TOTAL NUMBER OF EVCS AT A FACILITY	MIN. NUMBER (by type) OF EVCS REQ'D TO COMPLY WITH SECTION 11B-812		
	VAN ACCESSIBLE	STD. ACCESSIBLE	AMBULATORY
1 to 4	1	0	0
5 to 25	1	1	0
26 to 50	1	1	1
51 to 75	1	2	2
76 to 100	1	3	3
101 and over	1, plus 1 for each 300, or fraction thereof, over 100	3, plus 1 for each 60, or fraction thereof, over 100	3, plus 1 for each 50, or fraction thereof, over 100

ELECTRIC VEHICLE (EV) CHARGING SPACE CALCULATION
(PER 2016 CGBC TABLE 5.106.5.3.3)

TOTAL NUMBER OF ACTUAL PARKING SPACES	NUMBER OF REQUIRED SPACES
0 to 9	0
10 to 25	1
26 to 50	2
51 to 75	4
76 to 100	5
101 to 150	7
151 to 200	10
201 and over	6 PERCENT OF TOTAL*

* CALCULATIONS SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

DESIGNATED PARKING FOR CLEAN AIR VEHICLES
(PER 2016 CGBC TABLE 5.106.5.2)

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED SPACES
0 to 9	0
10 to 25	1
26 to 50	3
51 to 75	6
76 to 100	8
101 to 150	11
151 to 200	16
201 and over	AT LEAST 8 PERCENT OF TOTAL

ELECTRIC VEHICLE CHARGING ANALYSIS:

TOTAL NUMBER OF ACTUAL PARKING SPACES 140
NUMBER OF REQUIRED EV CHARGING SPACES: 7
(PER TABLE 5.106.5.3.3 CGBC 2016)

NOTE: ALL SIGNAGE AND REQUIREMENTS OF 11B-812 SHALL APPLY. CONTRACTOR SHALL VERIFY ALL STRIPING AND SIGNAGE REQUIREMENTS PRIOR TO CONSTRUCTION.

BUILDING DATA:

HOTEL BUILDING:
- CONSTRUCTION TYPE: V-A HOUR FULLY SPRINKLERED
- AUTOMATIC SPRINKLER SYSTEM: NFPA 13 WITH ATTIC SPRINKLERED

POOL BUILDING:
- CONSTRUCTION TYPE: VB NON-SPRINKLERED
- AUTOMATIC SPRINKLER SYSTEM: NONE

BUILDING AREA:

TOTAL AREA: 84,940 S.F. (Combined Floors)

PORTE COCHERE: 758 S.F.

POOL BLDG: 104 S.F.

TOTAL AREA: 85,802 S.F.

HOTEL PARKING ANALYSIS:

PARKING REQUIRED:
GUESTROOMS: 1 SPACE PER UNIT 140
1 SPACE FOR OWNER/MANAGER 1
TOTAL PARKING SPACES REQUIRED 141

TOTAL PARKING SPACES PROVIDED 141
ACCESSIBLE PARKING SPACES REQUIRED 5

LOT COVERAGE:

PROPOSED HOTEL BUILDING:

BUILDING FOOTPRINT (1ST FLOOR + PORTE COCHERE + POOL BLDG.) .... 22,097 S.F.

LOT COVERAGE = 22,097 / 356,756.4 = ... 6.19%

EXISTING SYNERGY BUILDING:

BUILDING FOOTPRINT: .... 41,000 S.F.

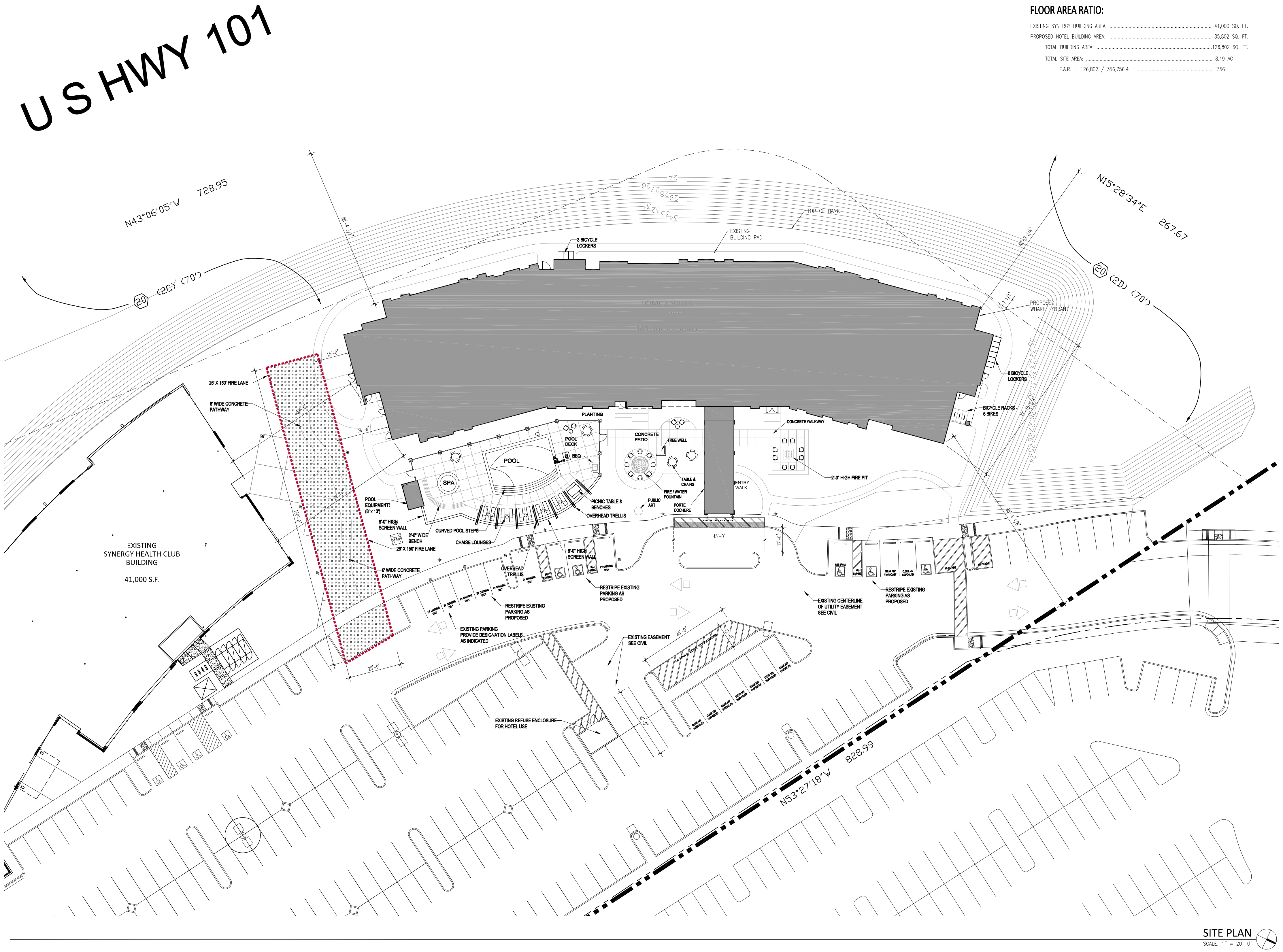
LOT COVERAGE = 41,000 / 356,756.4 = ... 11.49%

COMBINED BUILDINGS:

LOT COVERAGE = 6.19 + 11.49 = ... 17.69%

FLOOR AREA RATIO:

EXISTING SYNERGY BUILDING AREA: .... 41,000 SQ. FT.
PROPOSED HOTEL BUILDING AREA: .... 85,802 SQ. FT.
TOTAL BUILDING AREA: .... 126,802 SQ. FT.
TOTAL SITE AREA: .... 8.19 AC
F.A.R. = 126,802 / 356,756.4 = ... .356



SITE PLAN
SCALE: 1" = 20'-0"
NORTH

PROJECT INFO

PROJECT DESCRIPTION:

4 STORY, WOOD FRAMED HOTEL CONSTRUCTED OVER SLAB ON GRADE WITH BUILT UP ROOF AND STUCCO EXTERIOR. 140 TOTAL GUEST ROOMS WITH POOL AND PATIO FOR PATRONS ONLY.

BUILDING CONSTRUCTION:

ADDRESS: .... 1205 REDWOOD WAY; PETALUMA, CA 94954
CONSTRUCTION TYPE: .... V-A
OCCUPANCY CLASSIFICATION: R-1

CLIENT

OWNER:

OWNER - Basin Street Properties
POC- Frank Marinello
basin-street.com
P: 530-343-0963

TEAM

ARCHITECT:

PK ARCHITECTS
POC- Scott Kuitunen
4515 S. McClintock Dr, Suite 206
TEMPE, ARIZONA 85282
P: 602-283-1620
F: 602-283-1621
EMAIL: scott@pkarchitects.net

CIVIL ENGINEER:

BKF ENGINEERS/SURVEYORS/PLANNERS
POC- Martin B Parissenti
1650 Technology Dr; Suite 650
SAN JOSE, CALIFORNIA 95110
P: 408-467-9100
F: 408-467-9199
EMAIL: mparissenti@BKF.com

LANDSCAPE ARCHITECT:

BRIAN POWELL & ASSOCIATES
POC- Brian Powell
10 H Street
SAN RAFAEL, CALIFORNIA 94901
P: 415-491-4480
C: 415-602-0511
EMAIL: brian@brianpowelldesign.com

VICINITY MAP

NORTH

AERIAL CONTEXT

SHEET INDEX

SHEET A1.0 ARCHITECTURAL SITE PLAN
SHEET A1.1 FIRE / LIFE SAFETY SITE PLAN
SHEET A1.2 SITE PHOTOS
SHEET A2.1 1ST FLOOR PLAN / 2ND FLOOR PLAN
SHEET A2.2 3RD FLOOR PLAN / 4TH FLOOR PLAN
SHEET A2.3 ROOF PLAN
SHEET A3.1 BUILDING ELEVATIONS
SHEET A3.2 BUILDING SECTION

SHEET L1 LANDSCAPE LAYOUT AND LIGHTING PLAN
SHEET L2 LANDSCAPE CONSTRUCTION DETAILS
SHEET L3 LANDSCAPE PLANTING PLAN, LEGEND & DETAILS

SHEET C1 CIVIL NOTES & LEGENDS
SHEET C2 CIVIL EXISTING CONDITIONS
SHEET C3 CIVIL DEMOLITION PLAN
SHEET C4 CIVIL GRADING PLAN & SITE SECTION
SHEET C5 CIVIL UTILITY PLAN
SHEET C6 CIVIL STORM WATER CONTROL PLAN

LICENSED ARCHITECT
C-14164
6/30/2019
RENEWAL DATE
STATE OF CALIFORNIA
08/02/2018

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1205 REDWOOD WAY
PETALUMA, CA 94954

REVISION: DATE: COMMENTS:

PROJECT NO: 18305
DATE:
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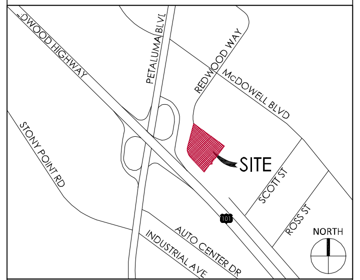
CHECKED BY: –

SHEET TITLE:
ARCHITECTURAL SITE LAYOUT PLAN

SHEET NUMBER:
A1.0

CITY SPAR SUBMITTAL 12-13-18

VICINITY MAP



AERIAL CONTEXT

PROJECT INFO

PROJECT DESCRIPTION:

4 STORY, WOOD FRAMED HOTEL CONSTRUCTED OVER SLAB ON GRADE WITH BUILT UP ROOF AND STUCCO EXTERIOR. 140 TOTAL GUEST ROOMS WITH POOL AND PATIO FOR PATRONS ONLY.

BUILDING CONSTRUCTION:

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CONSTRUCTION TYPE: .... V–A
OCCUPANCY CLASSIFICATION: R–1

BUILDING DATA:

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AUTOMATIC SPRINKLER SYSTEM: NFPA 13 WITH ATTIC SPRINKLERED

POOL BUILDING:
CONSTRUCTION TYPE: VB NON–SPRINKLERED
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TOTAL AREA: 84,940 S.F. (Combined Floors)
PORTE COCHERE: 758 S.F.
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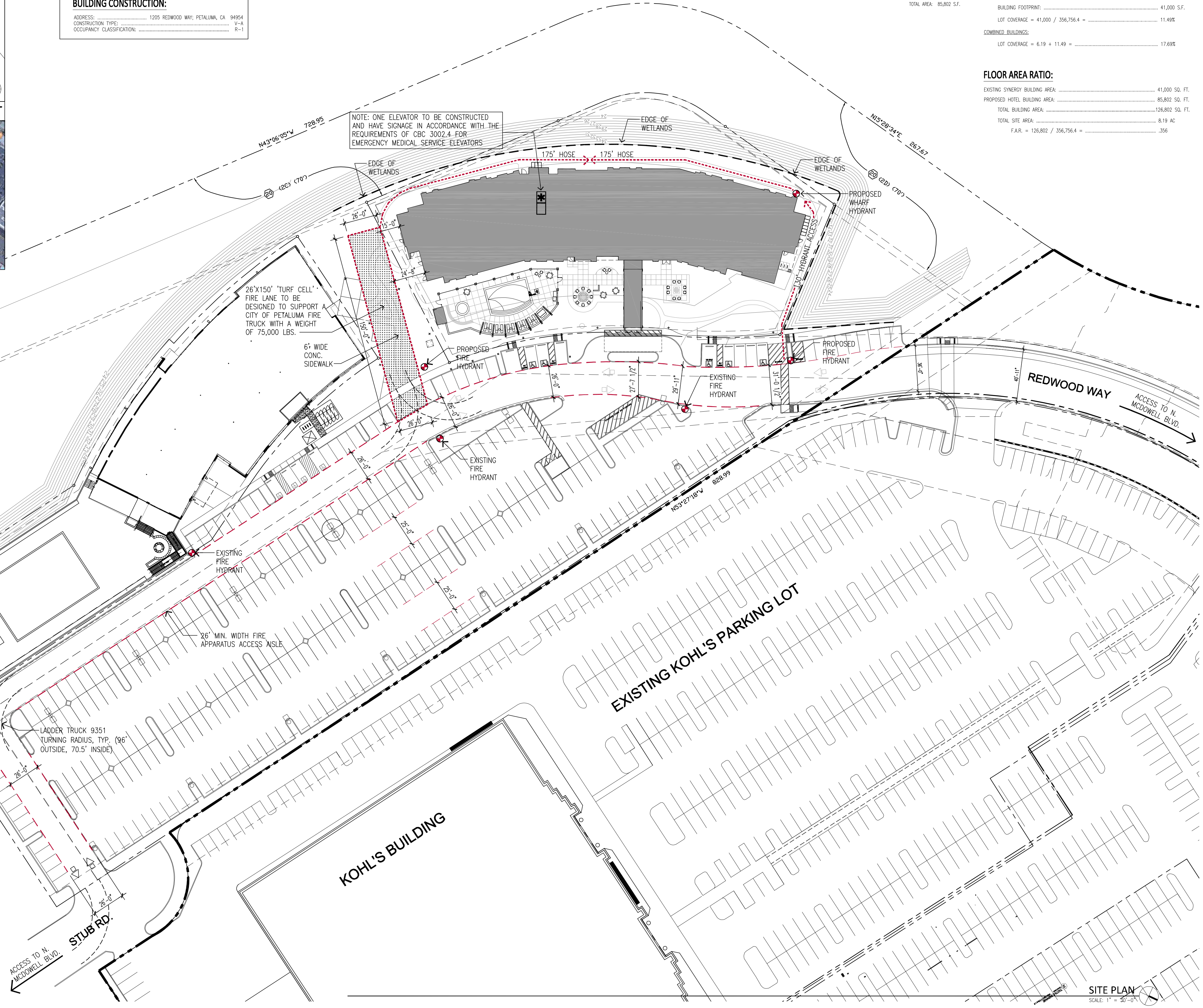

