

CREEKWOOD

SB 330 FORMAL DEVELOPMENT APPLICATION 42 UNIT CONDOMINIUM PROJECT VESTING TENTATIVE PARCEL MAP

**270 & 280 CASA GRANDE ROAD APN 017-040-051 & 016
PETALUMA, CALIFORNIA**

PROJECT DATA

PROPERTY DATA:

SITE ADDRESS: 270 & 280 CASA GRANDE ROAD
APN 017-040-051 & 016
SITE GROSS AREA: 5.198 ACRES (226,415 S.F.)

ZONING AND LAND USE:

EXISTING ZONING: RESIDENTIAL 4 (R4)
EXISTING LAND USE: MEDIUM DENSITY RESIDENTIAL (MDR)
(8.1 TO 18.0 UNITS/ACRE)
COVERAGE: 60% MAXIMUM

PROJECT ZONING AND LAND USE:

PROJECT ZONING: RESIDENTIAL 4 (R4)
PROJECT LAND USE: MEDIUM DENSITY RESIDENTIAL (MDR)
(8.1 TO 18.0 UNITS/ACRE)
PROJECT UNITS (TOTAL) 42 CONDOMINIUM UNITS
TOTAL SITE GROSS AREA: 5.198 ACRES (226,415 S.F.)
PROJECT SITE GROSS AREA: 4.550 ACRES (198,212 S.F.)*
PROJECT NET AREA: 3.440 ACRES (149,931 S.F.)
PROJECT DENSITY: 12.209 UNITS/ACRE
PROJECT PARCELING, UNITS AND DENSITY:

PARCEL 1: 0.92 ACRES (40,071 S.F.) 13 UNITS, 14.13 UNITS/ACRE**
PARCEL 2: 1.17 ACRES (51,000 S.F.) 18 UNITS, 15.38 UNITS/ACRE
PARCEL 3: 1.34 ACRES (58,380 S.F.) 11 UNITS, 8.21 UNITS/ACRE***

PROJECT COVERAGE (TOTAL): 46.4%
PARCEL COVERAGE:
PARCEL 1 (52.62%)
PARCEL 2 (58.35%)
PARCEL 3 (31.55%)

* EXCLUDES DESIGNATED REMAINDER (NOT A PART OF PROJECT)
** PARCEL 1 INCLUDES A FLOOD AND STORM TREATMENT MITIGATION BASIN
*** PARCEL 3 INCLUDES A FLOOD AND STORM TREATMENT MITIGATION BASIN

CONSULTANTS

CIVIL ENGINEER STEVEN J. LAFRANCHI & ASSOCIATES, INC.
STEVEN LAFRANCHI
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
707.762.3122 VOICE
707.762.3239 FAX
steve@sjla.com
andrea@sjla.com

ARCHITECT ECN ARCHITECTURE
EDWARD C. NOVAK
153 GILLETTE PLACE
LIVERMORE, CALIFORNIA 94550
714.323.8396 VOICE
ed@ecnarchitecture.com

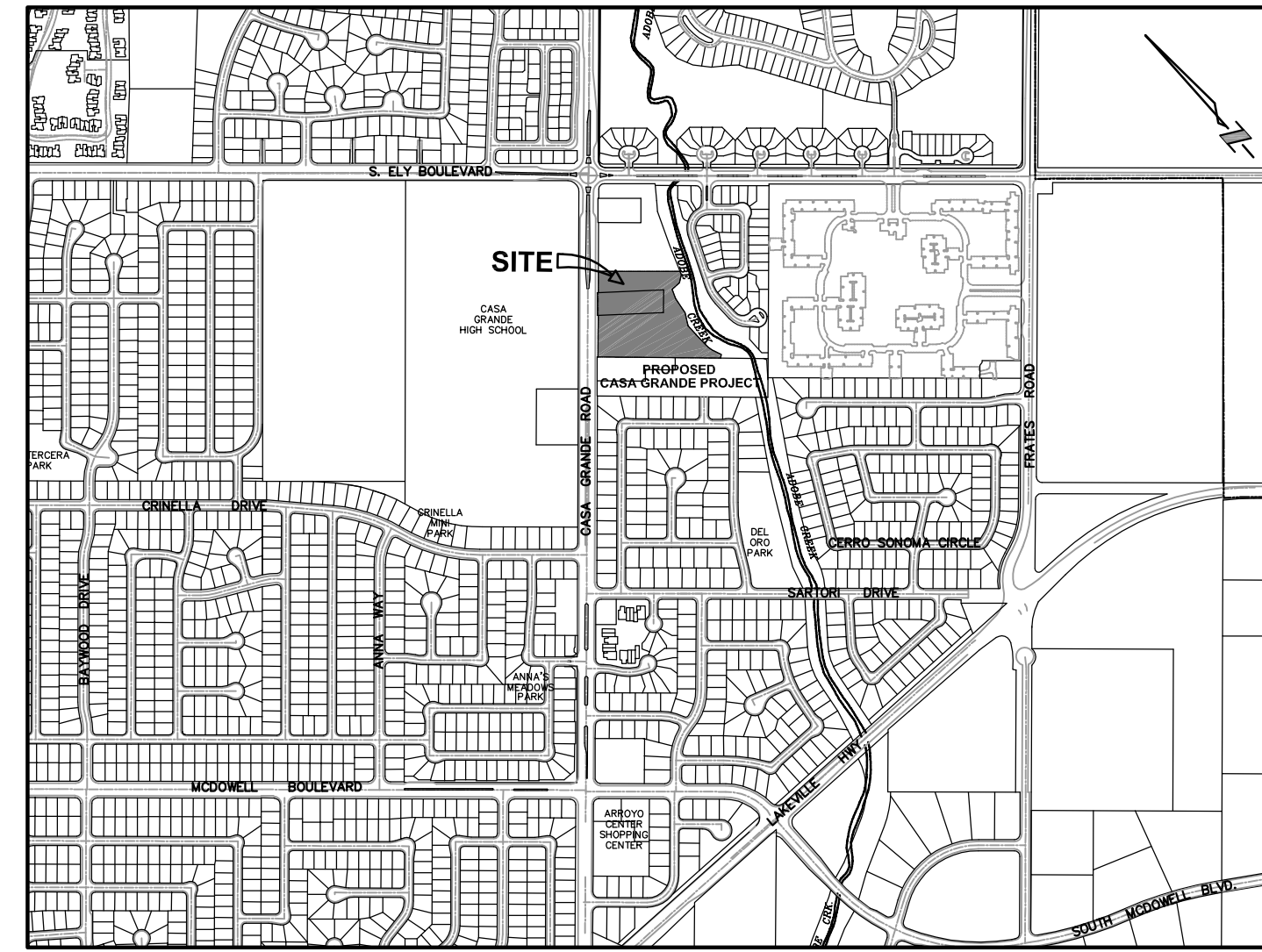
GEOTECHNICAL ENGINEER PJC
600 MARTIN AVENUE, SUITE 210
ROHNERT PARK, CALIFORNIA 94928
707.584.4804 VOICE
pat@pjcgeotech.com

BIOLOGIST ANALYTICAL ENVIRONMENTAL SERVICES
1801 7TH STREET, SUITE 100
SACRAMENTO, CALIFORNIA 95811
916.447.3479 VOICE
nbonzey@analyticalcorp.com

HYDROLOGIST WEST CONSULTANTS, INC.
11440 W. BERNARDO CT., SUITE 360
SAN DIEGO, CALIFORNIA 92127
858.487.9378 VOICE
dsmith@westconsultants.com

ARBORIST URBAN FORESTRY ASSOCIATES, INC.
8 WILLOW STREET
SAN RAFAEL, CALIFORNIA 94901
415.4544212 VOICE
zoc@urbanforestryassociates.com

TRAFFIC W-TRANS
490 MENDOCINO AVENUE, SUITE 201
SANTA ROSA, CALIFORNIA 95401
707.542.9500 VOICE
dwhitlock@w-trans.com



VICINITY MAP
N.T.S.



SITE DIAGRAM
SCALE: 1"=200'

OWNER

RON MALNATI
270 CASA GRANDE ROAD
PETALUMA, CALIFORNIA 94954
707-328-8558 VOICE
rlvka@yahoo.com

APPLICANT

FALCON POINT ASSOCIATES, LLC
c/o DRG BUILDERS
CASA GRANDE-PETALUMA LP
3496 BUSKIRK AVENUE #104
PLEASANT HILL, CALIFORNIA 94523
925-939-3473 VOICE
doyle@drgbuilders.com

UTILITIES

FIRE PROTECTION CITY OF PETALUMA
WATER CITY OF PETALUMA
SANITARY SEWER CITY OF PETALUMA
STORM DRAIN CITY OF PETALUMA

SHEET INDEX

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PHOTO DATE: 2018
SOURCE: GOOGLE EARTH



FORMAL DEVELOPMENT APPLICATION SUBMITTAL
MARCH 24, 2021

REVISIONS	BY

COVER SHEET
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE:	2021.03.24
SCALE:	AS SHOWN
DESIGN:	SL, AF, NF, AD
DRAWING:	CRK HSM JTG NOF
CHECK:	S.J.
JOB:	CREEKWOOD
JOB No:	192119
SHEET	C-1
OF	20 SHEETS



ZONING DISTRICTS

PUD PLANNED UNIT DISTRICT
 R2 RESIDENTIAL 2
 R4 RESIDENTIAL 4
 OSP OPEN SPACE PARK

LAND USE CLASSIFICATIONS

LDR LOW DENSITY RESIDENTIAL
 MDR MEDIUM DENSITY RESIDENTIAL
 HDR HIGH DENSITY RESIDENTIAL
 CP CITY PARK
 E EDUCATION
 OS OPEN SPACE
 [] LAND USE DESIGNATION

LEGEND

R2 [LDR] ZONING DISTRICT
 [] LAND USE CLASSIFICATION
 [] SITE BOUNDARY

NOTES

- ZONING INFORMATION SHOWN HEREON IS PER THE CITY OF PETALUMA: 2008 ZONING MAP, LAST REVISED APRIL 27, 2017
- LAND USE DESIGNATIONS SHOWN HEREON ARE PER THE CITY OF PETALUMA LAND USE MAP FOR THE PETALUMA GENERAL PLAN 2025.
- BOUNDARY LINES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.

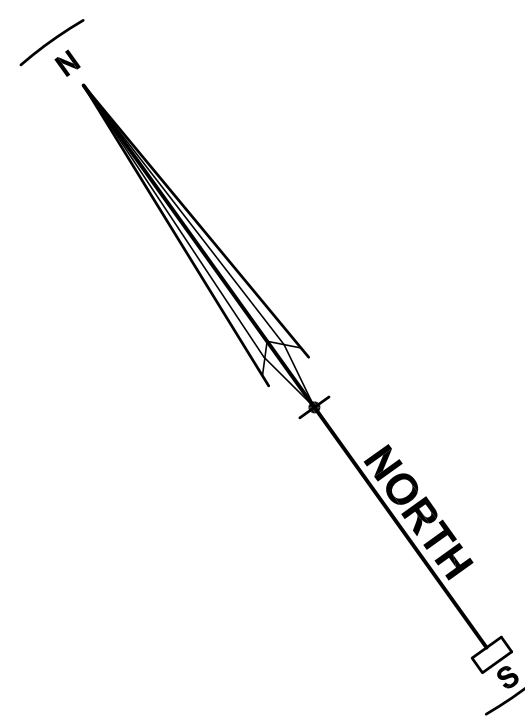


PHOTO DATE: 2019
 SOURCE: GOOGLE EARTH

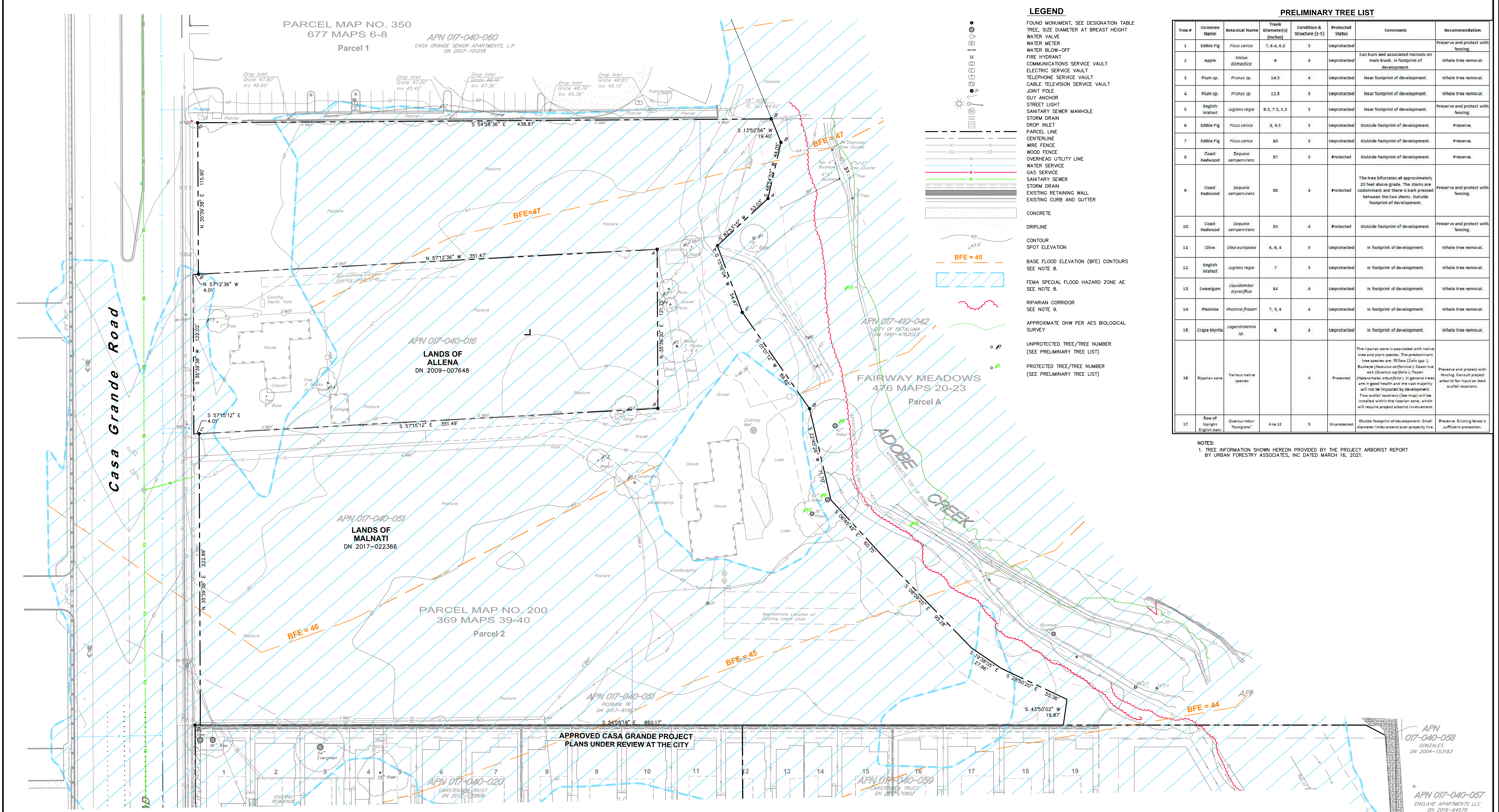


REVISIONS	BY

CONTEXT PLAN
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA, CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
 SCALE: 1"=100'
 DESIGN: S.J.L, A.D.F, N.O.F
 DRAWING: CRK HSM JTG NOF
 CHECK: S.J.L
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-2
 OF 19 SHEETS



LEGEND

- FOUND MONUMENT, SEE DESIGNATION TABLE
- TREE, SIZE DIAMETER AT BREAST HEIGHT
- WATER VALVE
- WATER METER
- WATER BLOW-OFF
- FIRE HYDRANT
- COMMUNICATIONS SERVICE VAULT
- ELECTRIC SERVICE VAULT
- TELEPHONE SERVICE VAULT
- CABLE TELEVISION SERVICE VAULT
- JOINT POLE
- GUY ANCHOR
- STREET LIGHT
- SANITARY SEWER MANHOLE
- STORM DRAIN
- DROP INLET
- PARCEL LINE
- CENTERLINE
- WIRE FENCE
- WOOD FENCE
- OVERHEAD UTILITY LINE
- WATER SERVICE
- GAS SERVICE
- SANITARY SEWER
- STORM DRAIN
- EXISTING RETAINING WALL
- EXISTING CURB AND GUTTER
- CONCRETE
- DRIPLINE
- CONTOUR
- SPOT ELEVATION
- BASE FLOOD ELEVATION (BFE) CONTOURS SEE NOTE 8.
- FEMA SPECIAL FLOOD HAZARD ZONE AE SEE NOTE 8.
- RIPARIAN CORRIDOR SEE NOTE 9.
- APPROXIMATE OHW PER AES BIOLOGICAL SURVEY
- UNPROTECTED TREE/TREE NUMBER (SEE PRELIMINARY TREE LIST)
- PROTECTED TREE/TREE NUMBER (SEE PRELIMINARY TREE LIST)

PRELIMINARY TREE LIST

Tree #	Common Name	Botanical Name	Trunk Diameter (inches)	Condition & Structure (1-5)	Protected Status	Comments	Recommendation
1	Edible Fig	Ficus carica	7, 6.4, 6.2	5	Unprotected	Sun burn and associated necrosis on main trunk in footprint of development.	Preserve and protect with fencing.
2	Apple	Malus domestica	6	4	Unprotected		Whole tree removal.
3	Plum sp.	Prunus sp.	14.5	4	Unprotected	Near footprint of development.	Whole tree removal.
4	Plum sp.	Prunus sp.	11.5	3	Unprotected	Near footprint of development.	Whole tree removal.
5	English Walnut	Juglans regia	8.5, 7.5, 5.5	5	Unprotected	Near footprint of development.	Preserve and protect with fencing.
6	Edible Fig	Ficus carica	6, 6.5	5	Unprotected	Outside footprint of development.	Preserve.
7	Edible Fig	Ficus carica	10	5	Unprotected	Outside footprint of development.	Preserve.
8	Coast Redwood	Sequoia sempervirens	37	5	Protected	Outside footprint of development.	Preserve.
9	Coast Redwood	Sequoia sempervirens	38	4	Protected	The tree bifurcates at approximately 25 feet above grade. The stems are codominant and there is bark spread between the two stems. Outside footprint of development.	Preserve and protect with fencing.
10	Coast Redwood	Sequoia sempervirens	33	4	Protected	Outside footprint of development.	Preserve and protect with fencing.
11	Olive	Olea europaea	6, 6, 4	5	Unprotected	In footprint of development.	Whole tree removal.
12	English Walnut	Juglans regia	7	5	Unprotected	In footprint of development.	Whole tree removal.
13	Sweetgum	Liquidambar styraciflua	14	4	Unprotected	In footprint of development.	Whole tree removal.
14	Photinia	Photinia fraseri	7, 5, 4	4	Unprotected	In footprint of development.	Whole tree removal.
15	Crape Myrtle	Lagerstroemia sp.	6	4	Unprotected	In footprint of development.	Whole tree removal.
16	Riparian zone	Various native species		4	Protected	The riparian zone is populated with native tree and plant species. The predominant tree species are: Willow (Salix sp.), Buckeye (Aesculus californica), Coast live oak (Quercus agrifolia), Toyon (Heteromeles arbutifolia). In general trees are in good health and the vast majority will not be impacted by development. Two outfall locations (See map) will be installed within the riparian zone, which will require project a habitat improvement.	Preserve and protect with fencing. Consult project architect for input on best outfall locations.
17	Row of Ungrazed English oaks	Quercus robur / Quercus agrifolia	4 to 12	5	Unprotected	Outside footprint of development. Small diameter limbs extend over property line.	Preserve. Existing fence is sufficient protection.

