GENERAL NOTES

- 1. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL FULLY CONFORM WITH THE SPECIFICATIONS, STANDARDS AND ORDINANCES OF THE CITY OF PETALUMA.
- 2. ALL CITY OF PETALUMA STANDARD DETAIL PLANS AND DETAIL SPECIFICATIONS AS AMENDED ARE PART OF THESES PLANS. VARIANCES FROM STANDARD DETAILS OR THESE PLANS REQUIRE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- 3. THE CITY ENGINEER SHALL HAVE 48-HOUR NOTICE FOR INSPECTION.
- 4. THE CONTRACTOR SHALL COMPLY FULLY WITH THE REQUIREMENTS OF ASSEMBLY BILL (2040) DAVIS, ASBESTOS.
- 5. BLASTING (IF REQUIRED) REQUIRES A PERMIT FROM THE CITY FIRE DEPARTMENT.
- 6. A DEMOLITION PERMIT IS REQUIRED FOR THE REMOVAL OF EXISTING STRUCTURES NOT DESIGNATED TO BE REMOVED.
- 7. HOURS OF CONSTRUCTION SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 AM AND 7:00 PM, MONDAY THROUGH FRIDAY, EXCEPT THAT INDOOR WORK MAY BE CONDUCTED ON SATURDAYS PROVIDED NOISE LEVELS GENERATED ARE ACCEPTABLE TO NEARBY RESIDENTS. NO CONSTRUCTION WORK SHALL BE PERMITTED ON CITY RECOGNIZED HOLIDAYS, AND SUNDAYS.
- 8. IF CONCENTRATION OF HISTORIC OR PREHISTORIC MATERIALS ARE ENCOUNTERED DURING GRADING OR OTHER GROUND-DISTURBING ACTIVITIES, WORK IN THE IMMEDIATE AREA OF THE FINDS SHALL BE HALTED AND THE CITY STAFF NOTIFIED. A QUALIFIED HISTORIC ARCHAEOLOGIST SHALL THEN BE CONSULTED FOR FURTHER EVALUATION OF THE SITUATION, AND ANY SUBSEQUENT RECOMMENDATIONS IMPLEMENTED.
- 9. NO COMBUSTIBLE CONSTRUCTION IS PERMITTED ABOVE THE FOUNDATION UNLESS AN ALL WEATHER HARD SURFACE ROAD IS PROVIDED TO WITHIN ONE HUNDRED-FIFTY FEET OF THE FARTHEST POINT OF THE BUILDING OR STRUCTURE.
- 10. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR ON-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 11. THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE WILLFUL MISCONDUCT OR SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL OR OWNER.
- 12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE AGENCIES.
- 13. THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES INCLUDING SEWERS AND STORM DRAINS PRIOR TO ANY TRENCHING TO ALLOW THE ENGINEER TO VERIFY THE GRADE AND ALIGNMENT OF THE UTILITIES, AND TO VERIFY DESIGN ASSUMPTIONS AND EXACT FIELD LOCATION. EXISTING UTILITIES MAY REQUIRE RELOCATION AND/OR PROPOSED IMPROVEMENT MAY REQUIRE GRADE OR ALIGNMENT REVISION DUE TO FIELD CONDITIONS. THE CONTRACTOR IS CAUTIONED NOT TO ORDER PRECAST ITEMS OR INSTALL ANY IMPROVEMENTS UNTIL ALL CONFLICTS ARE RESOLVED. ALL IMPROVEMENTS INSTALLED OR ORDERED PRIOR TO CONFLICT RESOLUTION SHALL BE DONE SOLELY AT THE CONTRACTOR'S RISK AND AT NO EXPENSE TO THE OWNER.
- 14. THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" AT (800) 642-2444 AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION FOR LOCATING UNDERGROUND UTILITIES.
- 15. ANY DAMAGE TO EXISTING FACILITIES DURING CONSTRUCTION WILL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR, AT HIS COST, TO THE SAME CONDITION OR BETTER AND AT THE DIRECTION OF THE APPROPRIATE AGENCY.
- 16. THE LOCATIONS OF UNDERGROUND OBSTRUCTIONS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHOULD NOT BE TAKEN AS FINAL OR ALL INCLUSIVE. THE CONTRACTOR IS CAUTIONED THAT THE PLANS MAY NOT INCLUDE ALL EXISTING UTILITIES AND THAT THE OWNER, ENGINEER AND CITY OF PETALUMA ASSUMES NO RESPONSIBILITY FOR OBSTRUCTIONS WHICH MAY BE ENCOUNTERED.
- 17. UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- 18. ALL CITY PUBLIC UTILITIES PROPOSED IN UNIMPROVED EASEMENTS SHALL HAVE A MAINTENANCE ACCESS ROAD BUILT THEREON IN ACCORDANCE WITH CITY STANDARDS.
- 19. EXCAVATIONS OVER FIVE FEET DEEP REQUIRE AN EXCAVATION PERMIT FROM THE STATE DEPARTMENT OF INDUSTRIAL SAFETY.
- 20. MANHOLE FRAMES AND COVERS SHALL BE BROUGHT TO FINISH GRADE AFTER PAVING.
- 21. THE CONCRETE CONTRACTOR SHALL STAMP THE LETTER "S" ON THE FACE OF CURB DIRECTLY ABOVE THE SEWER LATERAL, "W" ON THE FACE OF CURB DIRECTLY ABOVE THE WATER SERVICES, AND "B" ON THE FACE OF CURB ABOVE A BLOWOFF OR AIR RELIEF VALVE. LETTERS SHALL BE NEAT, CLEAR AND 4-INCHES HIGH.

UNLESS OTHERWISE NOTED ON THESE PLANS, PIPE MATERIALS SHALL BE THE FOLLOWING:

SANITARY SEWER - FORCE MAIN: DR-11 STORM DRAIN - HDPE ADS N-12 WATER MAINS - PVC C900 CL150 WATER LATERALS - PER CITY DETAILS WATER HYDRANT RUNS - PER CITY SPECIFICATIONS

22. ALL WATER MAINS, WATER SERVICES AND SEWER LATERALS REQUIRING RELOCATION SHALL BE ACCURATELY LOCATED BY THE CONTRACTOR AND SHOWN UPON THE CONSTRUCTION PLANS. ONE SET OF "DRAWINGS OF RECORD" PLANS SO MARKED AND CERTIFIED AS TO ACCURACY AND COMPLETENESS BY THE CONTRACTOR SHALL BE RETURNED TO THE CITY ENGINEER BY THE CONTRACTOR.

23. ALL SEWER PIPE LENGTHS SHOWN ARE MEASURED H OF MANHOLES AND CLEANOUTS.

- 24. SEWER LATERALS SHALL HAVE 4.5 FEET OF COVER (FROM T.C. AT CURB LINE) AND NOT LESS THAN 1/4-INCH FALL PER FOOT. SEWER LATERALS SHALL BE PLACED UNDER THE UNDERGROUND JOINT TRENCH UTILITIES AND KEPT CLEAR OF DRIVEWAYS.
- 25. THE NEW WATER LINES SHALL NOT BE PHYSICALLY CONNECTED TO THE CITY WATER SYSTEM UNTIL TESTED, CHLORINATED, AND APPROVED. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 3.5 FEET FROM FINISHED GRADE.
- 26. FIVE HOURS MAXIMUM SHUTDOWN TIME OF EXISTING MAINS WHILE MAKING CONNECTIONS; 24-HOUR NOTICE OF SHUTDOWN TO BE GIVEN BY SUBDIVIDER TO ALL WATER CUSTOMERS. EXISTING VALVES TO BE OPERATED BY CITY WATER DIVISION PERSONNEL ONLY.
- 27. ALL HOT TAPS TO EXISTING CITY MAINS LARGER THAN 2" SHALL BE DONE BY CITY WATER DEPARTMENT PERSONNEL UNLESS OTHERWISE DETERMINED BY THE WATER DEPARTMENT SUPERINTENDENT.
- 28. WHEREVER POSSIBLE, GATE VALVES SHOULD BE LOCATED ON THE PROJECTION OF CURB LINES.
- 29. WATER SERVICES SHALL BE PLACED OVER THE TOP OF THE UNDERGROUND JOINT TRENCH UTILITIES. WATER SERVICES SHALL NOT BE INSTALLED WITHIN CURB CUTS FOR DRIVEWAYS.
- 30. ALL FIRE HYDRANTS FOR THE PROJECT MUST BE TESTED, FLUSHED, AND IN SERVICE PRIOR TO THE COMMENCEMENT OF COMBUSTIBLE CONSTRUCTION ON THE SITE.
- 31. PROVIDE FIRE HYDRANT MARKERS AT EACH HYDRANT LOCATION AS SHOWN ON CITY STANDARD DET. 857.02.
- 32. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE "SONOMA COUNTY WATER AGENCY FLOOD CONTROL DESIGN STANDARDS" AND THE CITY OF PETALUMA "STORM DRAIN DETAIL SPECIFICATION NO. 31".
- 33. ALL STORM DRAINPIPE LENGTHS SHOWN ARE MEASURED HORIZONTALLY EXCLUDING ALL STRUCTURES AND END SECTIONS.
- 34. ALL SIDE OPENINGS OF STORM DRAIN INLETS SHALL BE IN THE DIRECTION OF UPSTREAM FLOW.
- 35. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TELEVISION INSPECTION SERVICE TO PERFORM A CLOSED-CIRCUIT TELEVISION INSPECTION OF ALL NEWLY CONSTRUCTED STORM DRAINS. RECORDS SHALL BE SUBMITTED TO CITY OF PETALUMA PUBLIC WORKS DEPARTMENT.
- 36. WHERE THE NEW AC PAVEMENT OF THIS IMPROVEMENT JOINS EXISTING STREETS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT PAVEMENT CONFORMS AS REQUIRED BY THE PLANS.
- 37. THE SURFACE COURSE OF ASPHALT CONCRETE SHALL CONSIST OF 1/2-INCH MAXIMUM MEDIUM GRADED AGGREGATE.
- 38. AGGREGATE BASE MATERIALS SHALL BE PLACED IN ACCORDANCE WITH SECTION 26-1.04 OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA, LATEST EDITION.
- 39. GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF IN FORMS AND FINISHED SURFACING.
- 40. INSTALL SIGNING AND STRIPING TO CONFORM WITH THE CURRENT EDITION OF THE CALTRANS TRAFFIC MANUAL. (SIGNING AND STRIPING DIAGRAMS -SEE SHEET NO. C7.1 OF THESE IMPROVEMENT PLANS.)
- 41. ROUTES OF INGRESS TO AND EGRESS FROM PROJECT SITE FOR ALL HEAVY CONSTRUCTION VEHICLES SHALL BE VIA EAST WASHINGTON STREET.
- 42. GRADING SHALL BE DONE IN CONFORMANCE WITH THE GEOTECHNICAL DESIGN RECOMMENDATIONS DATED JANUARY 10, 2020 PREPARED BY MILLER PACIFIC ENGINEERING GROUP, SHALL CONFORM WITH CHAPTER 18 AND APPENDIX J, OF THE UNIFORM BUILDING CODE. 1988 EDITION. AND SHALL BE PERFORMED UNDER THE OBSERVATION OF A SOILS ENGINEER.
- 43. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS BY THE CONTRACTOR FOR ANY SUBDRAINS REQUIRED BY THE PROJECT SOILS ENGINEER DURING CONSTRUCTION.
- 44. MILLER PACIFIC ENGINEERING GROUP IS THE GEOTECHNICAL ENGINEER TO BE CONTACTED FOR SOIL RELATED CONSTRUCTION. PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR INITIAL SITE VISIT AND 24 HOURS NOTICE FOR SUBSEQUENT INSPECTION NOTIFICATIONS.
- 45. ALL OFF-SITE DRAINAGE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO OCTOBER 15. THE CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF FISH AND WILDLIFE PERMITS, IF ANY, OBTAINED FOR THIS PROJECT.
- 46. THE CONTRACTOR SHALL SUBMIT A GRADING SCHEDULE FOR REVIEW BY THE BUILDING DEPARTMENT PRIOR TO ISSUANCE OF THE GRADING PERMIT TO ASSURE COMPLETION OF THIS PROJECT PRIOR TO WINTER RAINS OR PROVIDE MEASURES FOR WINTERIZING INCOMPLETE WORK.
- 47. ALL EARTH CUT OR TRENCHING SPOIL EXCESS MATERIAL SHALL BE COMPLETELY REMOVED TO AN OFF-SITE LOCATION APPROVED BY THE CITY BUILDING DEPARTMENT. TEMPORARY STOCKPILES ARE NOT PERMITTED ADJACENT TO THE EXISTING HOMES OR WITHIN THE DRIP LINES OF TREES TO BE SAVED. TEMPORARY STOCKPILES SHALL NOT OBSTRUCT EXISTING DRAINAGE FLOWS.
- 48. THE CONTRACTOR SHALL PROVIDE FOR EROSION AND SEDIMENT TRANSPORT CONTROL, DUST, NOISE CONTROL AS REQUIRED BY GOVERNING AGENCIES.
- 49. ALL GRADED AREA SHALL BE HYDRO-SEEDED PRIOR TO WINTER RAINS.

MAPPING NOTES

PRESERVE AND PERPETUATE EXISTING SURVEY MONUMENTATION WHICH WILL BE DISTURBED OR REMOVED TO FACILITATE THE PROPOSED IMPROVEMENTS. IF WORK WILL BE CONDUCTED IN AN AREA WHICH RESULTS IN THE DISTURBANCE OF MONUMENTATION, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO LOCATE SAID MONUMENTATION PRIOR TO DISTURBANCE. ADDITIONALLY, RETAIN THE SERVICES OF A LICENSED LAND SURVEYOR TO RE-ESTABLISH MONUMENTATION WHICH HAS BEEN DISTURBED AS A RESULT OF PROJECT

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CONSTRUCTION AND TO FILE THE APPROPRIATE DOCUMENTATION, PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTION 8771, WITH THE SONOMA COUNTY RECORDER ONCE CONSTRUCTION IS COMPLETE.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS MAPPED BY WILLIS LAND SURVEYING AND SUPPLEMENTED BY BKF ENGINEERS.

TREE TRUNK DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT CHEST HEIGHT (48"±). CONSULT A CERTIFIED TREE ARBORIST WHEN IT IS NECESSARY TO ACCURATELY DETERMINE PERTINENT TREE INFORMATION.

BOUNDARY INFORMATION SHOWN HEREON IS NOT A BOUNDARY SURVEY. THE LINE WORK SHOWN WAS COMPILED FROM RECORD INFORMATION ONLY AND AS SUCH IT SHOULD NOT BE REPRESENTED OR CONSTRUED AS ACTUAL ENTITLEMENT.

