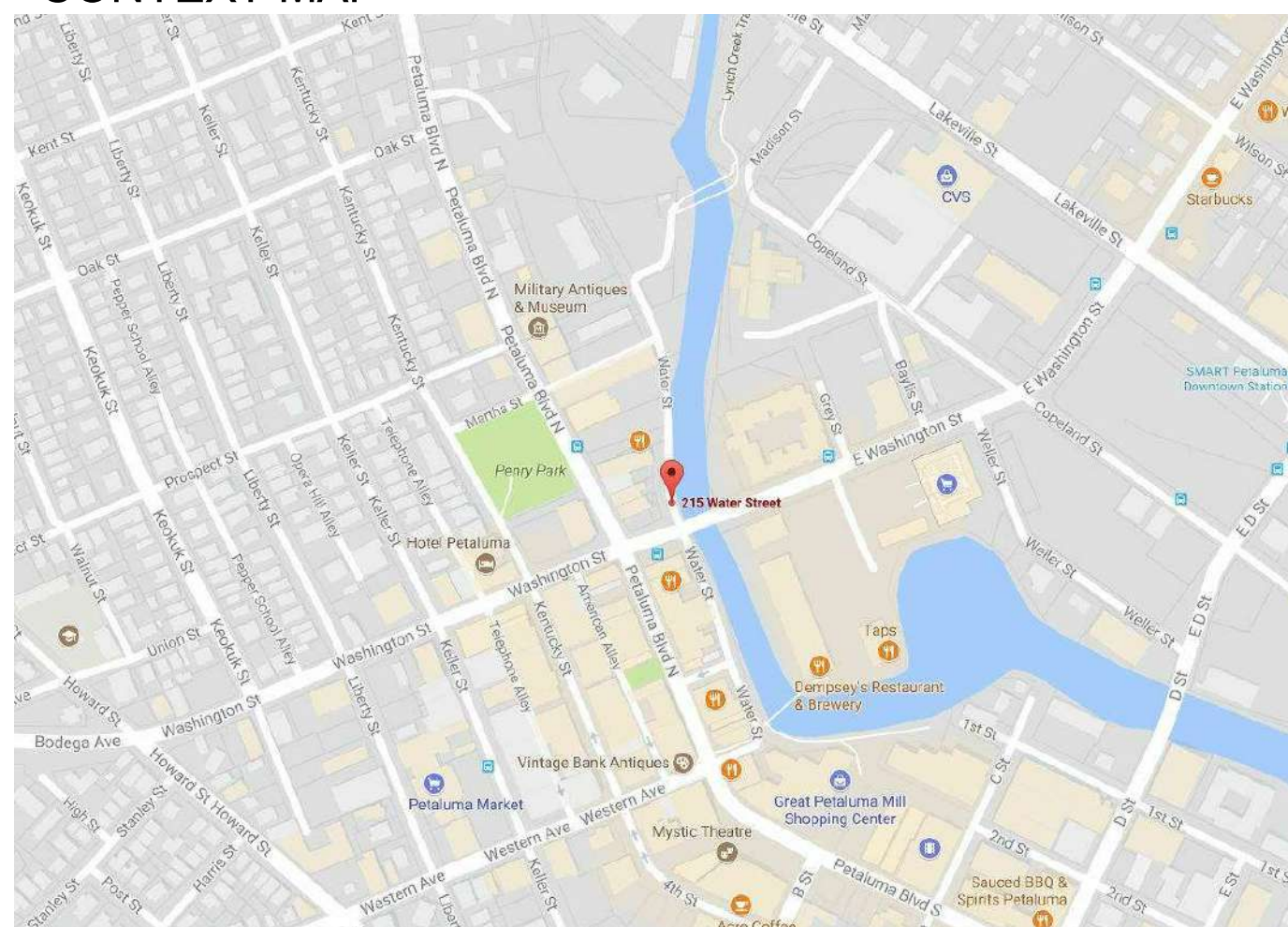


# 215 N WATER STREET (208 PETALUMA BLVD NORTH)

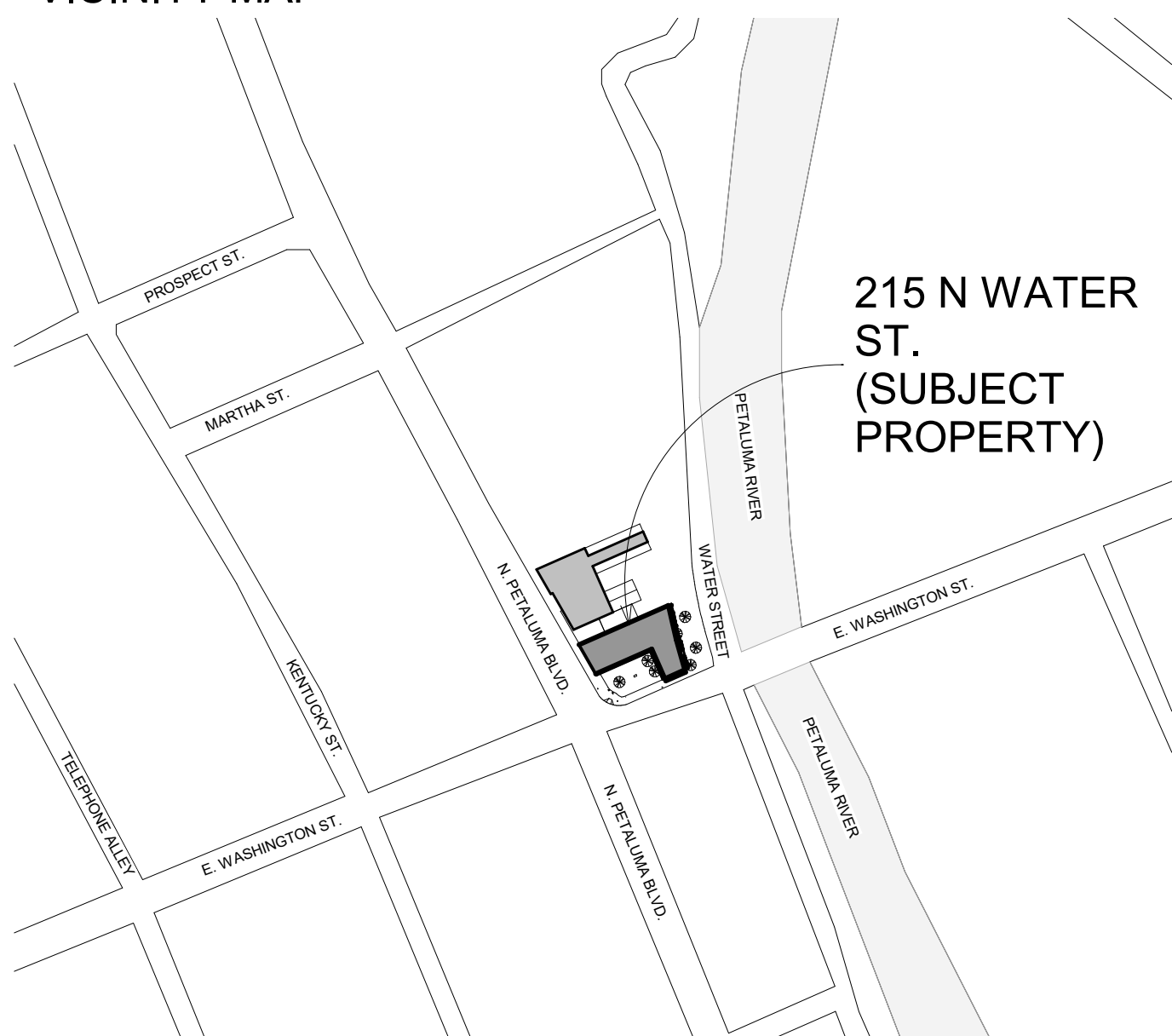
REAR BUILDING WALL IMPROVEMENT  
1/26/2021 /R3  
PLSR-20-0017



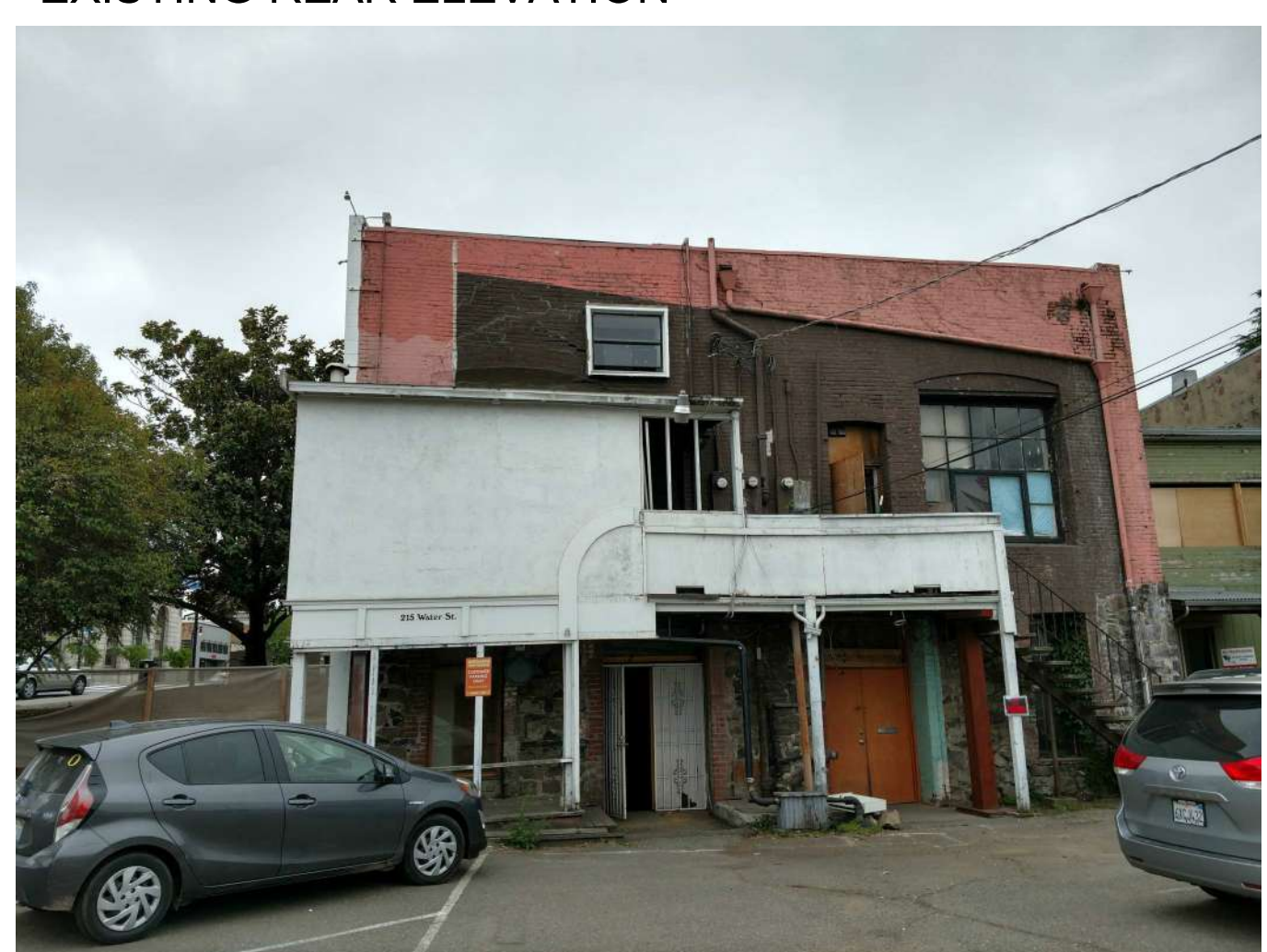
CONTEXT MAP



VICINITY MAP



EXISTING REAR ELEVATION



SHEET INDEX:

<b>GENERAL</b>	
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G0.02	GENERAL NOTES
G0.03	ACCESSIBILITY & DETAILS
G0.04	PROPERTY SURVEY
G0.05	NORTH RIVER APARTMENTS - PUBLIC IMPROVEMENT PLANS (REFERENCE)
<b>CIVIL</b>	
C-1	GRADING AND DRAINAGE PLAN
<b>ARCHITECTURAL</b>	
AE1.01	EXISTING SITE PLAN
AE2.01	EXISTING BASEMENT PLAN
AE2.02	EXISTING FIRST FLOOR PLAN & MEZZANINE PLAN
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A5.01	EXISTING AND PROPOSED FRONT AND REAR ELEVATION
A5.02	EXISTING AND PROPOSED SOUTH ELEVATIONS
A5.03	EXISTING AND PROPOSED NORTH ELEVATION
A7.01	PROPOSED BUILDING SECTIONS
<b>TITLE-24</b>	
T24-01	TITLE-24 ENERGY REPORT
T24-02	TITLE-24 ENERGY REPORT
<b>LANDSCAPE</b>	
L-1	SCHEMATIC PLANTING PLAN
SHEET COUNT: 21	

OCCUPANCY CLASSIFICATION & DESIGN OCCUPANT LOADS

NOTES:	NON-SEPARATED USES PER 508.3 SHALL BE USED
BASEMENT:	<b>A-2</b> (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANT LOAD FACTOR = 15 SF / OCCUPANT <b>A-2</b> (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT <b>A-2</b> (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT <b>A-2</b> (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP. <b>S-1</b> (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT
FIRST FLOOR:	<b>A-2</b> (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT <b>A-2</b> (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. <b>S-2</b> (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT
MEZZANINE:	<b>B</b> (OFFICES) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT <b>S-2</b> (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT

BUILDINGS FULLY SPRINKLERED:  
SPRINKLERS COMPLETED UNDER SEPARATE PERMIT  
(PERMIT # 17-115)

BUILDING DATA

PARCEL / LOT #:	006-284+040 / 006-284-041
OCCUPANCY GROUP:	(E) A-2 ASSEMBLY, B OFFICES, S-1 STORAGE (NO CHANGE)
CONSTRUCTION TYPE:	V-B (FULLY SPRINKLERED)
BUILDING GROSS SF:	(E) 8,775 sqft (NO CHANGE)
	BASEMENT: 4,012 sqft
	FIRST FLOOR: 3,668 sqft
	MEZZANINE: 1,095 sqft
OCCUPANCY LOAD:	EXISTING TOTAL = 283 OCCUPANTS (NO CHANGE)
(NO CHANGE)	BASEMENT: 145 OCCUPANTS
	FIRST FLOOR: 132 OCCUPANTS
	MEZZANINE: 6 OCCUPANTS
BUILDING HEIGHT:	19'-5" (AT FRONT OF STRUCTURE) (NO CHANGE)
BUILDING STORIES:	1+MEZZANINE OVER BASEMENT (AKA GROUND FLOOR)
ZONING DISTRICT:	CENTRAL PETALUMA SPECIFIC PLAN
ZONING DESIGNATION:	T-5
ADDRESSE(S):	208 PETALUM BLVD. & 215 N. WATER STREET

APPLICABLE CODES

- ALL CONSTRUCTION SHALL COMPLY WITH:
- 2019 CALIFORNIA BUILDING CODE
  - 2019 CALIFORNIA PLUMBING CODE
  - 2019 CALIFORNIA MECHANICAL CODE
  - 2019 CALIFORNIA ELECTRICAL CODE
  - 2019 CALIFORNIA FIRE CODE
  - 2019 CALIFORNIA BUILDING ENERGY STANDARDS
  - 2019 CALIFORNIA GREEN BUILDING STANDARDS

ABBREVIATIONS

#	NUMBER	JT	JOINT
@	AT	LAV	LAVATORY
AB	ANCHOR BOLT	MAX	MAXIMUM
ADJ	ADJACENT	MIN	MINIMUM
AL	ALUMINUM	MFR	MANUFACTURER
ALT	ALTERNATE	MTL	METAL
AFF	ABOVE FINISH FLOOR	(N)	NEW
APPROX	APPROXIMATE	NIC	NOT IN CONTRACT
		NO#	NUMBER
		NTS	NOT TO SCALE
BLDG	BUILDING	OC	ON CENTER
BTWN	BETWEEN	OPNG	OPENING
BOT	BOTTOM	OPP	OPPOSITE
CAB	CABINET	PL	PROPERTY LINE
CEM	CEMENT	PLY	PLYWOOD
CLR	CLEAR	PTDF	PRESSURE TREATED DOUGLAS FIR
CMU	CONCRETE MASONRY UNIT	PLM	PLASTIC LAMINATE
COL	COLUMN	PTD	PAINTED
CONT	CONTINUOUS	PTN	PARTITION
CTR	CENTER	R	RISER
CL	CENTER LINE	REF	REFERENCE
CER	CERAMIC	REFR	REFRIGERATOR
CLG	CEILING	RWD	REDWOOD
CONC	CONCRETE	REINFC	REINFORCED
		REINP	ROUGH OPENING
		RO	RAIN WATER LEADER
DBL	DOUBLE	RWL	REQUIRED
DEPT	DEPARTMENT	SIM	SIMILAR
DIA	DIAMETER	SHT	SHEET
DF	DOUGLAS FIR	SHT	SLAB ON GRADE
DH	DOUBLE HUNG	SOG	SPECIFICATION
DIM	DIMENSION	SPEC	STAINLESS STEEL
DN	DOWN	SS	STANDARD
DS	DOWNSPOUT	STD	STRUCTURAL
DTL	DETAIL	STRL	SUSPENDED
DWG	DRAWING	SUSP	SOLID WOOD
(E)	EXISTING	SW	SYMMETRICAL
EA	EACH	SYM	
ELEC	ELECTRICAL	TRD	TREAD
EL	ELEVATION	T&G	TONGUE AND GROOVE
EQ	EQUAL	THK	TRICK
EXT	EXTERIOR	TOS	TOP OF SLAB
		TP	TOILET PAPER
FDN	FOUNDATION	TB	TOWEL BAR
FIN	FINISH	TYP	TYPICAL
FLR	FLOOR	UON	UNLESS OTHERWISE NOTED
FLUOR	FLOURESCENT	VERT	VERTICAL
FOC	FACE OF CONCRETE	VIF	VERIFY IN FIELD
FOS	FACE OF STUD	VPFAM	VAPOR PERMEABLE FLUID APPLIED MEMBRANE
FTG	FOOTING	W	WITH
FOF	FACE OF FINISH	WO	WITHOUT
		WC	WATER CLOSET
GALV	GALVANIZED	WDW	WINDOW
GFIC	GROUND FAULT INTERRUPT CIRCUIT	WP	WATERPROOF
GL	GLASS	WT	WEIGHT
GM	GLASS MIRROR	WD	WOOD
GND	GROUND	WH	WATER HEATER
GYP	GYPNUM		
GWB	GYPNUM WALL BOARD		
HC	HIGH PERFORMANCE COATING		
HM	HOLLOW METAL		
HORZ	HORIZONTAL		
HT	HEIGHT		
INSUL	INSULATION		
INT	INTERIOR		

PROJECT DIRECTORY

OWNER: TIM BROWN PHONE: 415 - 317 - 2006 ADDRESS: 775 MONTEREY BLVD, SAN FRANCISCO, CA 94127
TENANT:TUP TIM THAI CONTACT: VICHUDA PHONE: 503 - 569 - 2259
ARCHITECT: KERMAN MORRIS ARCHITECTS, LLP PHONE: 415 - 377 - 7527 ADDRESS: 139 NOE STREET, SAN FRANCISCO, CA 94114
STRUCTURAL ENGINEER: BONZA ENGINEER, INC. PHONE: 415 - 516 - 3569 ADDRESS: 356 NOE STREET, SAN FRANCISCO, CA 94114

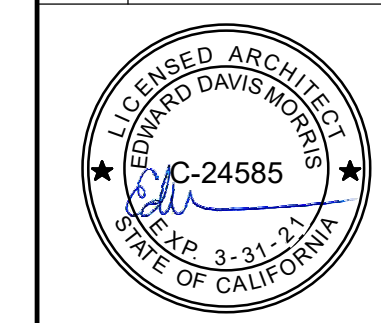
PLSR-20-0017

1/26/21 REVISIONS (PER 12/23/20 INCOMPLETENESS LETTER) /R3

SCOPE OF WORK

- The scope of work for this permit is:
- The remodel and repair of the existing rear facade wall, including but not limited to replaced and new windows, new doors, stabilization of stone, repair/replacement of brick (scope per elevation and structural feasibility), replacement of existing stair, addition of exterior ramp and stairs, and update of patio space, etc...
  - Moving of existing electrical and utility meters
  - A trash enclosure, sided in fencing material to match proposed fencing, is proposed for the north east corner of the lot.
  - This permit follows on issued Building Permit BLDG-17-1697 which created a new fire rated stair between the basement and first floor, a patio with retaining walls along Water Street, and a new entrance on Petaluma Boulevard North. This work (BLDG-17-1697) is currently under construction and shown as "existing" for the purposes of this permit. The building is currently fully sprinklered (per Permit # 17-115).
  - Brick shall be repaired where shown; Paint removed using low pressure chemical process, falling mortar to be repointed, and new bricks to be tied into existing (matching color and bond). All work shall be consistent with the secretary of interiors standards based off the historicity of the area of the building identified in the scope of work (this shall mean the rear facade for the purpose of this permit)

Revisions

**215 N WATER ST**  
APN(S):  
**006-284-040 & 006-284-041**

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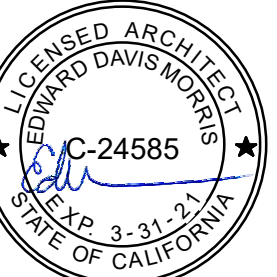
COVER SHEET

DATE	01/26/21
SCALE	1" = 200'-0"
DRAWN BY	OG
CHECKED BY	TM
JOB NO.	

