

SUE AND LARRY BORSIAN'S RESIDENCE

A NEW TWO STORY CUSTOM HOME IN THE OAKHILL - BRESTWER DISTRICT

325 LIBERTY STREET PETALUMA, CA 94952

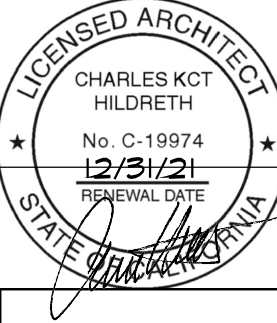
REVISIONS	BY
1/4/2021	CH



BORSIAN NEW RESIDENCE
 APN
 325 Liberty Street
 PETALUMA, CA
 Owner: Sue and Larry Borsian
 325 Liberty Street
 PETALUMA, CA
 PHONE: (707) _____

ABBREVIATIONS	GENERAL REQUIREMENTS	GENERAL NOTES	APPLICABLE CODES	PROJECT DATA
ADJ. ADJUSTABLE ABOVE FINISH FLOOR ALT. ALTERNATE ALUM. ALUMINUM APPROX. APPROXIMATE ARCH. ARCHITECTURAL AUX. AUXILIARY BO. BOARD BLDG. BUILDING BM. BEAM BTM. BETWEEN CAB. CABINET CEM. CEMENT CER. CERAMIC C.F.C.I. CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED C.S. CORNER GUARD CLR. CEILING CL. CENTER LINE CMU. CONCRETE MASONRY UNIT CO. CLEAR OPENING COL. COLUMN CONT. CONTINUOUS CONTR. CONTRACTOR CONST. CONSTRUCTION DET. DETAIL DIA. DIAMETER DIM. DIMENSION DN. DOWN DR. DOOR DRWR. DRAWER DWS. DRAWING EA. EACH E.F. EXPOSED FLOOR ELEV. ELEVATION EQ. EQUIPMENT EXIST. EXISTING FAB. FABRIC F.C. FLOOR COVERING F.D. FLOOR DRAIN FEXT. FIRE EXTINGUISHER F.F. FINISH FLOOR FIN. FINISH FLR. FLOOR FLOURECENT. FLUORESCENT F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD FR.P. FIBERGLAS REINF. PLASTIC FT. FOOT G.C. GENERAL CONTRACTOR GAUGE. GALVANIZED GL. GLASS GR. GRANITE GYP. BD. GYPSUM BOARD H.C. HANDICAP ACCESSIBLE H.B. HOSE BIBB HC. HOLLOW CORE HD. HIGH DENSITY HDN. HARDWARE HM. HOLLOW METAL HP. HARD-PLANK OR EQUAL GEMENT SIDING HR. HOUR HT. HEIGHT IN. INSULATION INT. INTERIOR JAN. JANITOR JT. JOINT K.E.C. KITCHEN EQUIP. CONT. LAV. LAVATORY L.P. OR P.L. LAMINATE PLASTIC MAX. MAXIMUM MECH. MECHANICAL MFG. MANUFACTURING MFR. MANUFACTURER MIN. MINIMUM MISC. MISCELLANEOUS M.O. MOUNTED MTD. METAL MTL. METAL NI. NOT IN CONTRACT (N). NOT TO SCALE OCC. OCCUPANCY O.C. ON CENTER O.D. OUTSIDE DIMENSION O.F. OWNER FURNISHED/ O.F.C.I. CONTRACTOR INSTALLED O.P. OPPOSITE PLAS. PLASTER PLY. PLYWOOD P.O.S. POINT OF SALES PR. PAIR PT. PAINT REF. REFLECTED R.A. RETURN AIR R.B. RUBBER BASE REQD. REQUIRED RM. ROOM R.O. ROUGH OPENING SA. SUPPLY AIR SC. SOLID CORE S.E.D. SEE ELEC. DRAWINGS SIM. SIMILAR S.M.D. SEE MECH. DRAWINGS S.S.D. SEE STRUCTURAL DRAWINGS ST. STONE STRUCT. STRUCTURAL TOC. TOP OF CONCRETE T.O.S. TOP OF SLAB OR STEEL T.O.M. TOP OF MALL TYP. TYPICAL U.O.N. UNLESS OTHERWISE NOTED V.I.F. VINYL IN FIELD V.T. VINYL TILE WC. WALL COVERING WD. WINDOW WP. WATERPROOFING WS. WEATHERSTRIPPING W. WITH	<ol style="list-style-type: none"> CONSTRUCTION SHALL CONFORM WITH DRAWINGS AND SPECIFICATIONS AS WELL AS ALL APPLICABLE CODES, LAWS, REGULATIONS AND ORDINANCES. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO STARTING ANY WORK. CONTRACTOR TO SUBMIT MANUFACTURED TRUSS DESIGN AND CALCULATIONS TO BUILDING OFFICIAL AND ARCHITECT PRIOR TO ORDERING TRUSSES. DETAILS ARE INTENDED TO SHOW THE METHOD AND MANNER OF ACCOMPLISHING THE WORK. IF MINOR MODIFICATIONS ARE REQUIRED TO SUIT JOB CONDITIONS OR DIMENSIONS, THEY SHALL BE INCLUDED AS PART OF THE WORK AT NO ADDITIONAL COST. ANY CONFLICTS OR DISCREPANCIES IN OR BETWEEN THE DRAWINGS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR CORRECTING ANY WORK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CODE VIOLATIONS OR INCORRECT CONSTRUCTIONS IN THE EXISTING CONSTRUCTION. RESOLUTION OF ALL QUESTIONS OR VARIANCES SHALL BE AS DIRECTED BY THE ARCHITECT BY WRITTEN NOTICE, CHANGE ORDER, ETC. PHONE CONVERSATIONS ARE NOT ACCEPTABLE. WRITTEN DIMENSIONS TAKE PRECEDENCE--DO NOT SCALE DRAWINGS. DIMENSIONS ARE TAKEN FROM FACE OF STUD @ NEW CONSTRUCTION U.O.N. AND FACE OF FINISH @ EXIST. CONSTRUCTION. ALL CLEAR DIMENSIONS ARE TO BE EXACT WITHIN 1/8" +/- ALONG THE FULL HEIGHT AND LENGTH OF WALLS. VERIFY LOCATION AND SIZE OF ALL OPENINGS WITH DRAWINGS AND WITH MANUFACTURED ITEMS WHERE APPLICABLE. VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DWS. AND SPECIFICATIONS PRIOR TO PLACING CONCRETE. PROVIDE ALL REQUIRED BACKING AND FRAMING FOR WALL AND CEILING MOUNTED LIGHT FIXTURES, WALL HUNG ACCESSORIES, CABINETS, RAILINGS, AND ALL OTHER ITEMS REQUIRING BACKING. UNLESS SHOWN OTHERWISE, DOORS NOT LOCATED BY DIMENSIONS SHALL BE CENTERED BETWEEN WALLS OR SHALL BE LOCATED FOUR INCHES (4") FROM THE ADJACENT FINISH WALL TO THE EDGE OF THE DOOR OPENING. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION FEES REQUIRED TO COMPLETE THE PROJECT. CONTRACTOR SHALL PROTECT THE BUILDING AND GROUNDS FROM ANY DAMAGE RESULTING FROM THE WORK UNDER THIS CONTRACT. IF ANY DAMAGE DOES OCCUR, THE CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY FOR ALL CORRECTIVE WORK. MATERIALS, EQUIPMENT, ETC... SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS, U.O.N. AT CARPET, UNDERCUT DOORS TO CLEAR TOP OF CARPET BY 1/8". ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THIS SHALL INCLUDE THE CLEANING OF FABRICS, GLASS, STONE, MILLWORK AND FLOOR COVERINGS. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS RELATED TO ENERGY CONSERVATION. CONTRACTOR SHALL PREPARE AND SUBMIT ALL REQUIRED CALCULATIONS AND FORMS. ALL GYPSUM BOARD IN THE KITCHEN, TOILETS, ADJACENT TO COOKING AND BAR AREAS AND ANY OTHER AREAS WHERE WATER MAY BE PRESENT SHALL BE WATER-RESISTANT TYPE. CONTRACTOR SHALL COMPLY IN FULL WITH ANY ADDITIONAL NOTATIONS AND REQUIREMENTS STATED IN THE PERMIT DRAWINGS AND SHALL INCLUDE SUCH CONDITIONS OF APPROVAL AS A PART OF THIS WORK. UPON SUBSTANTIAL COMPLETION OF THIS WORK, CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL PREPARE A "PUNCH LIST" OF CORRECTIONS REQUIRED. FINAL ACCEPTANCE OF THE "PUNCH LIST" BY THE ARCHITECT SHALL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER-CONTRACTOR AGREEMENT, U.O.N. IN THE EVENT THAT "PUNCH LIST" ITEMS ARE NOT COMPLETED BY THE CONTRACTOR IN A TIMELY MANNER, THE OWNER RESERVES THE RIGHT TO SUBCONTRACT SUCH WORK DIRECTLY AND TO DEDUCT THE COST OF SUCH WORK FROM ANY FINAL PAYMENT DUE TO THE CONTRACTOR. ALL WORK SHALL BE GUARANTEED AGAINST DEFECT IN DESIGN, MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT BY THE OWNER. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL SURVEY ALL AREAS WHERE WORK IS SCHEDULED TO DETERMINE IF THERE ARE ANY EXISTING DEFECTS OR DAMAGE IN THE BUILDING. ANY NEW DAMAGE OCCURRING DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR TO THE BUILDING OWNER'S SATISFACTION. ALL CUTTING AND PATCHING OF EXISTING WALLS, FLOORS, CEILING ROOF, ETC... TO INSTALL NEW WORK SHALL BE REPAIRED AS REQUIRED TO MEET ALL BUILDING CODE REGULATIONS AND AESTHETIC STANDARDS OF THE BUILDING OWNER. 	<ol style="list-style-type: none"> ALL 125 VOLT 15 AND 20 AMP RECEPTACLES ARE TO BE TAMPER RESISTANT ALL 125 VOLT 15 AND 20 AMP RECEPTACLES ARE TO HAVE AFCI PROTECTION PAINT VOC REQUIREMENTS <ol style="list-style-type: none"> USE LOW VOC INTERIOR WALL/CEILING PAINTS (5 GPM VOC'S REGARDLESS OF SHEEN) USE ZERO VOC INTERIOR WALL/CEILING PAINTS (5 GPM VOC'S FLAT) USE LOW VOC CAULKS AND CONSTRUCTION ADHESIVE (MEET SCAQMD RULE 116B) THE FOLLOWING MAX. FLOW RATES SHALL APPLY TO ALL FIXTURES IN THE AREA OF WORK: <ol style="list-style-type: none"> KITCHEN SINK: 1.8 GPM AT 60 PSI LAVATORY FAUCET: 1.2 GPM AT 60 PSI SHOWERHEAD: 2 GPM AT 80 PSI GRAVITY TANK WC: 1.28 GAL/FLUSH USE FORMALDEHYDE REDUCED MATERIALS IN INTERIOR FOR INTERIOR TRIM AND SHELVING. TYPES NM AND NMS CABLES SHALL NOT BE USED IN WET OR DAMP LOCATIONS. VERIFY THAT ALL EXISTING PLUMBING FIXTURES IN THE EXISTING RESIDENCE HAVE THE FOLLOWING FLOW RATES OR THEY SHALL BE REPLACED. <ol style="list-style-type: none"> ANY WATER CLOSET MFG TO USSE MORE THAN 1.6 GPF ANY SHOWERHEAD MFG. TO A FLOW CAP. OF MORE THAN 2.5 ANY INTERIOR FAUCET THAT EMITS MORE THAN 2.2 GPM 	THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: <ol style="list-style-type: none"> 2019 CBC 2019 CMC 2019 CPC 2019 CEC 2019 CAL ENERGY CODE 2019 CALGREEN ALL NEW ELECTRICAL WORK IS TO COMPLY WITH TITLE 24 AND THE ELECTRICAL CODE. ENERGY COMPLIANCE SHALL CONFORM TO THE 2019 CALIFORNIA ENERGY CODE.	ADDRESS: 325 LIBERTY STREET PETALUMA, CA 94952 OCCUPANCY: R3 TYPE OF CONST.: TYPE V-B (FULLY SPRINKLED) AREAS: FIRST STORY PROPOSED: 842 S.F. SECOND STORY: 455 S.F. TOTAL: 1297 S.F.
		WALL CONSTRUCTION NOTES ALL CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS FOR TYPE V CONSTRUCTION. <ol style="list-style-type: none"> PROVIDE DOUBLE STUDS AT BOTH JAMBS OF ALL DOORS. RUN STUDS AT GYP. BD. FULL HT. TO STRUCTURE ABOVE AND ANCHOR AS APPROVED U.O. PROVIDE SOLID BACKING PLATES (OR OTHER APPROVED METHOD) FOR REINFORCING GYP. BD. WALLS@ATTACHMENT POINTS OR ALL WALL-MOUNTED ITEMS. 	ENERGY NOTES <ol style="list-style-type: none"> ALL OPERABLE WINDOWS AND SLIDING DOORS SHALL LIMIT AIR LEAKAGE AND BE CERTIFIED AND LABELED TO COMPLY WITH ANSI STANDARD A134.2-1912. FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION. SITE BUILT DOORS MOUNTED ON THE INSIDE OR THE OUTSIDE OF EXTERIOR WALLS SHALL HAVE A MIN. 1" LAP AT JAMBS. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AND AT PENETRATIONS OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF, BETWEEN WALL PANELS, AND AT PENETRATIONS OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED OR WEATHER-STRIPPED TO LIMIT AIR LEAKAGE. 	SCOPE OF WORK NEW TWO STORY CUSTOM HOME SHEET INDEX A0.0 TITLE SHEET A1.0 SITE PLAN A2.0 FIRST FLOOR PLAN A3.0 SECOND FLOOR PLAN A5.0 EXTERIOR ELEVATIONS A6.0 CROSS SECTION A6.1 LONG SECTION A6.2 GARPORT SECTION
		SECURITY NOTES SWINGING DOORS <ol style="list-style-type: none"> HINGES WHICH ARE EXPOSED TO THE EXTERIOR SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS. THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2-1/2" IN LENGTH. DEAD BOLTS SHALL CONTAIN HARDENED INSERTS. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8". A HOOKED SHAPED OR AN EXPANDING LUG DEAD BOLT SHALL HAVE A MIN. THROW OF 3/4". CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. WINDOWS <ol style="list-style-type: none"> SINGLE-HUNG WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY STAY INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS EQUIPPED BY GOVERNING CODE SECTION OF LOCALE. SINGLE-HUNG WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 	SYMBOLS 	PROJECT CONSULTANTS STRUCTURAL ENGINEERING: TITLE 24 ENERGY CONSULTANT: CAL GREEN CONSULTANT:
		CAL GREEN THIS PROJECT REQUIRES THE MANDATORY MEASURES FOR CALGREEN AS LISTED ON THE ATTACHED CHECKLIST. THE CONTRACTOR IS TO VERIFY THE PROCEDURES AND DOCUMENTATION REQUIRED FOR VERIFICATION PRIOR TO THE COMMENCEMENT OF WORK	DEFERRED APPROVALS ALL ITEMS APPROVED FOR DEFERRED APPROVAL WILL REQUIRE SUBSEQUENT DEVELOPMENT OF PLANS, CALCULATIONS AND SPECIFICATIONS WHICH SHALL BE SUBMITTED TO, REVIEWED BY AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION OF ANY DEFERRED APPROVAL ITEM. ALL SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT. ALL DESIGN DOCUMENTATION SUBMITTED FOR INDIVIDUAL DEFERRED APPROVAL SHALL BE CLEAR, CONCISE, DRAWN AT A REASONABLE SCALE, AND SUFFICIENTLY COORDINATED WITH THE APPROVED DOCUMENTS REGARDING SCOPE LOCATIONS AND APPLICATION TO BE EASILY REVIEWABLE. THESE DOCUMENTS SHALL BEAR THE STAMP AND NET SEAL OF AN ARCHITECT OR AN ENGINEER LICENSED TO PRACTICE IN THE STATE OF CALIFORNIA. SUBMITTAL DRAWINGS SHALL INCLUDE DETAILS FOR ALL PENETRATIONS OF WALLS, FLOORS, & CEILINGS WHICH MAINTAIN FIRE RATINGS CALLED FOR IN PLANS PROVIDE COMPLETE DESIGN DOCUMENTS STAMPED AND NET SIGNED FOR THE FOLLOWING DEFERRED APPROVAL ITEMS: <ol style="list-style-type: none"> NEW FIRE SUPPRESSION SYSTEM (SUBMITTED BY OTHERS) REMANUFACTURED ROOF SYSTEM 	VICINITY MAP
SPECIAL INSPECTIONS SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR. SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE. THE CONTRACTOR SHALL SECURE A RECOGNIZED SPECIAL INSPECTOR BY THE PERMIT ISSUER AND PROVIDE REASONABLE NOTIFICATION IF A SPECIAL INSPECTION IS REQUIRED. SPECIAL INSPECTORS MUST BE PROVIDED TIME TO SCHEDULE FIELD OBSERVATION, PLAN REVIEW, & PERFORM PREPARATORY WORK. EXAMPLES OF SOME WORK THAT REQUIRES SPECIAL INSPECTION ARE FIELD STRUCTURAL WELDING, EPOXY SET ANCHOR BOLTS, TITEN CONCRETE ANCHORS, ETC... NOTE THAT THIS IS NOT A COMPLETE LIST AND THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF NO SPECIAL INSPECTION FORM WAS PROVIDED WITH THE APPROVED CONSTRUCTION DOCUMENTS BEFORE STARTING ANY WORK.		ENCROACHMENT PERMIT AN ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.		
		EROSION CONTROL THE CONTRACTOR SHALL INSTALL AND MAINTAIN INDUSTRY STANDARD EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT CONSTRUCTION		

