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LD.6	LIGHTING FIXTURE CUTSHEETS



Project Team

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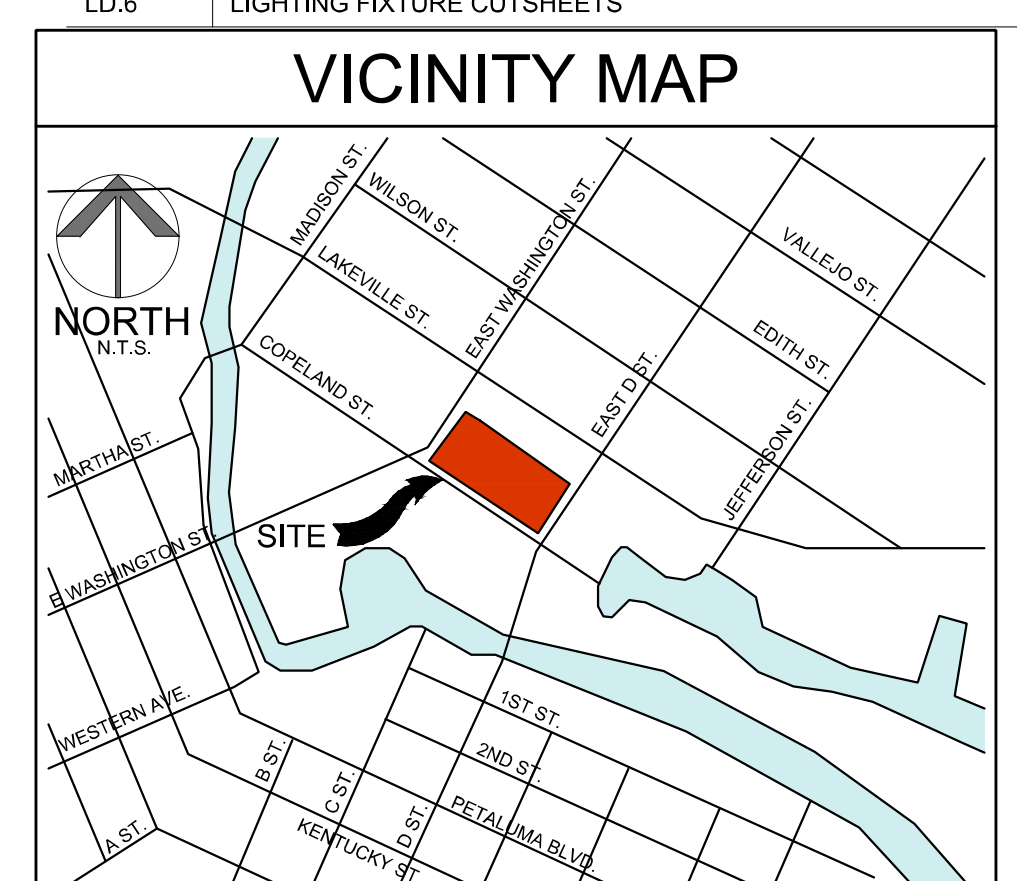
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PROJECT DESCRIPTION

Type III-A Sprinklered construction (Residential)
Type I-A Sprinklered construction (Associated Parking Garage)

A new mixed use, multi-family residential project adjacent to the Petaluma Smart Station:
Two separate 5 story apartment buildings wrapped around above-grade parking structures.



REVISION LOG

NO.	DESCRIPTION	Date
1	PRE-SUBMITTAL	02.12.20
2	SUBMITTAL 2	06.19.20
2	SUBMITTAL 2 SET REVISION DATE	07.01.20
3	SUBMITTAL 3	08.21.20
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VIEW FROM WASHINGTON AND TRAIN STATION LOOKING SOUTH
6



AERIAL VIEW OF SITE LOOKING NORTH



VIEW FROM D STREET AT TRAIN STATION LOOKING WEST
1



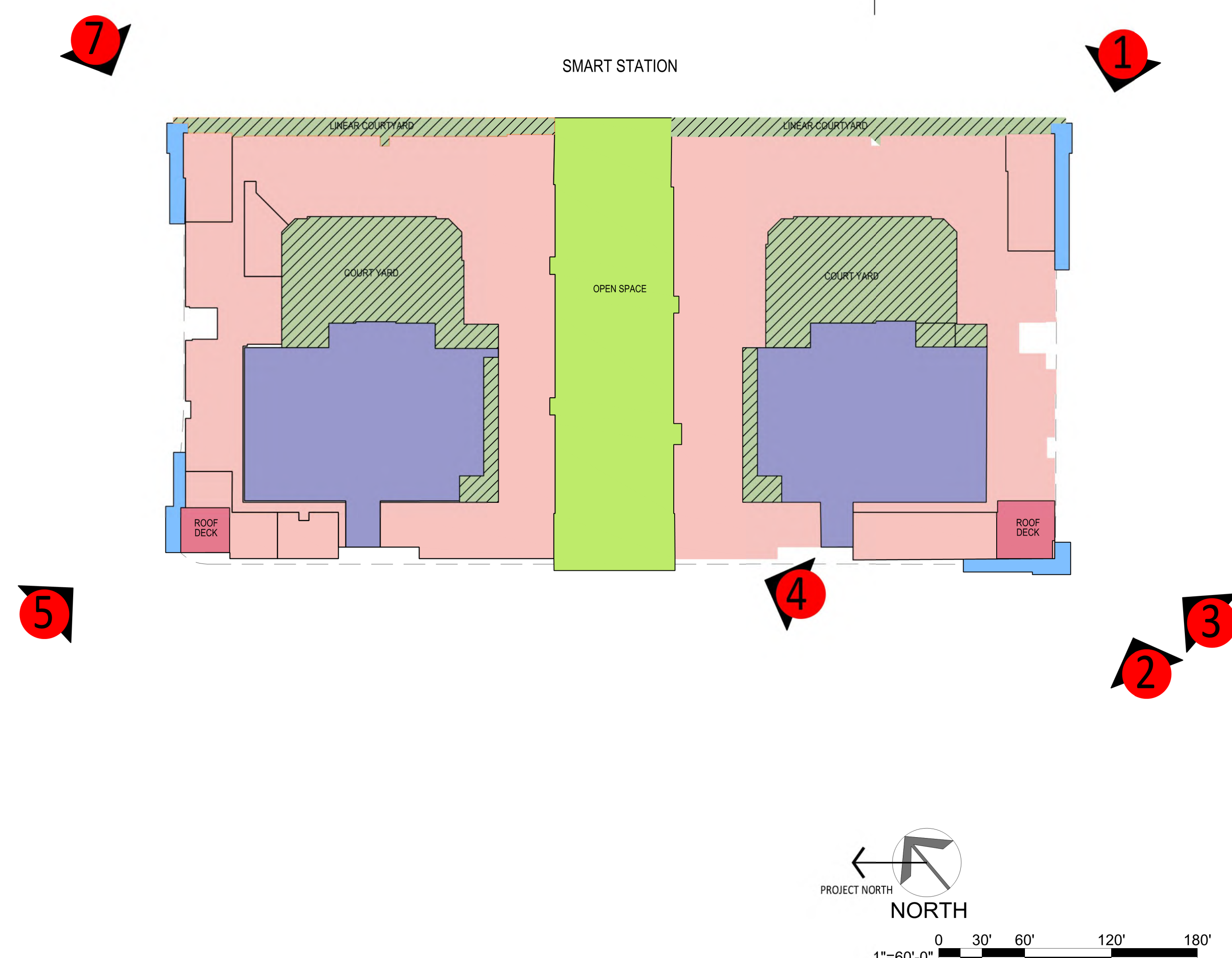
VIEW FROM COPELAND AND WASHINGTON LOOKING SOUTH EAST
5



VIEW FROM COPELAND AND D STREET LOOKING NORTH
2



VIEW MID-BLOCK ON COPELAND LOOKING NORTH
4



VIEW FROM COPELAND AND D STREET LOOKING NORTH WEST
3

EXISTING CONDITIONS



A1.1

Scale
Job No. 2017-628
Date 08-21-2020

SECTION 2.2 REGULATING PLAN DOWNTOWN STATION AREA DETAIL

TRANSECT AREA DESCRIPTIONS

ZONE T5 - URBAN CENTER

- HIGHER DENSITY MIXED USE BUILDINGS
- RETAIL, OFFICES, ROWHOUSES, APARTMENTS
- TIGHT NETWORK OF STREET, WIDE SIDEWALKS, STREET TREE PLANTING
- BUILDINGS SET CLOSE TO SIDEWALK

FRONTAGE TYPES

- STOOPS
- SHOPFRONTS
- GALLERIES

CIVIC SPACES

- PARKS
- PLAZAS
- SQUARES

ZONE T6-O- URBAN CORE - OPEN

- HIGHEST DENSITY
- CIVIC BUILDINGS, MIXED USE, ENTERTAINMENT, CULTURAL USES, APARTMENT
- LARGER BLOCKS
- STREET TREE PLANTING
- BUILDINGS SET CLOSE TO SIDEWALK
- SHALLOW SETBACKS
- BUILDINGS SET CLOSE TO SIDEWALK

- STOOPS
- DOORYARDS
- FORECOURTS
- ARCADES
- SHOPFRONTS
- GALLERIES

- PARKS
- PLAZAS
- SQUARES

FRONTAGE TYPES

- STOOPS
- DOORYARDS
- FORECOURTS
- ARCADES
- SHOPFRONTS
- GALLERIES

CIVIC SPACES

- PARKS
- PLAZAS
- SQUARES

CIVIC SPACES




- PARKS
- PLAZAS
- SQUARES

PUBLIC STRUCTURE

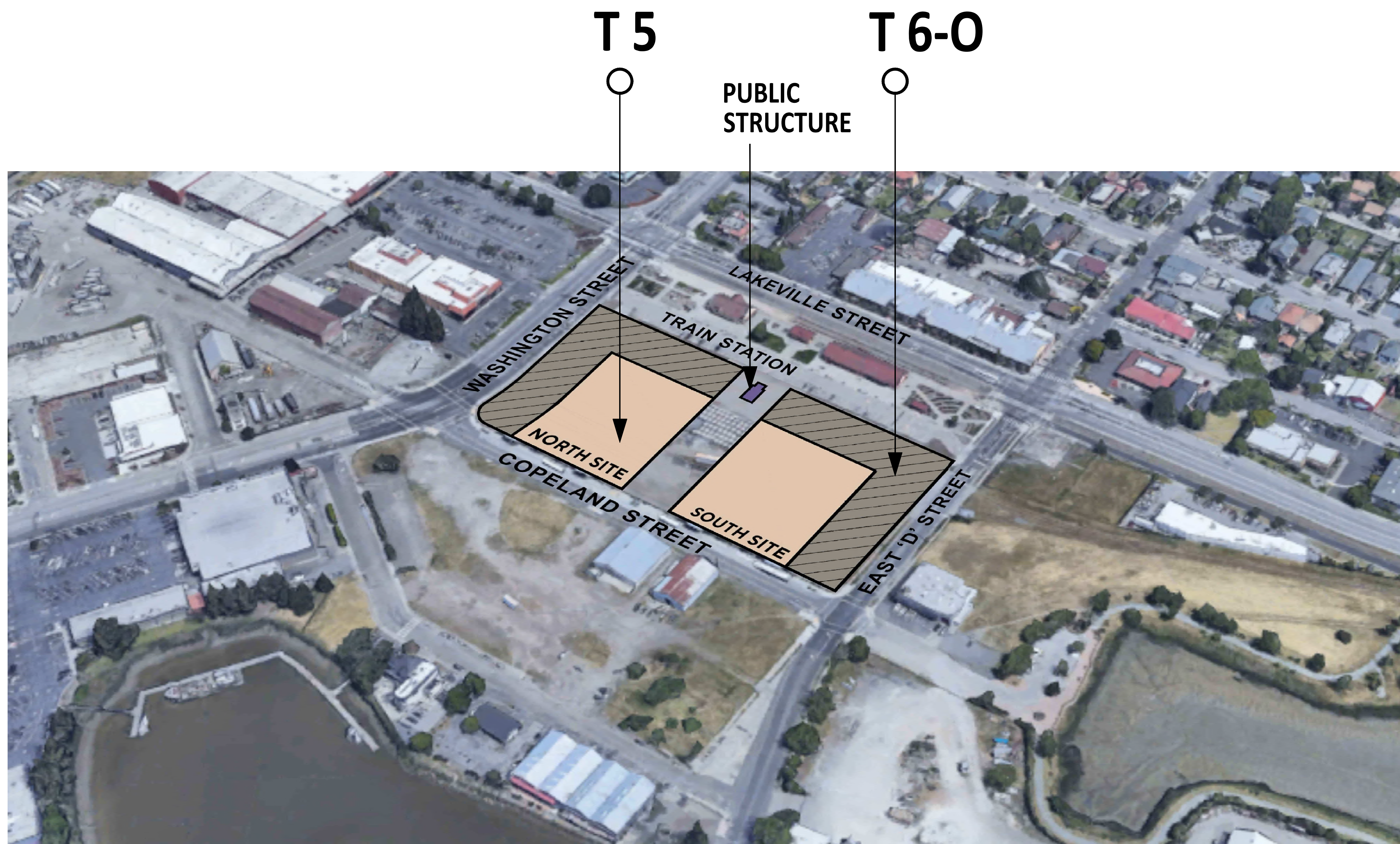
- VERTICAL ELEMENT
- 50' TALL MINIMUM

SECTION 2

2.20- REGULATING PLAN DOWNTOWN DOWNTOWN STATION AREA

-  GALLERY
-  STOOP OR DOORYARD
-  SHOPFRONT

URBAN CORE - OPEN (T6-O)
ALLOWS FOR ADDITIONAL GROUND FLOOR USES



REGULATING PLAN ZONES

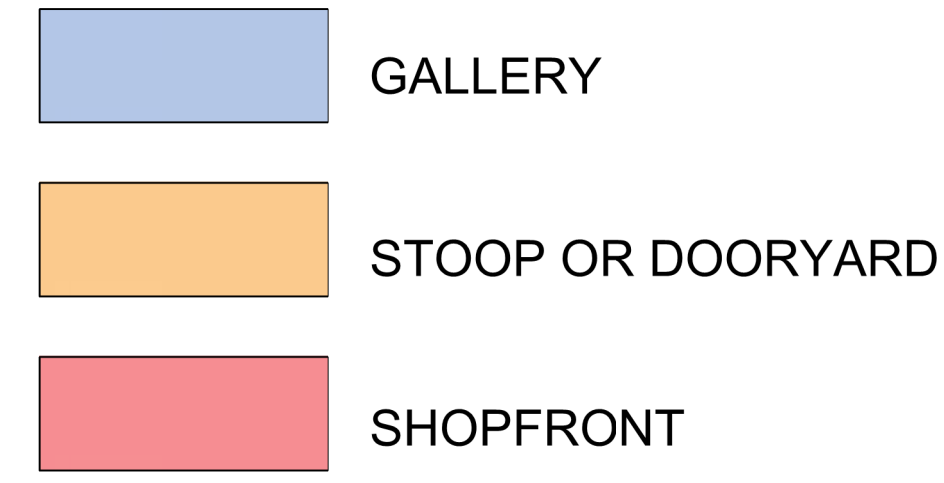


A1.2

Scale
Job No. 2017-628
Date 08-21-2020

**SECTION 3
BUILDING FUNCTION STANDARDS**
SEE COLORED CODED TABLE 3.1 FROM THE PETALUMA SMART RAIL STATION ARS: MASTER PLAN AND COLORED CODED SITE PLAN IDENTIFYING ALLOWED USES WITHIN THE T5 AND T6 TRANSECT ZONES USED IN THE PROJECT PLAN.