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FAX: (602) 283-1621

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PETALUMA, CA 94954

REVISION:	DATE:	COMMENTS:

PROJECT NO:	18305
DATE:	
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CHECKED BY:	—

SHEET TITLE:
FIRE / LIFE SAFETY SITE PLAN

SHEET NUMBER:
A1.1

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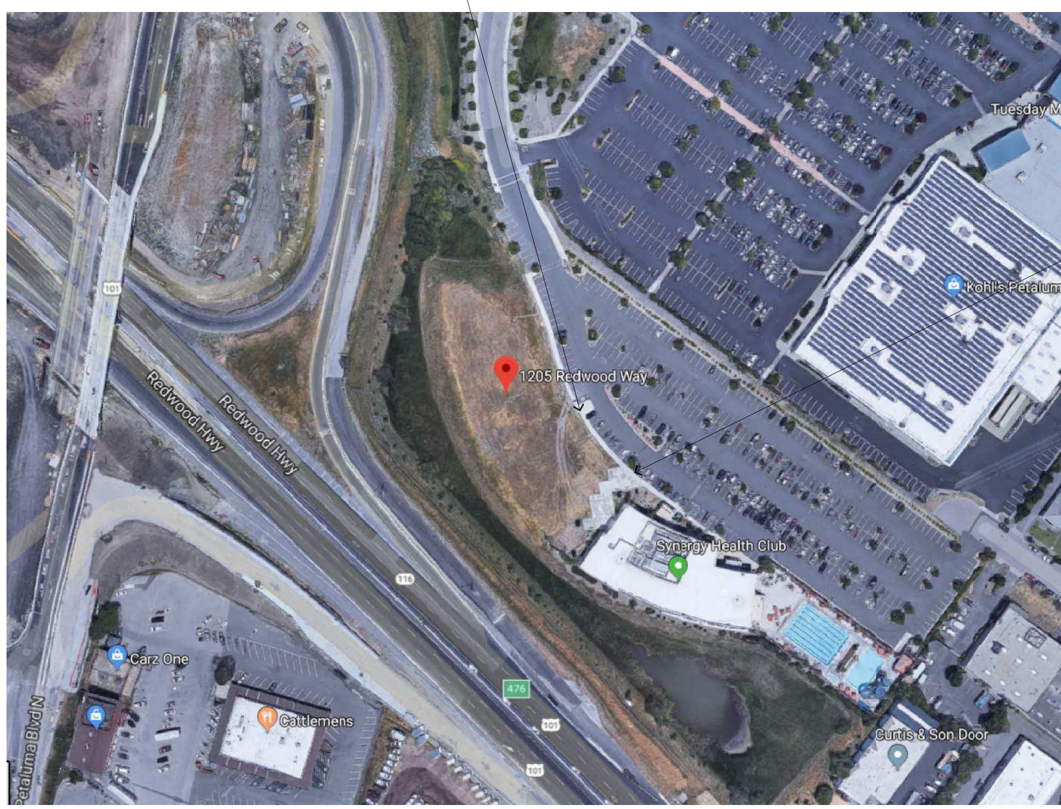
PHOTO 'A'

PHOTO 'B'



SITE AERIAL PHOTO EXHIBIT

PHOTO 'A'

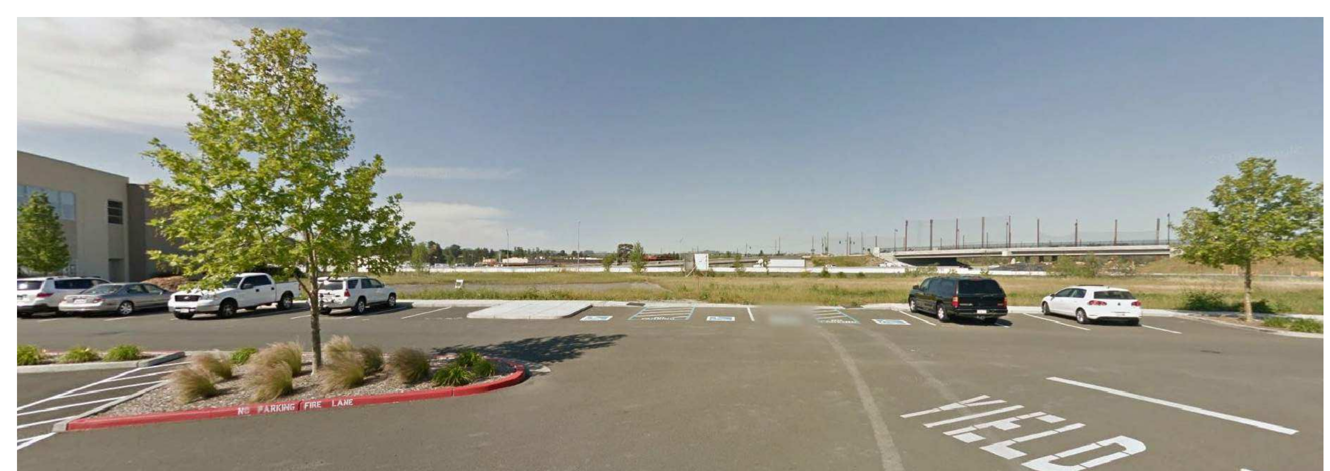


PHOTO 'B'

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REVISION:	DATE:	COMMENTS:

PROJECT NO: 18305
DATE:
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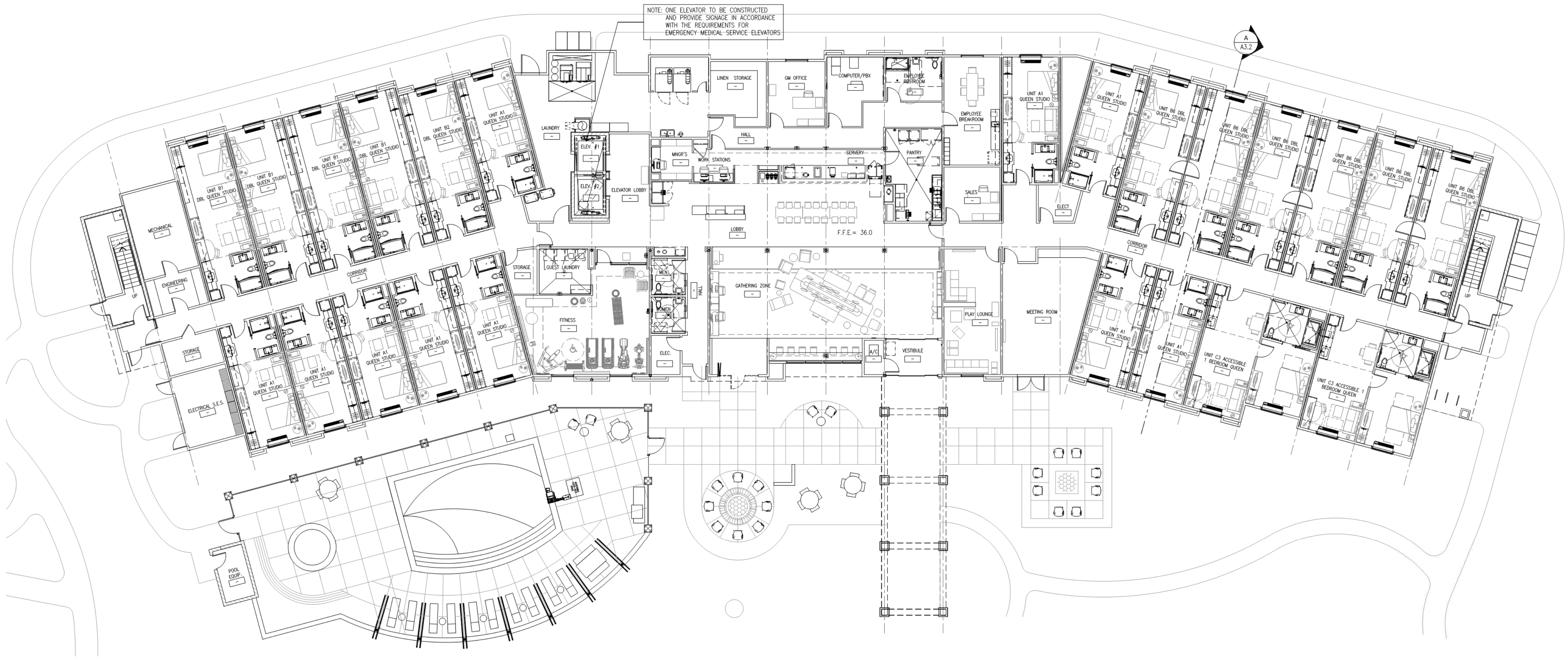
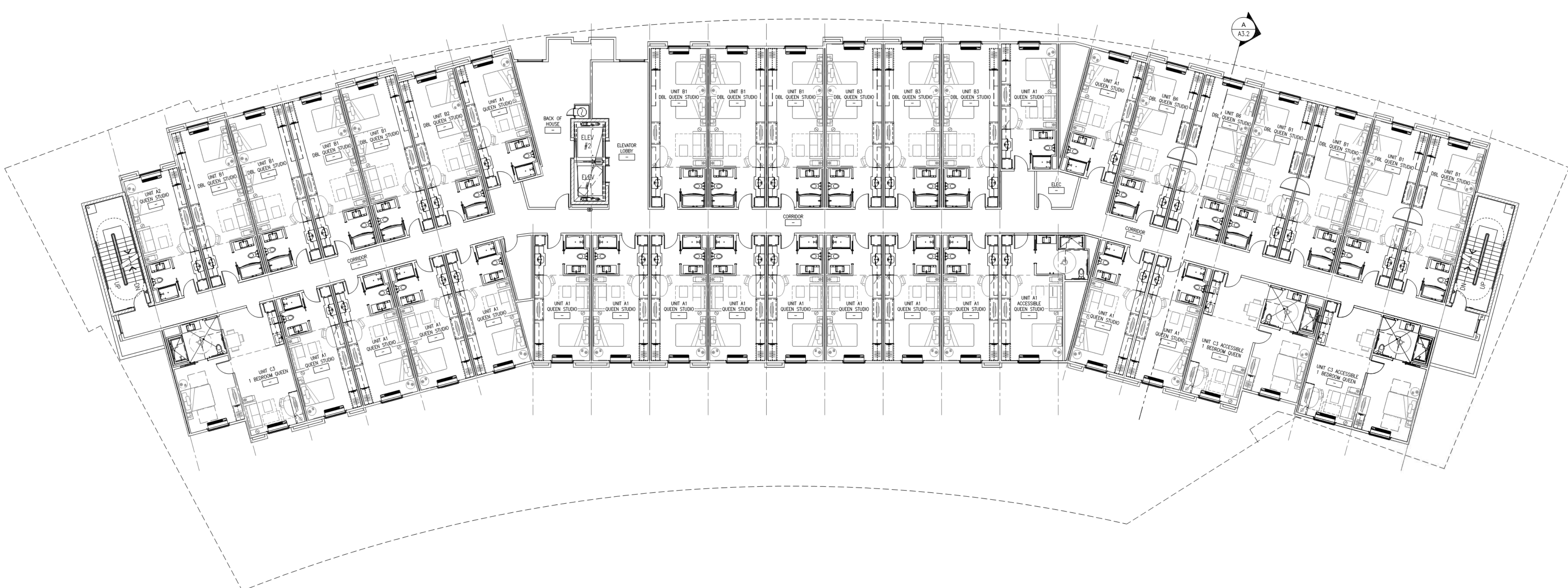
SHEET TITLE:
SITE PHOTOS

SHEET NUMBER:
A1.2

CITY SPAR SUBMITTAL 12-13-18



1ST FLOOR - FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH



2ND FLOOR - FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

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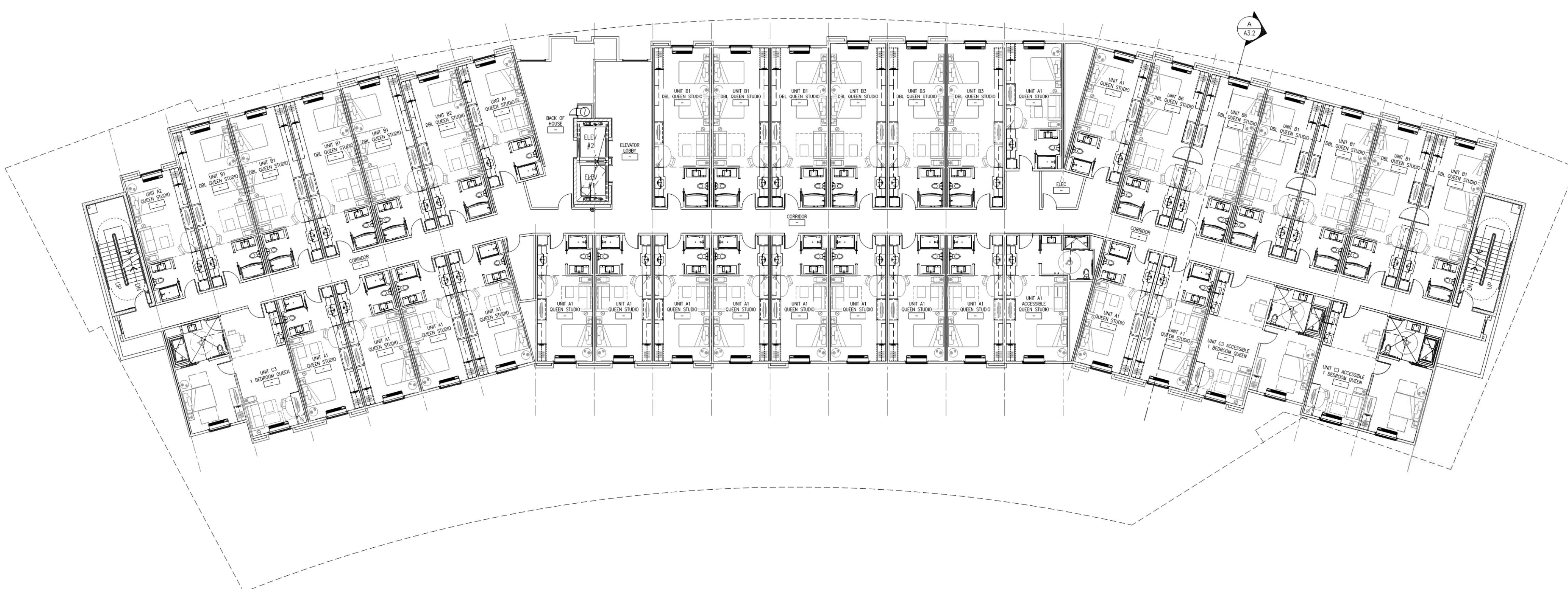
SHEET TITLE:
1ST & 2ND FLOOR FLOOR PLAN