**G0.01**



Revisions



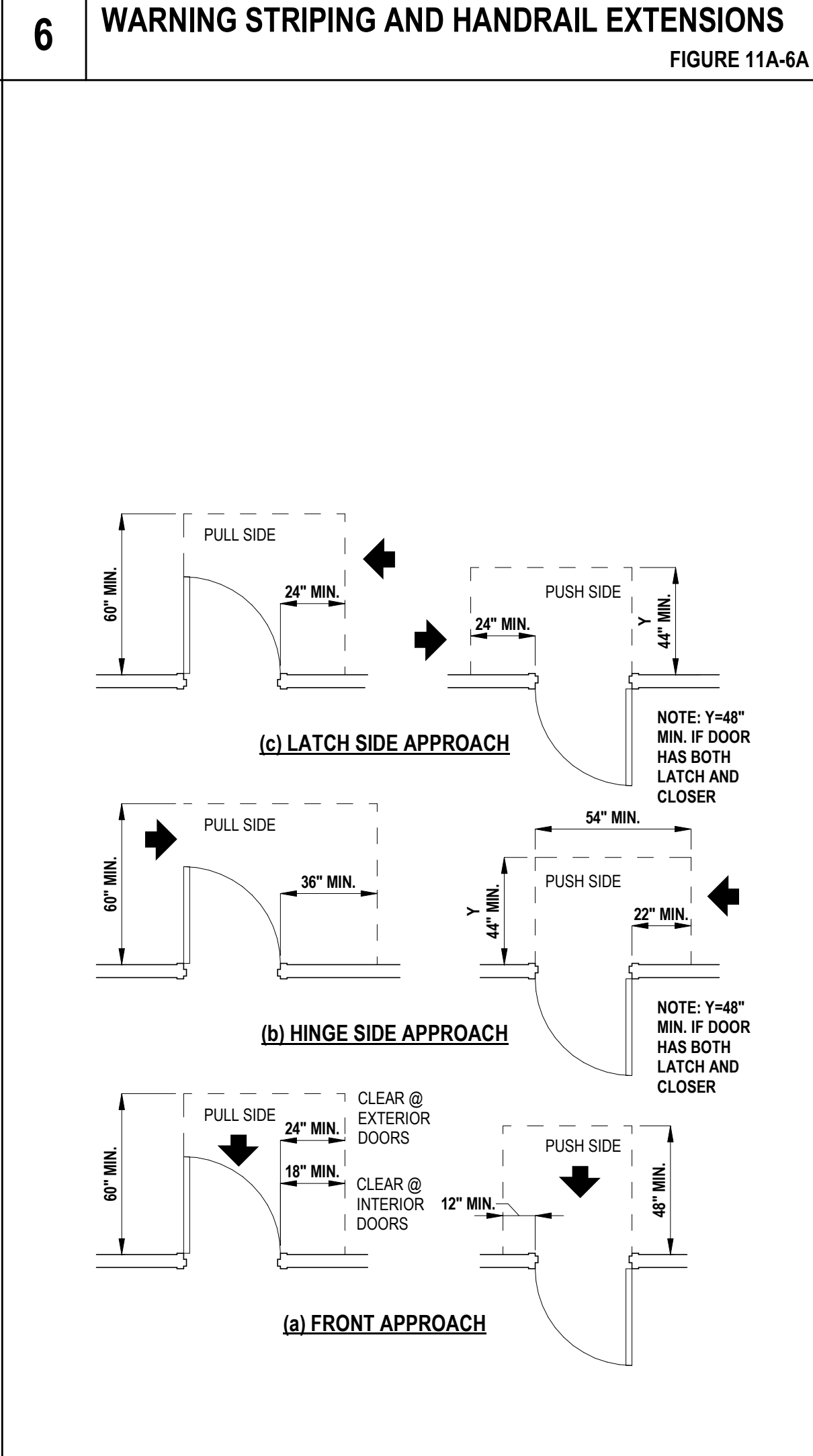
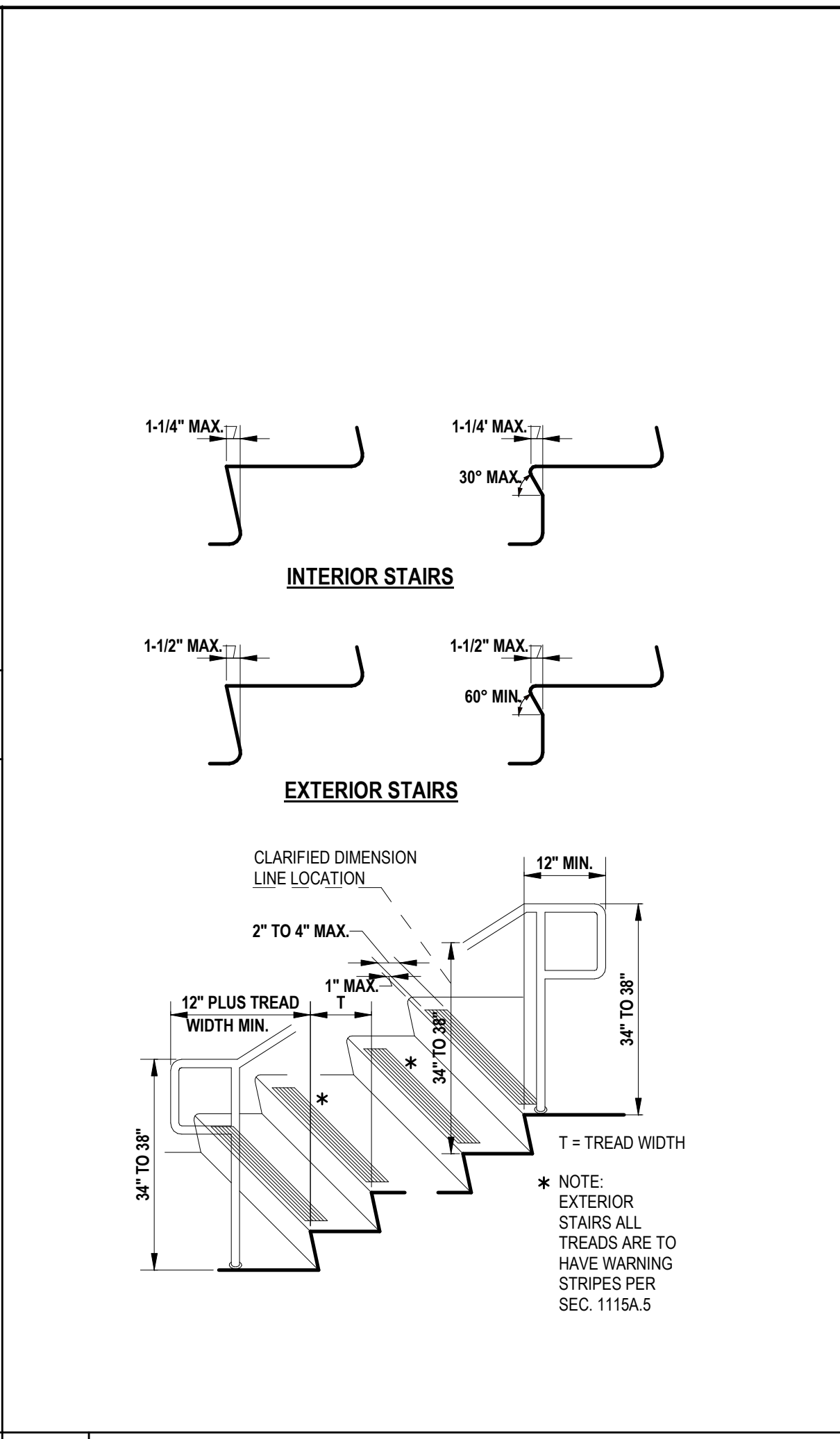
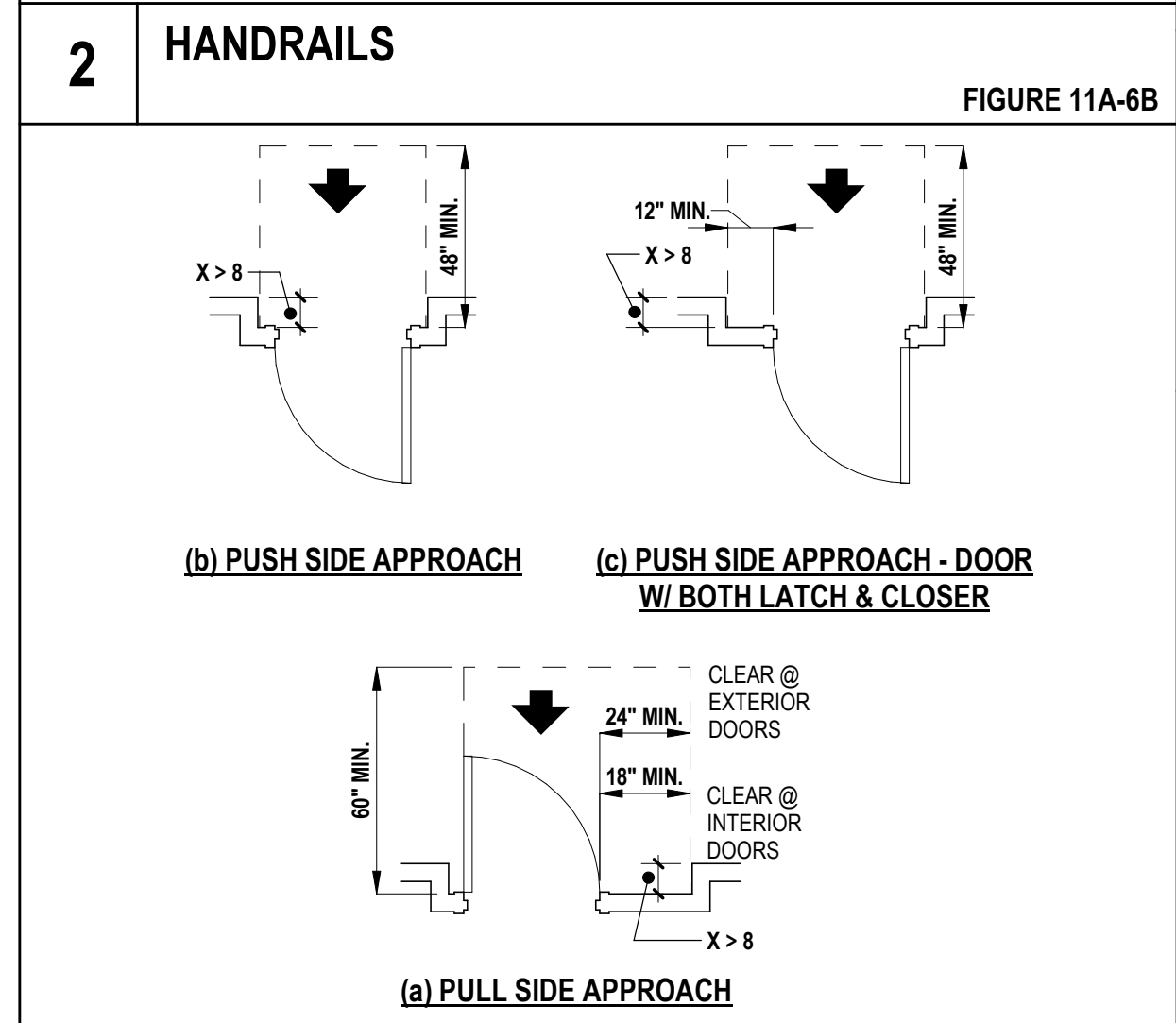
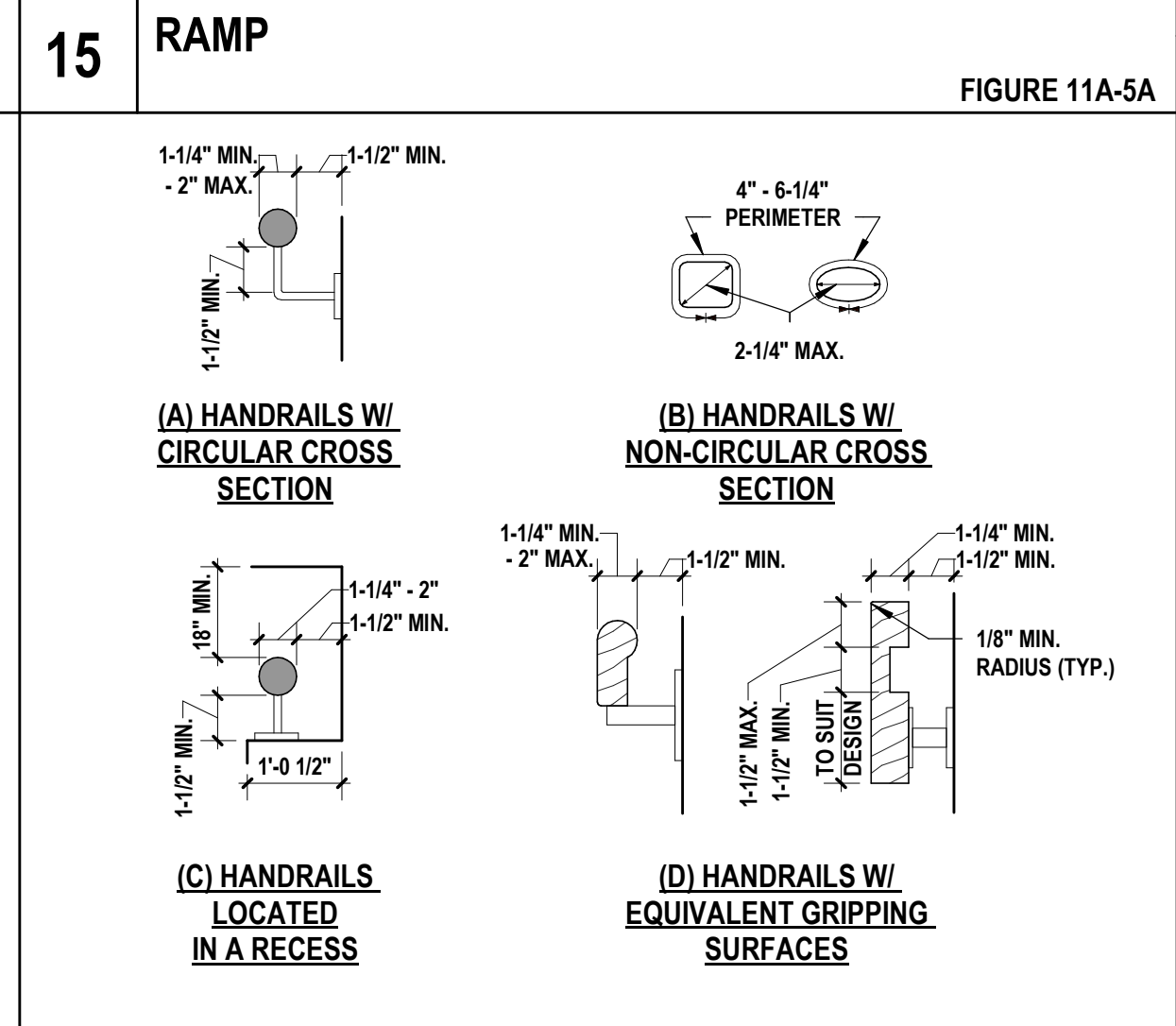
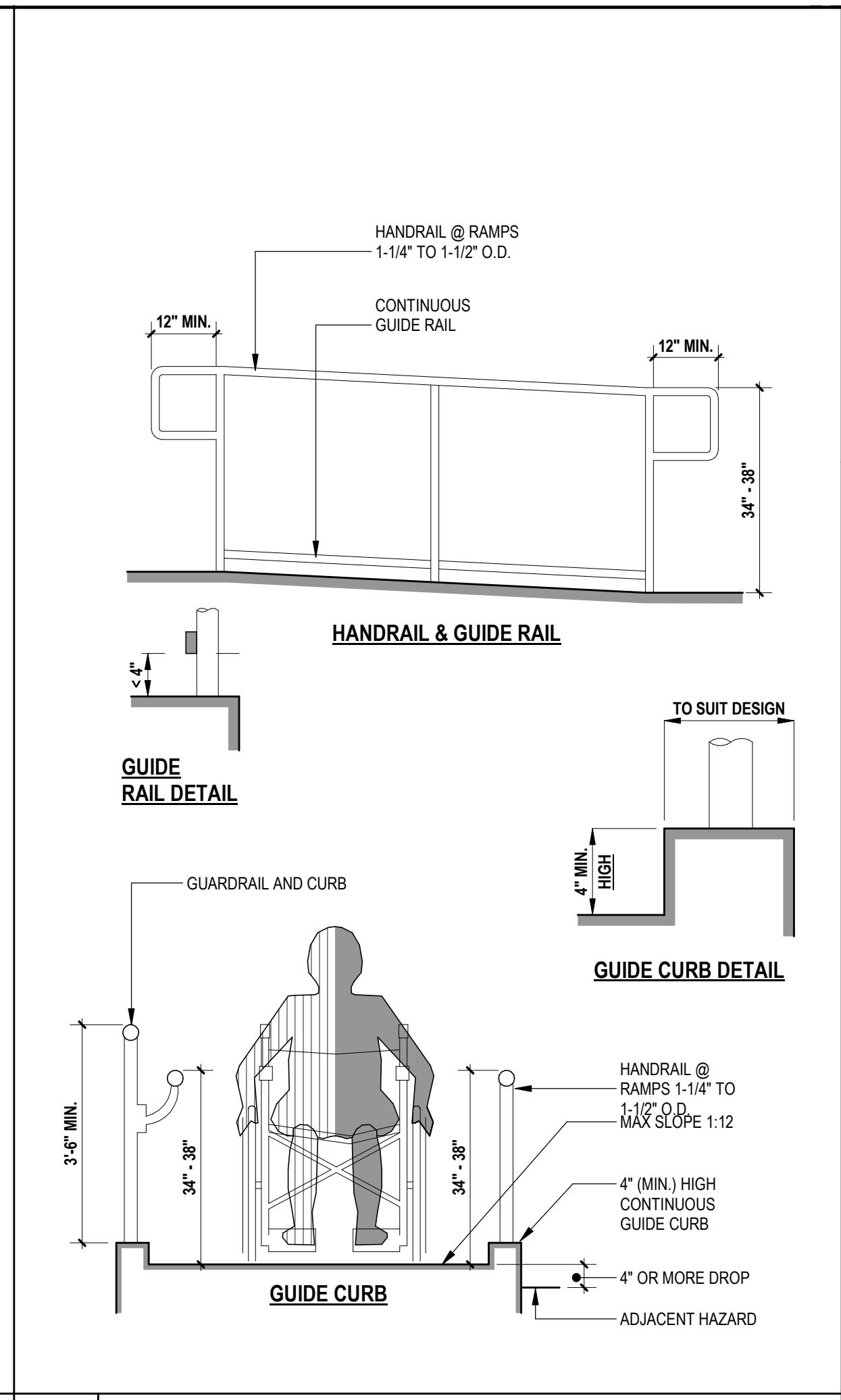
**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