**SECTION 4
URBAN STANDARDS**
SEE SITE PLAN FOR ALLOCATTION OF FRONTAGE TYPES



FRONTAGE TYPE OVERVIEW 4.40.030

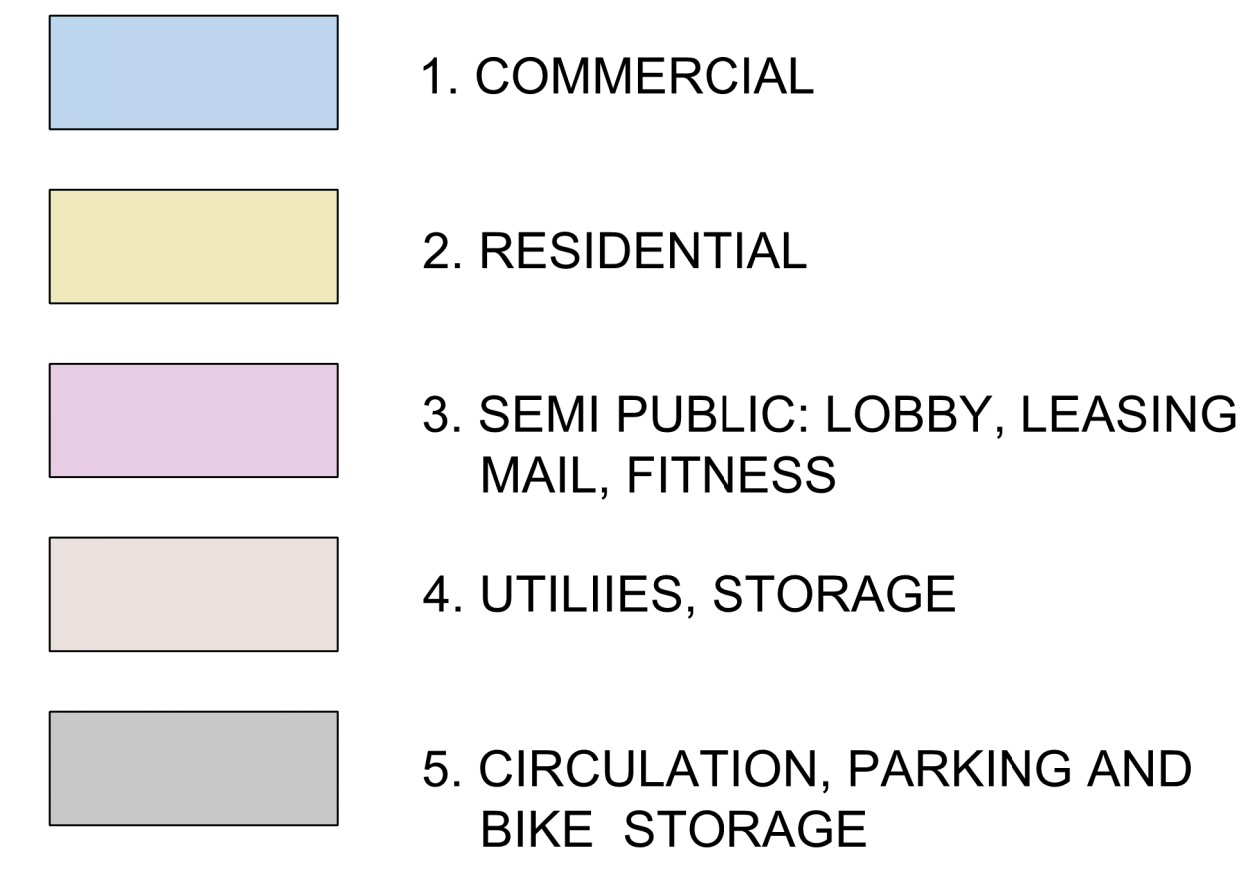
STOOP: T5
The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.

DOORYARD: T5
The frontage line is defined by a low wall or hedge and the main facade of the building is set back a small distance creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground floor residential in flex zones, live/ work, and small commercial uses ≤2,500sf.

SHOPFRONT: T5 AND T6
The main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail use. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.
Syn: Retail Frontage, Awning

GALLERY: T5 AND T6
The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery should be used to provide the primary circulation along a frontage and extend far enough from the building to provide adequate protection and circulation for pedestrians.

**SECTION 4.7
STANDARDS FOR SPECIFIC LAND USES**
LAND USE KEY



FRONTAGE TYPE OVERVIEW 4.40.030

4.70.030 MIXED USE PROJECT

- A. SHALL PROVIDE**
 - Provide a blend of commercial space and residential units
 - Concentrate high density residential dwellings and commercial operations in the downtown or other urban/commercial districts.
 - Provide a diverse range of housing types.
 - Promote continued activity in the evening and on weekends

4.70.040 BUILDING MATERIAL GUIDELINES

- A. BUILDING MATERIALS**
 - Natural building materials that age gracefully
 - CALGreen Tier 1. Building shall meet the requirements of CALGreen Tier 1.

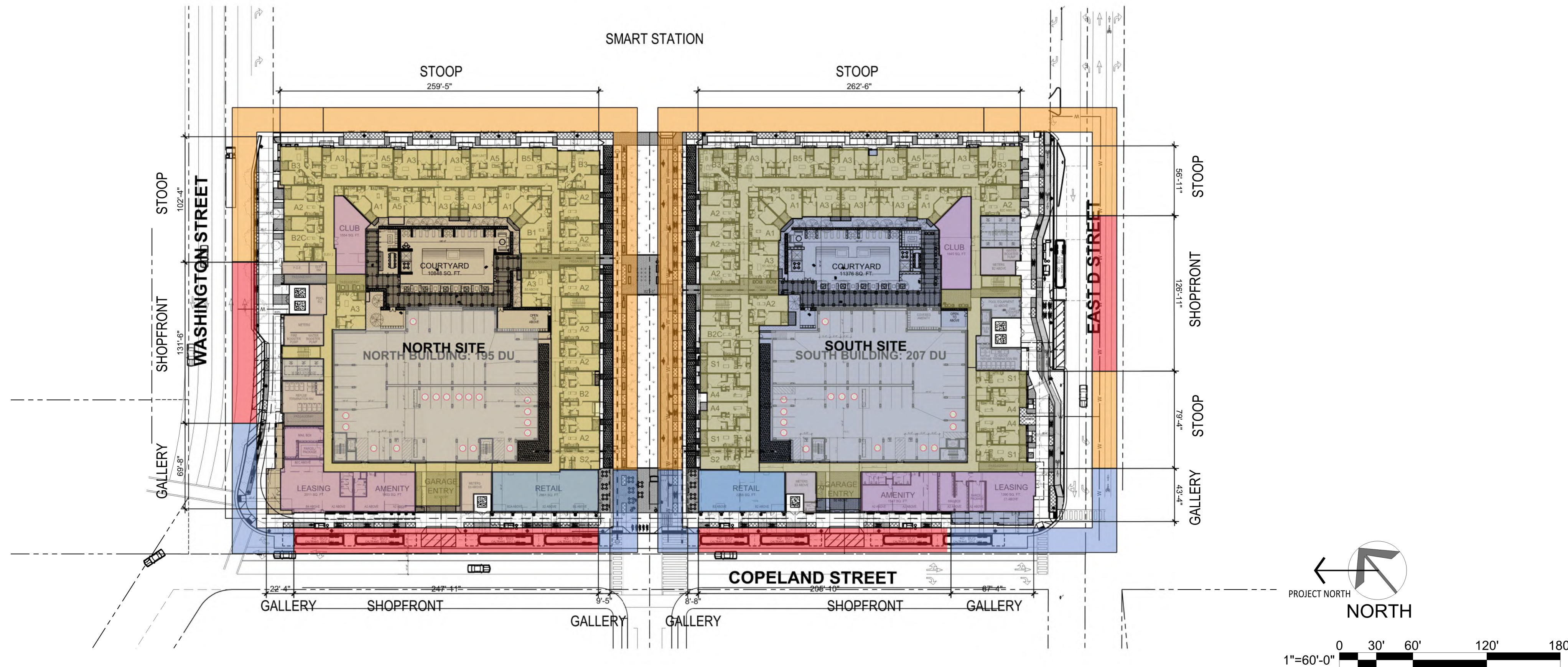


TABLE 3.1: ALLOWABLE BUILDING FUNCTIONS AND PERMIT REQUIREMENTS

Function	CUP	MUP	MUP	MUP	P	P	P
ASSEMBLY							
Bar/nightclub	CUP	CUP	CUP	CUP	-	-	CUP
Commercial recreation facility							
Indoor, ≤ 5,000 sf	CUP	MUP	MUP	MUP	-	-	CUP
Indoor, > 5,000 sf	CUP	CUP	CUP	CUP	-	-	CUP
Outdoor	-	-	-	-	-	-	CUP
Community meeting facility							
≤10,000 sf	CUP	P	MUP	MUP	-	-	-
>10,000 sf	CUP	CUP	CUP	CUP	-	-	-
Conference/convention facility							
≤10,000 sf	P	P	MUP	MUP	-	-	P
>10,000 sf	CUP	CUP	CUP	CUP	-	-	CUP
Fitness/health facility	P	P	P	P	-	-	P
Library, museum	P	P	P	P	-	-	-
School - Specialized education/training	P	P	P	P	-	-	CUP
Sports and entertainment assembly facility	-	-	-	-	-	-	CUP
Studio - Art, dance, martial arts, music, etc.	P	P	MUP	P	-	-	P
Theater							
Movie (See Chapter 19.70, Theater Combining District, Petaluma Implementing Zoning Ordinance)	-	P	P	P	-	-	-
Live Performance	CUP	CUP	MUP	MUP	-	-	CUP
LODGINGS							
Bed and breakfast inn	P	P	P	P	-	-	-
Hotel or motel	-	P	P	P	-	-	P
RESIDENTIAL							
Emergency shelter	CUP	CUP	CUP	CUP	-	-	CUP
Home occupation	P	P	P	P	-	-	P
Livework unit (See Section 4.70.020)	P	P	CUP	MUP	-	-	P
Multi-family housing	P	P	-	-	-	-	-
Residential in mixed use building (See Section 4.70.030)	P	P	P	P	-	-	P
Single-family dwelling	P	P	-	-	-	-	-
Work/live unit (See Section 4.70.020)	MUP	MUP	CUP	MUP	-	-	P
RETAIL							
Alcoholic beverage sales	CUP	CUP	CUP	CUP	-	-	CUP
Artisan shop	P	P	P	P	-	-	CUP
Auto parts sales	-	MUP	MUP	MUP	-	-	P
Building and landscape materials sales							
Indoor	MUP	MUP	-	-	-	-	P
Outdoor	-	-	-	-	-	-	CUP
Drive-through retail	-	-	-	-	-	-	-
Farm supply and feed store	MUP	MUP	-	-	-	-	P
Gas station	-	CUP	-	-	-	-	P
General retail							
≤10,000 sf	MUP	P	P	P	-	-	P
>10,000 sf; ≤50,000 sf	-	CUP	CUP	CUP	-	-	P
>50,000 sf	-	-	-	-	-	-	CUP
Groceries, specialty foods	P	P	P	P	-	-	P
≤10,000 sf	CUP	MUP	MUP	MUP	-	-	P
>10,000 sf	CUP	CUP	CUP	CUP	-	-	CUP
Restaurants, cafe, coffee shop	P	P	P	P	-	-	P
Shopping center	CUP	CUP	CUP	CUP	-	-	CUP
SERVICES							
Adult day care							
6 or fewer clients, provided in a home	CUP	P	P	P	-	-	P
7 or more clients	CUP	CUP	CUP	CUP	-	-	P
ATM	CUP	MUP	MUP	MUP	-	-	P
Bank, financial services	P	P	P	P	-	-	P
Business support service	P	P	P	P	-	-	P
Cleaning service	P	P	P	P	-	-	P
Child day care							
Large or small family day care home	P	P	P	P	-	-	P
Child day care center	CUP	MUP	MUP	MUP	-	-	P
Community service organization	CUP	MUP	MUP	MUP	-	-	P
Drive-through service	-	-	-	-	-	-	P
Equipment rental	-	-	-	-	-	-	P
Kennel, animal boarding	-	-	-	-	-	-	CUP
Maintenance/repair service	-	CUP	-	-	-	-	P
Equipment, large appliances, etc.	CUP	MUP	MUP	MUP	-	-	P
Client site services	-	-	-	-	-	-	P
Medical services							
Clinic, lab, urgent care	-	P	-	-	-	-	P
Doctor office	P	P	MUP	P	-	-	P
Mortuary, funeral home	-	-	-	-	-	-	CUP
Office							
Business/service/government	CUP	P	P	P	-	-	P
Office - Processing	-	CUP	MUP	MUP	CUP	-	CUP
Professional	P	P	P	P	-	-	P
Personal services							
Non-restricted	P	P	MUP	P	-	-	P
Restricted	-	-	-	-	-	-	CUP
Public safety facility	CUP	CUP	CUP	CUP	-	-	CUP
Vehicle services							
Major repair/body work	-	-	-	-	-	-	CUP
Tire maintenance/repair	-	CUP	-	-	-	-	CUP
Veterinary clinic, animal hospital	-	CUP	-	-	-	-	CUP
TRANSPORTATION, COMMUNICATIONS AND INFRASTRUCTURE							
Ambulance, taxi, or limousine dispatch facility	-	-	-	-	-	-	CUP
Broadcasting studio	-	CUP	CUP	CUP	-	-	CUP
Enclosed parking facility, public or commercial	P	P	P	P	-	-	CUP
Pipeline, utility transmission or distribution line	CUP	CUP	CUP	CUP	-	-	CUP
Telecommunications facility	-	CUP	CUP	CUP	-	-	CUP
Transit station or terminal	-	CUP	CUP	CUP	-	-	CUP
Utility facility (underground and alleys only)	-	CUP	CUP	CUP	-	-	CUP
Utility infrastructure (underground and alleys only)	P	P	P	P	-	-	P
Rail Facility (Freight handling & track maintenance)	-	-	-	-	-	-	-
INDUSTRY, MANUFACTURING AND PROCESSING AND WHOLESALING							
Agricultural product processing	-	CUP	-	-	-	-	P
Artisanal product manufacturing	P	MUP	MUP	MUP	-	-	P
Chemical product manufacturing	-	-	-	-	-	-	CUP
Clothing and fabric product manufacturing	CUP	MUP	-	-	-	-	P
Concrete, gypsum, and plaster product manufacturing	-	-	-	-	-	-	P
Electronics, equipment, and appliance manufacturing	CUP	CUP	-	-	-	-	P
Food and beverage product manufacturing	CUP	CUP	-	-	-	-	P
Furniture and fixtures manufacturing, cabinet shop	-	CUP	-	-	-	-	P
Glass product manufacturing	CUP	CUP	-	-	-	-	P
Laboratory - Medical, analytical, research & development	-	P	-	-	-	-	P
Laundry, dry cleaning plant	-	-	-	-	-	-	CUP
Lumber and wood product manufacturing	-	CUP	-	-	-	-	CUP
Machinery manufacturing	-	CUP	-	-	-	-	P
Media production	P	P	P	P	-	-	P
Metal products fabrication, machine or welding shop	-	CUP	-	-	-	-	CUP
Motor vehicles and transportation equipment	-	-	-	-	-	-	CUP
Paper product manufacturing	-	-	-	-	-	-	P
Photo/film processing lab	-	CUP	-	-	-	-	CUP
Plastics, synthetics, rubber product manufacturing	-	-	-	-	-	-	CUP
Printing and publishing	P	P	-	-	-	-	P
Recycling - Small collection facility	-	-	-	-	-	-	CUP
Research and development	P	P	P	P	-	-	P
Small product manufacturing	-	MUP	MUP	MUP	-	-	P
Stone and cut stone product manufacturing	-	-	-	-	-	-	P
Storage							
Outdoor storage yard as a primary use	-	-	-	-	-	-	CUP
Warehouse, indoor storage	-	-	-	-	-	-	P
Structural steel and primary product manufacturing	-	-	-	-	-	-	P
Textile and leather product manufacturing	-	CUP	-	-	-	-	P
Wholesaling and distribution	-	CUP	-	-	-	-	P

Key P Permitted MUP Minor Use Permit CUP Conditional Use Permit - Prohibited
 * See Section 9 (Glossary) for use type definitions
 † On a frontage where shopfronts are required, use is allowed only on upper floor(s) or behind an allowed ground floor use per the permit requirement indicated.
 ‡ Permitted use (per the permit requirement indicated) if limited to a maximum of 5,000sf on ground floor
 § Permitted use (per the permit requirement indicated) in spaces of greater than 8,000sf on ground floor

BUILDING PLACEMENT 4.3

d. COURTYARD

A building that occupies the boundaries of its Lot while internally defining one or more private patios. This is the most urban of types, as it is able to shield the private realm from all sides while strongly defining the public Thoroughfare. Because of its ability to accommodate incompatible activities, masking them from all sides, it is recommended for workshops, Lodging and schools. The high security provided by the continuous enclosure is useful for crime-prone areas.

