

**BICYCLIST REST AREA / RIVER OVERLOOK**

New landscaped open space areas along the Petaluma River will be accessible to both residents and the public. A part of this new open space will include a Public River Overlook Plaza with a rest area for pedestrians and bicyclists. The Plaza will connect to a future extension (by the City) of the existing bicycle trail near the bridge and the continuation of the bike trail along the south side of the Apartment Building East of Water Street.

The design of the plaza includes a sculptural bicycle rack, and a seat wall.

**SECURITY**  
 This area will include enhanced security lighting in the overlook area and along the bike path behind the apartment building. In addition, surveillance cameras will be placed at key locations to provide additional security in this area.

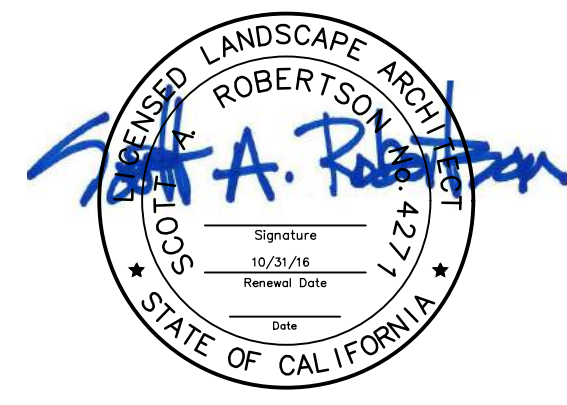
NO.	REVISIONS	DATE

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> APPROVED	<input type="checkbox"/> BID	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
---	-----------------------------------	------------------------------	---------------------------------------	---------------------------------

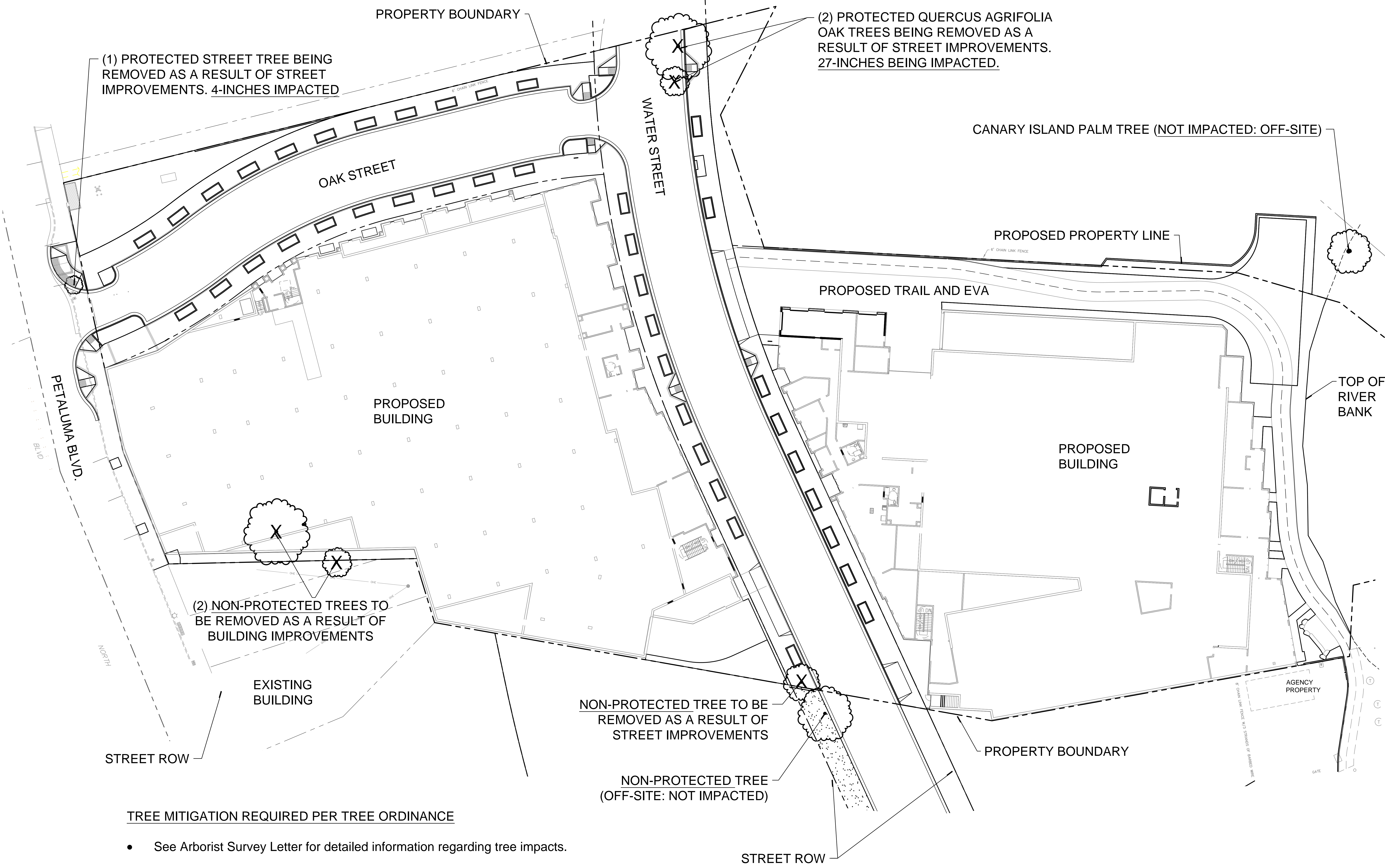
**omni·means**  
 ENGINEERING SOLUTIONS  
 SACRAMENTO REGION  
 2001 W. COLLETT AVENUE, SUITE 100  
 SACRAMENTO, CALIFORNIA 95833  
 (916) 486-1100  
 www.omnimeans.com