BENCHMARK: THE VERTICAL DATUM FOR THIS PROJECT IS BASED UPON THE LOCAL CITY BENCHMARK - MONUMENT DISC IN MONUMENT WELL AT THE INTERSECTION OF E WASHINGTON AND REDWOOD CIRCLE. ELEVATION OF SAID BENCHMARK IS ASSUMED 76.27 FEET NGVD 29.

BASIS OF BEARINGS: BASIS OF BEARING IS N35°19'52"E BETWEEN FOUND CITY STREET MONUMENTS ALONG E WASHINGTON STREET AT REDWOOD CIRCLE AND PARKLAND WAY AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 377 AT PAGE 21, OFFICIAL RECORDS OF SONOMA COUNTY.

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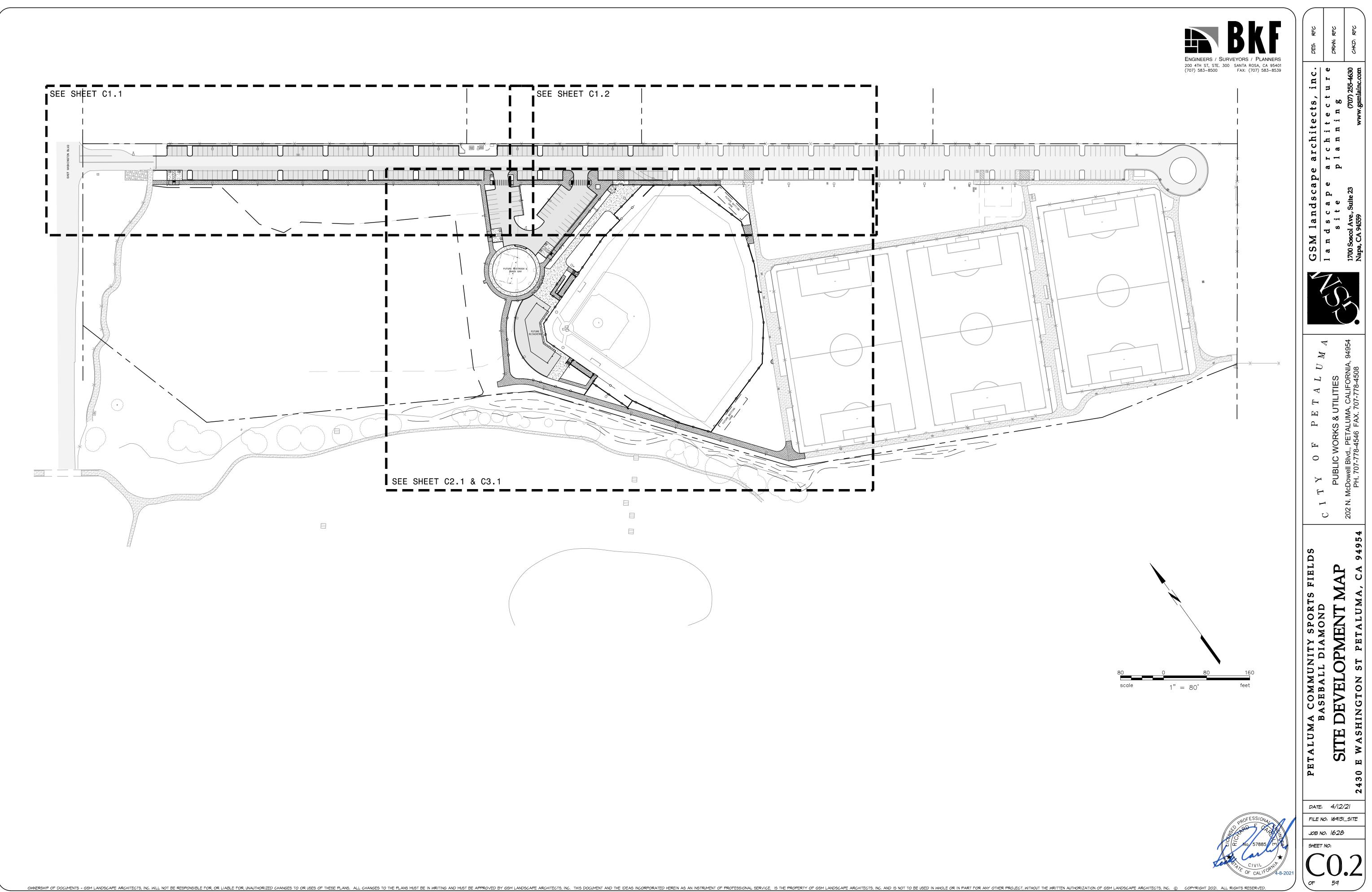
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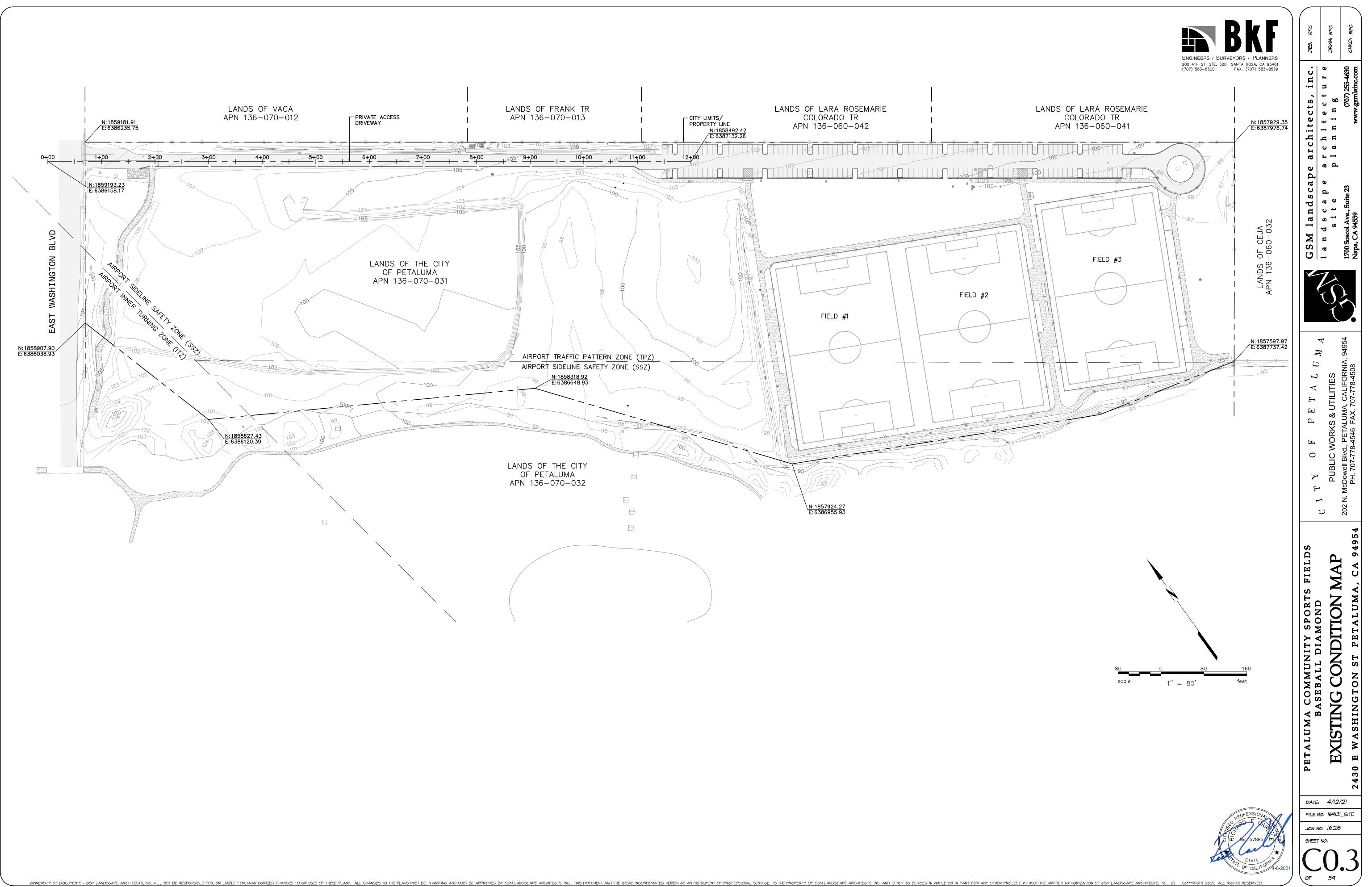
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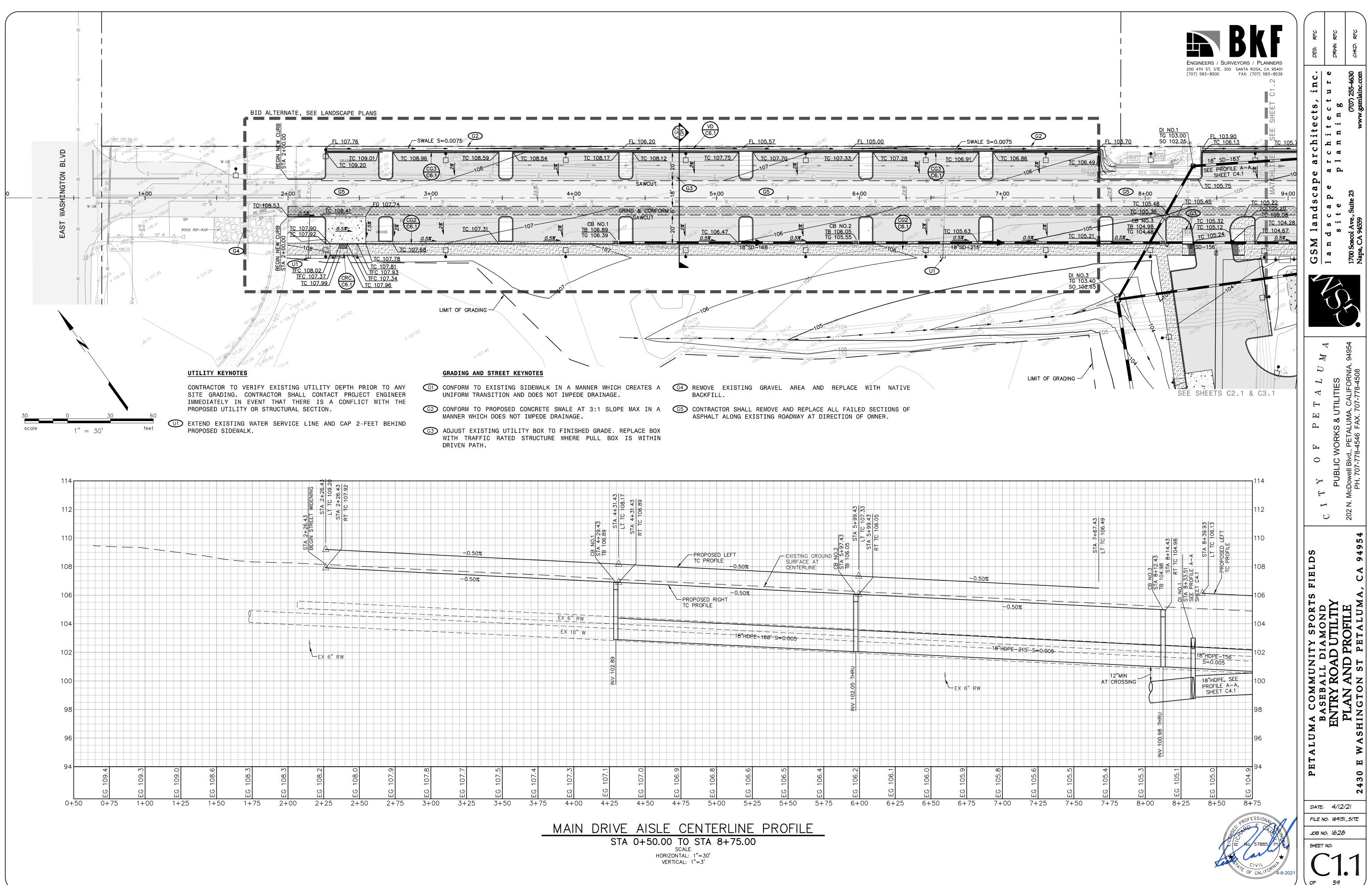


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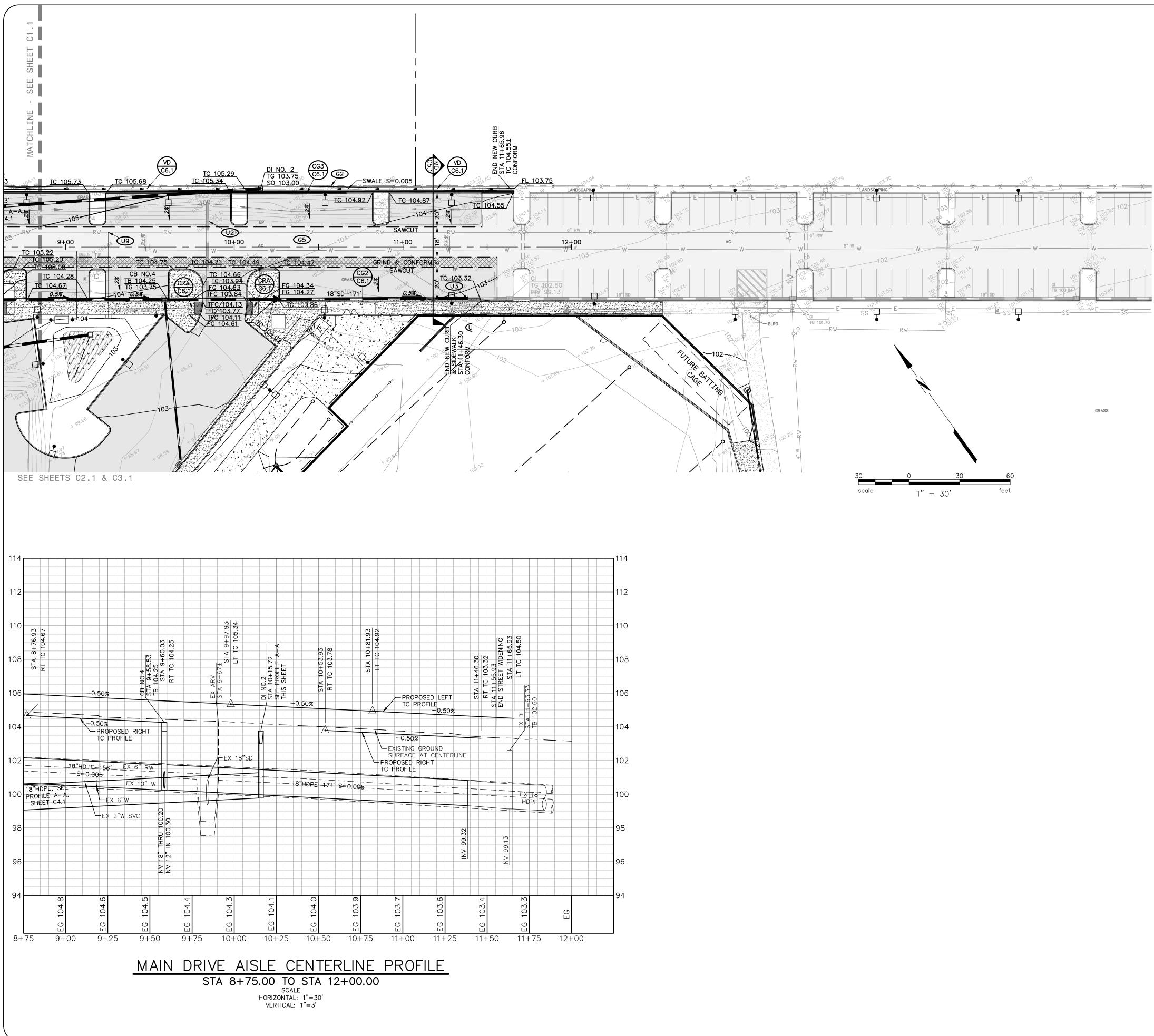
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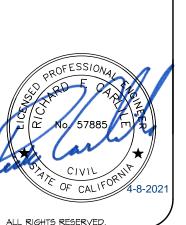
UTILITY KEYNOTES