BUILDING TYPES 4.80.030

MID RISE

This Building Type is a medium- to largesized structure, 4 to 8 stories tall, built on a large lot that incorporates structured parking. It can be used to provide a vertical mix of uses with ground-floor commercial, service, or retail uses and upper-floor commercial, service, or residential uses; or may be a single-use building, typically service or residential, where ground floor retail is not appropriate. This Type is a primary component of an urban downtown providing high-density buildings.

OPEN SPACE TYPES AND REQUIREMENTS 4.50.030

THUROUGHFARE

A formal open space available for public purposes and commercial activities. Plazas are typically hardscaped. Commercial activities shall be subordinate to public use.

DOORYARD

The frontage line is defined by a low wall or hedge and the main facade of the building is set back a small distance creating a small dooryard. The dooryard shall not provide public circulation along a ROW. The dooryard may be raised, sunken, or at grade and is intended for ground floor residential in flex zones, live/work, and small commercial uses.




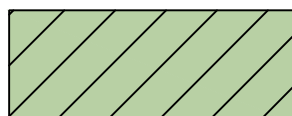



STOOP

The main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs from the stoop may lead directly to the sidewalk or may be sideloaded. This type is appropriate for residential uses with small setbacks.

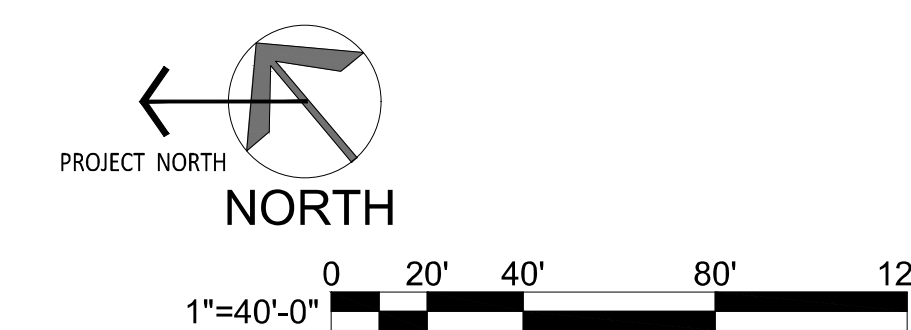
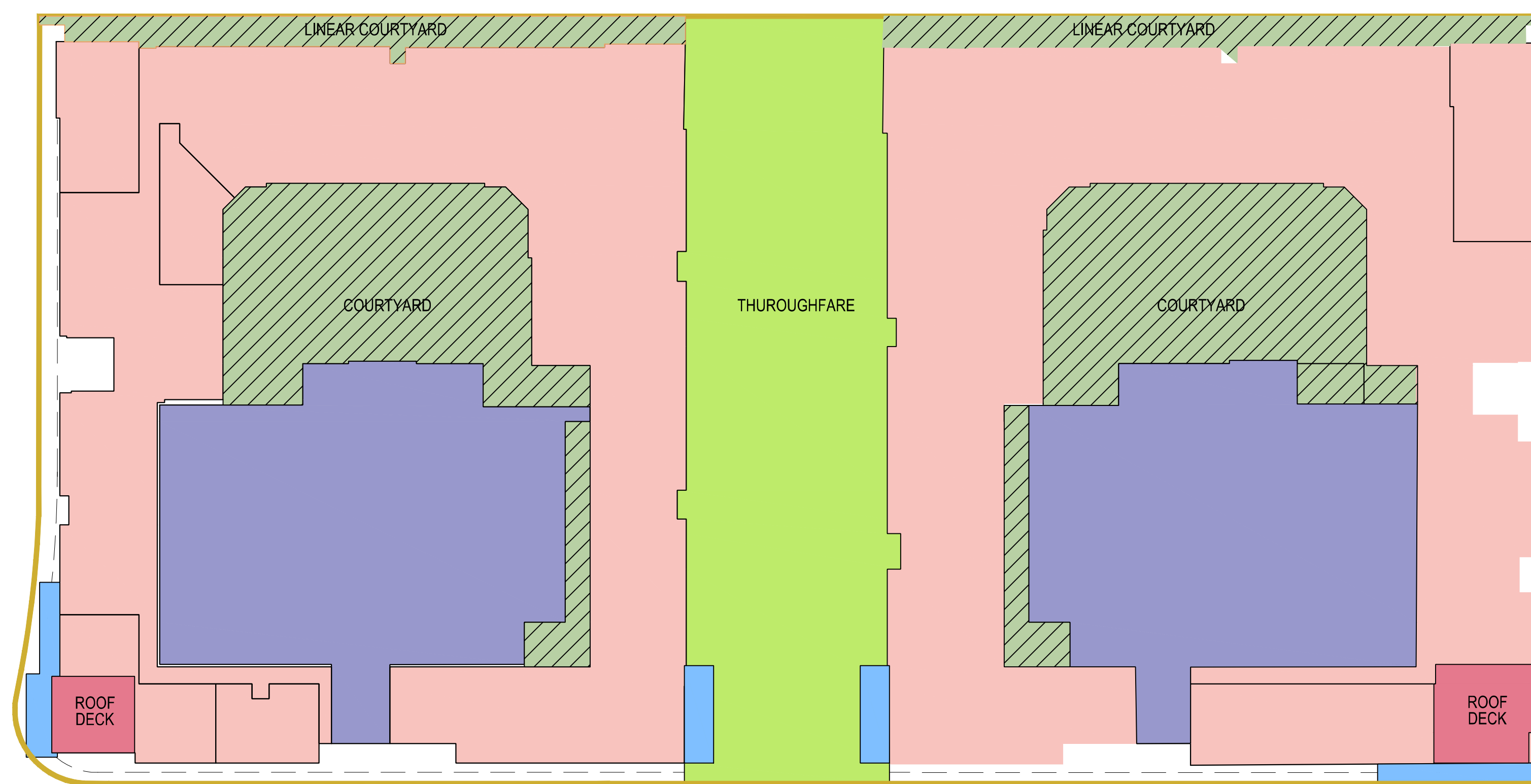
GALLERY

The main facade of the building is at the frontage line and the gallery element overlaps the sidewalk. This type is intended for buildings with ground-floor commercial uses and may be one or two stories. The gallery should be used to provide the primary circulation along a frontage and extend far enough from the building to provide adequate protection and circulation for pedestrians.

KEY:

-  PROPERTY LINE, BACK OF SIDEWALK EASEMENT
-  THUROGHFARE
-  BUILDING FOOTPRINT
-  INTERIOR COURTYARD
-  GALLERY
-  CIRCULATION, PARKING AND BIKE STORAGE
-  ROOF DECK

SMART STATION

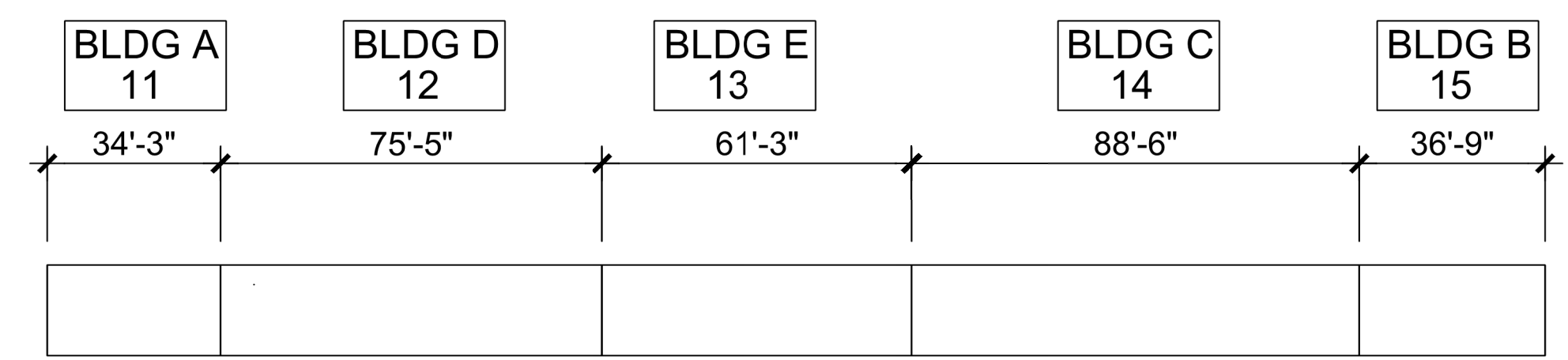
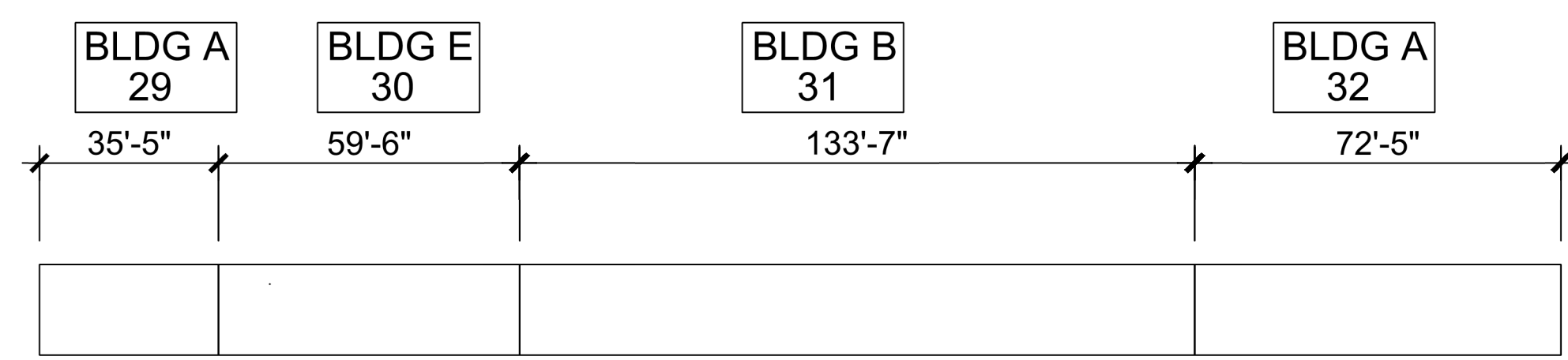


BUILDING PLACEMENT



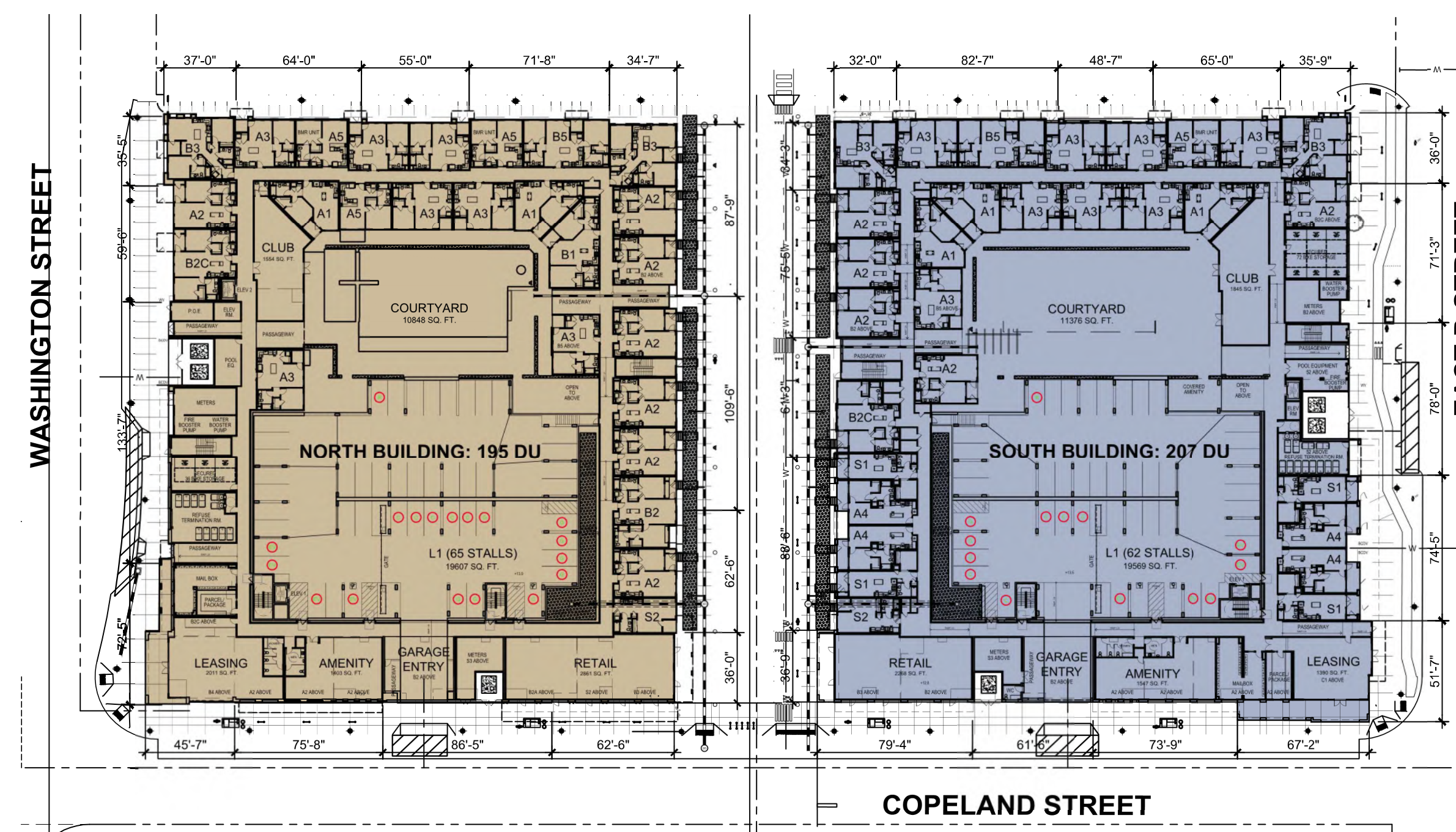
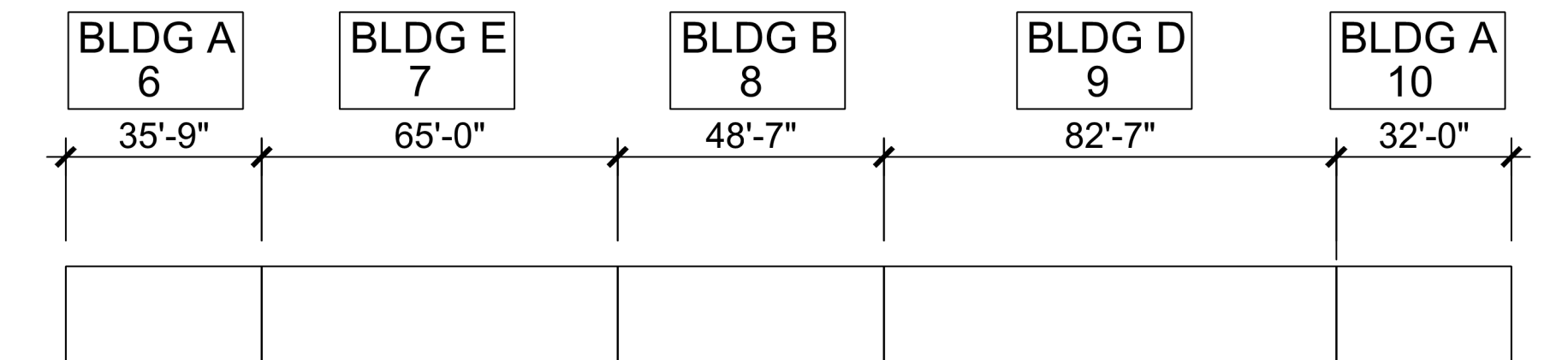
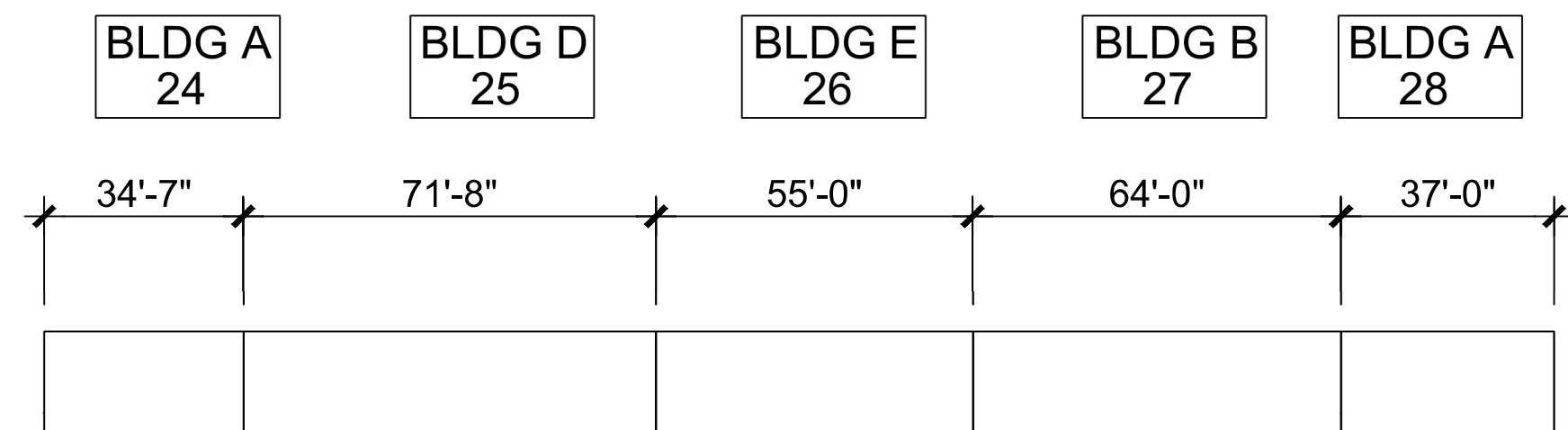
A1.4