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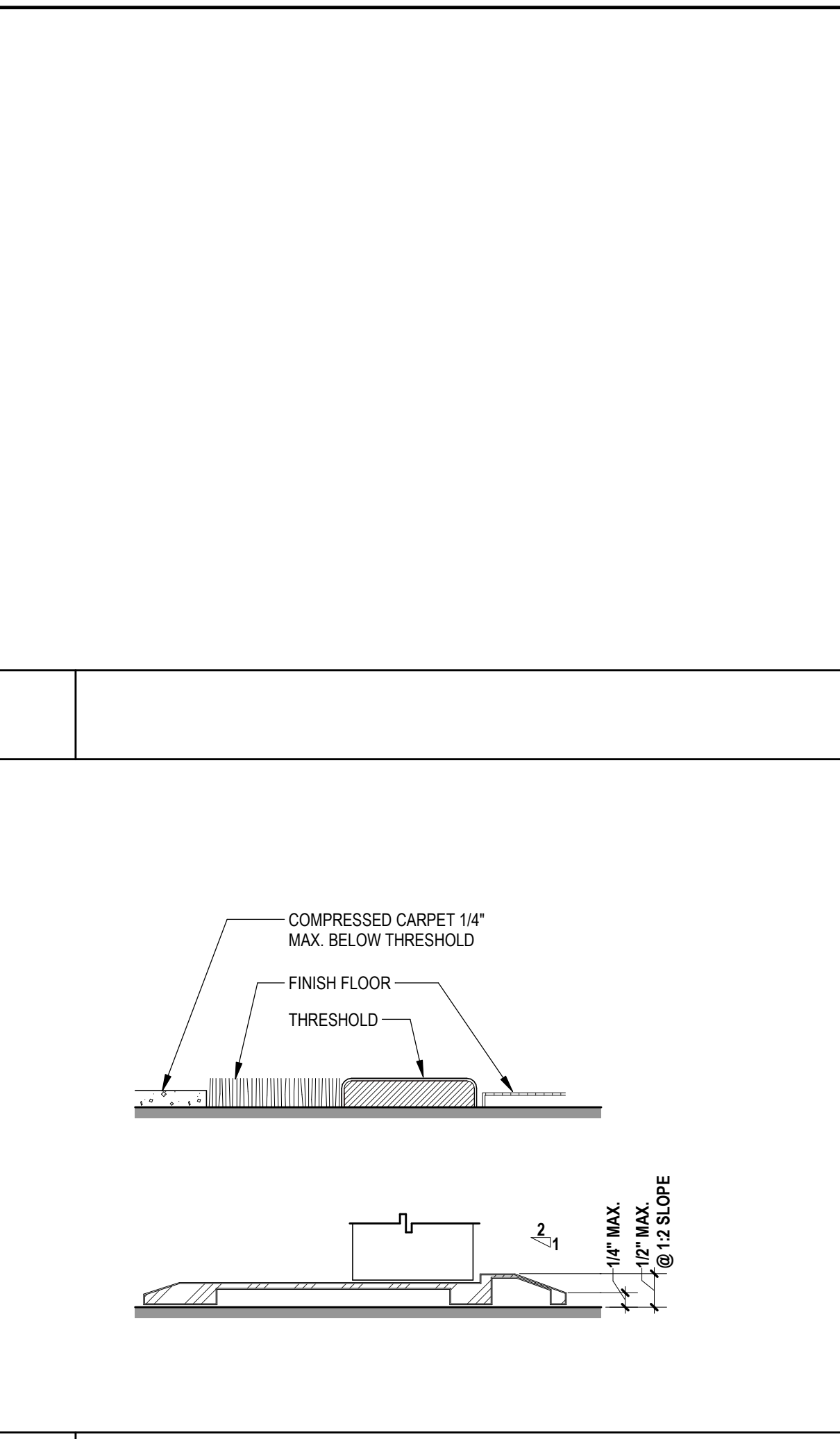
ACCESSIBILITY & DETAILS

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DRAWN BY	OG
CHECKED BY	OG
JOB NO.	

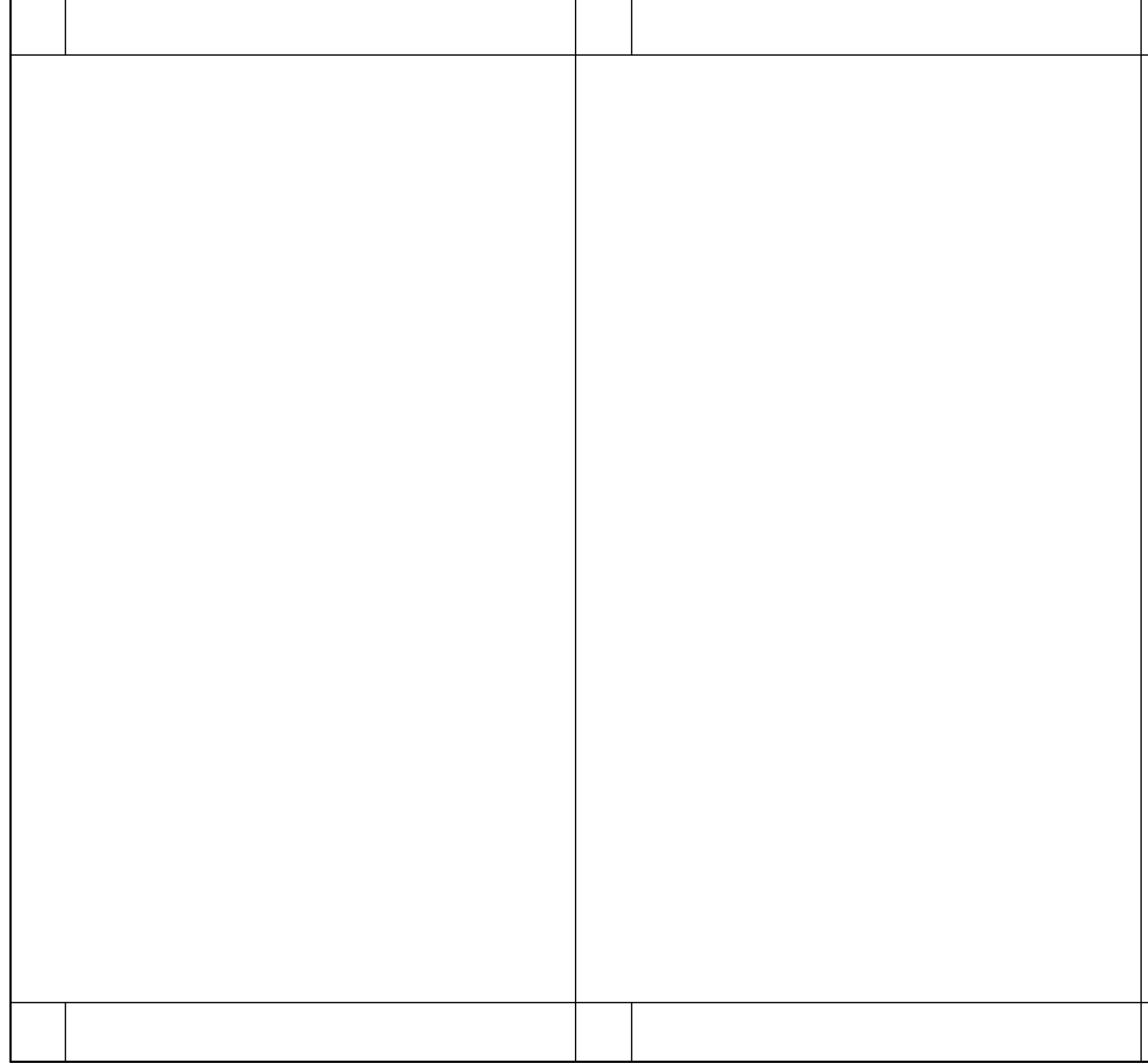
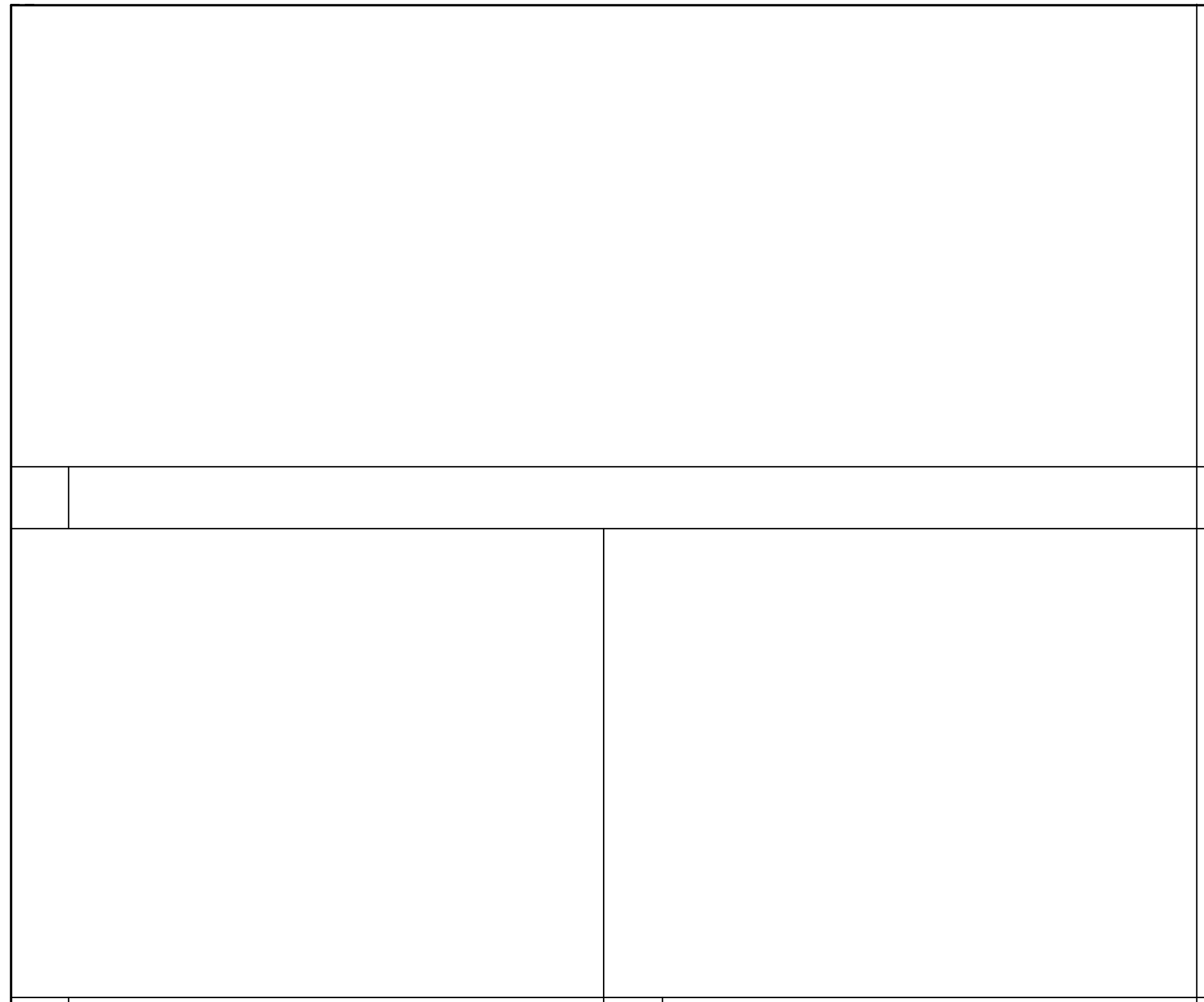
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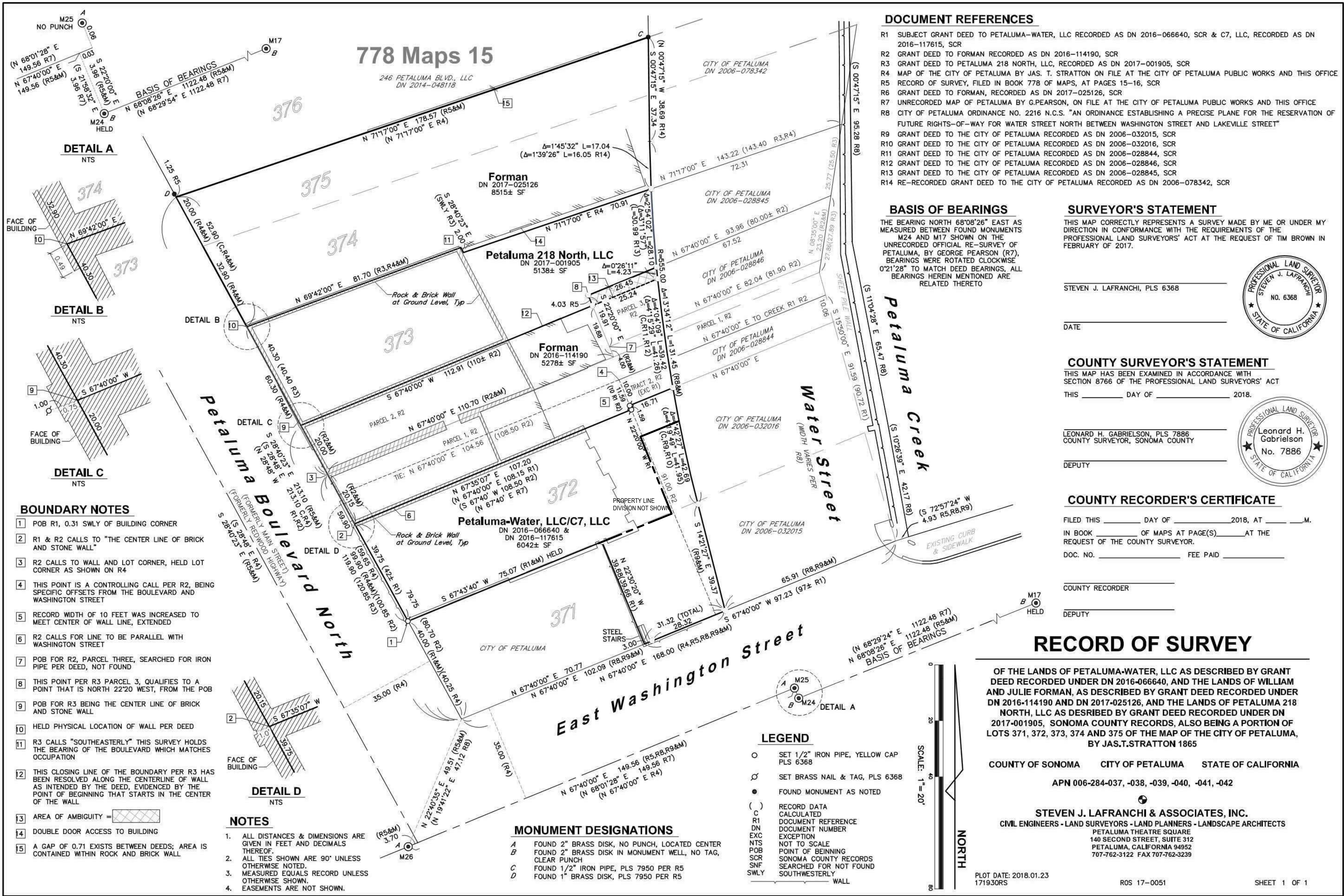


**5** MANEUVERING CLEARANCE @ SWINGING DOORS  
 FIGURE 11A-8A



**9** THRESHOLDS  
 FIGURE 11A-8I





**DOCUMENT REFERENCES**

- R1 SUBJECT GRANT DEED TO PETALUMA-WATER, LLC RECORDED AS DN 2016-066640, SCR & C7, LLC, RECORDED AS DN 2016-117615, SCR
- R2 GRANT DEED TO FORMAN RECORDED AS DN 2016-114190, SCR
- R3 GRANT DEED TO PETALUMA 218 NORTH, LLC, RECORDED AS DN 2017-001905, SCR
- R4 MAP OF THE CITY OF PETALUMA BY JAS. T. STRATTON ON FILE AT THE CITY OF PETALUMA PUBLIC WORKS AND THIS OFFICE
- R5 RECORD OF SURVEY, FILED IN BOOK 778 OF MAPS, AT PAGES 15-16, SCR
- R6 GRANT DEED TO FORMAN, RECORDED AS DN 2017-025126, SCR
- R7 UNRECORDED MAP OF PETALUMA BY G. PEARSON, ON FILE AT THE CITY OF PETALUMA PUBLIC WORKS AND THIS OFFICE
- R8 CITY OF PETALUMA ORDINANCE NO. 2216 N.C.S. "AN ORDINANCE ESTABLISHING A PRECISE PLANE FOR THE RESERVATION OF FUTURE RIGHTS-OF-WAY FOR WATER STREET NORTH BETWEEN WASHINGTON STREET AND LAKEVILLE STREET"
- R9 GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-032015, SCR
- R10 GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-032016, SCR
- R11 GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-028844, SCR
- R12 GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-028846, SCR
- R13 GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-028845, SCR
- R14 RE-RECORDED GRANT DEED TO THE CITY OF PETALUMA RECORDED AS DN 2006-078342, SCR

**BASIS OF BEARINGS**

THE BEARING NORTH 68°08'26" EAST AS MEASURED BETWEEN FOUND MONUMENTS M24 AND M17 SHOWN ON THE UNRECORDED OFFICIAL RE-SURVEY OF PETALUMA, BY GEORGE PEARSON (R7), BEARINGS WERE ROTATED CLOCKWISE 0°21'28" TO MATCH DEED BEARINGS, ALL BEARINGS HEREIN MENTIONED ARE RELATED THERETO

**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF TIM BROWN IN FEBRUARY OF 2017.

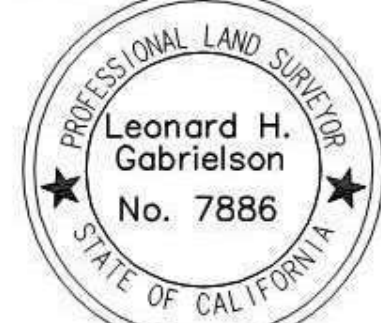
STEVEN J. LAFRANCHI, PLS 6368  
DATE \_\_\_\_\_



**COUNTY SURVEYOR'S STATEMENT**

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018.