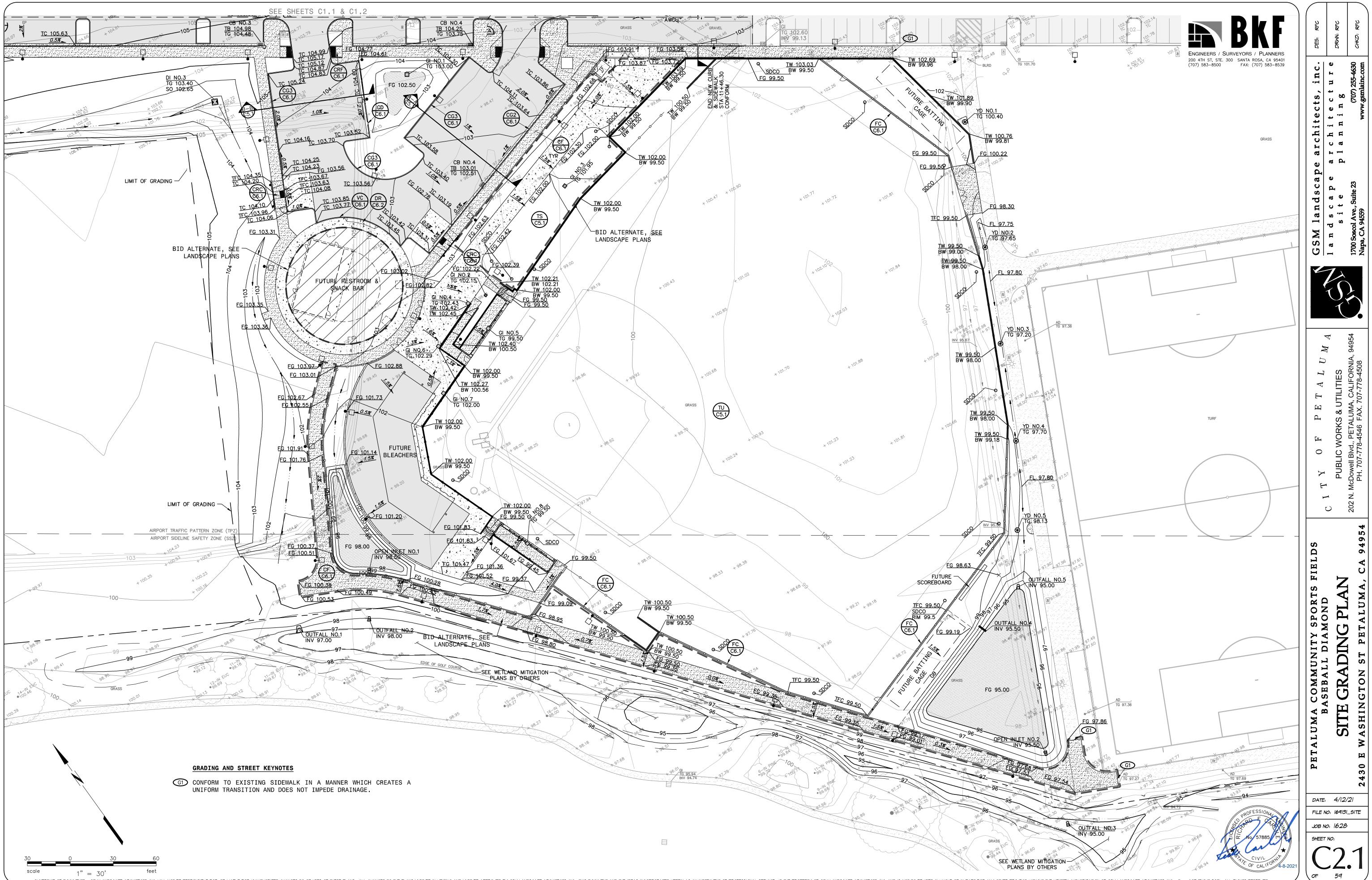
CONTRACTOR TO VERIFY EXISTING UTILITY DEPTH PRIOR TO ANY SITE GRADING. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IMMEDIATELY IN EVENT THAT THERE IS A CONFLICT WITH THE PROPOSED UTILITY OR STRUCTURAL SECTION.

- U2 REMOVE EXISTING STORM DRAIN CULVERT TO LIMITS OF ROADWAY IMPROVEMENTS. ABANDON REMAINING IN ACCORDANCE WITH CITY OF PETALUMA STANDARD DETAIL 507.
- U3 CONTRACTOR TO VERIFY INVERT OF EXITING STORM DRAIN LINE PRIOR TO ANY SITE GRADING. CONNECT PROPOSED STORM DRAIN TO EXISTING WITH CONCRETE COLLAR AS NECESSARY IN ACCORDANCE WITH SONOMA COUNTY STANDARD DETAIL 410.
- U9 INSTALL 6"x6"x4" CUT-IN TEE TO EXISTING RECYCLED WATER LINE AND CAP AT BACK OF SIDEWALK UNDER AUTHORIZED CITY INSPECTION.

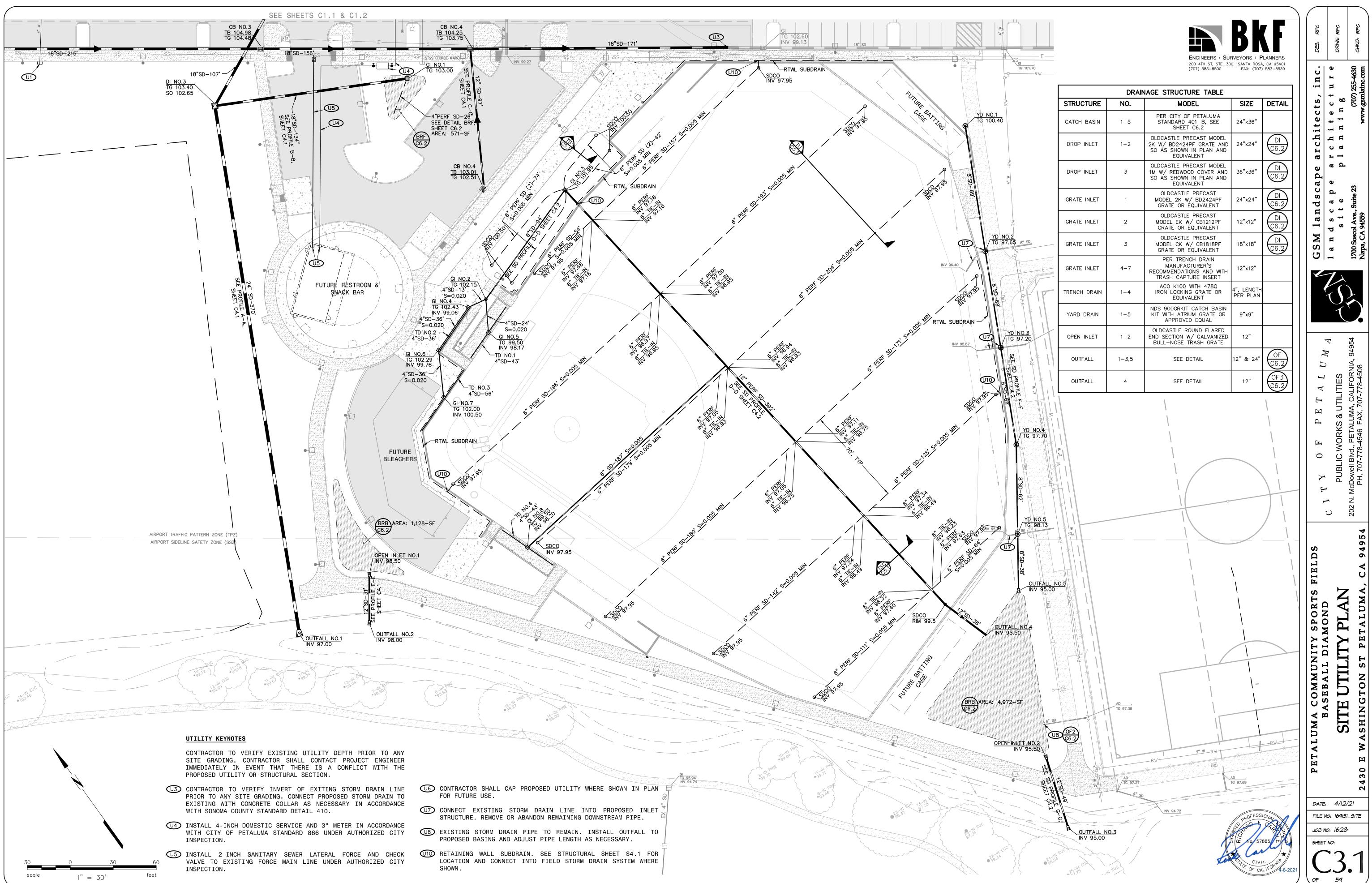
GRADING AND STREET KEYNOTES

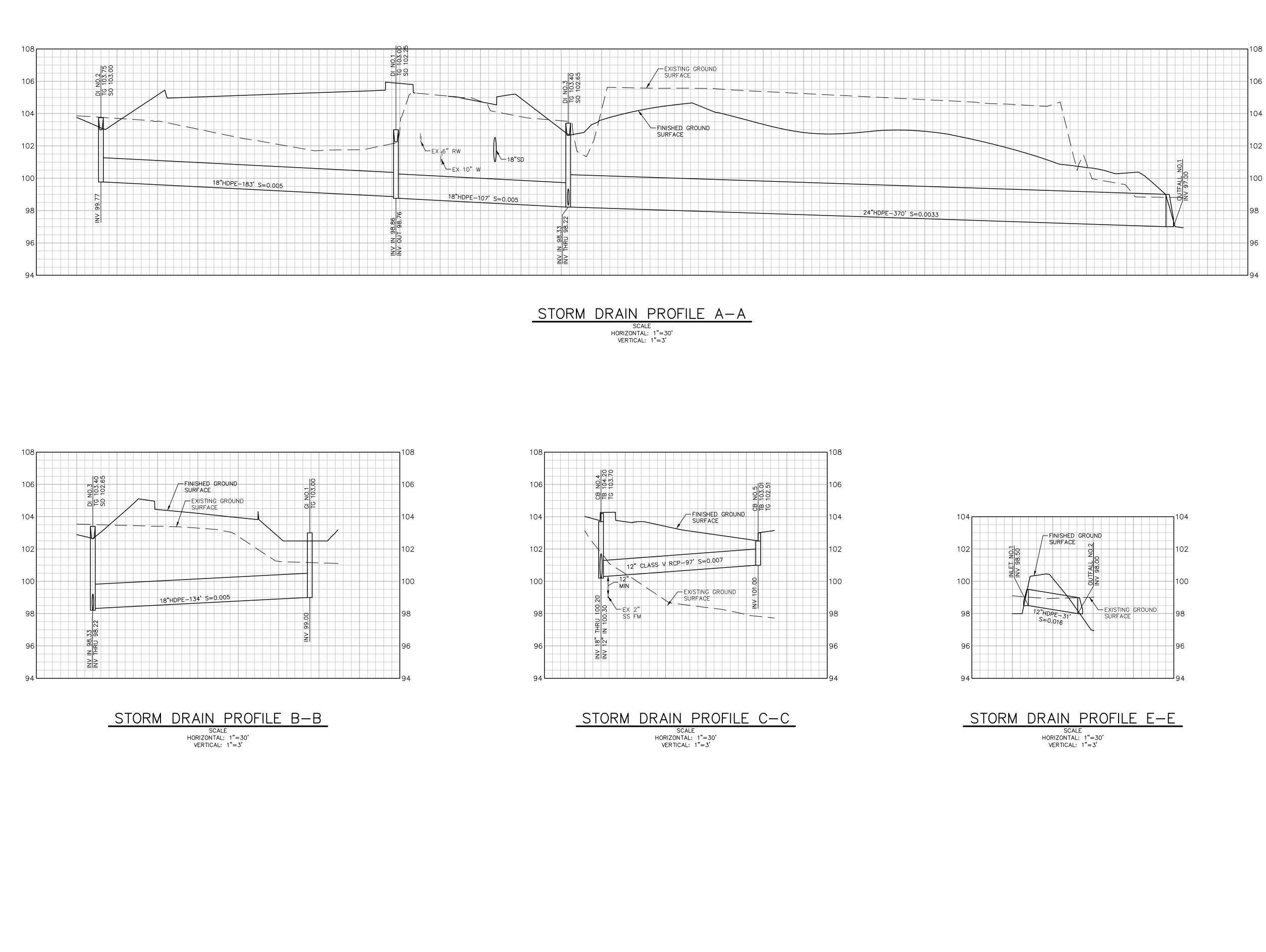
- G1 CONFORM TO EXISTING SIDEWALK IN A MANNER WHICH CREATES A UNIFORM TRANSITION AND DOES NOT IMPEDE DRAINAGE.
- G2 CONFORM TO PROPOSED CONCRETE SWALE AT 3:1 SLOPE MAX IN A MANNER WHICH DOES NOT IMPEDE DRAINAGE.
- G3 ADJUST EXISTING UTILITY BOX TO FINISHED GRADE. REPLACE BOX WITH TRAFFIC RATED STRUCTURE WHERE PULL BOX IS WITHIN DRIVEN PATH.
- G5 CONTRACTOR SHALL REMOVE AND REPLACE ALL FAILED SECTIONS OF ASPHALT ALONG EXISTING ROADWAY AT DIRECTION OF OWNER.



