## 215 N WATER STREET (208 PETALUMA BLVD NORTH)

**REAR BUILDING WALL IMPROVEMENT** 1/26/2021 /R3

PLSR-20-0017

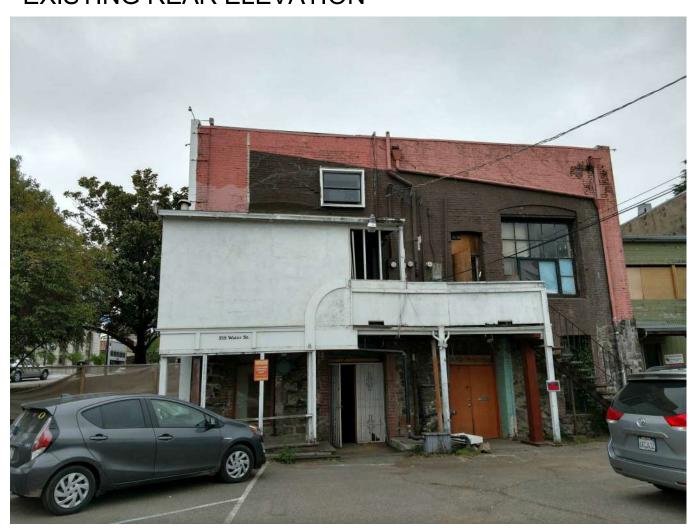


Revisions

# **CONTEXT MAP**

# **VICINITY MAP** 215 N WATER ST. (SUBJECT PROPERTY)

### **EXISTING REAR ELEVATION**



SHEET IND	DEX:
GENERAL	
G0.01	COVER SHEET
G0.02	GENERAL NOTES
G0.03	ACCESSIBILITY & DETAILS
G0.04	PROPERTY SURVEY
G0.05	NORTH RIVER APARTRENTS - PUBLIC IMPROVEMENT PLANS (REFERENCE)
CIVIL	,
C-1	GRADING AND DRAINAGE PLAN
ARCHITECTURAL	
AE1.01	EXISTING SITE PLAN
AE2.01	EXISTING BASEMENT PLAN
AE2.02	EXISTING FIRST FLOOR PLAN & MEZZANINE PLAN
AE2.03	EXISTING ROOF PLAN
A1.01	PROPOSED REVISED SITE PLAN
A1.02	SITE ELEVATIONS
A2.01	PROPOSED BASEMENT PLAN
A2.02	PROPOSED FIRST FLOOR
A5.01	EXISTING AND PROPOSED FRONT AND REAR ELEVATION
A5.02	EXISTING AND PROPOSED SOUTH ELEVATIONS
A5.03	EXISTING AND PROPOSED NORTH ELEVATION
A7.01	PROPOSED BUILDING SECTIONS
TITLE-24	
T24-01	TITLE-24 ENERGY REPORT
T24-02	TITLE-24 ENERGY REPORT
<u>LANDSCAPE</u>	
L-1	SCHEMATIC PLANTING PLAN
SHEET COUNT: 2	21
NOTES:	NON-SEPARATED USES PER 508.3 SHALL BE USED
BASEMENT:	A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANT LOAD FACTOR = 15 SF / OCCUPANT
	FACTUR - 13 SF / UCCUPANT
	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT
	<ul> <li>A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT</li> <li>A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT</li> <li>A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUPANT</li> </ul>
	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT
FIRST FLOOR:	<ul> <li>A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT</li> <li>A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT</li> <li>A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP</li> <li>S-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT</li> </ul>
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FIRST FLOOR:  MEZZANINE:	<ul> <li>A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT</li> <li>A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT</li> <li>A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP</li> <li>S-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT</li> <li>A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS)</li> <li>OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT</li> <li>A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP.</li> </ul>
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MEZZANINE:  BUILDINGS SPRINKLE (PERMIT # BUILDING	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP S-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT  A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT  SFULLY SPRINKLERED: CRS COMPLETED UNDER SEPARATE PERMIT  17-115)  DATA
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BUILDINGS SPRINKLE (PERMIT # BUILDING PARCEL/ LOT # OCCUPANCY G CONSTRUCTION BUILDING GROS	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP S-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT  A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT B (OFFICES) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT  S FULLY SPRINKLERED: ERS COMPLETED UNDER SEPARATE PERMIT T-115)  DATA  DATA  O06-284+040 / 006-284-041 EROUP: (E) A-2 ASSEMBLY, B OFFICES, S-1 STORAGE (NO CHANGE)  N TYPE: V-B (FULLY SPRINKLERED) SS SF: (E) 8,775 sqft (NO CHANGE)
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MEZZANINE:  BUILDINGS SPRINKLE (PERMIT #  BUILDING  PARCEL/ LOT # OCCUPANCY G  CONSTRUCTION BUILDING GROS (NO CHANGE)	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUP S-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT B (OFFICES) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT  S FULLY SPRINKLERED: ERS COMPLETED UNDER SEPARATE PERMIT T-115)  DATA  C 006-284+040 / 006-284-041 EROUP: (E) A-2 ASSEMBLY, B OFFICES, S-1 STORAGE (NO CHANGE) N TYPE: V-B (FULLY SPRINKLERED) SS SF: (E) 8,775 sqft (NO CHANGE) BASEMENT: 4,012 sqf FIRST FLOOR: 3,668 sqft MEZZANINE: 1,095 sqft OAD: EXISTING TOTAL = 283 OCCUPANTS (NO CHANGE) BASEMENT: 145 OCCUPANTS
MEZZANINE:  BUILDINGS SPRINKLE (PERMIT #  BUILDING  PARCEL/ LOT # OCCUPANCY G  CONSTRUCTION BUILDING GROS (NO CHANGE)	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUPS-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT B (OFFICES) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT  S FULLY SPRINKLERED: CRS COMPLETED UNDER SEPARATE PERMIT T-115)  DATA  C 006-284+040 / 006-284-041 CROUP: (E) A-2 ASSEMBLY, B OFFICES, S-1 STORAGE (NO CHANGE) N TYPE: V-B (FULLY SPRINKLERED) SS SF: (E) 8,775 sqft (NO CHANGE) BASEMENT: 4,072 sqf FIRST FLOOR: 3,666 sqft MEZZANINE: 1,095 sqft  OAD: EXISTING TOTAL = 283 OCCUPANTS (NO CHANGE) BASEMENT: 145 OCCUPANTS FIRST FLOOR: 132 OCCUPANTS FIRST FLOOR: 132 OCCUPANTS
MEZZANINE:  BUILDINGS SPRINKLE (PERMIT #  BUILDING  PARCEL/ LOT # OCCUPANCY G  CONSTRUCTION BUILDING GROS (NO CHANGE)	A-2 (COMMERCIAL KITCHEN) OCCUPANT LOAD FACTOR = 200 SF / OCCUPANT A-2 (BAR/EMPLOYEES) OCCUPANT LOAD FACTOR = 40 SF / OCCUPANT A-2 (BAR STANDING ROOM PATRONS) OCCUPANT LOAD FACTOR = 5 SF / OCCUPS-1 (STORAGE) OCCUPANT LOAD FACTOR = 300 SF / OCCUPANT A-2 (DINING UNCONCENTRATED TABLES AND CHAIRS) OCCUPANCY LOAD FACTOR = 15 SF / OCCUPANT A-2 (COMMERCIAL KITCHEN) OCCUPANCY LOAD FACTOR = 200 SF/OCCUP. S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 300 SF / OCCUPANT B (OFFICES) OCCUPANCY LOAD FACTOR = 100 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT S-2 (STORAGE) OCCUPANCY LOAD FACTOR = 200 SF / OCCUPANT  S FULLY SPRINKLERED: ERS COMPLETED UNDER SEPARATE PERMIT T-115)  DATA  C 006-284+040 / 006-284-041 EROUP: (E) A-2 ASSEMBLY, B OFFICES, S-1 STORAGE (NO CHANGE) N TYPE: V-B (FULLY SPRINKLERED) SS SF: (E) 8,775 sqft (NO CHANGE) BASEMENT: 4,012 sqf FIRST FLOOR: 3,668 sqft MEZZANINE: 1,095 sqft OAD: EXISTING TOTAL = 283 OCCUPANTS (NO CHANGE) BASEMENT: 145 OCCUPANTS
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208 PETALUM BLVD. & 215 N. WATER STREET

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH:

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA BUILDING ENERGY STANDARDS 2019 CALIFORNIA GREEN BUILDING STANDARDS

ADDRESSE(S):

AL ALT	ALUMINUM ALTERNATE	MFR MTL	MANUFACTURER METAL
AFF APPROX	ABOVE FINISH FLOOR APPROXIMATE	(N)	NEW
BLDG BTWN	BUILDING BETWEEN	NIC NO/# NTS	NOT IN CONTRACT NUMBER NOT TO SCALE
ВОТ	BOTTOM	OC	ON CENTER
CAB CEM	CABINET CEMENT	OPNG OPP	OPENING OPPOSITE
CLR CMU	CLEAR CONCRETE MASONRY UNIT	PL	PROPERTY LINE
COL	COLUMN	PLY	PLYWOOD
CONT CTR	CONTINUOUS CENTER	PTDF	PRESSURE TREATED DOUGLAS FIR PLASTIC LAMINATE
CL CER	CENTER LINE CERAMIC	PLAM PTD	PAINTED PARTITION
CLG	CEILING	PTN	RISER
CONC	CONCRETE	R	REFERENCE
DBL DEPT	DOUBLE DEPARTMENT	REF REFR	REFRIGERATOR REDWOOD
DIA DF	DIAMETER DOUGLAS FIR	RWD REINF	REINFORCED ROUGH OPENING
DH	DOUBLE HUNG	RO	RAIN WATER LEADER
DIM Dn	DIMENSION DOWN	RWL REQ	REQUIRED
DS DTL	DOWNSPOUT DETAIL	SIM	SIMILAR SHEET
DWG	DRAWING	SHT	SLAB ON GRADE
(E) EA	EXISTING EACH	SOG SPEC	SPECIFICATION STAINLESS STEEL
ELEC EL	ELECTRICAL ELEVATION	SS STD	STANDARD STRUCTURAL
EQ	EQUAL	STRL SUSP	SUSPENDED SOLID WOOD
EXT	EXTERIOR	SW	SYMMETRICAL
FDN FIN	FOUNDATION FINISH	SYM	
FLR	FLOOR	TRD T&G	TREAD TONGUE AND GROOVE
FLUOR FOC	FLUORESCENT FACE OF CONCRETE		
FOS FTG	FACE OF STUD FOOTING	THK TOS	TRICK TOP OF SLAB
FOF	FACE OF FINISH	TP TB	TOILET PAPER TOWEL BAR
GALV	GALVANIZED	TYP	TYPICAL
GFIC	GROUND FAULT INTERRUPT CIRCUIT	UON	UNLESS OTHERWISE NOTED
GL GM	GLASS GLASS MIRROR	VERT	VERTICAL
GND	GROUND	VIF VPFAM	VERIFY IN FIELD VAPOR PERMEABLE FLUID
GYP GWB	GYPSUM GYPSUM WALL BOARD	VITAM	APPLIED MEMBRANE
НС	HIGH PERFORMANCE COATING	W/	WITH
HM HORZ	HOLLOW METAL HORIZONTAL	W/O WC	WITHOUT WATER CLOSET
HT	HEIGHT	WDW WP	WINDOW WATERPROOF
INSUL	INSULATION	WT	WEIGHT
INT	INTERIOR	WD WH	WOOD WATER HEATER
PROJE	ECT DIRECTORY		
_	TIM BROWN 415 - 317 - 2006		
	S: 775 MONTEREY BLVD, SAN	FRANCISCO, CA 9412	27
TENIANT.	TUP TIM THAI		
	T: VICHUDA		
PHONE: 5	503 - 569 - 2259		
ARCHITE	CT: KERMAN MORRIS ARCHI	TECTS, LLP	
PHONE: 4	415 - 377 - 7527		
ADDRESS	S: 139 NOE STREET, SAN FRA	NCISCO, CA 94114	
STRUCTU	JRAL ENGINEER: BONZA ENG	GINEER. INC.	
PHONE: 4	415 - 516 - 3569	,	
ADDRESS	S: 356 NOE STREET, SAN FRA	NCISCO, CA 94114	
PLSF	R-20-0017		
_	EVISIONS (PER 12/23/20 INCC	MPLETENESS LETTE	R) /R3
SCOP	E OF WORK		
	or this permit is:		
The remodel a	and repair of the existing rear fac		not limited to replaced and new windows, r
stone, repair/r	eplacement of brick (scope per		feasibility), replacement of existing stair, a
	date of patio space, etc sting electrical and utility meters		
A trash enclos	sure, sided in fencing material to		g, is proposed for the north east corner of
•			reated a new fire rated stair between the ba Ima Boulevard North. This work (BLDG-17
THE POLICE HILL	Trans along viator Officet, and a	HOW SHILL WILLOW OF FIRE CLAIM	Dogiovara riorur. Triid Work (DLDO-17