**PRELIMINARY OVERLOOK AREA DESIGN STUDY**  
**LANDSCAPE ARCHITECTURE**  
**NORTH RIVER APARTMENTS**  
 The Spanos Companies  
 Petaluma, California

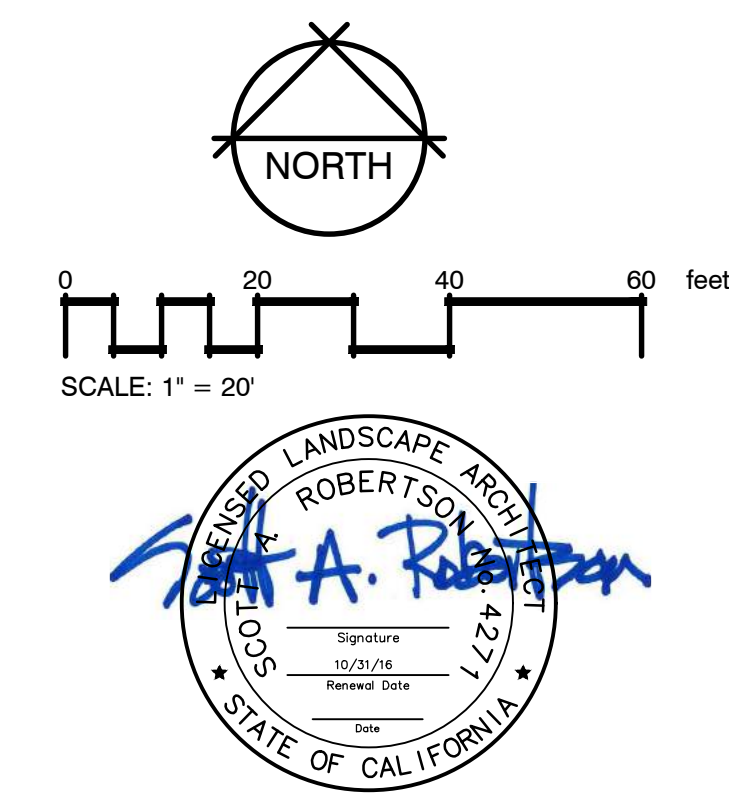
SCALE	1"=10'
JOB NO.	25-6800-4.3
DESIGNED	SAR
DRAWN	SAR
FILE	2000UPL
CHECKED	-
DATE	December 21, 2017



SHEET No.  
**LA5**  
 OF



- TREE MITIGATION REQUIRED PER TREE ORDINANCE**
- See Arborist Survey Letter for detailed information regarding tree impacts.
  - 31-inches of total Protected Tree impact.
  - 4" of Street Tree (Trident Maple) Mitigation: (2) 24" Box Trees located in proposed ROW per Street Tree Type allowed by SMART CODE. See Preliminary Landscape Plan.
  - 27" of Oak Tree Mitigation: 16" per (4) 48" Box Trees; 3" per (1) 36" Box Tree; 8" per (4) 24" Box Trees. Tree type proposed: Quercus agrifolia - See Preliminary Landscape Plan.