LEONARD H. GABRIELSON, PLS 7886  
COUNTY SURVEYOR, SONOMA COUNTY  
DEPUTY \_\_\_\_\_



**COUNTY RECORDER'S CERTIFICATE**

FILED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2018, AT \_\_\_\_\_ M.  
IN BOOK \_\_\_\_\_ OF MAPS AT PAGE(S) \_\_\_\_\_ AT THE REQUEST OF THE COUNTY SURVEYOR.  
DOC. NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
COUNTY RECORDER \_\_\_\_\_  
DEPUTY \_\_\_\_\_

**RECORD OF SURVEY**

OF THE LANDS OF PETALUMA-WATER, LLC AS DESCRIBED BY GRANT DEED RECORDED UNDER DN 2016-066640, AND THE LANDS OF WILLIAM AND JULIE FORMAN, AS DESCRIBED BY GRANT DEED RECORDED UNDER DN 2016-114190 AND DN 2017-025126, AND THE LANDS OF PETALUMA 218 NORTH, LLC AS DESCRIBED BY GRANT DEED RECORDED UNDER DN 2017-001905, SONOMA COUNTY RECORDS, ALSO BEING A PORTION OF LOTS 371, 372, 373, 374 AND 375 OF THE MAP OF THE CITY OF PETALUMA, BY JAS. T. STRATTON 1865

COUNTY OF SONOMA CITY OF PETALUMA STATE OF CALIFORNIA  
APN 006-284-037, -038, -039, -040, -041, -042

STEVEN J. LAFRANCHI & ASSOCIATES, INC.  
CIVIL ENGINEERS - LAND SURVEYORS - LAND PLANNERS - LANDSCAPE ARCHITECTS  
PETALUMA THEATRE SQUARE  
140 SECOND STREET, SUITE 312  
PETALUMA, CALIFORNIA 94952  
707-762-3122 FAX 707-762-3239

PLAT DATE: 2018.01.23  
171930RS ROS 17--0051 SHEET 1 OF 1

**BOUNDARY NOTES**

- 1 POB R1, 0.31 SWLY OF BUILDING CORNER
- 2 R1 & R2 CALLS TO "THE CENTER LINE OF BRICK AND STONE WALL"
- 3 R2 CALLS TO WALL AND LOT CORNER, HELD LOT CORNER AS SHOWN ON R4
- 4 THIS POINT IS A CONTROLLING CALL PER R2, BEING SPECIFIC OFFSETS FROM THE BOULEVARD AND WASHINGTON STREET
- 5 RECORD WIDTH OF 10 FEET WAS INCREASED TO MEET CENTER OF WALL LINE, EXTENDED
- 6 R2 CALLS FOR LINE TO BE PARALLEL WITH WASHINGTON STREET
- 7 POB FOR R2, PARCEL THREE, SEARCHED FOR IRON PIPE PER DEED, NOT FOUND
- 8 THIS POINT PER R3 PARCEL 3, QUALIFIES TO A POINT THAT IS NORTH 22°20 WEST, FROM THE POB
- 9 POB FOR R3 BEING THE CENTER LINE OF BRICK AND STONE WALL
- 10 HELD PHYSICAL LOCATION OF WALL PER DEED
- 11 R3 CALLS "SOUTHEASTERLY" THIS SURVEY HOLDS THE BEARING OF THE BOULEVARD WHICH MATCHES OCCUPATION
- 12 THIS CLOSING LINE OF THE BOUNDARY PER R3 HAS BEEN RESOLVED ALONG THE CENTERLINE OF WALL AS INTENDED BY THE DEED, EVIDENCED BY THE POINT OF BEGINNING THAT STARTS IN THE CENTER OF THE WALL

- 3 AREA OF AMBIGUITY = [Hatched Box]
- 4 DOUBLE DOOR ACCESS TO BUILDING
- 5 A GAP OF 0.71 EXISTS BETWEEN DEEDS; AREA IS CONTAINED WITHIN ROCK AND BRICK WALL

**NOTES**

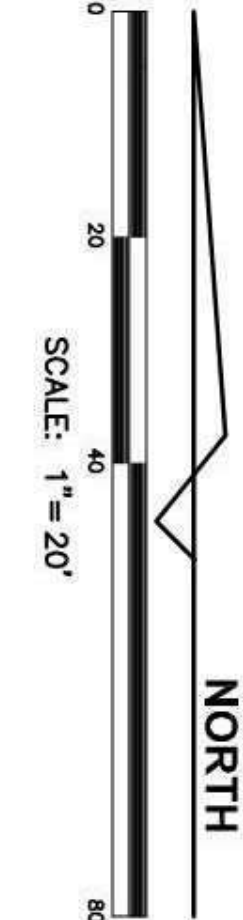
1. ALL DISTANCES & DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. ALL TIES SHOWN ARE 90° UNLESS OTHERWISE NOTED.
3. MEASURED EQUALS RECORD UNLESS OTHERWISE SHOWN.
4. EASEMENTS ARE NOT SHOWN.

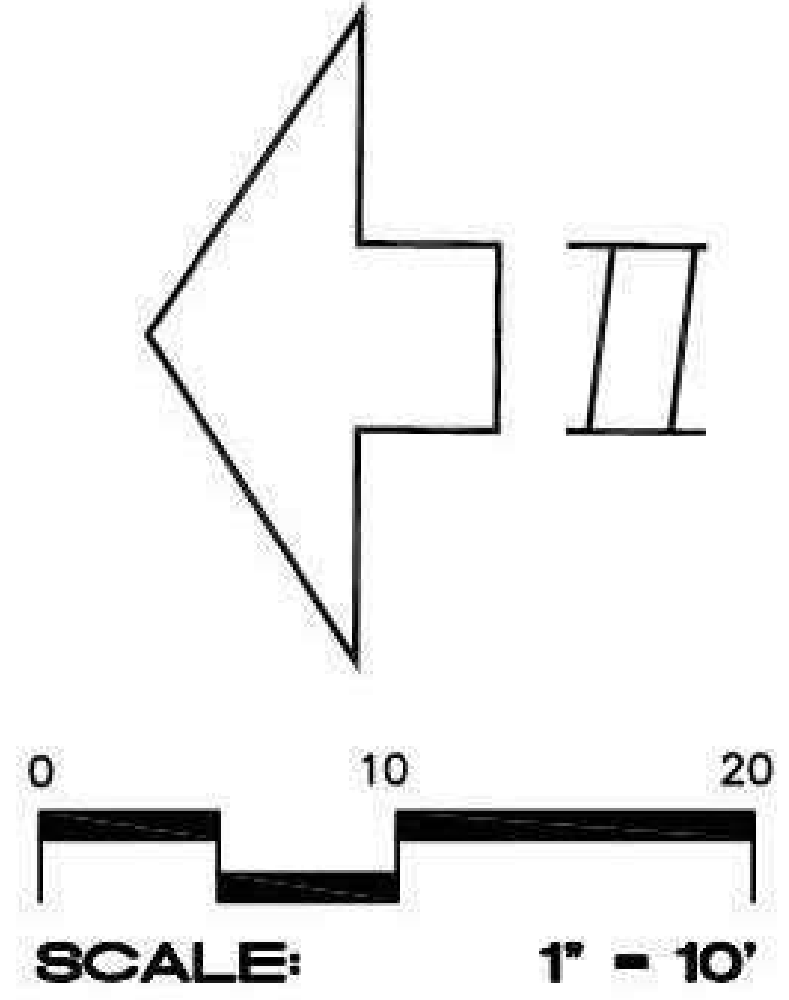
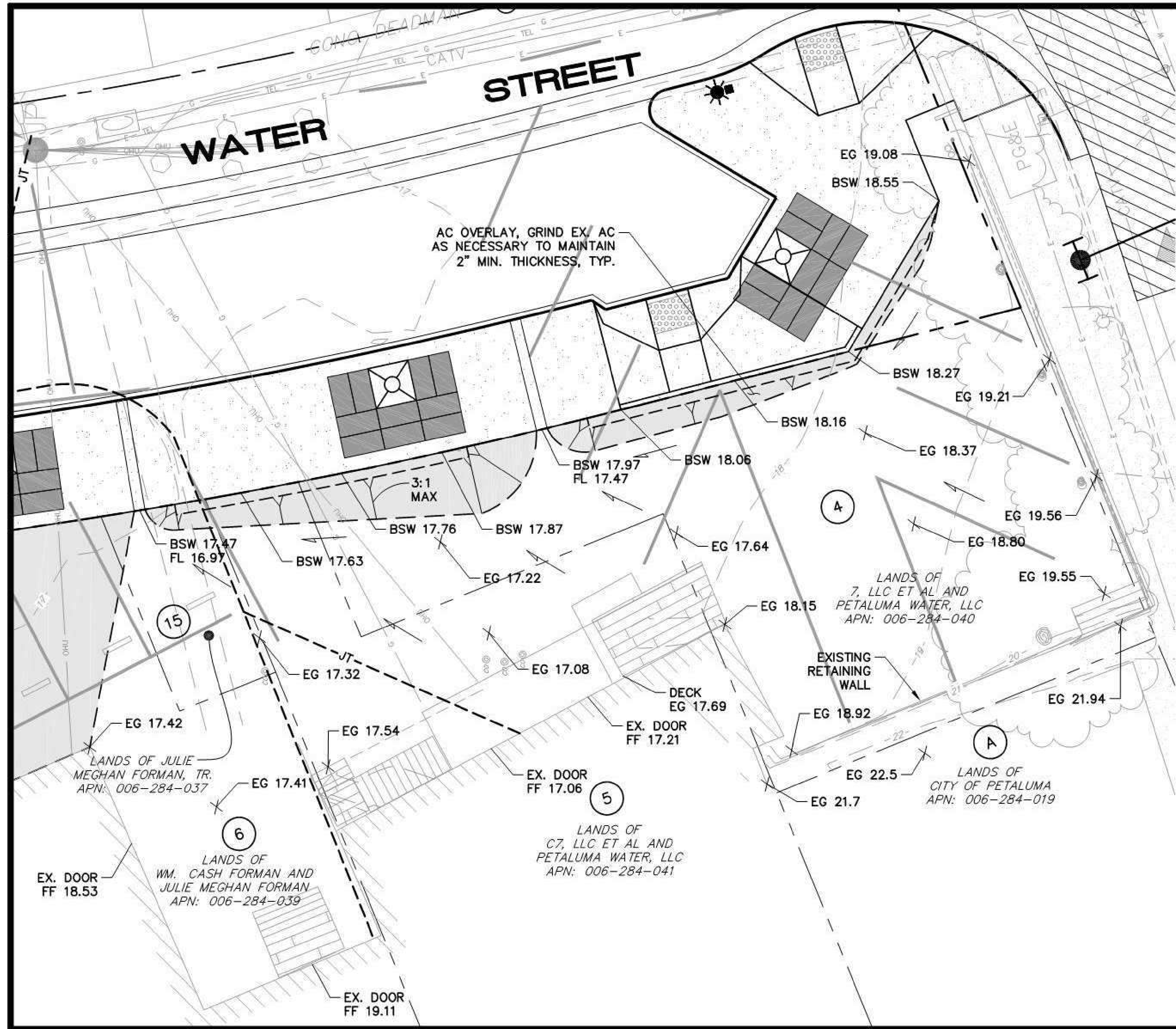
**MONUMENT DESIGNATIONS**

- A FOUND 2" BRASS DISK, NO PUNCH, LOCATED CENTER
- B FOUND 2" BRASS DISK IN MONUMENT WELL, NO TAG, CLEAR PUNCH
- C FOUND 1/2" IRON PIPE, PLS 7950 PER R5
- D FOUND 1" BRASS DISK, PLS 7950 PER R5

**LEGEND**

- SET 1/2" IRON PIPE, YELLOW CAP PLS 6368
- ⊙ SET BRASS NAIL & TAG, PLS 6368
- FOUND MONUMENT AS NOTED
- ( ) RECORD DATA CALCULATED
- R1 DOCUMENT REFERENCE
- DN DOCUMENT NUMBER
- EXC EXCEPTION
- NTS NOT TO SCALE
- POB POINT OF BEGINNING
- SCR SONOMA COUNTY RECORDS
- SNF SEARCHED FOR NOT FOUND
- SWLY SOUTHWESTERLY
- WALL WALL





DATE

NO. 3438  
REGISTERED PROFESSIONAL ARCHITECT  
STATE OF CALIFORNIA

ARCHITECT  
KERMAN MORRIS ARCHITECTS LLP  
139 Nee Street  
San Francisco, CA 94114  
415 749 0302

**CWL DESIGN CONSULTANTS, INC.**  
2200 Range Avenue, Suite 204  
Berkeley, CA 94708  
(415) 542-7420

**PROPOSED IMPROVEMENTS AT PARCELS 4 & 5  
NORTH RIVER APARTMENTS  
PETALUMA, CALIFORNIA**

APN 006-163-022  
AUGUST 2019

JOB NO.  
15-104

SHEET NO.  
**1**

OF 1 SHEET

**FOR REFERENCE ONLY**

**km**  
kerman  
morris  
architects llp  
139 Nee Street  
San Francisco, CA  
94114  
415 749 0302

Revisions

LICENSED ARCHITECT  
**EDUARDO DAVIS MORRIS**  
C-24585  
EXPIRES 3-31-21  
STATE OF CALIFORNIA

**215 N WATER ST  
APN(S):  
006-284-040 &  
006-284-041**

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**NORTH RIVER APARTMENTS -  
PUBLIC  
IMPROVEMENT  
PLANS  
(REFERENCE)**

DATE 01/15/21

SCALE

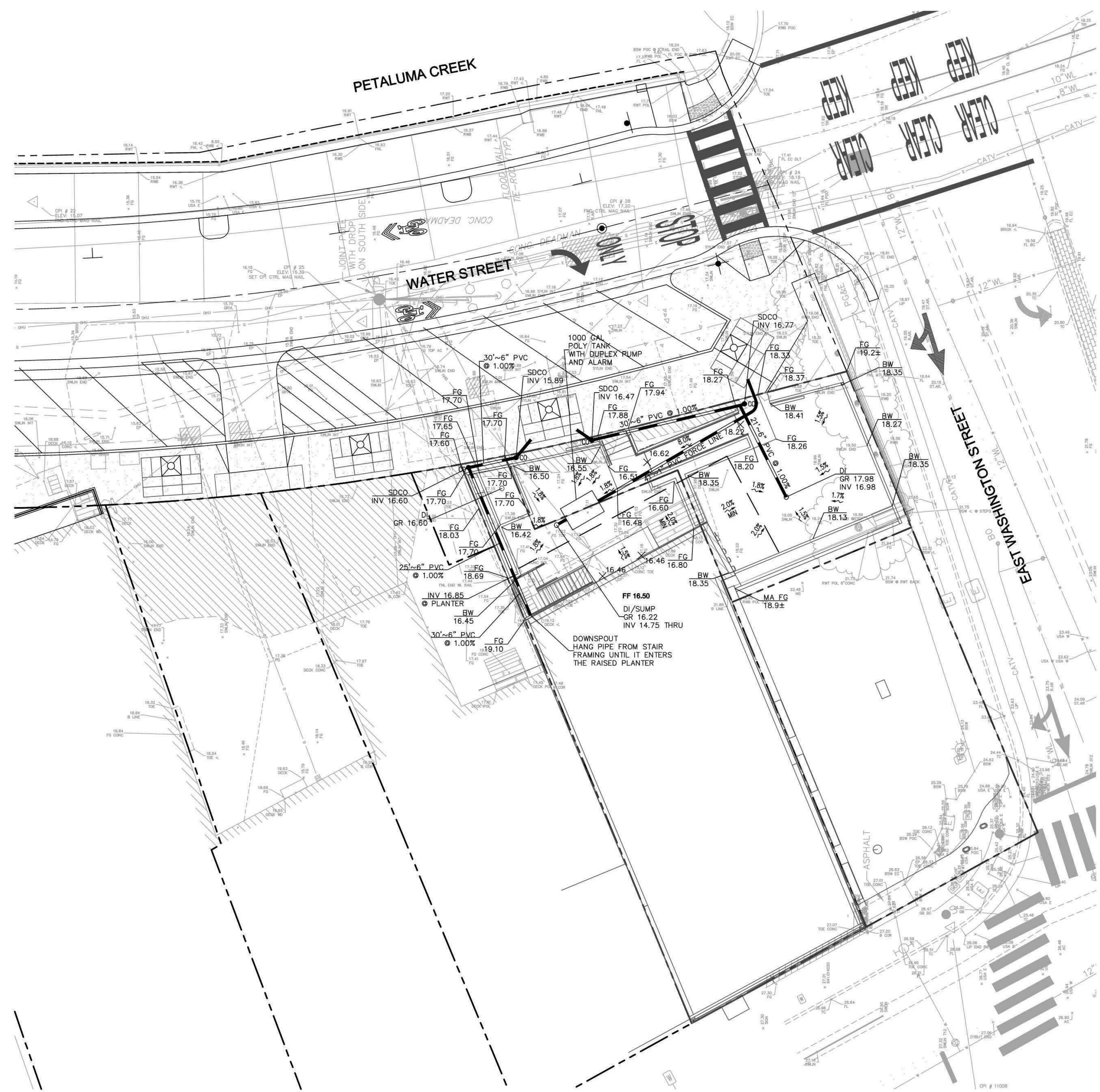
DRAWN BY Author

CHECKED BY Checker

JOB NO.