TITLE SHEET

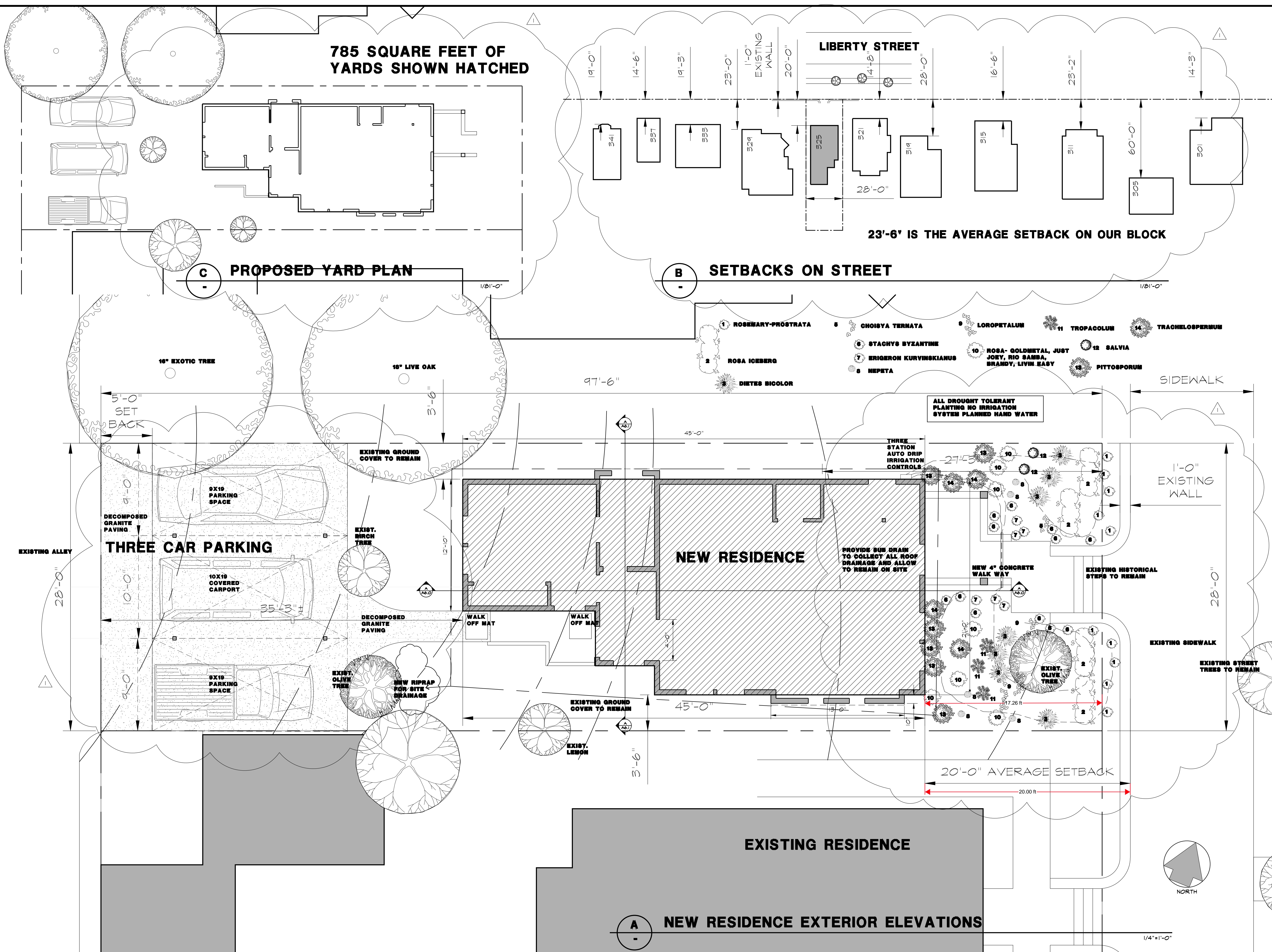


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785 SQUARE FEET OF YARDS SHOWN HATCHED

LIBERTY STREET

23'-6" IS THE AVERAGE SETBACK ON OUR BLOCK

PROPOSED YARD PLAN

SETBACKS ON STREET

NEW RESIDENCE

EXISTING RESIDENCE

NEW RESIDENCE EXTERIOR ELEVATIONS

- 1 ROSEMARY-PROSTRATA
- 2 ROSA ICEBERG
- 3 DIERIS BICOLOR
- 4 CHOISYA TERNATA
- 5 STACHYS BYZANTINE
- 6 ERIGERON KURVINKIANUS
- 7 NEPETA
- 8 LOROPETALUM
- 9 ROSA-GOLDMETAL, JUST JOEY, RIO SAMBA, BRANDY, LIVIN EASY
- 10 PITTOSPORUM
- 11 TROPACOLUM
- 12 SALVIA
- 13 TRACHELOSPERMUM

ALL DROUGHT TOLERANT PLANTING NO IRRIGATION SYSTEM PLANNED HAND WATER

THREE STATION AUTO DRIP IRRIGATION CONTROLS

PROVIDE SUN DRAIN TO COLLECT ALL ROOF DRAINAGE AND ALLOW TO REMAIN ON SITE

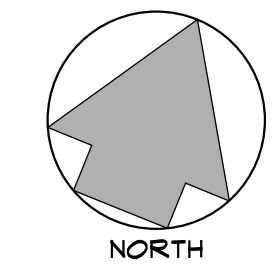
NEW 4" CONCRETE WALK WAY

EXISTING HISTORICAL STEPS TO REMAIN

EXISTING SIDEWALK

EXISTING STREET TREES TO REMAIN

20'-0" AVERAGE SETBACK



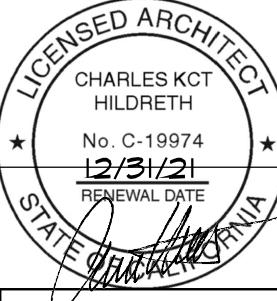
1/4"=1'-0"

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ARCHITECTURAL RENOVATIONS	
Architectural Renovations	
4495 East 17 th Street, Redlands, Ca 94042 (909) 716-1606 www.archrenov.com	

BORSIAN NEW RESIDENCE	
APN	
323 Liberty Street	Petaluma, Ca
Owner: Sue and Larry Borsian	
321 Liberty Street	Petaluma, Ca
PHONE: (707)	