LAVATORY

MAXIMUM MINIMUM MANUFACTURER

**215 N WATER** ST APN(S): 006-284-040 & 006-284-041 NOTICE These drawings and specifications are the property and copyright of work except by written agreement with Kerman/Morris Architects. The Contractor shall verify all existing conditions. Written dimensions take preference over scaled dimensions and shall be verified on the project site. Any discrepancy shall be brought to the attention of Kerman Morris Architects prior to the commencement of any work. industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details. All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them. **COVER SHEET** 

01/26/21

1" = 200'-0"

DRAWN BY

CHECKED BY

G0.01

**ABBREVIATIONS** 

- , new doors, stabilization of addition of exterior ramp and
- - basement and first floor, a patio with retaining walls along Water Street, and a new entrance on Petaluma Boulevard North. This work (BLDG-17-1697) is currently under construction and shown as "existing" for the purposes of this permit. The building is currently fully sprinklered (per Permit # 17-115).

Brick shall be repaired where shown: Paint removed using low pressure chemical process, failing mortar to be repointed, and new bricks to be tied into existing (matching color and bond). All work shall be consistent with the secretary of interiors standards based off the historicity of the area of the building identified in the scope of work (this shall mean the rear facade for the purpose of this permit)

### T-24 ENERGY NOTES

### **GENERAL NOTES - LIGHTING**

§ 110.9: LIGHTING CONTROLS AND COMPONENTS. ALL LIGHTING CONTROL DEVICES AND SYSTEMS, BALLASTS, AND LUMINAIRES MUST MEET THE APPLICABLE REQUIREMENTS OF § 110.9.\*

§ 110.9(E): JA8 HIGH EFFICACY LIGHT SOURCES. TO QUALIFY AS A JA8 HIGH EFFICACY LIGHT SOURCE FOR COMPLIANCE WITH § 150.0(K), A RESIDENTIAL LIGHT SOURCE MUST BE CERTIFIED TO THE ENERGY COMMISSION ACCORDING TO REFERENCE JOINT APPENDIX JA8.

§ 150.0(K)1A: LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES MUST BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

§ 150.0(K)1B: BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE MUST BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.

§ 150.0(K)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS, LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SOCKET AND LIGHT SOURCE AS DESCRIBED IN § 150.0(K)1C. A JA8-2016-E LIGHT SOURCE RATED FOR ELEVATED TEMPERATURE MUST BE INSTALLED BY FINAL INSPECTION IN ALL RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS.

§ 150.0(K)1D: ELECTRONIC BALLASTS. BALLASTS FOR FLUORESCENT LAMPS RATED 13 WATTS OR GREATER MUST BE ELECTRONIC AND MUST HAVE AN OUTPUT FREQUENCY NO LESS THAN 20 KHZ.

§ 150.0(K)1E: NIGHT LIGHTS. PERMANENTLY INSTALLED NIGHT LIGHTS AND NIGHT LIGHTS INTEGRAL TO INSTALLED LUMINAIRES OR EXHAUST FANS MUST BE RATED TO CONSUME NO MORE THAN 5 WATTS OF POWER PER LUMINAIRE OR EXHAUST FAN AS DETERMINED IN ACCORDANCE WITH § 130.0(C). NIGHT LIGHTS DO NOT NEED TO BE CONTROLLED BY VACANCY SENSORS.

§ 150.0(K)1F: LIGHTING INTEGRAL TO EXHAUST FANS. LIGHTING INTEGRAL TO EXHAUST FANS (EXCEPT WHEN INSTALLED BY THE MANUFACTURER IN KITCHEN EXHAUST HOODS) MUST MEET THE APPLICABLE REQUIREMENTS OF § 150.0(K).\*

§ 150.0(K)1G: SCREW BASED LUMINAIRES. SCREW BASED LUMINAIRES MUST NOT BE RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS AND MUST CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8. INSTALLED LAMPS MUST BE MARKED WITH "JA8-2016" OR "JA8-2016-E" AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.\*

§ 150.0(K)1H: ENCLOSED LUMINAIRES. LIGHT SOURCES INSTALLED IN ENCLOSED LUMINAIRES MUST BE JA8 COMPLIANT AND MUST BE MARKED WITH "JA8-2016-E."

§ 150.0(K)2A: INTERIOR SWITCHES AND CONTROLS. ALL FORWARD PHASE CUT DIMMERS USED WITH LED LIGHT SOURCES MUST COMPLY WITH NEMA SSL 7A.

§ 150.0(K)2B: INTERIOR SWITCHES AND CONTROLS. EXHAUST FANS MUST BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.\*

§ 150.0(K)2C: INTERIOR SWITCHES AND CONTROLS. LUMINAIRES MUST BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF.

§ 150.0(K)2D: INTERIOR SWITCHES AND CONTROLS. CONTROLS AND EQUIPMENT MUST BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

§ 150.0(K)2E: INTERIOR SWITCHES AND CONTROLS. NO CONTROL MUST BYPASS A DIMMER OR VACANCY SENSOR FUNCTION IF THE CONTROL IS INSTALLED TO COMPLY WITH § 150.0(K).

§ 150.0(K)2F: INTERIOR SWITCHES AND CONTROLS. LIGHTING CONTROLS MUST COMPLY WITH THE APPLICABLE REQUIREMENTS OF § 110.9.

§ 150.0(K)2G: INTERIOR SWITCHES AND CONTROLS. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IF IT: FUNCTIONS AS A DIMMER ACCORDING TO § 110.9: MEETS THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4: MEETS THE EMCS REQUIREMENTS OF § 130.5(F); AND MEETS ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2H: INTERIOR SWITCHES AND CONTROLS. AN EMCS MAY BE USED TO COMPLY WITH VACANCY SENSOR REQUIREMENTS IN § 150.0(K) IF IT MEETS ALL OF THE FOLLOWING: IT FUNCTIONS AS A VACANCY SENSOR ACCORDING TO § 110.9: THE INSTALLATION CERTIFICATE REQUIREMENTS OF § 130.4; THE EMCS REQUIREMENTS OF § 130.5(F); AND ALL OTHER REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2I: INTERIOR SWITCHES AND CONTROLS. A MULTISCENE PROGRAMMABLE CONTROLLER MAY BE USED TO COMPLY WITH DIMMER REQUIREMENTS IN § 150.0(K) IF IT PROVIDES THE FUNCTIONALITY OF A DIMMER ACCORDING TO § 110.9, AND COMPLIES WITH ALL OTHER APPLICABLE REQUIREMENTS IN § 150.0(K)2.

§ 150.0(K)2J: INTERIOR SWITCHES AND CONTROLS. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES MUST BE CONTROLLED

§ 150.0(K)2K: INTERIOR SWITCHES AND CONTROLS. DIMMERS OR VACANCY SENSORS MUST CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8, EXCEPT LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET AND LUMINAIRES IN HALLWAYS.\*

§ 150.0(K)2L: INTERIOR SWITCHES AND CONTROLS. UNDERCABINET LIGHTING MUST BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.

§ 150.0(K)3A: RESIDENTIAL OUTDOOR LIGHTING. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM § 150.0(K)3AI (ON AND OFF SWITCH) AND THE REQUIREMENTS IN EITHER ITEM

§ 150.0(K): 3AII (PHOTOCELL AND MOTION SENSOR) OR ITEM § 150.0(K)3AIII (PHOTO CONTROL AND AUTOMATIC TIME SWITCH CONTROL, ASTRONOMICAL TIME CLOCK, OR EMCS).

§ 150.0(K)3B: RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE MULTIFAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING FOR PRIVATE PATIOS, ENTRANCES, BALCONIES. AND PORCHES; AND OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH LESS THAN EIGHT VEHICLES PER SITE MUST COMPLY WITH EITHER § 150.0(K)3A OR WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

§ 150.0(K)3C: RESIDENTIAL OUTDOOR LIGHTING. FOR LOW-RISE RESIDENTIAL BUILDINGS WITH FOUR OR MORE DWELLING UNITS, OUTDOOR LIGHTING NOT REGULATED BY

§ 150.0(K)3B OR § 150.0(K)3D MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

§ 150.0(K)3D: RESIDENTIAL OUTDOOR LIGHTING. OUTDOOR LIGHTING FOR RESIDENTIAL PARKING LOTS AND RESIDENTIAL CARPORTS WITH A TOTAL OF EIGHT OR MORE VEHICLES PER SITE MUST COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.2, 130.4, 140.7, AND 141.0.

§ 150.0(K)4: INTERNALLY ILLUMINATED ADDRESS SIGNS. INTERNALLY ILLUMINATED ADDRESS SIGNS MUST COMPLY WITH § 140.8; OR MUST CONSUME NO MORE THAN 5 WATTS OF POWER AS DETERMINED ACCORDING TO § 130.0(C).

§ 150.0(K)5: RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES. LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES MUST COMPLY WITH THE APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES IN §§ 110.9, 130.0, 130.1, 130.4, 140.6, AND 141.0.