**G0.05**

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PLOT DATE: 01-14-21 PLOTTED BY: aqj

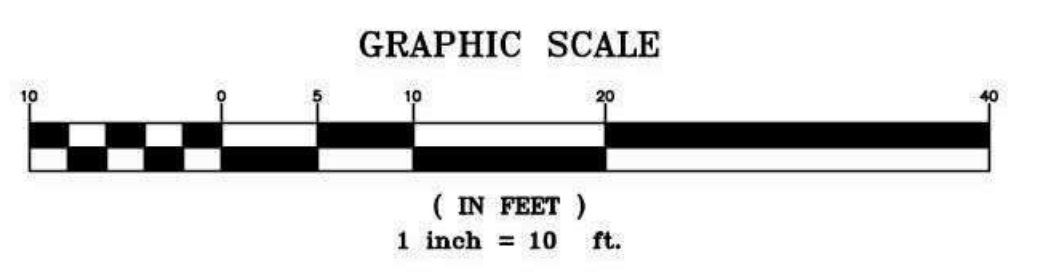
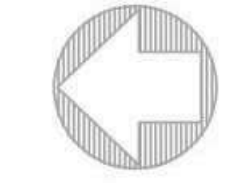


**LEGEND:**

- PROPERTY LINE
- STORM DRAIN LINE
- STORM DRAIN CLEAN OUT
- FLOW LINE

**ABBREVIATIONS:**

- BW BOTTOM OF WALL
- CO CLEAN OUT
- DI DRAIN INLET
- FG FINISHED GRADE
- GAL GALLON
- GR GRATE
- INV INVERT ELEVATION
- SDCO STORM DRAIN CLEAN OUT





No.	Revisions

Date 12/11/2020  
Scale AS SHOWN  
Design KP  
Drawn MA  
Approved ES  
Job No 20201818

Drawing Number:

**C-1**

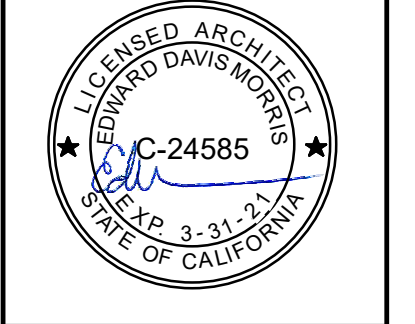
**PARTITION LEGEND**

-  (E) PARTITION TO REMAIN
-  (E) WALL TO BE REMOVED

**km**  
 kerman  
 morris  
 architects llp  
 139 Noe Street  
 San Francisco, CA  
 94114  
 415 749 0302

Revisions

No.	Description



**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

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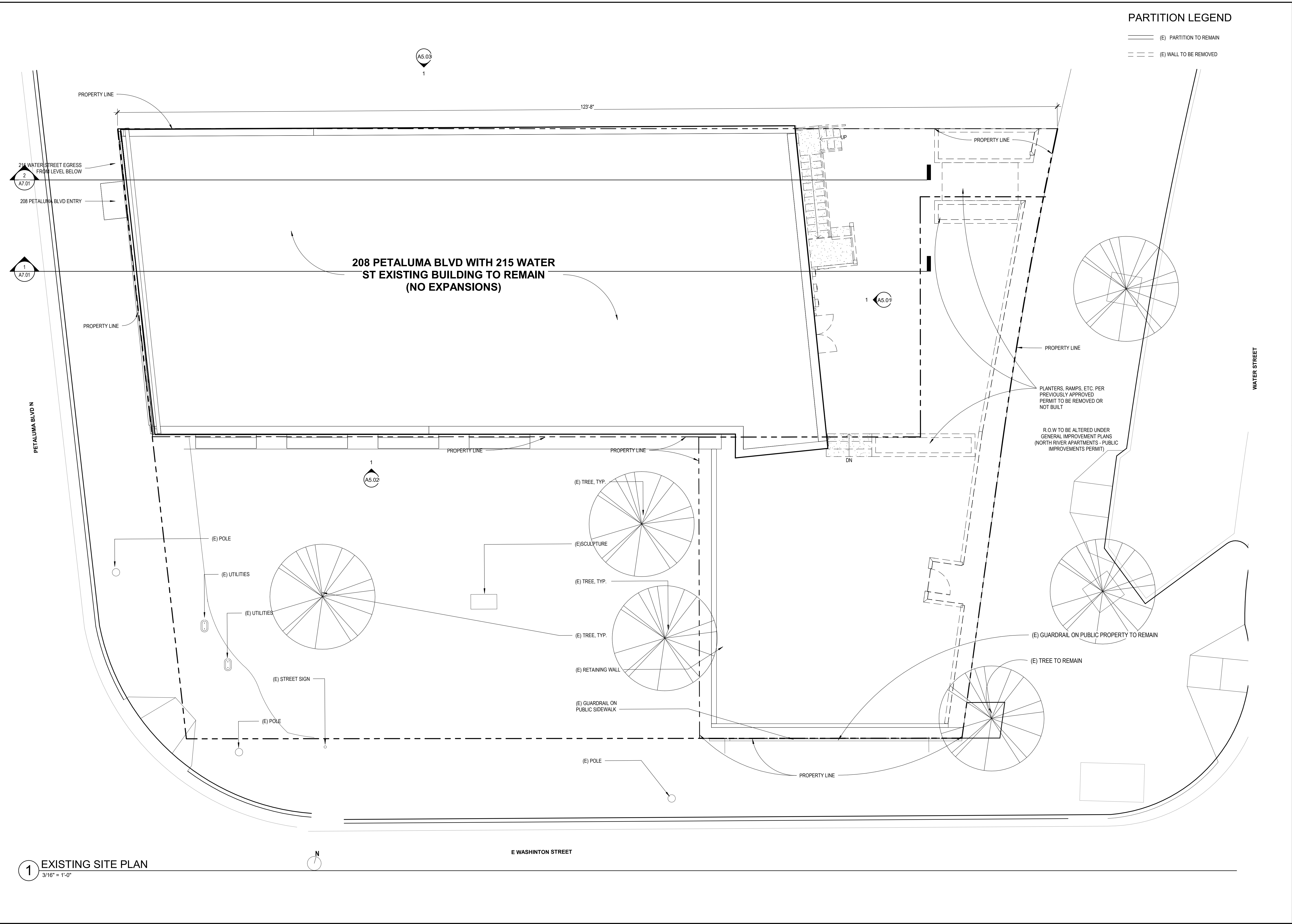
These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

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**EXISTING SITE PLAN**

DATE	01/15/21
SCALE	As indicated
DRAWN BY	OG
CHECKED BY	OG
JOB NO.	

**AE1.01**



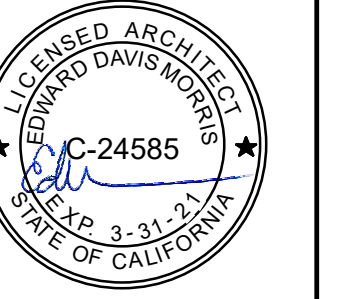
**1 EXISTING SITE PLAN**  
 3/16" = 1'-0"

**PARTITION LEGEND**

- (E) PARTITION TO REMAIN
- - - (E) WALL TO BE REMOVED

**km**  
 kerman  
 morris  
 architects llp  
 139 Noe Street  
 San Francisco, CA  
 94114  
 415 749 0302

**Revisions**



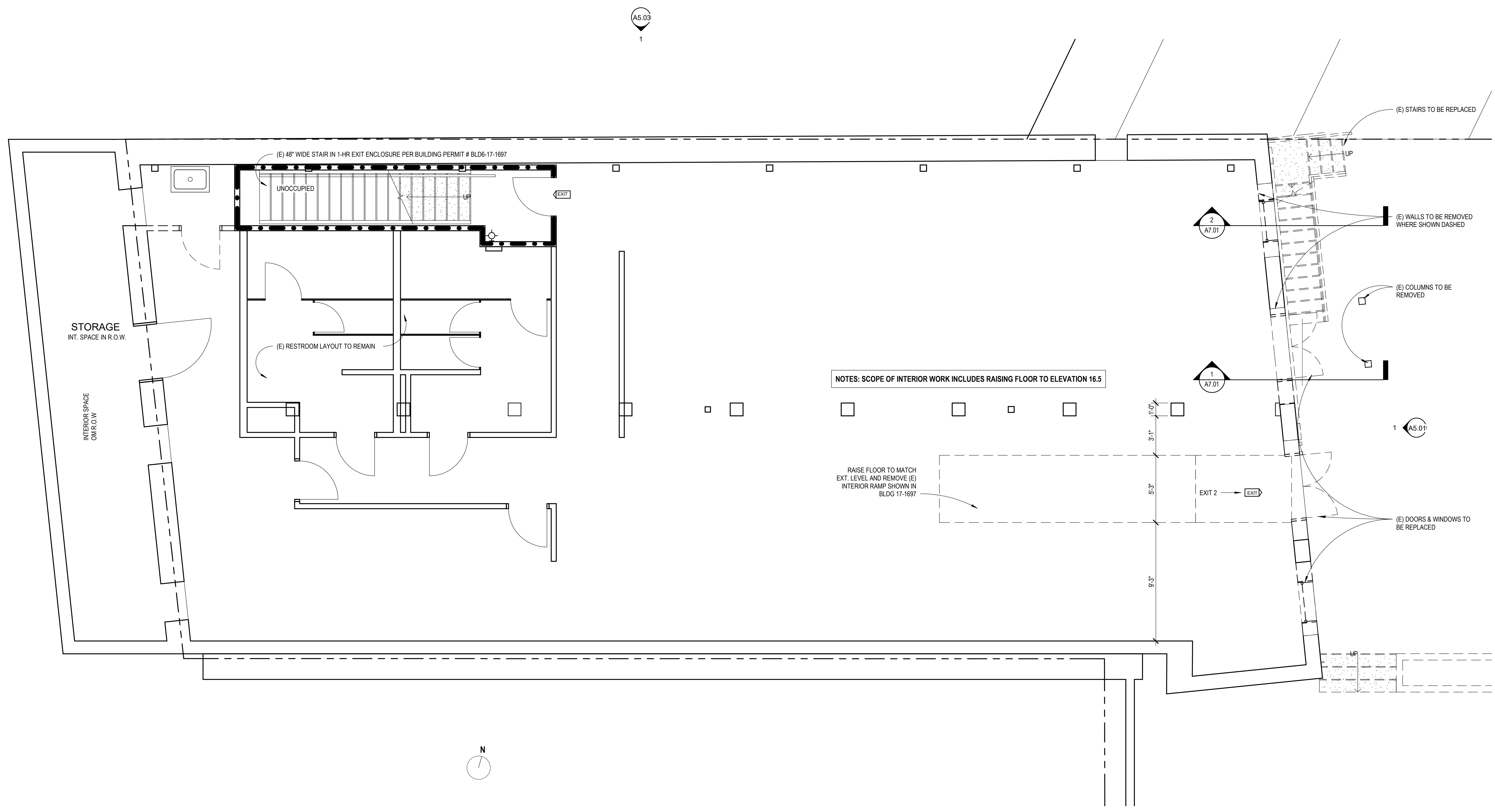
**215 N WATER  
 ST  
 APN(S):  
 006-284-040 &  
 006-284-041**

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**EXISTING  
 BASEMENT  
 PLAN**

DATE	01/15/21
SCALE	As indicated
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

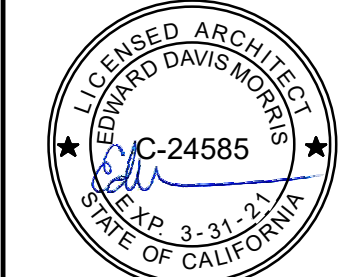
**AE2.01**



**1** EXISTING BASEMENT PLAN (WITH IMPROVEMENTS PER BUILDING PERMIT #BLDG-17-1697)  
 1/4" = 1'-0"



Revisions



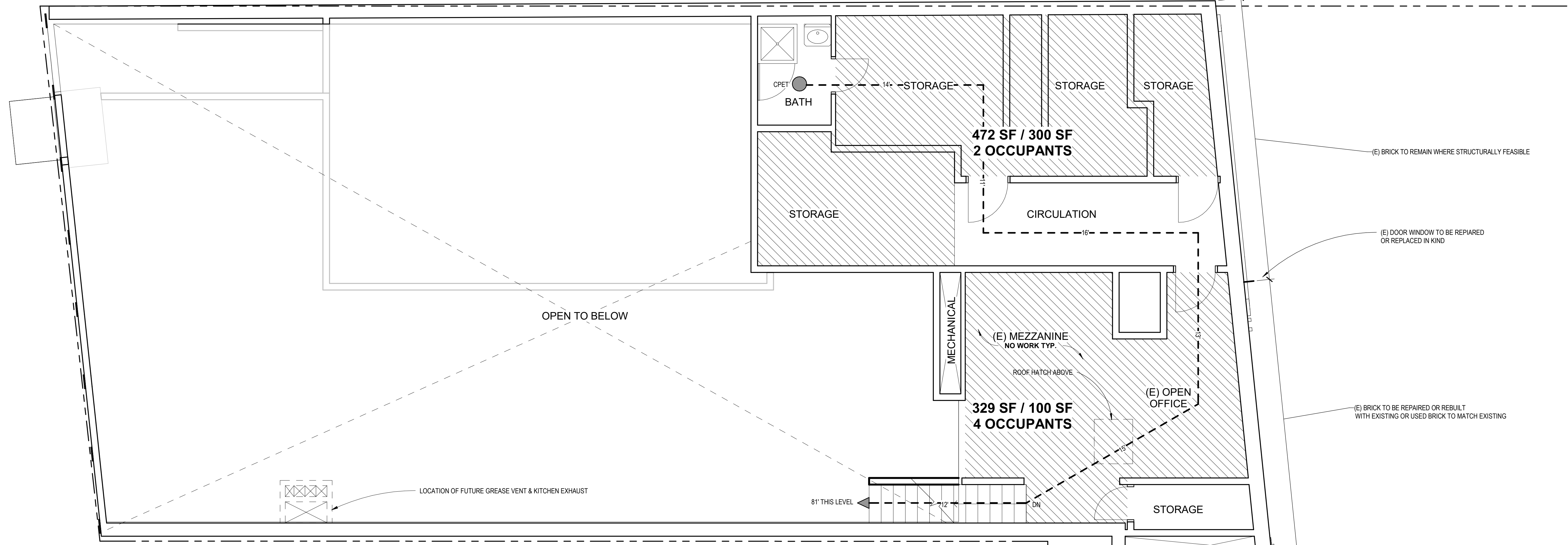
**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

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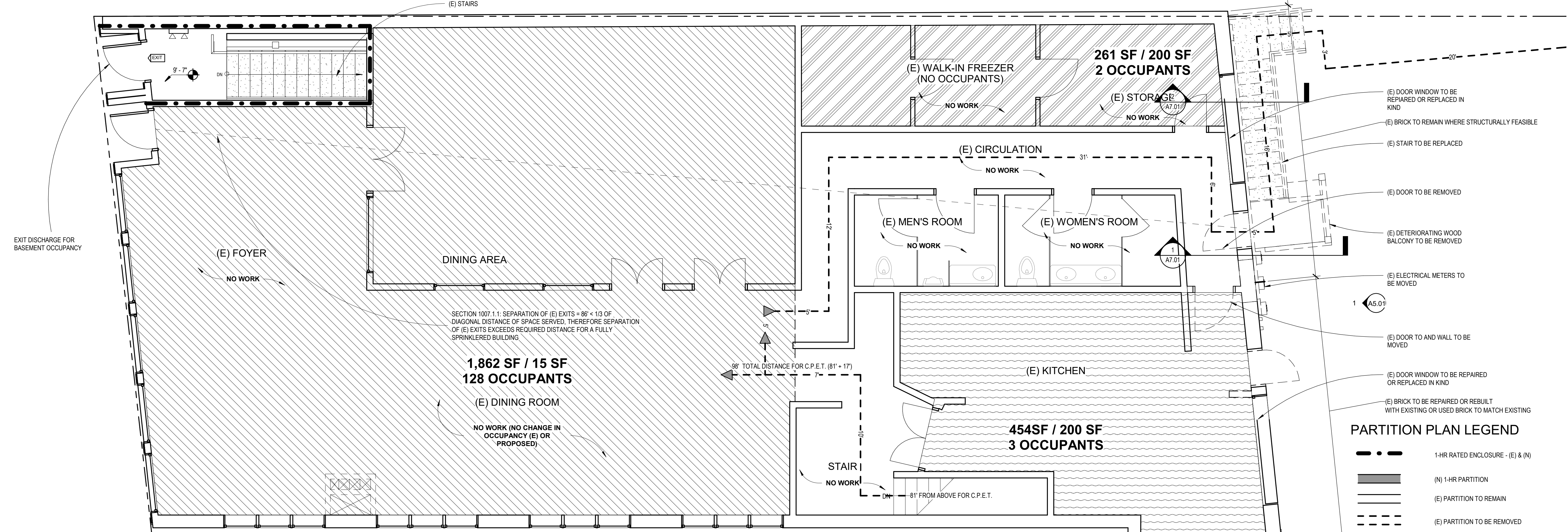
**EXISTING FIRST FLOOR PLAN & MEZZANINE PLAN**

DATE	1/8/2021
SCALE	1/4" = 1'-0"
DRAWN BY	Author
CHECKED BY	Checker
JOB NO.	

**AE2.02**



**2** EXISTING MEZZANINE  
 1/4" = 1'-0"



**1** EXISTING FIRST FLOOR PLAN (WITH STAIR PER BLD6-17-1697)  
 1/4" = 1'-0"

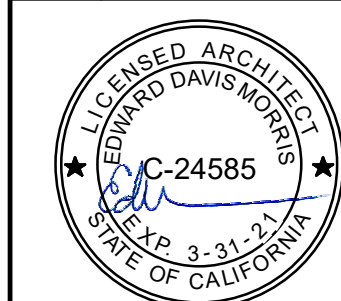


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morris  
architects llp

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Revisions

NO.	DATE	DESCRIPTION



**215 N WATER  
ST  
APN(S):  
006-284-040 &  
006-284-041**

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EXISTING ROOF PLAN

DATE 1/8/2021

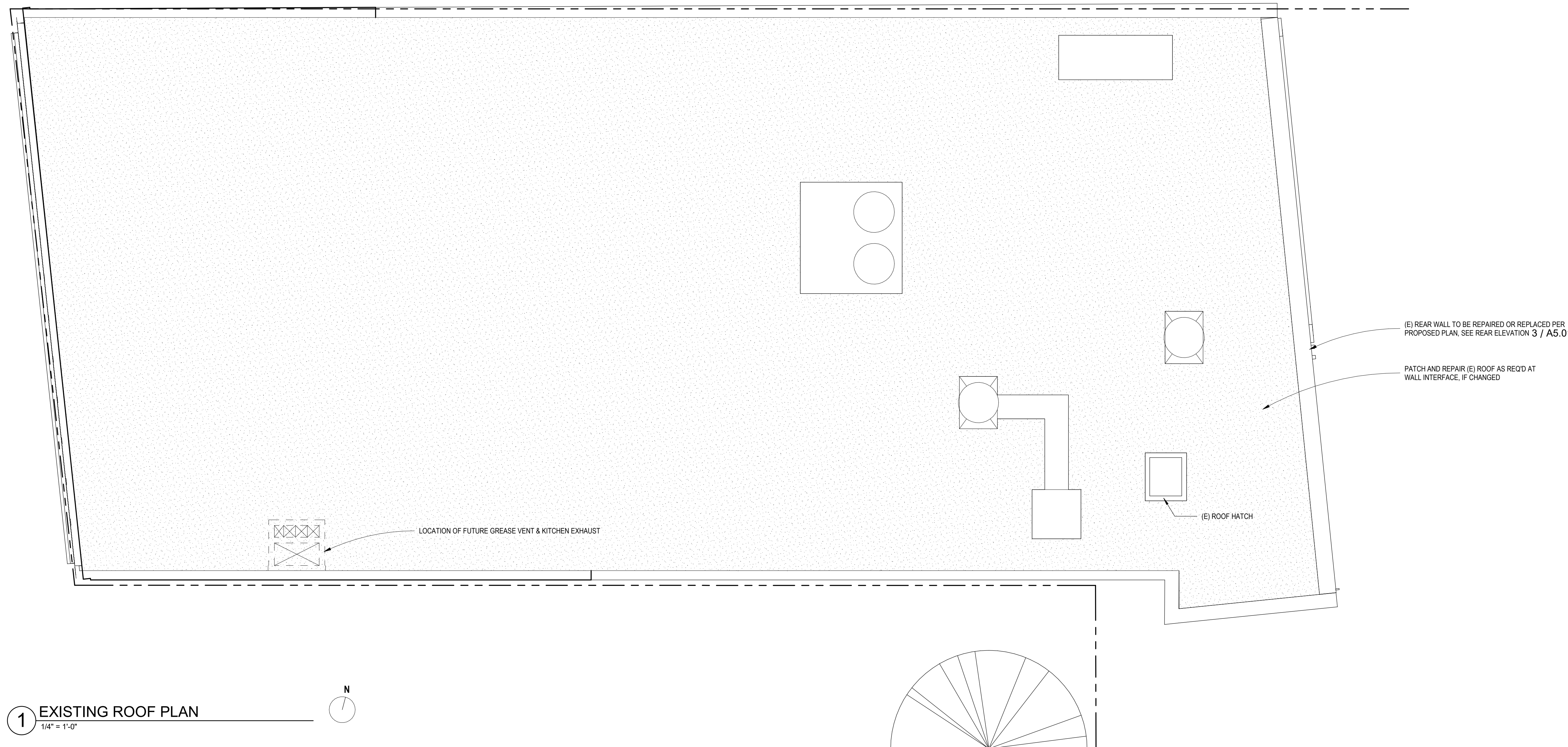
SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

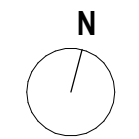
JOB NO.