REVISIONS	DATE	BY

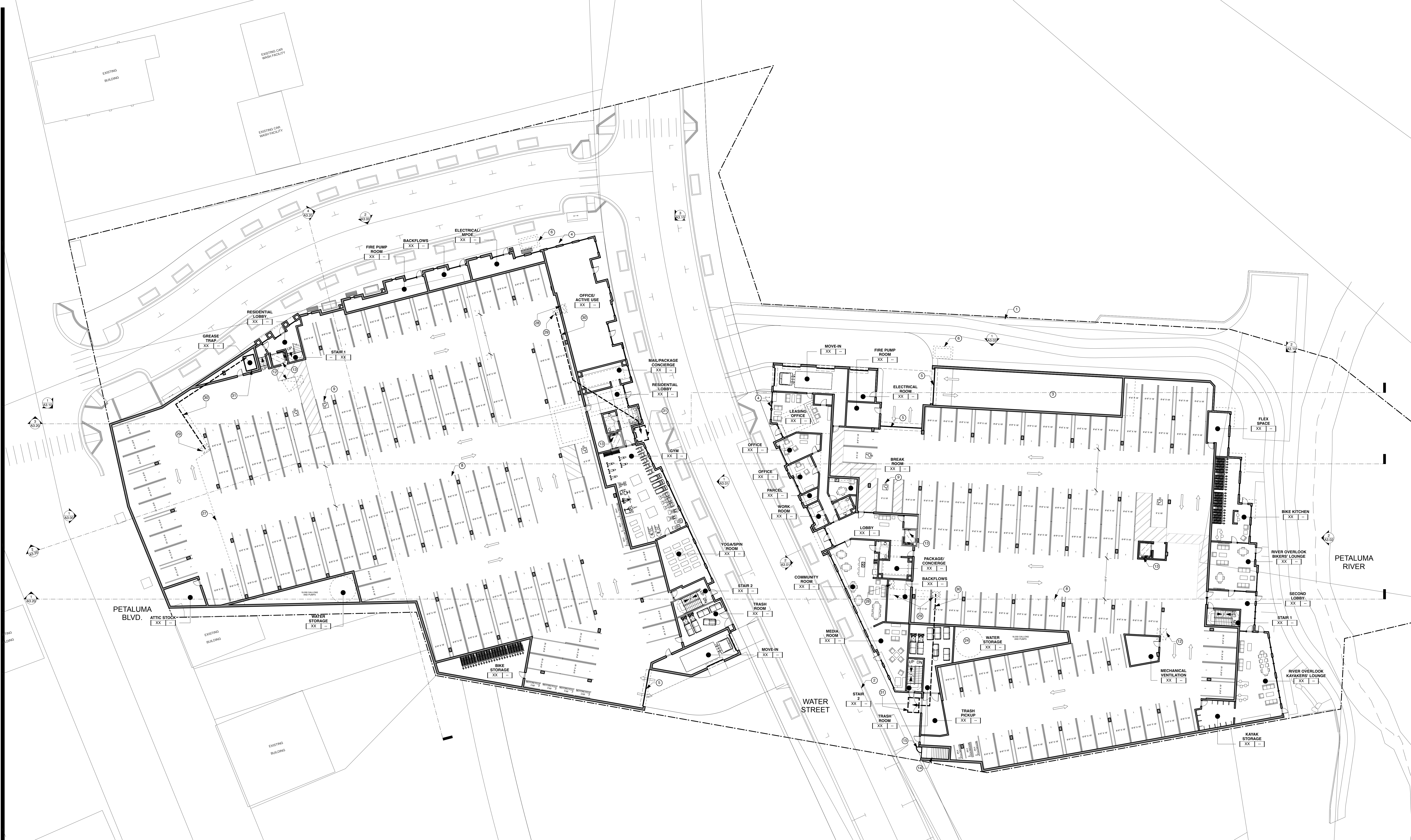
<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> APPROVED	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**omni·means**  
 ENGINEERING SOLUTIONS  
 SACRAMENTO REGION  
 2000 J STREET, SUITE 200  
 SACRAMENTO, CA 95811  
 TEL: 916.442.1111  
 FAX: 916.442.1112  
 WWW.OMNIMEANS.COM

**PRELIMINARY TREE REMOVAL PERMIT EXHIBIT  
 TREE IMPACT  
 NORTH RIVER APARTMENTS  
 The Spanos Companies  
 Petaluma, California**

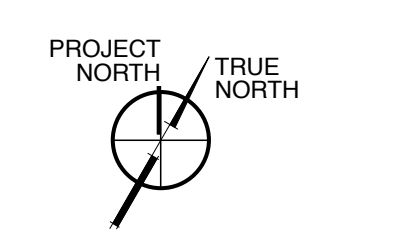
SCALE	1"=20'
JOB NO.	25-6809-43
DESIGNED	SAR
DRAWN	SAR
FILE	2000UPO
CHECKED	
DATE	December 21, 2017

SHEET No. **TI**  
 OF



**SHEET NOTES**

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
  - (25) MARQUEE
  - (26) ELEVATOR PENTHOUSE
  - (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
  - (28) COMMERCIAL SPACE VENTILATION SHAFT
  - (29) COMMERCIAL SPACE GREASE VENT SHAFT
  - (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
  - (31) FUTURE LOCATION OF GREASE TRAP
  - (1) PROPERTY LINE
  - (2) CONCRETE CURB & SIDEWALK, S.C.D.
  - (3) EXTERIOR PARKING RAMP
  - (4) GAS METERS
  - (5) GARAGE GATE
  - (6) TRANSFORMER
  - (7) CONDENSING UNITS
  - (8) PARKING SPACE, TYP. 8.5'x18'
  - (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
  - (10) SUNSHADE
  - (11) LINE OF BUILDING ABOVE
  - (12) GARAGE VENTILATION SHAFT
  - (13) ELEVATOR
  - (14) STAIR ACCESS TO PODIUM
  - (15) FENCE AND SECURITY GATE
  - (16) FRAME AND MESH FOR VINES
  - (17) PARAPET
  - (18) SLOPED ROOFS
  - (19) STAIR PENTHOUSE
  - (20) DECK
  - (21) PATIO
  - (22) BUILT UP ROOF
  - (23) ROOF SLOPE DIRECTION



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**STAMP**  
ALL DRAWINGS AND WRITTEN MATERIALS ARE THE PROPERTY OF BDE ARCHITECTURE. UNLESS OTHERWISE SPECIFIED, ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

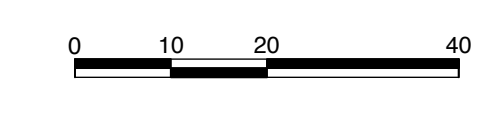
**BUILDING**  
**SITE PLAN**  
**FLOOR 01**