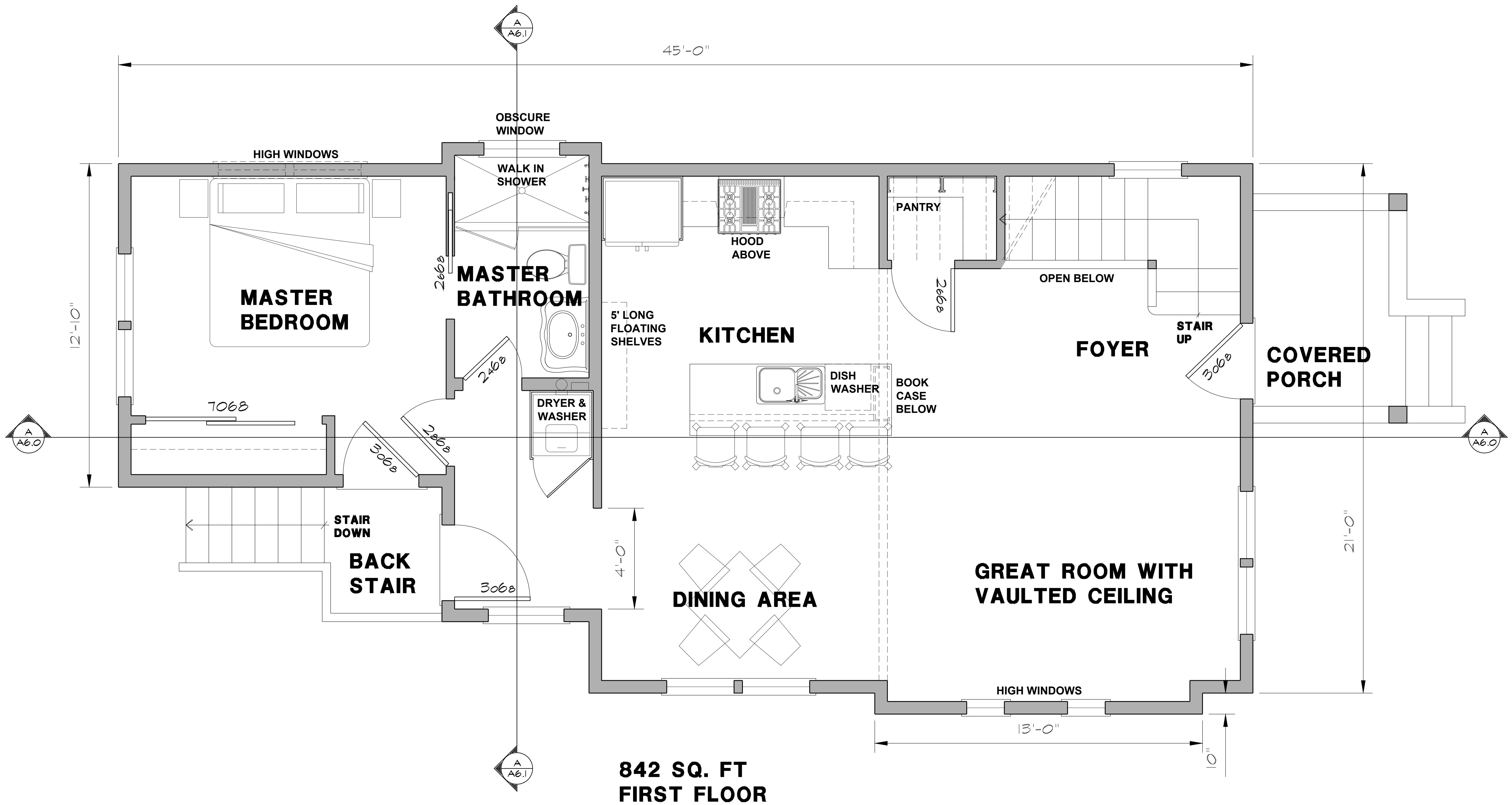
SITE PLAN
BOTH PROPERTIES



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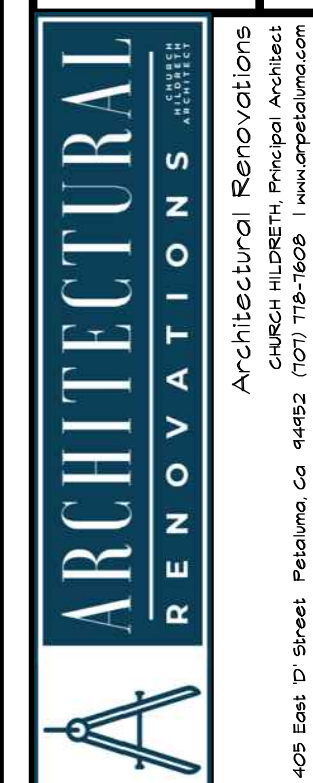


842 SQ. FT
FIRST FLOOR

NEW FLOOR PLAN

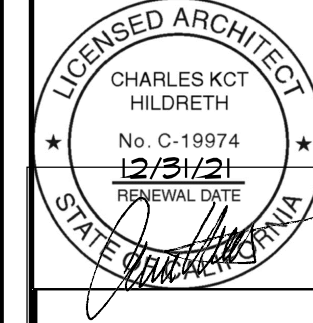
1/2"=1'-0"

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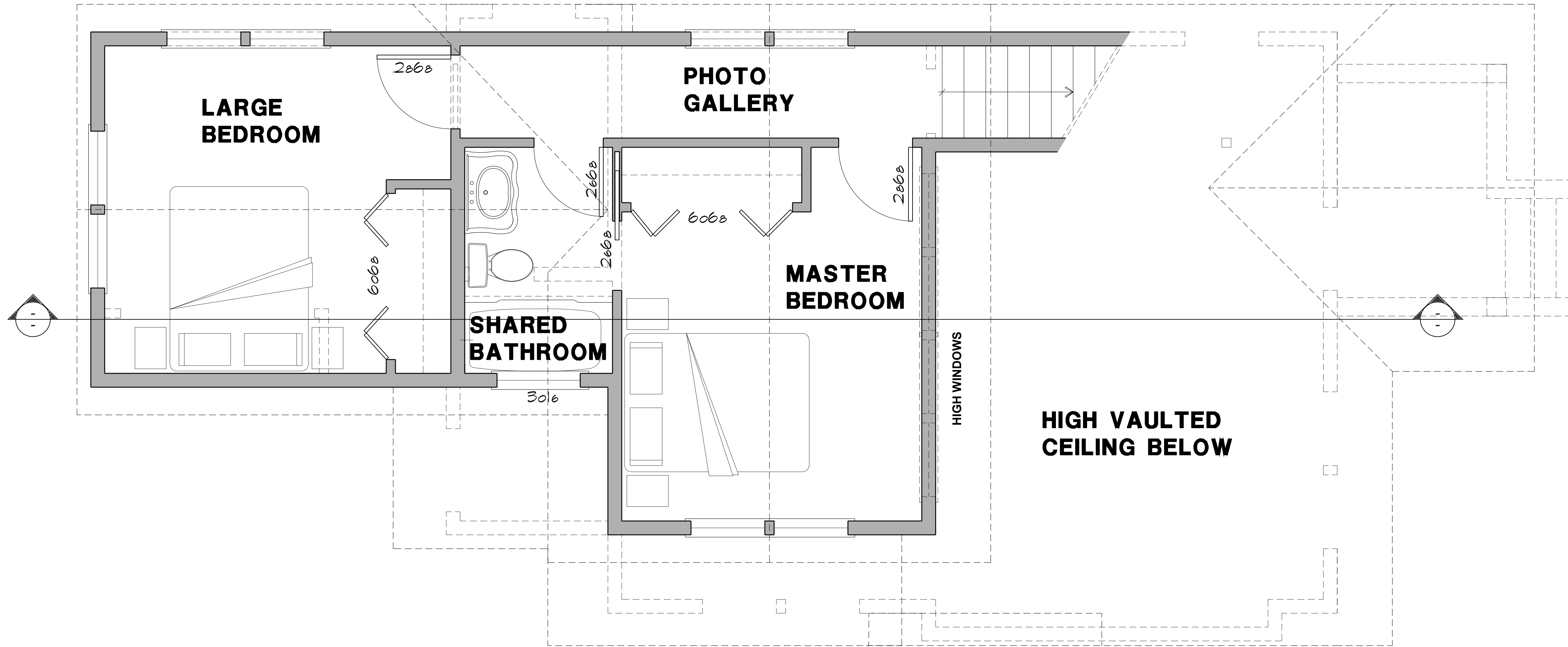
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NEW FLOOR PLAN



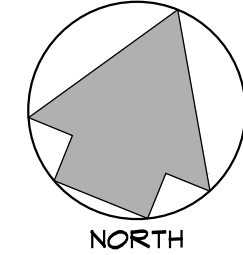
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**CLASS A COMP. SHINGLE
ROOFING BY CERTAINTED
LANDMARK PRO MAX DEF.
MUIRE BLACK**

**455 SQ. FT
UPPER FLOOR**



A NEW SECOND FLOOR PLAN

1/2"=1'-0"