CITY SPAR SUBMITTAL 12-13-18

SHEET NUMBER:
A2.1

3RD FLOOR - FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH



4TH FLOOR - FLOOR PLAN
SCALE: 3/32" = 1'-0"
NORTH

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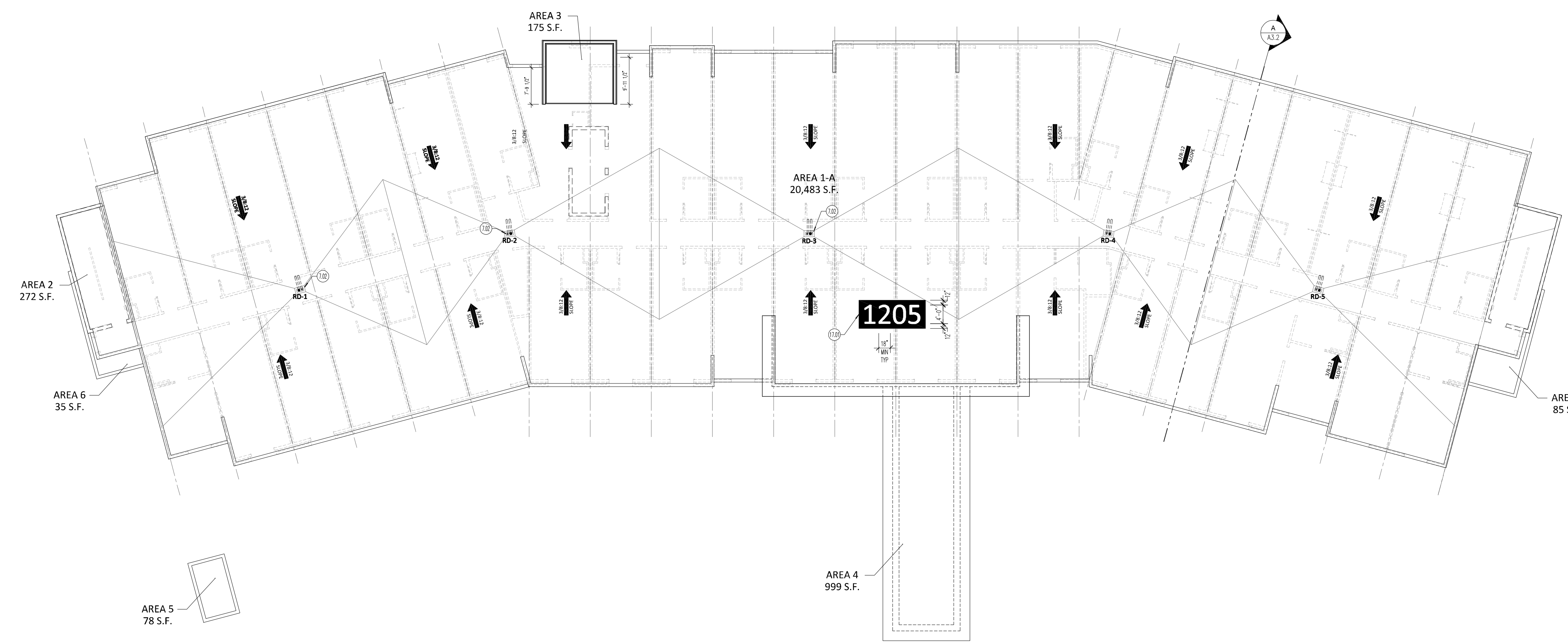
SHEET TITLE:
3RD & 4TH FLOOR FLOOR PLANS

SHEET NUMBER:
A2.2

CITY SPAR SUBMITTAL 12-13-18



ROOF PLAN
SCALE: 3/32" = 1'-0"
1
NORTH

C-14164
6/30/2019
08/02/2018

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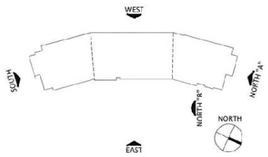
SHEET TITLE:
OVERALL ROOF PLAN

SHEET NUMBER:
A2.3

CITY SPAR SUBMITTAL 12-13-18

KEY PLAN



MATERIAL & LEGEND

EXTERIOR COLORS:

- 1A FINE GRAIN (DE6213) EIFS: SANDBLAST NTX FINISH
- 1B TEA BAG (DE6062) EIFS: SANDBLAST NTX FINISH
- 1C WHOLE WHEAT (DE6124) EIFS: SANDBLAST NTX FINISH
- 1D LIMELIGHT (DE5516) EIFS: SANDBLAST NTX FINISH

EXTERIOR TILE:

- 7A CROSSVILLE TILE – COLOR: TED

WINDOWS & DOORS:

- 3A ALUMINUM P-TAC, WINDOWS, AND STOREFRONT: CLEAR ANODIZED
- 3B PAINTED HOLLOW METAL DOORS AND FRAMES: – MATCH ADJACENT EIFS COLOR

METALS

- 4A MATCH COLOR OF EXTERIOR FINISH "1B" DUNN EDWARDS COLOR "DE6062" (TRELLIS BEAM, METAL FENCE, GATE)

KEYNOTES:

07 THERMAL & MOISTURE PROTECTION

- 7.01 EIFS EXTERIOR FINISH SYSTEM OVER 2" MIN. EPS– THESE AREAS LABELED +/2"– ADDITIONAL PROJECTION CREATED BY UP TO 2" MORE EPS OR FRAMING– SEE FLOOR PLANS, SECTIONS, AND SPECIFICATIONS FOR CLARIFICATION
- 7.02 EIFS CONTROL JOINT – SEE DETAILS 17/A8.3 & 18/A8.3
- 7.03 24 GAUGE ROLLFAB METAL CAP W/ KYNAR 500 FINISH MATCH ADJACENT SURFACES – SEE DETAIL 1/A8.3

15 MECHANICAL

- 15.01 WALL LOUVER PAINT TO MATCH SURROUNDING WALL/MATERIAL COLOR – SEE MECHANICAL DRAWINGS FOR SIZE
- 15.02 MECHANICAL UNIT BEYOND – COORDINATE PARAPET SCREENING W/ EQUIPMENT MANUFACTURER PRIOR TO CONSTRUCTION

17 MISCELLANEOUS

- 7.01 PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT
- 7.02 OPAQUE LAMINATED GLASS BEACON ELEMENT

EXTERIOR FINISH NOTES:

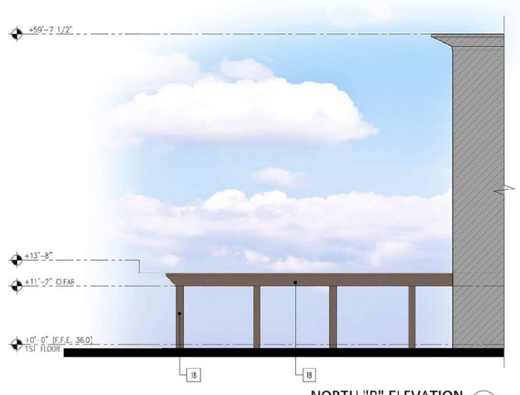
- CLAD-EX WINDOWS AND ALUMINUM STOREFRONT COMPONENTS TO CLEAR ANODIZED FINISH
- SQUARE ALL EIFS CORNERS
- ALL EIFS TO BE INTEGRALLY COLORED U.N.O
- ALL PAINT TO BE DUNN EDWARDS
- WALL TILE TO BE CREVETED PER ELEVATION AND SET PER MANUFACTURER STANDARDS AND DETAILS.

GENERAL NOTES:

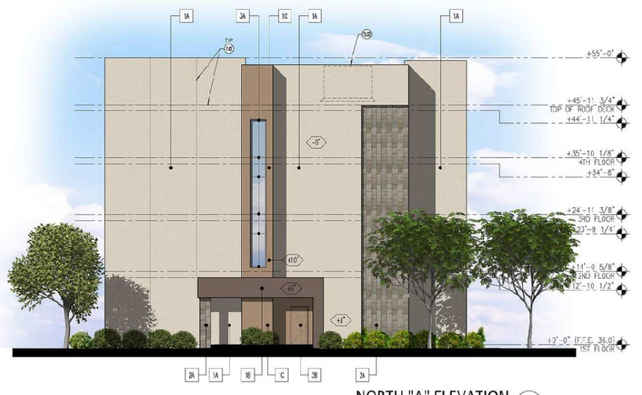
1. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT. COMPLY WITH ALL VIEW ANGLES.

EAST ELEVATION 1
SCALE: 3/32" = 1'-0"

SOUTH ELEVATION 4
SCALE: 3/32" = 1'-0"



NORTH "B" ELEVATION 3
SCALE: 3/32" = 1'-0"



NORTH "A" ELEVATION 2
SCALE: 3/32" = 1'-0"

WEST ELEVATION 5
SCALE: 3/32" = 1'-0"

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HOME 2 SUITES BY HILTON
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PETALUMA, CA 94954

REVISION: DATE: COMMENTS:

PROJECT NO: 18305
DATE:
DRAWN BY: --
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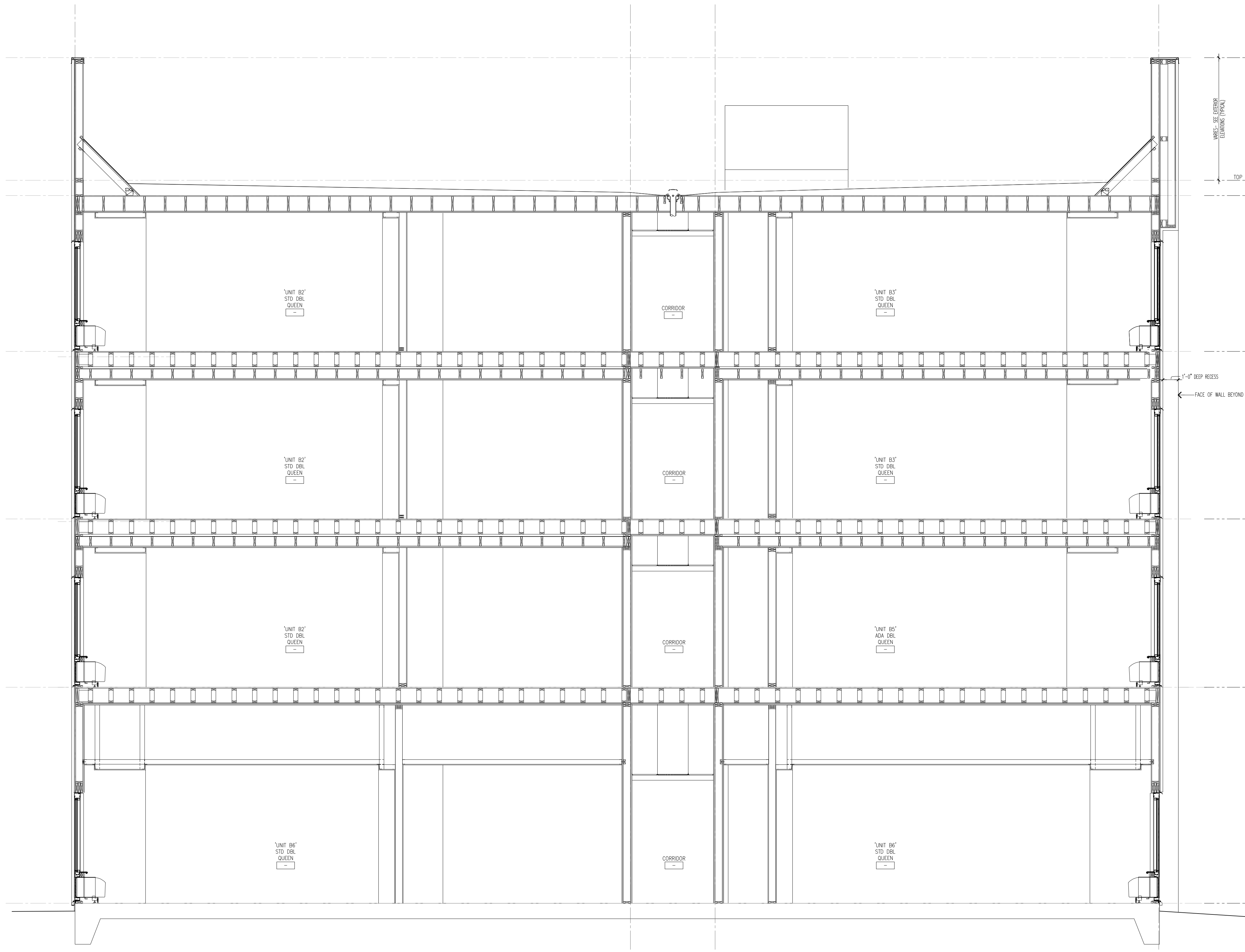
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A3.1



BUILDING SECTION (A)
SCALE: 3/8" = 1'-0"

C-14164
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1205 REDWOOD WAY
PETALUMA, CA 94954

REVISION: DATE: COMMENTS:

PROJECT NO: 18305
DATE:
DRAWN BY: –
CHECKED BY: –

SHEET TITLE:
BUILDING SECTION

SHEET NUMBER:
A3.2

CITY SPAR SUBMITTAL 12-13-18

GENERAL NOTES

1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM WITH THE SPECIFICATIONS, STANDARDS, AND ORDINANCES OF THE CITY OF PETALUMA.
2. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE "SONOMA COUNTY WATER AGENCY FLOOD CONTROL DESIGN STANDARDS" AND THE CITY OF PETALUMA "STORM DRAIN DETAIL SPECIFICATION NO.31".
3. UNLESS OTHERWISE NOTED AND APPROVED BY THE CITY OF PETALUMA, SEWER LATERALS SHALL HAVE 3' FEET OF COVER (FRONT T.C AT CURB LINE). SEWER LATERALS SHALL BE PLACED UNDER JOINT TRENCH UTILITIES AND KEPT CLEAR OF DRIVEWAYS.
4. MANHOLE FRAMES AND COVERS SHALL BE BROUGHT TO FINISHED GRADE AFTER PAVING.
5. THE CONCRETE CONTRACTOR SHALL STAMP THE LETTER "S" ON THE FACE OF CURB DIRECTLY ABOVE A SEWER LATERAL, "W" ON THE FACE OF CURB DIRECTLY ABOVE THE WATER SERVICES AND "B" ON THE FACE OF CURB ABOVE A BLOWOFF OR AIR RELIEF VALVE. LETTERS SHALL BE NEAR, CLEAR, AND 4" HIGH.
6. ALL STREET MONUMENTS, LOT CORNER PIPES, AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED AT THE OWNER'S EXPENSE BEFORE THE FINAL ACCEPTANCE OF THE SUBDIVISION BY THE CITY OF PETALUMA.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE AGENCIES.
8. THE CITY ENGINEER SHALL HAVE TWENTY-FOUR (24) HOURS NOTICE FOR INSPECTIONS.
9. THE NEW WATER LINES SHALL NOT BE PHYSICALLY CONNECTED TO THE CITY WATER SYSTEM UNTIL TESTED, CHLORINATED, AND APPROVED. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 3.5' FEET FROM FINISHED GRADE.
10. WHEREVER POSSIBLE, GATE VALVES SHOULD BE LOCATED ON THE PROJECTION OF CURB LINES.
11. FIVE (5) HOURS MAXIMUM IS ALLOWED FOR SHUTDOWN TIME OF EXISTING MAINS WHILE MAKING CONNECTIONS. TWENTY-FOUR (24) HOURS NOTICE OF SHUTDOWNS IS TO BE GIVEN BY THE CONTRACTOR TO ALL WATER CUSTOMERS. EXISTING VALVES TO BE OPERATED BY CITY WATER DIVISION PERSONNEL ONLY.
12. WATER SERVICES SHALL BE PLACED OVER THE TOP OF THE UNDERGROUND JOINT TRENCH UTILITIES. WATER AND SEWER SERVICES SHALL NOT BE INSTALLED WITHIN CURB CUTS FOR DRIVEWAYS.
13. ALL WATER MAINS, WATER SERVICES, AND SEWER LATERALS SHALL BE ACCURATELY LOCATED BY THE OWNER'S UNDERGROUND CONTRACTOR AND SHOWN ON THE CONSTRUCTION PLANS. ONE SET OF CONSTRUCTION "DRAWINGS OF RECORD" BY THE OWNER'S UNDERGROUND CONTRACTOR, SHALL BE RETURNED TO THE CITY ENGINEER BY THE OWNER.
14. AGGREGATED BASE MATERIALS SHALL BE PLACED IN ACCORDANCE WITH SECTION 26-1.04 OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA, DATED JULY 1988.
15. THE SURFACE COURSE OF ASPHALT CONCRETE SHALL CONSIST OF 1/2" MAXIMUM MEDIUM GRADE AGGREGATE.
16. THE OWNER SHALL BE CHARGED FOR THE COST OF ALL LABORATORY AND FIELD TEST WHERE TEST RESULTS DO NOT MEET SPECIFICATIONS.
17. BENCHMARK: USGS BM 224 STANDARD BRASS CAP AT R/W FENCE 1000FT SOUTH OF ELY ROAD ALONG RAILROAD TRACKS. ELEV = 22.63
18. EXCAVATIONS OVER FIVE (5') FEET DEEP REQUIRE AN EXCAVATION PERMIT FROM THE STATE DEPARTMENT OF INDUSTRIAL SAFETY.
19. ALL UNDERGROUND CONTRACTORS SHALL CALL "UNDERGROUND SERVICE ALERT" AT (800) 642-2444 AT LEAST ONE WEEK PRIOR TO START OF CONSTRUCTION FOR LOCATING UNDERGROUND UTILITIES.
20. CURBS AND SIDEWALKS SHALL BE FORMED AND FINISHED SO THAT GRADE BREAKS ARE ROUNDED OFF.
21. STREET SIGNING AND STRIPING SHALL BE INSTALLED TO CONFORM WITH THE CURRENT EDITION OF THE CALTRANS TRAFFIC MANUAL.
22. CONTRACTOR SHALL COMPLY FULLY WITH THE REQUIREMENTS OF ASSEMBLY BILL (2040) DAVIS, ASBESTOS.
23. ALL RCP SHALL BE CLASS III UNLESS OTHERWISE NOTED. ALL CATCH BASINS SHALL BE PER CITY OF PETALUMA STANDARDS.
24. CONSTRUCTION HOURS ARE LIMITED TO 7:30 A.M. TO 5:30 P.M. MONDAY THROUGH FRIDAY, WITH ADDITIONAL LIMITATIONS.
25. ALL CITY OF PETALUMA STANDARD DETAIL PLANS AND DETAIL SPECIFICATIONS AS AMENDED ARE PART OF THESE PLANS.
26. IN THE EVENT THAT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, WORK SHALL BE HALTED TEMPORARILY AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR EVALUATION OF THE ARTIFACTS AND TO RECOMMEND FUTURE ACTION. THE LOCAL INDIAN COMMUNITY SHALL ALSO BE NOTIFIED AND CONSULTED IN THE EVENT ANY ARCHAEOLOGICAL REMAINS ARE UNCOVERED.
27. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT FOR CORPORATE CAMPUS SITE, PROJECT NUMBER 41-7522-01/001 DATED SEPTEMBER 10, 1999, PREPARED BY KLEINFELDER, INC.
28. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
29. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
30. CONTRACTOR SHALL REPLACE OR REPAIR, AT HIS OWN EXPENSE, ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED EXISTING UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, TO THEIR ORIGINAL CONDITION, WHETHER SHOWN ON THE PLANS OR NOT. GAS REPLACEMENT OR REPAIR WORK MUST BE COORDINATED WITH THE CITY OF PETALUMA.
31. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING AND/OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EVERY WORK DAY.
32. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE (5') FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS AT ALL TIMES.
33. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR THE ENTIRE PROJECT SITE AT ALL TIMES. THE SITE SHALL BE SPRINKLED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE OWNER WHO WILL BACK CHARGE THE CONTRACTOR.
34. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, BKF ENGINEERS AT (408) 467-9100, BEFORE PROCEEDING WITH THE WORK IN QUESTION.
35. TEMPORARY TRAFFIC CONTROL CONSTRUCTION OPERATIONS SHALL BE PROVIDED BY THE CONTRACTOR.
36. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
37. ELEVATIONS AND LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.

DEMOLITION

1. ANY EXISTING WOOD OR CONCRETE STRUCTURES, PIPES, CABLE, OR OTHER FEATURES NOT REMOVED DURING DEMOLITION OR ROUGH GRADING, AND ENCOUNTERED DURING THE WORK TO BE PERFORMED UNDER THESE PLANS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AS FOLLOWS:
   - A) WOOD OR CONCRETE STRUCTURES, SLABS, FOOTING, GRADE BEAMS, DECKS, DOCKS, PILE CAPS, ETC. SHALL BE REMOVED TO A MINIMUM OF ONE (1') FOOT BELOW UTILITY TRENCH BOTTOMS OR SUBGRADE.
   - B) WOOD OR CONCRETE PILES SHALL BE REMOVED AND CONED TO (1') FOOT BELOW UTILITY TRENCH BOTTOMS OR SUBGRADE.
   - C) PIPES AND CABLES SHALL BE REMOVED TO ONE (1') FOOT BELOW AND BEYOND UTILITY TRENCH SIDES OR SUBGRADE AND PLUGGED.
   - D) ALL MANHOLES, CATCH BASINS, VAULTS, ETC. SHALL BE REMOVED TO ONE (1') FOOT BELOW SUBGRADE (BOTTOM OF SAID STRUCTURE TO BE BROKEN THRU FOR DRAINAGE) AND ALL PIPES OR CONDUITS PLUGGED WITH SIX (6") INCHES OF LIGHTWEIGHT CONCRETE PRIOR TO BACKFILLING.
   - E) ALL EXISTING IMPROVEMENTS AND UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.

DEWATERING

1. PRIOR TO THE PLACEMENT OF ANY FILL, AREAS COVERED WITH STANDING WATER SHALL BE DEWATERED. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DEWATERING OF WORK IN PROGRESS, OR COMPLETED UNTIL ACCEPTANCE OF THE ENTIRE PROJECT BY THE OWNER. WATER REMOVED FROM DEWATERING SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE AND/OR LOCAL REGULATIONS.

UTILITIES

1. A MINIMUM OF TWELVE (12") INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN ADJACENT UTILITY PIPES AT ALL UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
2. ALL UTILITY BOXES AND LIDS IN PAVED AREAS SHALL ACCEPT H-20 LOADS AND BE ADJUSTED TO FINISHED GRADE UNLESS OTHERWISE NOTED.
3. THE PIPE LENGTHS SHOWN ARE FOR PURPOSES OF ENGINEERING CALCULATIONS AND ARE NOT INTENDED FOR BID QUANTITIES OR ORDERING OF MATERIALS.
4. ALL GRAVITY FLOWING SYSTEMS SHALL PROCEED FROM THE DOWNSTREAM CONNECTION TO THE UPSTREAM TERMINUS.
5. ALL LINEAR FEET OR PIPE IS BASED ON CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE UTILITIES DEPARTMENT IF THE EXISTING WATER, SEWER, OR GAS MAINS OR SERVICES ARE DISTURBED OR DAMAGED.
7. WATER SERVICE ABANDONMENT PROCEDURE:

   EXCAVATE THE EXISTING WATER SERVICE AT THE MAIN.

   FOR SERVICE WITH A CORPORATION STOP AND SERVICE SADDLE, TURN OFF THE CORPORATION STOP AND CHECK FOR LEAKS. CUT THE COPPER TUBING WITH A TUBING CUTTER AND BEND BOTH CUT ENDS OVER APPROXIMATELY ONE (1") FROM THE CUT END. THE CITY'S INSPECTOR WILL REVIEW WITH THE CONTRACTOR HOW AND WHEN THIS WILL BE IMPLEMENTED.

   FOR A SERVICE WITH A CORPORATION STOP WITH NO SERVICE SADDLE. NOTIFY ALL EFFECTED WATER CUSTOMERS OF THE SERVICE INTERRUPTION. COORDINATE WATER SHUTDOWN WITH AFFECTED CUSTOMERS AND CITY UTILITY DEPT. REMOVE THE CORPORATION STOP AND INSTALL A MUELLER REPAIR CLAMP. ANY LEAKS, FAILURES, OR DEFECTIVE REPAIRS SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR.

   REMOVE THE WATER METER AND SALVAGE TO THE CITY OF PETALUMA CORPORATION YARD WATER METER REPAIR SHOP. CONTRACTOR TO CONTACT CROSS CONNECTION OFFICE PRIOR TO THE REMOVAL OF WATER METER.

   REMOVE THE ABANDONED WATER METER VAULT AND BACKFILL AND COMPACT HOLE TO CITY STANDARDS WITH TOP SOIL OR CLAY DIRT.
8. SEWER LATERAL ABANDONMENT PROCEDURE:

   EXCAVATE THE EXISTING SEWER LATERAL AT THE MAIN.

   REPLACE THE SECTION OF SEWER MAIN CONTAINING THE ABANDONED LATERAL WYE OR TEE.

   REMOVE CLEANOUT AND FILL WITH CLEAN SAND, CEMENT SLURRY OR OTHER FLOWABLE COMPACTING FILL. PLUG LATERAL ENDS WITH CONCRETE.

RECORD DRAWINGS

1. CONTRACTOR SHALL KEEP ACCURATE RECORD DRAWINGS WHICH SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF ALL WORK. CONTRACTOR SHALL ALSO NOTE THE LOCATION AND ELEVATION OF ANY EXISTING IMPROVEMENTS ENCOUNTERED WHICH VARY FROM THAT SHOWN. RECORD DRAWINGS SHALL BE A COMPLETE SET OF REPRODUCIBLE IMPROVEMENT PLANS WITH ALL ADDED NOTATIONS MADE IN INDELIBLE INK AND APPROPRIATELY HIGHLIGHTED.

WATER SYSTEM NOTES:

1. PROVIDE THRUST BLOCKS OR COMPARIBLE RESTRAINTS PER CITY STDS.
2. PROVIDE MINIMUM OF 3.00' FEET OF COVER OVER WATER LINES.
3. MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
4. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
5. WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
6. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-WATER LINE BELOW", CALPICO TYPE 2 OR EQUAL.

FIRE PROTECTION NOTES:

1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THE UTILITY DRAWING IN THIS SET OF DOCUMENTS SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWNING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV's FDC's, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHALL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
5. GENERAL CONTRACTOR IS PRESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.
6. INSTALL MONITORED TAMPERSWITCHS AT ALL PIV'S AND VALVES ON BACKFLOW ASSEMBLIES.
7. CONTRACTOR TO USE CATHODIC PROTECTION FOR ALL UNDERGROUND FIRE PROTECTION SYSTEMS. FINAL LOCATION OF ANODES AND TEST STATIONS SHALL BE COORDINATED WITH ARCH./ENGINEER. CONTRACTOR MAY ASSUME THAT THE TEST STATIONS WILL BE WITHIN 10 FEET OF THE FITTING/ITEM BEING CONNECTED TO.
8. CLEARANCES:
   - ONE FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER MAIN AND OTHER FACILITIES.
   - TEN FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER MAIN AND SANITARY MAIN.
   - SEVEN FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER MAIN AND STORM MAIN.
   - TEN FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN RECYCLED WATER MAIN AND POTABLE WATER MAIN.
   - FIVE FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SERVICE AND SEWER OR RECYCLED WATER LATERALS.
   - FIVE FEET MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER SERVICE AND STREET TREES.
9. WEATHER-RESISTANT SIGNS DESIGNATING WHICH FIRE LINE SERVES A BUILDING WILL BE PROVIDED AT FDC LOCATIONS, WORDING AND LETTER SIZE FOR THE SIGNS SHALL BE COORDINATED BY THE FIRE INSPECTOR IN THE FIELD.

FIRE PROTECTION NOTES (CONT)

10. BUILDINGS OF THREE OR MORE STORIES REQUIRE INSTALLATION OF STANDPIPES IN THE STAIRWELLS FOR FIRE DEPARTMENT USE.
11. THE CONTRACTOR INSTALLING UNDERGROUND FIRE LINES SHALL SUBMIT TWO SETS OF THE PLANS TO THE PETALUMA FIRE MARSHALS OFFICE PRIOR TO INSTALLATION. DESIGN MUST BE IN ACCORDANCE WITH THE FOLLOWING CITY OF PETALUMA STANDARDS:
    STD 850.05 MAIN SIZE
    STD 854 THRUST BLOCKS
    STD 857.01 FIRE HYDRANT
    STD 860 TEMPORARY FIRE FLOW
    STD 879.01 PIV AND FDC
    STD 880 DETECTOR CHECKS
    POINTS OF CONNECTION TO MAIN AND SPRINKLER RISE DETAIL
    HYDROTEST 200PSI - FOR 2 HOURS
    DETAIL METHOD OF FLUSHING LINES

GRADING AND PAVING NOTES

1. PAVEMENT EXCAVATION SHALL INCLUDE REMOVAL AND DISPOSAL OF EXISTING A.C. PAVEMENT AND PCC CURB REQUIRED FOR THE CONSTRUCTION OF NEW SURFACE IMPROVEMENTS. THE CONTRACTOR SHALL SAW-CUT EXISTING PAVEMENT AT LOCATIONS AS SHOWN ON THE PLANS PRIOR TO REMOVAL OF EXISTING PAVEMENT. ALL EXCAVATED MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN AREA PROVIDED BY THE CONTRACTOR.
2. CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTIONS AS INDICATED:

	HORIZONTAL	VERTICAL	COMPACTION
PAVEMENT SUBGRADE	0.1±	+0 TO -0.1'	95%

3. NON-CRYSTALLIZING TYPE WEED KILLER SHALL BE SPREAD OVER THE AGGREGATE BASE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. PRIME COAT OF SC-70 LIQUID ASPHALT CONFORMING TO THE PROVISIONS OF THE CALTRANS SPECIFICATIONS SHALL BE APPLIED AT THE RATE OF 0.15 TO 0.25± GALLONS PER SQUARE YARD TO SURFACE OF AGGREGATE BASE PRIOR TO PLACEMENT OF NEW ASPHALT CONCRETE.
5. PAINT BINDER SS-1 ASPHALTIC EMULSION CONFORMING TO THE PROVISIONS OF THE CALTRANS SPECIFICATIONS SHALL BE APPLIED AT THE RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD TO EXISTING ASPHALT CONCRETE SURFACES AND VERTICAL SURFACES PRIOR TO PLACEMENT OF NEW ASPHALT CONCRETE.
6. ASPHALT CONCRETE SURFACE COURSE SHALL BE TYPE A, 3/4" MAXIMUM AGGREGATE SIZE, AS SPECIFIED FOR SURFACE COURSE MATERIAL IN THE CALTRANS SPECIFICATIONS. TWO-INCH MAXIMUM THICKNESS MAY BE PLACED IN ONE LIFT. AC SHALL BE COMPACTED TO A MINIMUM IN PLACE DENSITY OF 95%, 6" DEEP.
7. FOG SEAL SS-1 ASPHALTIC EMULSION CONFORMING TO THE PROVISIONS OF THE CALTRANS SPECIFICATIONS SHALL BE APPLIED AT THE RATE OF 0.10 TO 0.20 GALLONS PER SQUARE YARD TO SURFACE OF NEWLY FINISHED ASPHALT CONCRETE PAVEMENT.
8. SLURRY SEAL TYPE 1 ASPHALT EMULSION CONFORMING TO THE PROVISIONS OF THE CALTRANS SPECIFICATIONS SHALL BE APPLIED AT THE RATE OF 8 TO 12 POUNDS OF DRY AGGREGATE PER SQAURE YARD TO THE AREAS AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
9. CONTRACTOR SHALL ADJUST ALL INLETS, VALVE BOXES, MONITORING WELLS, AND OTHER UTILITY STRUCTURES WHICH ARE TO REMAIN TO THE NEW FINISH GRADE.
10. ALL CONCRETE USED FOR ALL SURFACE IMPROVEMENTS MUST BE CLASS "B" (5 STACKS PER CUBIC YARD) AS PER CALTRANS SPECIFICATIONS.
11. ADJUST ALL UTILITIES TO FINISHED GRADE.