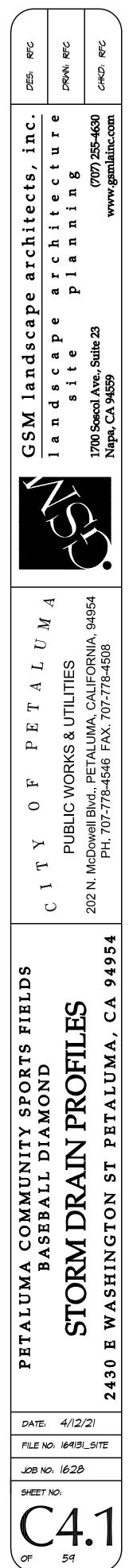


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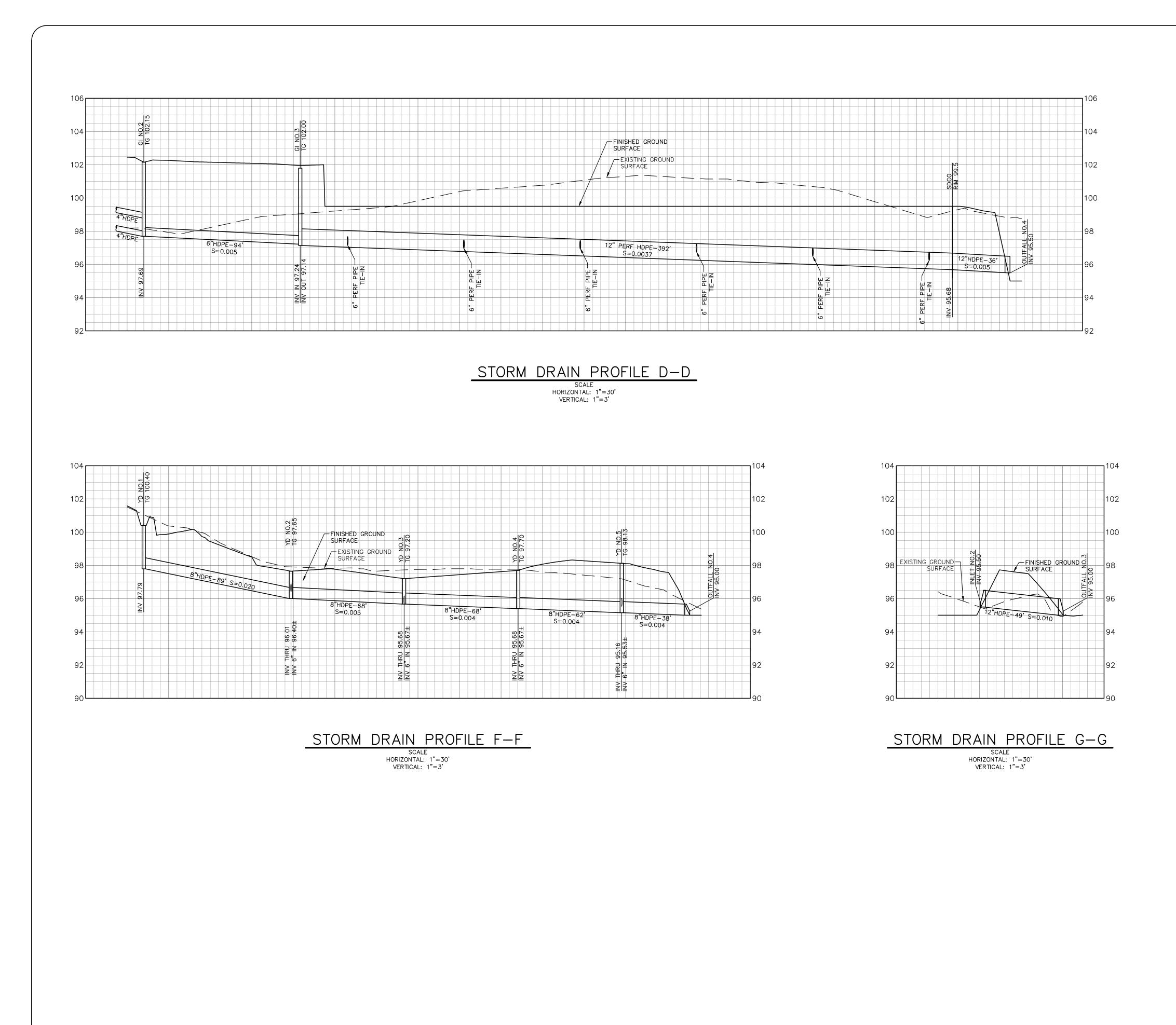