Scale
Job No. 2017-628
Date 08-21-2020



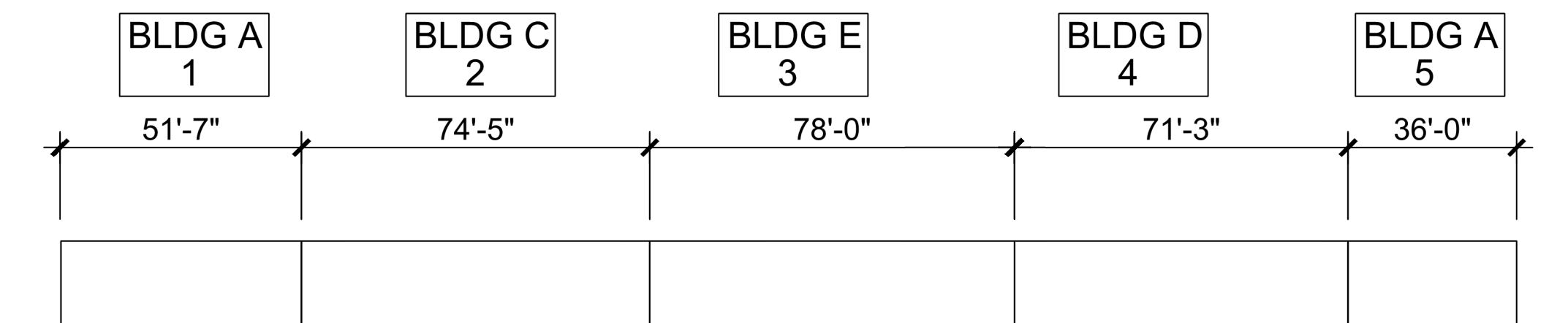
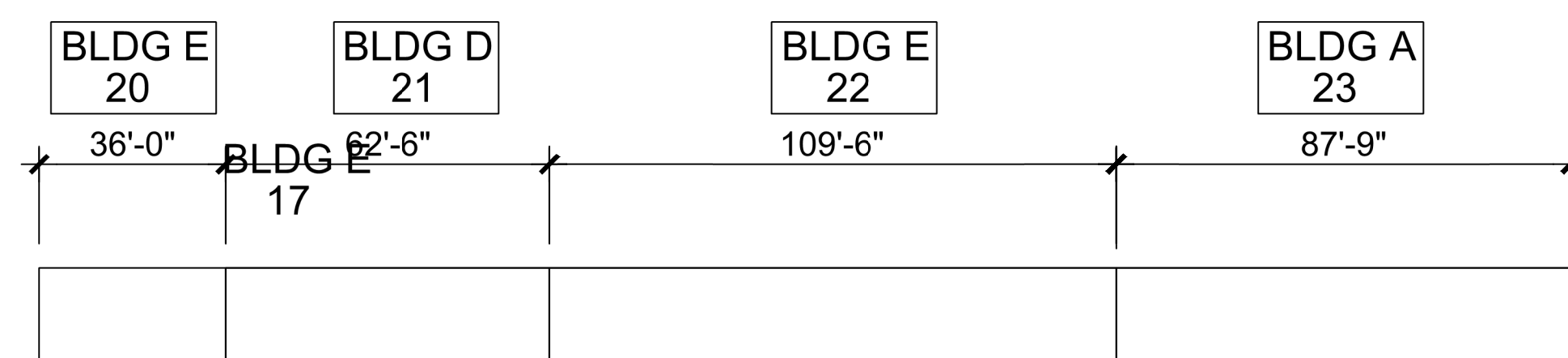
NORTH SITE - NORTH ELEVATION

SOUTH SITE - NORTH ELEVATION



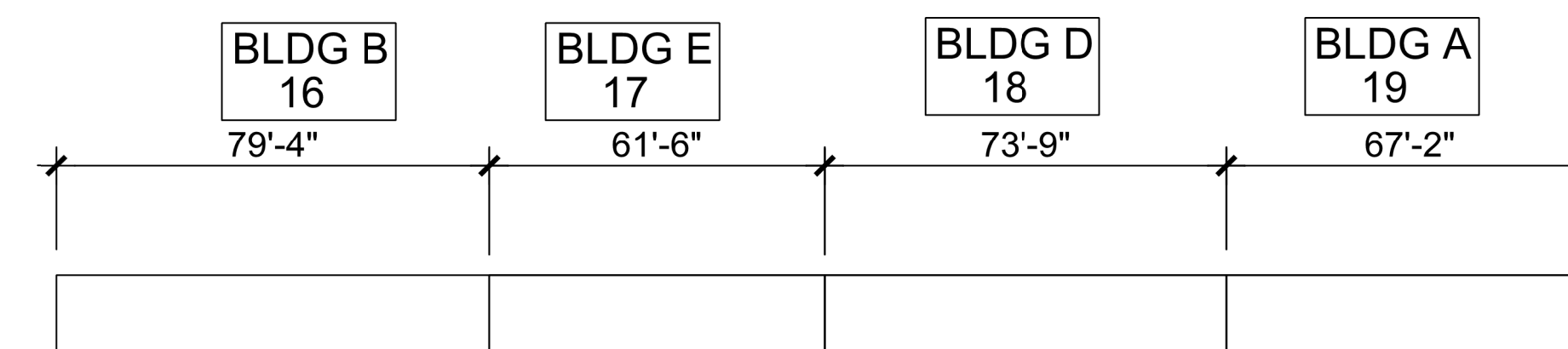
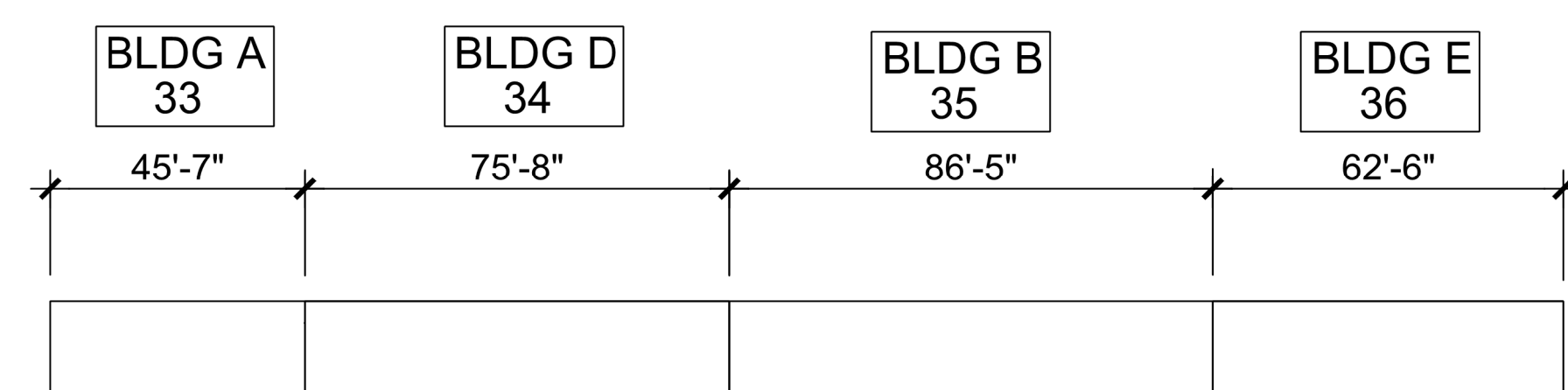
NORTH SITE - EAST ELEVATION

SOUTH SITE - EAST ELEVATION



NORTH SITE - SOUTH ELEVATION

SOUTH SITE - SOUTH ELEVATION



NORTH SITE - WEST ELEVATION

SOUTH SITE - WEST ELEVATION

LEGEND BUILDING DESIGN TYPES AND SEQUENTIAL NUMBERING

- BLDG A # BUILDING DESIGN TYPE A
- BLDG B # BUILDING DESIGN TYPE B
- BLDG C # BUILDING DESIGN TYPE C
- BLDG D # BUILDING DESIGN TYPE D
- BLDG E # BUILDING DESIGN TYPE E

BLOCK DIAGRAM NOTES

SELECTED MID-RISE AS BUILDING TYPE AS ALLOWED IN TABLE 4.10 IN T5 URBAN CENTER ZONE AND T6-O URBAN CORE - OPEN ZONES. PAGE 21 OF THE PETALUMA STATION AREA MASTER PLAN

LOT WIDTH: 100' min.; 200' max.
FOOTPRINT WIDTH: 3 + Floors - 150' max.

COURTYARD WIDTH: 20' min.; 50' max.
WIDTH TO HEIGHT RATIO 1:2 to 2:1
COURTYARD DEPTH: 20' min.; 150' max.
DEPTH TO HEIGHT RATIO: 1:1 to 2:1

FRONTAGES ALLOWED:
SHOPFRONT
GALLERY
DOORYARD
TERRACE

PETALUMA STATION

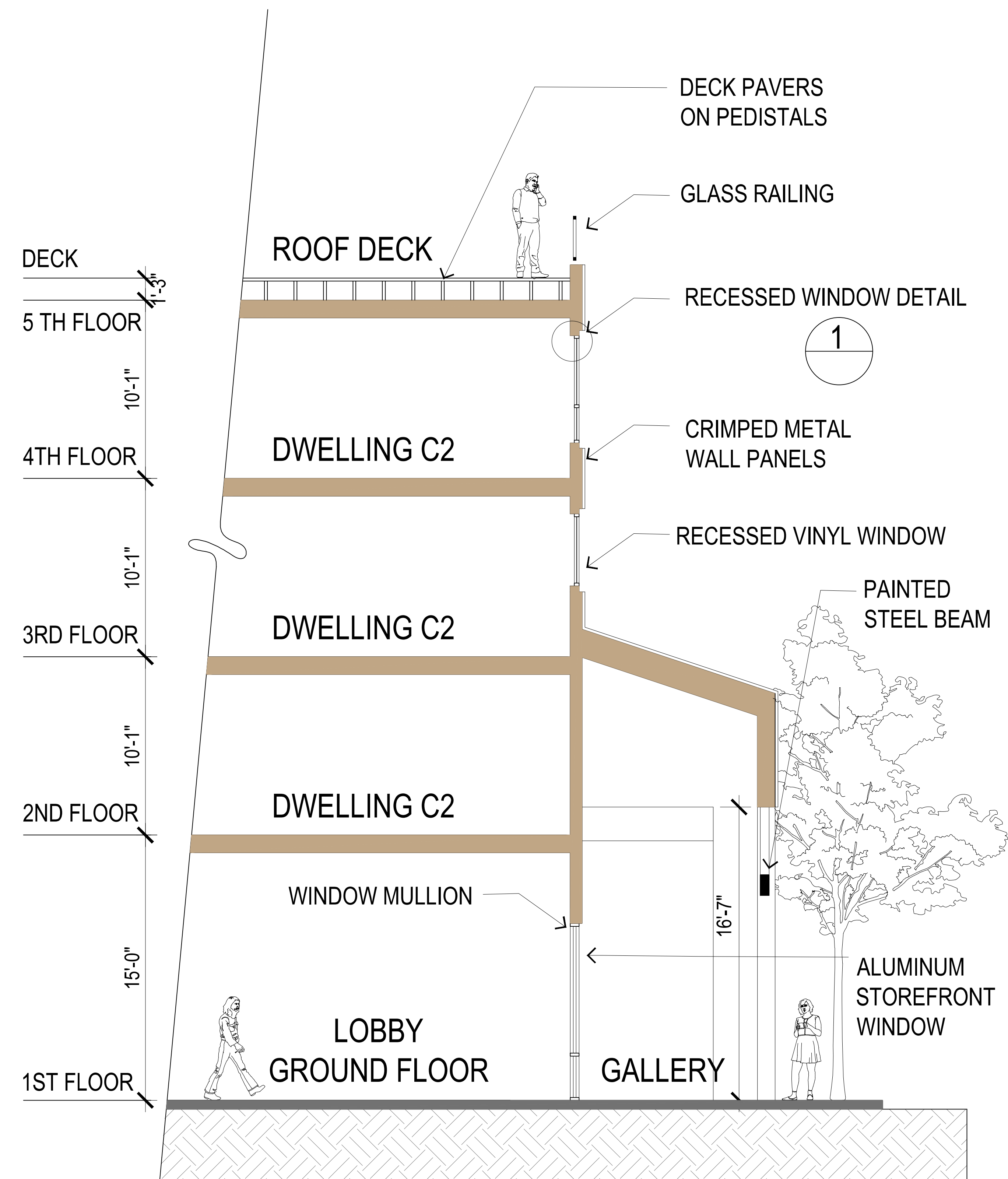
PETALUMA, CA 94952

BUILDING BLOCK DIAGRAM

1" = 30'