NOTES:
1. TREE INFORMATION SHOWN HEREON PROVIDED BY THE PROJECT ARBORIST REPORT BY URBAN FORESTRY ASSOCIATES, INC DATED MARCH 16, 2021.

- NOTES**
- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. ON MAY 3 and 5, 2020. SUPPLEMENTAL INFORMATION UPDATED ON MARCH 15, 2021.
 - VERTICAL DATUM: ELEVATION IS BASED ON FOUND MONUMENT "CALLEFIELD" WHICH IS PART OF THE CSCC CENTRAL COAST HEIGHT MODERNIZATION PROJECT 2007-2008. ELEVATION 11.42 NAVD88 DATUM. A LOCAL JOB BENCHMARK HAS BEEN ESTABLISHED ON SITE, BEING A MAG NAIL & WASHER, STAMPED "SLS CONTROL", IN ASPHALT DRIVEWAY AT NORTHWEST CORNER OF SUBJECT PARCEL. ELEVATION=9.01, NAVD 1988 DATUM.
 - HORIZONTAL DATUM: PARCEL MAP NO. 200, RECORDED IN BOOK 369 OF MAPS, AT PAGES 39-40, SONOMA COUNTY RECORDS.
 - UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM CITY OF PETALUMA UTILITY MAPPING AS SHOWN ON PAGE 1-05. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARK THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POT-HOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
 - ROCK OUTCROPPINGS ARE SHOWN WHERE VISIBLE. ROCKS MAY EXIST UNDER THE SURFACE THAT ARE NOT VISIBLE AND ARE THIS NOT SHOWN ON THIS MAP.
 - TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NUMBER 6062000460, DATED JANUARY 14, 2021 AND NUMBER 6062000465 DATED JANUARY 14, 2021.
 - THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
 - FLOODWAY BOUNDARIES AND BASE FLOOD ELEVATION (BFE) CONTOURS ARE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 06097C 1001G, EFFECTIVE DATE OCTOBER 2, 2015.
 - RIPARIAN CORRIDOR LOCATION INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY ANALYTICAL ENVIRONMENTAL SERVICES.

- MONUMENT DESIGNATION**
- A FOUND 3/4" IRON PIPE, TAGGED "RCE 13677"
 - B FOUND 3/4" IRON PIPE, TAG ILLEGIBLE
 - C FOUND 3/4" IRON PIPE, NOT TAG
 - D FOUND REBAR
 - E FOUND 3/4" IRON PIPE, DISTURBED

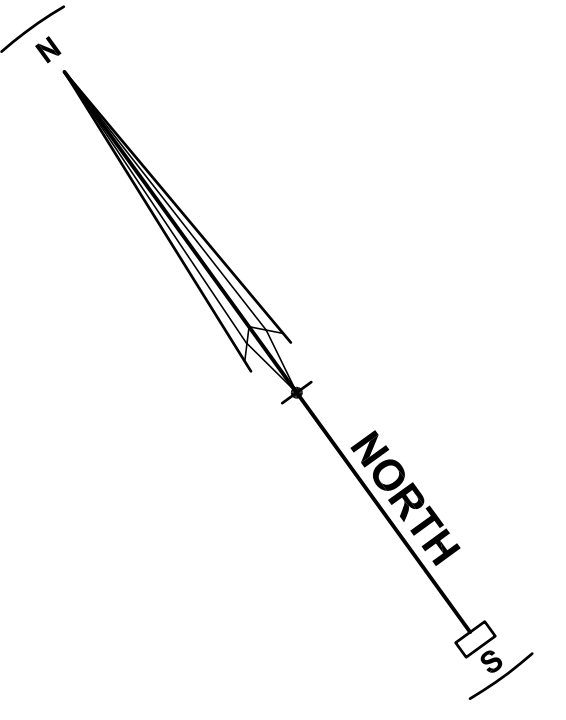
- ABBREVIATIONS**
- APN ASSESSORS' PARCEL NUMBER
 - DN DOCUMENT NUMBER
 - SCR SONOMA COUNTY RECORDS
 - SSMH SANITARY SEWER MANHOLE
 - INV INVERT
 - PP POWER POLE
 - JP JOINT POLE
 - SS SANITARY SEWER
 - WMF WIRE MESH FENCE
 - WBF WOOD BOARD FENCE

REVISIONS BY

EXISTING CONDITIONS EXHIBIT
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
SCALE: 1"=30'
DESIGN: S.J. LAFRANCHI, M.P.S., M.A.S.
DRAWING: CRK HSM JTG NOF
CHECK: S.J.
JOB: CREEKWOOD
JOB No: 192119
SHEET
C-3
OF 20 SHEETS



PRELIMINARY TREE LIST

Tree #	Common Name	Botanical Name	Trunk Diameter(s) (inches)	Condition & Structure (1-5)	Protected Status	Comments	Recommendation
1	Edible Fig	Ficus carica	7, 6.4, 6.2	5	Unprotected		Preserve and protect with fencing.
2	Apple	Malus domestica	6	4	Unprotected	Sun burn and associated necrosis on main trunk - in footprint of development.	Whole tree removal.
3	Plum sp.	Prunus sp.	14.5	4	Unprotected	Near footprint of development.	Whole tree removal.
4	Plum sp.	Prunus sp.	13.5	5	Unprotected	Near footprint of development.	Whole tree removal.
5	English Walnut	Juglans regia	8.5, 7.5, 5.5	5	Unprotected	Near footprint of development.	Preserve and protect with fencing.
6	Edible Fig	Ficus carica	8, 6.5	5	Unprotected	Outside footprint of development.	Preserve.
7	Edible Fig	Ficus carica	30	5	Unprotected	Outside footprint of development.	Preserve.
8	Coast Redwood	Sequoia sempervirens	37	5	Protected	Outside footprint of development.	Preserve.
9	Coast Redwood	Sequoia sempervirens	38	4	Protected	The tree bifurcates at approximately 28 feet above grade. The stems are codominant and there is bark pressure between the two stems. Outside footprint of development.	Preserve and protect with fencing.
10	Coast Redwood	Sequoia sempervirens	33	4	Protected	Outside footprint of development.	Preserve and protect with fencing.
11	Olive	Olea europaea	6, 6, 4	5	Unprotected	In footprint of development.	Whole tree removal.
12	English Walnut	Juglans regia	7	5	Unprotected	In footprint of development.	Whole tree removal.
13	Sweetgum	Liquidambar styraciflua	3.4	4	Unprotected	In footprint of development.	Whole tree removal.
14	Rhiniasia	Rhiniasia fraseri	7, 5, 4	4	Unprotected	In footprint of development.	Whole tree removal.
15	Crape Myrtle	Lagerstroemia sp.	6	4	Unprotected	In footprint of development.	Whole tree removal.
16	Riparian zone	Various native species		4	Protected	The riparian zone is populated with native tree and shrub species. The predominant tree species are Willow (Salix spp.), Buckeye (Aesculus californica), Coast live oak (Quercus agrifolia), Toyon (Nerolepis arbutifolia). In general trees are in good health and the vast majority will not be impacted by development. Two snuffal locations (See map) will be installed within the riparian zone, which will require project architect involvement.	Preserve and protect with fencing. Consult project architect for input on best snuffal locations.
17	Row of largest English oaks	Quercus robur/Parviflora	4 to 12	5	Unprotected	Outside footprint of development. Small diameter limbs extend over property line.	Preserve. Existing fence is sufficient protection.

NOTES:
 1. TREE INFORMATION SHOWN HEREON PROVIDED BY THE PROJECT ARBORIST REPORT BY URBAN FORESTRY ASSOCIATES, INC. DATED MARCH 16, 2021.
 2. TREES SHOWN IN RED REPRESENT EXISTING TREES TO BE REMOVED.

NOTE:
 LINEWORK SHOWN IN RED REPRESENTS EXISTING FEATURE TO BE REMOVED.

LEGEND

●	FOUND MONUMENT, SEE DESIGNATION TABLE
○	TREE, SIZE DIAMETER AT BREAST HEIGHT
⊕	WATER VALVE
⊗	WATER METER
⊖	WATER BLOW-OFF
⊕	FIRE HYDRANT
⊕	COMMUNICATIONS SERVICE VAULT
⊕	ELECTRIC SERVICE VAULT
⊕	TELEPHONE SERVICE VAULT
⊕	CABLE TELEVISION SERVICE VAULT
⊕	JOINT POLE
⊕	GUY ANCHOR
⊕	STREET LIGHT
⊕	SANITARY SEWER MANHOLE
⊕	STORM DRAIN
⊕	DROP INLET
⊕	PARCEL LINE
⊕	CENTERLINE
⊕	WIRE FENCE
⊕	WOOD FENCE
⊕	OVERHEAD UTILITY LINE
⊕	WATER SERVICE
⊕	GAS SERVICE
⊕	SANITARY SEWER
⊕	STORM DRAIN
⊕	EXISTING RETAINING WALL
⊕	EXISTING CURB AND GUTTER
⊕	CONCRETE
⊕	DRIPLINE
⊕	CONTOUR
⊕	RIPIARIAN CORRIDOR
⊕	SEE C-3 EXISTING CONDITIONS EXHIBIT FOR INFORMATION.
⊕	APPROXIMATE QHW PER AES BIOLOGICAL SURVEY
⊕	TREE TO BE REMOVED
○ #1	UNPROTECTED TREE/TREE NUMBER
○ #2	PROTECTED TREE/TREE NUMBER

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
DN	DOCUMENT NUMBER
SCR	SONOMA COUNTY RECORDS
SSMH	SANITARY SEWER MANHOLE
INV	INVERT
PP	POWER POLE
JP	JOINT POLE
SS	SANITARY SEWER
WMF	WIRE MESH FENCE
WBF	WOOD BOARD FENCE

KEY NOTES

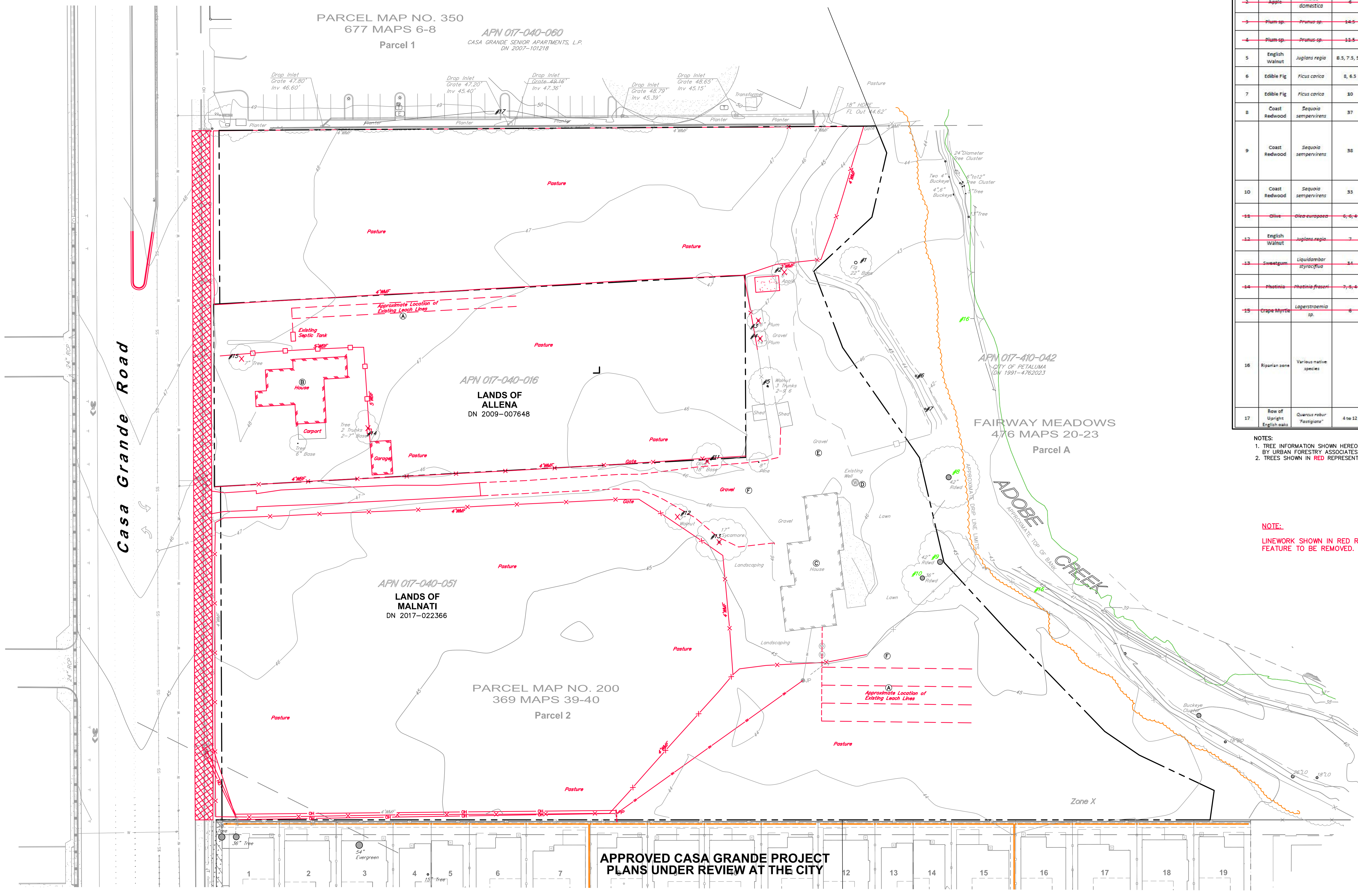
- (A) REMOVAL OF SEPTIC SYSTEMS REQUIRE A PERMIT FROM THE COUNTY OF SONOMA RIND WELL AND SEPTIC DIVISIONS.
- (B) THE EXISTING RESIDENCE WAS CONSTRUCTED CIRCA 1950.
- (C) EXISTING HOUSE TO REMAIN.
- (D) EXISTING WELL TO REMAIN.
- (E) NOT A PART OF DEVELOPMENT PROJECT (DESIGNATED REMAINDER).
- (F) PROPOSED BOUNDARY FOR DESIGNATED REMAINDER.

TREE PRESERVATION NOTES

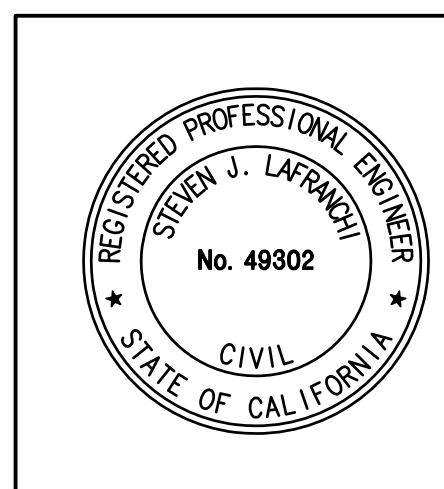
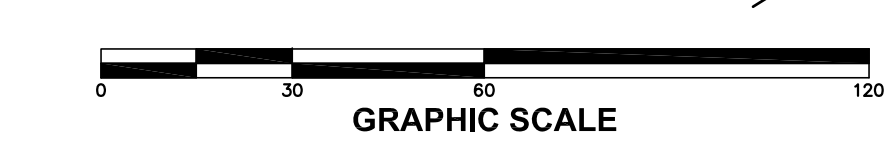
- 1. TREE PRESERVATION INFORMATION SHOWN IS BASED ON AN ARBORIST REPORT, PREPARED BY URBAN FORESTRY ASSOCIATES, INC. ON MARCH 16, 2021.
- 2. TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER.