DATE: 12/21/17  
SCALE: 1/16"=1'-0"  
PROJECT NO.: 1527 DRAWN BY: XX  
SHEET SIZE: 30 x 42



**SHEET NOTES**

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
  - (25) MARQUEE
  - (26) ELEVATOR PENTHOUSE
  - (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
  - (28) COMMERCIAL SPACE VENTILATION SHAFT
  - (29) COMMERCIAL SPACE GREASE VENT SHAFT
  - (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
  - (31) FUTURE LOCATION OF GREASE TRAP
  - (1) PROPERTY LINE
  - (2) CONCRETE CURB & SIDEWALK, S.C.D.
  - (3) EXTERIOR PARKING RAMP
  - (4) GAS METERS
  - (5) GARAGE GATE
  - (6) TRANSFORMER
  - (7) CONDENSING UNITS
  - (8) PARKING SPACE, TYP. 8.5'x18'
  - (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
  - (10) SUNSHADE
  - (11) LINE OF BUILDING ABOVE
  - (12) GARAGE VENTILATION SHAFT
  - (13) ELEVATOR
  - (14) STAIR ACCESS TO PODIUM
  - (15) FENCE AND SECURITY GATE
  - (16) FRAME AND MESH FOR VINES
  - (17) PARAPET
  - (18) SLOPED ROOFS
  - (19) STAIR PENTHOUSE
  - (20) DECK
  - (21) PATIO
  - (22) BUILT UP ROOF
  - (23) ROOF SLOPE DIRECTION



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**STAMP**  
ALL DRAWINGS AND WRITTEN MATERIALS...  
AND MAY NOT BE REPRODUCED, COPIED OR...  
WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**BUILDING  
PLAN  
FLOOR 02**

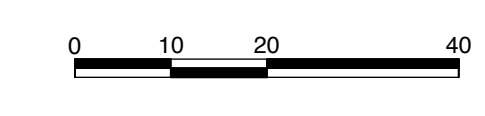
PROJECT NO. 1527 DRAWN BY: AK  
SHEET SIZE: 30 x 42



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017
---	---
---	---
---	---

**SHEET NOTES**

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
  - (25) MARQUEE
  - (26) ELEVATOR PENTHOUSE
  - (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
  - (28) COMMERCIAL SPACE VENTILATION SHAFT
  - (29) COMMERCIAL SPACE GREASE VENT SHAFT
  - (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
  - (31) FUTURE LOCATION OF GREASE TRAP
  - (1) PROPERTY LINE
  - (2) CONCRETE CURB & SIDEWALK, S.C.D.
  - (3) EXTERIOR PARKING RAMP
  - (4) GAS METERS
  - (5) GARAGE GATE
  - (6) TRANSFORMER
  - (7) CONDENSING UNITS
  - (8) PARKING SPACE, TYP. 8.5'x18'
  - (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
  - (10) SUNSHADE
  - (11) LINE OF BUILDING ABOVE
  - (12) GARAGE VENTILATION SHAFT
  - (13) ELEVATOR
  - (14) STAIR ACCESS TO PODIUM
  - (15) FENCE AND SECURITY GATE
  - (16) FRAME AND MESH FOR VINES
  - (17) PARAPET
  - (18) SLOPED ROOFS
  - (19) STAIR PENTHOUSE
  - (20) DECK
  - (21) PATIO
  - (22) BUILT UP ROOF
  - (23) ROOF SLOPE DIRECTION