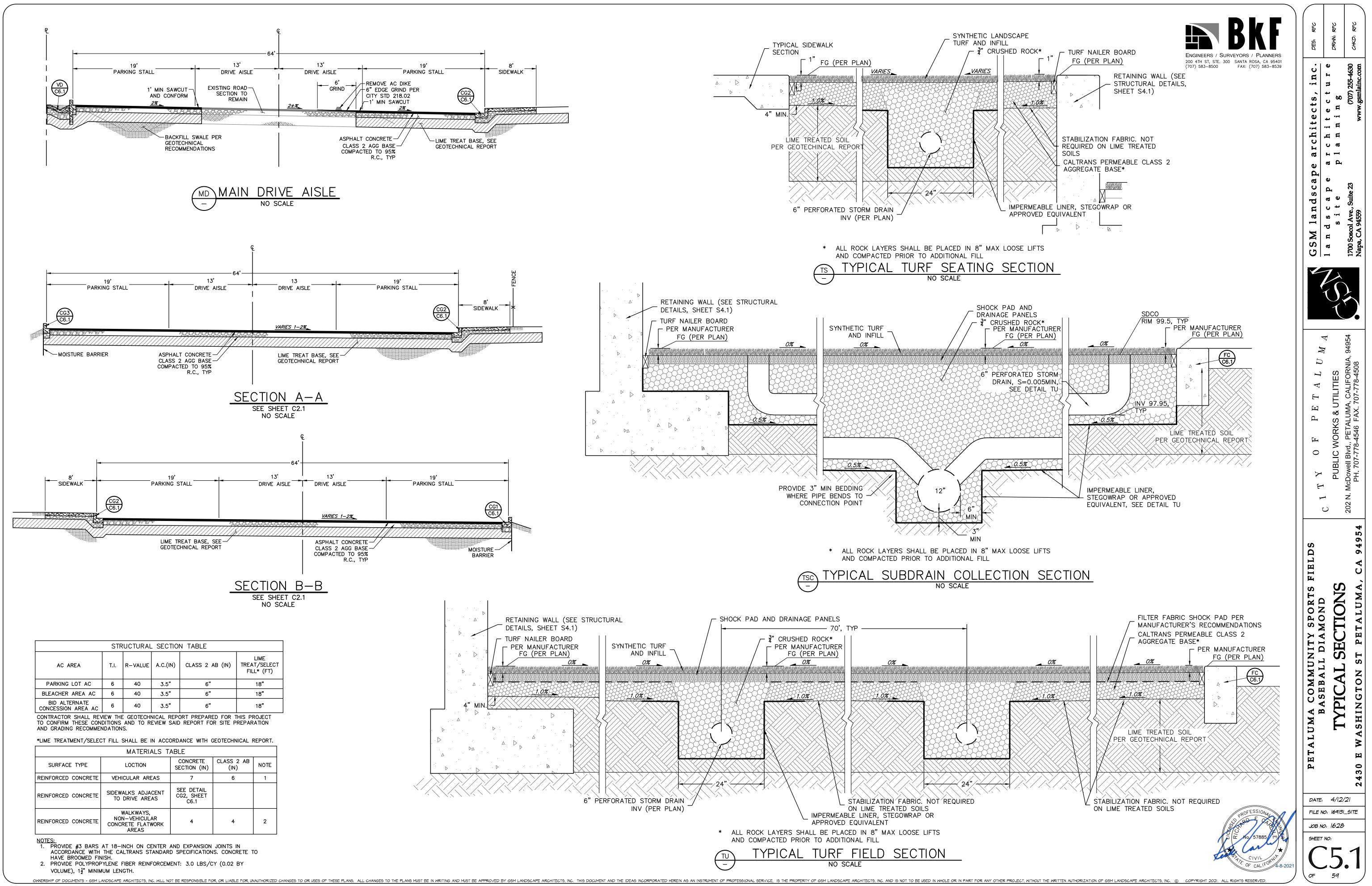


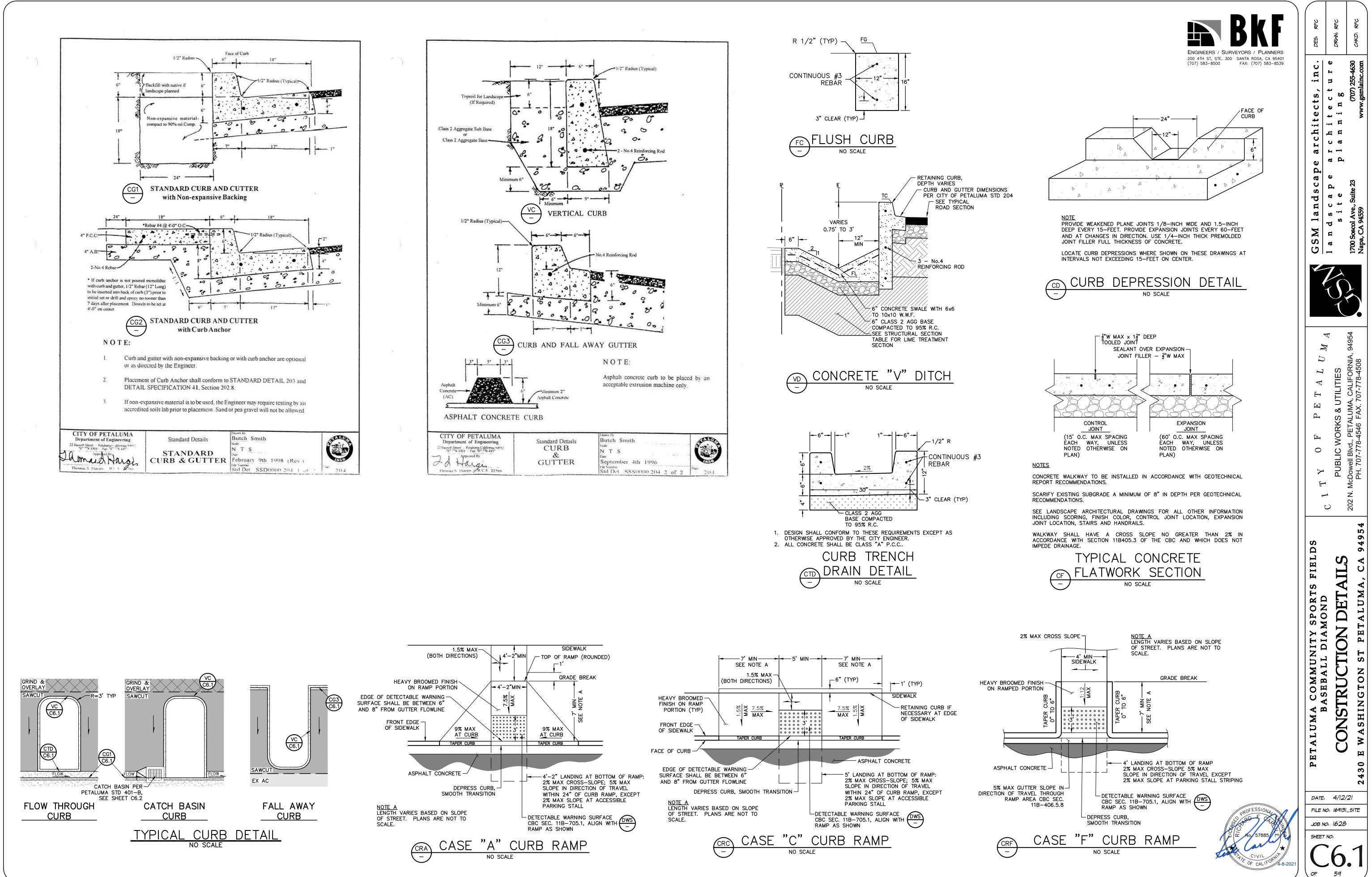




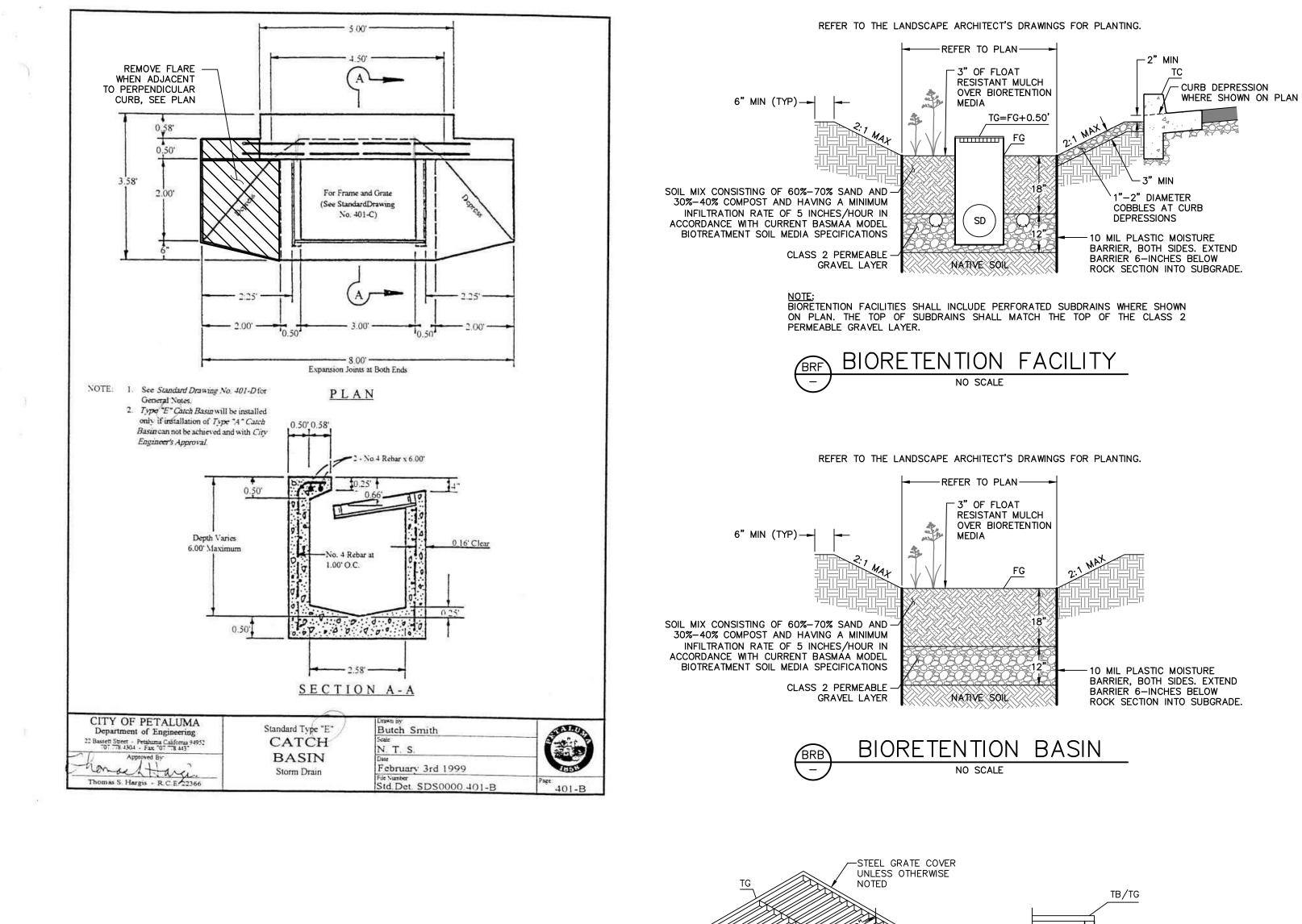


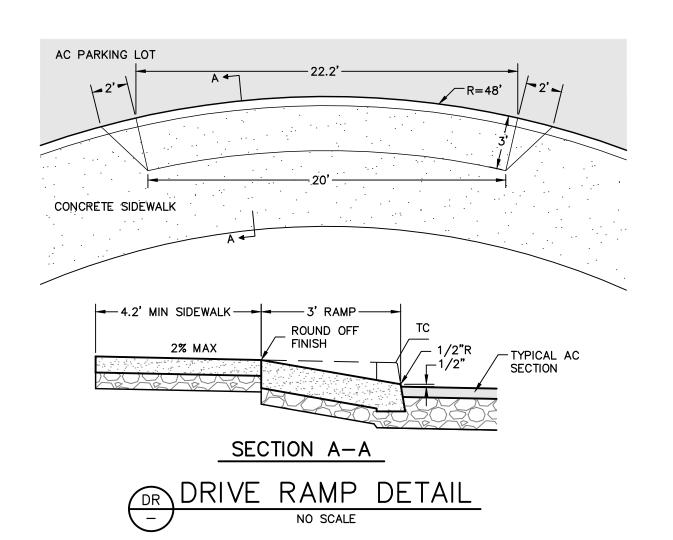


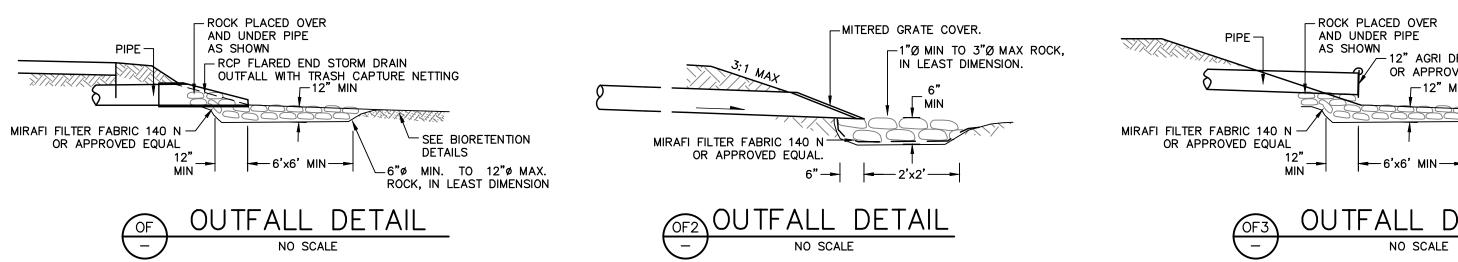




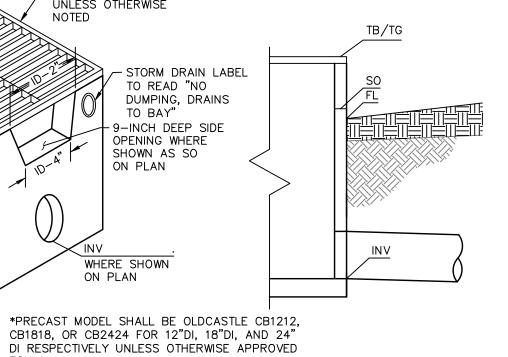
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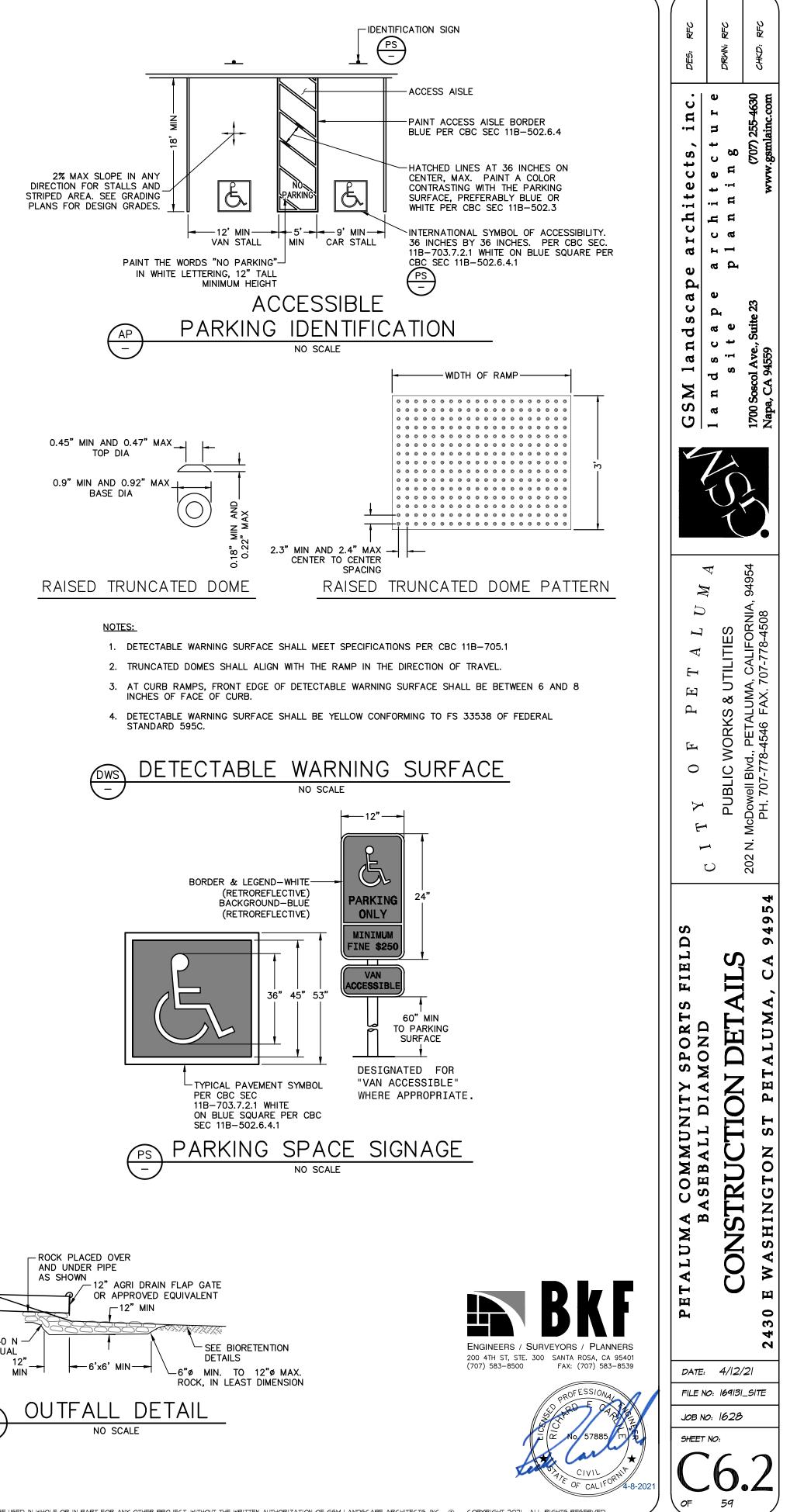