TREE PROTECTION NOTES

- 1. PLASTIC OR CHAIN LINK TREE PROTECTION FENCING SHOULD BE INSTALLED AT THE DRIPLINES OF TREES TO BE PRESERVED. IF TEMPORARY ACCESS IS REQUIRED WITHIN THE FENCED AREA, THE FENCE MAY BE REMOVED WITH THE APPROVAL OF THE PROJECT OR MONITORING ARBORIST, AND REPLACED AT THE EDGE OF REQUIRED ACCESS.
- 2. A PRE-CONSTRUCTION MEETING WITH THE TREE SERVICE TO PERFORM PRUNING AND THE PROJECT ARBORIST IS RECOMMENDED TO AGREE ON EXTENT AND SPECIFICS OF PRUNING.
- 3. PRUNING SHOULD BE THE MINIMUM NECESSARY FOR HAZARD REDUCTION OR NECESSARY ACCESS. (I.E. THE REMOVAL OF DEADWOOD 2" AND LARGER, ETC.). VERTICAL CLEARANCE, AND CROWN RESTORATION, IT SHOULD BE DONE BY TRAINED, QUALIFIED TREE WORKERS ACCORDING TO ISA PRUNING GUIDELINES AND ANSI 300 STANDARDS.
- 4. THE PROJECT ARBORIST OR DESIGNATED MONITORING ARBORIST SHALL BE NOTIFIED 48 HOURS IN ADVANCE TO BE PRESENT WHEN GRADING OR TRENCHING WILL BE OCCURRING WITHIN THE DRIPLINES OF TREES TO BE PRESERVED. WHERE POSSIBLE, ROOTS LARGER THAN 2" DIAMETER SHALL BE PRESERVED IN TRENCHES, WITH LINES INSTALLED UNDER THEM. IF ANY ROOTS LARGER THAN 1" ARE ENCOUNTERED THAT CANNOT BE PRESERVED, THEY SHOULD BE CUT CLEANLY ACROSS THE FACE OF THE ROOT WITH A SHARP SAW.
- 5. NO PARKING, STORAGE OF MATERIALS, DISPOSAL OF WASTE, OPERATION OF EQUIPMENT OR OTHER CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN DRIPLINES OF TREES TO REMAIN.
- 6. A 4" DEEP LAYER OF ARBORMULCH (CHIPPED FOLIAGE, BRANCHES AND BARK) SHALL BE APPLIED TO THE SOIL SURFACE WITHIN THE DRIPLINES OF THE TREES TO BE PRESERVED, AND MAINTAINED AS A PERMANENT TOP DRESSING.



APPROVED CASA GRANDE PROJECT PLANS UNDER REVIEW AT THE CITY



STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 1000 THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
 SCALE: 1"=30'
 DESIGN: S.L. AB, M.F. AAO
 DRAWING: CRK HSM JTG NOF
 CHECK: S.L.
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-4
 OF 20 SHEETS

DEMOLITION AND PRESERVATION PLAN
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA - CALIFORNIA

REVISIONS	BY

LEGEND

	EXISTING		PROPOSED
	PROPERTY LINE		SETBACK LINE
	EASEMENT LINE		STORM DRAIN
	STORM DRAIN MANHOLE		CATCH BASIN
	DROP INLET		WATER LINE
	WATER LATERAL/METER		SANITARY SEWER/MANHOLE
	CLEANOUT		JOINT TRENCH
	DESIGNATED REMAINDER SEE KEYNOTE D.		RIPIARIAN CORRIDOR SEE EXISTING CONDITIONS EXHIBIT FOR INFORMATION.
	APPROXIMATE OHW PER AFS BIOLOGICAL SURVEY		

NOTE:

- REFER TO SITE DEVELOPMENT PLAN FOR INFORMATION RELATED TO R4 SETBACKS, PARKING, COVERAGE AND OTHER APPURTENANT PROJECT STANDARDS COMPLIANCE.
- UNDERLYING IMPROVEMENT SHOWN HEREIN ARE FOR REFERENCE ONLY. PLEASE REFER TO SHEETS C-6 TO C-8 FOR ADDITIONAL DETAILS OF SITE UTILITIES, & GRADING.
- SEE SHEE C-12 FOR PRELIMINARY CONDOMINIUM PLAN.

TENTATIVE MAP KEY NOTES

(A) 50' DEVELOPMENT SETBACK LINE FROM ADOBE CREEK TOP OF BANK.

(B) 488 S.F. TO BE DEDICATED TO THE CITY OF PETALUMA (CASA GRANDE ROAD RIGHT-OF-WAY).

(C) PROPOSED PUBLIC ROAD RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF PETALUMA.

(D) NOT A PART OF THIS PROJECT.

EASEMENT DESIGNATIONS

(E1) PROPOSED STORM DRAIN EASEMENT FOR THE BENEFIT OF ALL PARCELS.

(E2) PROPOSED CITY MAINTENANCE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.

(E3) PROPOSED ACCESS EASEMENT FOR DESIGNATED REMAINDER. REQUIRES SEPARATE DOCUMENT.

COURSE DATA

LINE	BEARING	LENGTH
L1	N 13°52'56" E	19.40'
L2	N 43°50'02" E	19.87'
L3	N 57°15'12" W	4.01'
L4	S 87°12'36" E	4.01'
L5	S 09°20'22" E	4.43'
L6	N 35°39'38" E	11.48'
L7	S 80°53'04" W	2.69'
L8	S 09°20'22" E	2.70'
L9	N 35°39'38" E	11.45'
L10	S 80°53'38" E	4.43'
L11	S 54°34'05" W	5.28'
L12	S 16°45'11" W	5.28'
L13	S 54°34'05" W	5.28'
L14	N 16°45'11" E	5.28'

CURVE	RADIUS	LENGTH
C1	4.2'	5.2'
C2	4.2'	5.2'
C3	4.2'	5.2'
C4	4.2'	5.2'
C5	4.2'	5.2'
C6	4.2'	5.2'
C7	4.2'	5.2'
C8	4.2'	5.2'
C9	4.2'	5.2'
C10	4.2'	5.2'
C11	4.2'	5.2'
C12	4.2'	5.2'
C13	4.2'	5.2'
C14	4.2'	5.2'

CASA GRANDE ROAD

PUBLIC STREET

PARCEL 2
51,000 S.F.
FOR CONDOMINIUM PURPOSES

PUBLIC STREET

PARCEL 3
58,380 S.F.
FOR CONDOMINIUM PURPOSES

DESIGNATED REMAINDER
28,203 S.F.

APN 017-410-042
CITY OF PETALUMA
DM 1991-4762023

ADOBE CREEK
APPROXIMATE DRIP LINE LIMITS
APPROXIMATE TOP OF BANK

APPROVED CASA GRANDE PROJECT
PLANS UNDER REVIEW AT THE CITY

APN 017-040-020

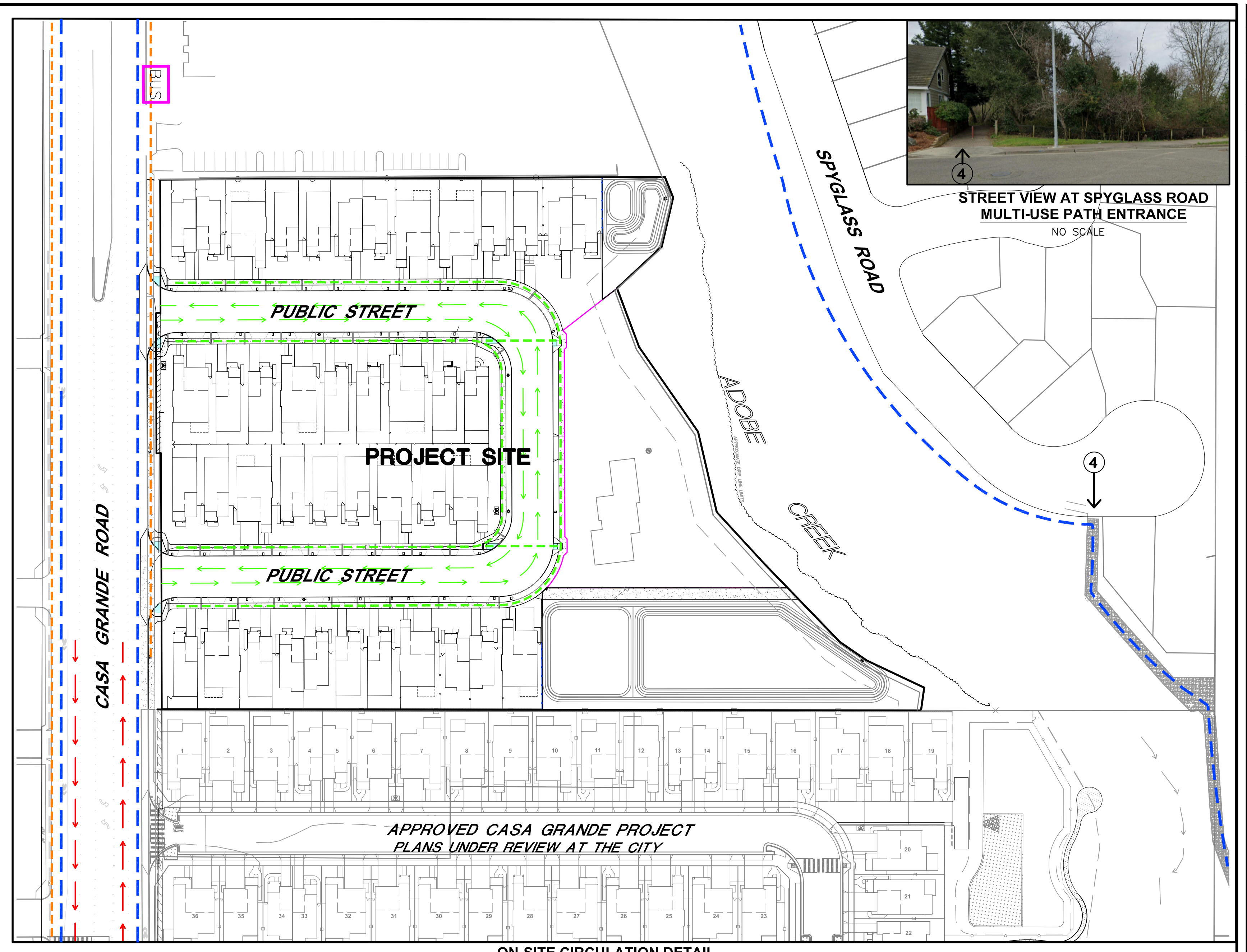
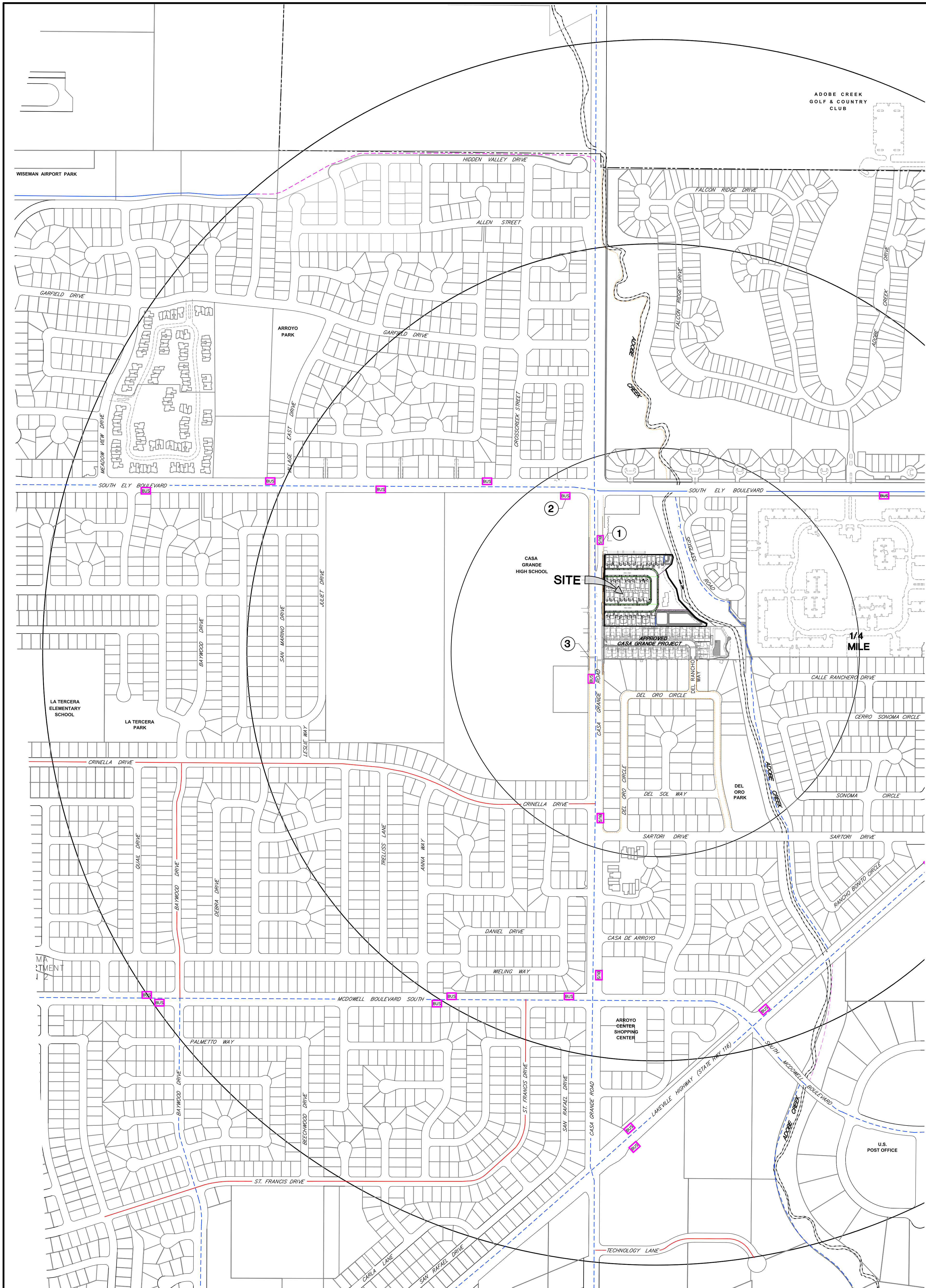
APN 017-040-059



VESTING TENTATIVE PARCEL MAP
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
SCALE: 1"=20'
DESIGN: S.J. LAFRANCHI, P.E., A.C.S.
DRAWING: CRK HSM JTG NOF
CHECK: S.J.
JOB: CREEKWOOD
JOB No: 192119
SHEET
C-5
OF 20 SHEETS



KEY NOTES:

- 1 EXISTING TRANSIT STOP ALONG CASA GRANDE ROAD, ADJACENT TO PEP FACILITY, TO BE UPGRADED
- 2 EXISTING TRANSIT STOP ALONG ELY BLVD, ADJACENT TO CASA GRANDE HIGH SCHOOL, TO BE UPGRADED.
- 3 POTENTIAL LOCATION FOR ENHANCED PEDESTRIAN CROSSING ALONG CASA GRANDE ROAD.
- 4 EXISTING ENTRANCE TO MULTI-USE PATH AT SPYGLASS ROAD.

LEGEND

- PROPOSED PUBLIC PEDESTRIAN ACCESS
 - EXISTING PUBLIC PEDESTRIAN ACCESS
 - PROPOSED PUBLIC VEHICULAR ACCESS
 - EXISTING PUBLIC VEHICULAR ACCESS
- BICYCLE**
- CLASS 1 (EXIST.)
 - CLASS 2 (EXIST.)
 - CLASS 3 (EXIST.)
 - CLASS 1 (PROPOSED)
 - CLASS 2 (PROPOSED)
 - CLASS 3 (PROPOSED)
- BUS STOP LOCATION**
- BUS STOP LOCATION
 - BUS STOP LOCATION



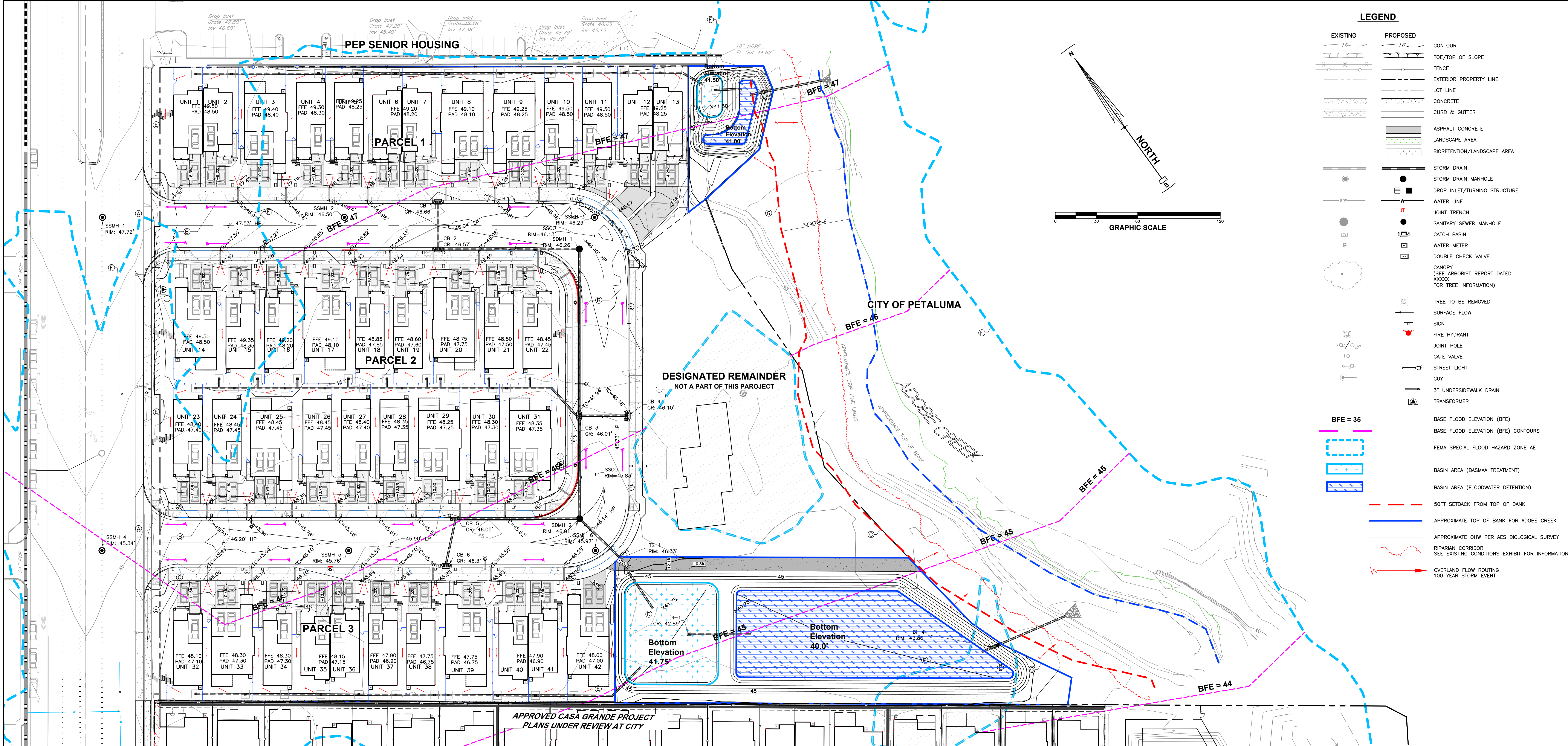
REVISIONS BY	DATE

CIRCULATION PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
SCALE: AS SHOWN
DESIGN: SA, AF, NF, AD
DRAWING: CRK, HSM, JTG, NCF
CHECK: SJA
JOB: CREEKWOOD
JOB No: 192119