§ 150.0(K)6A: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING MUST BE HIGH EFFICACY LUMINAIRES AND CONTROLLED BY AN OCCUPANT SENSOR.

§ 150.0(K)6B: INTERIOR COMMON AREAS OF LOW-RISE MULTI-FAMILY RESIDENTIAL BUILDINGS. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED

LIGHTING IN THAT BUILDING MUST: I. COMPLY WITH THE APPLICABLE REQUIREMENTS IN §§ 110.9, 130.0, 130.1, 140.6 AND 141.0; AND II. LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS MUST BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS MUST BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

### GENERAL NOTES - BUILDING ENVELOPE

§ 110.6(A)1: AIR LEAKAGE. MANUFACTURED FENESTRATION, EXTERIOR DOORS, AND EXTERIOR PET DOORS MUST LIMIT AIR LEAKAGE TO 0.3 CFM/FT<sup>2</sup> OR LESS WHEN TESTED PER NFRC-400 OR ASTM E283 OR AAMA/WDMA/CSA 101/I.S.2/A440-2011.\*

§ 110.6(A)5: LABELING. FENESTRATION PRODUCTS MUST HAVE A LABEL MEETING THE REQUIREMENTS OF § 10-111(A).

§ 110.6(B): FIELD FABRICATED EXTERIOR DOORS AND FENESTRATION PRODUCTS MUST USE U-FACTORS AND SOLAR HEAT GAIN COEFFICIENT (SHGC) VALUES FROM TABLES 110.6-A AND 110.6-B FOR COMPLIANCE AND MUST BE CAULKED AND/OR WEATHERSTRIPPED. 7

§ 110.7: AIR LEAKAGE. ALL JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE MUST BE CAULKED, GASKETED, OR

§ 110.8(A): INSULATION CERTIFICATION BY MANUFACTURERS. INSULATION SPECIFIED OR INSTALLED MUST MEET STANDARDS FOR INSULATING MATERIAL.

**§ 110.8(G):** INSULATION REQUIREMENTS FOR HEATED SLAB FLOORS. HEATED SLAB FLOORS MUST BE INSULATED PER THE REQUIREMENTS OF § 110.8(G).

§ 110.8(I): ROOFING PRODUCTS SOLAR REFLECTANCE AND THERMAL EMITTANCE. THE THERMAL EMITTANCE AND AGED SOLAR REFLECTANCE VALUES OF THE ROOFING MATERIAL MUST MEET THE REQUIREMENTS OF § 110.8(I) WHEN THE INSTALLATION OF A COOL ROOF IS SPECIFIED ON THE CF1R.

§ 110.8(J): RADIANT BARRIER. A RADIANT BARRIER MUST HAVE AN EMITTANCE OF 0.05 OR LESS AND BE CERTIFIED TO THE DEPARTMENT OF CONSUMER AFFAIRS.

§ 150.0(A): CEILING AND RAFTER ROOF INSULATION. MINIMUM R-22 INSULATION IN WOOD-FRAME CEILING: OR THE WEIGHTED AVERAGE U-FACTOR MUST NOT EXCEED 0.043. MINIMUM R-19 OR WEIGHTED AVERAGE U-FACTOR OF 0.054 OR LESS IN A RAFTER ROOF ALTERATION. ATTIC ACCESS DOORS MUST HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS MUST BE GASKETED TO PREVENT AIR LEAKAGE. INSULATION MUST BE INSTALLED IN DIRECT CONTACT WITH A CONTINUOUS ROOF OR CEILING WHICH IS SEALED TO LIMIT INFILTRATION AND EXFILTRATION AS SPECIFIED IN § 110.7, INCLUDING BUT NOT LIMITED TO PLACING INSULATION EITHER ABOVE OR BELOW THE ROOF DECK OR ON TOP OF A DRYWALL CEILING.\*

§ 150.0(B): LOOSE-FILL INSULATION. LOOSE FILL INSULATION MUST MEET THE MANUFACTURER'S REQUIRED DENSITY FOR THE LABELED R-VALUE.

§ 150.0(C): WALL INSULATION. MINIMUM R-13 INSULATION IN 2X4 INCH WOOD FRAMING WALL, R-19 INSULATION IN 2X6 INCH WOOD FRAMING WALL, OR HAVE A U-FACTOR OF 0.102 OR LESS (R-19 IN 2X6 OR U-FACTOR OF 0.074 OR LESS). OPAQUE NON-FRAMED ASSEMBLIES MUST HAVE AN OVERALL ASSEMBLY U-FACTOR NOT EXCEEDING 0.102, EQUIVALENT TO AN INSTALLED VALUE OF R-13 IN A WOOD FRAMED ASSEMBLY.\*

§ 150.0(D): RAISED-FLOOR INSULATION. MINIMUM R-19 INSULATION IN RAISED WOOD FRAMED FLOOR OR 0.037 MAXIMUM U-FACTOR.\*

§ 150.0(F): SLAB EDGE INSULATION. SLAB EDGE INSULATION MUST MEET ALL OF THE FOLLOWING: HAVE A WATER ABSORPTION RATE, FOR THE INSULATION MATERIAL ALONE WITHOUT FACINGS, NO GREATER THAN 0.3%; HAVE A WATER VAPOR PERMEANCE NO GREATER THAN 2.0 PERM/INCH; BE PROTECTED FROM PHYSICAL DAMAGE AND UV LIGHT DETERIORATION; AND, WHEN INSTALLED AS PART OF A HEATED SLAB FLOOR, MEET THE REQUIREMENTS OF § 110.8(G).

§ 150.0(G)1: VAPOR RETARDER. IN CLIMATE ZONES 1-16, THE EARTH FLOOR OF UNVENTED CRAWL SPACE MUST BE COVERED WITH A CLASS I OR CLASS II VAPOR RETARDER. THIS REQUIREMENT ALSO APPLIES TO CONTROLLED VENTILATION CRAWL SPACE FOR BUILDINGS COMPLYING WITH THE EXCEPTION TO § 150.0(D).

§ 150.0(G)2: VAPOR RETARDER. IN CLIMATE ZONES 14 AND 16, A CLASS I OR CLASS II VAPOR RETARDER MUST BE INSTALLED ON THE CONDITIONED SPACE SIDE OF ALL INSULATION IN ALL EXTERIOR WALLS, VENTED ATTICS, AND UNVENTED ATTICS WITH AIR-PERMEABLE INSULATION.

§ 150.0(Q): FENESTRATION PRODUCTS. FENESTRATION, INCLUDING SKYLIGHTS, SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE OR OUTDOORS MUST HAVE A MAXIMUM U-FACTOR OF 0.58; OR THE WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION MUST NOT EXCEED

### **GENERAL NOTES**

### A. GENERAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE COMPLETE PROJECT SYSTEMS AND COMPONENTS AND COMPLY WITH ALL REQUIREMENTS INDICATED ON THE PROJECT DOCUMENTS.

2. WORK WITHIN THE AREA BOUNDARIES INDICATED IN THE PROJECT DOCUMENTS AND COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF

3. VERIFY FIELD CONDITIONS AND COORDINATION WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING

4. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.

5. PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE

6. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS AND SYSTEMS PROVIDED BY THE OWNER.

### B. DEFINITIONS:

1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.

2. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE

CHARACTERISTICS FOR THE CONDITION NOTED. 3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS, SHALL BE PROVIDED

4. "ALIGN" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE AND PLUMB RELATION TO ADJACENT MATERIALS.

### C. DIMENSIONS:

1. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID. FACE OF CONCRETE WALL. NOMINAL FACE OF CMU WALL, FACE OF PARTITION AS SCHEDULED, UNLESS OTHERWISE NOTED.

2. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB, THE PRIORITY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER:

A. STRUCTURAL DRAWINGS

B. LARGE SCALE DETAILS

C. SMALL SCALE DETAILS D. ENLARGED VIEWS

E. FLOOR PLANS AND ELEVATIONS

3. MINIMUM DIMENSIONS FOR ACCESSIBILITY CLEARANCES AND BUILDING CODE REQUIREMENTS SHALL BE

4. FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.

5. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL, UNLESS NOTED ABOVE FINISH FLOOR -"AFF".

6. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED ACOUSTIC PANEL CEILING GRID OR FACE OF FINISH MATERIAL FOR OTHER CEILING TYPES, UON.

7. DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE AND DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.

### D. DRAWING SET ORGANIZATION:

S STRUCTURAL

1. EACH DRAWING SET SHEET IS IDENTIFIED BY THE SHEET NUMBER IN THE LOWER RIGHT HAND CORNER OF THE DRAWING TITLE BLOCK. THE SHEET TITLE PROVIDES A GENERAL DESCRIPTION OF THE CONTENTS OF THE SHEET.

SHEET NUMBER EXAMPLE: A201

"A" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING

"2" INDICATES THE DRAWING CATEGORY CONTAINED ON THE SHEET "01" INDICATES THE SHEET NUMBER

2. SHEET NUMBERS MAY INCLUDE SUPPLEMENTAL CHARACTERS TO PROVIDE ADDITIONAL INFORMATION, SUCH AS DRAWING CONTENT, PROJECT SECTOR OR PHASE. REFER TO THE DRAWING INDEX FOR A COMPLETE LIST OF SHEETS INCLUDED IN THE DOCUMENT SET.

EXAMPLE: EL201A "EL" INDICATES THE DISCIPLINE THAT CREATED THE DRAWING AND THE DRAWING CONTENT =

ELECTRICAL LIGHTING "A" INDICATES SECTOR "A" OF PLAN SHEET "201". REFER TO THE PROJECT KEY PLAN OR COMPOSITE PLAN INDICATING THE RELATIONSHIP OF THE SECTORS.

3. DRAWING SET INDEX INDICATES THE COMPLETE LIST OF SHEETS CONTAINED IN THE DRAWING SET, INDEXED BY DISCIPLINE, SHEET NUMBER AND SHEET TITLE, IN SEQUENTIAL ORDER. NOTE THAT ALL

4. DISCIPLINE IDENTIFICATION, IN ORDER BOUND IN THE DRAWING SET. REFER TO THE DRAWING SET INDEX

FOR DISCIPLINE CONTAINED IN THIS DRAWING SET: G GENERAL INFORMATION Q EQUIPMENT C CIVIL F FIRE PROTECTION L LANDSCAPE P PLUMBING

SEQUENTIAL SHEET NUMBERS MAY BE NOT USED IN THE DRAWING SET.

A ARCHITECTURAL E ELECTRICAL I INTERIORS T TELECOMMUNICATIONS

M MECHANICAL

5. DRAWING CATEGORY IDENTIFICATION. REFER TO THE DRAWING SET INDEX FOR DISCIPLINES, CATEGORIES AND SHEET NUMBERS CONTAINED IN THIS DRAWING SET:

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**215 N WATER** ST APN(S): 006-284-040 8 006-284-04

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any work.