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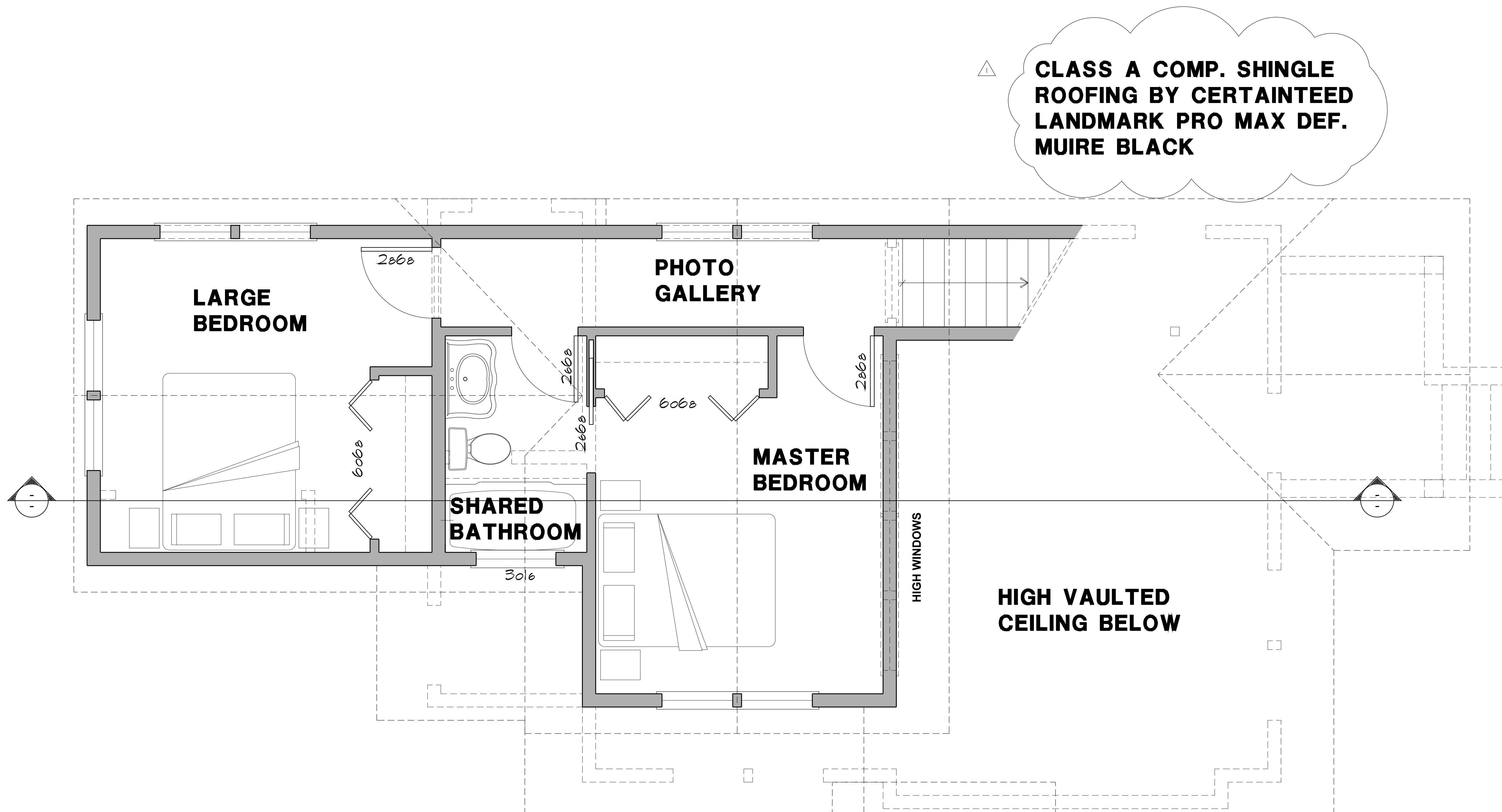
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321 Liberty Street
PETALUMA, Ca.
PHONE: (707)

NEW FLOOR PLAN

LICENSED ARCHITECT
CHARLES KCT HILDRETH
No. C-19974
12/31/21
RENEWAL DATE
STATE OF CALIFORNIA

Date: 2/6/21
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**455 SQ. FT
UPPER FLOOR**

**CLASS A COMP. SHINGLE
ROOFING BY CERTAINTED
LANDMARK PRO MAX DEF.
MUIRE BLACK**

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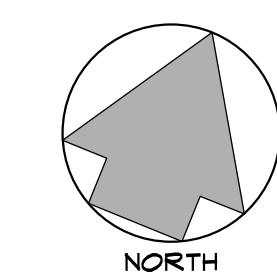
NEW FLOOR PLAN

LICENSED ARCHITECT
 CHARLES KCT HILDRETH
 No. C-19974
 12/31/21
 RENEWAL DATE
 STATE OF CALIFORNIA

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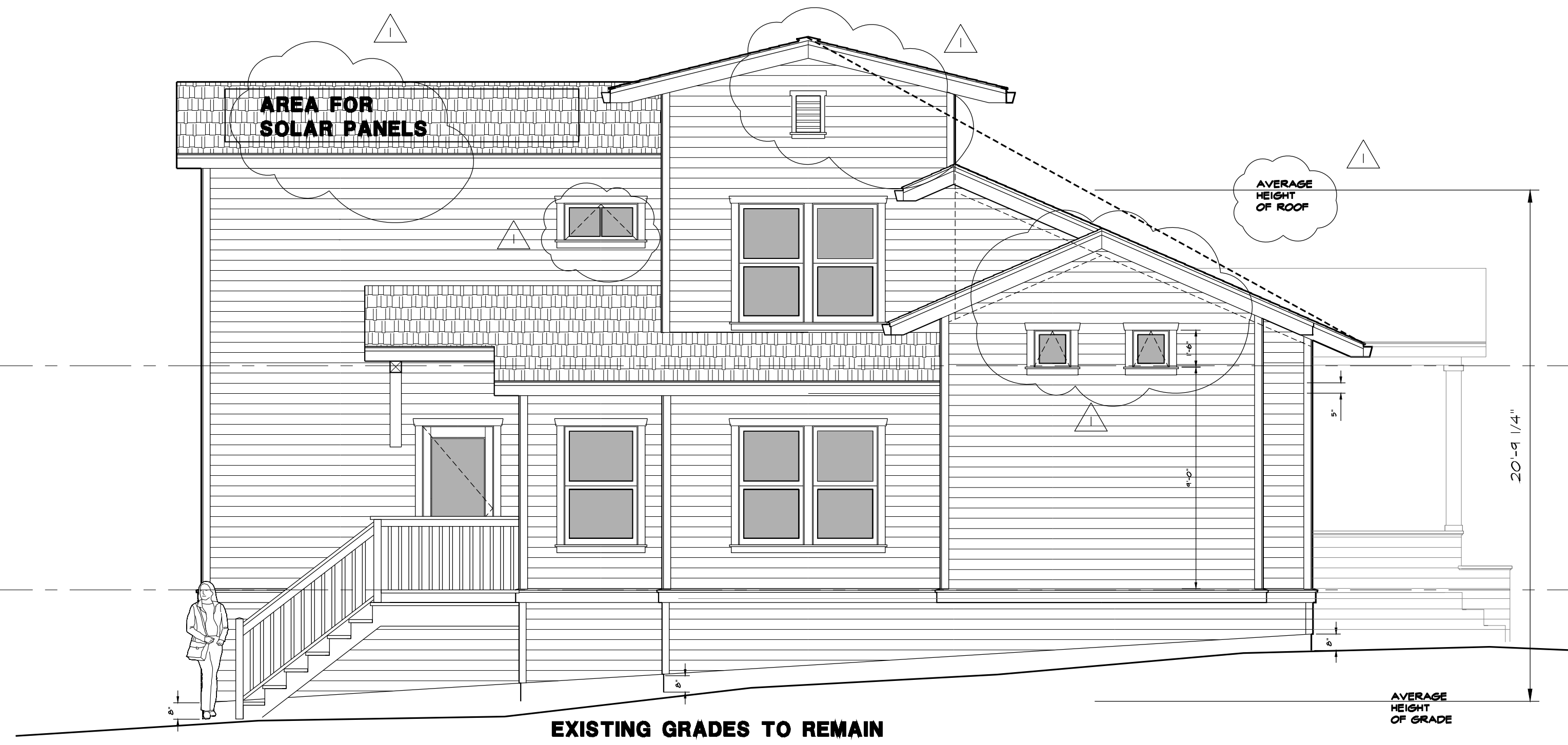