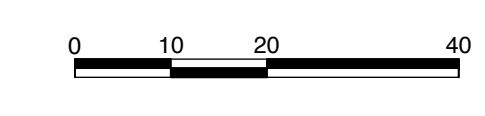
**BUILDING  
PLAN  
FLOOR 03**

PROJECT NO. 1527 DRAWN BY: AK  
SHEET SIZE: 30 x 42



**SHEET NOTES**

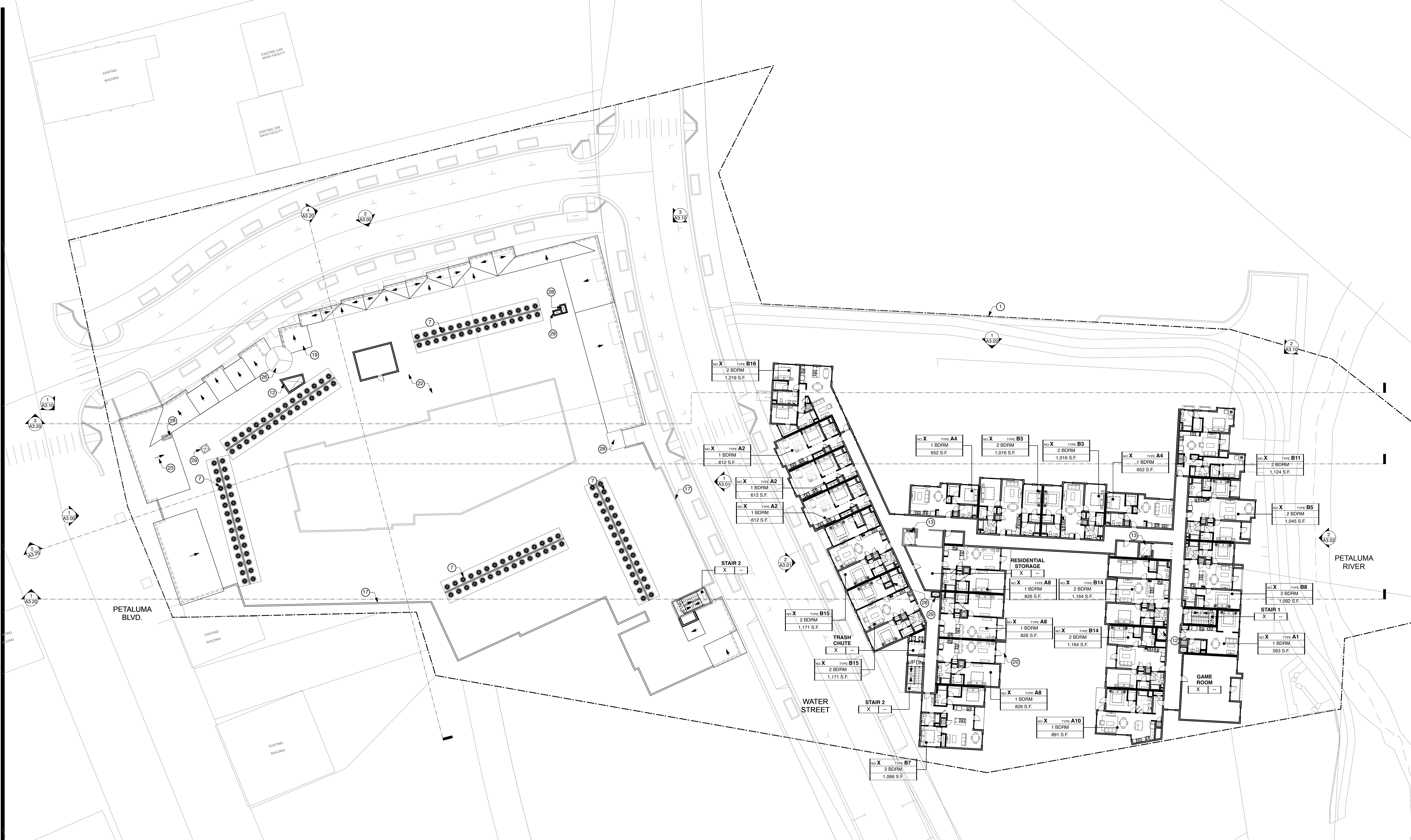
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
  - (25) MARQUEE
  - (26) ELEVATOR PENTHOUSE
  - (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
  - (28) COMMERCIAL SPACE VENTILATION SHAFT
  - (29) COMMERCIAL SPACE GREASE VENT SHAFT
  - (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
  - (31) FUTURE LOCATION OF GREASE TRAP
  - (1) PROPERTY LINE
  - (2) CONCRETE CURB & SIDEWALK, S.C.D.
  - (3) EXTERIOR PARKING RAMP
  - (4) GAS METERS
  - (5) GARAGE GATE
  - (6) TRANSFORMER
  - (7) CONDENSING UNITS
  - (8) PARKING SPACE, TYP. 8.5'x18'
  - (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
  - (10) SUNSHADE
  - (11) LINE OF BUILDING ABOVE
  - (12) GARAGE VENTILATION SHAFT
  - (13) ELEVATOR
  - (14) STAIR ACCESS TO PODIUM
  - (15) FENCE AND SECURITY GATE
  - (16) FRAME AND MESH FOR VINES
  - (17) PARAPET
  - (18) SLOPED ROOFS
  - (19) STAIR PENTHOUSE
  - (20) DECK
  - (21) PATIO
  - (22) BUILT UP ROOF
  - (23) ROOF SLOPE DIRECTION



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017
---	---
---	---
---	---

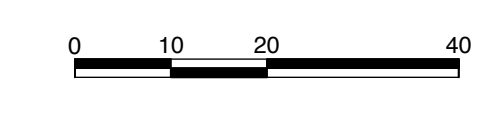
**BUILDING  
PLAN  
FLOOR 04**

PROJECT NO. 1527 DRAWN BY: AK  
SHEET SIZE: 30 x 42



**SHEET NOTES**

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
  - (25) MARQUEE
  - (26) ELEVATOR PENTHOUSE
  - (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
  - (28) COMMERCIAL SPACE VENTILATION SHAFT
  - (29) COMMERCIAL SPACE GREASE VENT SHAFT
  - (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
  - (31) FUTURE LOCATION OF GREASE TRAP
  - (1) PROPERTY LINE
  - (2) CONCRETE CURB & SIDEWALK, S.C.D.
  - (3) EXTERIOR PARKING RAMP
  - (4) GAS METERS
  - (5) GARAGE GATE
  - (6) TRANSFORMER
  - (7) CONDENSING UNITS
  - (8) PARKING SPACE, TYP. 8.5'x18'
  - (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
  - (10) SUNSHADE
  - (11) LINE OF BUILDING ABOVE
  - (12) GARAGE VENTILATION SHAFT
  - (13) ELEVATOR
  - (14) STAIR ACCESS TO PODIUM
  - (15) FENCE AND SECURITY GATE
  - (16) FRAME AND MESH FOR VINES
  - (17) PARAPET
  - (18) SLOPED ROOFS
  - (19) STAIR PENTHOUSE
  - (20) DECK
  - (21) PATIO
  - (22) BUILT UP ROOF
  - (23) ROOF SLOPE DIRECTION