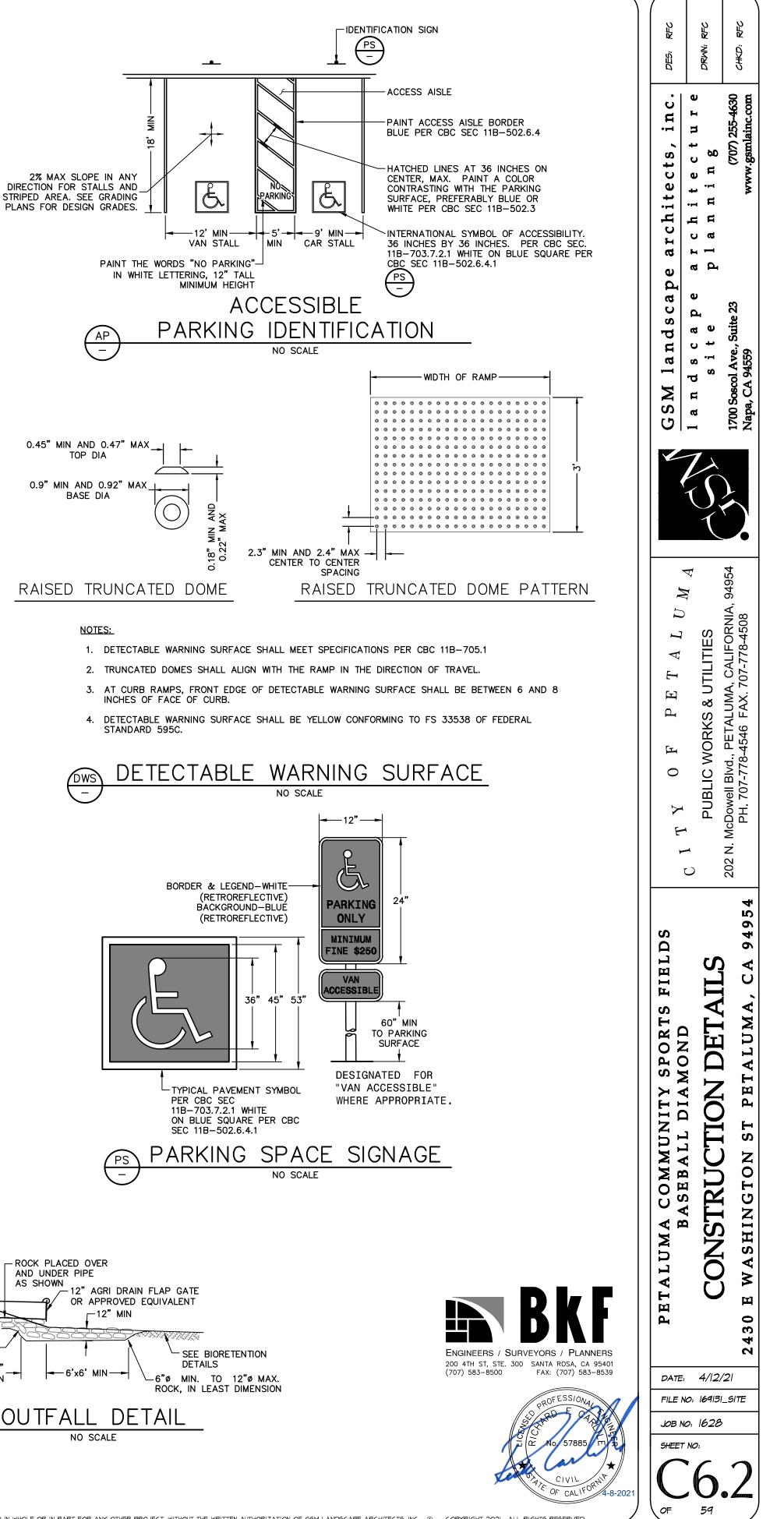


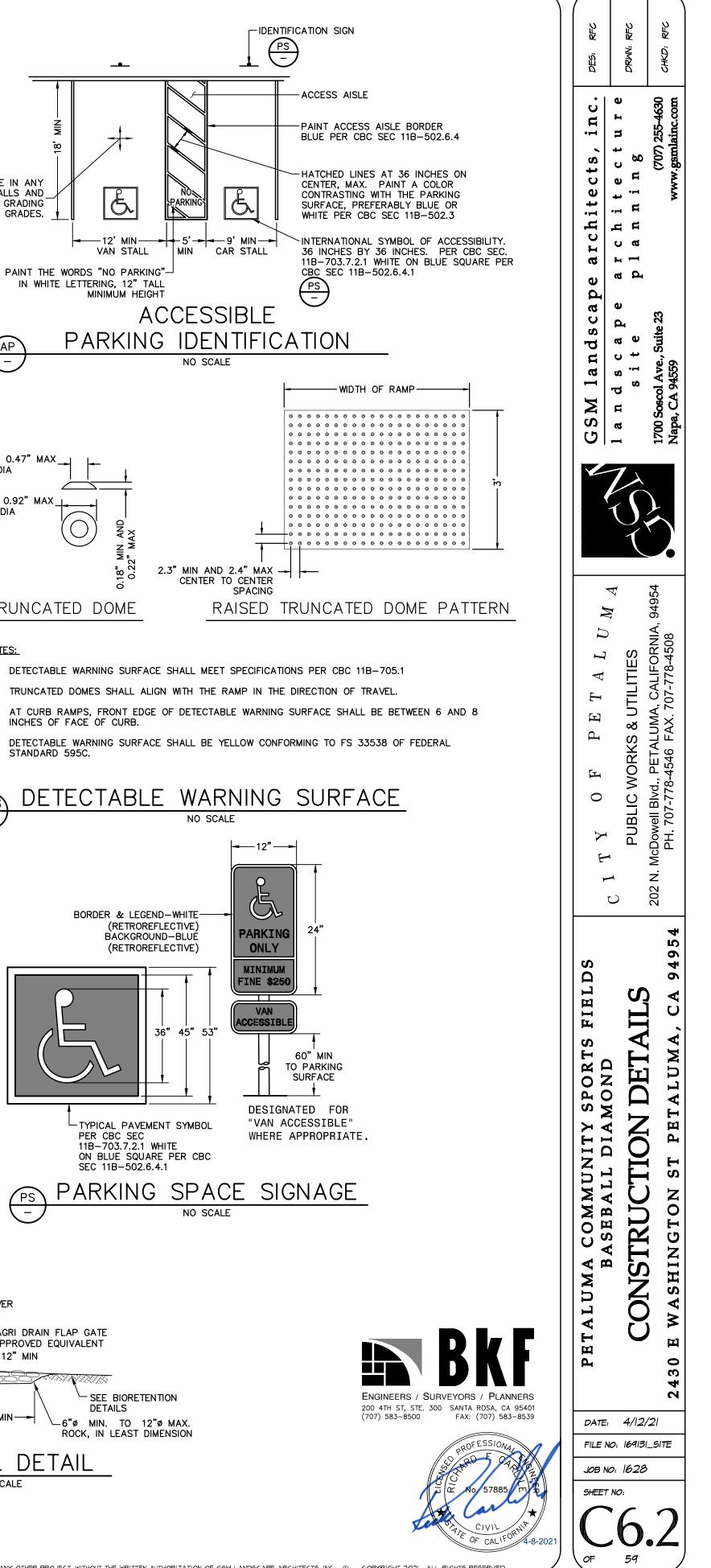


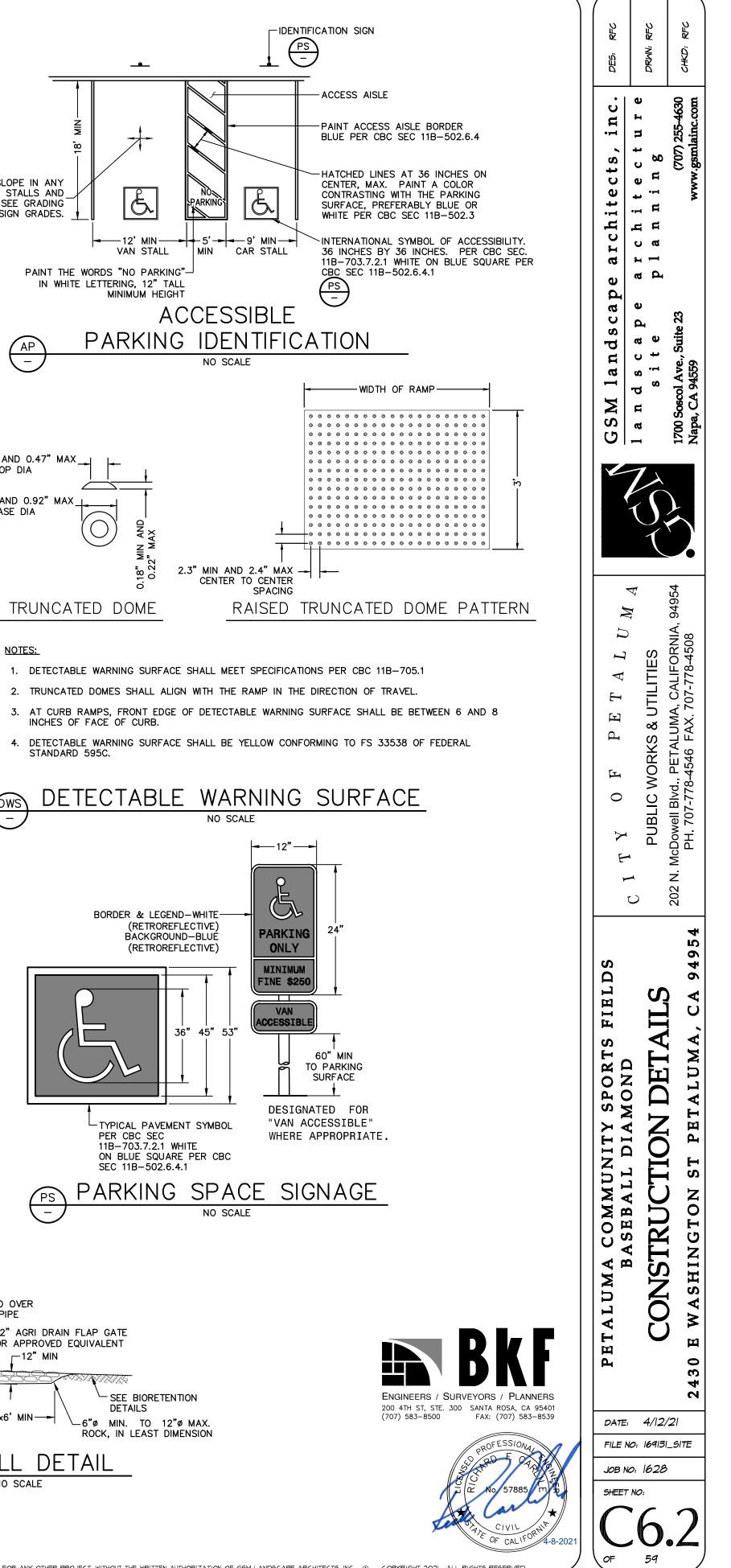
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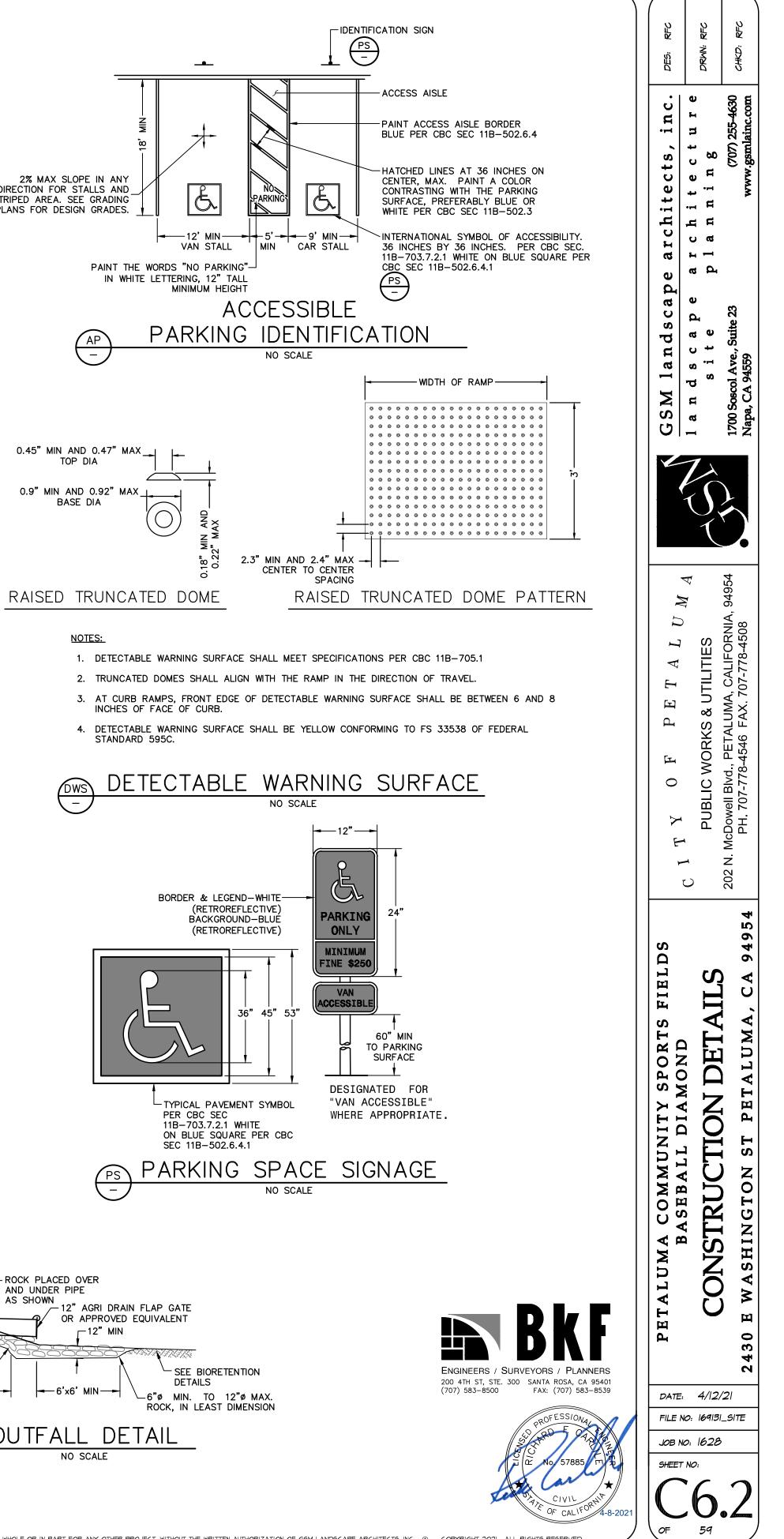
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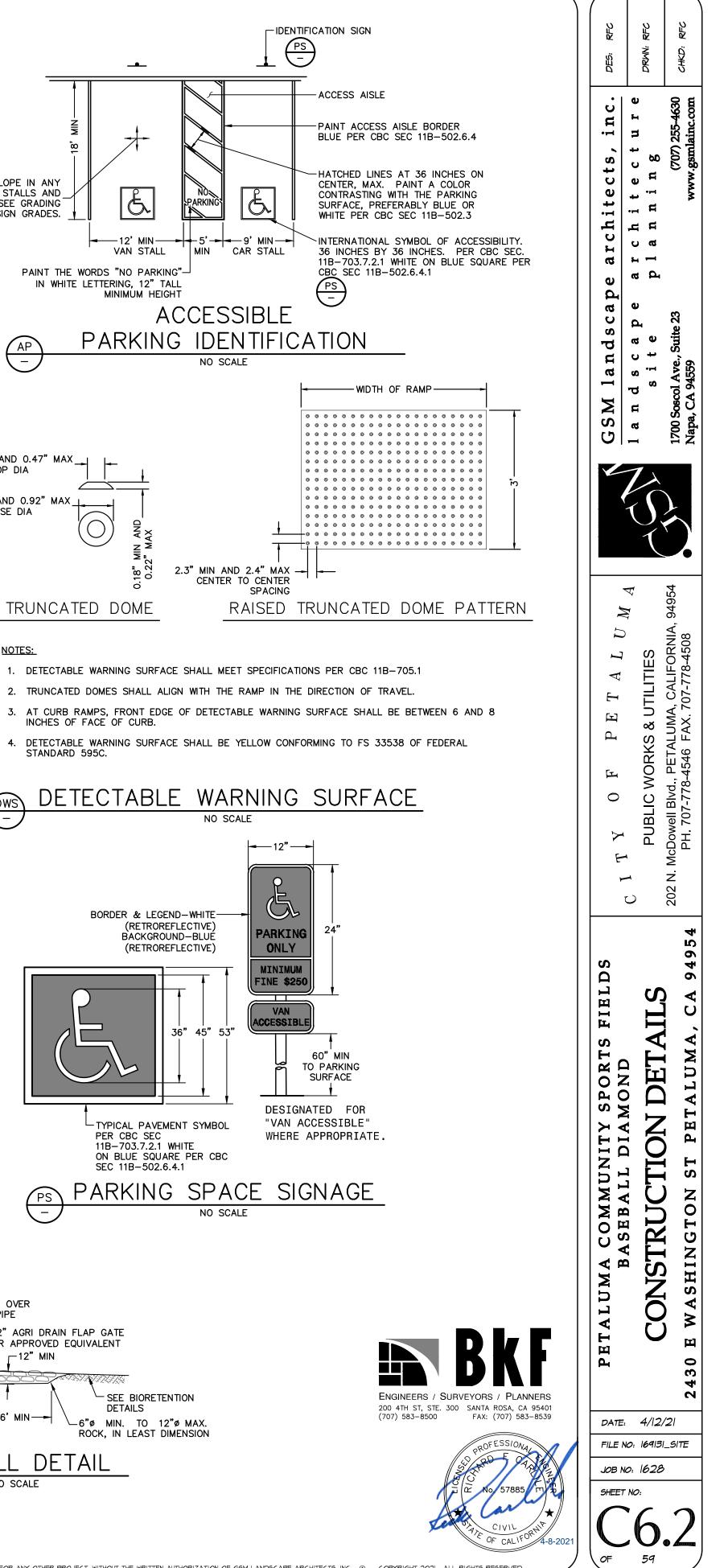