CLASS A COMP. SHINGLE ROOFING BY CERTAINEED LANDMARK PRO MAX DEF. MUIRE BLACK

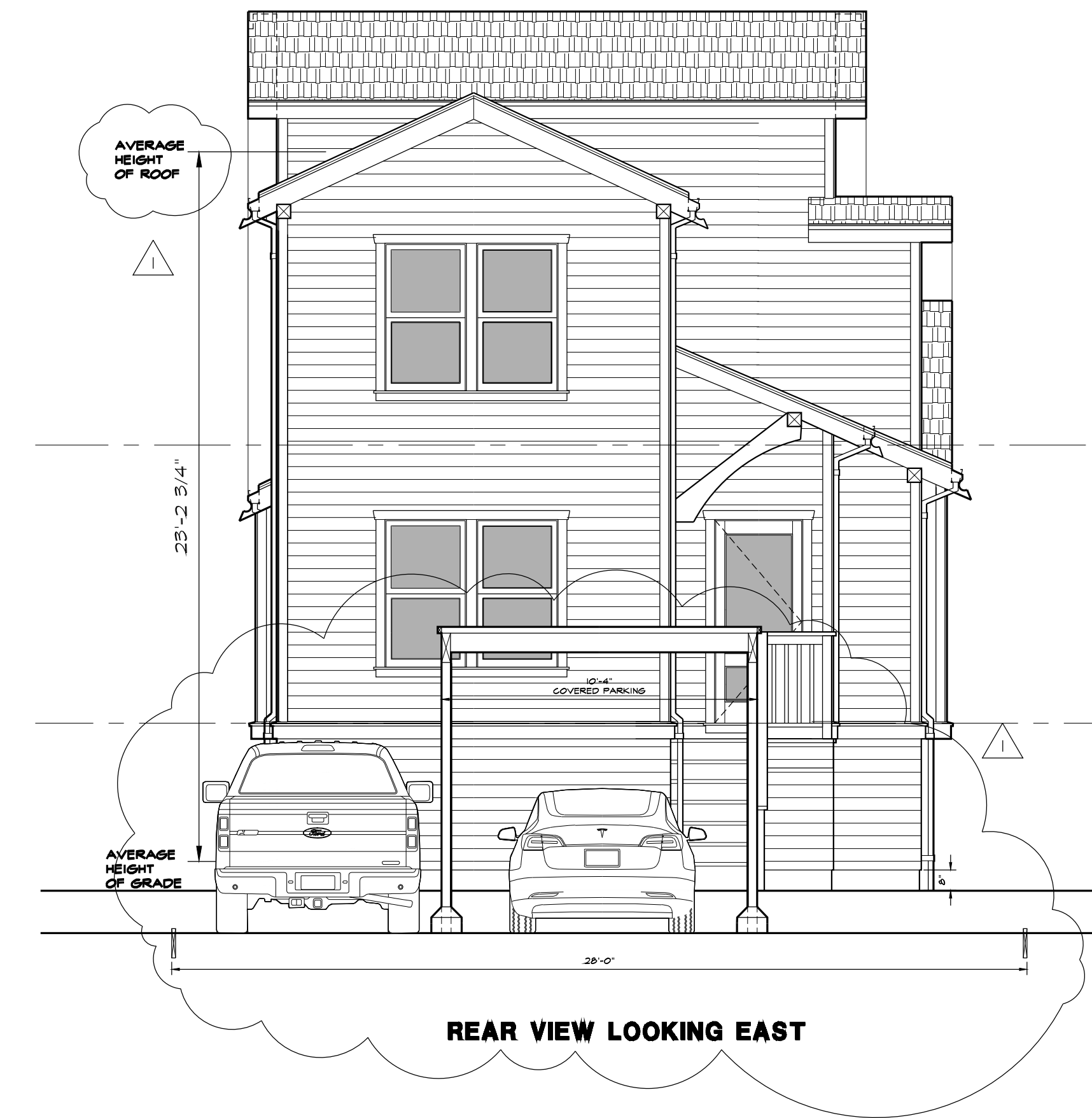
CEDAR SIDING SEE A/6.0 FOR SAMPLE SECTION PAINTED WITH BEHR ULTRA PURE WHITE BOTH BODY AND TRIM

WHITE MTL. GUTTERS & D.S.

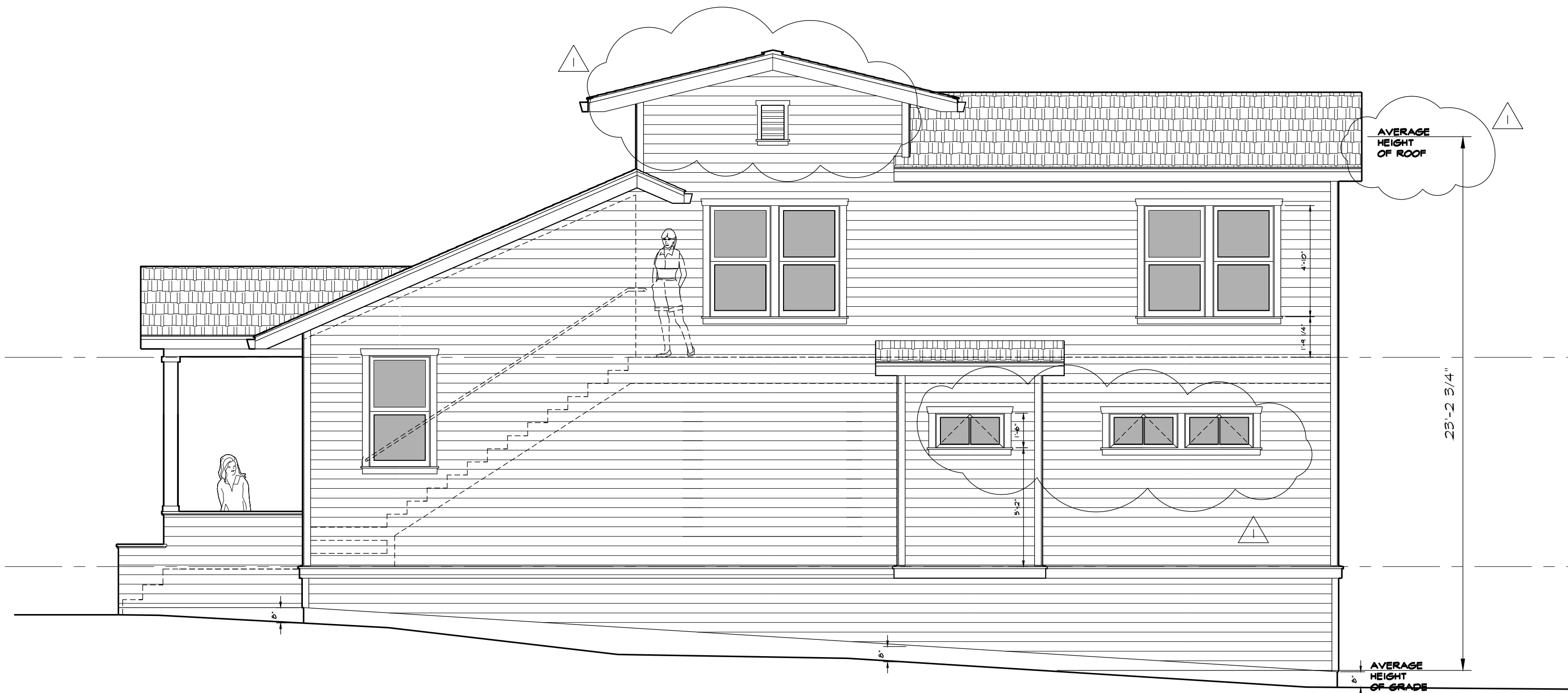
SIERRA PACIFIC METAL CLAD WOOD WINDOWS BLACK IN COLOR
2X2 WOOD PICKETS
2X WOOD STAIRS AND DECK



LEFT SIDE VIEW LOOKING NORTH



REAR VIEW LOOKING EAST



RIGHT SIDE VIEW LOOKING SOUTH



ENTRY VIEW LOOKING WEST

NEW RESIDENCE EXTERIOR ELEVATIONS

1/4"=1'-0"