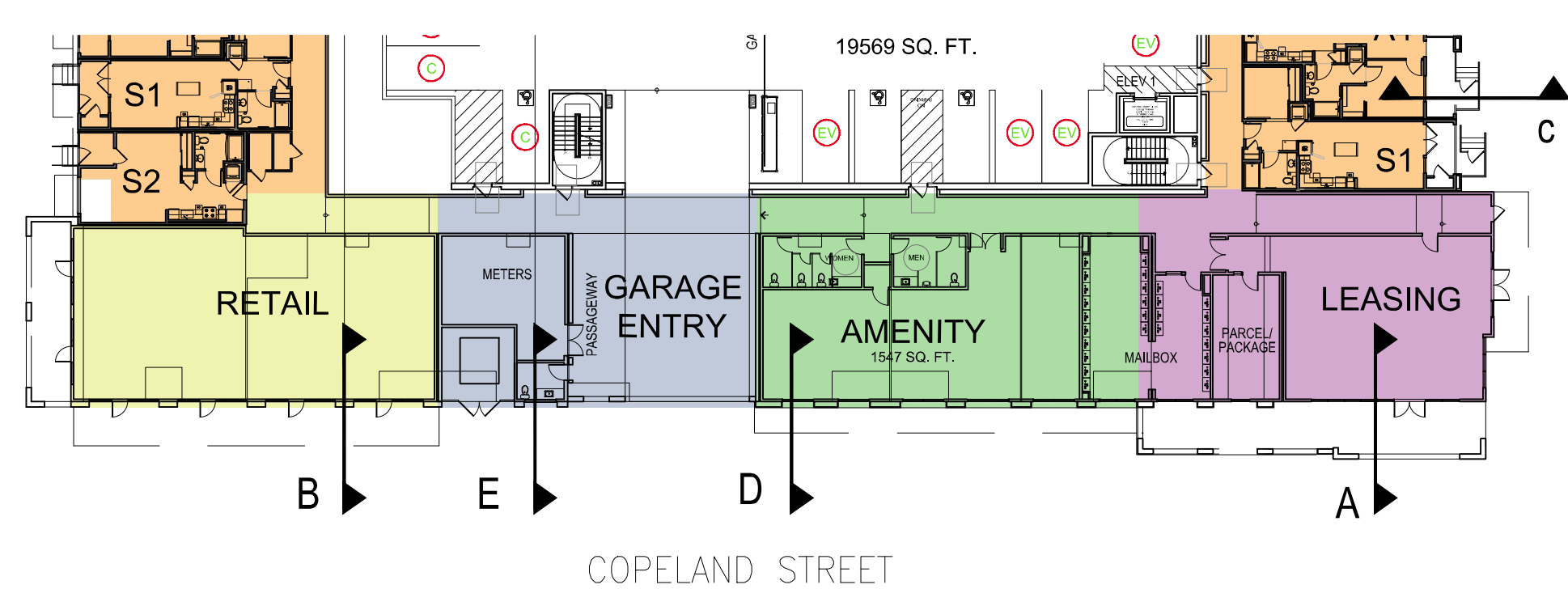
A1.5

Scale
Job No. 2017-628
Date 08-21-2020



WALL SECTION A

SCALE: 1/4" = 1'-0"
 0' 4' 8' 16'



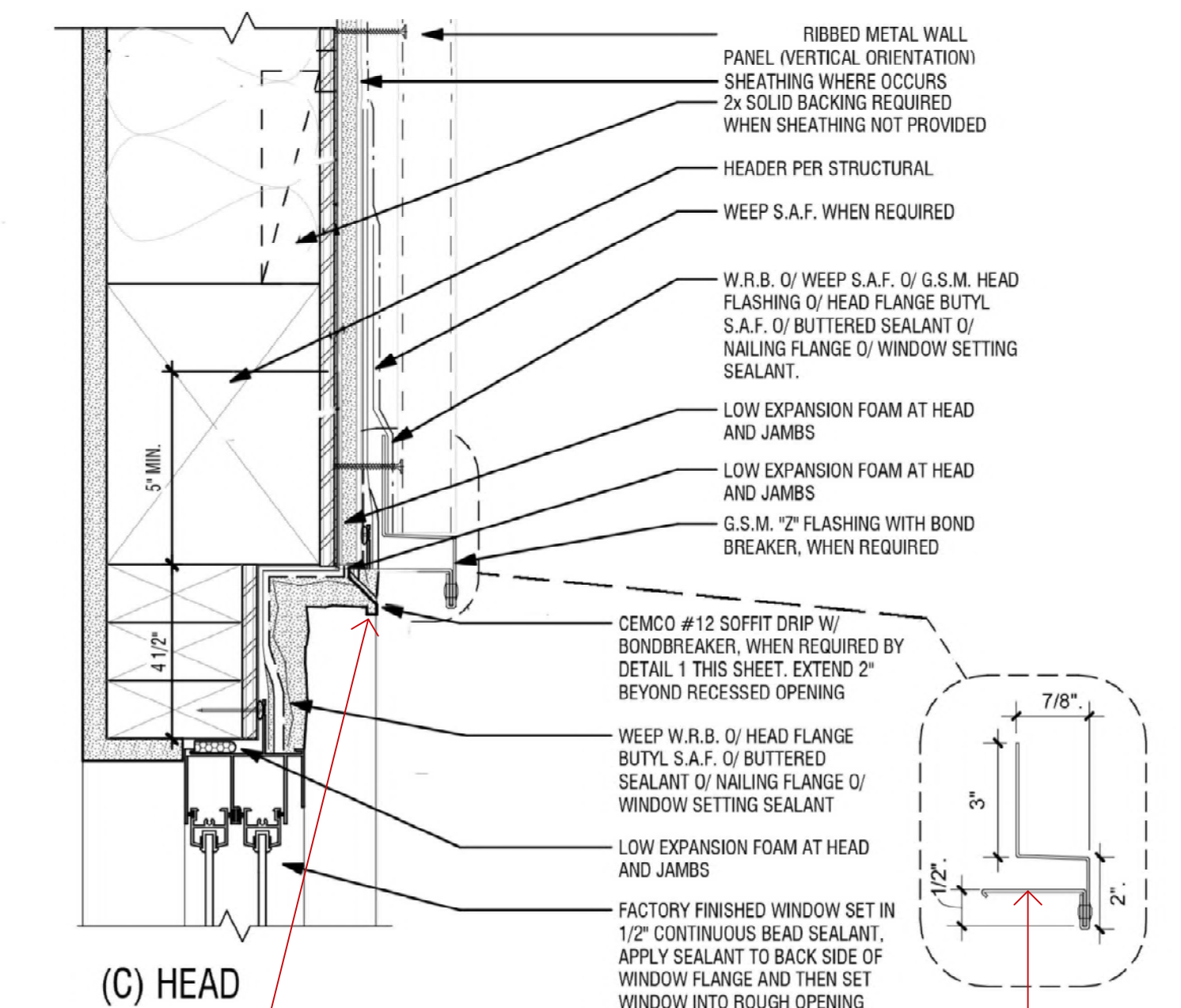
REFERENCE PLAN SOUTH SITE - 'D' STREET AND COPELAND



CORNER OF 'D' STREET AND COPELAND LOOKING NORTH



BUILDING DESCRIPTION



APPROX. 3" WINDOW RECESS

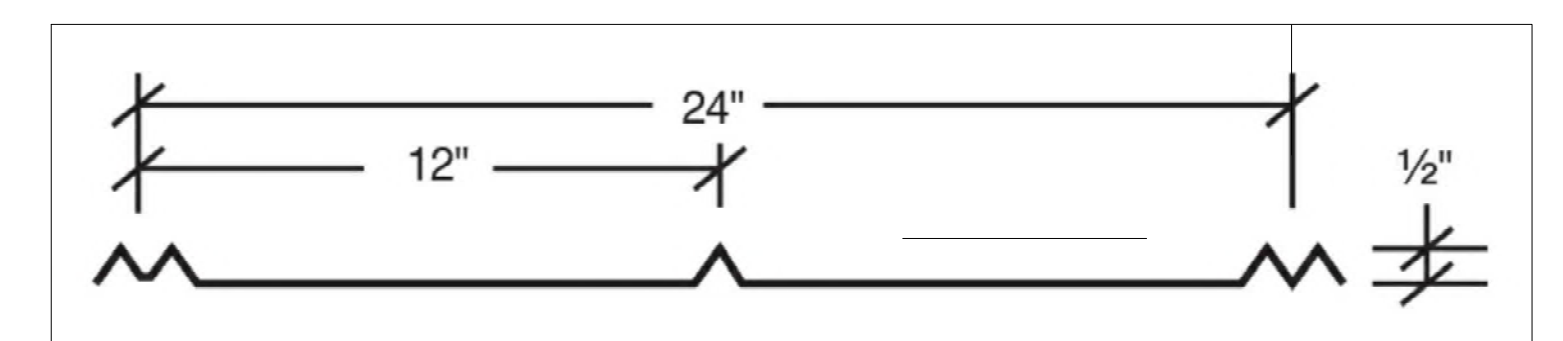
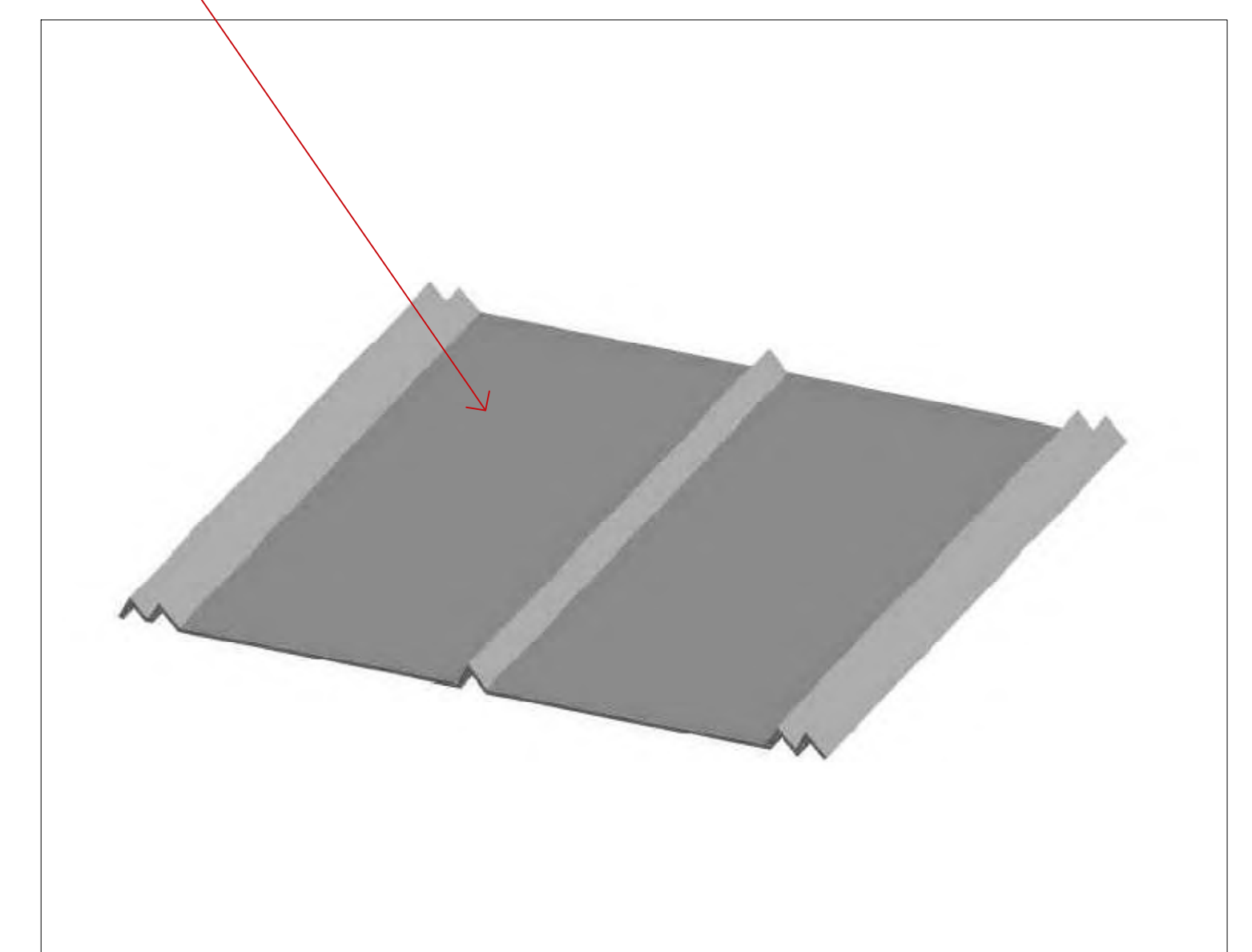
METAL TRIM AT WINDOW EDGE.

WINDOW DETAIL

SCALE: 3" = 1'-0"
 0' 1' 2' 3'

TRIM WILL OCCUR AT BUILDING CORNERS AND PANEL EDGES - NOT SHOWN ON RENDERINGS.

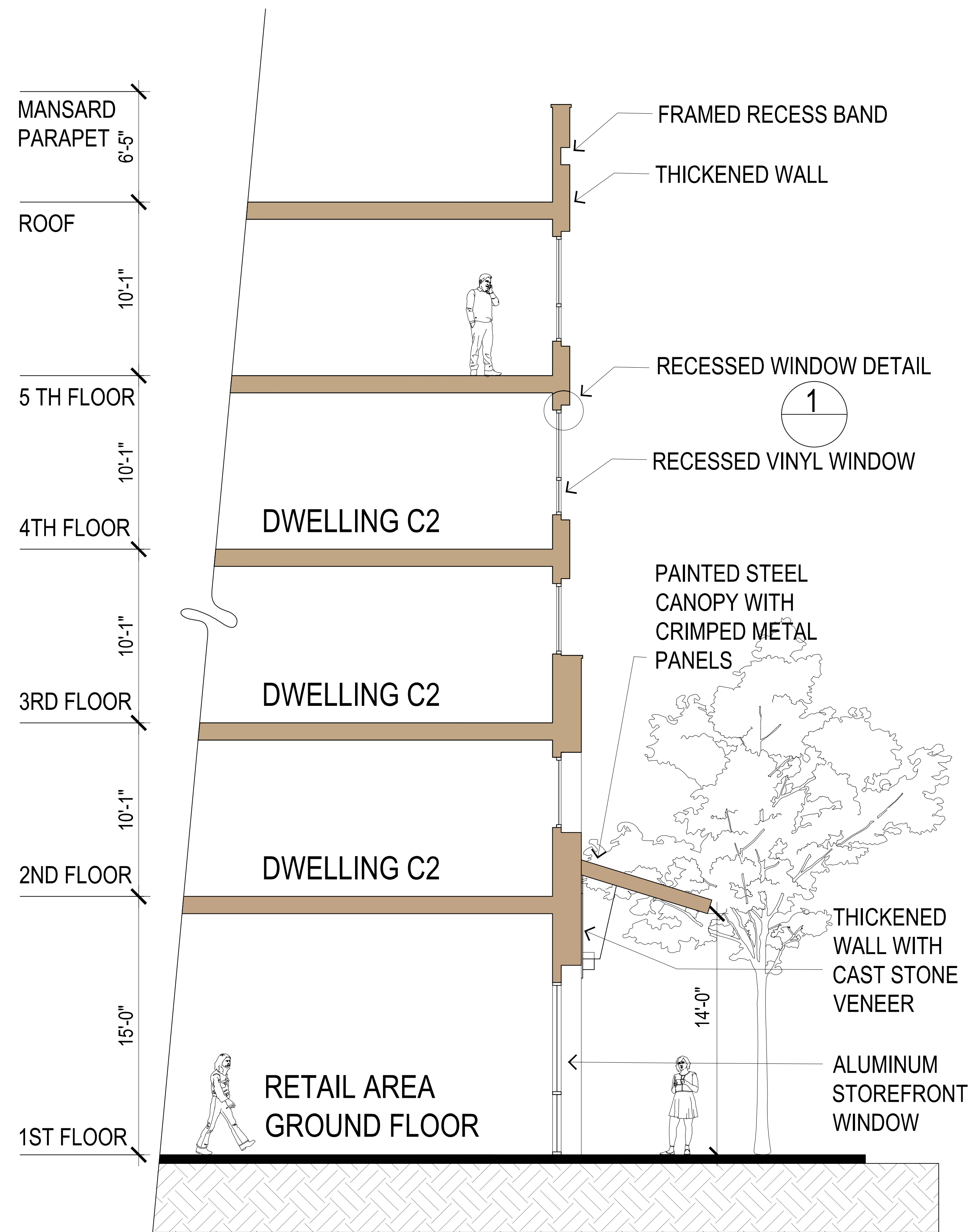
LOW PROFILE METAL PANELS WITH CRIMPED EDGES.