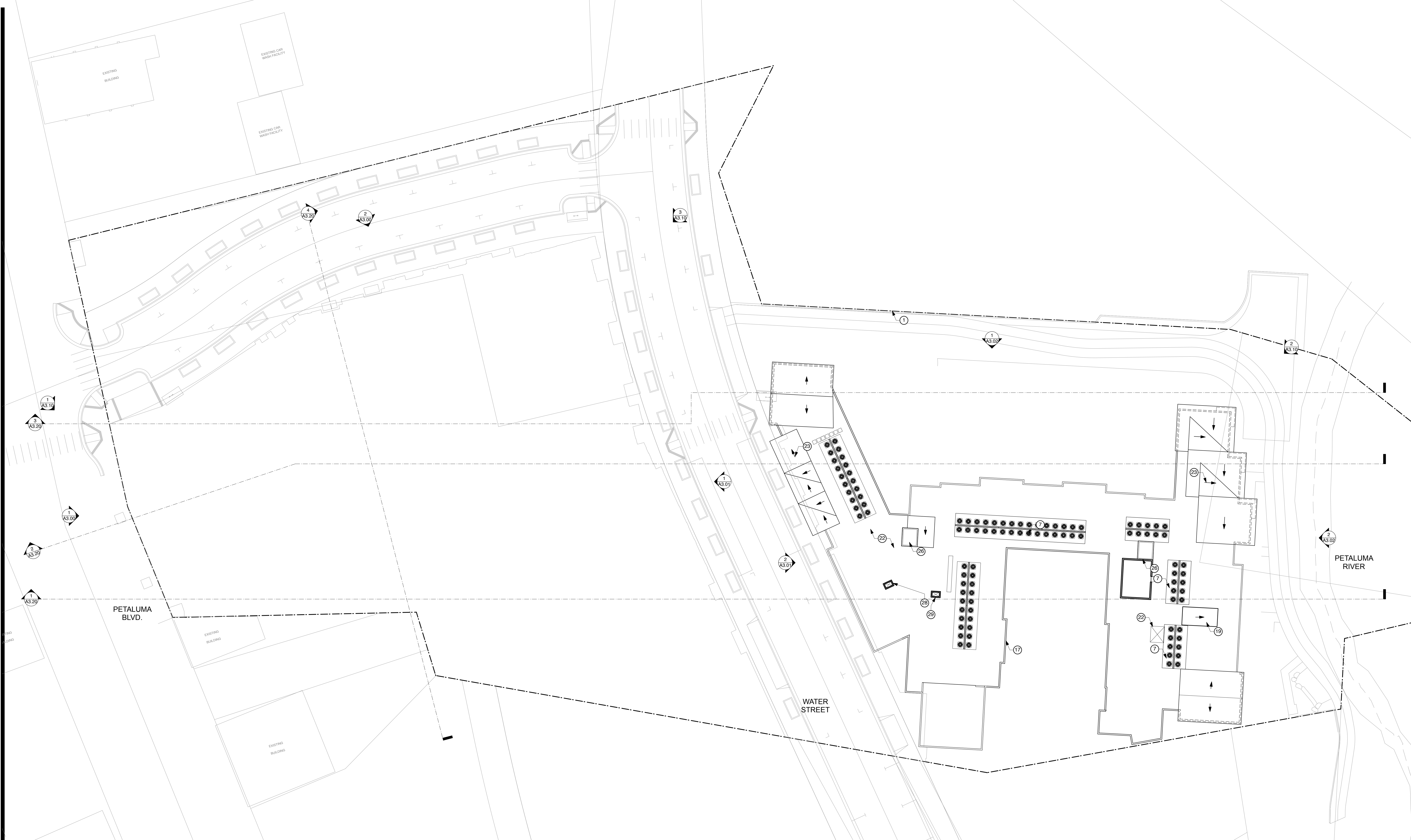


ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**STAMP**  
ALL DIMENSIONS AND WRITTEN MATERIALS, UNLESS OTHERWISE SPECIFICALLY IDENTIFIED, SHALL BE IN ACCORDANCE WITH THE 2015 CALIFORNIA BUILDING CODE, UNLESS OTHERWISE SPECIFIED. ANY AND ALL MATERIALS, METHODS, AND EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT.

**BUILDING PLAN FLOOR 05**

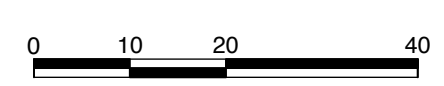
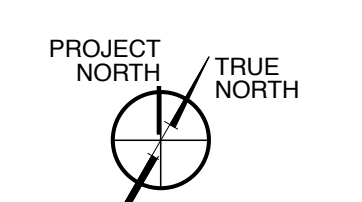
PROJECT No. 1527 DRAWN BY: AK  
SHEET SIZE: 30 x 42