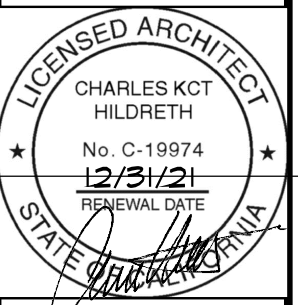
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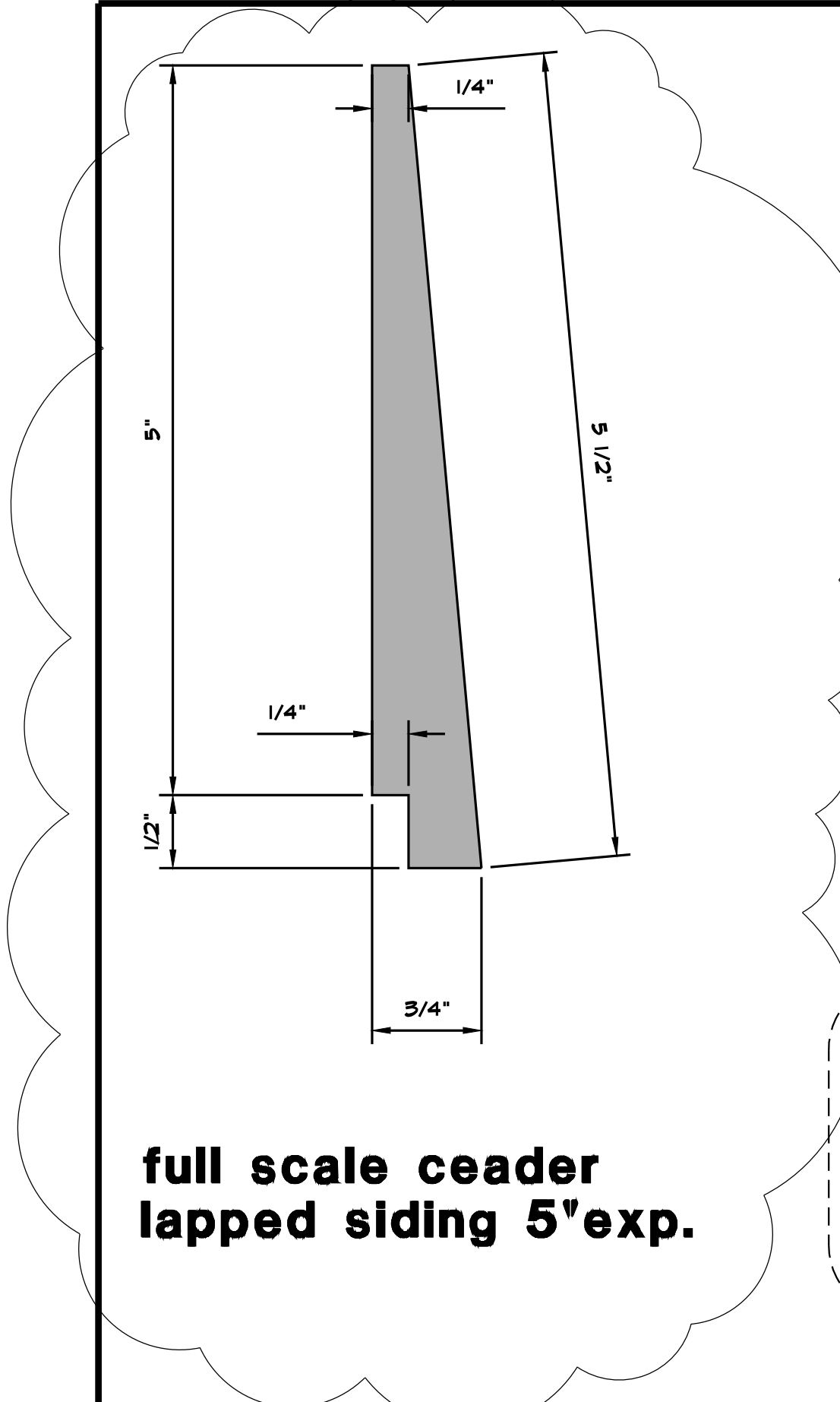
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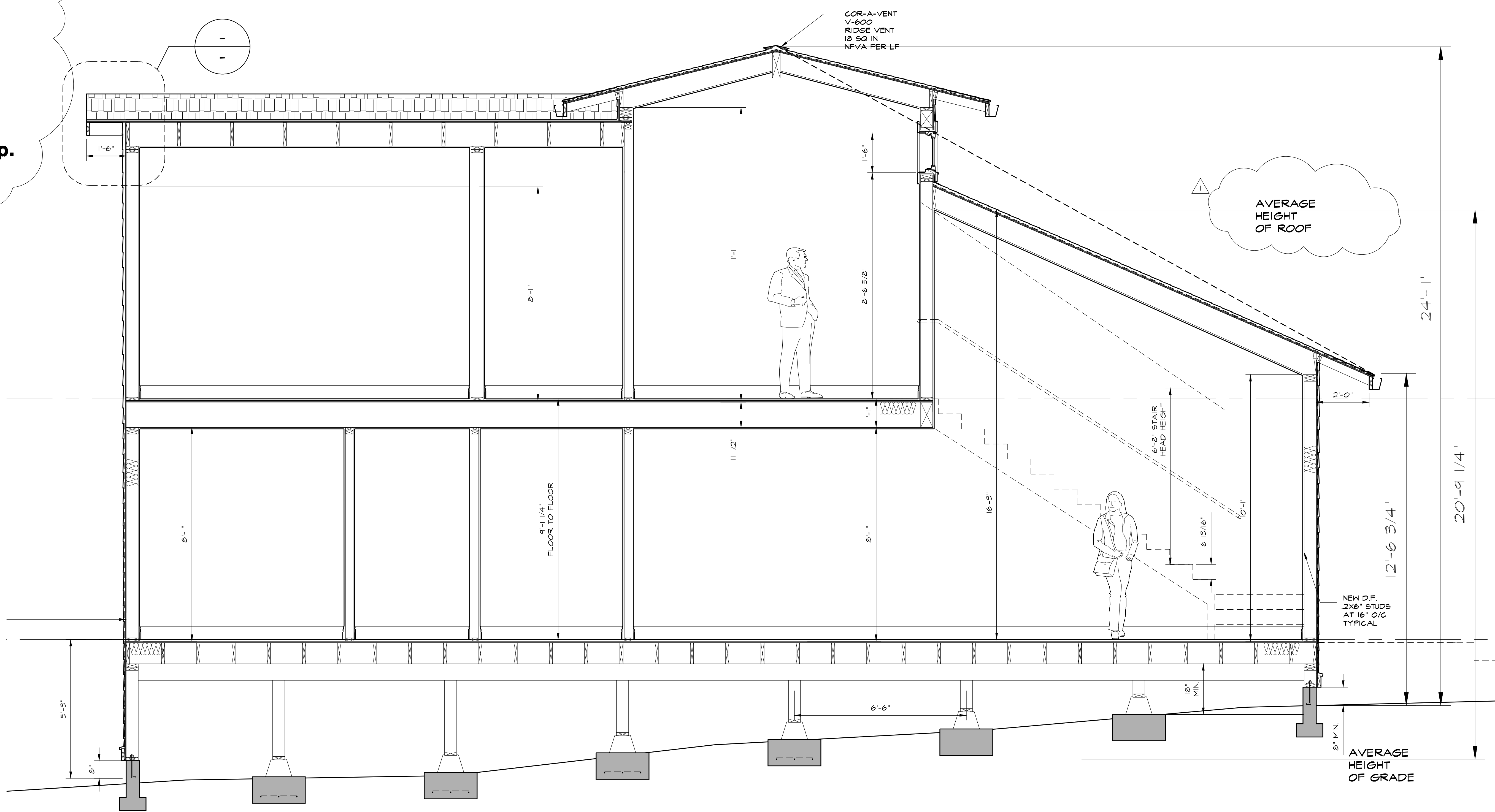
NEW ELEVATIONS



Date: 2/6/21
Scale: NOTED
Drawn: CHURCH
LB-A5.0elev-sec.dwg
Sheet:
A5.0



full scale cedar lapped siding 5'exp.



COR-A-VENT V-600 RIDGE VENT @ 20" IN NFVA PER LF

AVERAGE HEIGHT OF ROOF

AVERAGE HEIGHT OF GRADE

NEW LONG SECTION

1/2" = 1'-0"

PLOT DATE 7/8/2021 10:02:38 AM

REVISIONS	BY
1	CH

ARCHITECTURAL RENOVATIONS
Architectural Renovations
405 East 17th Street, Petaluma, Ca 94952 (707) 765-8658 | www.archrenov.com

BORSIAN NEW RESIDENCE
APN
323 Liberty Street
PETALUMA, Ca.
Owner: Sue and Larry Borsian
321 Liberty Street
PETALUMA, Ca.
PHONE: (707)