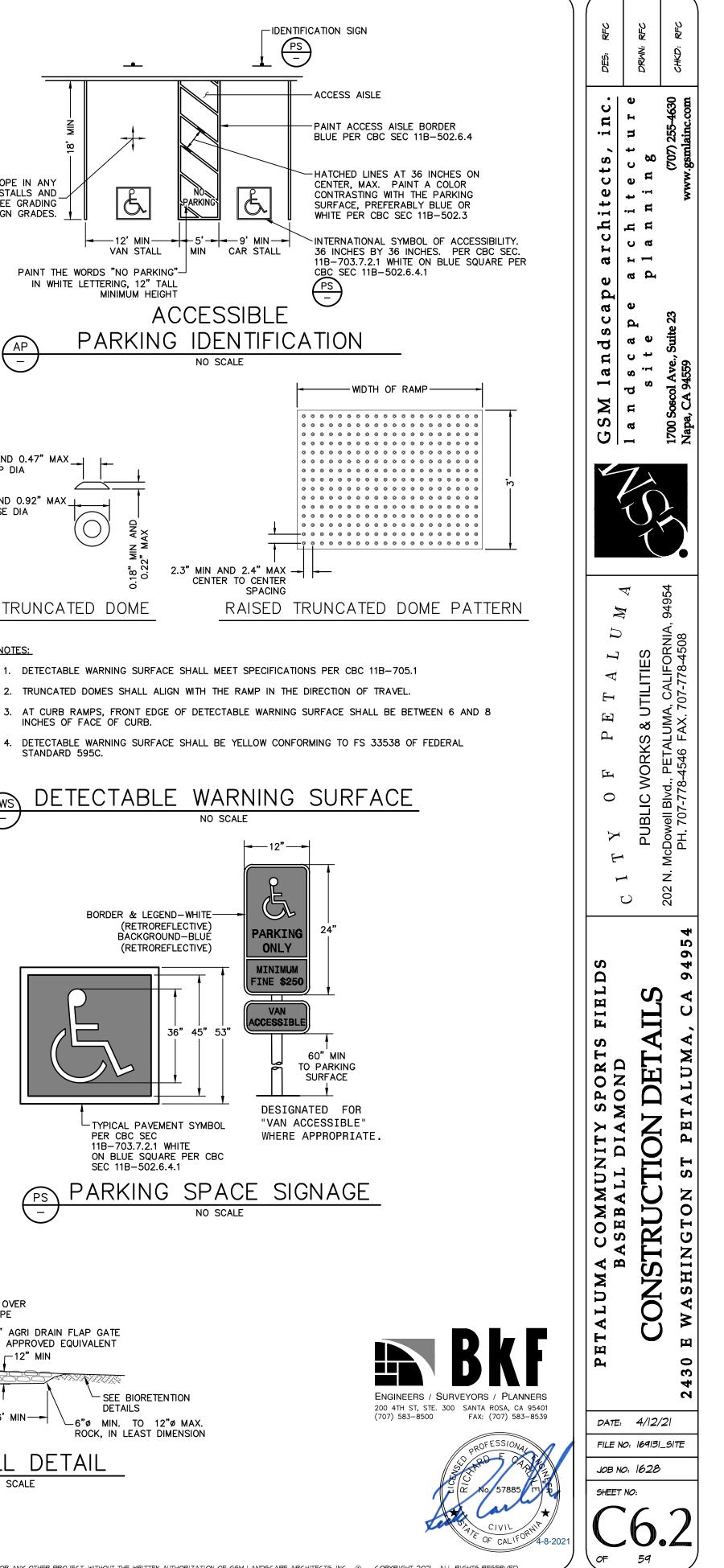


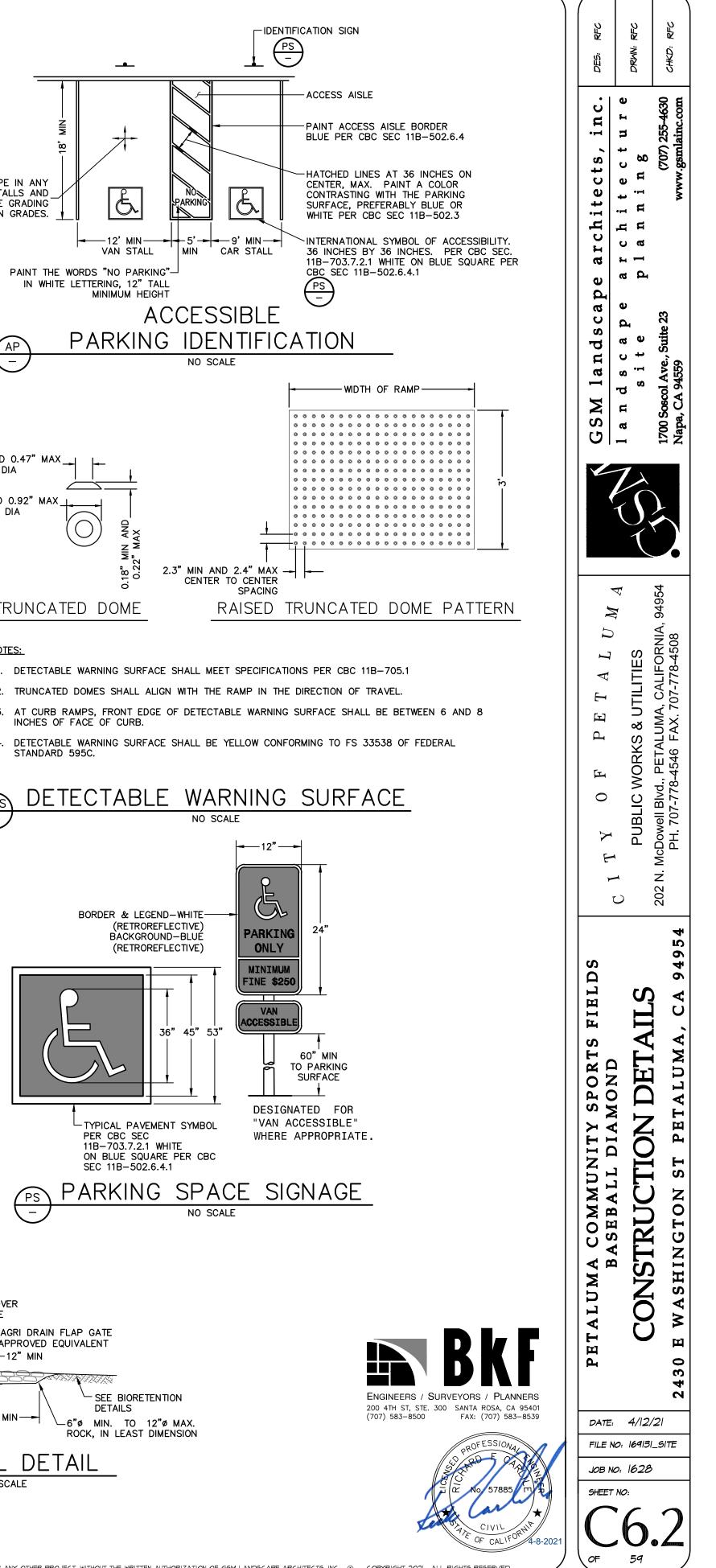


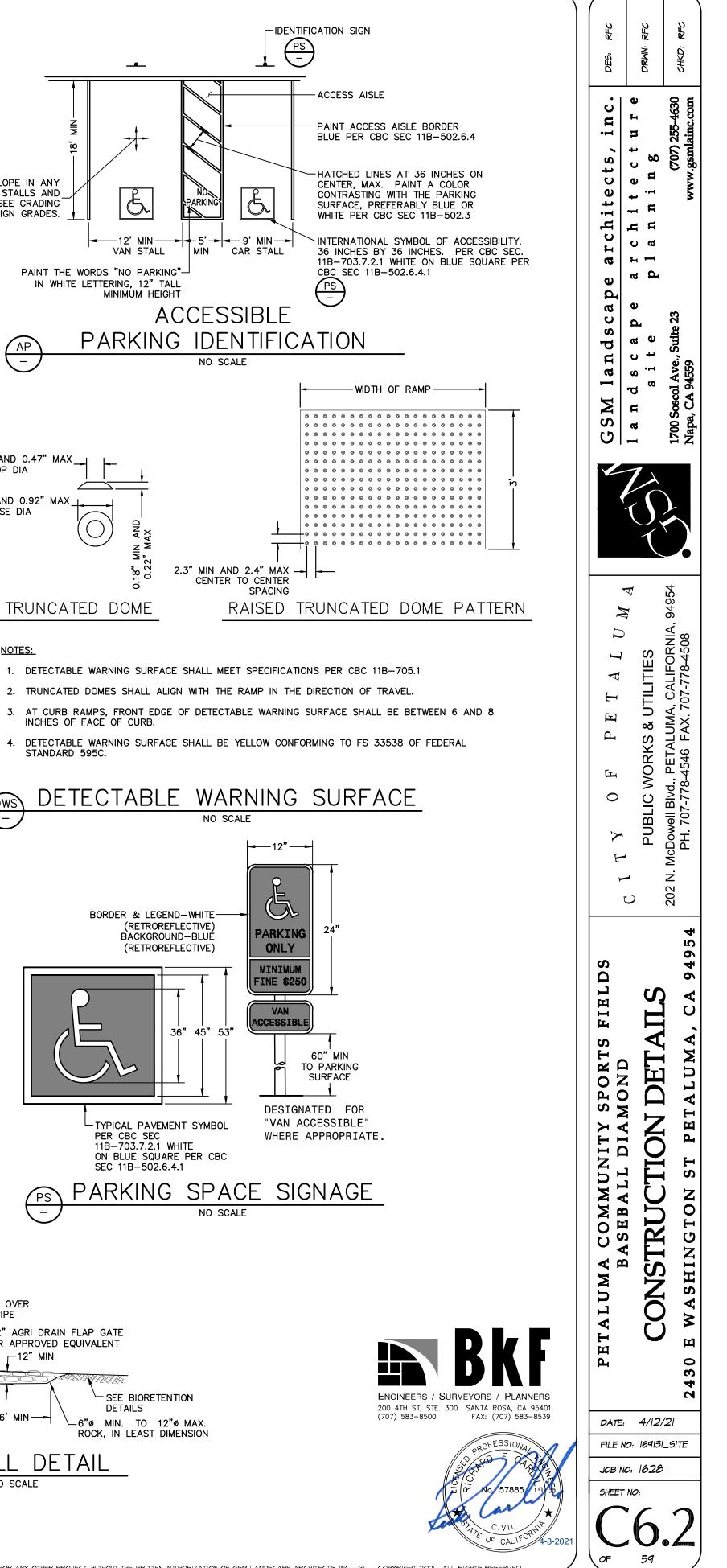


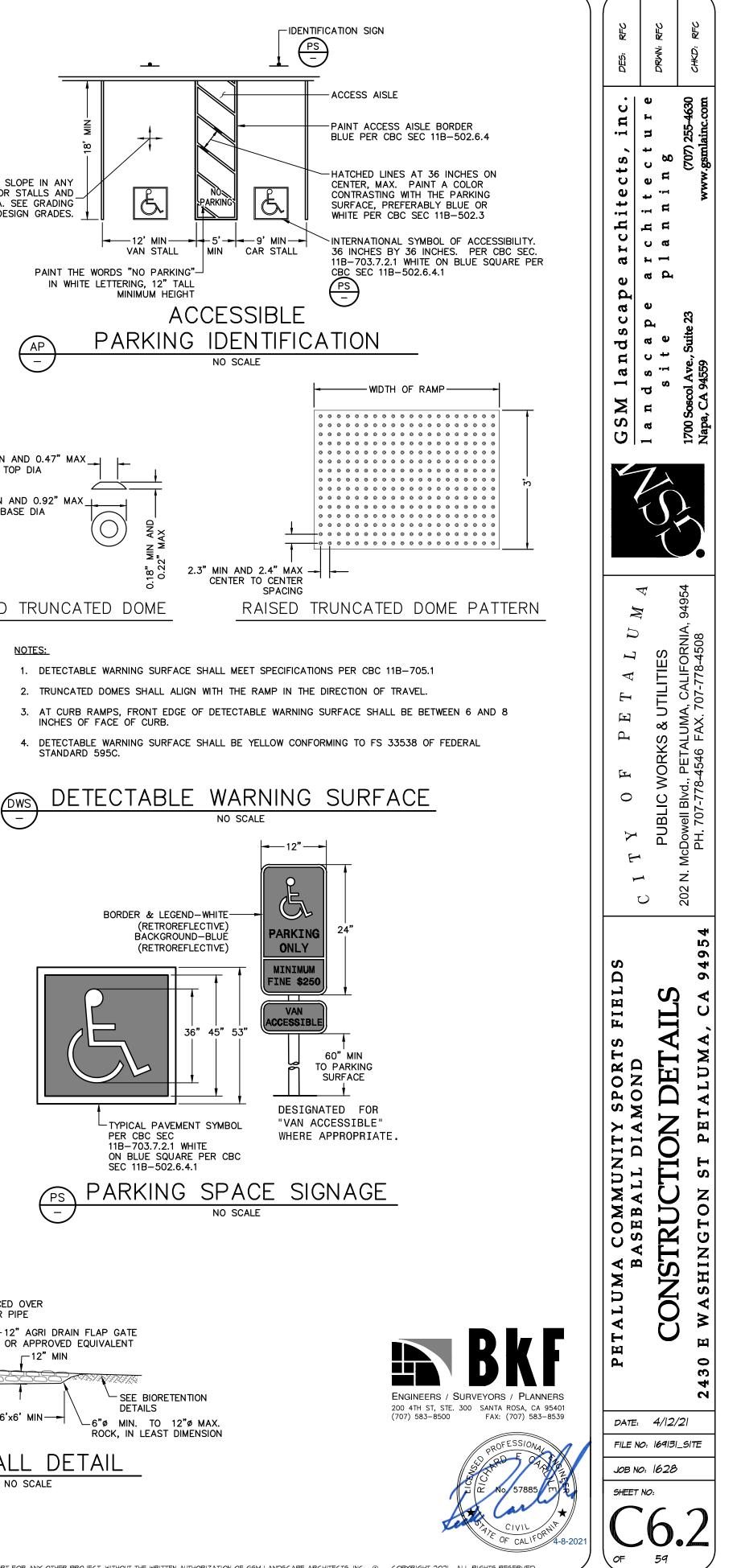


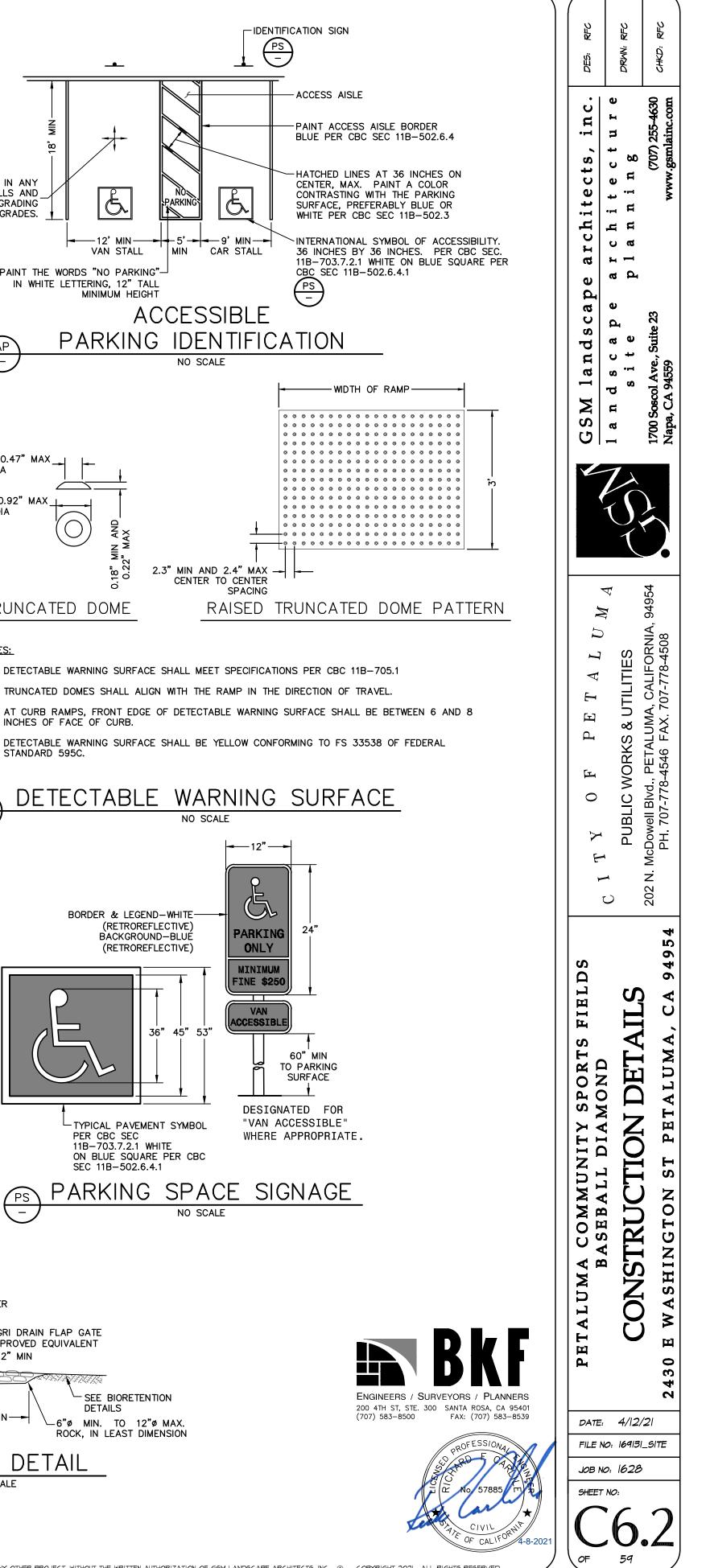


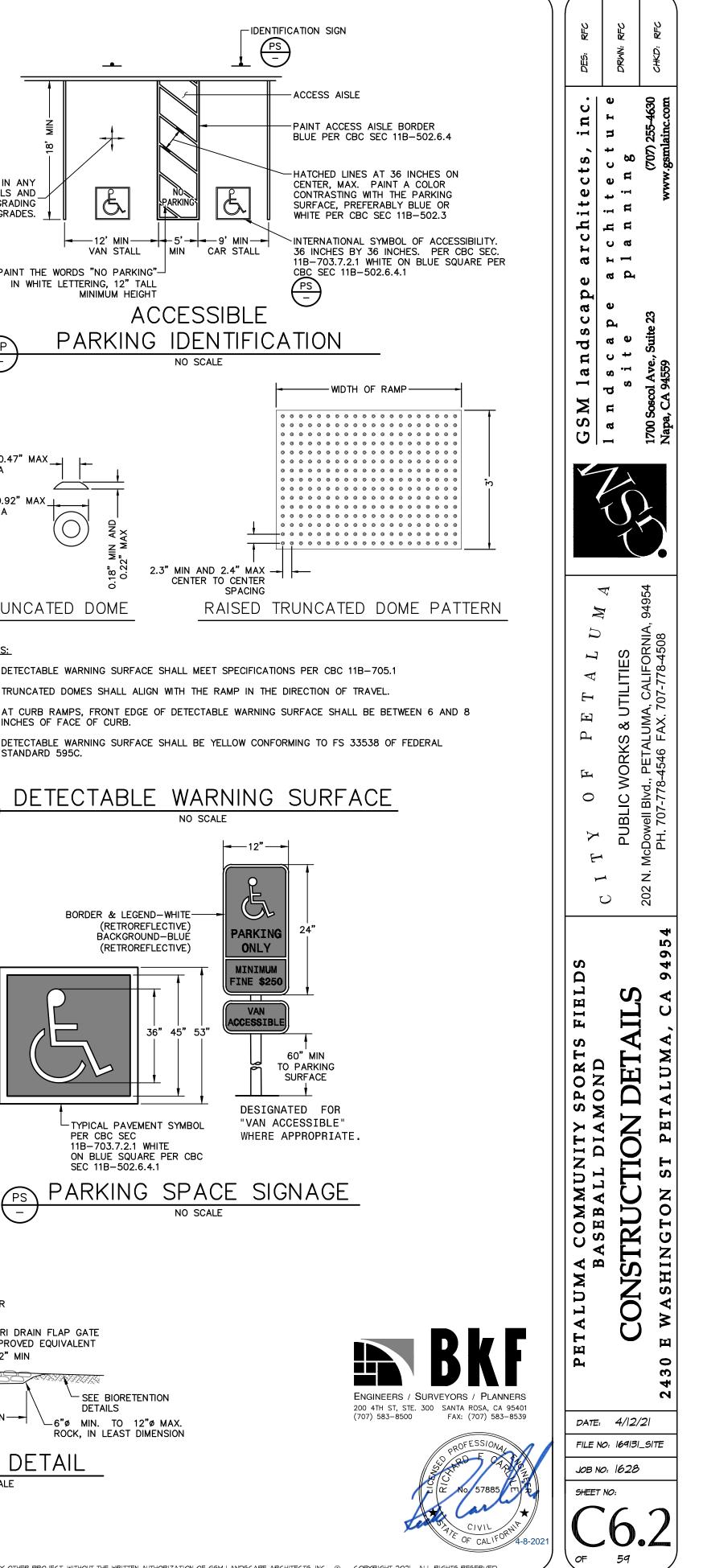