REVISIONS	BY



***EARTHWORK QUANTITIES**

**** CUT=** 5,966 CY

**** FILL=** 6,195 CY

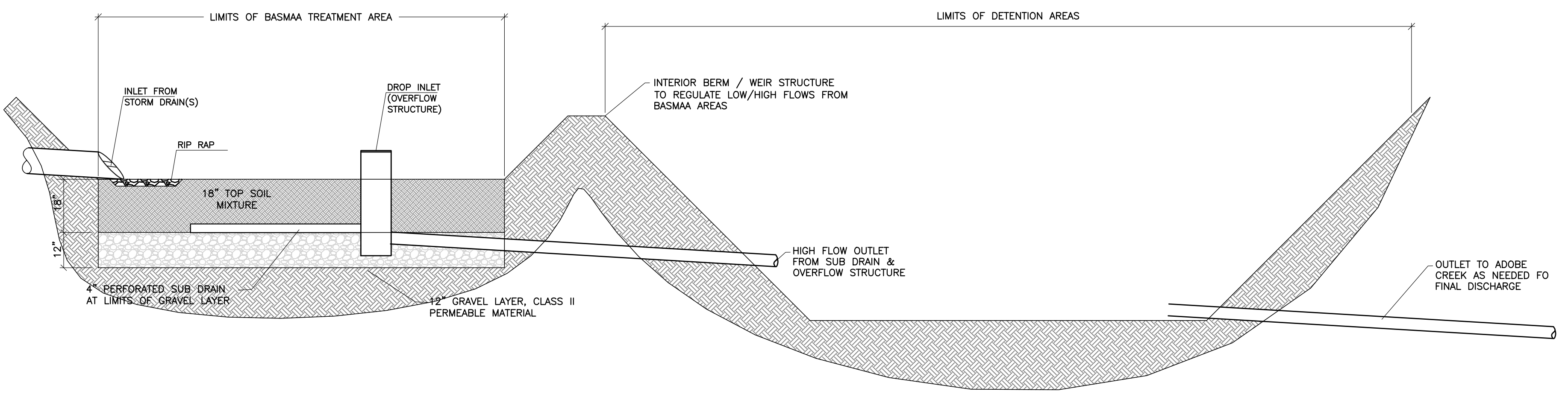
NET FILL = 1,404 CY

**** CUT & FILL VOLUMES BASED ON BUILDING PADS, BASIN AREAS, AND ROADWAY SUBGRADE**

*EARTHWORK QUANTITIES ARE BASED ON IN SITE VOLUME AND SECTION OF FINISHED DESIGN PRIOR TO APPLICATION OF SHRINK/SWELL FACTORS

- KEYNOTES**
- Ⓐ 12" CONCRETE VALLEY GUTTER PER C.O.P. STD. 205.
 - Ⓑ PUBLIC STREET 3" AC OVER 12" CL2 AB.
 - Ⓒ PUBLIC SIDEWALK, CONCRETE, 4" P.C.C. OVER 4" CL2 AB PER COP STD 203.
 - Ⓓ BIORETENTION BASIN. SEE DETAIL ON SHEET C-15.
 - Ⓔ LANDSCAPE AREA. SEE LANDSCAPE PLANS.
 - Ⓕ LIMITS FLOODWAY AS INDICATED ON FLOOD RATE INSURANCE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 060379 0982 P REVISED OCTOBER 2015. THIS AREA IS "ZONE AE".
 - Ⓖ APPROXIMATE 50' DEVELOPMENT SETBACK FROM TOP OF BANK.
 - Ⓗ DRAINAGE SWALE, TYPICAL. SEE DETAIL SHEET C-15.
 - Ⓘ PROPOSED TRANSFORMER LOCATION.

- NOTES**
1. SEE SHEET C-3 FOR THE EXISTING CONDITIONS
 2. SEE SHEET C-4 FOR DEMOLITION & PRESERVATION PLAN
 3. SEE SHEET C-5 FOR THE VESTING TENTATIVE PARCEL MAP
 4. SEE SHEET C-6 FOR THE SITE DEVELOPMENT PLAN
 5. SEE SHEET C-9 FOR THE PRELIMINARY UTILITY PLAN
 6. SEE SHEET C-10 FOR THE SITE SECTIONS KEYMAP
 7. SEE SHEET C-11 FOR THE PRELIMINARY PROFILES
 8. SEE SHEET C-12 FOR THE PRELIMINARY SITE SECTION
 9. SEE SHEET C-13 FOR THE PRELIMINARY CONDOMINIUM PLAN
 10. SEE SHEET C-14 FOR THE PRELIMINARY LID STORM WATER PLAN
 11. SEE SHEET C-15 FOR THE POST IMPROVEMENT HYDROLOGY
 12. SEE SHEET C-16 FOR THE POST IMPROVEMENT CATCHMENT MAP

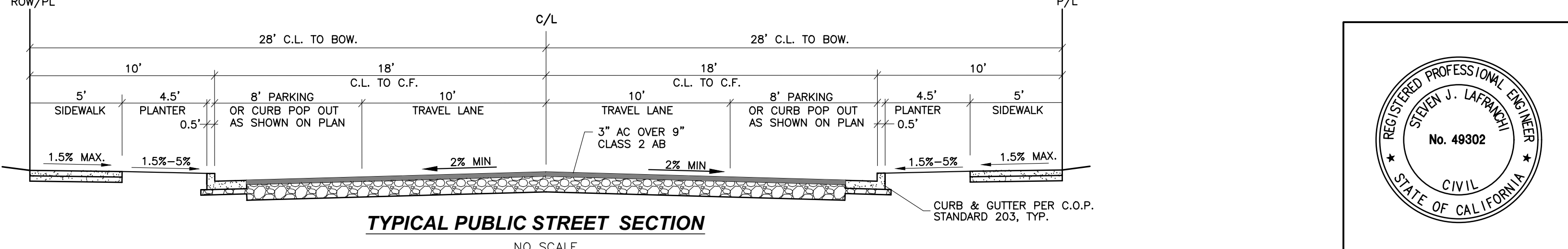
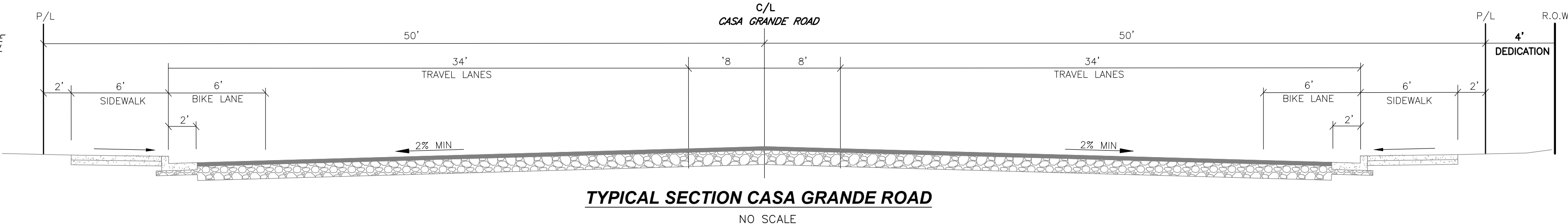


PAVEMENT STRUCTURAL SECTIONS

	AREA	AC	VOL.(CY)	AB	VOL.(CY)
PUBLIC STREET	28,268 SF	3"	239	9"	815
PRIVATE DRIVeways	16,850 SF	4" P.C.C.	208	4"	208
CONCRETE SIDEWALK	6,319 SF	4" P.C.C.	100	4"	100
CURB AND GUTTER		P.C.C.	80	4"	100
VALLEY GUTTER	1,678 SF	6" P.C.C.	31	8"	41.4

SUMMARY TOTALS (CY)

1,264.4	CLASS II AGGREGATE BASE
239.0	ASPHALT CONCRETE
419.0	PORTLAND CEMENT CONCRETE
1,922.2	CY



PRELIMINARY GRADING PLAN

CREEKWOOD CONDOMINIUM PROJECT

270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016

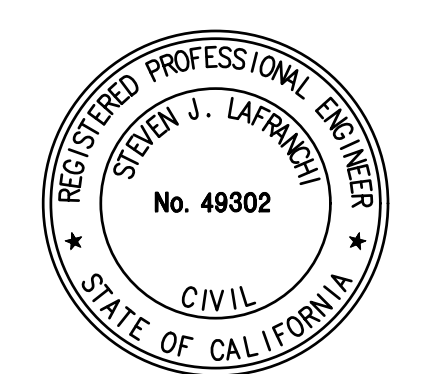
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.

CIVIL ENGINEERS - LAND SURVEYORS

LAND PLANNERS - LANDSCAPE ARCHITECTS

PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239



DATE: 2021.03.24

SCALE: 1"=30'

DESIGN: SJL, ADF, NDF

DRAWN: GRK, HSM, JTG, NDF

CHECK: SJL

JOB: CREEKWOOD

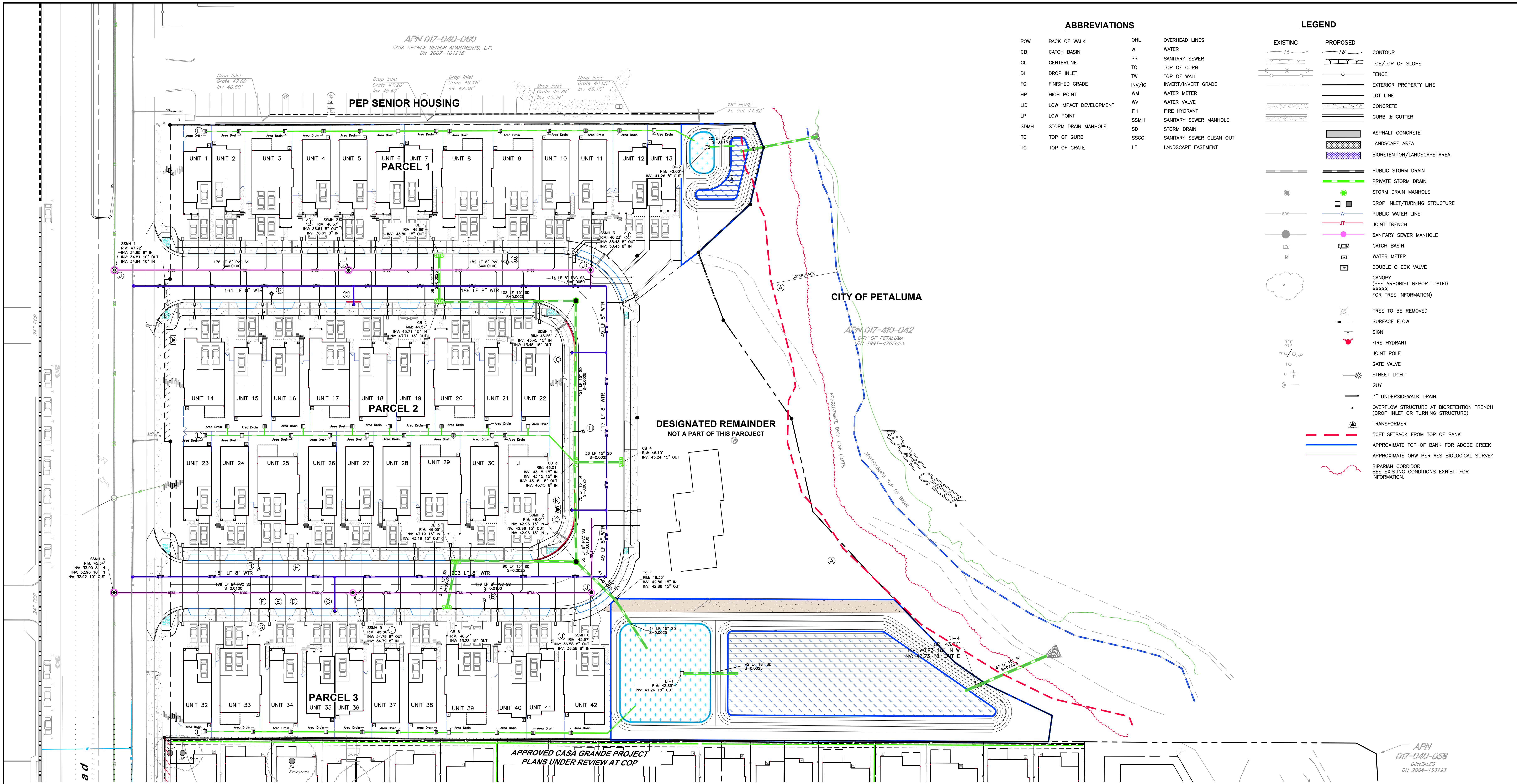
JOB No.: 192119

SHEET **C-8**

OF 20 SHEETS

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ABBREVIATIONS

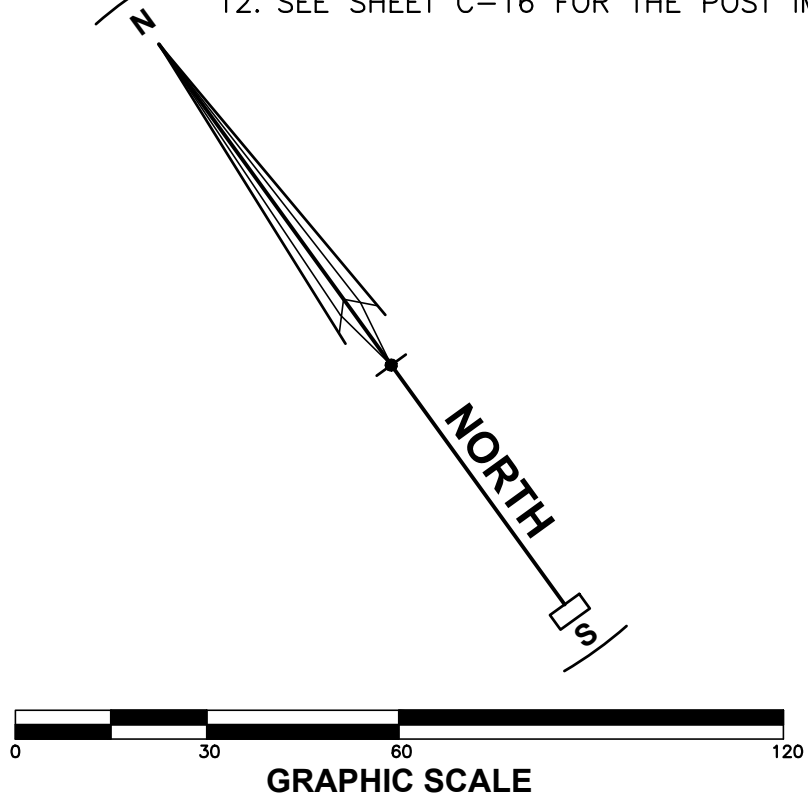
BOW	BACK OF WALK	OHL	OVERHEAD LINES
CB	CATCH BASIN	W	WATER
CL	CENTERLINE	SS	SANITARY SEWER
DI	DROP INLET	TC	TOP OF CURB
FG	FINISHED GRADE	TW	TOP OF WALL
HP	HIGH POINT	INV/G	INVERT/INVERT GRADE
LID	LOW IMPACT DEVELOPMENT	WM	WATER METER
LP	LOW POINT	WV	WATER VALVE
SDMH	STORM DRAIN MANHOLE	FH	FIRE HYDRANT
TC	TOP OF CURB	SSMH	SANITARY SEWER MANHOLE
TG	TOP OF GRATE	SD	STORM DRAIN
		SSCO	SANITARY SEWER CLEAN OUT
		LE	LANDSCAPE EASEMENT

LEGEND

EXISTING	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	CONTOUR
(Symbol)	(Symbol)	TOE/TOP OF SLOPE
(Symbol)	(Symbol)	FENCE
(Symbol)	(Symbol)	EXTERIOR PROPERTY LINE
(Symbol)	(Symbol)	LOT LINE
(Symbol)	(Symbol)	CONCRETE
(Symbol)	(Symbol)	CURB & GUTTER
(Symbol)	(Symbol)	ASPHALT CONCRETE
(Symbol)	(Symbol)	LANDSCAPE AREA
(Symbol)	(Symbol)	BIORETENTION/LANDSCAPE AREA
(Symbol)	(Symbol)	PUBLIC STORM DRAIN
(Symbol)	(Symbol)	PRIVATE STORM DRAIN
(Symbol)	(Symbol)	STORM DRAIN MANHOLE
(Symbol)	(Symbol)	DROP INLET/TURNING STRUCTURE
(Symbol)	(Symbol)	PUBLIC WATER LINE
(Symbol)	(Symbol)	JOINT TRENCH
(Symbol)	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	(Symbol)	CATCH BASIN
(Symbol)	(Symbol)	WATER METER
(Symbol)	(Symbol)	DOUBLE CHECK VALVE
(Symbol)	(Symbol)	CANOPY (SEE ARBORIST REPORT DATED XXXXX FOR TREE INFORMATION)
(Symbol)	(Symbol)	TREE TO BE REMOVED
(Symbol)	(Symbol)	SURFACE FLOW
(Symbol)	(Symbol)	SIGN
(Symbol)	(Symbol)	FIRE HYDRANT
(Symbol)	(Symbol)	JOINT POLE
(Symbol)	(Symbol)	GATE VALVE
(Symbol)	(Symbol)	STREET LIGHT
(Symbol)	(Symbol)	GUY
(Symbol)	(Symbol)	3" UNDERSIDEWALK DRAIN
(Symbol)	(Symbol)	OVERFLOW STRUCTURE AT BIORETENTION TRENCH (DROP INLET OR TURNING STRUCTURE)
(Symbol)	(Symbol)	TRANSFORMER
(Symbol)	(Symbol)	50FT SETBACK FROM TOP OF BANK
(Symbol)	(Symbol)	APPROXIMATE TOP OF BANK FOR ADOBE CREEK
(Symbol)	(Symbol)	APPROXIMATE CHW PER AES BIOLOGICAL SURVEY
(Symbol)	(Symbol)	RIPARIAN CORRIDOR (SEE EXISTING CONDITIONS EXHIBIT FOR INFORMATION)

- KEYNOTES**
- Ⓐ 50' SETBACK FROM TOP OF BANK.
 - Ⓑ STREET LIGHT PER C.O.P. STD. 602.
 - Ⓒ FIRE HYDRANT PER C.O.P. STD. 857.
 - Ⓓ 3" SIDEWALK UNDERDRAIN PER C.O.P. STD. 404, TYPICAL.
 - Ⓔ 4" SANITARY SEWER LATERAL, TYPICAL.
 - Ⓕ WATER METER PER C.O.P. STD. 862, TYPICAL.
 - Ⓖ RESIDENTIAL DOUBLE CHECK VALVE BACK FLOW ASSEMBLY PER C.O.P. STD. 875, TYPICAL.
 - Ⓜ JOINT TRENCH LINE, SEE PLANS BY OTHERS.
 - Ⓝ PEDESTRIAN WALKWAY.
 - Ⓟ 48" SANITARY SEWER MANHOLE PER C.O.P. STD. 500.
 - Ⓠ PROPOSED TRANSFORMER LOCATION.
 - Ⓡ AREA DRAIN FOR ROOF AND YARD AREAS, DIRECTED TO BASMAA BASIN.
 - Ⓢ ALL PROPOSED IMPROVEMENTS SHALL BE LOCATED OUTSIDE THE RIPARIAN BOUNDARY.
 - Ⓣ 60" INSIDE DROP MANHOLE PER COP STD. 503.
 - Ⓤ 24"x24" DROP INLET W/ TRAFFIC RATED ADA COMPLIANT GRATE.
 - Ⓡ BYPASS STRUCTURE - SEE DETAIL SHEET.