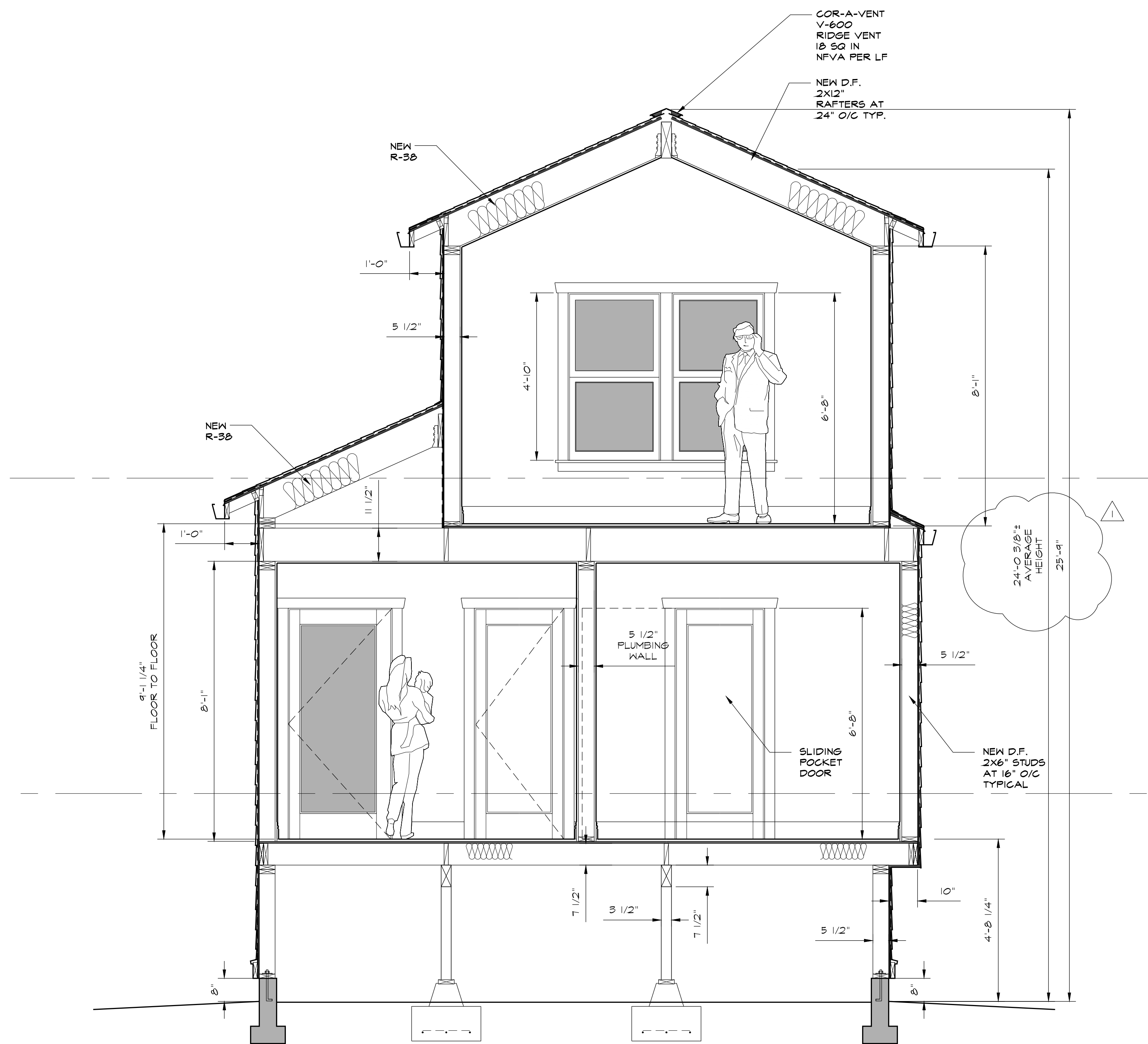
SECTIONS

LICENSED ARCHITECT
CHARLES KCT HILBRETH
No. C-19974
12/31/21
RENEWAL DATE
STATE OF CALIFORNIA

Date: 2/6/21
Scale: NOTED
Drawn: CHURCH
LB-A5.0elev-sec.dwg

Sheet: **A6.0**

PLOT DATE 7/19/2021 10:05:15 AM



NEW CROSS SECTION

1/2" = 1'-0"

REVISIONS	BY
1	CH

ARCHITECTURAL RENOVATIONS
 Architectural Renovations
 409 East 17 Street, Petaluma, Ca 94952, (707) 767-8606 | www.archrenovations.com

BORSIAN NEW RESIDENCE
 323 Liberty Street
 PETALUMA, Ca.
 APN
 Owner: Sue and Larry Borsian
 321 Liberty Street
 PETALUMA, Ca.
 PHONE: (707)

CROSS SECTION

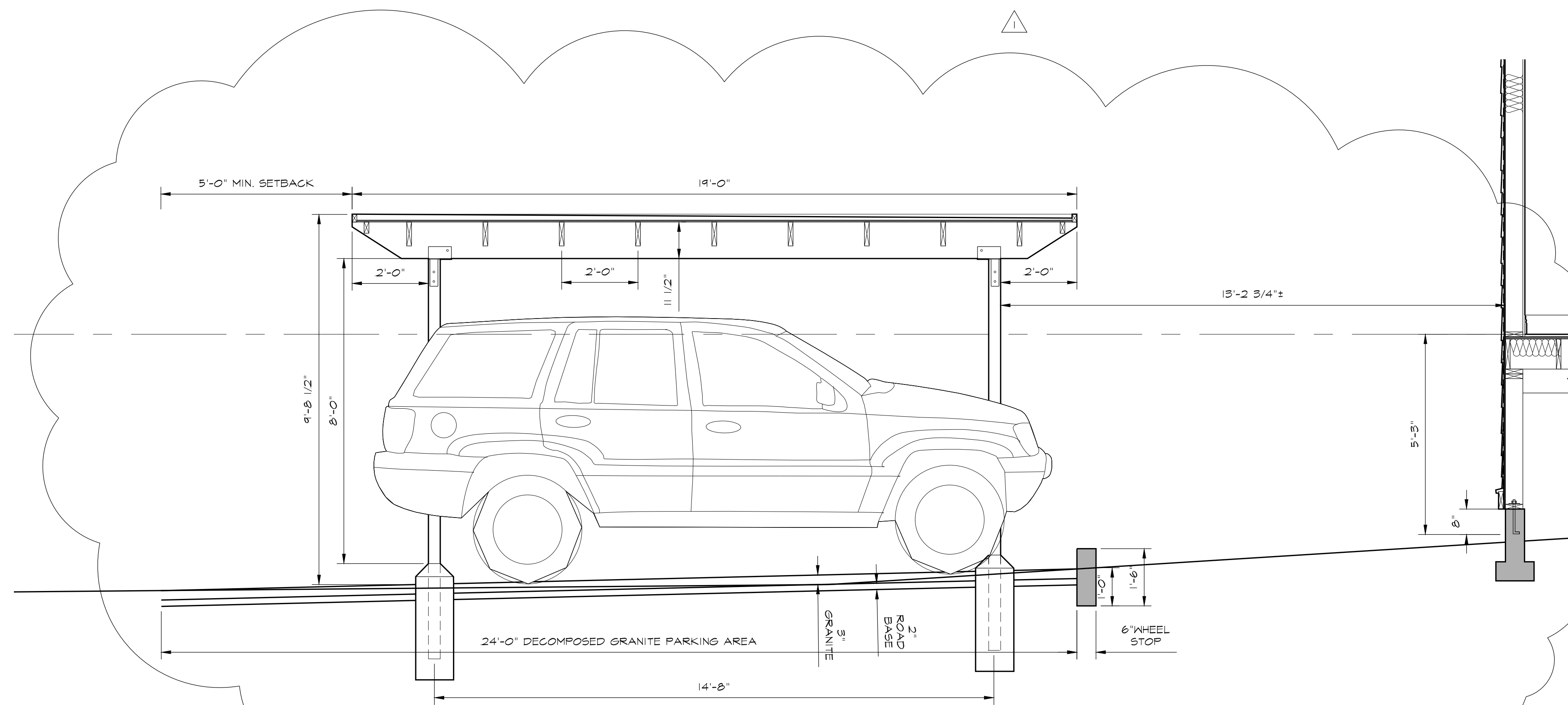
LICENSED ARCHITECT
 CHARLES KCT HILBRETH
 No. C-19974
 12/31/21
 RENEWAL DATE
 STATE OF CALIFORNIA

Date: 2/6/21
 Scale: NOTED
 Drawn: CHURCH

LB-A5.0elev-sec.dwg
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A6.1

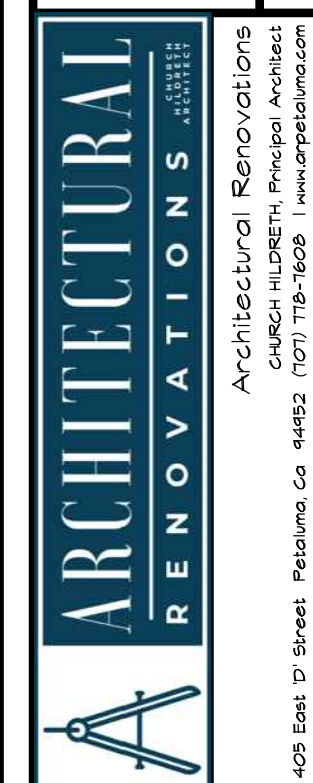
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SECTION AT CARPORT

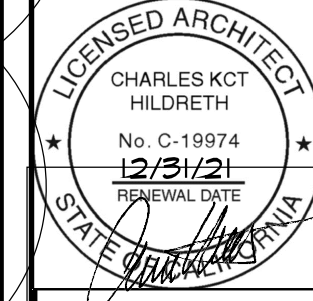
1/2" = 1'-0"

REVISIONS	BY
1	CH



BORSIAN NEW RESIDENCE
 323 Liberty Street
 PETALUMA, CA
 APN
 Owner: Sue and Larry Borsian
 321 Liberty Street
 PETALUMA, CA
 PHONE: (707)

SECTIONS



Date: 2/6/21
 Scale: NOTED
 Drawn: CHURCH
 LB-A5.0elev-sec.dwg

Sheet: **A6.2**