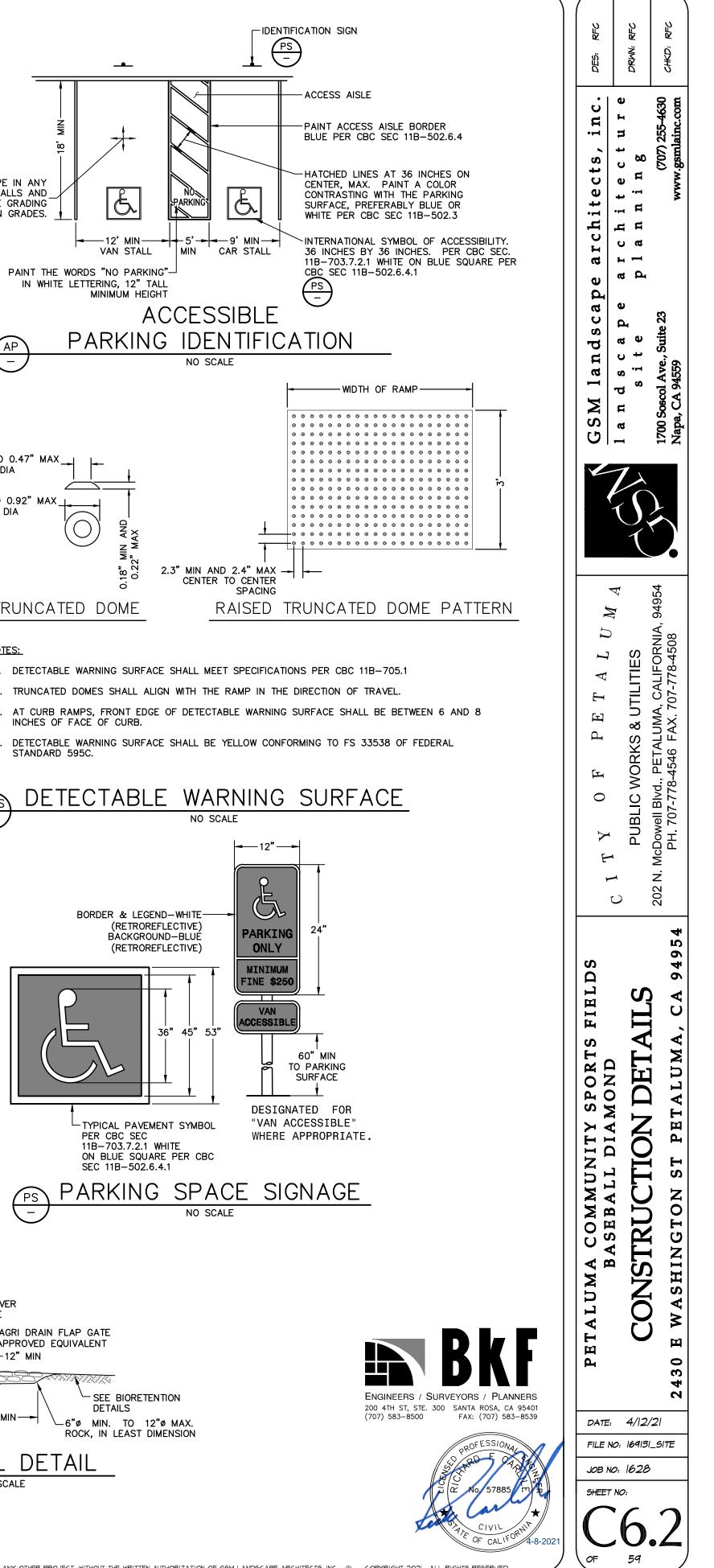


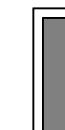


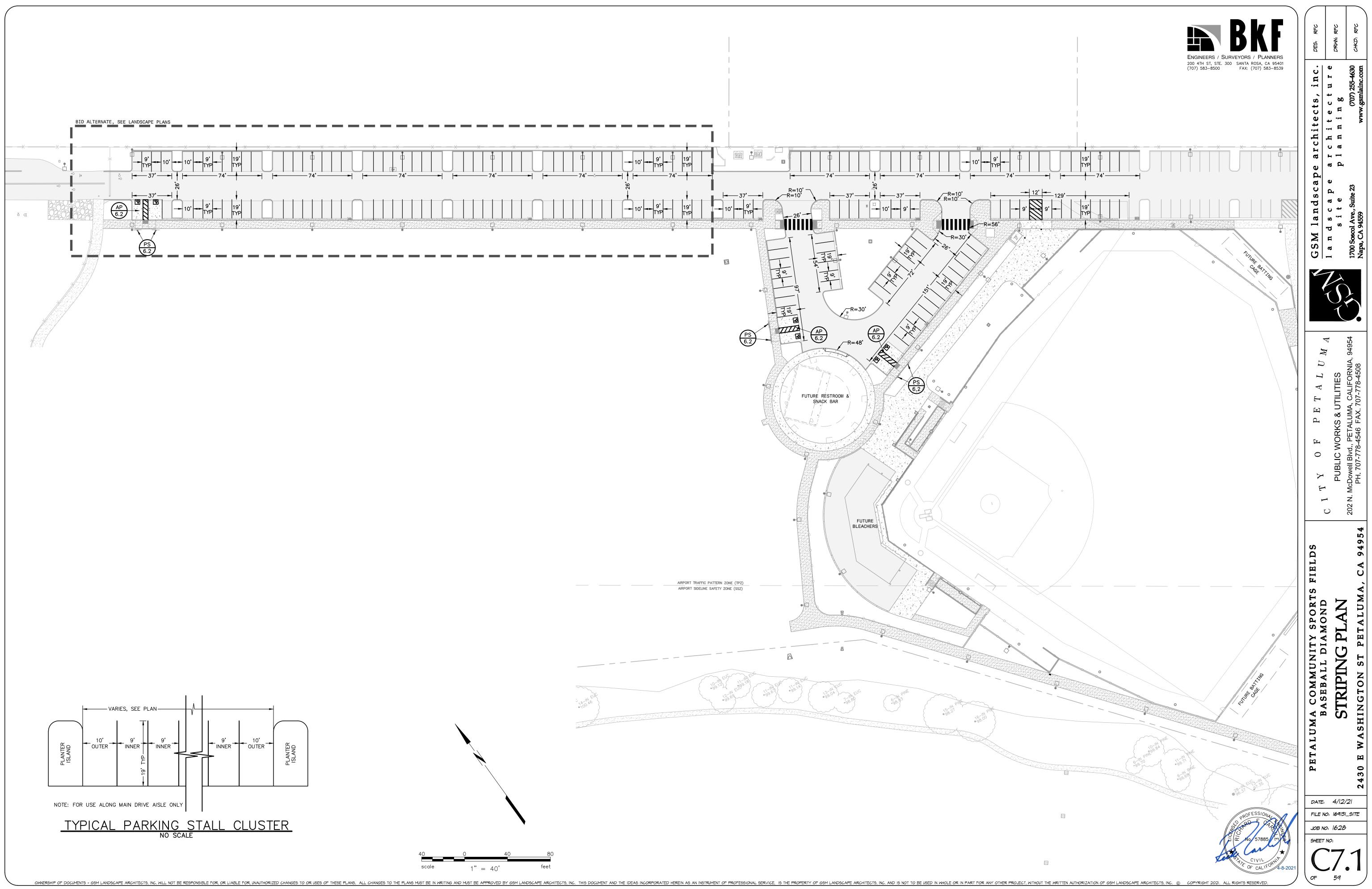


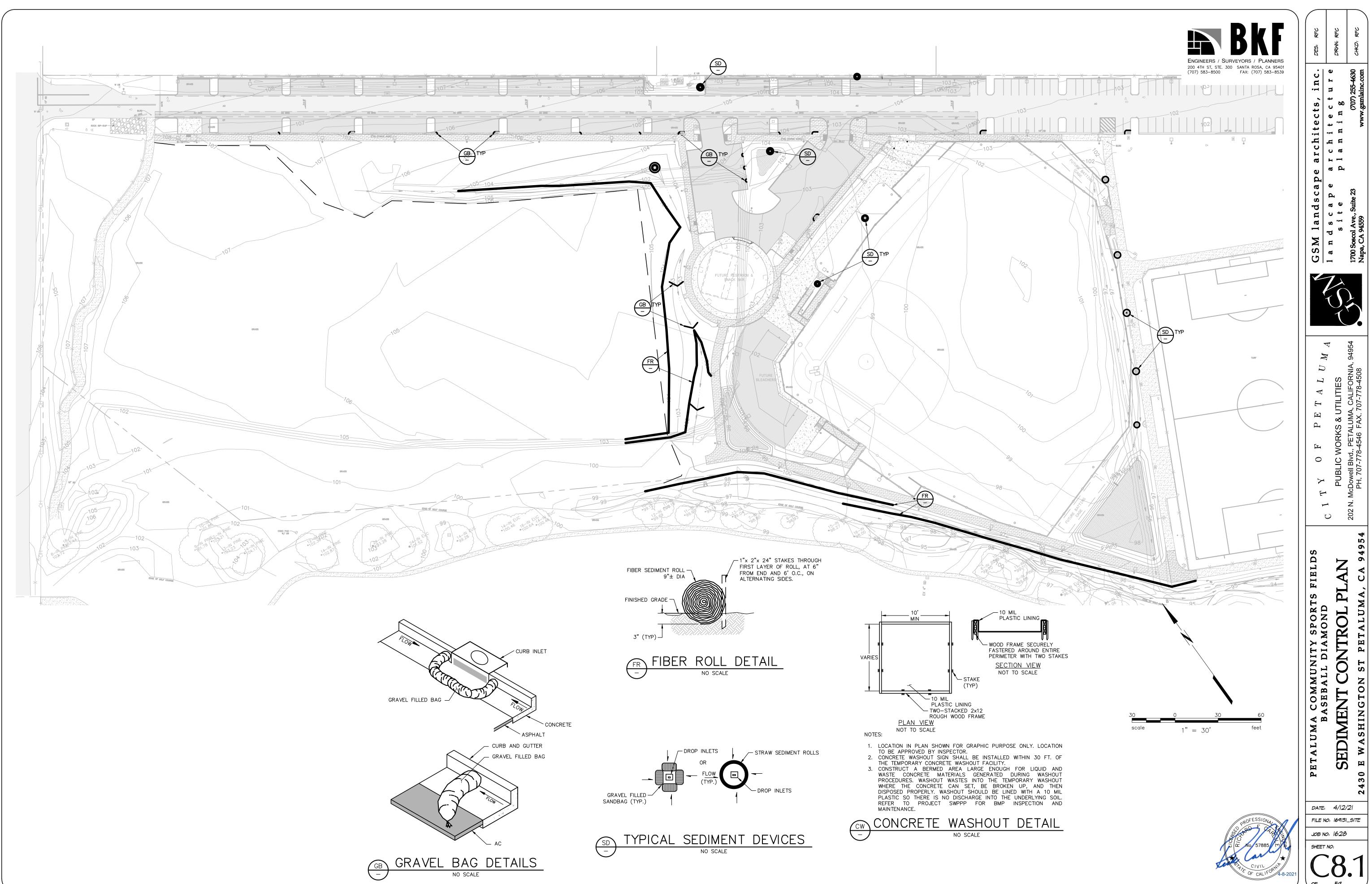












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