CRIMPED METAL PANEL MATERIAL

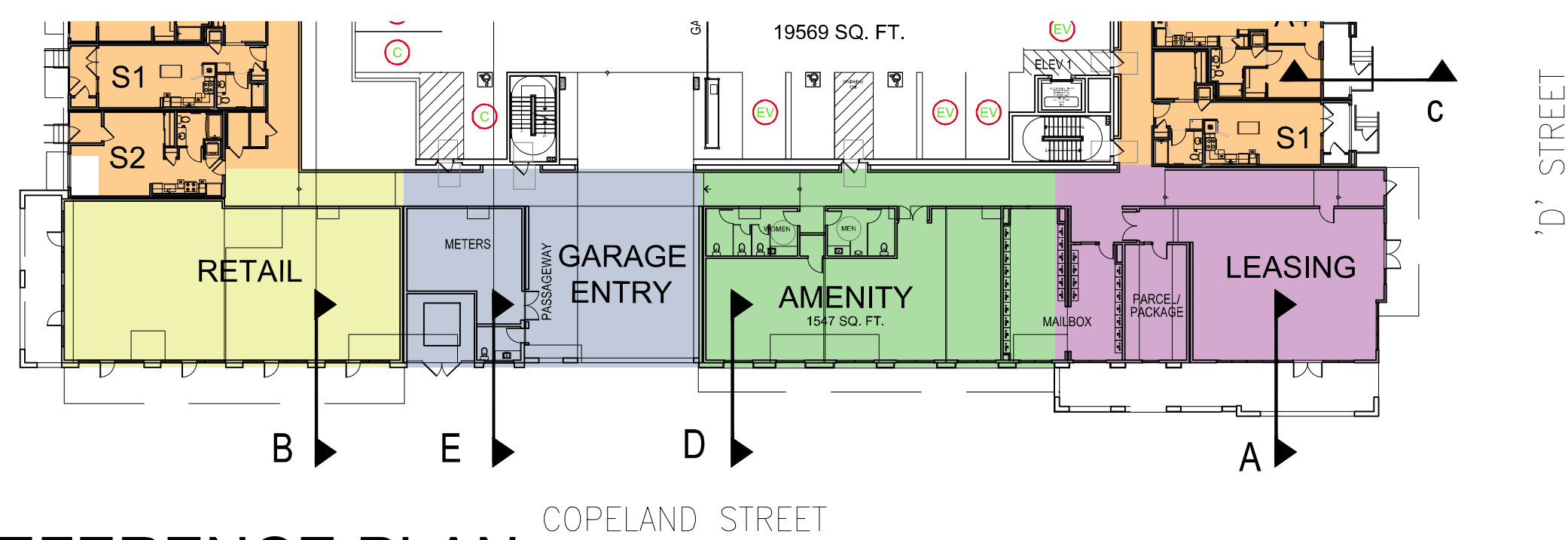
SCALE: 3" = 1'-0"
 0' 1' 2' 3'

NOTE: DETAILS SHOWN ARE CONCEPTUAL DEMONSTRATING DESIGN INTENT. SMALL VARIATIONS MAY OCCUR IN ARRANGEMENT AND SIZING FOR CONTRACTIBILITY REASONS.



WALL SECTION B

SCALE: 1/4" = 1'-0"
 0' 4' 8' 16'



REFERENCE PLAN SOUTH SITE - 'D' STREET AND COPELAND



1. FRAMED RECESS BAND
2. THICKENED WALL
3. RECESSED VINYL WINDOW
4. PAINTED STEEL CANOPY W/ CRIMPED METAL PANELS
5. THICKENED WALL W/ CAST STONE VENEER
6. OUTDOOR PRIVATE DECK OVER GALLERY

CORNER OF "D" STREET AND COPELAND LOOKING NORTH

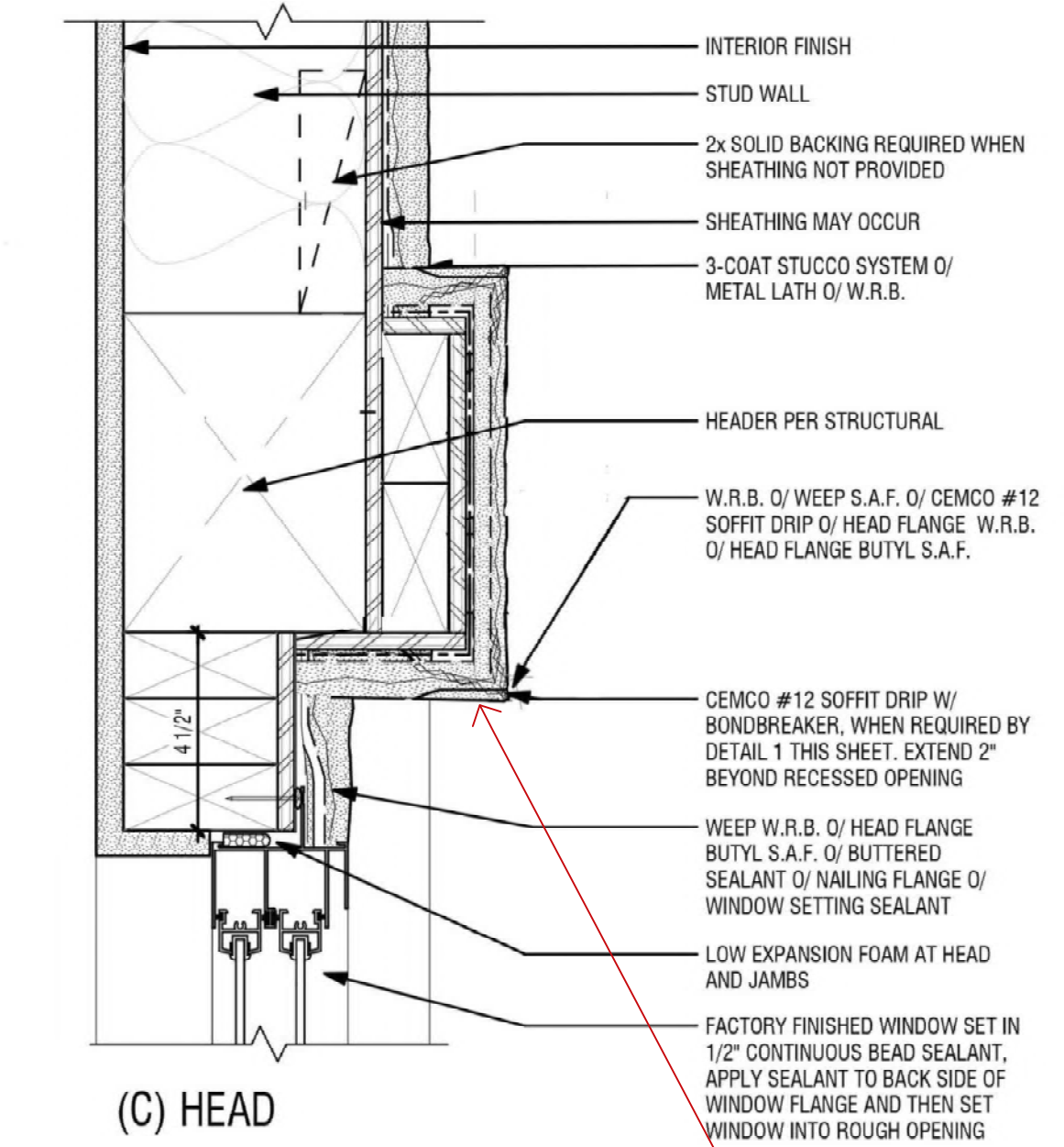


BUILDING DESCRIPTION

DEEP REVEAL CREATING WIDE "TOP" TO THE BUILDING DESIGN.

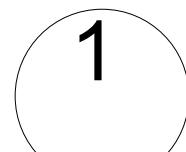
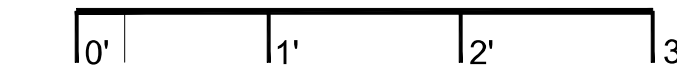
WIDE "SHUTTER" RECESS COMBINES WITH STAGGERED WINDOWS CREATING UNIQUE FENESTRATION PATTERN.

GROUND FLOOR WITH CAST STONE VENEER, ALUMINUM STOREFRONT GLAZING AND CONTINUOUS METAL AWNING.



WINDOW DETAIL

SCALE: 3" = 1'-0"



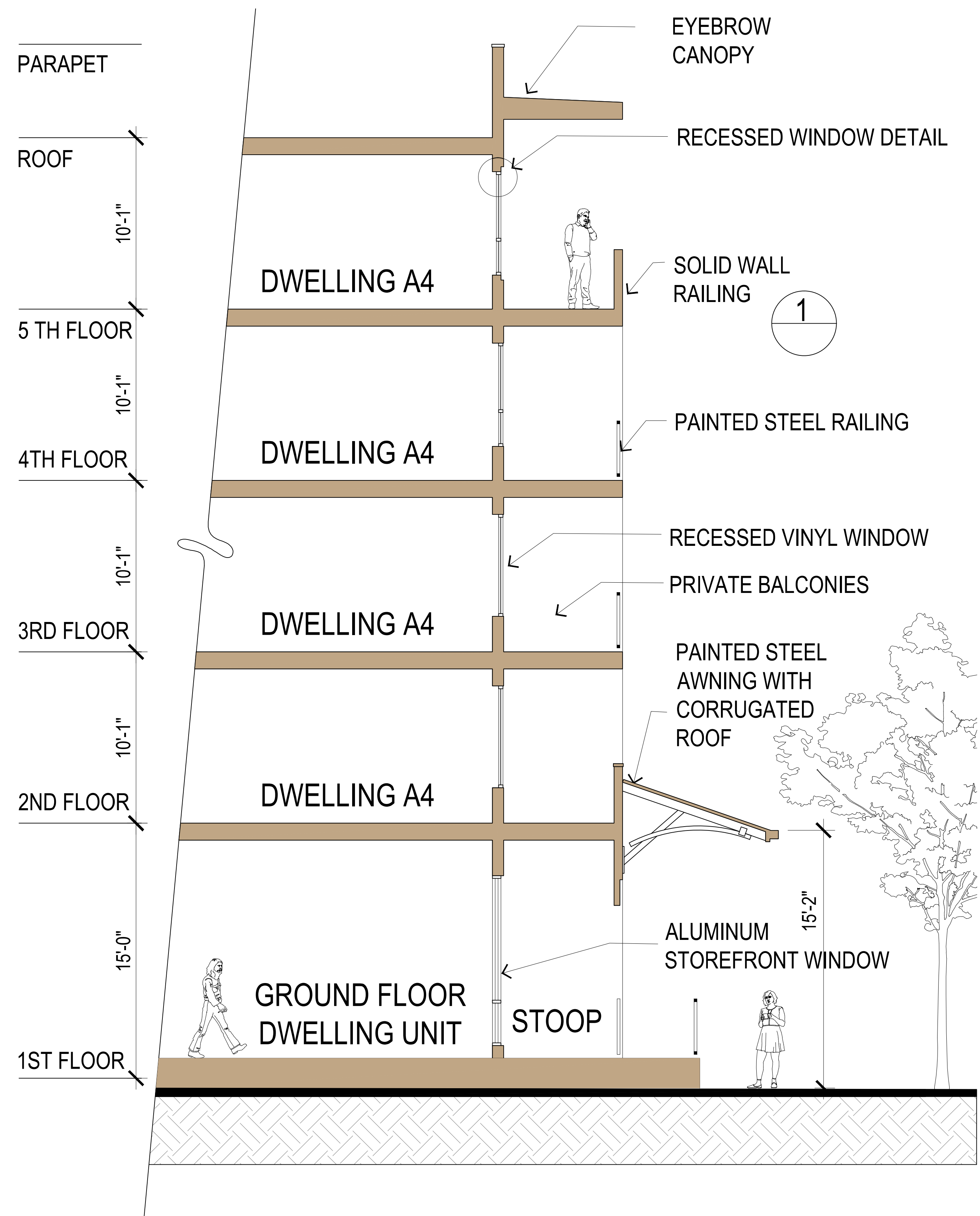
APPROX. 3" WINDOW RECESS



RECESSED WINDOWS AND METAL PANEL WALL

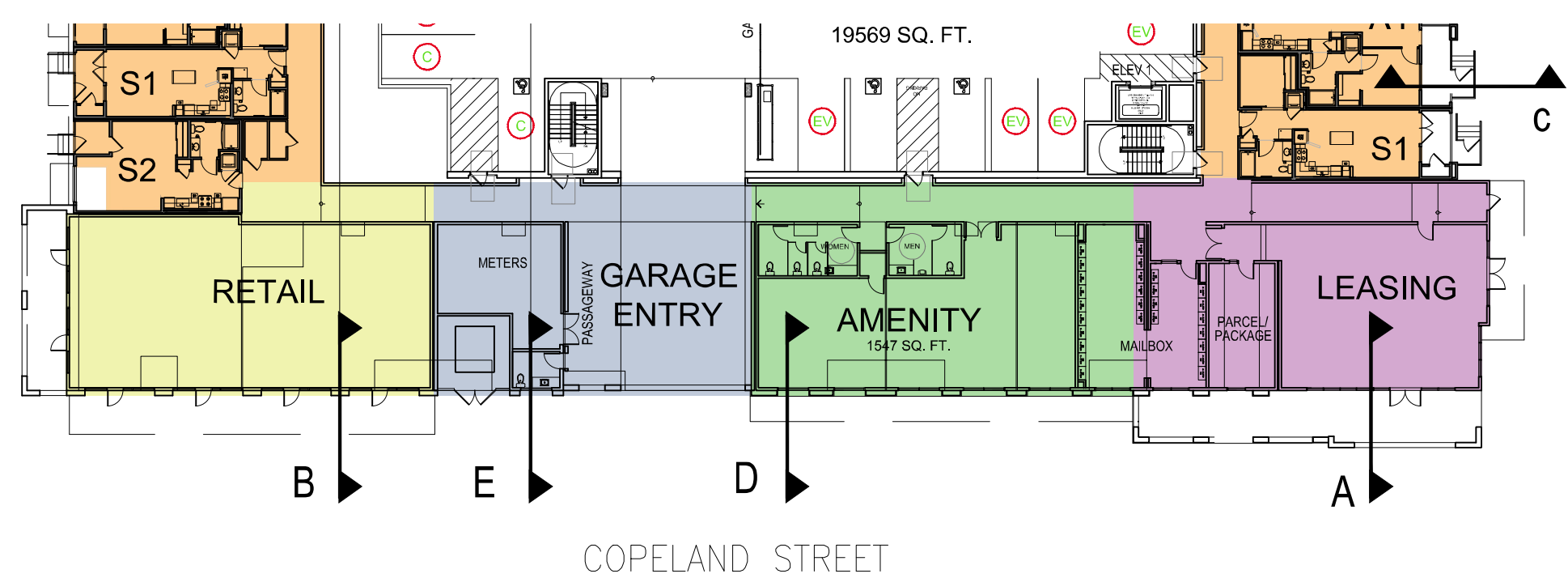
ACCENT LIGHTING
 THICKENED WALL TWO LEVELS WITH CONTINUOUS CANOPY

NOTE: DETAILS SHOWN ARE CONCEPTUAL DEMONSTRATING DESIGN INTENT. SMALL VARIATIONS MAY OCCUR IN ARRANGEMENT AND SIZING FOR CONTRACTIBILITY REASONS.