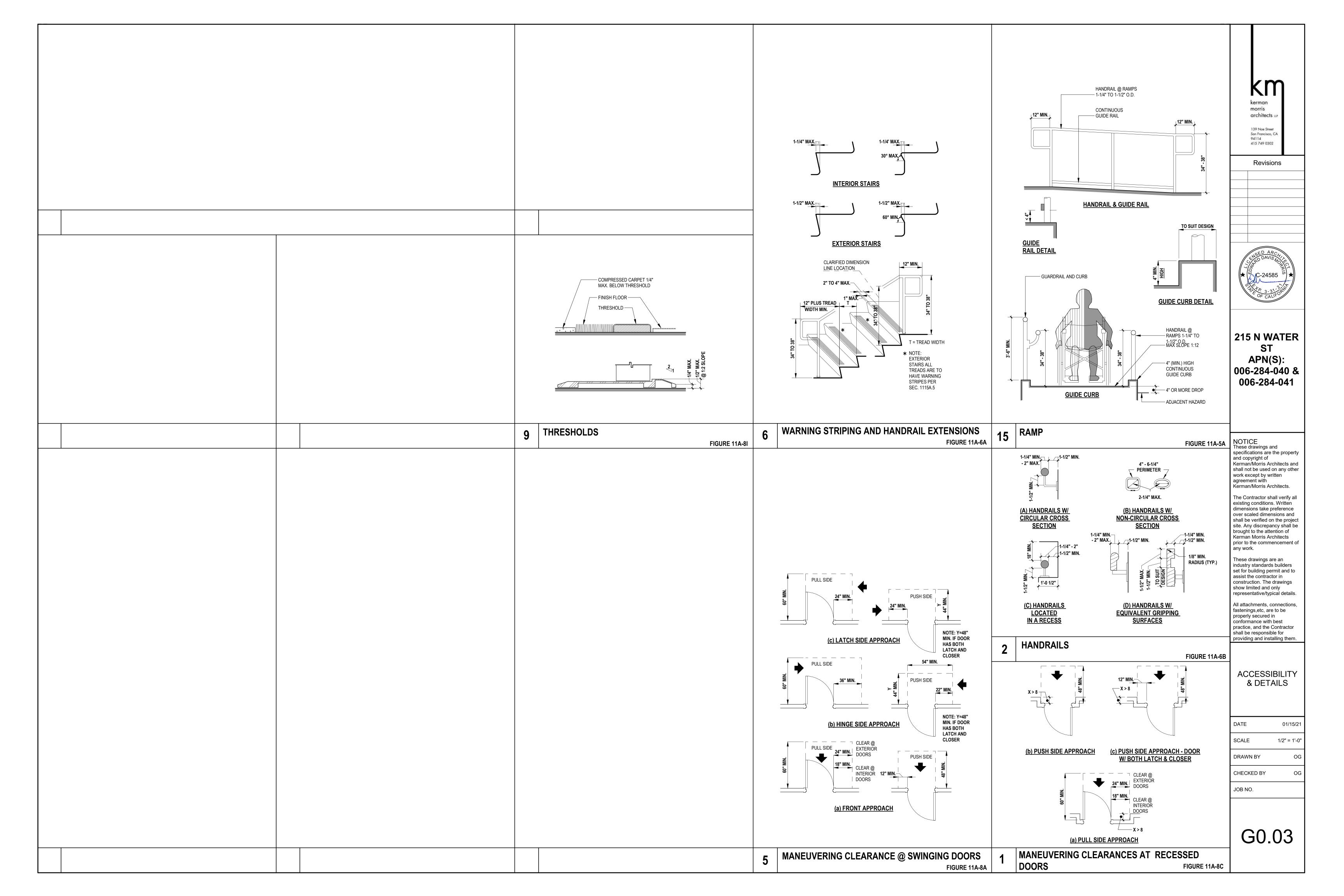
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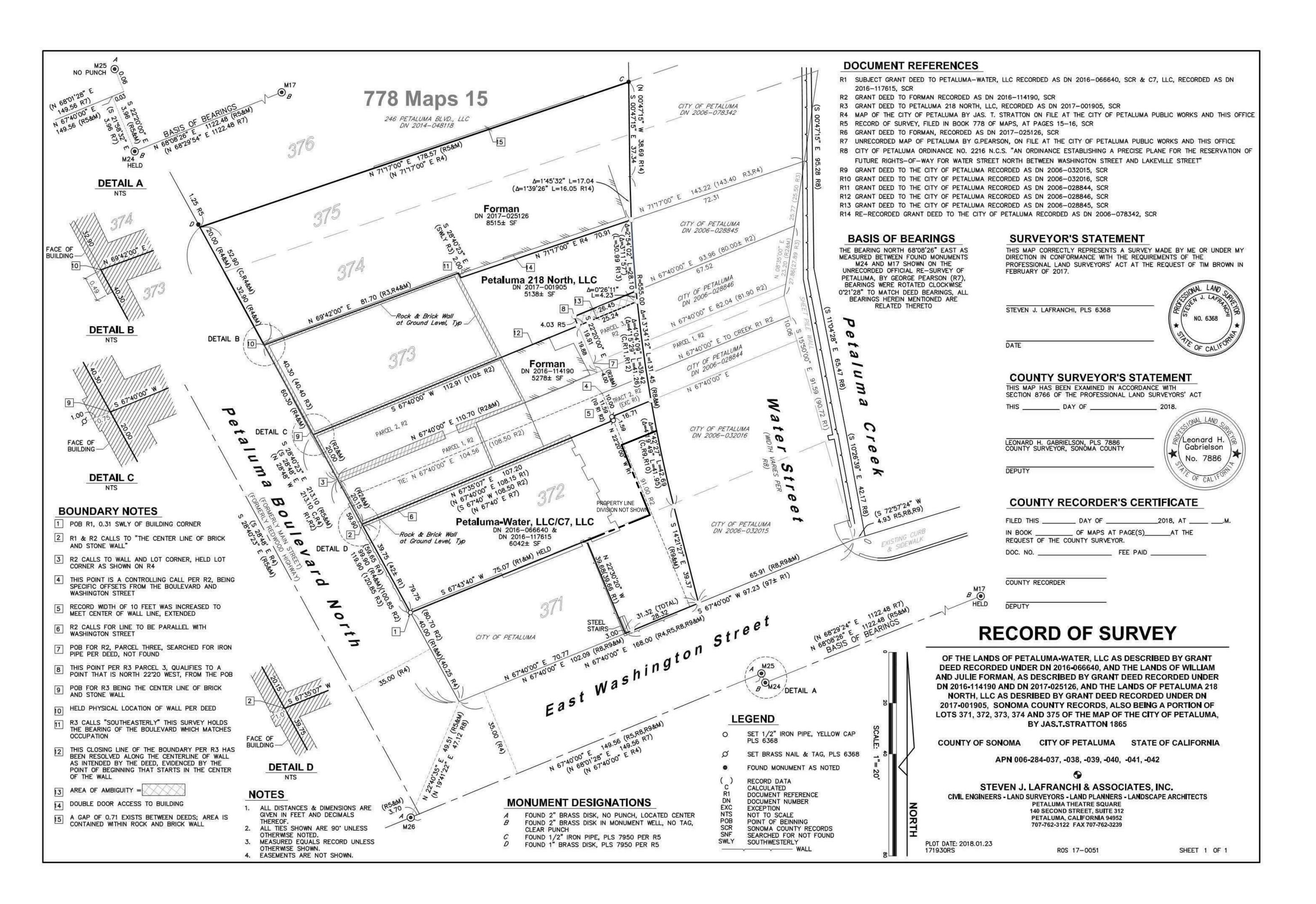
> **GENERAL** NOTES

DATE 01/15/21 SCALE 1" = 1'-0

DRAWN BY CHECKED BY

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C-24585

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PROPERTY SURVEY

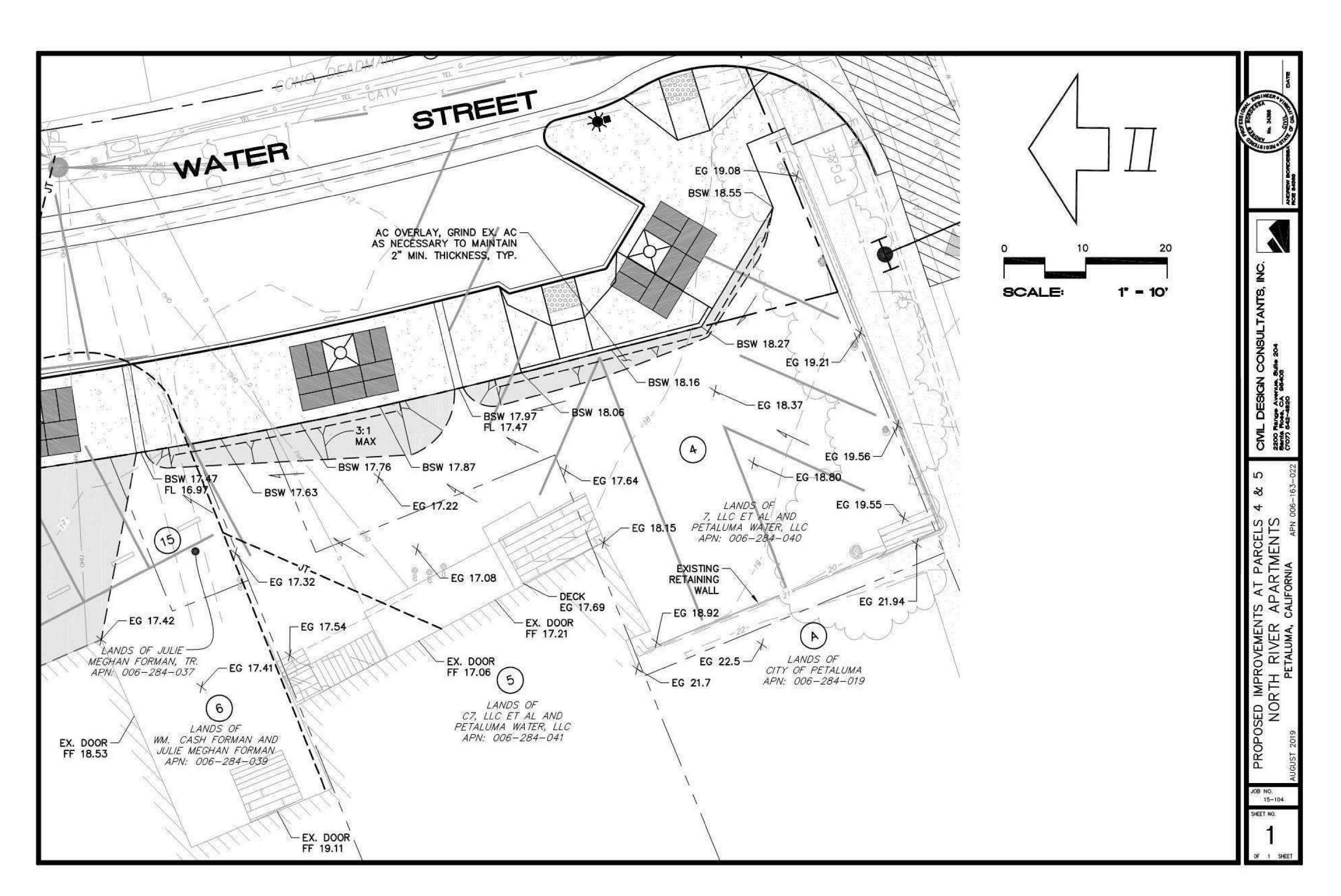
DATE 01/15/21

SCALE

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NORTH RIVER
APARTRENTS PUBLIC
IMPROVEMENT
PLANS
(REFERENCE)