**SHEET NOTES**

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- (24) WATER TANK, SUPPLEMENTAL IRRIGATION WATER TO BE FROM ROOF RAIN WATER COLLECTION SYSTEM. COLLECTION TANKS TO BE LOCATED IN THE GARAGE LEVEL OF EACH BUILDING. TOTAL AMOUNT OF WATER AVAILABLE TO BE DETERMINED.
- (25) MARQUEE
- (26) ELEVATOR PENTHOUSE
- (27) DROP-SLAB AT RETAIL, SEE BLDG. SECTIONS
- (28) COMMERCIAL SPACE VENTILATION SHAFT
- (29) COMMERCIAL SPACE GREASE VENT SHAFT
- (30) UNDERSLAB SEWER CONNECTION FOR FUTURE POTENTIAL COMMERCIAL USE
- (31) FUTURE LOCATION OF GREASE TRAP
- (1) PROPERTY LINE
- (2) CONCRETE CURB & SIDEWALK, S.C.D.
- (3) EXTERIOR PARKING RAMP
- (4) GAS METERS
- (5) GARAGE GATE
- (6) TRANSFORMER
- (7) CONDENSING UNITS
- (8) PARKING SPACE, TYP. 8.5'x18'
- (9) DISABLED ACCESSIBLE PARKING SPACE, 9'x18'
- (10) SUNSHADE
- (11) LINE OF BUILDING ABOVE
- (12) GARAGE VENTILATION SHAFT
- (13) ELEVATOR
- (14) STAIR ACCESS TO PODIUM
- (15) FENCE AND SECURITY GATE
- (16) FRAME AND MESH FOR VINES
- (17) PARAPET
- (18) SLOPED ROOFS
- (19) STAIR PENTHOUSE
- (20) DECK
- (21) PATIO
- (22) BUILT UP ROOF
- (23) ROOF SLOPE DIRECTION



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**STAMP**  
ALL DIMENSIONS AND WRITTEN MATERIALS, UNLESS OTHERWISE SPECIFICALLY INDICATED, ARE TO BE CONSIDERED AS PART OF THE ARCHITECT'S DESIGN AND SHALL NOT BE REPRODUCED, COPIED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**BUILDING  
PLAN  
ROOF**

PROJECT No. 1527 DRAWN BY: AK  
SHEET SIZE: 30 x 42



**SHEET NOTES**  
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 CONCRETE TILE
- 2 STANDING SEAM METAL ROOF, PTD.
- 3 FIBER CEMENT PANEL FASCIA, PTD.
- 4 SHEET METAL FASCIA, PTD.
- 5 COSMETIC STEEL CHIMNEY
- 6 VPI WINDOW (WHITE OR GREY)
- 7 ALUMINUM STOREFRONT SYSTEM
- 8 TRANSLUCENT WHITE OPAQUE GLASS
- 9 CORRUGATED METAL SIDING, PTD.
- 10 FIBER CEMENT SIDING, PTD.
- 11 PLASTER, PTD.
- 12 CONCRETE BASE
- 13 BLACK HONED GRANITE OR DARK BRICK BASE
- 14 PARAPET WITH GALVANIZED SHEET METAL COPING, PTD.
- 15 STEEL SUNSHADE, PTD.
- 16 MARQUEE; STEEL STRUCTURE, PTD.
- 17 STEEL SECURITY FENCE & GATE ACCESS, PTD.
- 18 RETAIL SIGNAGE, PER PETALUMA STANDARDS
- 19 CONCRETE SIDE WALK RETAINING WALL
- 20 STEEL TUBE RAILING
- 21 GARAGE VENTILATION GRILL, PTD.
- 22 OVERHEAD GARAGE DOOR
- 23 BOARD FORM CONCRETE
- 24 STEEL AND WOOD PERGOLA
- 25 NOT USED
- 26 NOT USED
- 27 NOT USED
- 28 METAL FRAME FOR VINE SUPPORT
- 29 PANEL OVERHEAD DOOR W/ OPAQUE WHITE GLASS
- 30 RESIDENTIAL LOBBY DOOR
- 31 RETAIL TYPE DOOR
- 32 STAIR DOOR
- 33 PLANTER OR ON GRADE PLANTING
- 34 BENCH
- 35 SIDEWALK RAILING, PTD.
- 36 SIDEWALK STEPS
- 37 WALL COVE
- 38 ELEVATOR PENTHOUSE
- 39 BAY WINDOW
- 40 DECK OR JULIET BALCONY
- 41 VPI DECK DOOR
- 42 COURTYARD ACCESS/BREEZEWAY
- 43 NOT USED
- 44 NOT USED
- 45 NOT USED
- 46 NOT USED
- 47 NOT USED
- 48 NOT USED
- 49 NOT USED
- 50 LIGHT TYPE 1, 1/A8.03
- 51 LIGHT TYPE 2, 2/A8.03
- 52 LIGHT TYPE 3, 3/A8.03
- 53 LIGHT TYPE 4, 4/A8.03
- 54 LIGHT TYPE 5, 5/A8.03
- 55 LIGHT TYPE 6, 6/A8.03
- 56 LIGHT TYPE 7, 7/A8.03



**BOULEVARD BLDG. - OAK ST. ELEVATION 2**  
1/8" = 1'-0"



**BOULEVARD BUILDING - PETALUMA BLVD. ELEVATION 1**  
1/8" = 1'-0"



ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**RENDERED EXTERIOR ELEVATIONS**