**AE2.03**

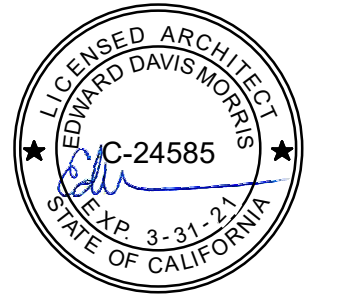


**1** EXISTING ROOF PLAN

1/4" = 1'-0"



Revisions



**215 N WATER  
 ST  
 APN(S):  
 006-284-040 &  
 006-284-041**

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**PROPOSED  
 REVISED SITE  
 PLAN**

DATE 01/15/21

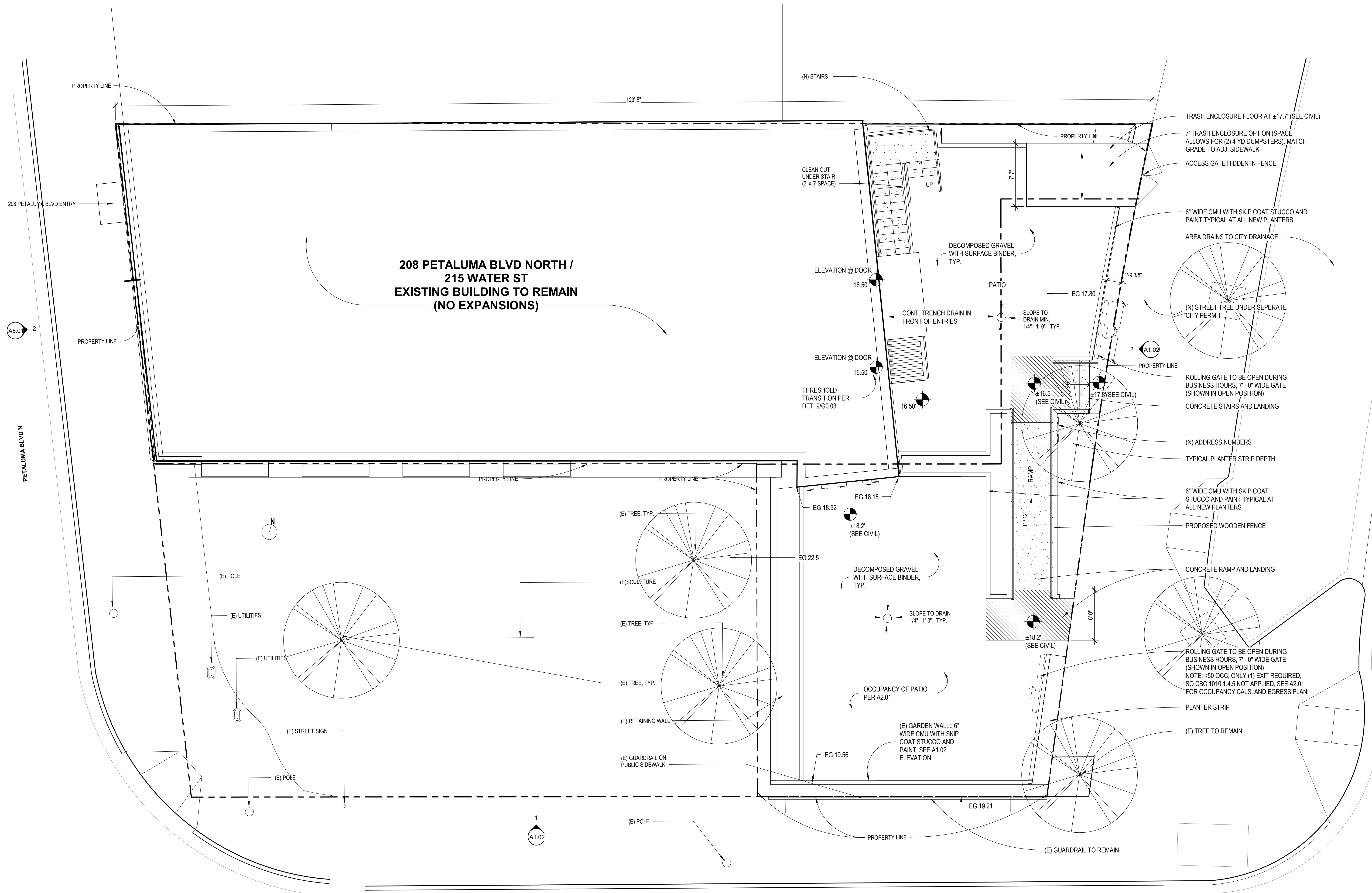
SCALE 3/16" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**A1.01**



**1** PROPOSED SITE PLAN  
 3/16" = 1'-0"

**NOTE: FOR FINAL GRADES, SEE CIVIL DRAWINGS**



Revisions



**215 N WATER  
 ST  
 APN(S):  
 006-284-040 &  
 006-284-041**

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**SITE  
 ELEVATIONS**

DATE 01/15/21

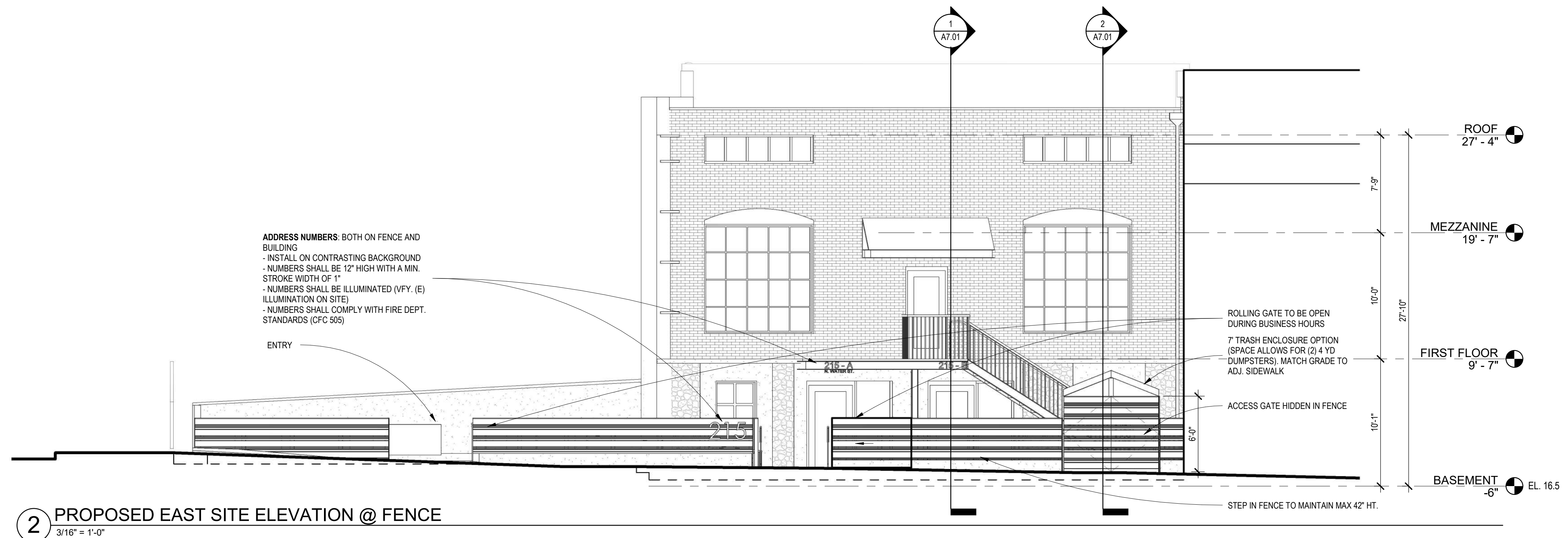
SCALE 3/16" = 1'-0"

DRAWN BY OG

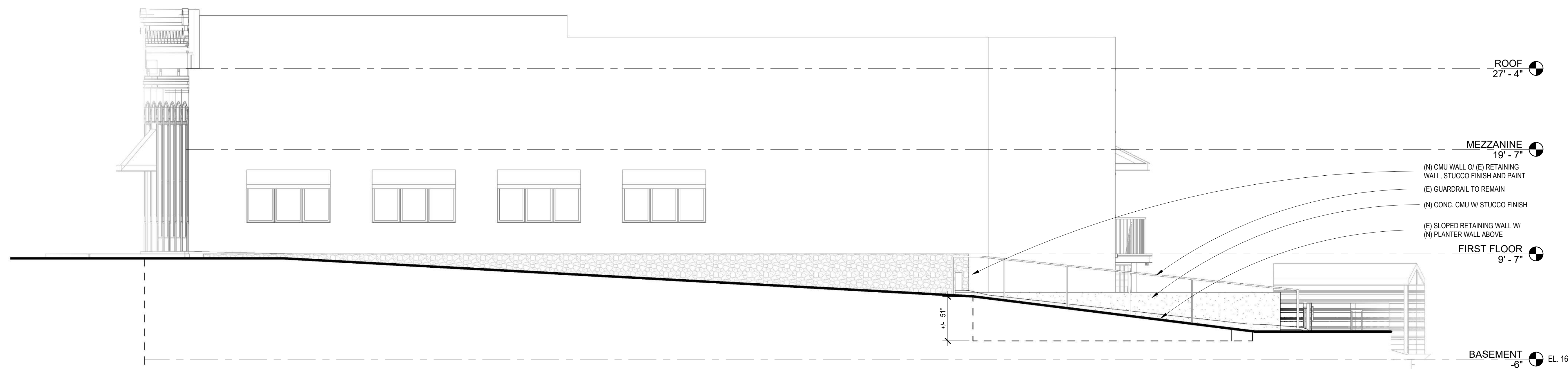
CHECKED BY TM

JOB NO.

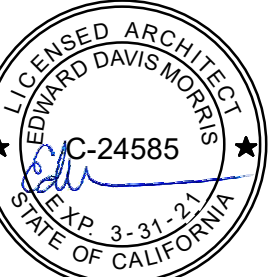
**A1.02**



**2** PROPOSED EAST SITE ELEVATION @ FENCE  
 3/16" = 1'-0"



**1** PROPOSED SOUTH SITE ELEVATION  
 3/16" = 1'-0"



**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

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**PROPOSED BASEMENT PLAN**

DATE 1/8/2021

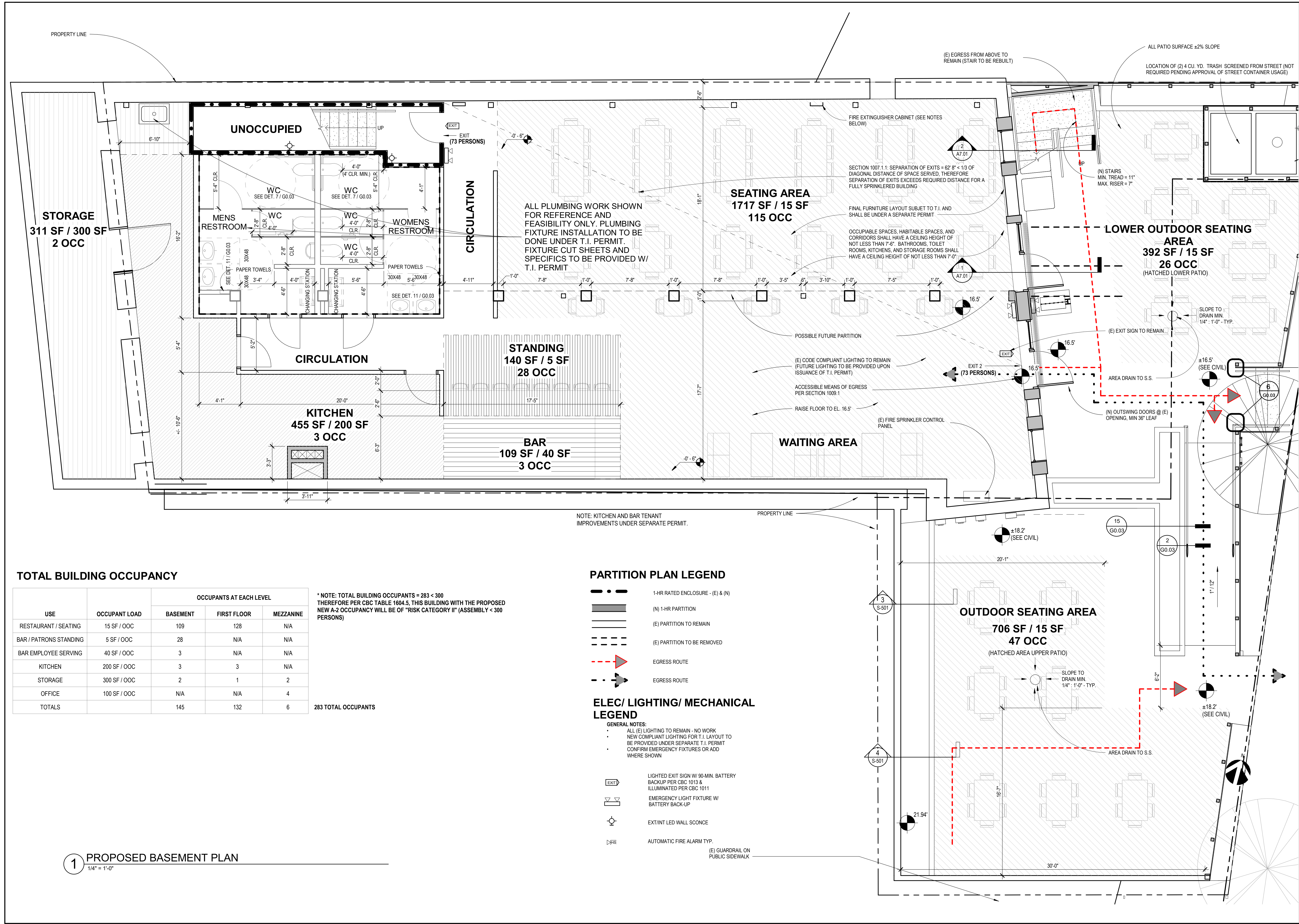
SCALE As indicated

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**A2.01**



**TOTAL BUILDING OCCUPANCY**

USE	OCCUPANT LOAD	OCCUPANTS AT EACH LEVEL		
		BASEMENT	FIRST FLOOR	MEZZANINE
RESTAURANT / SEATING	15 SF / OCC	109	128	N/A
BAR / PATRONS STANDING	5 SF / OCC	28	N/A	N/A
BAR EMPLOYEE SERVING	40 SF / OCC	3	N/A	N/A
KITCHEN	200 SF / OCC	3	3	N/A
STORAGE	300 SF / OCC	2	1	2
OFFICE	100 SF / OCC	N/A	N/A	4
<b>TOTALS</b>		<b>145</b>	<b>132</b>	<b>6</b>

\* NOTE: TOTAL BUILDING OCCUPANTS = 283 < 300  
 THEREFORE PER CBC TABLE 1604.5, THIS BUILDING WITH THE PROPOSED NEW A-2 OCCUPANCY WILL BE OF "RISK CATEGORY II" (ASSEMBLY < 300 PERSONS)

283 TOTAL OCCUPANTS

**PARTITION PLAN LEGEND**

- 1-HR RATED ENCLOSURE - (E) & (N)
- (N) 1-HR PARTITION
- (E) PARTITION TO REMAIN
- (E) PARTITION TO BE REMOVED
- EGRESS ROUTE
- EGRESS ROUTE

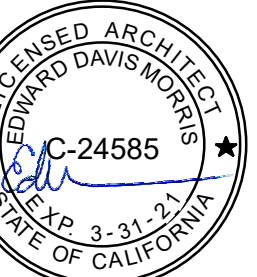
**ELEC/ LIGHTING/ MECHANICAL LEGEND**

- GENERAL NOTES:**
- ALL (E) LIGHTING TO REMAIN - NO WORK
  - NEW COMPLIANT LIGHTINGS FOR T.I. LAYOUT TO BE PROVIDED UNDER SEPARATE T.I. PERMIT
  - CONFIRM EMERGENCY FIXTURES OR ADD WHERE SHOWN
- LIGHTED EXIT SIGN W/ 90-MIN. BATTERY BACKUP PER CBC 1013 & ILLUMINATED PER CBC 1011
  - EMERGENCY LIGHT FIXTURE W/ BATTERY BACK-UP
  - EXTINT LED WALL SCONCE
  - AUTOMATIC FIRE ALARM TYP.
  - (E) GUARDRAIL ON PUBLIC SIDEWALK

**1 PROPOSED BASEMENT PLAN**  
 1/4" = 1'-0"

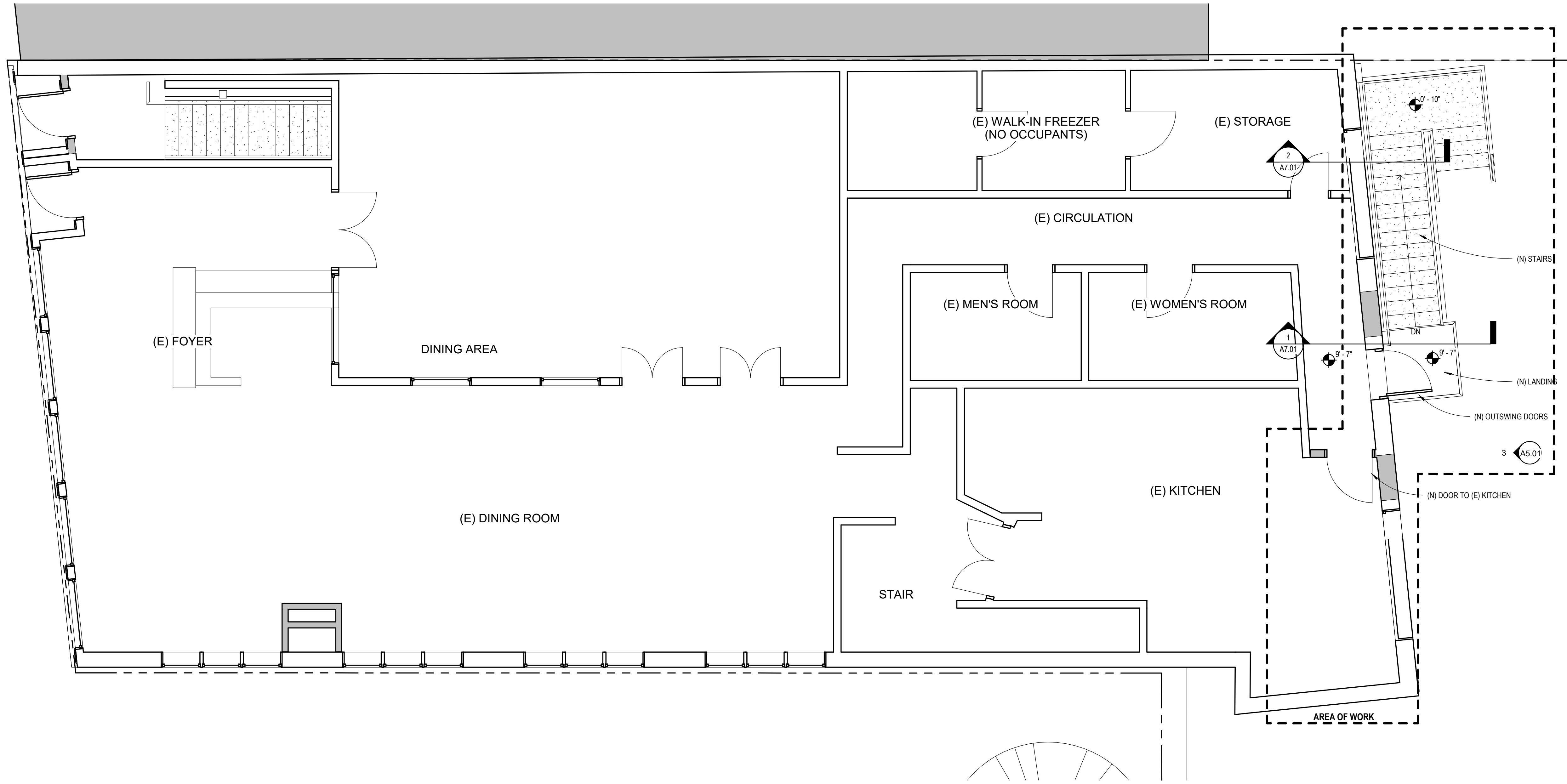
Revisions

NO.	DESCRIPTION



**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

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AS.01 2

**1** PROPOSED FIRST FLOOR PLAN  
 1/4" = 1'-0"

PROPOSED FIRST FLOOR

DATE 01/15/21

SCALE 1/4" = 1'-0"

DRAWN BY Author

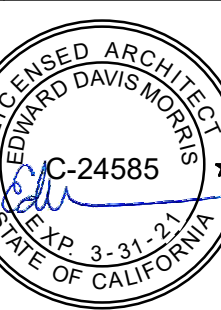
CHECKED BY Checker

JOB NO.