GENERAL NOTES (FOR COMPLIANCE WITH CITY STANDARDS)

1. CONTRACTOR SHALL KEEP UP-TO-DATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANCE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRICTION, INCLUDING EXACT LOCATIONS, SIZES, MATERIALS, AND EQUIPMENT. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE ENGINEER.
2. CONTRACTOR SHALL COORDINATE WITH UTILITY INFORMATION SHOWN ON THE PLANS WITH INSTALLATION OF PG&E, CABLE, TELEPHONE, AND/OR JOINT TRENCH LAYOUT AND DETAILS.
3. WATER MAIN AND WATER SERVICE LINES 3" AND LARGER SHALL BE DUCTILE IRON PIPE WITH THICKNESS CLASS 52. WATER MAINS SHALL BE AWWA C900 CLASS 200 PVC PIPES FOR PROJECT SITE.
4. CONTRACTOR SHALL OBTAIN PVC WATER PIPE SPECIFICATIONS FROM THE CITY AT THE TIME OF ENCROACHMENT PERMIT ISSUANCE.
5. WATER VALVE BOXES SHALL BE G-5 CHRISTY ONLY, FRAME AND COVER.
6. ALL 4 INCH AND LARGER SERVICES ON C.I. OR D.I. PIPE REQUIRE MUELLER A2360-20 VALVES AND MUELLER H-15 (D.I.) SLEEVES, OR APPROVED EQUALS. TAPPING SLEEVE SHALL BE THE SAME SIZE AS THE SERVICE.
7. THE METER AND METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CITY UPON ACCEPTANCE OF THE LATERAL SERVICE LINE, AND THE PROPERTY OWNER HAS ASSUMED RESPONSIBILITY FOR THE CONNECTION ON THE DISCHARGE SIDE OF THE METER. A BACKFLOW PREVENTION DEVICE IS REQUIRED FOR ALL SERVICES 2" AND LARGER. NO METER SHALL BE INSTALLED PRIOR TO FULL COMPLIANCE WITH THE CROSS-CONNECTION CONTROL PROGRAM.
8. NEW WATER PIPELINES, VALVES, AND FITTING SHALL BE STERILIZED, TESTED BY THE CONTRACTOR, AND SHALL PASS BACTERIA AND OTHER WATER QUALITY REQUIREMENTS BEFORE PUT INTO SERVICE. CONTRACTOR SHALL SUPPLY ALL MATERIALS, LABOR, AND EQUIPMENT REQUIRED TO DISINFECT THE PIPELINES AND APPURTENANCE. THE DISINFECTANT SHALL REMAIN IN CONTACT WITH THE WATER FOR A MINIMUM OF 24 HOURS BEFORE FLUSHING. BACTERIOLOGICAL TESTING SHALL BE CONDUCTED NO LESS THAN 24 HOURS AFTER FLUSHING. DISINFECTION WILL BE WITNESSED BY THE ENGINEER. CHLORINE TABLETS (E.G. HTH) SHALL BE FASTENED TO THE TOP OF THE PIPE WITH TAR OR PERMATEX #2 ACCORDING TO THE CITY'S SCHEDULE.
9. WATER PRESSURE TEST: PIPE SPECIFIED BY PRESSURE CLASSIFICATION, 50 PSI OVER THE PRESSURE CLASSIFICATION, WITH A MAXIMUM OF 200 PSI. OTHER TYPES OF PIPE, 120% OF MAXIMUM OPERATING PRESSURE. THE TEST PRESSURE SHALL BE MEASURED AT THE HIGHEST POINT ON THE LINE UNLESS SPECIFICALLY NOTED OTHERWISE.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AFFECTED RESIDENTS AND BUSINESSES 48 HOURS PRIOR TO THE START OF A WATER MAIN SHUTDOWN. THE WATER MAIN SHUTDOWN WILL BE COMPLETED BY CITY CREWS ONLY.
11. USE VCP (EXTRA STRENGTH) OR SDR 35 PVC (GREEN) FOR SANITARY SEWER MAIN. SANITARY SEWER LATERALS SHALL BE VCP (EXTRA STRENGTH), SDR 35 PVC (GREEN), OR ABS SCHEDULE 40. STORM DRAIN MAIN SHALL BE CLASS IV RCP. STORM DRAIN LATERALS SHALL BE CLASS III RCP FOR PIPE SIZE 12" AND LARGER, OR ASTM D3034, SDR 35 PVC (GREEN) FOR PIPE SIZE 10" OR SMALLER.
12. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, CONTRACTOR SHALL PROCEED AT CONTRACTOR'S OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
13. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE.

    VERTICAL SEPARATION REQUIREMENTS:

    WHERE THE NEW PIPELINE CROSSES AN EXISTING UTILITY THE MINIMUM VERTICAL SEPARATION BETWEEN THE NEW PIPELINE AND THE EXISTING UTILITY SHALL BE 12 INCHES UNLESS OTHERWISE SPECIFIED BELOW.

    WHERE THE NEW PIPELINE CROSSES BELOW AN EXISTING WATER PIPELINE OR ABOVE AN EXISTING SANITARY SEWER IF THE VERTICAL SEPARATION IS LESS THAN 12 INCHES: THE JOINTS OF THE NEW PIPELINE SHALL BE A MINIMUM OF 5 FEET FROM THE CENTERLINE OF THE EXISTING PIPELINE AND THE TWO JOINTS ON EITHER SIDE OF THE EXISTING PIPELINE SHALL BE RESTRAINED. ENCASEMENT OF ANY UTILITY LINES MAY BE REQUIRED AS DIRECTED AND APPROVED BY THE CITY ENGINEER.

    WHERE THE NEW PIPELINE CROSSES ABOVE AN EXISTING WATER PIPELINE OR BELOW AN EXISTING SANITARY SEWER, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. A MINIMUM OF 9 FEET FROM THE CENTERLINE OF THE EXISTING PIPELINE, AND THE TWO JOINTS ON EITHER SIDE OF THE EXISTING PIPELINE SHALL BE RESTRAINED. ENCASEMENT OF ANY UTILITY LINES MAY BE REQUIRED AS DIRECTED AND APPROVED BY THE CITY ENGINEER.

    HORIZONTAL SEPARATION REQUIREMENTS:

    THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE NEW PIPELINE AND ANY EXISTING UTILITY SHALL BE 4 FEET, UNLESS OTHERWISE NOTED.

    THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE NEW PIPELINE AND NATURAL GAS LINES SHALL BE 5 FEET.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE AGENCIES.

GENERAL NOTES (FOR COMPLIANCE WITH CITY STANDARDS) (CONT)

15. THE EXISTING UTILITIES CROSSING OF THE NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES(BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO CONTRACTOR'S OPERATION.
16. ALL UTILITY STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FIRE HYDRANTS, CABLE TV, TELEPHONE AND ELECTRIC VAULTS AND PULL BOXES ETC., THAT LIE WITHIN THE PUBLIC RIGHT OF WAY, EASEMENTS OR AREAS AFFECTED BY THE WORK ON THE PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OF THE RESPECTIVE UTILITY COMPANY FOR WHICH THE CONTRACTOR IS RESPONSIBLE TO COORDINATE.
17. ALL UTILITY SERVICE LATERALS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER.
18. ALL EXISTING UTILITY VAULTS AND/OR PULL BOXES THAT ARE LOOSE AND/OR BROKEN SHALL BE RE-SECURED AND/OR REPLACED TO THE CITY'S SATISFACTION.
19. ALL ABUTTING PROPERTIES SHALL BE PROVIDED ACCESS AT ALL TIMES DURING CONSTRUCTION OF UTILITIES. TRENCHES SHALL BE BACKFILLED AND PAVED (TEMPORARY CUTBACK ASPHALT) PRIOR TO LEAVING THE JOB SITE EACH WORKDAY.
20. ASPHALT CONCRETE SHALL NOT BE PLACED WHEN THE ATMOSPHERIC TEMPERATURE IS BELOW 10°C (50°F) AND FALLING OR DURING UNSUITABLE WEATHER.
21. GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF (WHILE CONCRETE FINISHING WORK IS IN PROGRESS) IN FORM WORK AND FINISHED SURFACING.
22. CITY FIELD ENGINEER SHALL HAVE 24-HOUR NOTICE FOR INSPECTION.
23. APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS OR OMISSIONS.
24. CONTRACTOR SHALL REPLACE EXISTING TRAFFIC STRIPING AND DETECTOR LOOPS THAT ARE DISTURBED BY CONSTRUCTION OPERATIONS TO THE CITY'S SATISFACTION.
25. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
26. THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REPAIRS TO THE SERVICE TRENCH AND PAVEMENT FOR A ONE-YEAR WARRANTY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE CITY. ONE YEAR AFTER ACCEPTANCE, THE CITY WILL MAKE A FINAL INSPECTION. IF REPAIRS HAVE TO BE MADE, THE CONTRACTOR OR DEVELOPER WILL BE NOTIFIED TO MAKE REPAIRS.
27. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT/ENGINEERING FOR ALL OFF-SITE IMPROVEMENTS.
28. PRIOR TO STARTING CONSTRUCTION, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE SUBMITTED TO THE CITY PUBLIC WORKS AND BUILDING DEPARTMENTS. REFERENCE IS MADE TO THE STATE OF CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK FOR APPLICABLE CONTROL MEASURE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SWPPP AND EMPLOY ITS PROVISIONS THROUGHOUT ALL CONSTRUCTION.

SYMBOL	DESCRIPTION
(1 / –) — DETAIL NO.	DETAIL NO. 1 ON CURRENT SHEET
(1 / CD-1) — DETAIL NO.	DETAIL NO. 1 ON SHEET CD-1

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LEGEND

	PROPOSED	EXISTING
RIGHT OF WAY LINE	— — — —	— — — —
CONTOUR LINE	XXX	XXX
STORM DRAIN MAIN	▬▬	XX" SD
SANITARY SEWER MAIN	X" SS	X" SS
WATER MAIN	X" W	X" W
STORM DRAIN INLET	▣	□
MANHOLE	●	○
CLEANOUT	CO●	○
FIRE HYDRANT	FH	
RIDGE LINE		
FENCE		—x—x—
TOP OF CURB GRADE	X.XX TC	X.XX TC
ASPHALT CONCRETE GRADE	X.XX AC	X.XX
RETAINING WALL		
PROPOSED TREE CUTOUT	□	
ELECTROLIER		

DRAWING INDEX

C-1 NOTES & LEGEND
C-2 EXISTING CONDITIONS
C-3 DEMOLITION PLAN
C-4 GRADING PLAN
C-5 UTILITY PLAN
C-6 STORM WATER CONTROL PLAN

ABBREVIATIONS

SYMBOL	DESCRIPTION
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AGG	AGGREGATE
APPROX	APPROXIMATE
BLDG	BUILDING
BM	BENCH MARK
BO	BLOWOFF
BW	BACK OF WALK
C&G	GURB & GUTTER
CI	CAST IRON
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
CONC	CONCRETE
CONST	CONSTRUCTION CURB RETURN
CR	CURB RETURN
DIP	DUCTILE IRON PIPE
DIA	DIAMETER
D/W	DOMESTIC WATER
DWG	DRIVEWAY DRAWING
EB	ELECTRICAL BOX
EC	END OF CURVE
EL	ELEVATION
ELECT	ELECTRICAL
EP	EDGE OF PAVEMENT
EX,EXIST	EXISTING
(F)	FUTURE
FDC	FIRE DEPT. CONNECTION
F/C	FACE OF CURB
FF	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FL	FLOW LINE
FS	FINISHED PAVEMENT SURFACE
FT	FEET
GB	GRADE BREAK
GM	GAS METER
HDPE	HIGH DENSITY POLYEHTYLENE
INV	INVERT
IRR	IRRIGATION
LF	LINEAR FEET
MH	MANHOLE
MIN	MINIMUM
MON	MONUMENT
NTS	NOT TO SCALE
PCC	PORTLAND CEMENT CONCRETE
PG&E	PACIFIC GAS AND ELECTRIC
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PROP	PROPOSED
PT	POINT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET WALL	RETAINING WALL
RIM	RIM ELEVATION
RT	RIGHT
R/W	RIGHT OF WAY
S	SLOPE
SL	STREET LIGHT CONDUIT
(S)	SOUTH
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SHT.	SHEET
SPECS	SPECIFICATIONS
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
ST.	STREET
STA	STATION
STD	STANDARD
SW	SIDEWALK
T OR TELE	TELEPHONE
TC	TOP OF CURB
VERT.	VERTICAL
W	WATER
WM	WATER METER
WV	WATER VALVE

FLOOD ZONE

THE BUILDING FOOTPRINT IS LOCATED IN FLOOD ZONE X AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PARCEL NUMBER 0603790893F, DATED FEBRUARY 19, 2014.

PORTIONS OF THE PROPERTY OUTSIDE OF THE BUILDING FOOTPRINT ARE LOCATED IN FLOOD ZONE "AE" AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PARCEL NUMBER 0603790893F, DATED FEBRUARY 19, 2014.

THE BASE FLOOD ELEVATION FOR THE FLOOD ZONE "AE" WAS DETERMINED TO BE 35 FEET BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

THE FLOOD MAP BOUNDARY CAN BE SEEN ON GRADING PLAN SHEET C-4.