WALL SECTION C

SCALE: 1/4" = 1'-0"
 0' 4' 8' 16'



REFERENCE PLAN SOUTH SITE - 'D' STREET AND COPELAND



1. EYEBROW CANOPY
2. SOLID WALL RAILING
3. PAINTED STEEL RAILING
4. PRIVATE BALCONIES
5. RECESSED VINYL WINDOW
6. PAINTED HEADER
7. PAINTED STEEL AWNING W/ CORRUGATED ROOF
8. ALUMINUM STOREFRONT WINDOW
9. STOOP

CORNER OF "D" STREET AND COPELAND LOOKING NORTH

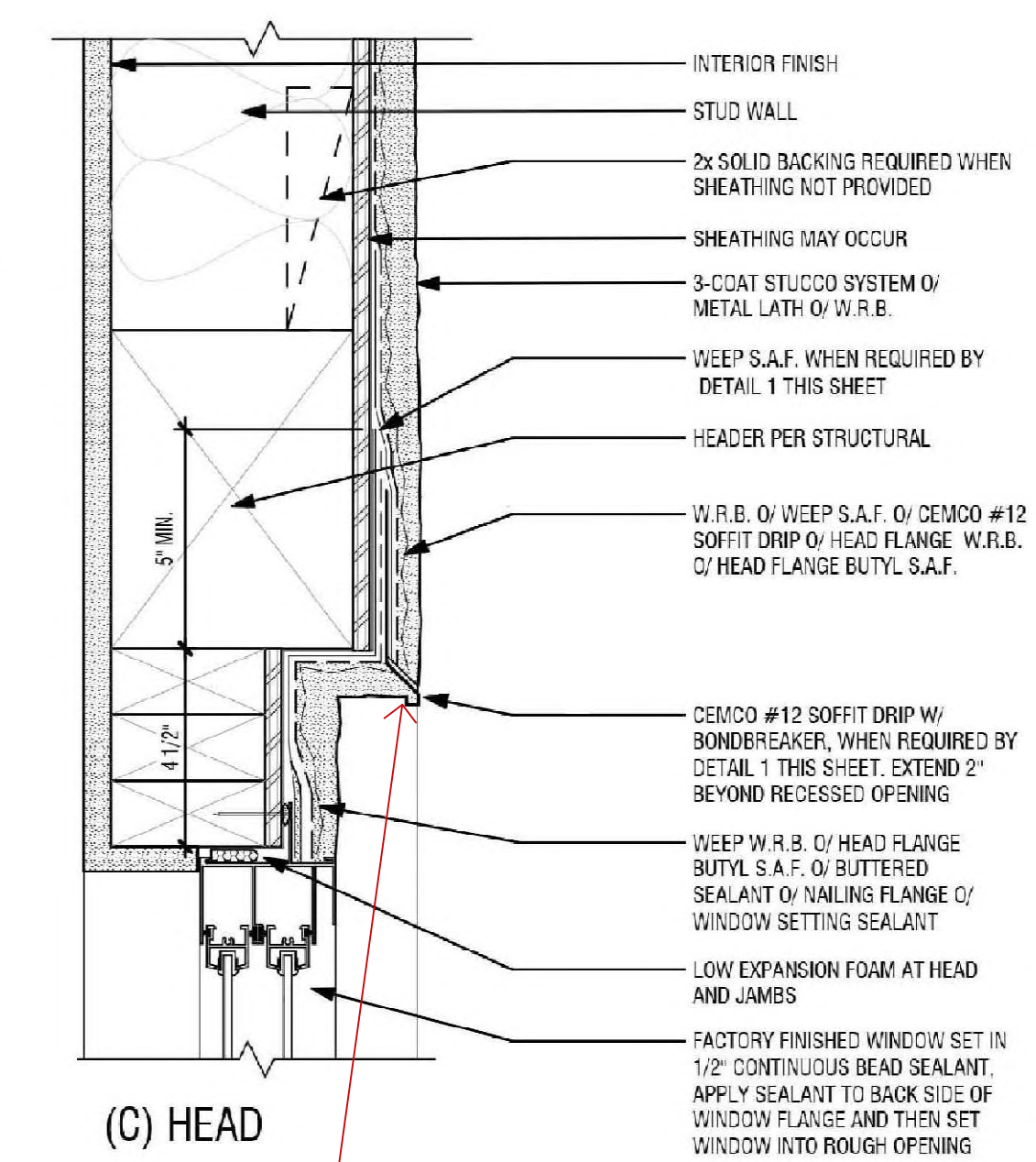


BUILDING DESCRIPTION

LAYERING OF BALCONIES CREATES UNIQUE SHADING FUNCTION AND STEP BACK MASSING FOR BUILDING.

GROUND FLOW WITH CAST STONE VENEER, ALUMINUM STOREFRONT GLAZING, AND CONTINUOUS METAL AWNING.

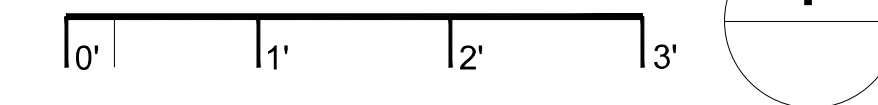
THE SIDEWAY STOOP AND RAILINGS WELCOMES MORE SPACE FOR OUTDOOR CIRCULATION WHILE COMPLEMENTING LANDSCAPE BUFFERING.



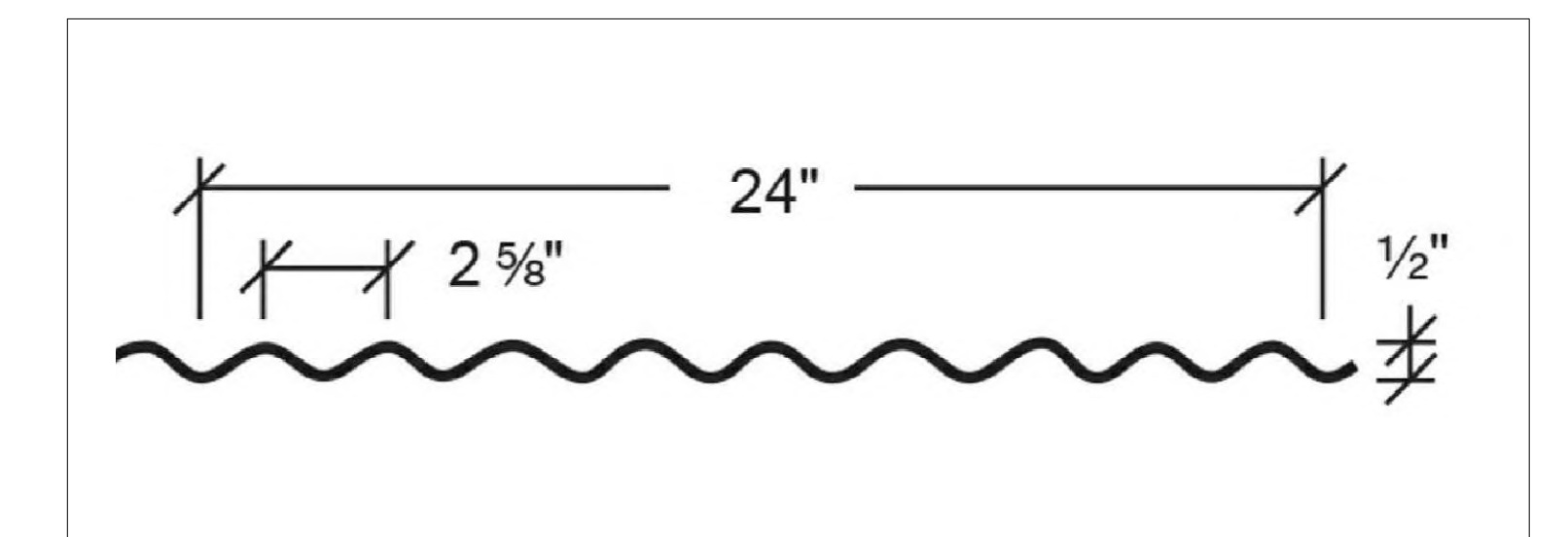
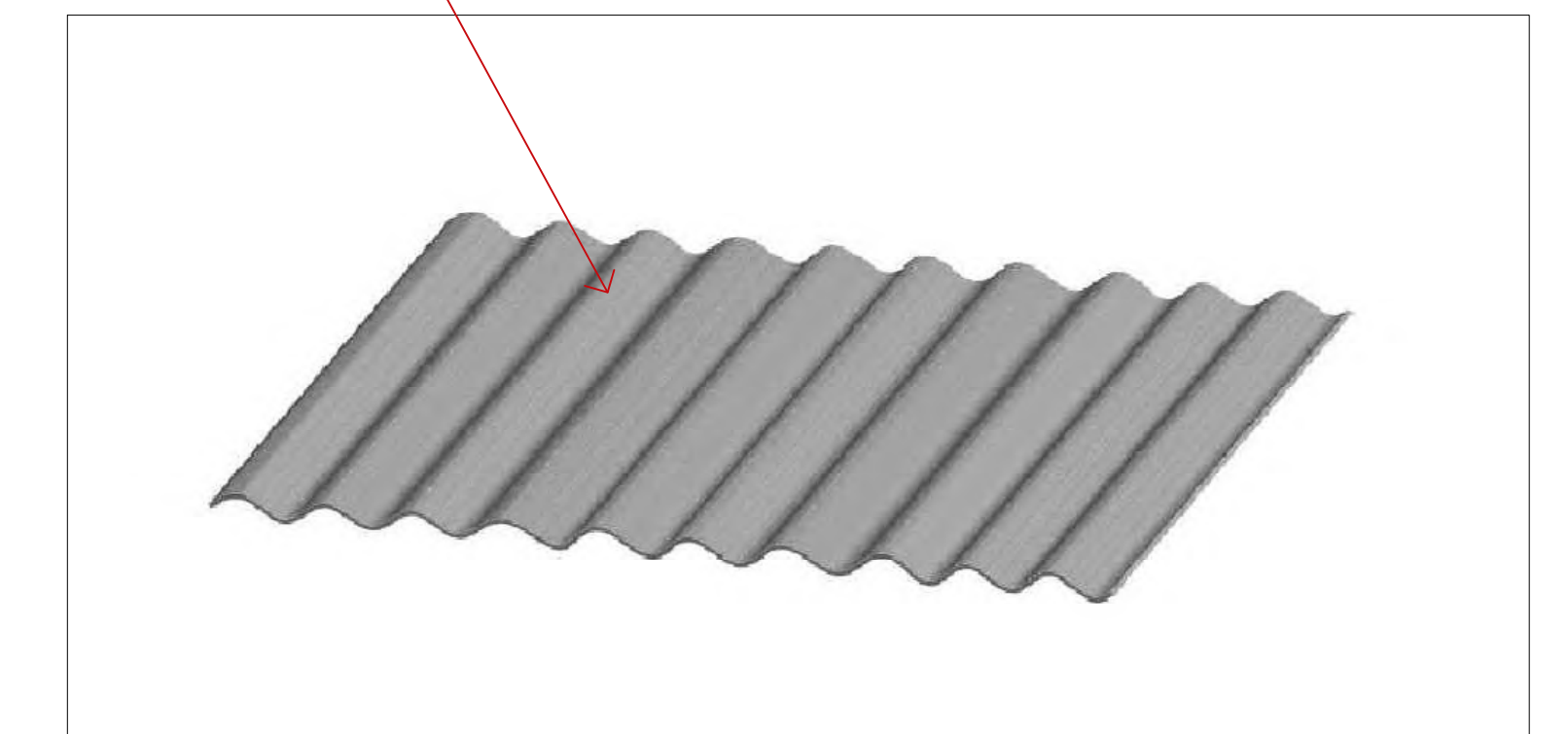
APPROX. 2" WINDOW RECESS.

WINDOW DETAIL

SCALE: 3" = 1'-0"

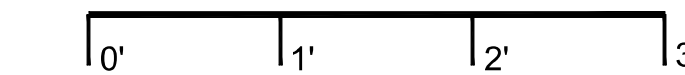


CORRUGATED METAL ROOFING AT CONTINUOUS AWNING REGERENCES TRAIN / INDUSTRIAL AESTHETIC.



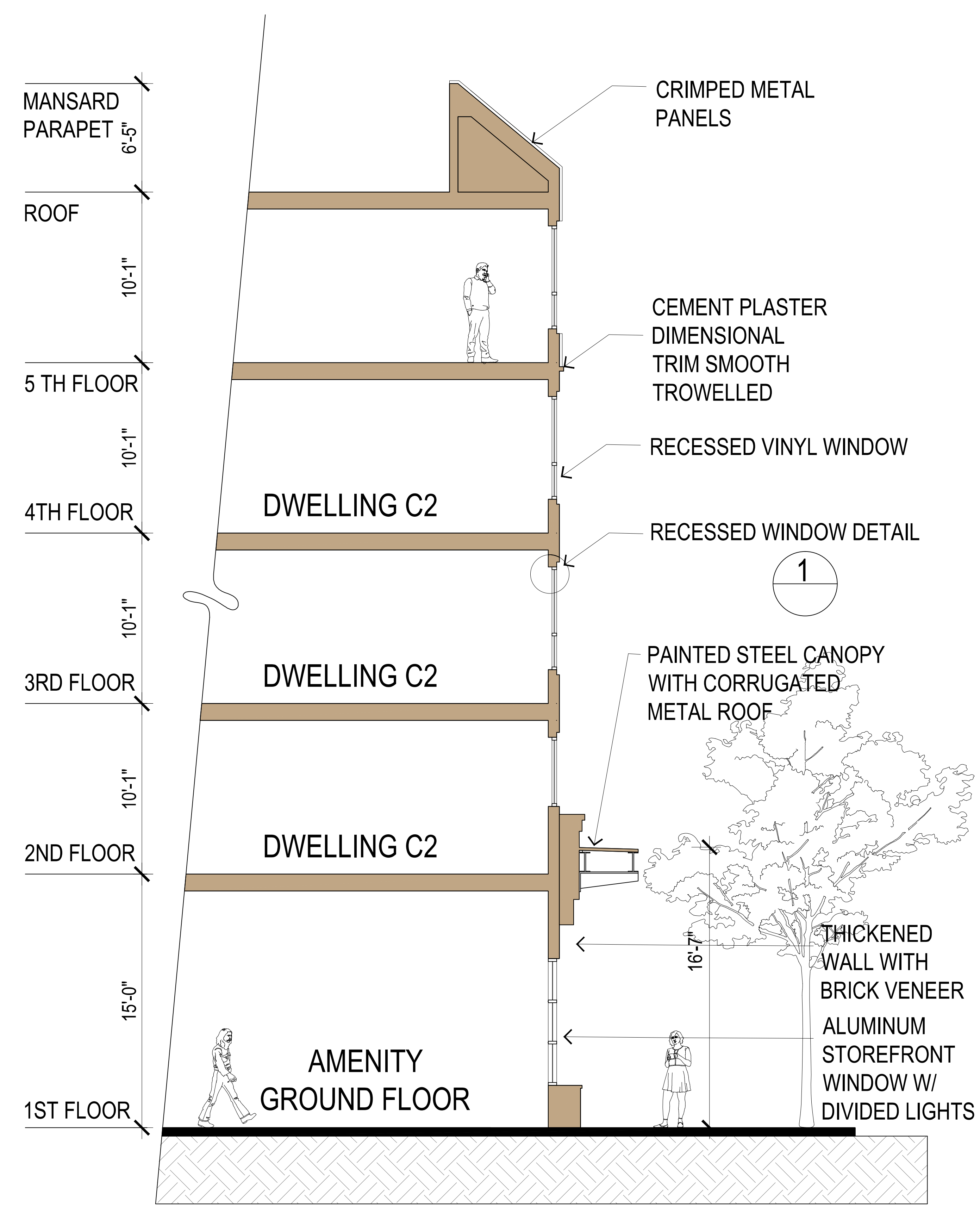
CORRUGATED METAL MATERIAL

SCALE: 3" = 1'-0"