A2.02

Revisions

NO.	DESCRIPTION



**215 N WATER  
ST  
APN(S):  
006-284-040 &  
006-284-041**

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**EXISTING AND PROPOSED FRONT AND REAR ELEVATION**

DATE 01/15/21

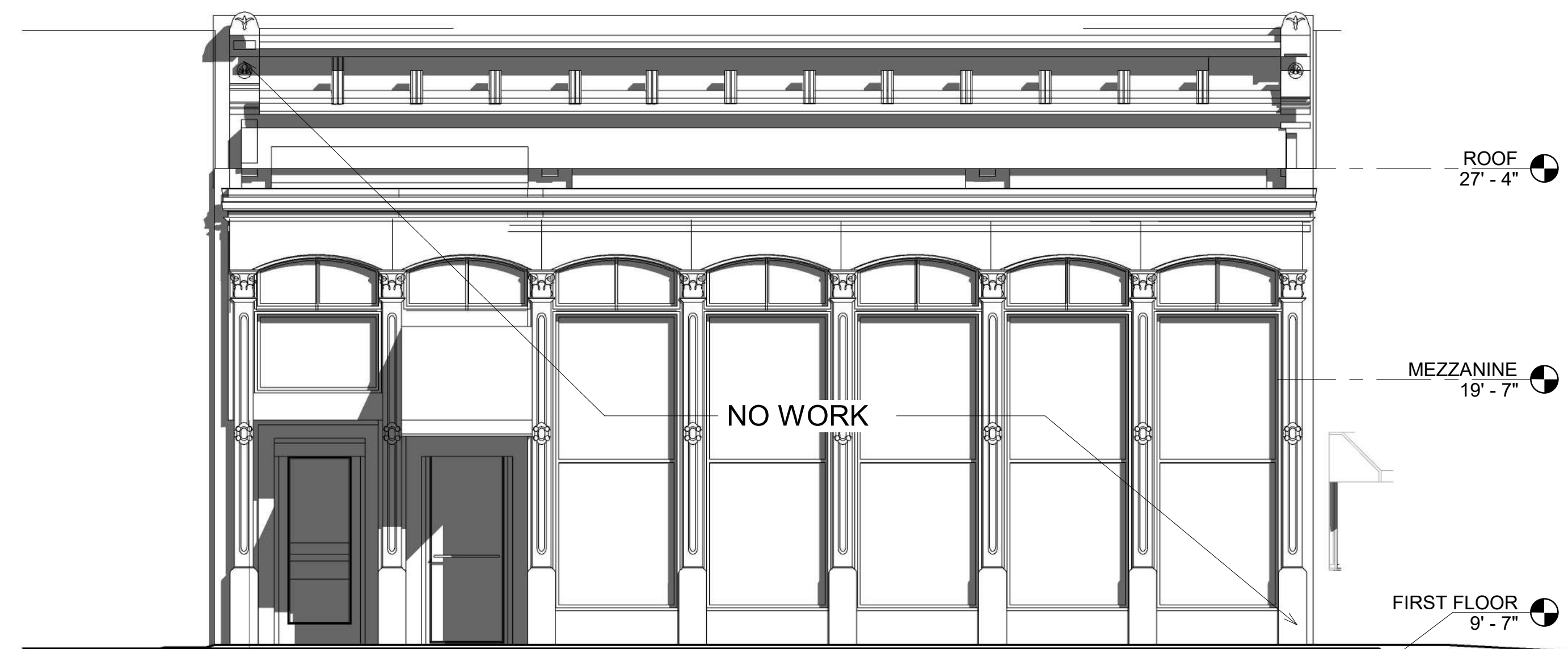
SCALE 1/4" = 1'-0"

DRAWN BY YZ

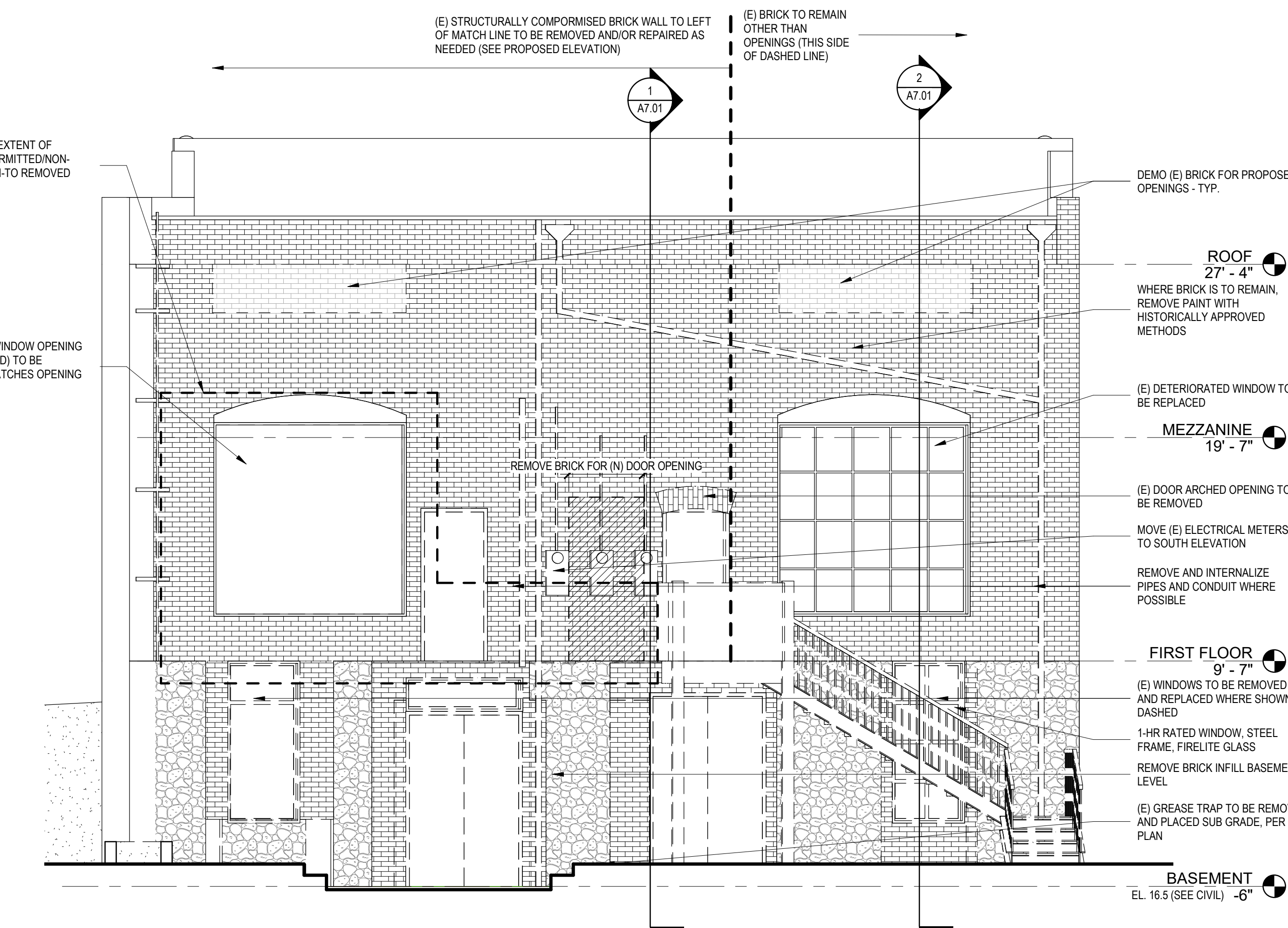
CHECKED BY OG

JOB NO.

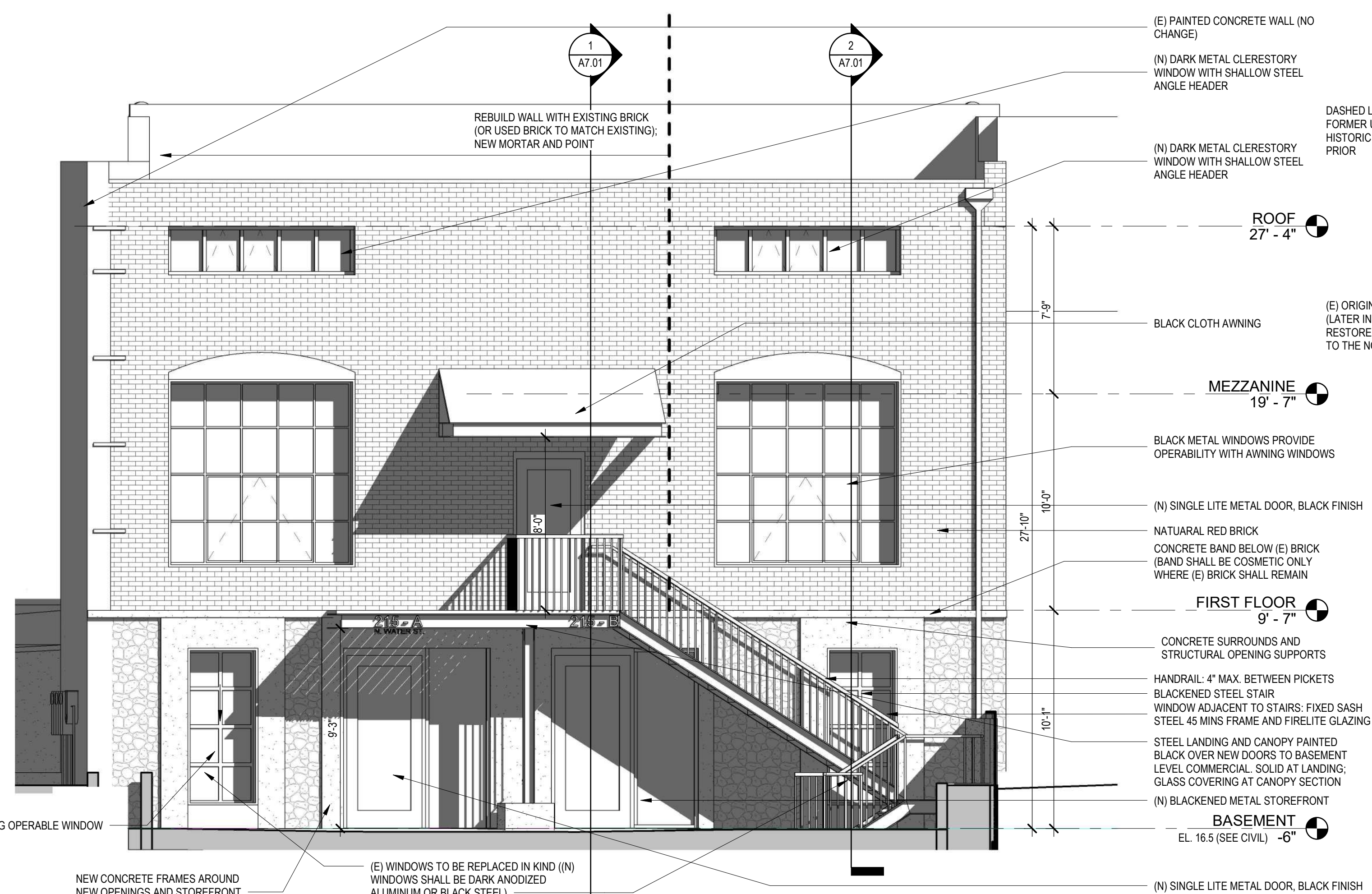
**A5.01**



**2 ELEVATION - WEST (FRONT) PER APPROVED BLD6-17-1697**  
1/4" = 1'-0"

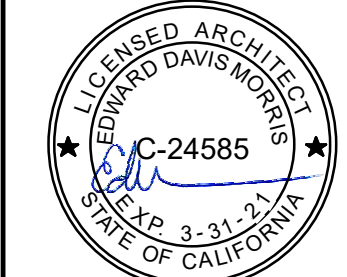


**1 DEMO ELEVATION - EAST**  
1/4" = 1'-0"



**3 PROPOSED EAST (REAR) ELEVATION**  
1/4" = 1'-0"

Revisions



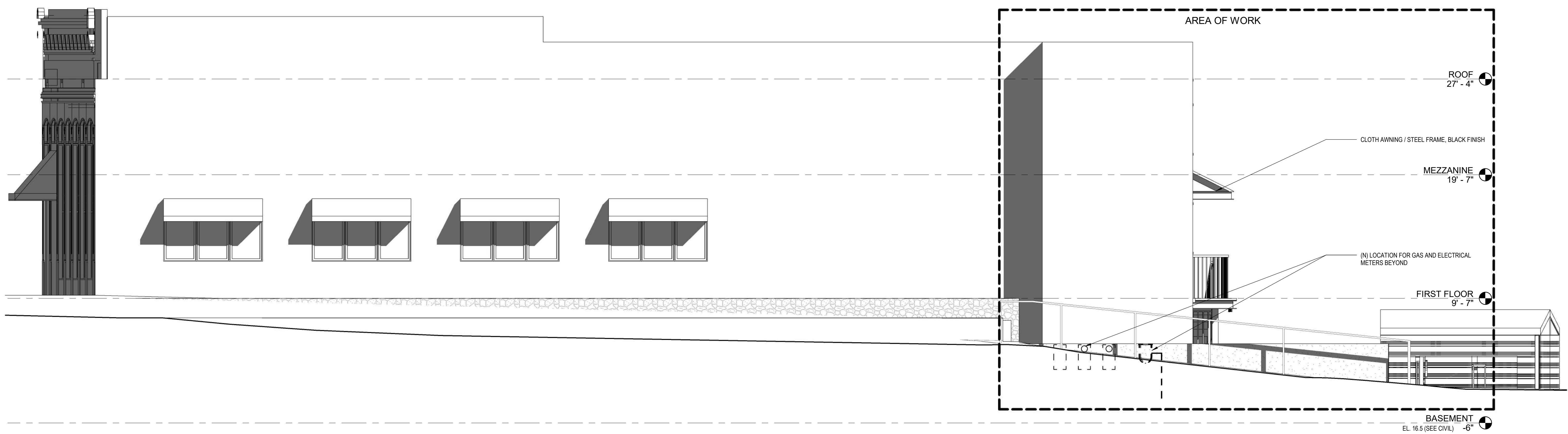
**215 N WATER  
 ST  
 APN(S):  
 006-284-040 &  
 006-284-041**

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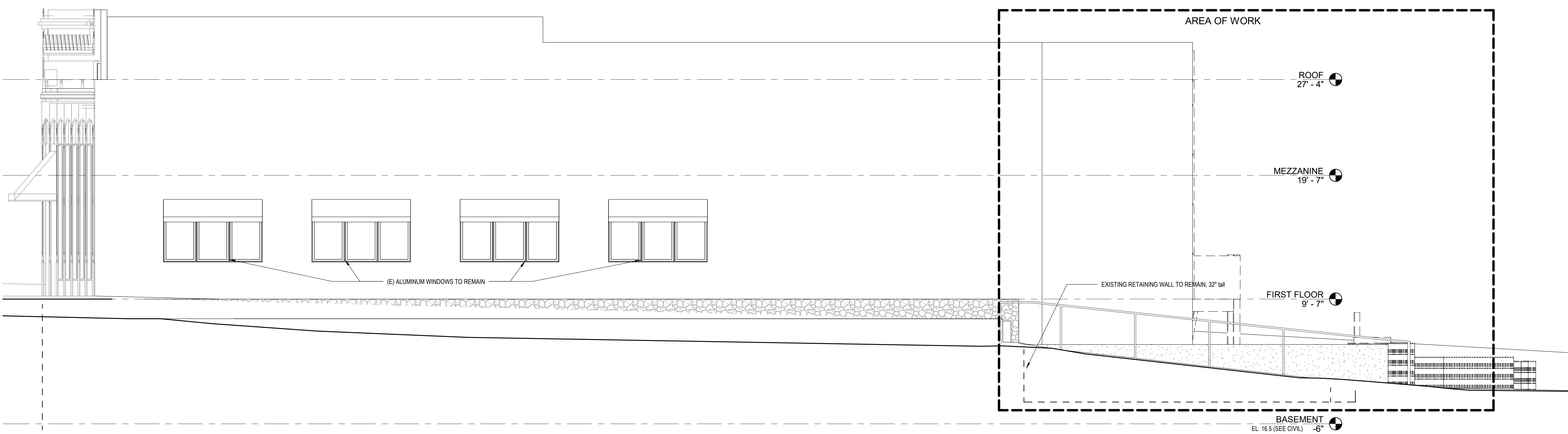
**EXISTING AND PROPOSED SOUTH ELEVATIONS**

DATE	01/15/21
SCALE	1/4" = 1'-0"
DRAWN BY	SC
CHECKED BY	OG
JOB NO.	