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REVISION:	DATE:	COMMENTS:

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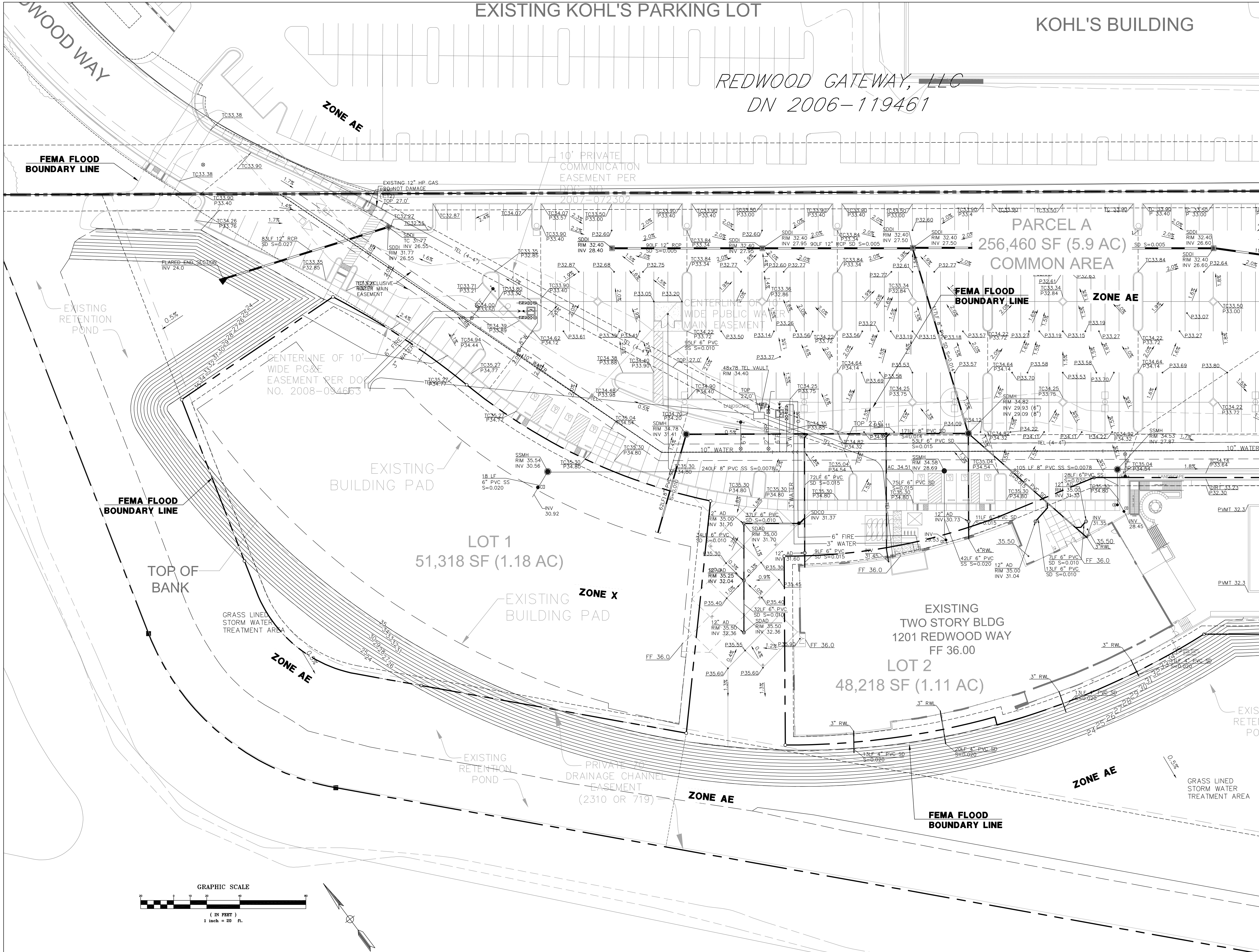
NOTES & LEGEND

SHEET NUMBER:
C-1



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EXISTING CONDITIONS

SHEET NUMBER:
C-2

EXISTING KOHL'S PARKING LOT

KOHL'S BUILDING

REDWOOD WAY

ZONE AE

FEMA FLOOD BOUNDARY LINE

10' PRIVATE COMMUNICATION EASEMENT PER DOC. NO. 2007-072302

EXISTING 12" HP GAS DO NOT DAMAGE TOP 27.0'

8&LF 12" RCP SD S=0.027

SDDI TC 31.27 INV 26.52

1-2" WATER SERVICE, METER, VALVE AND BACKFLOW PREVENTER. 1-6" FIRE SERVICE, DOUBLE DETECTOR CHECK VALVE ASSEMBLY, POST INDICATOR VALVE AND FIRE DEPARTMENT CONNECTION. 1-2" IRRIGATION SERVICE METER, VALVE AND BACKFLOW PREVENTER. INSTALL CITY STD BYPASS METER ON 3" DOMESTIC LINES.

FLARED END SECTION INV 24.0

10' EXCLUSIVE WATER MAIN EASEMENT

CENTERLINE OF 10' WIDE PG&E EASEMENT PER DOC NO. 2008-094663

CENTERLINE OF 10' WIDE PUBLIC WATER MAIN EASEMENT

SDDI RIM 32.40 INV 28.40

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.95

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.50

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.05

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 26.60

115LF

FEMA FLOOD BOUNDARY LINE

ZONE AE

95LF 6" PVC SS S=0.010

48x78 TEL VAULT RIM 34.40

TOP 27.0'

1-2" WATER SERVICE, METER, VALVE AND BACKFLOW PREVENTER. 1-6" FIRE SERVICE, DOUBLE DETECTOR CHECK, POST INDICATOR VALVE ASSEMBLY AND FIRE DEPARTMENT CONNECTION. CITY STD BYPASS METER ON 3" DOMESTIC LINE.

1/2 IRR. METER

117LF 8" PVC SD S=0.014

SDMH RIM 34.82 INV 29.93 (6") INV 29.09 (8")

SDMH RIM 38.78 INV 31.41

TOP 27.0'

171LF 8" PVC SD S=0.014

53LF 6" PVC SD S=0.015

SSMH RIM 35.54 INV 30.56

240LF 8" PVC SS S=0.0078

SSMH RIM 34.58 INV 28.69

105 LF 8" PVC SS S=0.0078

SSMH RIM 34.53 INV 27.87

10" WATER

TEL (4-4")

18 LF 6" PVC SS S=0.020

INV 30.92

72LF 6" PVC SD S=0.015

75LF 6" PVC SD S=0.015

28LF 6" PVC SS S=0.020

12" AD RIM 35.00 INV 31.33

12" AD RIM 35.00 INV 31.73

11LF 6" PVC SD S=0.015

INV 31.35

INV 28.45

37LF 6" PVC SD S=0.010

SDCO INV 31.37

6" FIRE 3" WATER

3"RWL

42LF 6" PVC SS S=0.020

12" AD RIM 35.00 INV 31.04

7LF 6" PVC SD S=0.010

13LF 6" PVC SD S=0.010

12" AD INV 31.60

9LF 6" PVC SD S=0.015

INV 31.45

4"RWL

12" AD RIM 35.25 INV 32.04

32LF 6" PVC SD S=0.010

12" AD RIM 35.50 INV 32.36

EXISTING TWO STORY BLDG 1201 REDWOOD WAY FF 36.00

LOT 2 48,218 SF (1.11 AC)

3" RWL

11LF 4" PVC SD S=0.020

13LF 4" PVC SD S=0.020

20LF 4" PVC SD S=0.020

LOT 1 51,318 SF (1.18 AC)

ZONE X

TOP OF BANK

ZONE AE

S58°34'39"E R150.00 L153.36

PRIVATE 70' DRAINAGE CHANNEL EASEMENT (2310 OR 719)

ZONE AE

FEMA FLOOD BOUNDARY LINE

ZONE AE

N43°06'05"W 726.95

GRAPHIC SCALE

20 0 10 20 40 60

(IN FEET)

1 inch = 20 ft.

KEYED NOTES

1. REMOVE CONCRETE CURB
2. REMOVE CONCRETE WALKWAY
3. REMOVE WHEEL STOPS
4. REMOVE/GRIND STRIPING
5. CLEAR AND GRUB AREA OF EXISTING VEGETATION
6. REMOVE WALKWAY RAMP
7. REMOVE AND RELOCATE EXISTING UTILITY

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DEMOLITION PLAN

SHEET NUMBER:
C-3

EXISTING KOHL'S PARKING LOT

WOOD WAY

ZONE AE

FEMA FLOOD BOUNDARY LINE

STORM DRAIN DISCHARGE TO EXISTING TREATMENT AREA

EXISTING BUILDING PAD

FEMA FLOOD BOUNDARY LINE

PROPOSED 4-STORY BUILDING FF 36.0

TOP OF BANK

BASE FLOOD ELEVATION=35'

ZONE X

EXISTING BUILDING PAD

ZONE AE

EXISTING STORMWATER TREATMENT AREA

PROPOSED 26' WIDE FIRE ACCESS ROAD TO SUPPORT CITY OF PETALUMA STANDARD FIRE TRUCK

ZONE AE

FEMA FLOOD BOUNDARY LINE

ZONE AE

ZONE AE

GRASS LINED STORM WATER TREATMENT AREA

EXISTING TWO STORY BLDG 1201 REDWOOD WAY FF 36.00

FEMA FLOOD BOUNDARY LINE

ZONE AE

GRASS LINED STORM WATER TREATMENT AREA

PRIVATE 70.0' DRAINAGE CHANNEL EASEMENT

5.0'

NEW 4FT WALKWAY

PROPOSED BUILDING FF 36.0

ELEV. 24.0 BOTTOM OF SLOPE

ELEV. 35.0 TOP OF SLOPE

SETBACK

STORMWATER TREATMENT POND

SECTION A
SCALE: 1"=10'

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

KEYED NOTES
1. INSTALL 6" CONCRETE CURB
2. INSTALL SIDEWALK
3. INSTALL HANDICAP RAMP
4. INSTALL CONCRETE WHEEL STOP
5. INSTALL ROLLED CURB

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GRADING PLAN

SHEET NUMBER:
C-4

EXISTING KOHL'S PARKING LOT

KOHL'S BUILDING

WOOD WAY

ZONE AE

FEMA FLOOD BOUNDARY LINE

EXISTING 12" HP GAS DO NOT DAMAGE TOP 27.0'

10' PRIVATE COMMUNICATION EASEMENT PER DOC. NO. 2007-072302

PROPOSED FIRE HYDRANT

FLARED END SECTION INV 24.0

CENTERLINE OF 10' WIDE PG&E EASEMENT PER DOC NO. 2008-094663

SDDI TC 31.77 INV 26.55

RELOCATE 2" IRRIGATION WATER STRUCTURES

RELOCATE 6" FIRE WATER STRUCTURES

RELOCATE 2" DOMESTIC WATER STRUCTURES

EXISTING FIRE HYDRANT

CENTERLINE OF 10' WIDE PUBLIC WATER MAIN EASEMENT

SDDI RIM 32.40 INV 28.40

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.95

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.50

90LF 12" RCP SD S=0.005

90LF 12" RCP SD S=0.005

SDDI RIM 32.40 INV 27.05

SDDI RIM 32.40 INV 26.60

115LF

95LF 6" PVC SS S=0.010

TOP 27.0'

48x78 TEL VAULT RIM 34.40

1-2" WATER SERVICE, METER, VALVE AND BACKFLOW PREVENTER. 1-6" FIRE SERVICE, DOUBLE DETECTOR CHECK, POST INDICATOR VALVE ASSEMBLY AND FIRE DEPARTMENT CONNECTION. CITY STD BYPASS METER ON 3" DOMESTIC LINE.

1 1/2 IRR METER

TOP 27.0'

171LF 8" PVC SD S=0.014

FEMA FLOOD BOUNDARY LINE

ZONE AE

PROPOSED 6" FIRE SERVICE

PROPOSED 3" WATER SERVICE

EXISTING BUILDING PAD

SSMH RIM 35.54 INV 30.56

18LF 8" PVC SD S=0.020

SDMH RIM 38.78 INV 31.41

10" WATER

8" PVC SS S=0.0078

SSMH RIM 34.82 INV 29.93 (6") INV 29.09 (8")

171LF 8" PVC SD S=0.015

53LF 6" PVC SD S=0.015

SSMH RIM 34.53 INV 27.87

TEL (4-4")

10" WATER

SSMH RIM 34.58 INV 28.69

105 LF 8" PVC SS S=0.0078

72LF 6" PVC SD S=0.015

75LF 6" PVC SD S=0.015

28LF 6" PVC SS S=0.020

12" AD RIM 35.00 INV 33.35

EXISTING FIRE HYDRANT

FEMA FLOOD BOUNDARY LINE

EXISTING 6" SANITARY SEWER STUB INV 30.92

PROPOSED 4-STORY BUILDING FF 36.0

3" AD RIM 35.00 INV 31.70

4LF 6" PVC SD S=0.040

SDCO INV 31.37

6" FIRE 3" WATER

9LF 6" PVC SD S=0.015

12" AD INV 30.73

11LF 6" PVC SD S=0.015

INV 29.53

INV 31.35

INV 28.45

4"RWL

42LF 6" PVC SS S=0.020

12" AD RIM 35.00 INV 31.04

7LF 6" PVC SD S=0.010

13LF 6" PVC SD S=0.010

3"RWL

PROPOSED FIRE HYDRANT

TOP OF BANK

ZONE X

EXISTING BUILDING PAD

EXISTING TWO STORY BLDG 1201 REDWOOD WAY FF 36.00

3" RWL

11LF 4" PVC SD S=0.020

13LF 4" PVC SD S=0.020

20LF 4" PVC SD S=0.020

ZONE AE

EXISTING STORMWATER TREATMENT AREA

PRIVATE 70' DRAINAGE CHANNEL EASEMENT (2310 OR 719)

ZONE AE

FEMA FLOOD BOUNDARY LINE

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)

1 inch = 20 ft.

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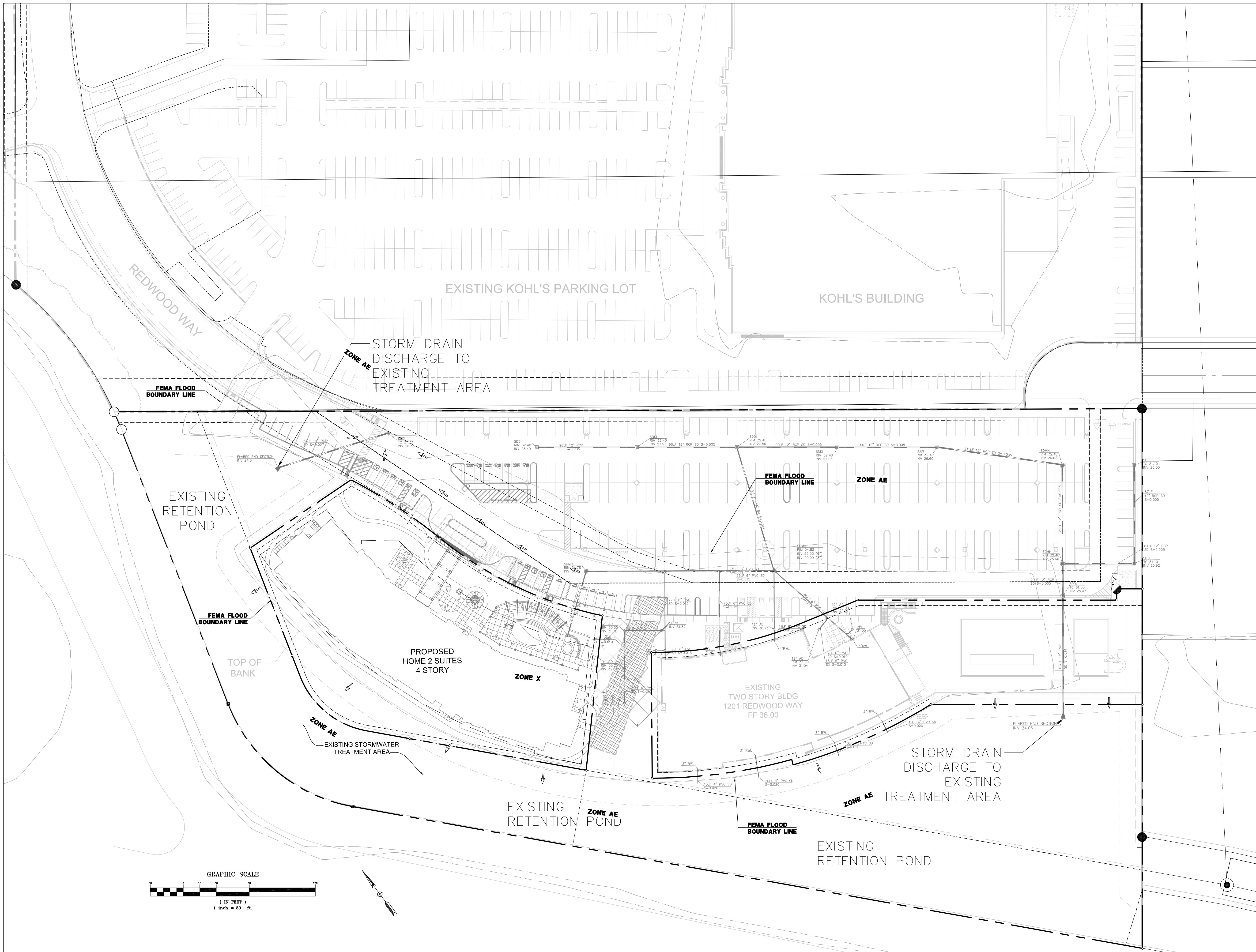
SHEET NUMBER: C-5