- NOTES**
1. SEE SHEET C-3 FOR THE EXISTING CONDITIONS
 2. SEE SHEET C-4 FOR DEMOLITION & PRESERVATION PLAN
 3. SEE SHEET C-5 FOR THE VESTING TENTATIVE PARCEL MAP
 4. SEE SHEET C-6 FOR THE SITE DEVELOPMENT PLAN
 5. SEE SHEET C-8 FOR THE PRELIMINARY GRADING PLAN
 6. SEE SHEET C-10 FOR THE SITE SECTION KEYMAP
 7. SEE SHEET C-11 FOR THE STREET & STORM DRAIN PROFILES
 8. SEE SHEET C-12 FOR THE PRELIMINARY SITE SECTION
 9. SEE SHEET C-13 FOR THE PRELIMINARY CONDOMINIUM PLAN
 10. SEE SHEET C-14 FOR THE PRELIMINARY LID STORM WATER PLAN
 11. SEE SHEET C-15 FOR THE POST IMPROVEMENT HYDROLOGY
 12. SEE SHEET C-16 FOR THE POST IMPROVEMENT CATCHMENT MAP



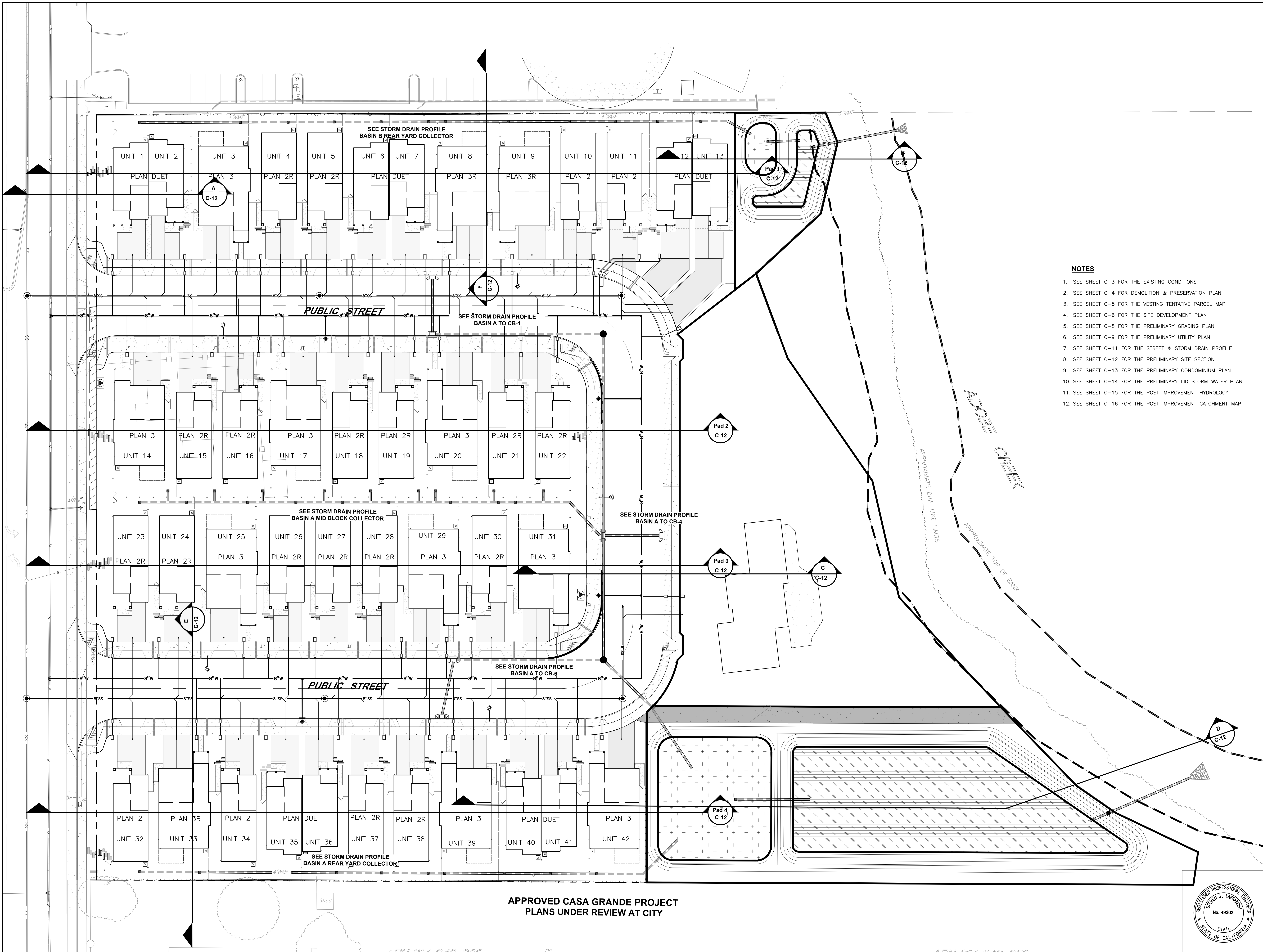
REVISIONS BY

PRELIMINARY UTILITY PLAN
CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA, CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
 SCALE: 1"=30'
 DESIGN: S.J.L. ADF, NDF
 DRAWING: ORR HSM JTG MCF
 CHECK: S.J.L.
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-9
 OF 20 SHEETS

NO.	DATE	REVISIONS BY



- NOTES**
1. SEE SHEET C-3 FOR THE EXISTING CONDITIONS
 2. SEE SHEET C-4 FOR DEMOLITION & PRESERVATION PLAN
 3. SEE SHEET C-5 FOR THE VESTING TENTATIVE PARCEL MAP
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 7. SEE SHEET C-11 FOR THE STREET & STORM DRAIN PROFILE
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APPROVED CASA GRANDE PROJECT
PLANS UNDER REVIEW AT CITY

SITE SECTION & PROFILE KEYMAP
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

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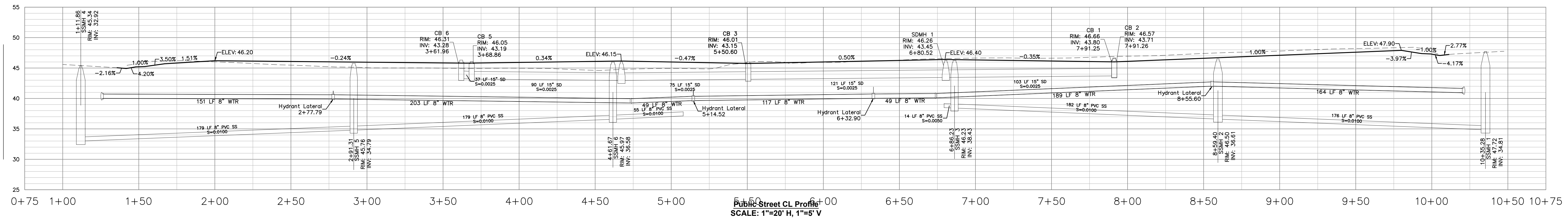
SHEET
C-10
OF 20 SHEETS

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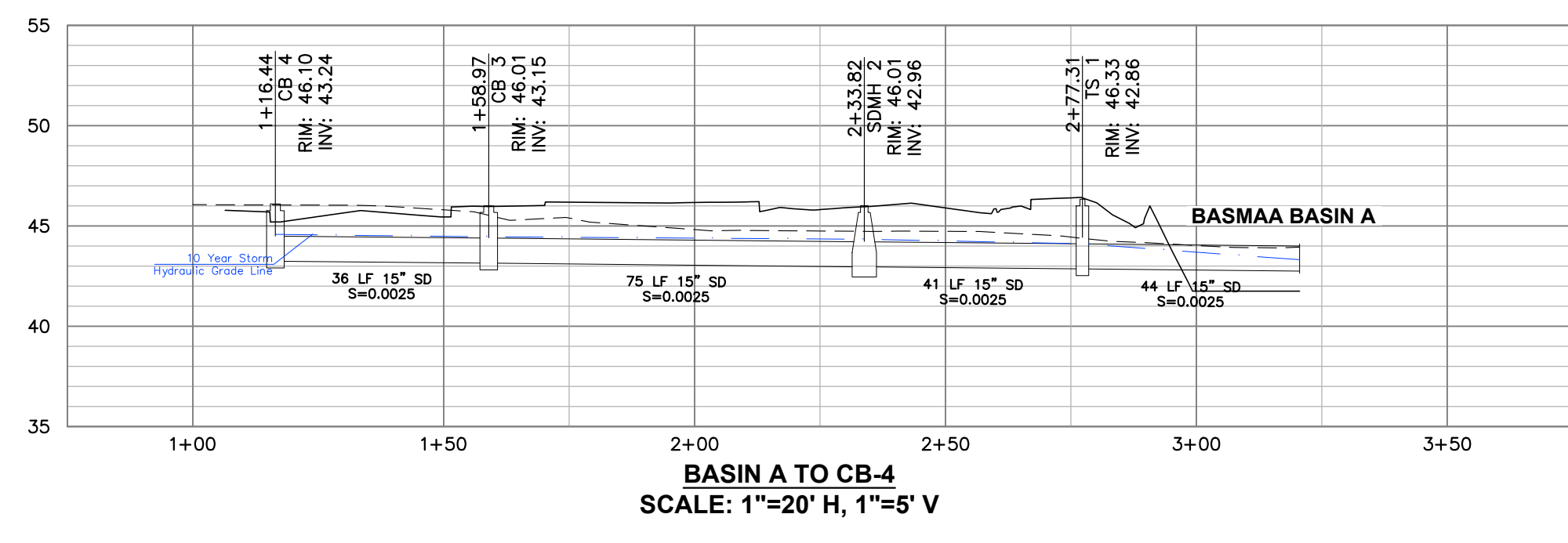
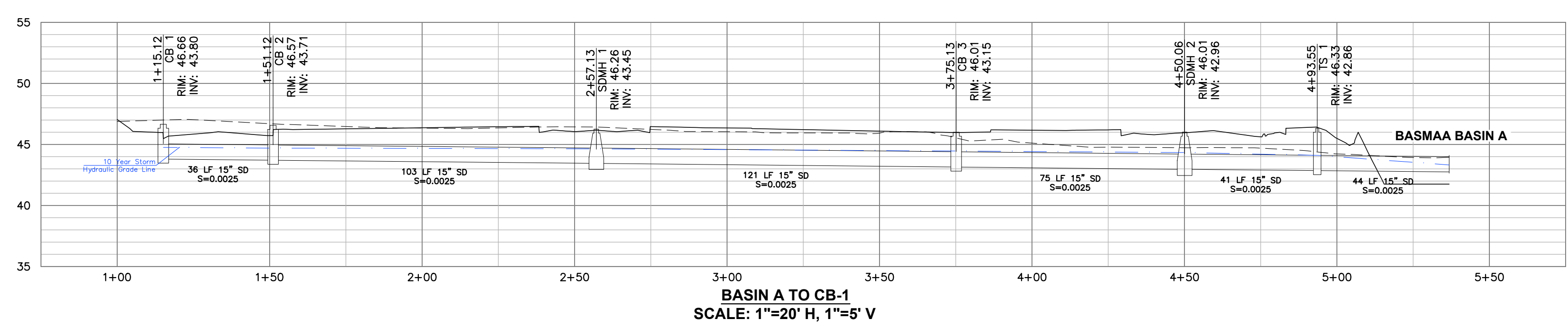
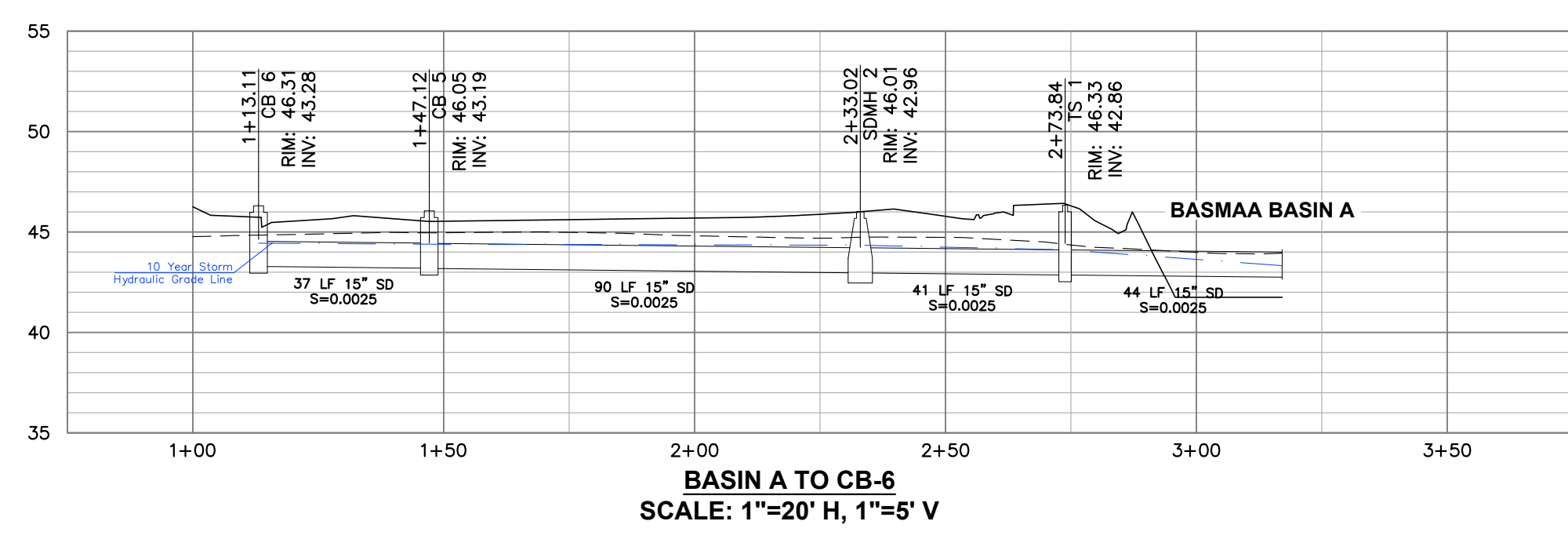
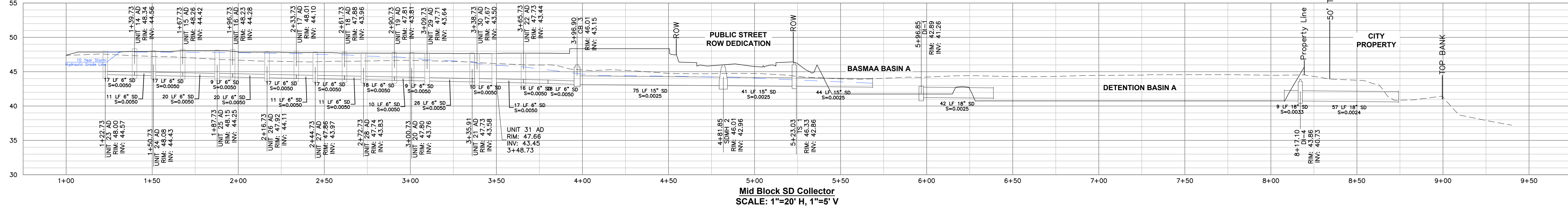
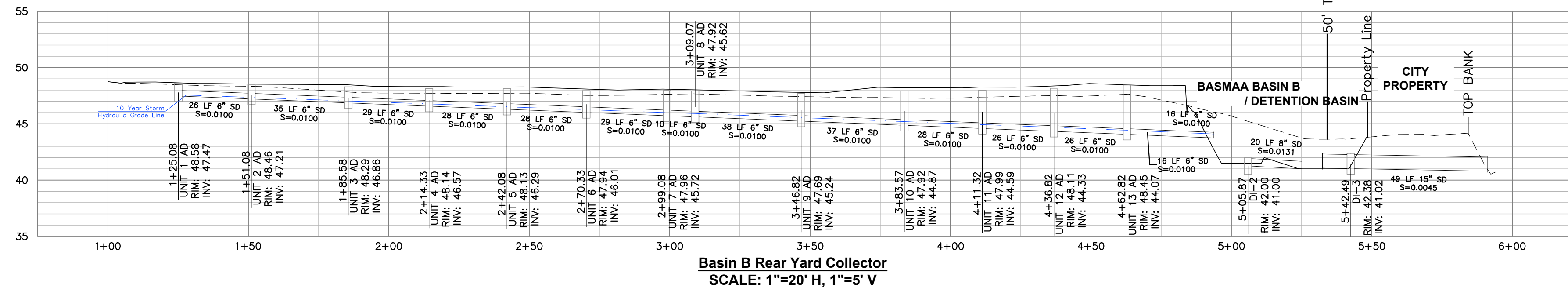
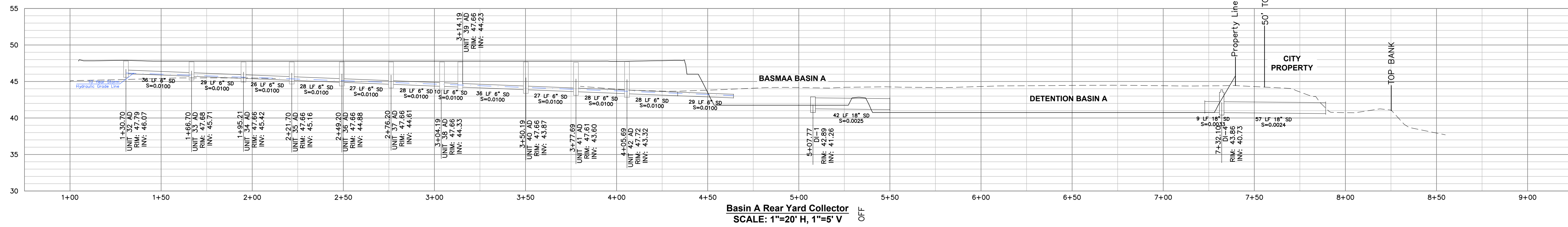
APN 017-040-020