DATE 01/15/21

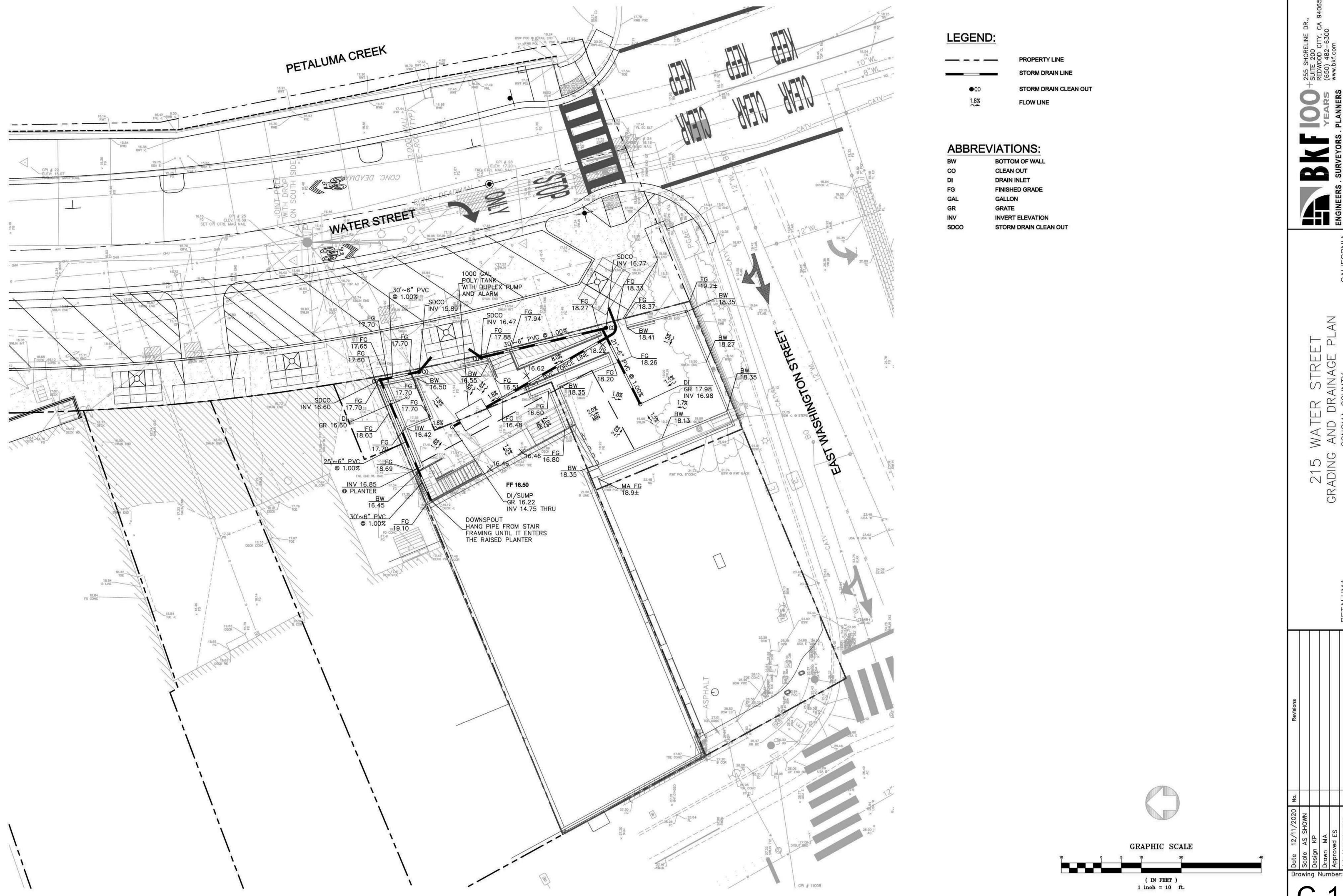
SCALE

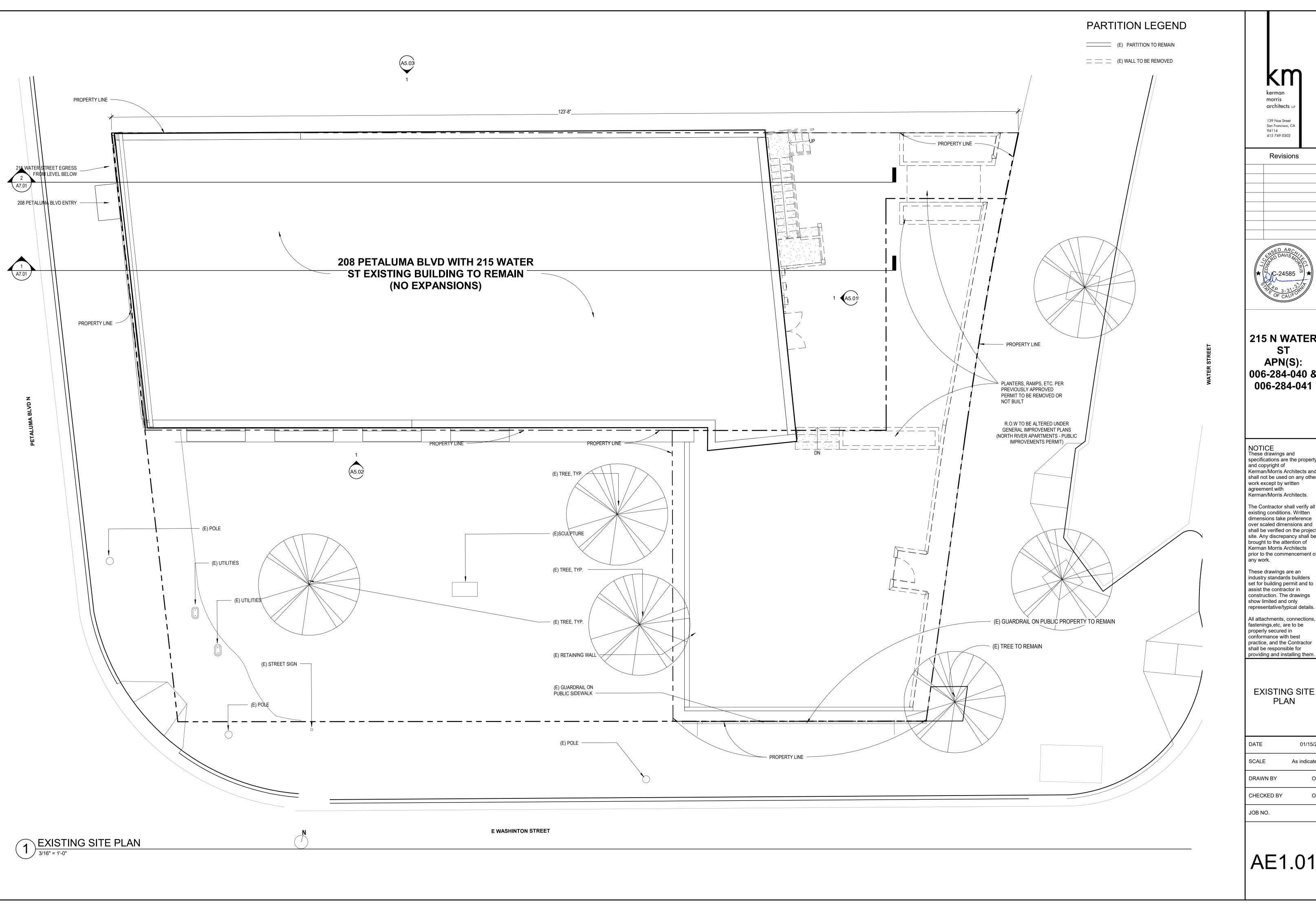
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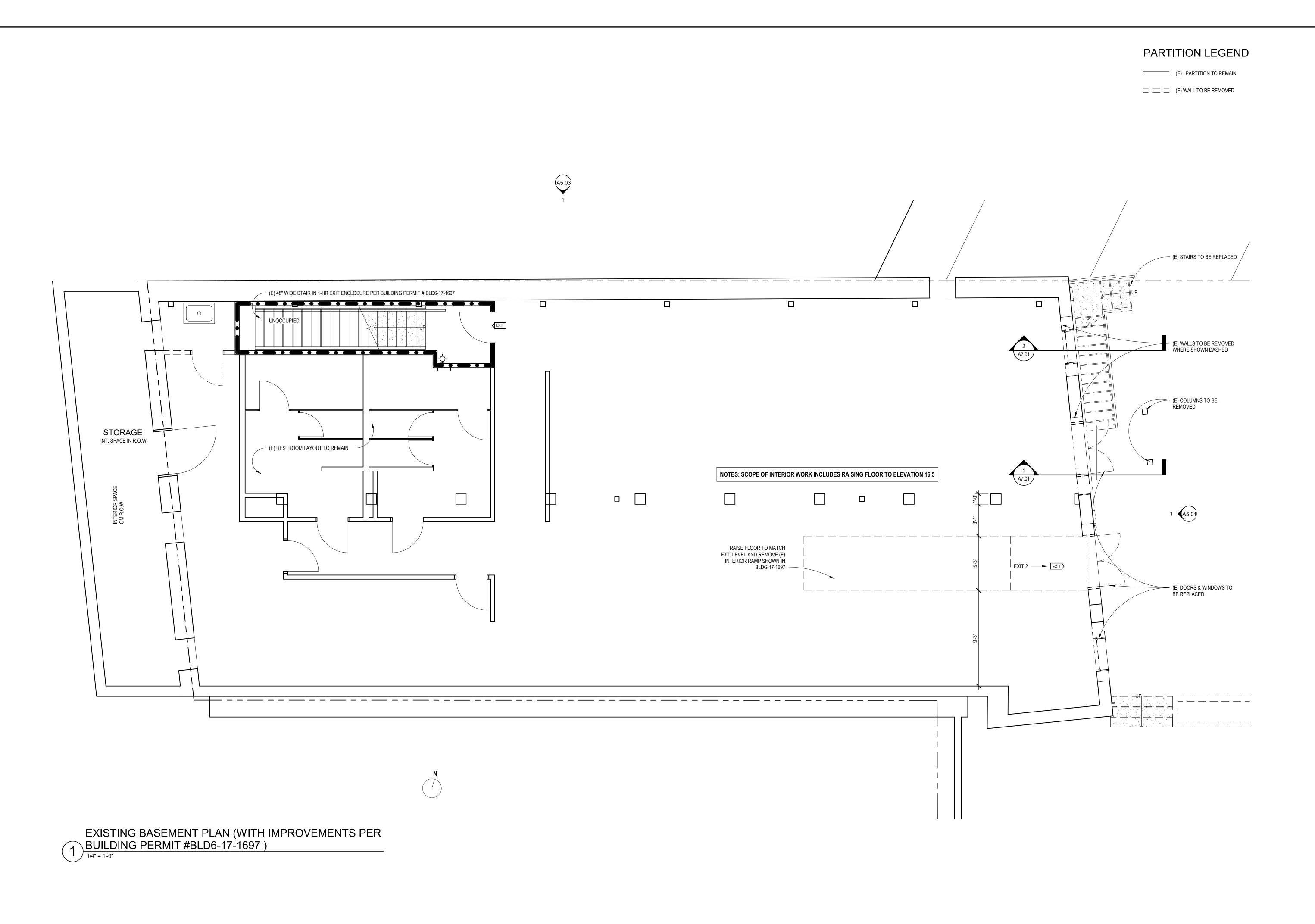
industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for