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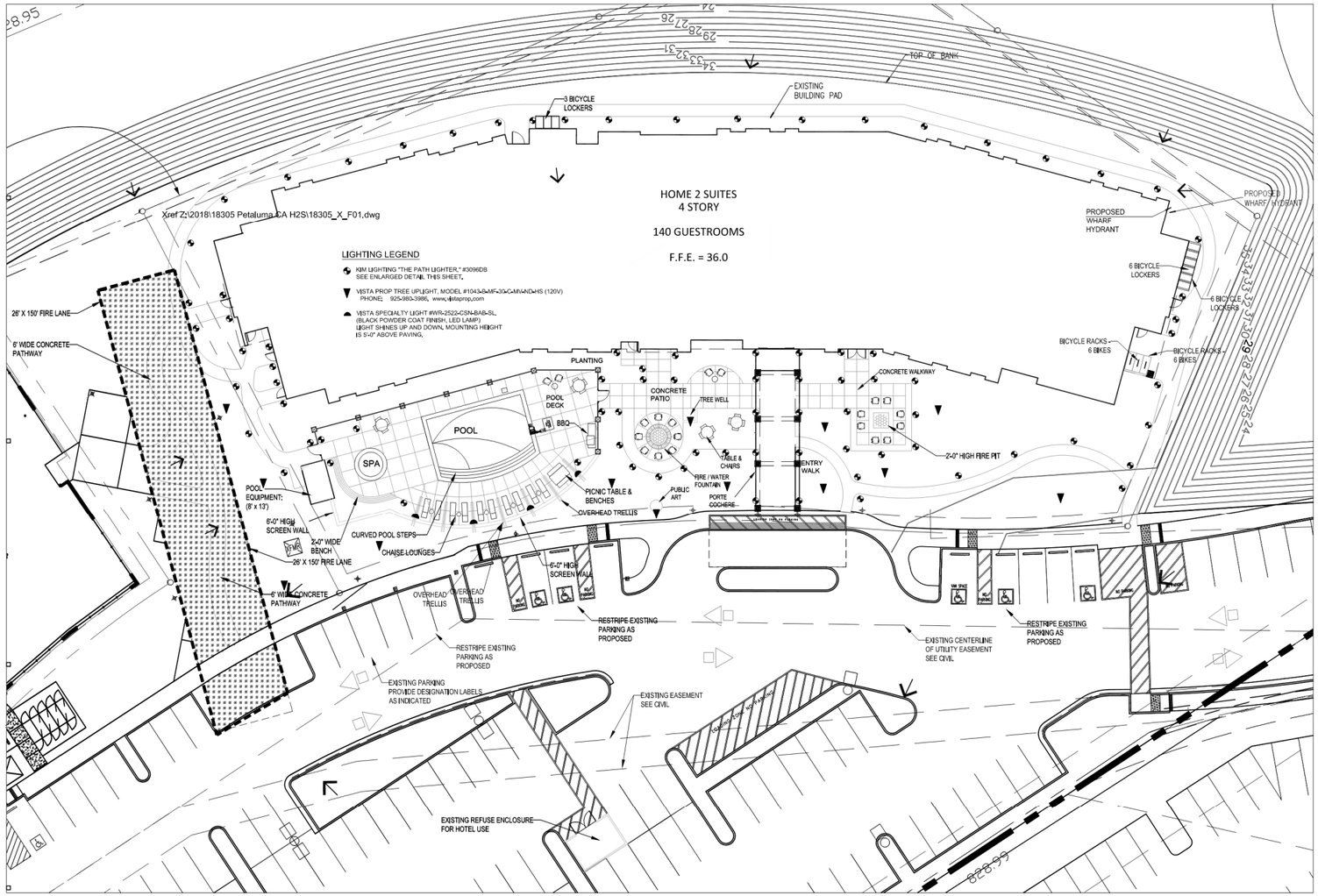
SHEET TITLE:

STORM WATER CONTROL PLAN

SHEET NUMBER:

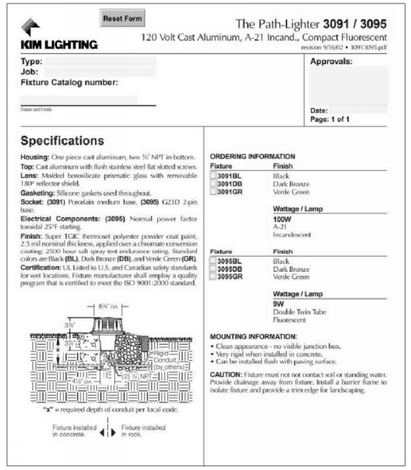
C-6

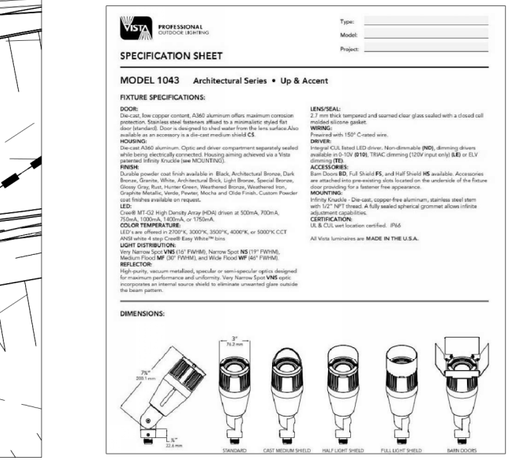


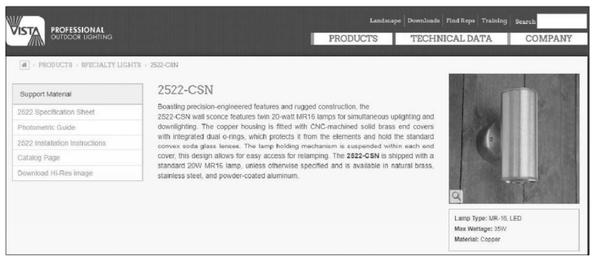
CONSTRUCTION NOTES

1. DECEMPOSED GRANITE SHALL BE "PACIFIC GOLD," SIZE SHALL BE ¼" TO DUST. ADD BINDER PER MANUFACTURER SPECIFICATION. INSTALL TO ACHIEVE A.D.A. COMPLIANT SURFACE.

2. CONCRETE PAVING SHALL BE MEDIUM BROOM FINISH WITH BROOM TEXTURE PERPENDICULAR TO FLOW OF TRAFFIC. CONCRETE SHALL INCLUDE INTEGRAL "SAN DIEGO BUFF" COLOR PER MANUFACTURUER'S SPECIFICATION.







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Architect:

Structural Engineer

Civil Engineer

Electrical Engineer

Other

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Checked by

Revisions

Number	Description	Date

Client
BASIN STREET PROPERTIES

Project
HOME 2 SUITES

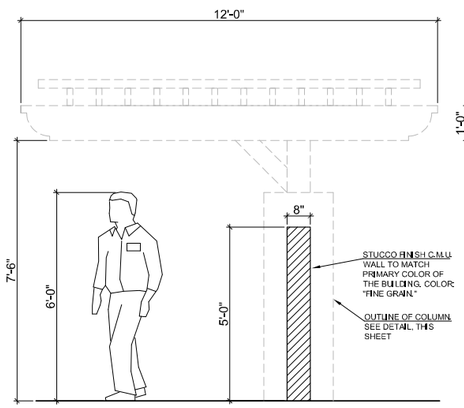
Sheet Title
LAYOUT AND LIGHTING PLAN

Job Number
21803

Date
FEBRUARY 22, 2019

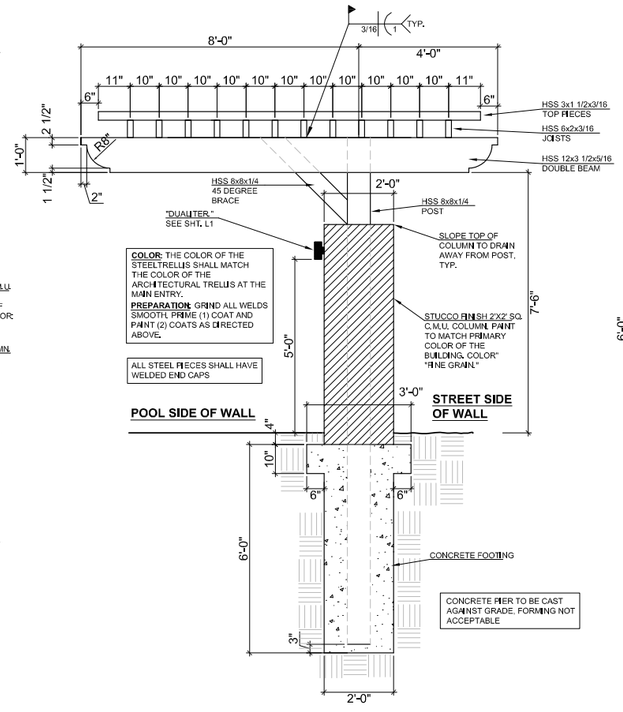
Scale
1" = 20'-0"

Sheet Number
L1



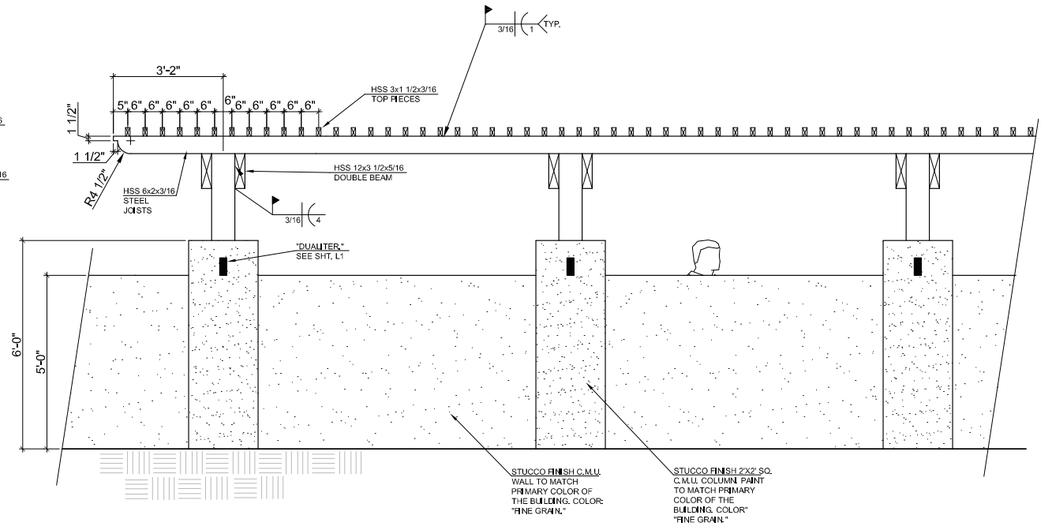
1 SECTION OF SITE WALL WITH TRELLIS

SCALE: 1/2" = 1'-0"



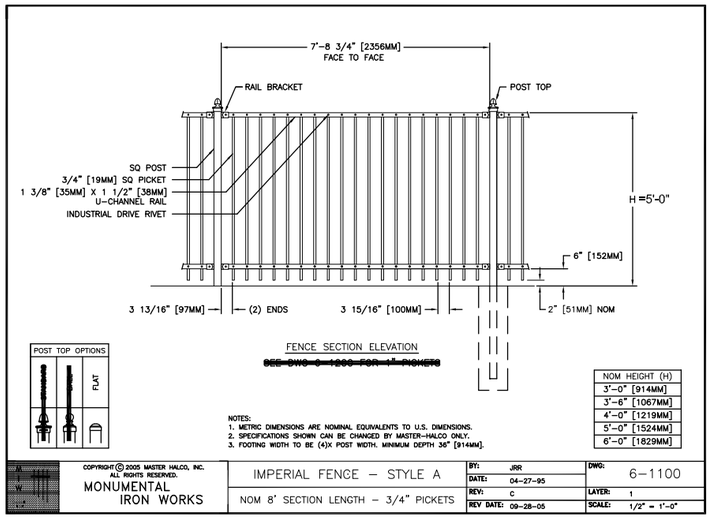
2 STEEL TRELLIS SECTION AT PERIMETER STUCCO WALL

SCALE: 1/2" = 1'-0"



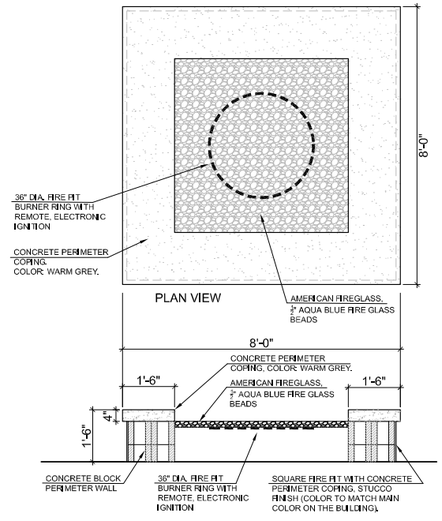
3 STREET SIDE ELEVATION OF POOL WALL AND TRELLIS (NOT ADJUSTED FOR CURVE)

SCALE: 1/2" = 1'-0"



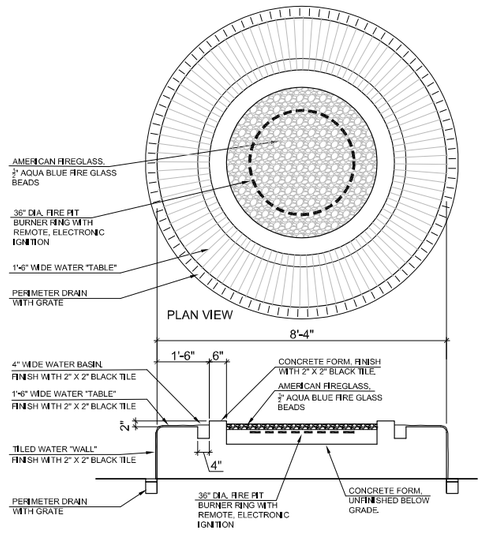
4 POOL FENCING AND GATE DESIGN

SCALE: NO SCALE



5 SECTION AND PLAN VIEW OF FIRE PIT

SCALE: 1/2" = 1'-0"



6 SECTION AND PLAN VIEW OF FOUNTAIN / FIRE PIT

SCALE: 1/2" = 1'-0"