APN 017-040-050

**CENTER LINE
PROFILE**



STORM DRAIN PROFILES



- NOTES**
- SEE SHEET C-3 FOR THE EXISTING CONDITIONS
 - SEE SHEET C-4 FOR DEMOLITION & PRESERVATION PLAN
 - SEE SHEET C-5 FOR THE VESTING TENTATIVE PARCEL MAP
 - SEE SHEET C-6 FOR THE SITE DEVELOPMENT PLAN
 - SEE SHEET C-8 FOR THE PRELIMINARY GRADING PLAN
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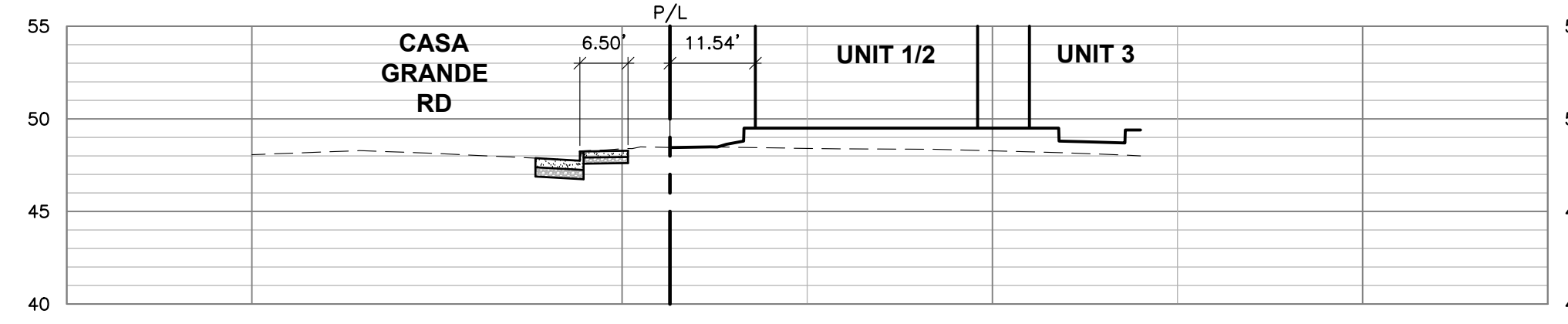


REVISIONS	BY

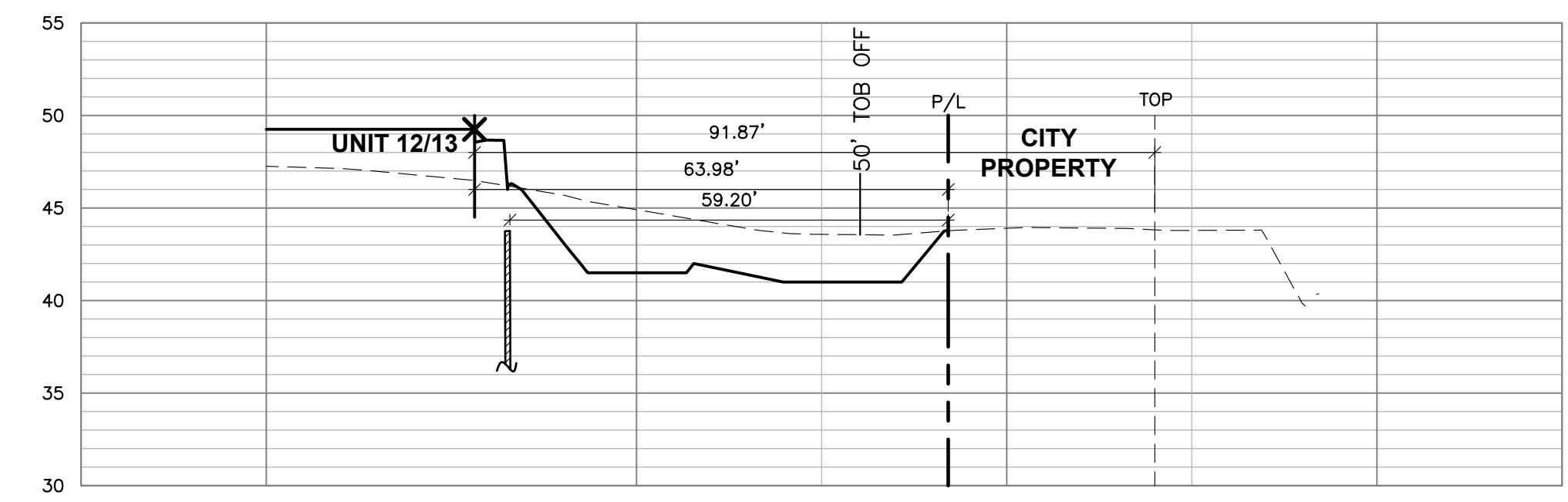
STREET CENTER LINE PROFILE & STORM DRAIN PROFILES
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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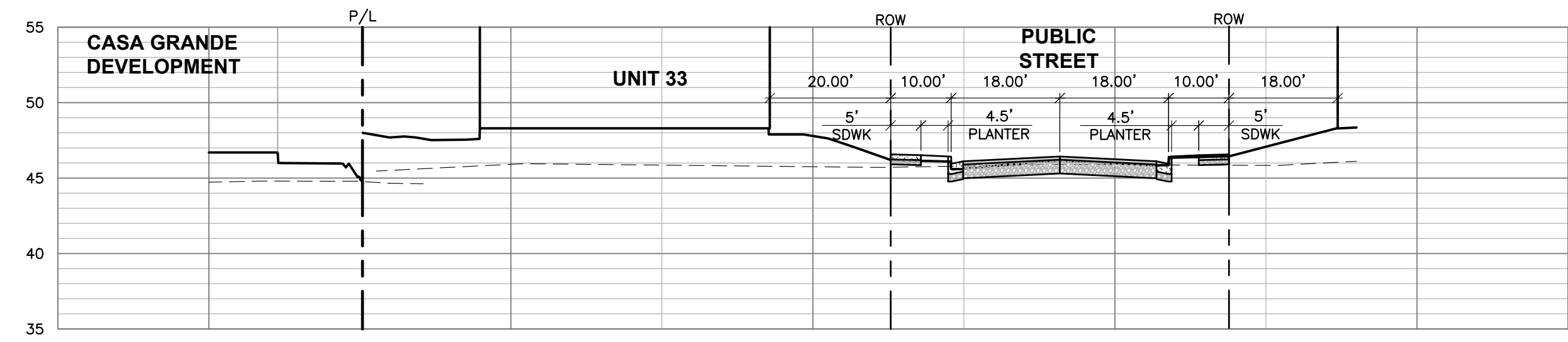
DATE: 2021.03.24
 SCALE: AS SHOWN
 DESIGN: SJL, ADF, NDF
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 CHECK: SJL
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-11
 OF 20 SHEETS



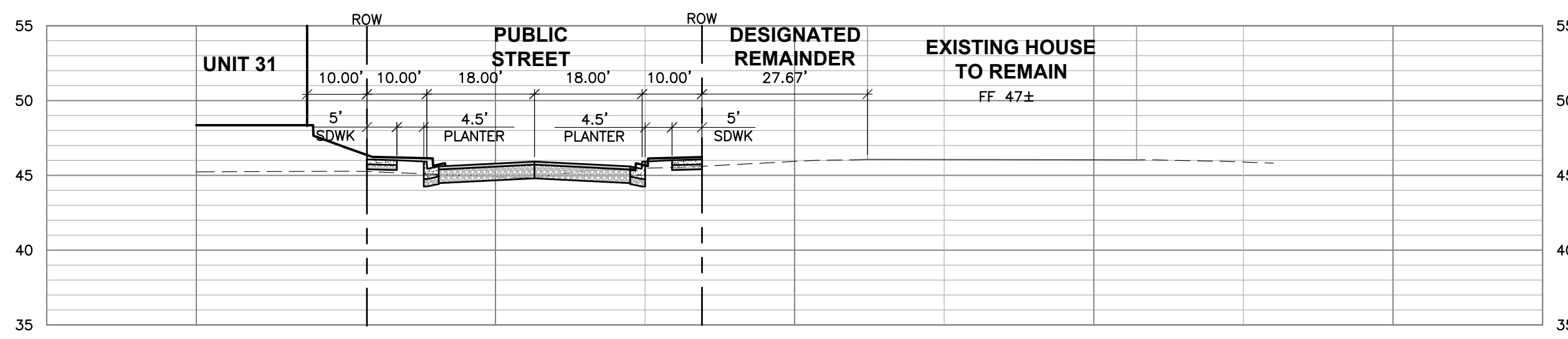
SECTION A
SCALE: 1"=20' H, 1"=8' V



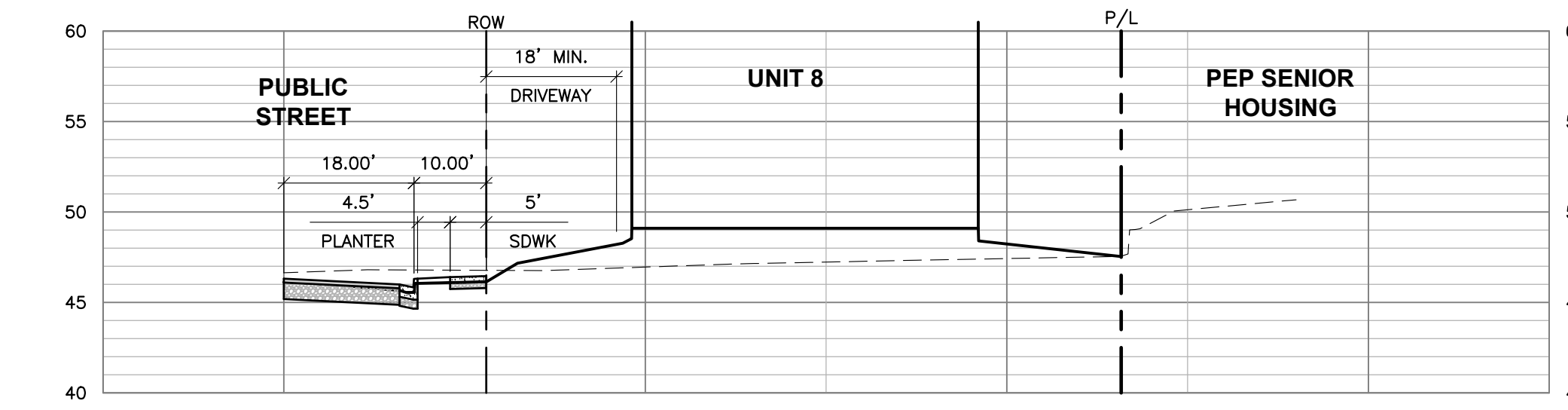
SECTION B
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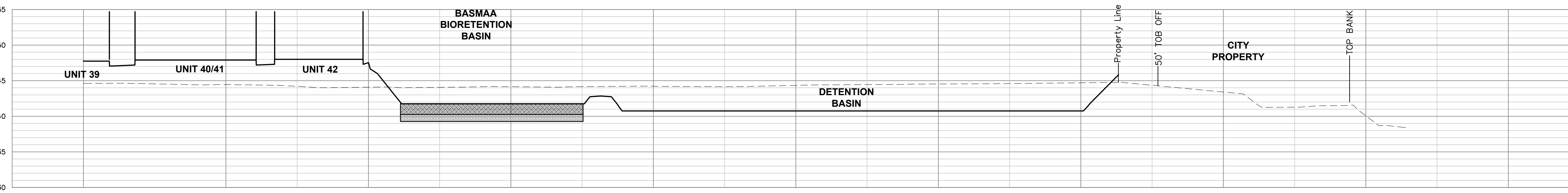
SECTION E
SCALE: 1"=20' H, 1"=8' V



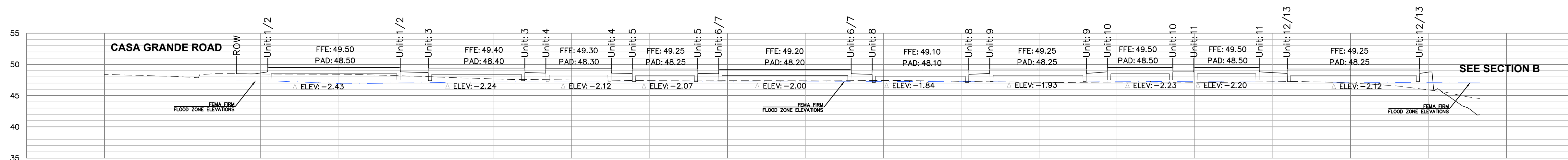
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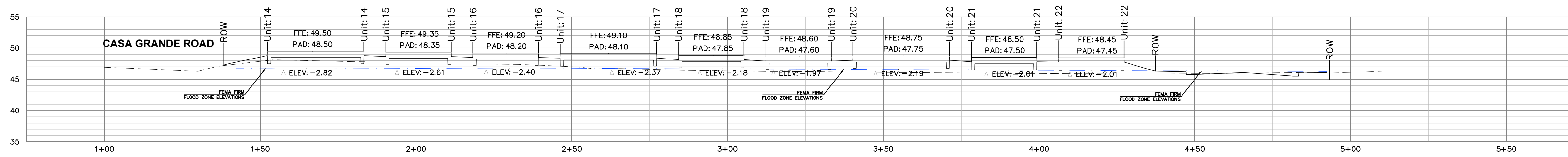
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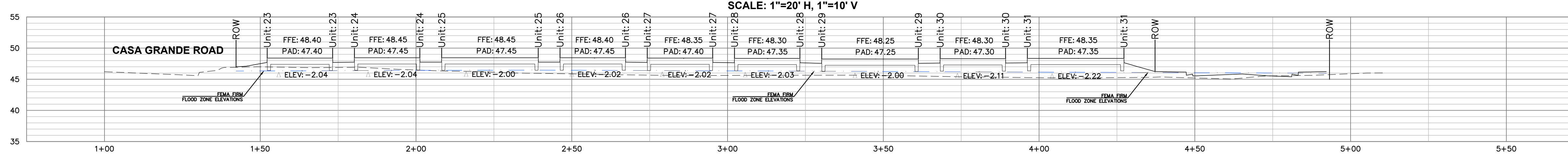
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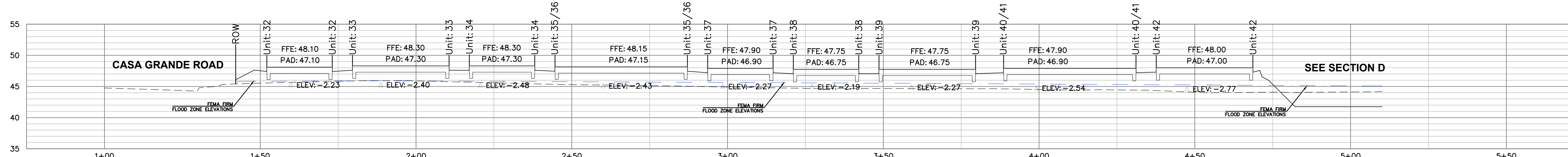
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Pad X-Section - 2
SCALE: 1"=20' H, 1"=10' V



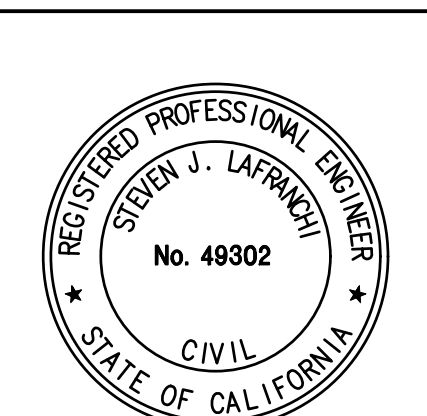
Pad X-Section - 3
SCALE: 1"=20' H, 1"=10' V



Pad X-Section - 4
SCALE: 1"=20' H, 1"=10' V

NOTES

1. SEE SHEET C-3 FOR THE EXISTING CONDITIONS
2. SEE SHEET C-4 FOR DEMOLITION & PRESERVATION PLAN
3. SEE SHEET C-5 FOR THE VESTING TENTATIVE PARCEL MAP
4. SEE SHEET C-6 FOR THE SITE DEVELOPMENT PLAN
5. SEE SHEET C-8 FOR THE PRELIMINARY GRADING PLAN
6. SEE SHEET C-9 FOR THE PRELIMINARY UTILITY PLAN
7. SEE SHEET C-10 FOR THE SECTIONS KEYMAP
8. SEE SHEET C-11 FOR THE STREET & STORM DRAIN PROFILES
9. SEE SHEET C-13 FOR THE PRELIMINARY CONDOMINIUM PLAN
10. SEE SHEET C-14 FOR THE PRELIMINARY LID STORM WATER PLAN
11. SEE SHEET C-15 FOR THE POST IMPROVEMENT HYDROLOGY
12. SEE SHEET C-16 FOR THE POST IMPROVEMENT CATCHMENT MAP