**EXISTING SITE** PLAN

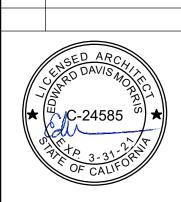
01/15/21 As indicated

AE1.01



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> **EXISTING BASEMENT** PLAN

DATE 01/15/21 SCALE As indicated

Author

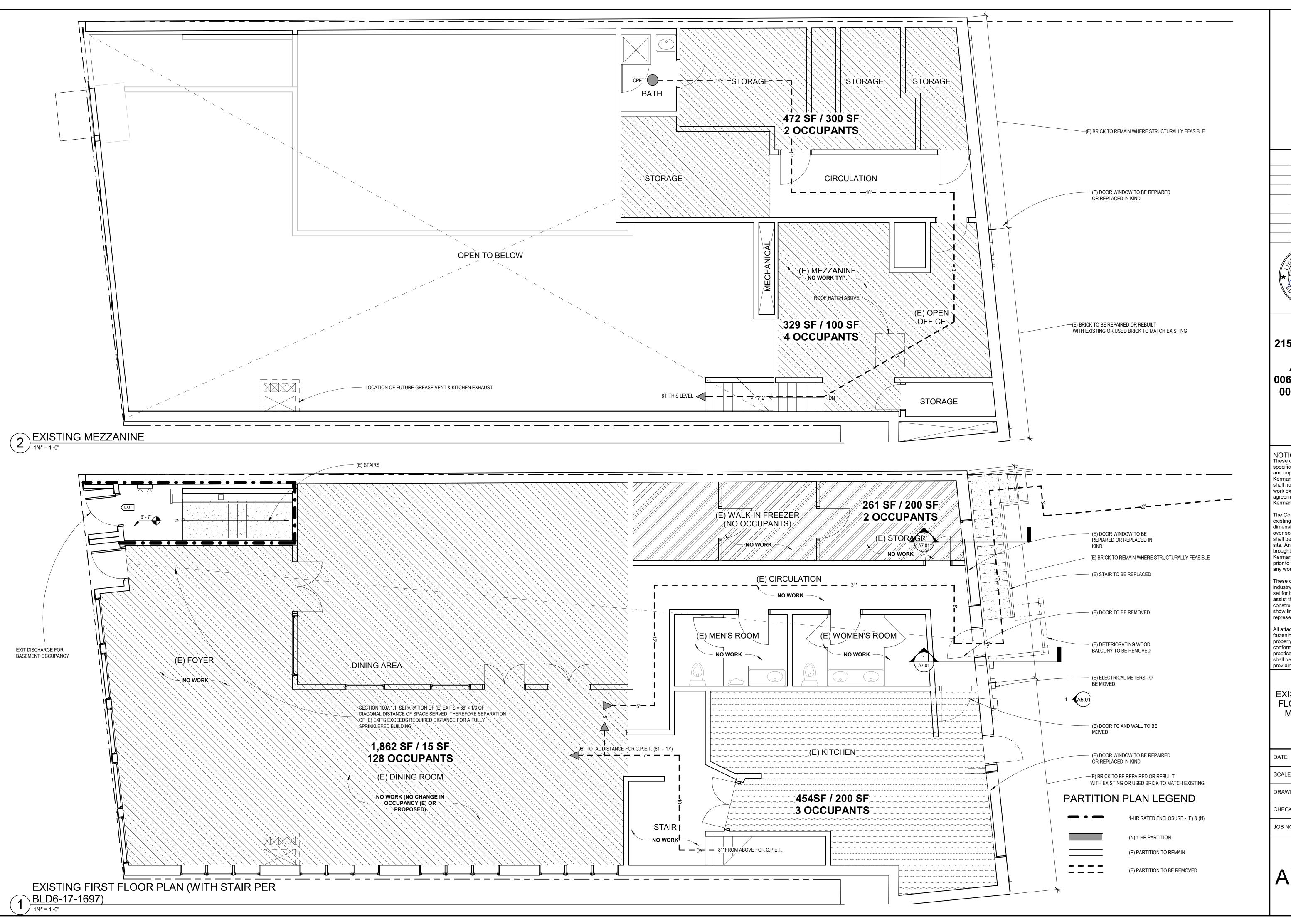
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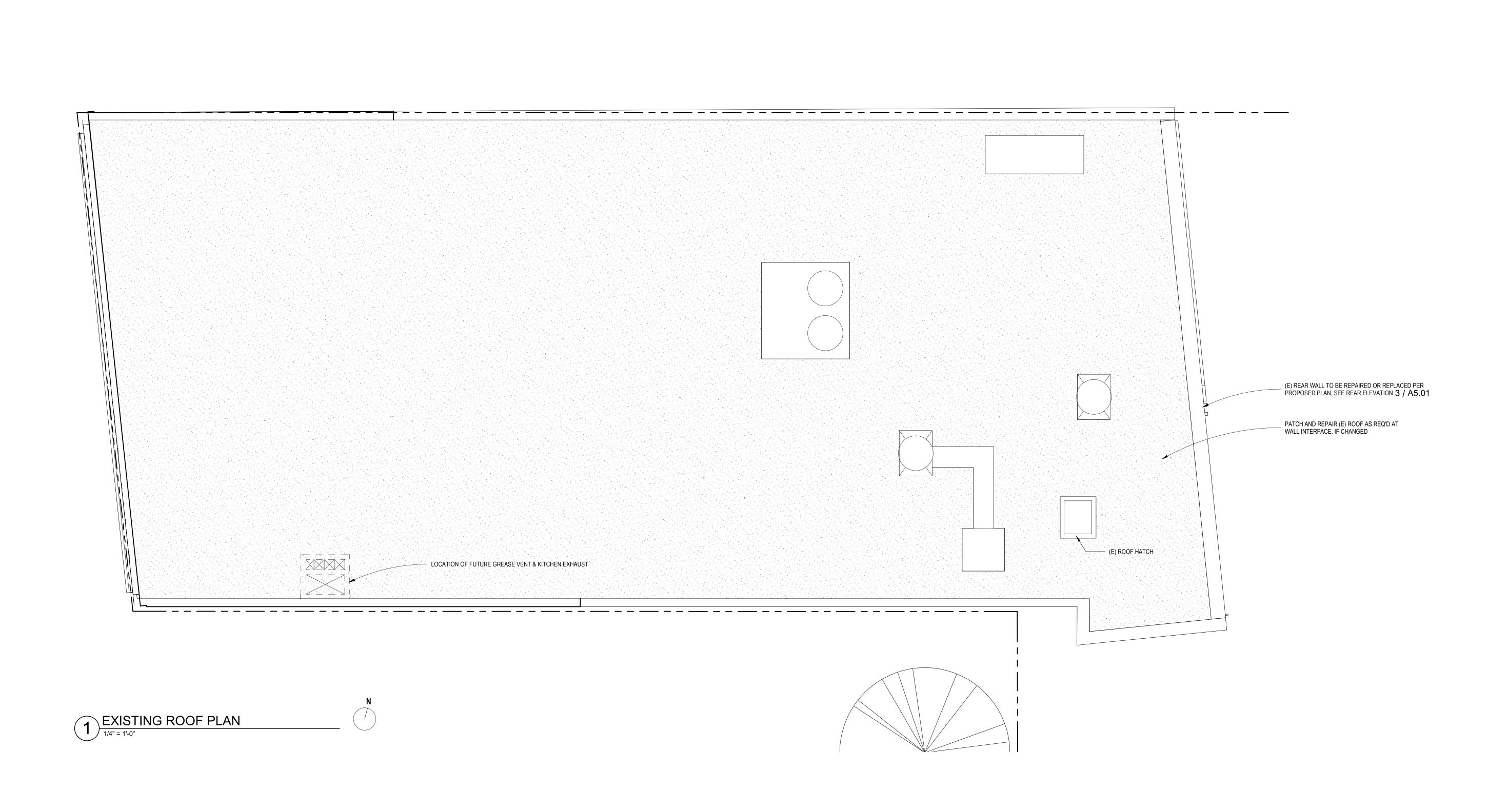
**EXISTING FIRST** FLOOR PLAN & MEZZANINE PLAN

1/8/2021 SCALE 1/4" = 1'-0"

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EXISTING ROOF PLAN

DATE 1/8/2021

SCALE 1/4" = 1'-0"