DATE: 12/21/2017  
SCALE: 1/8"=1'-0"  
PROJECT NO.: 1527 DRAWN BY: XXX  
SHEET SIZE: 30 x 42

**SHEET NOTES**

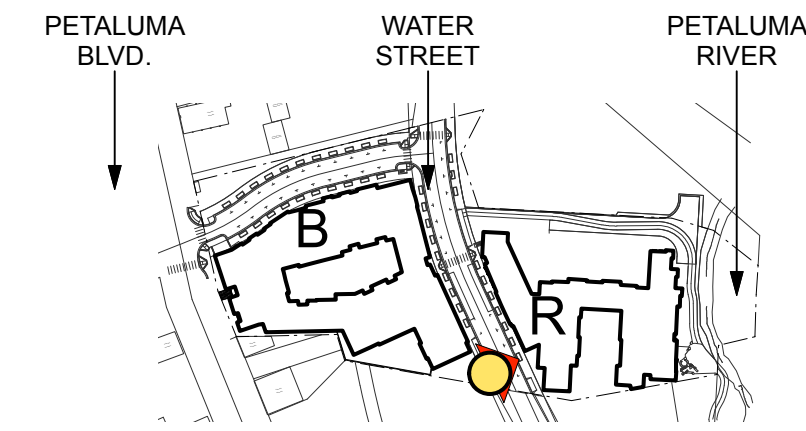
NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

- 1 CONCRETE TILE
- 2 STANDING SEAM METAL ROOF, PTD.
- 3 FIBER CEMENT PANEL FASCIA, PTD.
- 4 SHEET METAL FASCIA, PTD.
- 5 COSMETIC STEEL CHIMNEY
- 6 VPI WINDOW (WHITE OR GREY)
- 7 ALUMINUM STOREFRONT SYSTEM
- 8 TRANSLUCENT WHITE OPAQUE GLASS
- 9 CORRUGATED METAL SIDING, PTD.
- 10 FIBER CEMENT SIDING, PTD.
- 11 PLASTER, PTD.
- 12 CONCRETE BASE
- 13 BLACK HONED GRANITE OR DARK BRICK BASE
- 14 PARAPET WITH GALVANIZED SHEET METAL COPING, PTD.
- 15 STEEL SUNSHADE, PTD.
- 16 MARQUEE; STEEL STRUCTURE, PTD.
- 17 STEEL SECURITY FENCE & GATE ACCESS, PTD.
- 18 RETAIL SIGNAGE, PER PETALUMA STANDARDS
- 19 CONCRETE SIDE WALK RETAINING WALL
- 20 STEEL TUBE RAILING
- 21 GARAGE VENTILATION GRILL, PTD.
- 22 OVERHEAD GARAGE DOOR
- 23 BOARD FORM CONCRETE
- 24 STEEL AND WOOD PERGOLA
- 25 NOT USED
- 26 NOT USED
- 27 NOT USED
- 28 METAL FRAME FOR VINE SUPPORT
- 29 PANEL OVERHEAD DOOR W/ OPAQUE WHITE GLASS
- 30 RESIDENTIAL LOBBY DOOR
- 31 RETAIL TYPE DOOR
- 32 STAIR DOOR
- 33 PLANTER OR ON GRADE PLANTING
- 34 BENCH
- 35 SIDEWALK RAILING, PTD.
- 36 SIDEWALK STEPS
- 37 WALL COVE
- 38 ELEVATOR PENTHOUSE
- 39 BAY WINDOW
- 40 DECK OR JULIET BALCONY
- 41 VPI DECK DOOR
- 42 COURTYARD ACCESS/BREEZEWAY
- 43 NOT USED
- 44 NOT USED
- 45 NOT USED
- 46 NOT USED
- 47 NOT USED
- 48 NOT USED
- 49 NOT USED
- 50 LIGHT TYPE 1, 1/A8.03
- 51 LIGHT TYPE 2, 2/A8.03
- 52 LIGHT TYPE 3, 3/A8.03
- 53 LIGHT TYPE 4, 4/A8.03
- 54 LIGHT TYPE 5, 5/A8.03
- 55 LIGHT TYPE 6, 6/A8.03
- 56 LIGHT TYPE 7, 7/A8.03

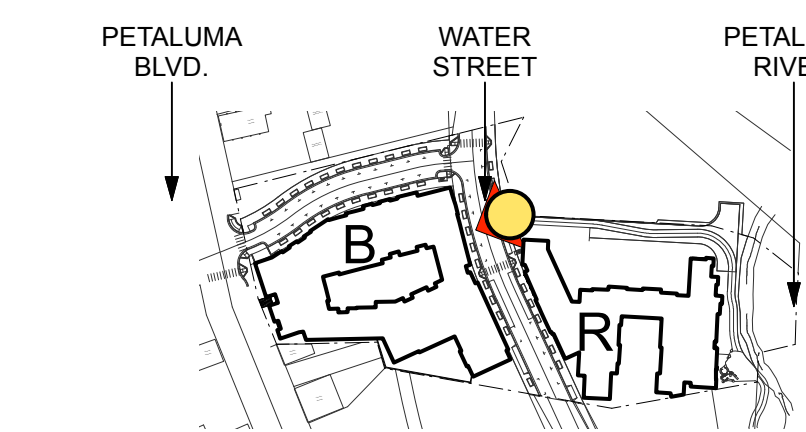
ISSUE	DATE
SPAR	08.04.2016
SPAR UPDATE	09.21.2016
SPAR UPDATE	12.12.2016
SPAR UPDATE	05.03.2017
SPAR UPDATE	08.30.2017
SPAR UPDATE	12.21.2017

**RENDERED EXTERIOR ELEVATIONS**

PROJECT NO. 1527 DRAWN BY: XXX  
SHEET SIZE: 30 x 42



**RIVER BUILDING - WATER ST. ELEVATION 2**  
1/8" = 1'-0"



**BOULEVARD BUILDING - WATER STREET ELEVATION 1**  
1/8" = 1'-0"