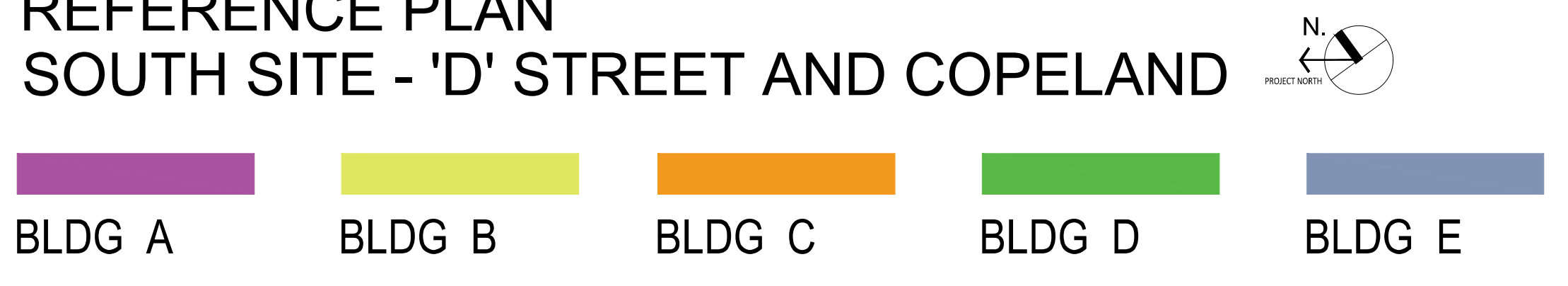
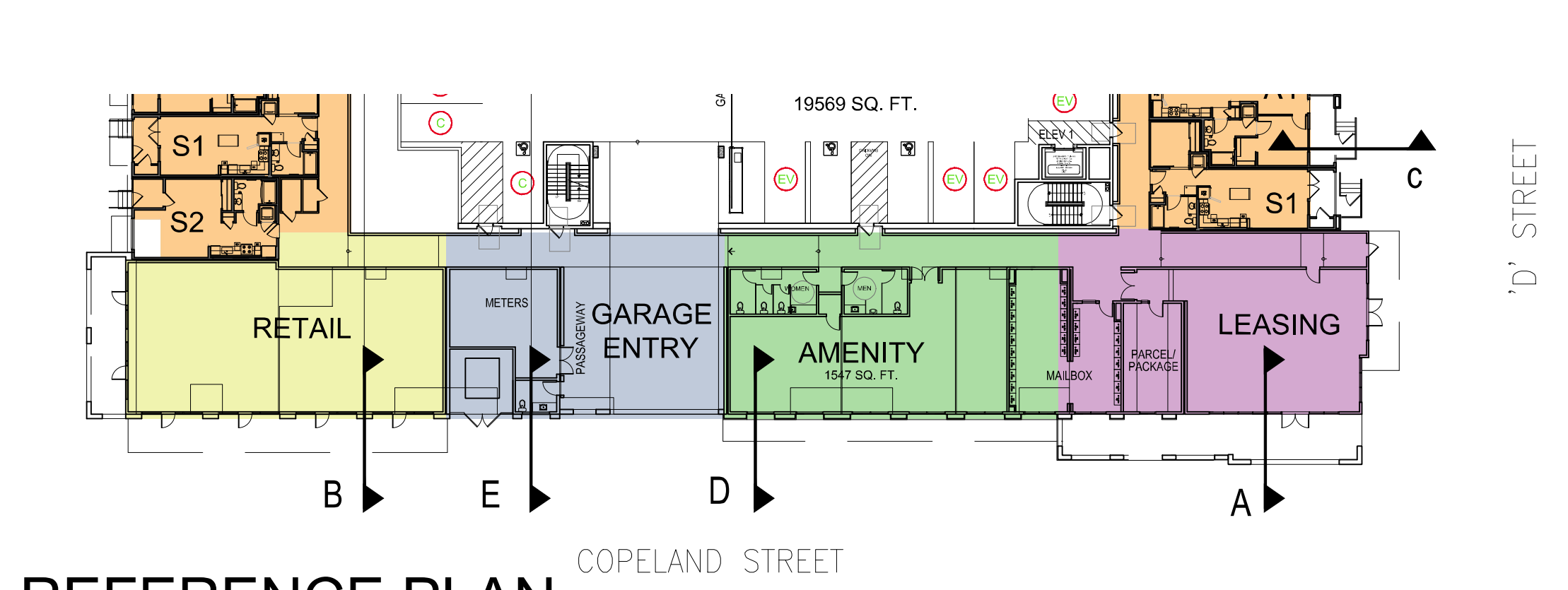
NOTE: DETAILS SHOWN ARE CONCEPTUAL DEMONSTRATING DESIGN INTENT. SMALL VARIATIONS MAY OCCUR IN ARRANGEMENT AND SIZING FOR CONTRACTIBILITY REASONS.

BUILDING C - WALL SECTION AND DETAILS



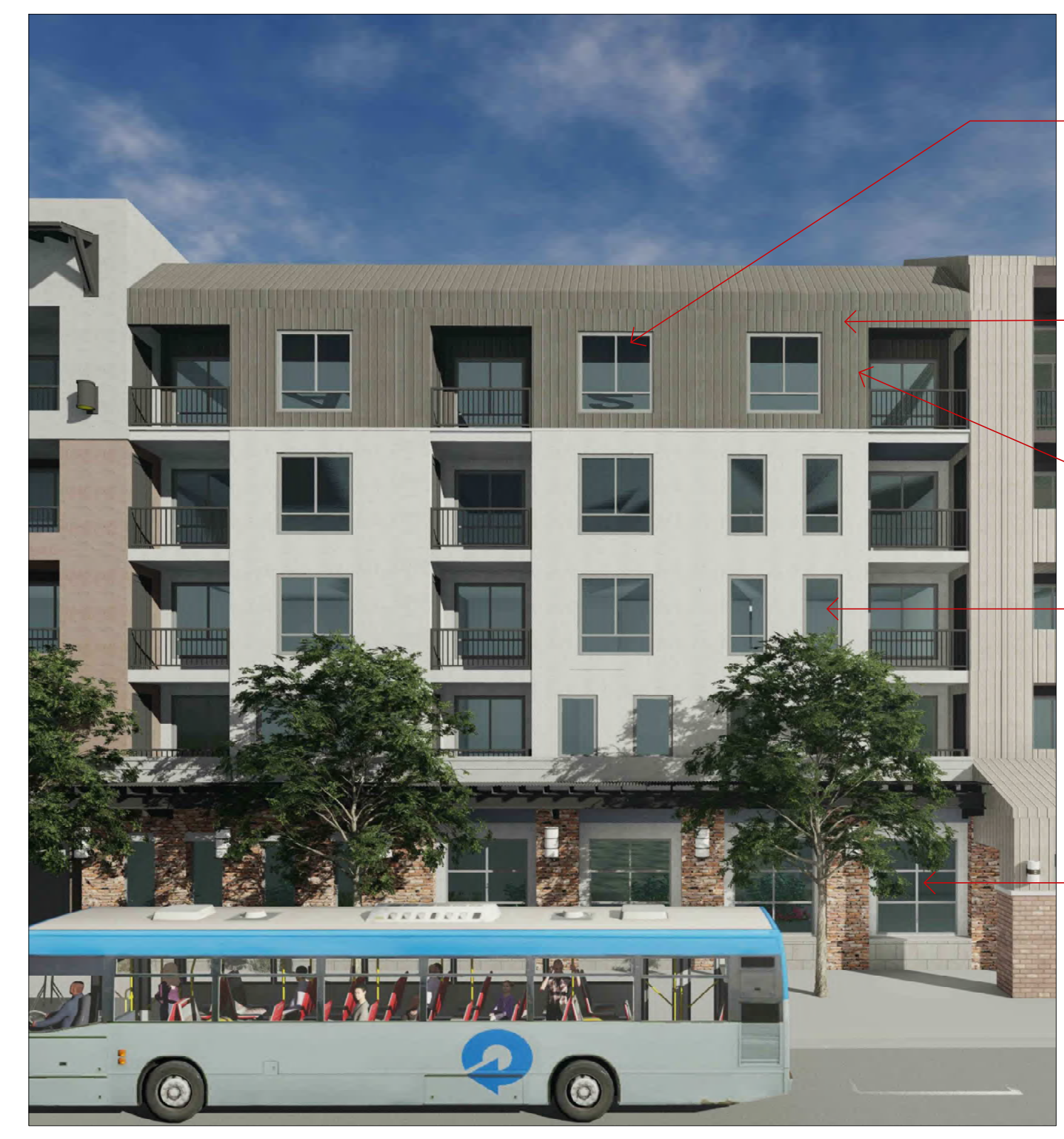
WALL SECTION D

SCALE: 1/4" = 1'-0"



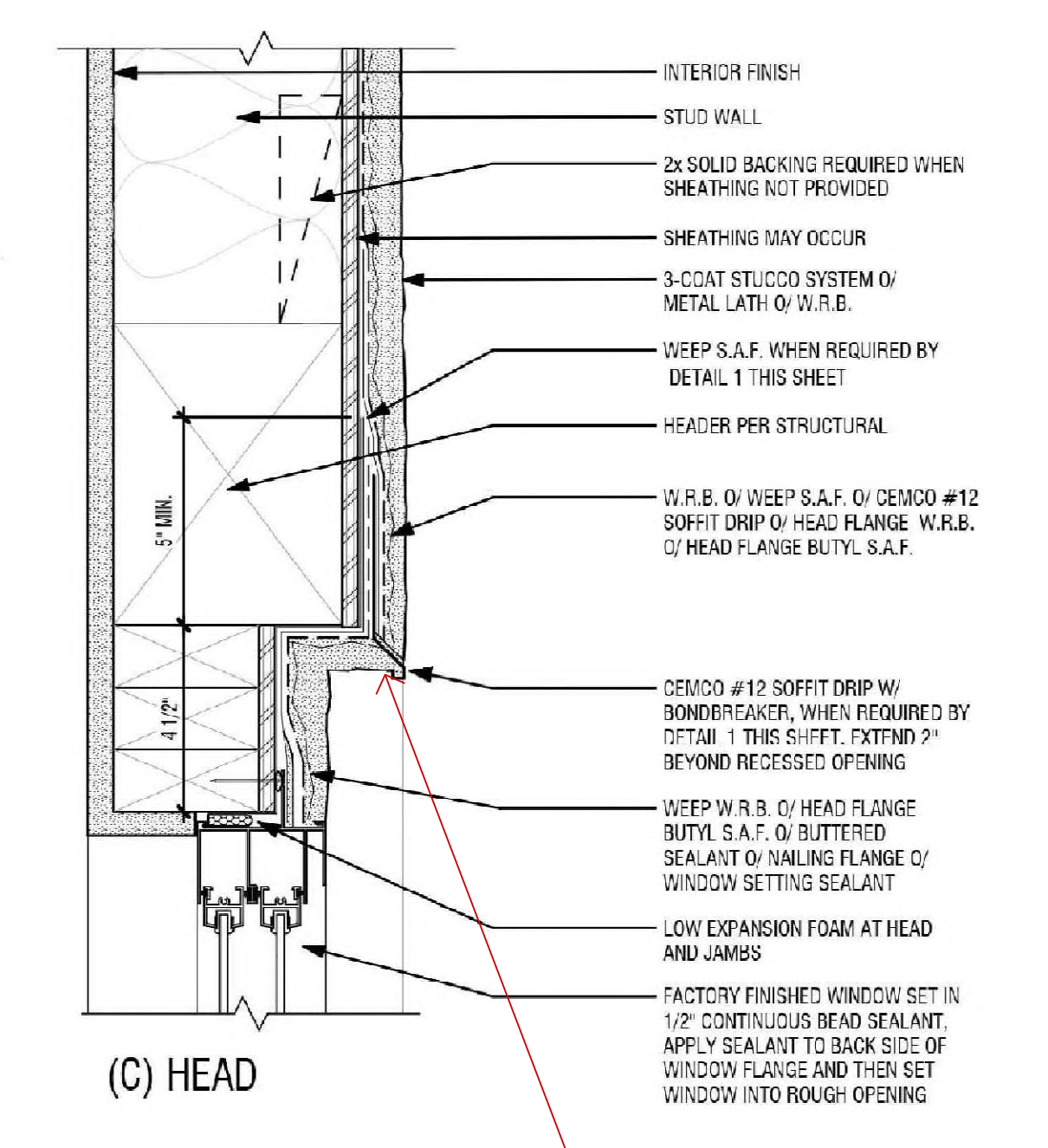
CORNER OF "D" STREET AND COPELAND LOOKING NORTH

1. CRIMPED METAL PANELS
2. CEMENT PLASTER DIMENSIONAL TRIM SMOOTH TROWELLED
3. RECESSED VINYL WINDOW
4. PAINTED STEEL CANOPY W/ CORRUGATED METAL ROOF
5. THICKENED WALL W/ BRICK VENEER
6. ALUMINUM STOREFRONT WINDOW AT GROUND FLOOR.
7. DECORATIVE LIGHTING



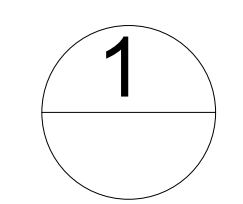
BUILDING DESCRIPTION

- REGULAR WINDOW SIZING / SPACING TO DISTINGUISH THE TOP FLOOR
- COLOR BREAK AT TOP FLOOR TO VISUALLY REDUCE MASSING.
- METAL CRIMPED PANELS EXPRESSES HISTORICAL AESTHETIC.
- UNIQUE WINDOW PATTERN WITH VARIATION TO WINDOW STACKING.
- BASE OF BUILDING EXPRESSES AMENITY SPACE WITH DIVIDED LIGHT WINDOWS AND BRICK VENEER.



WINDOW DETAIL

SCALE: 3" = 1'-0"



APPROX 2" WINDOW RECESS.



RECESSED WINDOWS AND METAL PANEL WALL

- REGULAR WINDOW SIZING SPACING TO DISTINGUISH THE TOP FLOOR.
- DIMENSIONAL TRIM AT MATERIAL BREAK.
- RECESSED WINDOW
- UNIQUE WINDOW PATTERN WITH VARIATION TO WINDOW STACKING.

NOTE: DETAILS SHOWN ARE CONCEPTUAL DEMONSTRATING DESIGN INTENT. SMALL VARIATIONS MAY OCCUR IN ARRANGEMENT AND SIZING FOR CONTRACTIBILITY REASONS.

BUILDING D - WALL SECTION AND DETAILS