Rev	Date	Description	Designed	Drawn	Checked

**CORONA STATION RESIDENCES
 CIVIL SITE PLAN
 SOUTH PORTION
 DANCO (APN 137-061-19)**

City Of
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 County Of
 Sonoma
 State Of
 California

Prepared Under the Direction of:


Sheet	C3.2
Scale:	1" = 20'
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Project Number:	20.10.128
Plan File:	07



PRELIMINARY