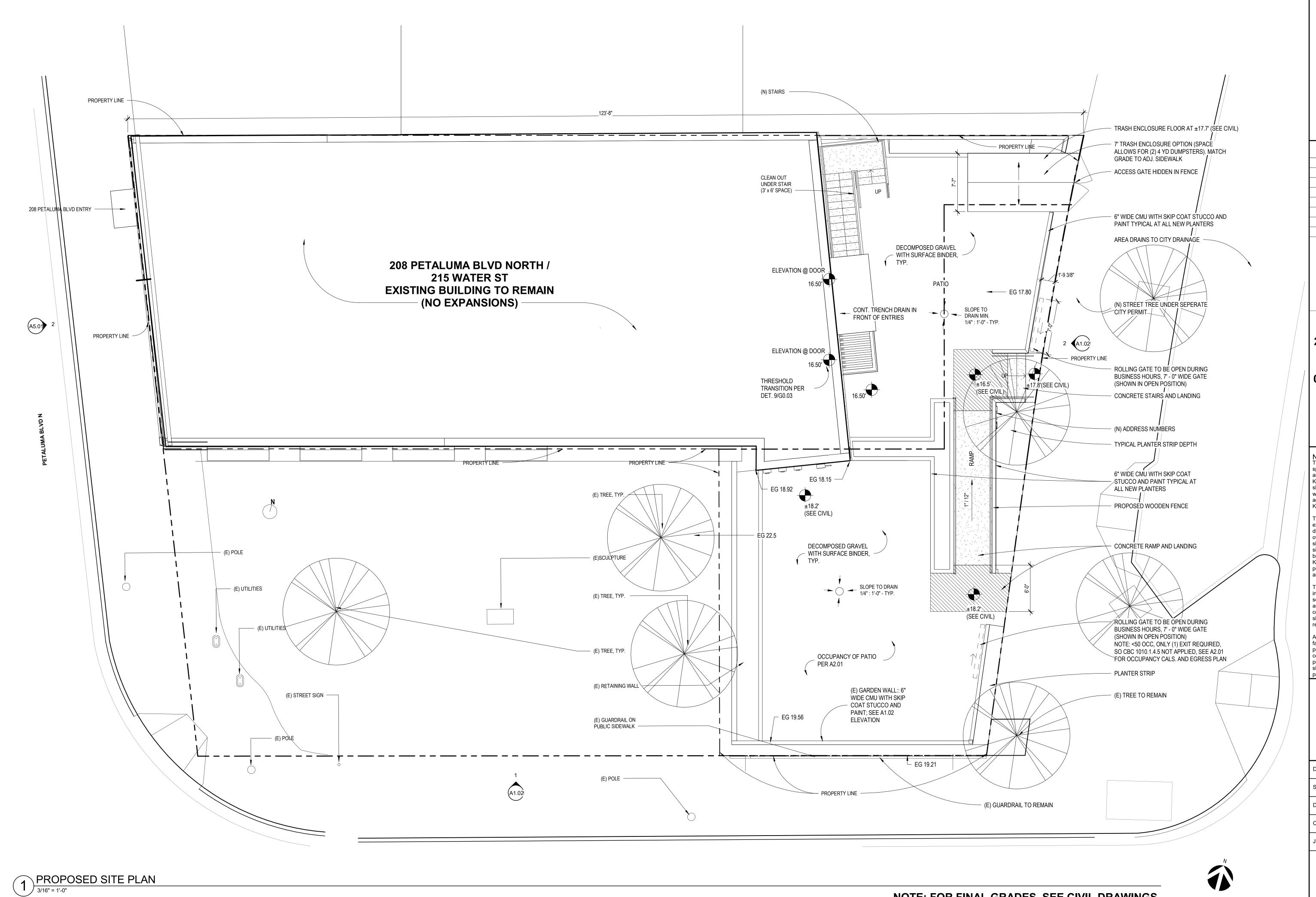
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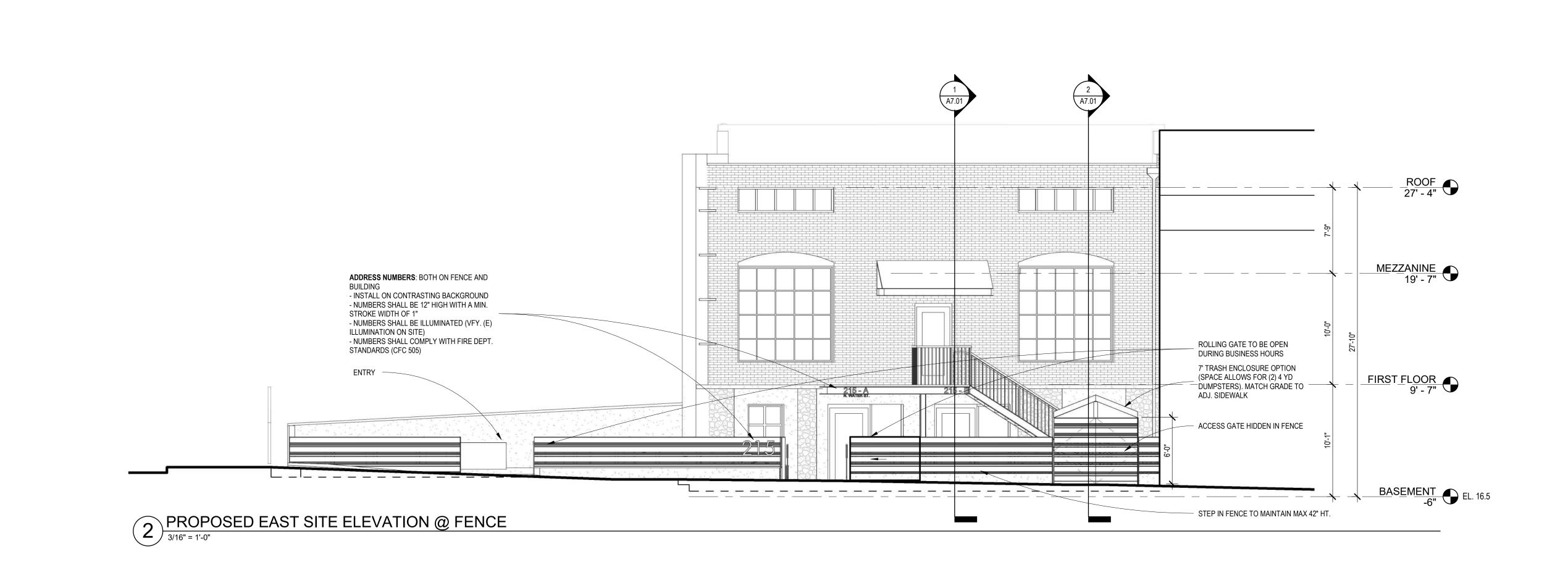
PROPOSED **REVISED SITE** PLAN

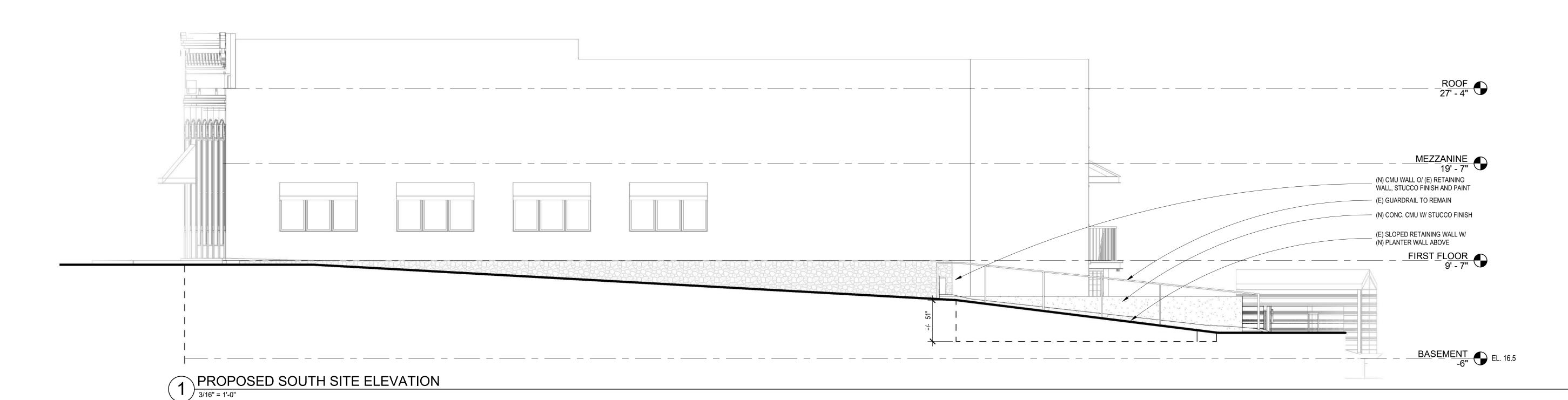
DATE 01/15/21 SCALE 3/16" = 1'-0" DRAWN BY Author

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SITE ELEVATIONS

DATE 01/15/21

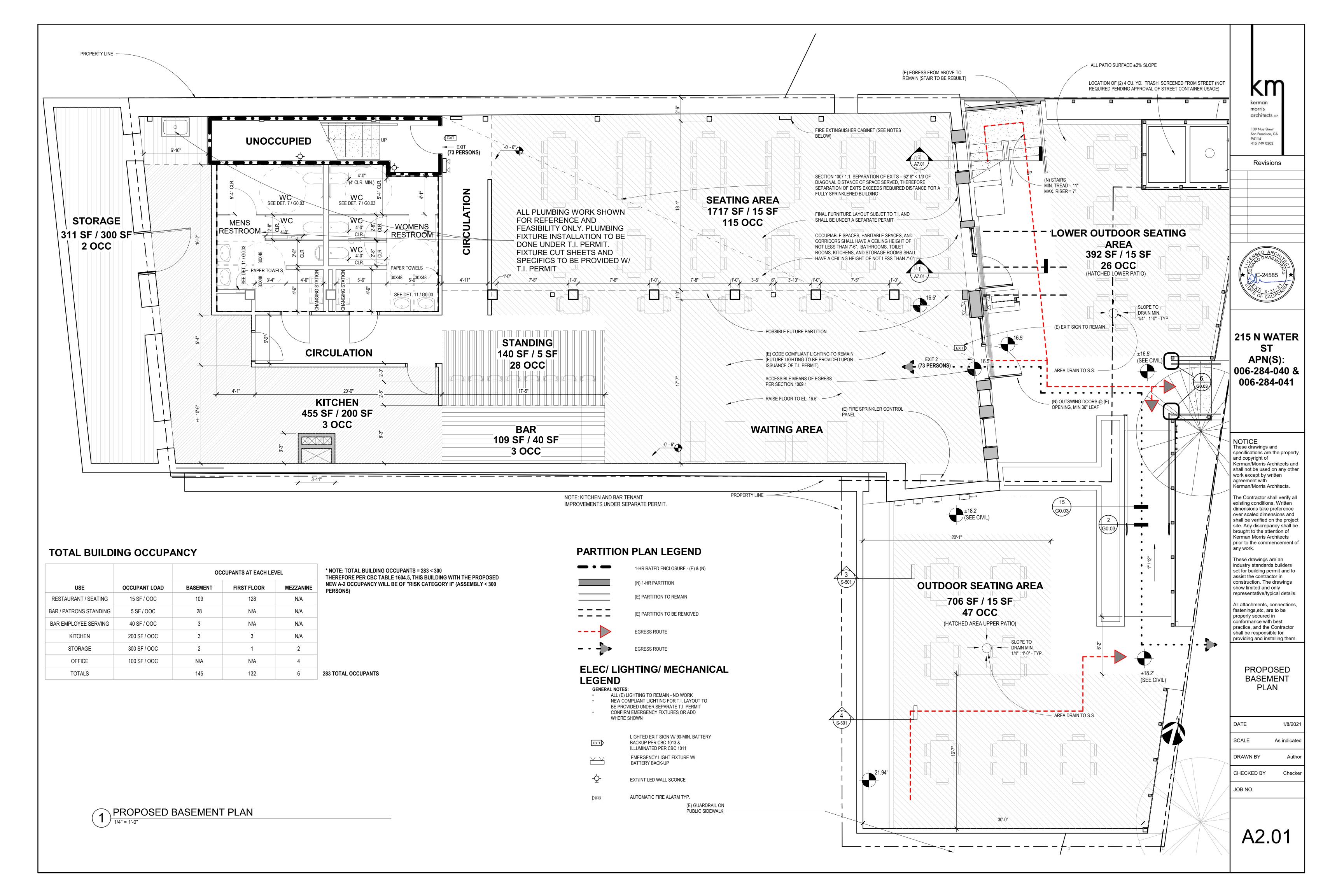
SCALE 3/16" = 1'-0"