REVISIONS	BY

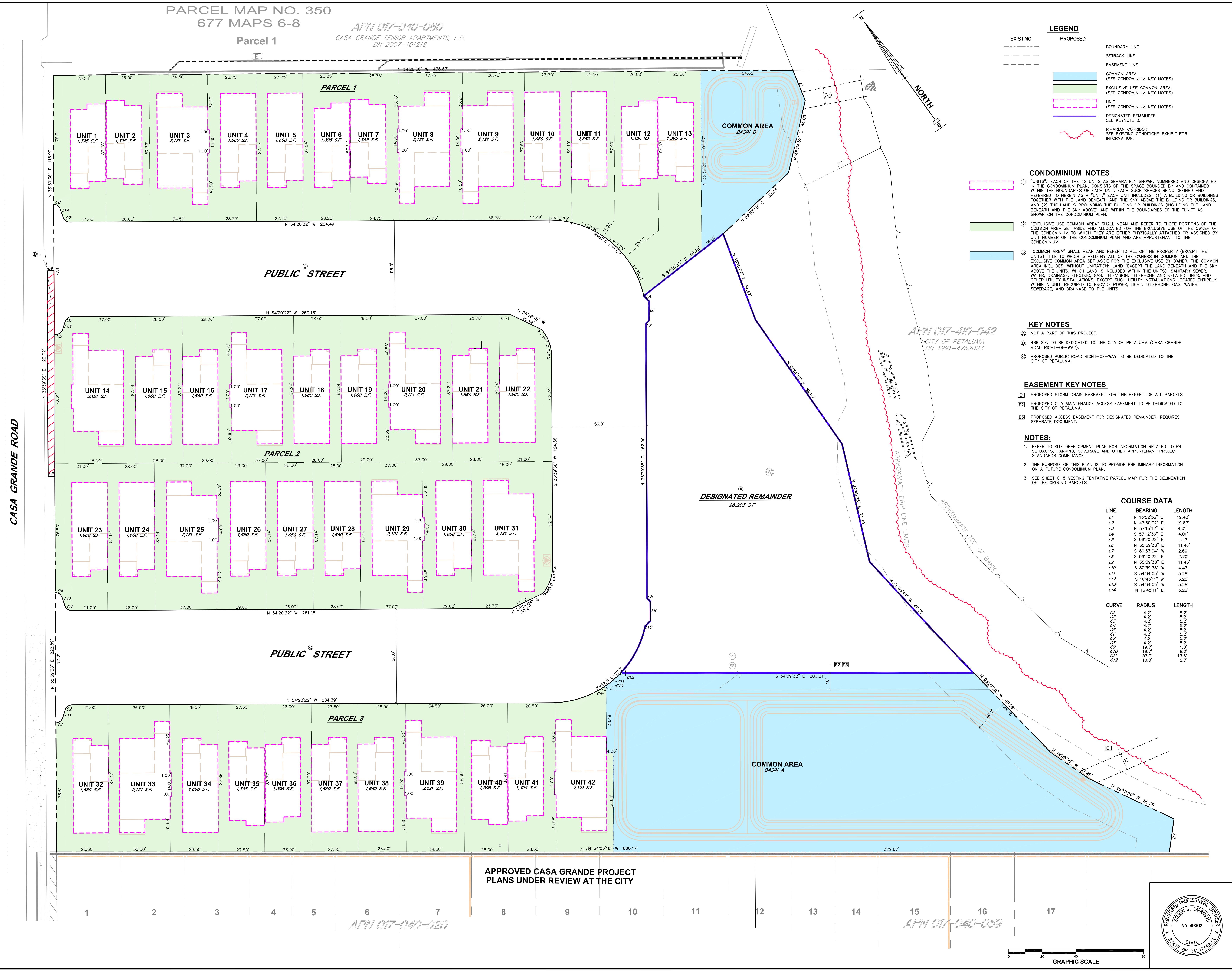
SECTIONS
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
 LAND PLANNERS - LANDSCAPE ARCHITECTS
 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
 SCALE: AS SHOWN
 DESIGN: SJJ, ADF, NDF
 DRAWING: CRK_HSM_ITG_NDF
 CHECK: SJJ
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-12
 OF 20 SHEETS

W:\DRG\Creekwood\DWG\SPAR\Layout\SB_300\192119_C-12 Sections.dwg, 3/23/2021 4:29:53 PM

REVISIONS	BY



LEGEND

---	EXISTING	---	BOUNDARY LINE
---	PROPOSED	---	SETBACK LINE
---		---	EASEMENT LINE
---		---	COMMON AREA (SEE CONDOMINIUM KEY NOTES)
---		---	EXCLUSIVE USE COMMON AREA (SEE CONDOMINIUM KEY NOTES)
---		---	UNIT (SEE CONDOMINIUM KEY NOTES)
---		---	DESIGNATED REMAINDER (SEE KEYNOTE D)
---		---	RIPARIAN CORRIDOR (SEE EXISTING CONDITIONS EXHIBIT FOR INFORMATION)

CONDOMINIUM NOTES

- "UNITS": EACH OF THE 42 UNITS AS SEPARATELY SHOWN, NUMBERED AND DESIGNATED IN THE CONDOMINIUM PLAN, CONSISTS OF THE SPACE BOUNDED BY AND CONTAINED WITHIN THE BOUNDARIES OF EACH UNIT, EACH SUCH SPACE BEING DEFINED AND REFERRED TO HEREIN AS A "UNIT". EACH UNIT INCLUDES: (1) A BUILDING OR BUILDINGS TOGETHER WITH THE LAND BENEATH AND THE SKY ABOVE THE BUILDING OR BUILDINGS, AND (2) THE LAND SURROUNDING THE BUILDING OR BUILDINGS (INCLUDING THE LAND BENEATH AND THE SKY ABOVE) AND WITHIN THE BOUNDARIES OF THE "UNIT" AS SHOWN ON THE CONDOMINIUM PLAN.
- "EXCLUSIVE USE COMMON AREA" SHALL MEAN AND REFER TO THOSE PORTIONS OF THE COMMON AREA SET ASIDE AND ALLOCATED FOR THE EXCLUSIVE USE OF THE OWNER OF THE CONDOMINIUM TO WHICH THEY ARE EITHER PHYSICALLY ATTACHED OR ASSIGNED BY UNIT NUMBER ON THE CONDOMINIUM PLAN AND ARE APPURTENANT TO THE CONDOMINIUM.
- "COMMON AREA" SHALL MEAN AND REFER TO ALL OF THE PROPERTY (EXCEPT THE UNITS) TITLE TO WHICH IS HELD BY ALL OF THE OWNERS IN COMMON AND THE EXCLUSIVE COMMON AREA SET ASIDE FOR THE EXCLUSIVE USE BY OWNER. THE COMMON AREA INCLUDES, WITHOUT LIMITATION: LAND (EXCEPT THE LAND BENEATH AND THE SKY ABOVE THE UNITS, WHICH LAND IS INCLUDED WITHIN THE UNITS); SANITARY SEWER, WATER, DRAINAGE, ELECTRIC, GAS, TELEVISION, TELEPHONE AND RELATED LINES, AND OTHER UTILITY INSTALLATIONS, EXCEPT SUCH UTILITY INSTALLATIONS LOCATED ENTIRELY WITHIN A UNIT, REQUIRED TO PROVIDE POWER, LIGHT, TELEPHONE, GAS, WATER, SEWERAGE, AND DRAINAGE TO THE UNITS.

KEY NOTES

- NOT A PART OF THIS PROJECT.
- 488 S.F. TO BE DEDICATED TO THE CITY OF PETALUMA (CASA GRANDE ROAD RIGHT-OF-WAY).
- PROPOSED PUBLIC ROAD RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF PETALUMA.

EASEMENT KEY NOTES

- PROPOSED STORM DRAIN EASEMENT FOR THE BENEFIT OF ALL PARCELS.
- PROPOSED CITY MAINTENANCE ACCESS EASEMENT TO BE DEDICATED TO THE CITY OF PETALUMA.
- PROPOSED ACCESS EASEMENT FOR DESIGNATED REMAINDER, REQUIRES SEPARATE DOCUMENT.

NOTES:

- REFER TO SITE DEVELOPMENT PLAN FOR INFORMATION RELATED TO R4 SETBACKS, PARKING, COVERAGE AND OTHER APPURTENANT PROJECT STANDARDS COMPLIANCE.
- THE PURPOSE OF THIS PLAN IS TO PROVIDE PRELIMINARY INFORMATION ON A FUTURE CONDOMINIUM PLAN.
- SEE SHEET C-5 VESTING TENTATIVE PARCEL MAP FOR THE DELINEATION OF THE GROUND PARCELS.

COURSE DATA

LINE	BEARING	LENGTH
L1	N 13°52'58" E	19.40'
L2	N 43°50'02" E	19.87'
L3	N 57°15'12" W	4.01'
L4	S 57°12'36" E	4.01'
L5	S 09°20'22" E	4.43'
L6	N 35°39'58" E	11.46'
L7	S 80°53'04" W	2.69'
L8	S 09°20'22" E	2.70'
L9	N 35°39'58" E	11.44'
L10	S 80°39'38" W	4.43'
L11	S 54°34'05" W	5.28'
L12	S 16°45'11" W	5.28'
L13	S 54°34'05" W	5.28'
L14	N 16°45'11" E	5.28'

CURVE	RADIUS	LENGTH
C1	4.2'	18.2'
C2	4.2'	18.2'
C3	4.2'	18.2'
C4	4.2'	18.2'
C5	4.2'	18.2'
C6	4.2'	18.2'
C7	4.2'	18.2'
C8	4.2'	18.2'
C9	19.7'	1.8'
C10	19.7'	8.2'
C11	57.0'	13.6'
C12	10.0'	2.7'

CASA GRANDE ROAD

APN 017-410-042
CITY OF PETALUMA
DN 1991-4762023

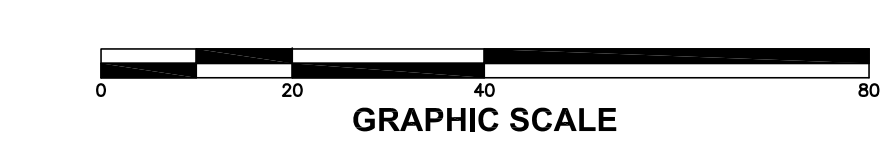
ADOBE CREEK
APPROXIMATE DEEP LINE LIMITS

DESIGNATED REMAINDER
28,203 S.F.

APPROXIMATE TOP OF BANK

APPROVED CASA GRANDE PROJECT
PLANS UNDER REVIEW AT THE CITY

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17
APN 017-040-020 APN 017-040-059



PRELIMINARY CONDOMINIUM PLAN
CREEKWOOD CONDOMINIUM PROJECT
270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS - LAND SURVEYORS
LAND PLANNERS - LANDSCAPE ARCHITECTS
PETALUMA THEATRE SQUARE
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
SCALE: 1"=20'
DESIGN: S.J. LAFRANCHI, P.E.
DRAWING: CRK HSM JTG NOF
CHECK: S.J.
JOB: CREEKWOOD
JOB No: 192119
SHEET
C-13
OF 20 SHEETS



LEGEND

- PROPERTY LINE
- STORM DRAIN LINE
- BASIN RETENTION AREA. SEE DETAIL SHEET C-15.
- DRAINAGE MANAGEMENT AREA (IMPERVIOUS SURFACES) ROOFS, AC PAVEMENT, SIDEWALK, DRIVEWAYS.
- DRAINAGE MANAGEMENT AREA (PERVIOUS SURFACES) LANDSCAPE AREAS, TURFBLOCK OR GRAVEL, OPEN OR POROUS PAVERS, GRANULAR PAVEMENT, GROUND COVER)

ABBREVIATION

- BRA BASIN RETENTION AREA OR FACILITY
- DMA DRAINAGE MANAGEMENT AREA

KEYNOTES

- ⓐ ADD AS NEEDED

STORM WATER TREATMENT NOTES

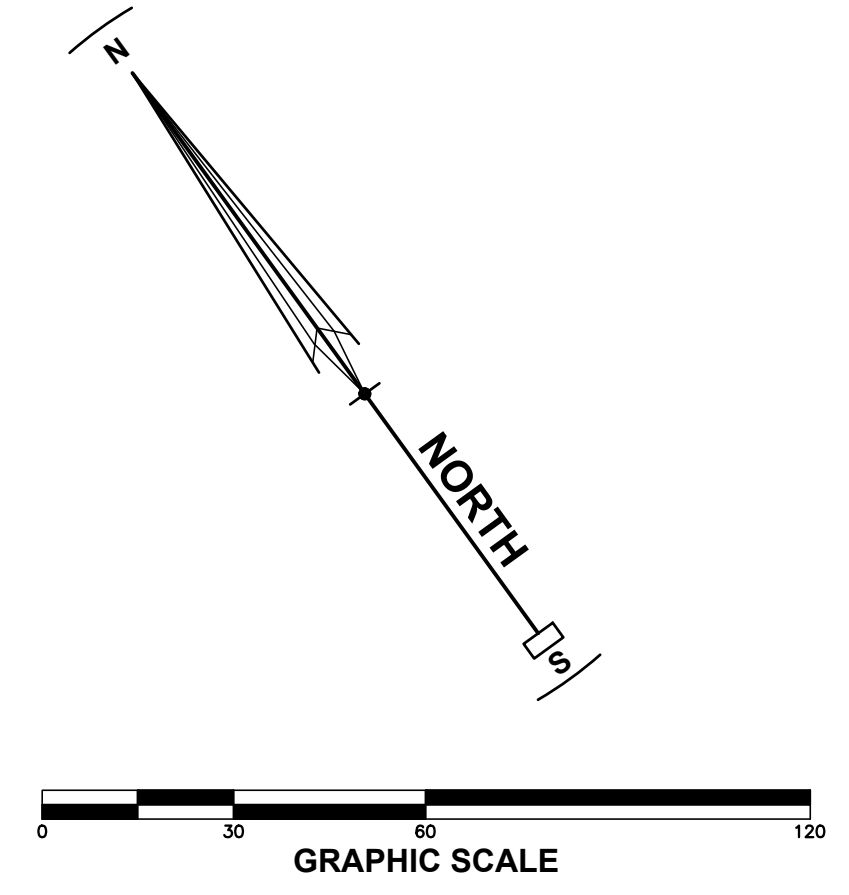
1. THE STORM WATER TREATMENT AND CONTROL PLAN IS BASED ON POST-CONSTRUCTION MANUAL GUIDELINES PREPARED BY THE BAY AREA STORM WATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA) PHASE II COMMITTEE.
2. THE PRELIMINARY STORM WATER CONTROL PLAN EXHIBIT IDENTIFIES DRAINAGE MAINTENANCE AREAS (DMA) WITH CORRESPONDING BASIN RETENTION AREAS (BRA). THE BRA'S HAVE BEEN SIZED PER BASMAA TABLE 4.1 THROUGH 4.5. THE CALCULATIONS REQUIRE A BRA SIZE TO BE 4% OF THE CORRESPONDING DMA.
3. THE STORM WATER CONTROL PLAN IS SUBJECT TO REVISION BASED ON FINAL APPROVED CONSTRUCTION DOCUMENTS.

NOTES

1. SEE SHEET C-10 FOR PRELIMINARY GRADING AND DRAINAGE PLAN.
2. SEE SHEET C-11 FOR PRELIMINARY UTILITY PLAN.
3. SEE SHEET C-13 FOR SECTIONS
4. SEE SHEET C-16 FOR DETAILS.
5. SEE BASMAA STORM WATER CONTROL PLAN PREPARED BY SJLA AND DATED 10-09-2019 FOR BMP DESCRIPTIONS, SIZING CALCULATIONS, OPERATIONS AND MAINTENANCE.