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BASIN STREET PROPERTIES

Project

HOME 2 SUITES

Sheet Title

LANDSCAPE CONSTRUCTION DETAILS

Job Number
21803

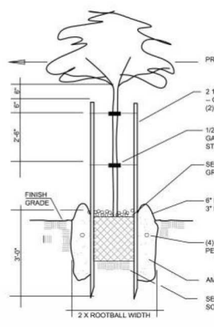
Date
FEBRUARY 22, 2019

Scale
SEE DETAILS

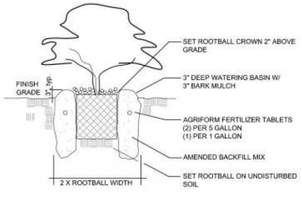
Sheet Number
L2

PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	WUCOLS	HEIGHT & WIDTH	QUANTITIES
TREES							
COT COG	COTINUS COGGYGRIA	Smoke Tree	24" box	1" cal., symm., 8ft x 3'w	Low	25' high x 15'-25' wide	11
LAG TUS	LAGERSTROEMIA INDICA 'TUSCARORA'	Tuscarora Crape Myrtle	24" box	1.25" cal., symm., 10ft x 3'w	Low	25' high x 15'-25' wide	11
OLE SWA	OLEA EUROPAEA 'SWAN HILL'	Swan Hill Olive	24" box	1" cal., symm., 3'w x4ft	Low	12' high x 15' wide	1
PRU CAR	PRUNUS CAROLINIANA	Carolina Cherry	24" box	1.25" cal., symm., 10ft x 3'w	Low	25 high x 20' wide	4
RHU LAN	RHUS LANCEA	Africn Sumac	24" box	1.25" cal., symm., 10ft x 3'w	Low	25' high x 15'-25' wide	10
SHRUBS							
ARC HOW	ARCTOSTAPHYLOS' HOWARD McMINN'	Howard McMinn Mazanita	5 gallon		Low	4'x 5'	35
ART POW	ARTEMISIA 'POWIS CASTLE'	No Common Name	5 gallon		Low	3'x 5'	5
CAL LIT	CALLISTEMON VIMINALIS 'LITTLE JOHN'	Little John Bottlebrush	5 gallon		Low	3'x 4'	76
CEA DAR	CEANOTHUS 'DARK STAR'	Dark Star Ceanothus	5 gallon		Low	5'x 8'	20
CIS SUN	CISTUS 'SUNSET'	Sunset Rockrose	5 gallon		Low	3'x 3'	21
LOR CHI	LORIOPETALUM CHINENSE'RAZZLEBERRI'	Razzleberri Loropetalum	5 gallon		Low	4'x 6'	16
MAH REP	MAHONIA REPENS	Creeping Mahonia	5 gallon		Low	3'x 3'	26
NAN DOM	NANDINA DOMESTICA	Heavenly Bamboo	5 gallon		Low	3'x 3'	61
OLE LIL	OLEA EUROPAEA 'LITTLE OLLIE'	Little Ollie Olive	5 gallon	Prune to ht. as needed	Low	4'x 4'	67
PIT WHE	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	Wheeler's Dwarf Tobira	5 gallon		Low	3'x 5'	65
RHA BAL	RHAPHIOLEPIS INDICA 'BALLERINA'	Ballerina Indian Hawthorne	5 gallon		Low	2'x 4'	18
SAL LEU	SALWIA LEUCANTHA	Mexican Sage	5 gallon		Low	3'-5' x 3'-5'	22
SAR RUS	SARCOCOCCA 'RUSCIFOLIA	Sweet Sarcococca	5 gallon		Low	3'-5' x 3'-5'	18
TEU CHA	TEUCRIUM CHAMAEDRYS	Dwarf Bush Germander	5 gallon		Low	4'-6' x 4'-6'	78
XYL COM	XYLOSMA CONGESTUM 'COMPACTA'				Low		56
GROUNDCOVERS							
CAR PRA	CAREX PRAEGRACILIUS	California Meadow Sedge	Plugs	Plug size: 1 .5" x 1.5" x 2.5"	Low	1.5' x 2.5'	2,795
CAR TUM	CAREX TUMULICOLA	Berkeley Sedge	Plugs	Plug size: 1 .5" x 1.5" x 2.5"	Low	1' x 2'	1,790
COP KIR	COPROSMA KIRKII	Trailing Coprosma	5 gallon		Low		70
COR CAR	CORREA 'CARMINE BELLS'	No Common Name	5 gallon		Low	1'-6" x 4'-0"	60
IRI HYB	IRIS DOUGLASIANA	Douglas Iris	1 gallon	1'-6" o.c.	Low	1'-6" x 1'-6"	70
JUN WIL	JUNIPERUS HORIZONTALIS 'WILTONII'	Blue Carpet Juniper	5 gallon	3'-6" o.c.	Low	1'-6" x 1'-6"	201
LAN PUR	LANTANA MONTEVIDENSIS	Purple Lantana	5 gallon		Low	1.5' x 4'	8
LAN NEW	LANTANA 'NEW GOLD'	New Gold Lantana	5 gallon		Low	1.5' x 4'	27
NAN HAR	NANDINA DOMESTICA 'HARBOR DWARF'	Harbor Dwarf Heavenly Bamboo	2 gallon		Low	2'x 2'	146
NEP FAA	NEPETA FAASENNII	Catmint	1 gallon		Low	2'x 2'	11
ROS OFF	ROSMARINUS OFFICINALIS 'HUNTINGTON BLUE'	HuntingtonBlue Rosemary	5 gallon	3'-0" o.c.	Low	2.5' x 4'	
SAR HOO	SARCOCOCCA 'HOOKERIANA HUMILIS	Sweet Box ground cover	5 gallon	3'-6" o.c.	Low	1'-0" x 4'-0"	12
VINES							
GEL SEM	GELSEMIUM SEMPERVIRENS	Carolina Jasmine	5 gallon		Low		4
PAR TRI	PARTHENOSISSUS TRICUSPIDATA	Boston Ivy	5 gallon		Low		1



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

PLANTING NOTES

1. LANDSCAPE ARCHITECT SHALL APPROVE THE QUALITY AND LOCATIONS OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.

2. ALL PLANT MATERIALS SHALL BE HEALTHY, WELL-SHAPED, VIGOROUS AND UNDAMAGED.

3. BEFORE PLANTING BEGINS, THE CONTRACTOR SHALL TAKE A SOIL SAMPLE FROM TWO (2) REPRESENTATIVE, FINISH-GRADED SAMPLING AREAS AND SEND THEM TO WAYPOINT ANALYTICAL, INC. FOR A HORTICULTURAL SUITABILITY TEST ON THE SOIL. EACH SOIL SAMPLE SHALL CONSIST OF SIX TO TEN SHOVEL/SPADE DIGGINGS TAKEN TO A 6"-8" DEPTH. DIGGINGS FROM EACH SAMPLING AREA SHALL BE MIXED SEPARATELY AND THOROUGHLY IN A CLEAN BUCKET. TAKE TWO CUPS FROM EACH BUCKET, PLACE IN A ZIP LOCK PLASTIC BAG AND LABEL CAREFULLY. SEND PLASTIC BAGS TO:

   WAYPOINT ANALYTICAL, INC.
   1101 SOUTH WINCHESTER BLVD., SUITE G 173
   SAN JOSE, CA 95128
   PHONE: 408-727-0330

   3.1 FOLLOW LABELING DIRECTIONS AS DESCRIBED ON THE WAYPOINT ANALYTICAL, INC. WEBSITE.
   3.2 REVIEW SAMPING AREAS WITH LANDSCAPE ARCHITECT PRIOR TO TAKING THE SAMPLE DIGGINGS.
   3.3 IF SOILS TESTS PRODUCE HIGH READINGS FOR SOIL SALINITY, ALKALINITY, WET SOILS OR HEAVY CLAY SOILS, PLANT SUBSTITUTIONS MAY BE REQUIRED.
   3.4 FORWARD RESULTS OF SOILS TEST(S) TO LANDSCAPE ARCHITECT IMMEDIATELY.

4. CLEARING AND GRUBBING: THE CONTRACTOR SHALL CLEAR ALL UNWANTED, MATURE SHRUBS AND TREES BY CUTTING THE PLANTS TO GRADE AND REMOVING THE STUMPS WITH A GRINDER. FOR THE REMAINING UNWANTED GRASSES, LAWN, AND MISCELLANEOUS VEGETATION. SEE "PLANT INSTALLATION AND SOIL PREPARATION" SPECIFICATIONS ON THIS SHEET.

5. SOIL AMENDMENT: "ALL GREEN COMPOST" BY GRAB 'N GROW. PHONE: 707-575-7275.

6. PLANT PIT BACKFILL AMENDMENT: PRIOR TO PLANT INSTALLATION, THE CONTRACTOR SHALL CREATE A BACKFILL MIX BY ADDING THE SOIL AMENDMENT DESCRIBED ABOVE TO NATIVE SOIL AT THE RATE OF 15% BY VOLUME. INSTALL FERTILIZER "AGRIFORM" TABLETS AT EACH PLANT PIT BASED ON MANUFACTURER'S SPECIFICATIONS: (1) FOR ONE GALLON, (3) FOR FIVE GALLON, (9) FOR 15 GALLON, ETC.

7. DRAINAGE TEST: IN ORDER TO INSURE PROPER DRAINAGE FOR ORNAMENTAL GRASSES, SEDGES AND GROUND COVER PLANT HOLES, THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURE:
   7.1 EXCAVATE ONE (1) PLANT PIT FOR EACH PLANT SIZE IN REPRESENTATIVES AREA OF THE SITE. TEST PITS SHALL THEN BE FILLED WITH WATER AND ALLOWED TO DRAIN IN A 24 HOUR PERIOD. IF STANDING STANDING WATER OCCURS AT ANY PLANT PIT, THE CONTRACTOR SHALL OVEREXCAVATE THE HOLES AND REPEAT THE WATER TEST UNTIL THE PIT DRAINS IN A 24 HOUR PERIOD. THE SIZE OF THE FINAL TEST PITS SHALL BE THE STANDARD FOR ALL PLANT PITS MENTIONED ABOVE.
   7.2 FOR SHRUB AND TREE PITS, CONDUCT THE DRAINAGE TEST DESCRIBED ABOVE. IF THE SHRUB AND TREE PITS FAIL THE DRAINAGE TEST, THE CONTRACTOR SHALL AT A MINIMUM REPEAT THE DRAINAGE TEST DESRIBED ABOVE AND SHALL CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY. DRAINAGE LINES FROM EACH PLANT PIT MAY BE REQUIRED.

8. MULCH: APPLY THREE (3) INCHES OF "ARBOR MULCH" FROM GRAB 'N GROW, SANTA ROSA, (707-575-7275) TO ALL SHRUB AND GROUND COVER PLANTING BEDS AS STATED INTHE SPECIFICATION "PLANT INSTALLATION AND SOIL MENDMENT" ON THIS SHEET. SUBMIT SAMPLE OF MULCH TO LANDSCAPE ARCHITECT AND FIRE MARSHAL FOR APPROVAL PRIOR TO INSTALLATION. KEEP MULCH 6"-12" AWAY FROM CROWN OF PLANTS. **"MONKEY HAIR" BARK MULCH IS NOT ALLOWED.** MULCH SHALL BE DARK IN COLOR.

9. MAINTENANCE PERIOD: A NINETY (90) DAY MAINTENANCE PERIOD SHALL BE REQUIRED FOR ALL PLANT AND LANDSCAPE MATERIALS SHOWN IN THIS PLAN. CONTRACTOR SHALL MAINTAIN THE SITE ON A WEEKLY BASIS (MINIMUM), BY PULLING WEEDS, MOWING LAWNS AND CLEARING HARDSAPE OF DEBRIS. REPLACE ALL DEAD OR DYING PLANTS DURING THE MAINTENANCE PERIOD. ALL TREES SHALL BE WARANTEED FOR 12 MONTHS.

10. DEER TEST: THE CONTRACTOR SHALL SUPPLY SAMPLES OF EACH PLANT SPECIFIED HEREIN AND HAVE THEM DELIVERED TO THE SITE ONE MONTH PRIOR TO ORDERING THE BALANCE OF THE PLANT MATERIAL. THE CONTRACTOR SHALL MONITOR DEER INTRUSION ON A DAILY BASIS AND MAKE A REPORT TO THE LANDSCAPE ARCHITECT. IF ANY PLANT SHOWS DAMAGE FROM DEER OR OTHER LOCAL ANIMALS, THAT PLANT SHALL BE REMOVED FROM THE PLANT PALETTE AND A SUBSTITUTE WILL BE SELECTED BY THE LANDSCAPE ARCHITECT. TREES CAN BE TEMPORARILY NETTED OR FENCED IF MINOR DAMAGE OCCURS.

11. PRE-CONSTRUCTION MEETING: TWO WEEKS PRIOR TO START OF CONSTRUCTION LANDSCAPE CONTRACTOR SHOULD CONTACT LTHE OWNER AND LANDSCAPE ARCHITECT TO REQUEST LANDSCAPE PRE- CONSTRUCTION MEETING.

12. SLOPE STABILIZATION: THE CONTRACTOR SHALL INSTALL JUTE MESH ON ALL SLOPES THAT ARE 3:1 AND GREATER. INSTALL JUTE MESH WITH LANDSCAPE STAPLES AND PER MANUFACTURER'S SPECIFICATION. ON SLOPES STEEPER THAN 3:1, THE CONTRACTOR SHALL USE STRAW (NOT HAY) IN ADDITION TO THE JUTE MESH. COIR CAN BE USED AS AN ALTERNATIVE TO STRAW AND JUTE MESH.

13. PYROPHYTIC PLANTS: NO PYROPHYTIC PLANTS WILL BE ALLOWED WITHIN 50' OF THE BUILDING OR GARAGE.

14. EXCAVATION SAFETY: CALL BEFORE YOU DIG--PG&E 811. CONSULT WITH LOCAL SEWER DISTRICT TO CONFIRM THE LOCATION OF ALL LEACH FILED LINES AND LEACH FIELD TANKS PRIOR TO CONSTRUCTION.

15. CLIMBING ROSES AT FENCE: TO SUPPORT THE CLIMBING ROSES AT THE PRIVACY FENCES, THE CONTRACTOR SHALL ATTACH THREE (3) ELECTRICAL STAPLES TO THE FENCE ON EACH SIDE OF THE PLANT. THE STAPLES SHALL BE ALIGNED IN A VERTICAL "COLUMN" 1'-6" FROM EACH OTHER. EACH COLUMN SHALL BE 1'-6" FROM THE CENTER OF THE PLANT. ONCE THE STAPLES ARE SECURED, THE CONTRATOR SHALL RUN "GREEN TAPE" THROUGH THE EYE OF EACH STAPLE AND TIE THE CLOSEST ROSE CANE LOOSELY TO THE FENCE ALLOWING MOVEMENT IN THE CANES. USE ONE GREEN TAPE TIE PER STAPLE. THERE SHALL BE SIX (6) TIES TOTAL PER PLANT.

TREE PROTECTION

BEFORE ANY EQUIPMENT IS MOVED ON SITE (INCLUDING PICK UP TRUCKS) THE CONTRACTOR SHALL INSTALL TEMPORARY CHAIN LINK FENCING WITH CONCRETE, TEMPORARY, ABOVE GRADE FOOTINGS AROUND ALL TREES TO REMAIN. DURING CONSTRUCTION, THE CONTRACTOR SHALL EMPLOY THE HIGHEST INDUSTRY STANDARDS TO PROTECT ALL EXISTING TREE TRUNKS AND LIMBS FROM DAMAGE AND ALL ROOT ZONES FROM COMPACTION AND EXCESSIVE WATER.

PLANT QUANTITIES

THE PLANT QUANTITIES SHOWN IN THE PLANT LEGENDS ARE DISPLAYED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITIES SHOWN IN THE LEGEND AND THE QUANTITIES SHOWN ON THE PLAN, THE QUANTITIES ON THE PLAN SHALL PREVAIL.

WATER CONSERVATION STATEMENTS

AS THE LANDSCAPE ARCHITECT ON THIS PROJECT, I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE LANDSCAOE WATER USE EFFICIENCY STANDARDS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINACE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

BRIAN W. POWELL, CALIFORNIA RLA #2525

HYDROZONE TABLE

Hydrozone	Valve	Irrigation Method & Coeficient	Area (sq. ft.)	% of Landscape Area
Low		Drip	18,900	100
	TOTAL:		18,900	100%

MAWA = 26.65" rain/year X .62 X (.57 X 18,900sf) = 178,000 GALLONS
ETWU (LOW) = 26.65" x .62 X [(.3 x 18,900sf) / .85] = 110,220 GALLONS

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Consultant

Architect:

Structural Engineer

Civil Engineer

Electrical Engineer

Other

Drawn by

Checked by

Revisions

Number	Description	Date

Client

BASIN STREET PROPERTIES

Project

HOME 2 SUITES BY HILTON

Sheet Title

PLANTING PLAN

Job Number
21802

Date
JULY 25, 2018

Scale
1" = 20'-0"

Sheet Number
L1