**A5.02**

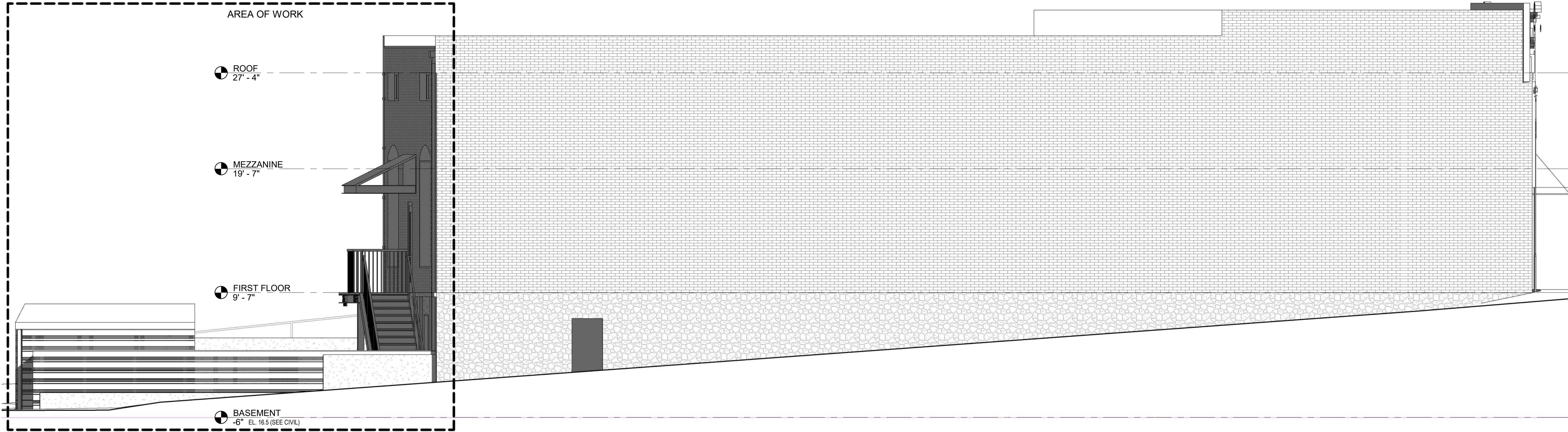


**2 PROPOSED SOUTH ELEVATION**  
 1/4" = 1'-0"

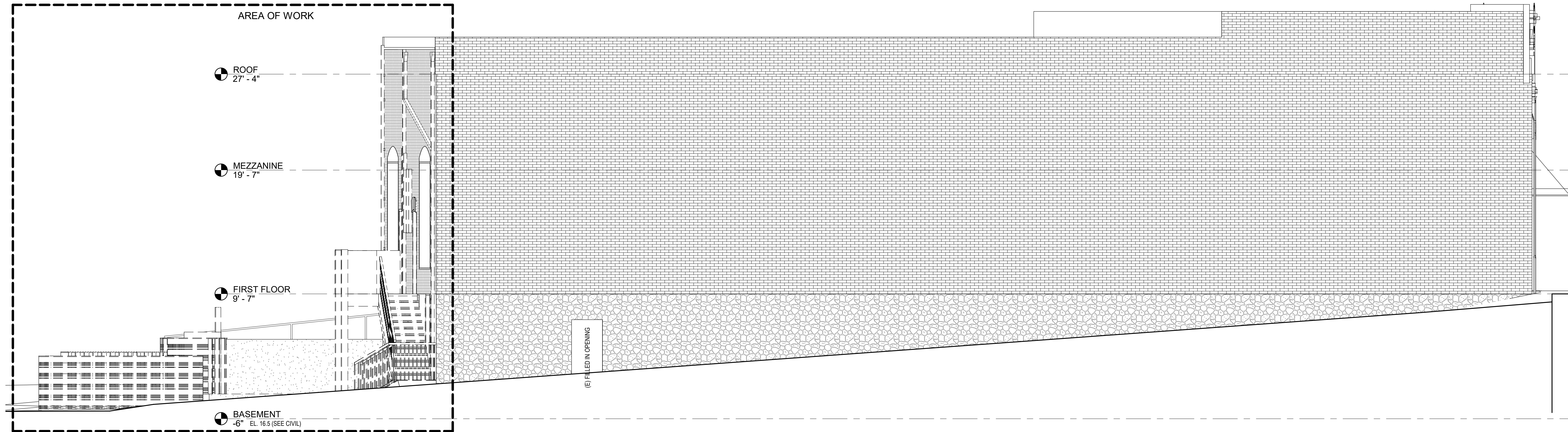


**1 EXISTING SOUTH ELEVATION**  
 1/4" = 1'-0"





2 ELEVATION - NORTH  
1/4" = 1'-0"

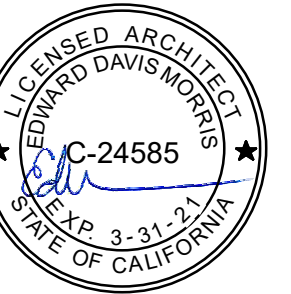


1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"

**km**  
kerman  
morris  
architects llp  
139 Noe Street  
San Francisco, CA  
94114  
415 749 0302

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No.	Description



**215 N WATER  
ST  
APN(S):  
006-284-040 &  
006-284-041**

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**EXISTING AND PROPOSED NORTH ELEVATION**

DATE 01/15/21

SCALE 1/4" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**A5.03**

Revisions



**215 N WATER  
 ST**  
**APN(S):  
 006-284-040 &  
 006-284-041**

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PROPOSED BUILDING SECTIONS

DATE 01/15/21

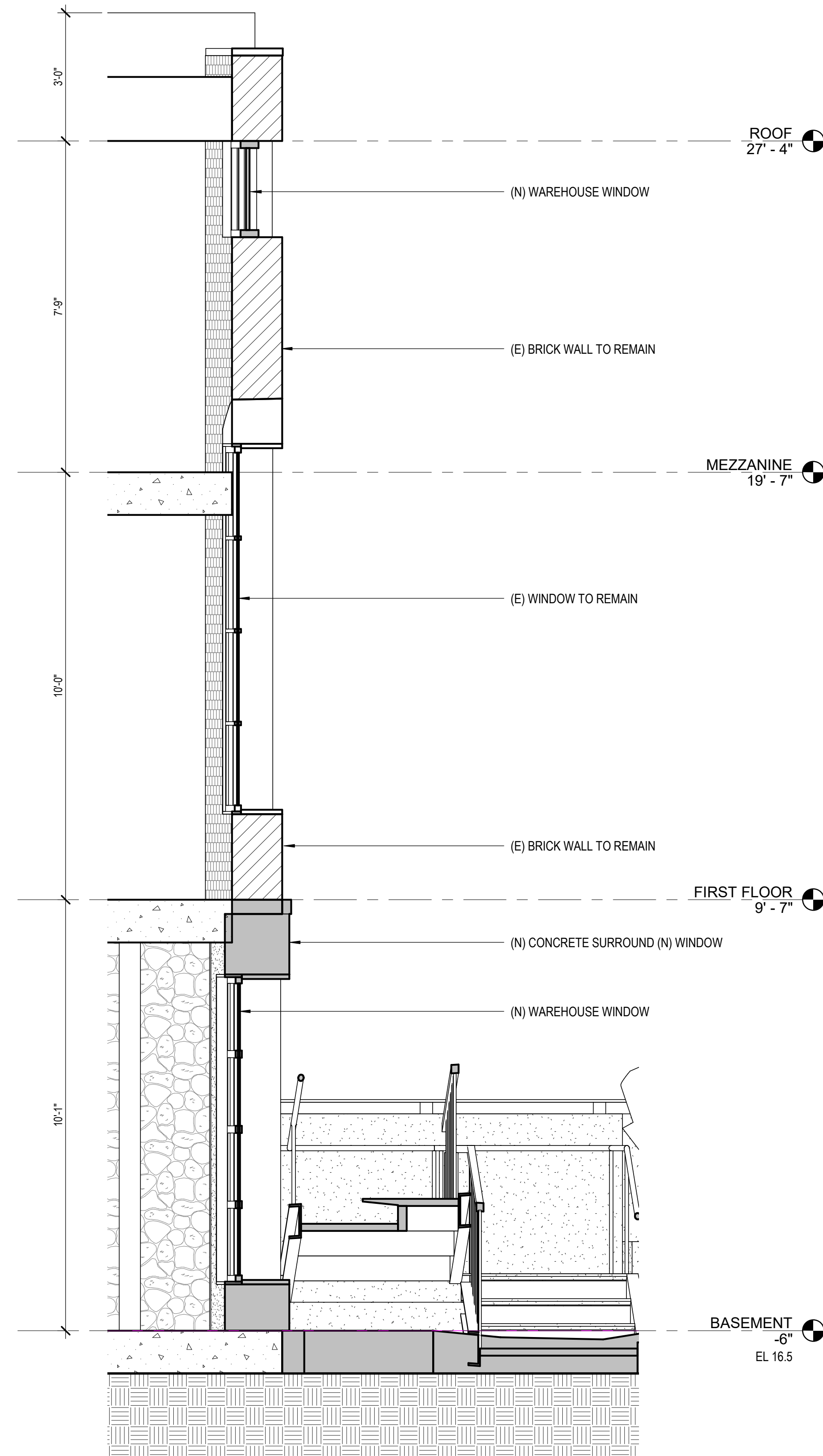
SCALE 1/2" = 1'-0"

DRAWN BY SC

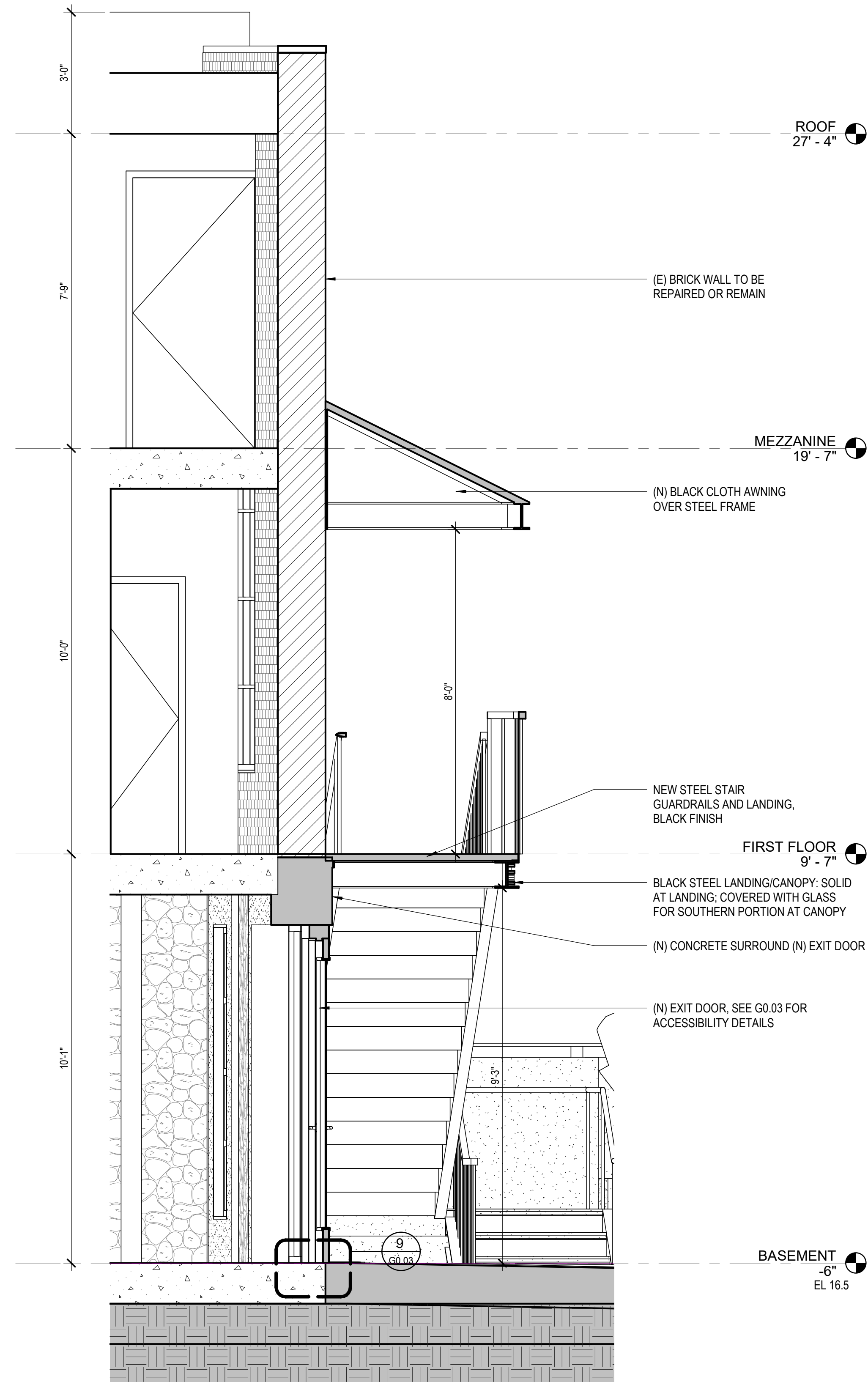
CHECKED BY OG

JOB NO.

**A7.01**



**2** WALL SECTION - EAST WALL @ STAIR  
 1/2" = 1'-0"



**1** WALL SECTION - EAST WALL @ LANDING  
 1/2" = 1'-0"



Project Name:	Water Street T.I.	NRCC-PRF-01-E	Page 10 of 11
Project Address:	215 Water St & 208 Petaluma Blvd Petaluma 94952	Calculation Date/Time:	12:51, Thu, Jan 14, 2021
Input File Name:	North Water Street T.I. (215).cbd19x		

**N. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION**


Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Verification must be submitted for the features to be recognized for compliance. These documents must be retained and provided to the building inspector during construction and can be found online at: [https://www.energy.ca.gov/title24/2019standards/2019\\_compliance\\_documents/Nonresidential\\_Documents/NRCV/](https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCV/)

Building Component	YES	NO	Form/Title	Field Inspector	
				Pass	Fail
Mechanical	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-MCH-04-H Duct Leakage Test	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-MCH-24-H Enclosure Air Leakage	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-MCH-27 Indoor Air Quality & Mechanical Ventilation	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-MCH-32-H Local Mechanical Exhaust	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-PLB-21-H - HERS verified central systems in high-rise residential, hotel/motel application	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	NRCV-PLB-22-H - HERS verified single dwelling unit systems in high-rise residential, hotel/motel application	<input type="checkbox"/>	<input type="checkbox"/>

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2021-01-14 12:51:39

Project Name:	Water Street T.I.	NRCC-PRF-01-E	Page 11 of 11
Project Address:	215 Water St & 208 Petaluma Blvd Petaluma 94952	Calculation Date/Time:	12:51, Thu, Jan 14, 2021
Input File Name:	North Water Street T.I. (215).cbd19x		

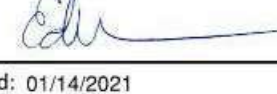
**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**  
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Timothy Carstairs, CEA, HERS, GPR  
Company: Carstairs Energy Inc. Signature:   
Address: 2238 Bayview Heights Drive, Suite E Signature Date: 2021-01-14  
City/State/Zip: Los Osos CA 93402 CEA/ HERS Certification Identification (if applicable): R16-06-10042  
Phone: (805) 904-9048



**RESPONSIBLE PERSON'S DECLARATION STATEMENT**  
I certify the following under penalty of perjury, under the laws of the State of California:

- The information provided on this Certificate of Compliance is true and correct.
- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)
- The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
- I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Envelope Designer Name: Edward "Toby" Morris Signature:   
Company: Kerman Morris Architects Date Signed: 01/14/2021  
Address: 139 Noe Street  
City/State/Zip: San Francisco, CA 94114  
Phone: (415) 749-0302 Title: Architect License #: C-24585

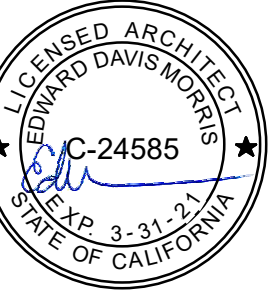
Responsible Lighting Designer Name: Signature: NOT IN SCOPE  
Company: Date Signed:  
Address: City/State/Zip:  
Phone: Title: License #:

Responsible Mechanical Designer Name: - specify - Signature: NOT IN SCOPE  
Company: Date Signed:  
Address: City/State/Zip:  
Phone: Title: License #:

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-10092020-6384 Report Generated at: 2021-01-14 12:51:39



Revisions

**215 N WATER ST**  
**APN(S):**  
**006-284-040 &**  
**006-284-041**

**NOTICE**  
These drawings and specifications are the property and copyright of Kerman/Morris Architects and shall not be used on any other work except by written agreement with Kerman/Morris Architects.

The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**TITLE-24 ENERGY REPORT**

DATE 01/14/21

SCALE



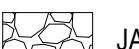

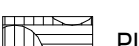
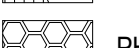

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**T24-02**

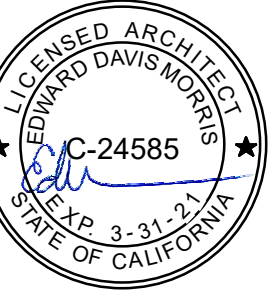
**LEGEND**

-  DROUGHT TOLERANT NATIVE PLANT
-  CLEMATIS ARMANDII
-  JASMINE & DROUGHT TOLERANT NATIVES
-  MAGNOLIA OR MIMOSA TREE
-  PITTOSPORUM TENUIFOLIUM
-  PHOINIA FRASERI
-  CLIMBING VINES

**km**  
 kerman  
 morris  
 architects llp  
 139 Noe Street  
 San Francisco, CA  
 94114  
 415 749 0302

Revisions

NO.	DESCRIPTION



**215 N WATER  
 ST  
 APN(S):  
 006-284-040 &  
 006-284-041**

**NOTICE**  
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The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work.

These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings, etc., are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**SCHEMATIC PLANTING PLAN**

DATE 01/26/21

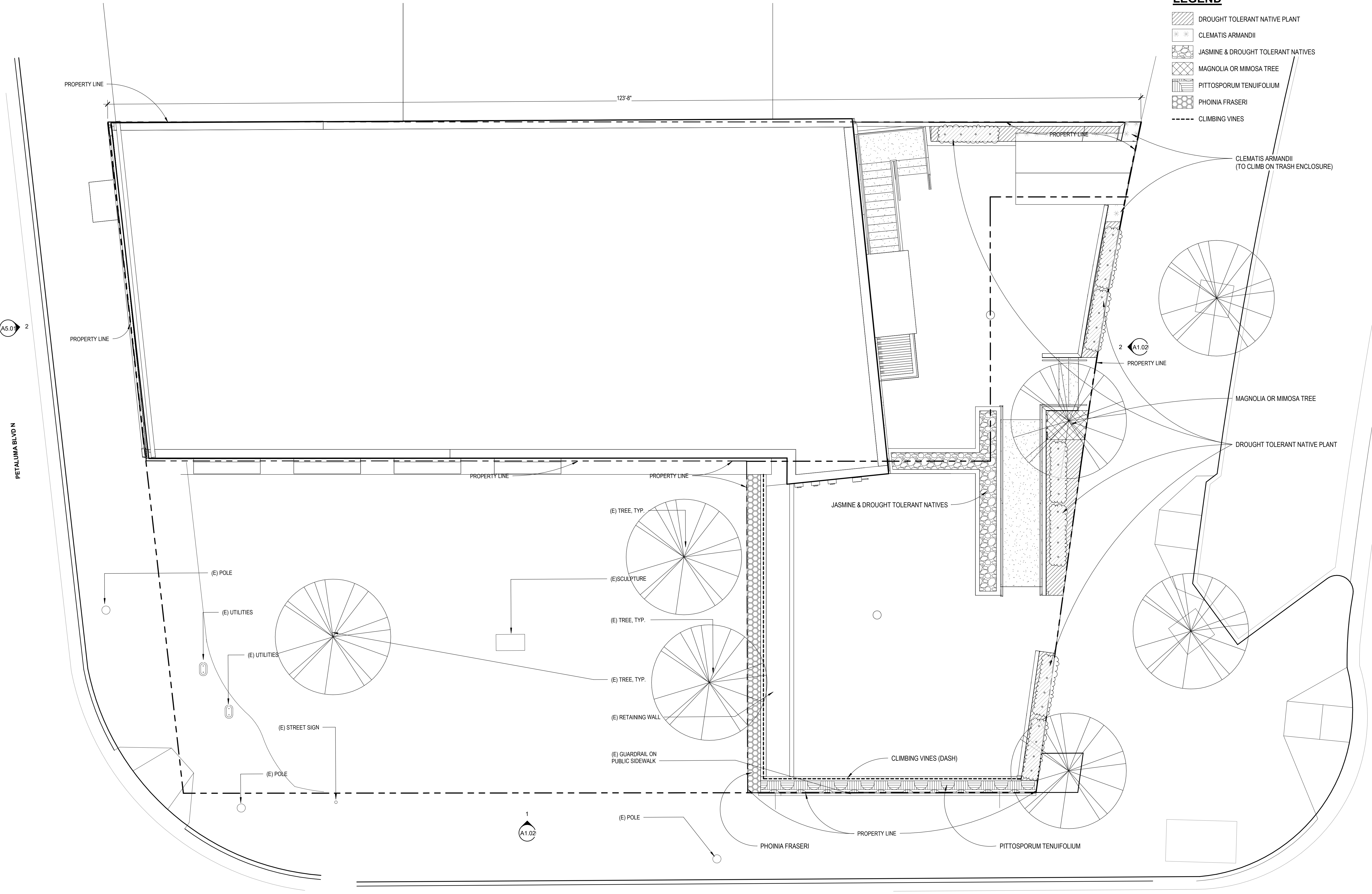
SCALE 3/16" = 1'-0"

DRAWN BY Author

CHECKED BY Checker

JOB NO.

**L-1**



**1 PROPOSED PLANTING PLAN**  
 3/16" = 1'-0"