DMA 1	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Basin Area A		
Roof	53,614.00	Roof	1.0	53,614.0	BRA 1		
Landscape	62,060	Landscape	0.1	6,206.0	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	61,592	Hardscape	1.0	61,592.2			
Total				121,412.2	0.04	4856.5	4977

DMA 2	DMA Area (s.f.)	Post-Project Surface Type	DMA Runoff Factor	DMA Area x Runoff Factor	Basin Area B		
Roof	9,013	Roof	1.0	9,013.0	BRA 2		
Landscape	11,794	Landscape	0.1	1,179.4	Sizing Factor	Minimum Facility Area	Proposed Facility Area
Pavement	0	Hardscape	1.0	0.0			
Total				10,192.4	0.04	407.7	510



REVISIONS	BY

PRELIMINARY LID & BASMAA BASIN EXHIBIT
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

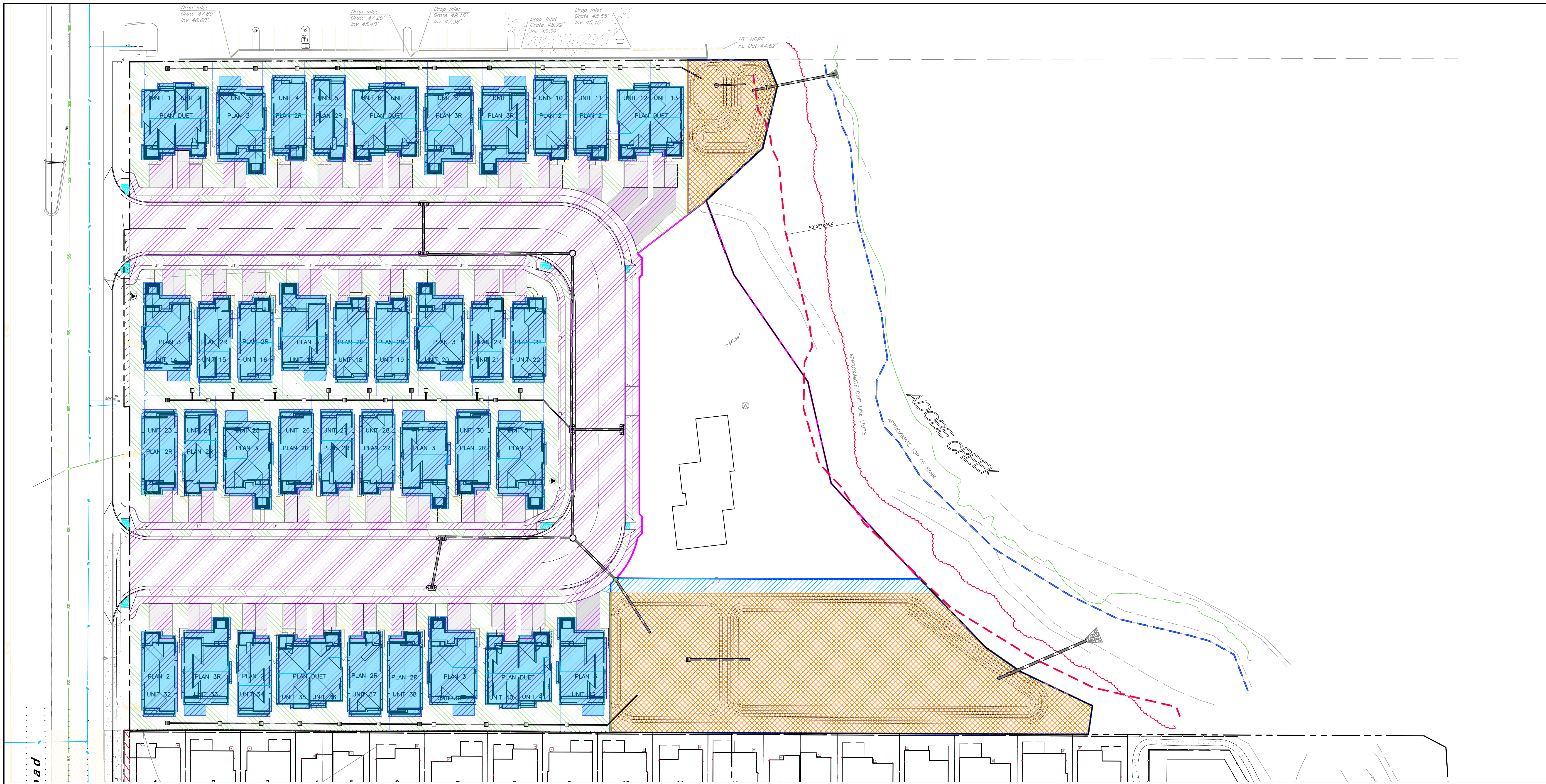
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
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 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239



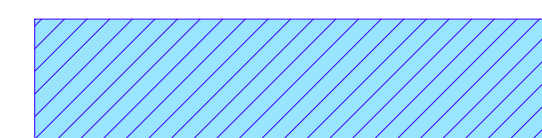
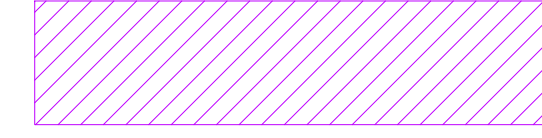



DATE: 2021.03.24
 SCALE: 1"=30'
 DESIGN: SJL, ADF, NDF
 DRAWING: ORK, HSM, JTG, WDF
 CHECK: SJL
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-14
 OF 20 SHEETS

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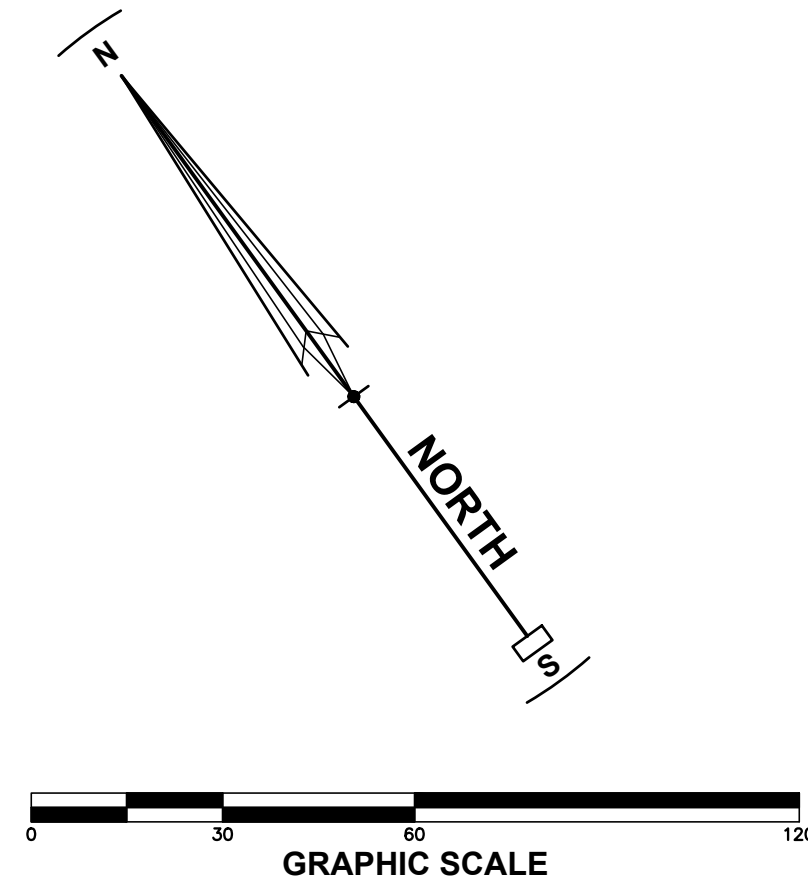


LEGEND

-  ROOF (C=0.90)
-  PAVEMENT (C=0.90)
-  LANDSCAPE (C=0.85)
-  OPEN SPACE (C=0.52)
-  PUBLIC ACCESS PATH (C=0.80)

KEYNOTES

- Ⓐ ADD AS NEEDED



COMPOSITE C FACTOR TABULATION			
Condition	AREA (ft ²)	Acreage	C
ROOF AREA	62,627	1.44	0.95
DRIVEWAY	18,433	0.42	0.95
PAVING	40,965	0.94	0.95
Access Path	2,194	0.05	0.8
LANDSCAPE	42,181	0.97	0.85
OPEN SPACE	31,673	0.73	0.52
COMPOSITE	198,073	4.55	0.86



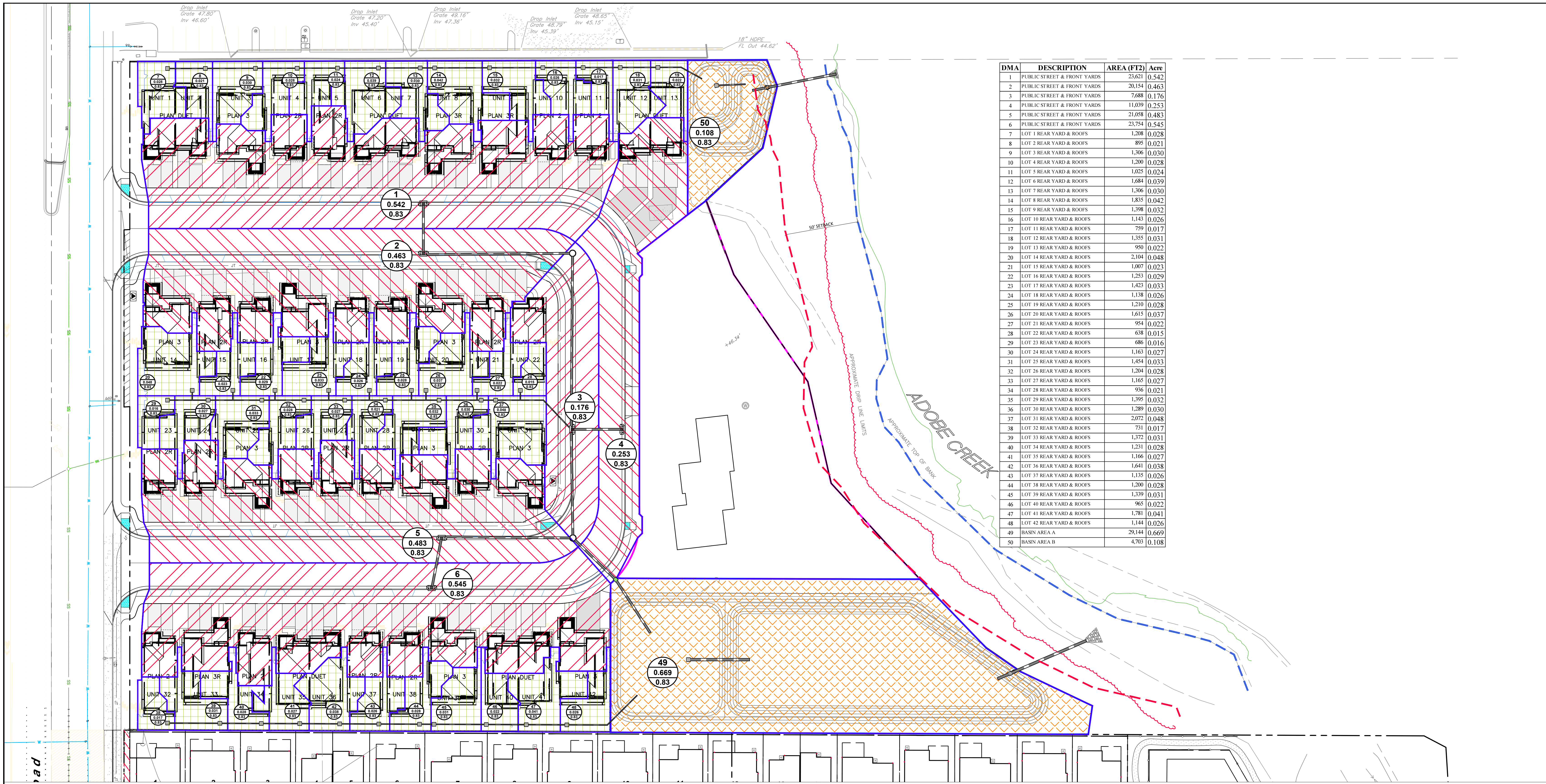
REVISIONS	BY

POST IMPROVEMENT HYDROLOGY: COMPOSITE C - FACTOR MAP
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
 CIVIL ENGINEERS - LAND SURVEYORS
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 PETALUMA THEATRE SQUARE
 PETALUMA, CALIFORNIA 94952
 (707) 762-3122 FAX (707) 762-3239

DATE: 2021.03.24
 SCALE: 1"=30'
 DESIGN: S.J.L, A.D.F, N.O.F
 DRAWN: G.R.K, H.S.M, J.T.G, N.O.F
 CHECK: S.J.L
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-15
 OF 20 SHEETS

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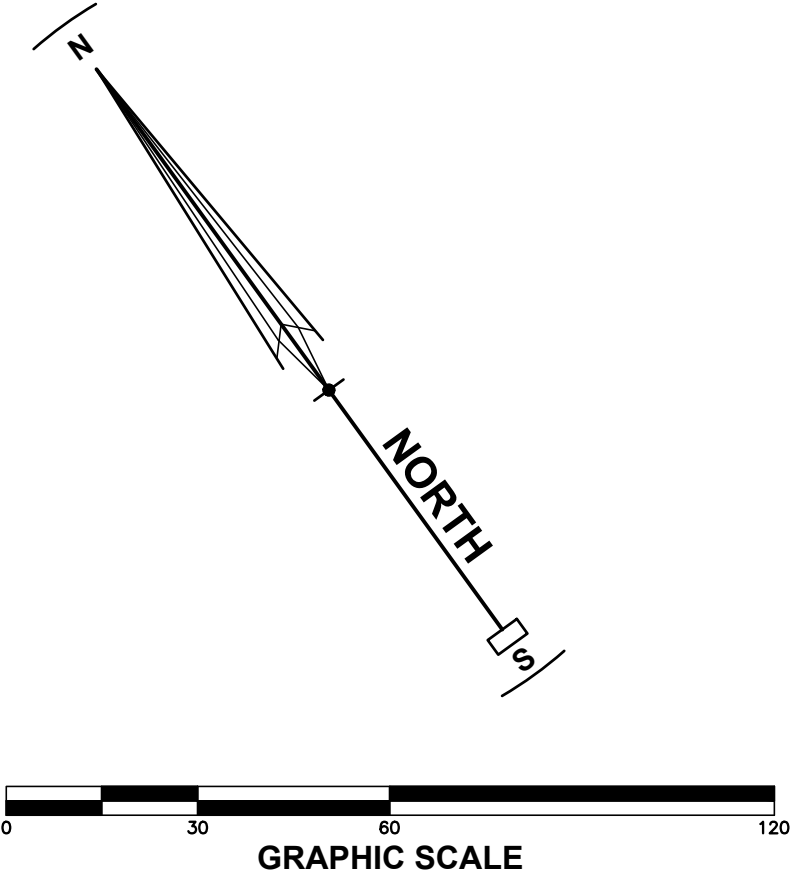


DMA	DESCRIPTION	AREA (FT ²)	Acre
1	PUBLIC STREET & FRONT YARDS	23,621	0.542
2	PUBLIC STREET & FRONT YARDS	20,154	0.463
3	PUBLIC STREET & FRONT YARDS	7,688	0.176
4	PUBLIC STREET & FRONT YARDS	11,039	0.253
5	PUBLIC STREET & FRONT YARDS	21,038	0.483
6	PUBLIC STREET & FRONT YARDS	23,754	0.545
7	LOT 1 REAR YARD & ROOFS	1,208	0.028
8	LOT 2 REAR YARD & ROOFS	895	0.021
9	LOT 3 REAR YARD & ROOFS	1,306	0.030
10	LOT 4 REAR YARD & ROOFS	1,200	0.028
11	LOT 5 REAR YARD & ROOFS	1,025	0.024
12	LOT 6 REAR YARD & ROOFS	1,684	0.039
13	LOT 7 REAR YARD & ROOFS	1,306	0.030
14	LOT 8 REAR YARD & ROOFS	1,835	0.042
15	LOT 9 REAR YARD & ROOFS	1,398	0.032
16	LOT 10 REAR YARD & ROOFS	1,143	0.026
17	LOT 11 REAR YARD & ROOFS	759	0.017
18	LOT 12 REAR YARD & ROOFS	1,355	0.031
19	LOT 13 REAR YARD & ROOFS	950	0.022
20	LOT 14 REAR YARD & ROOFS	2,104	0.048
21	LOT 15 REAR YARD & ROOFS	1,007	0.023
22	LOT 16 REAR YARD & ROOFS	1,253	0.029
23	LOT 17 REAR YARD & ROOFS	1,423	0.033
24	LOT 18 REAR YARD & ROOFS	1,138	0.026
25	LOT 19 REAR YARD & ROOFS	1,210	0.028
26	LOT 20 REAR YARD & ROOFS	1,615	0.037
27	LOT 21 REAR YARD & ROOFS	954	0.022
28	LOT 22 REAR YARD & ROOFS	638	0.015
29	LOT 23 REAR YARD & ROOFS	686	0.016
30	LOT 24 REAR YARD & ROOFS	1,163	0.027
31	LOT 25 REAR YARD & ROOFS	1,454	0.033
32	LOT 26 REAR YARD & ROOFS	1,204	0.028
33	LOT 27 REAR YARD & ROOFS	1,165	0.027
34	LOT 28 REAR YARD & ROOFS	926	0.021
35	LOT 29 REAR YARD & ROOFS	1,395	0.032
36	LOT 30 REAR YARD & ROOFS	1,289	0.030
37	LOT 31 REAR YARD & ROOFS	2,072	0.048
38	LOT 32 REAR YARD & ROOFS	731	0.017
39	LOT 33 REAR YARD & ROOFS	1,372	0.031
40	LOT 34 REAR YARD & ROOFS	1,231	0.028
41	LOT 35 REAR YARD & ROOFS	1,166	0.027
42	LOT 36 REAR YARD & ROOFS	1,641	0.038
43	LOT 37 REAR YARD & ROOFS	1,135	0.026
44	LOT 38 REAR YARD & ROOFS	1,200	0.028
45	LOT 39 REAR YARD & ROOFS	1,339	0.031
46	LOT 40 REAR YARD & ROOFS	965	0.022
47	LOT 41 REAR YARD & ROOFS	1,781	0.041
48	LOT 42 REAR YARD & ROOFS	1,144	0.026
49	Basin Area A	29,144	0.669
50	Basin Area B	4,703	0.108

LEGEND

- DRAINAGE MANAGEMENT AREA (ROW, FRONT YARD, AND ROOFS)
- DRAINAGE MANAGEMENT AREA (REAR YARD, AND ROOFS)
- DRAINAGE MANAGEMENT AREA (OPEN SPACE)

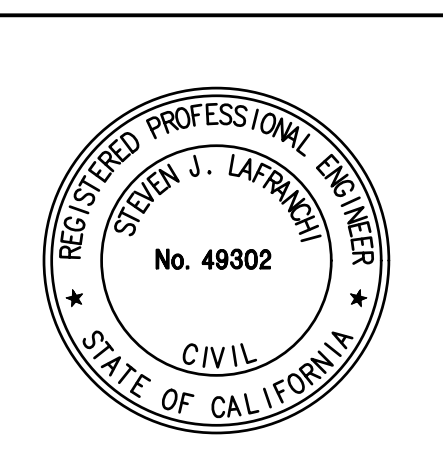
KEYNOTES
 (A) ADD AS NEEDED



NO.	REVISIONS BY

PRELIMINARY CATCHMENT MAP: POST IMPROVEMENT
 CREEKWOOD CONDOMINIUM PROJECT
 270 & 280 CASA GRANDE ROAD APN 017-040-051 & -016
 PETALUMA CALIFORNIA

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DATE: 2021.03.24
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 DRAWN: GRK HSM JTG WFP
 CHECK: S.J.L.
 JOB: CREEKWOOD
 JOB No: 192119
 SHEET
C-16
 OF 20 SHEETS