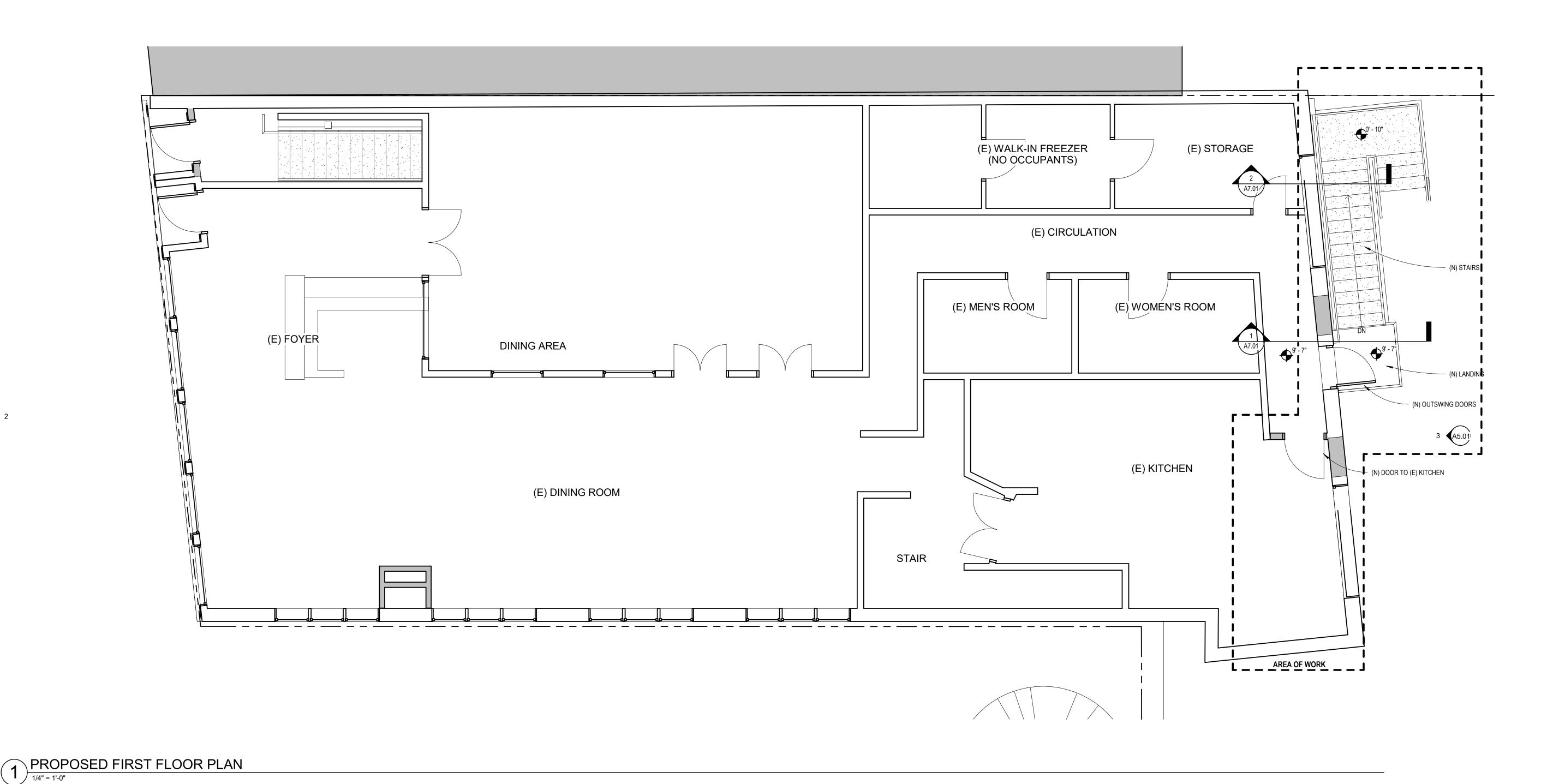
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A5.01 2

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PROPOSED FIRST FLOOR

DATE 01/15/21

SCALE 1/4" = 1'-0"

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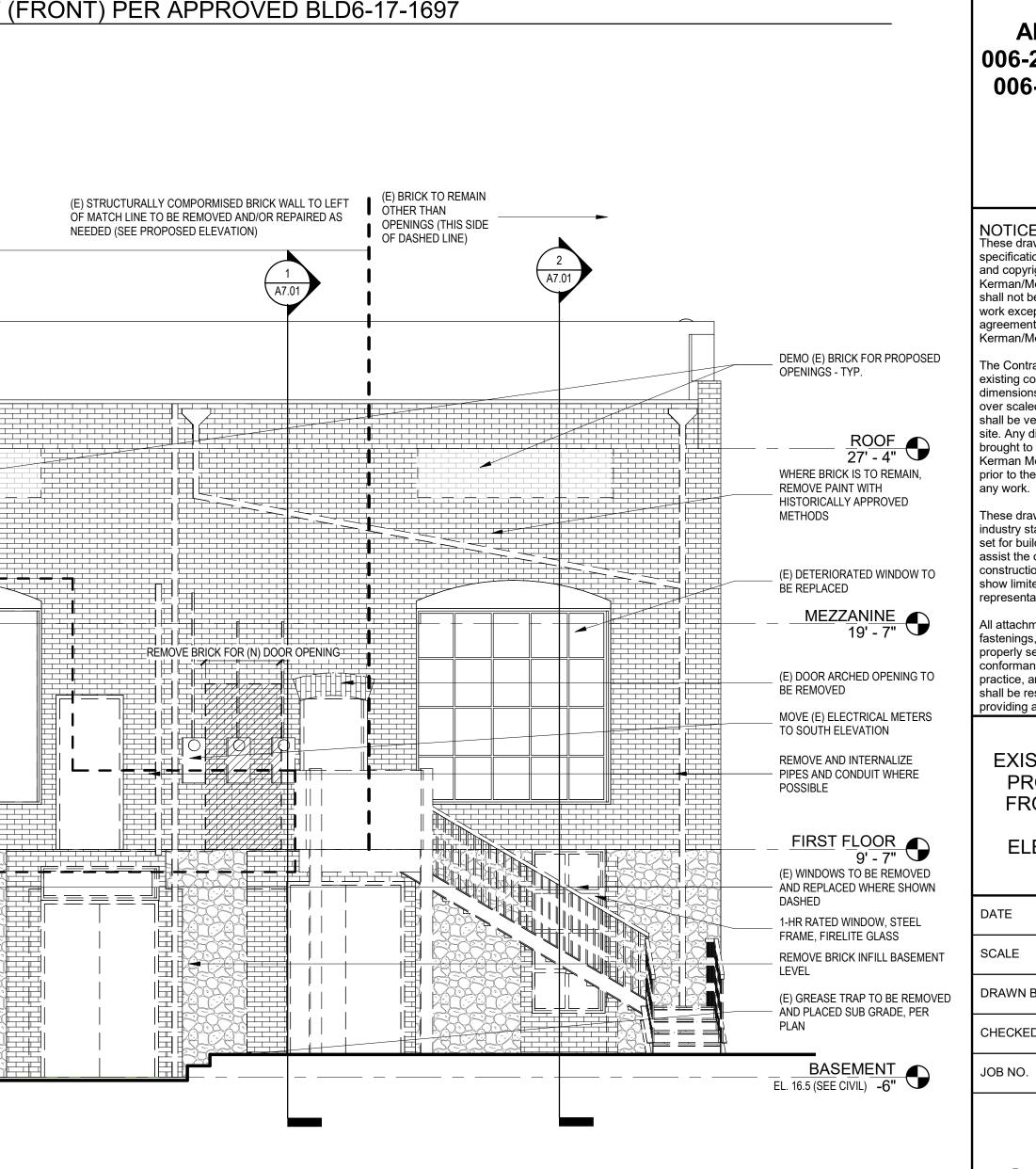
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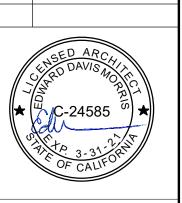
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2 ELEVATION - WEST (FRONT) PER APPROVED BLD6-17-1697



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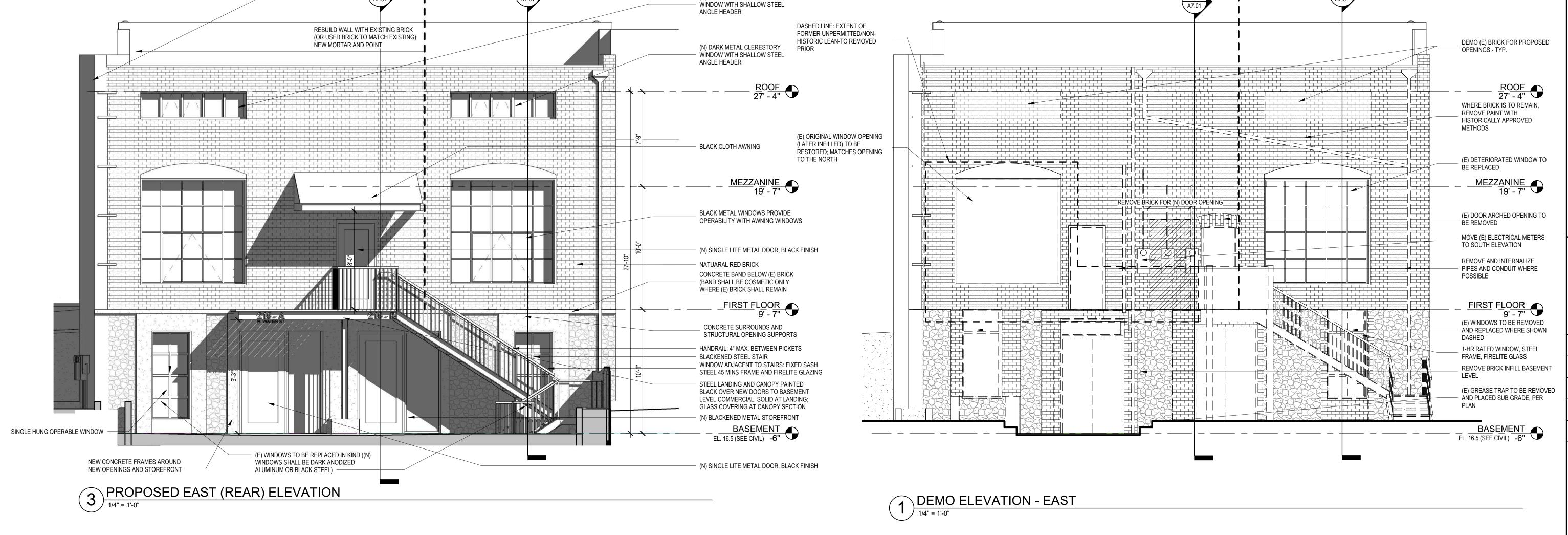
All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

**EXISTING AND** PROPOSED FRONT AND REAR **ELEVATION** 

01/15/21 SCALE 1/4" = 1'-0" DRAWN BY CHECKED BY

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A5.01



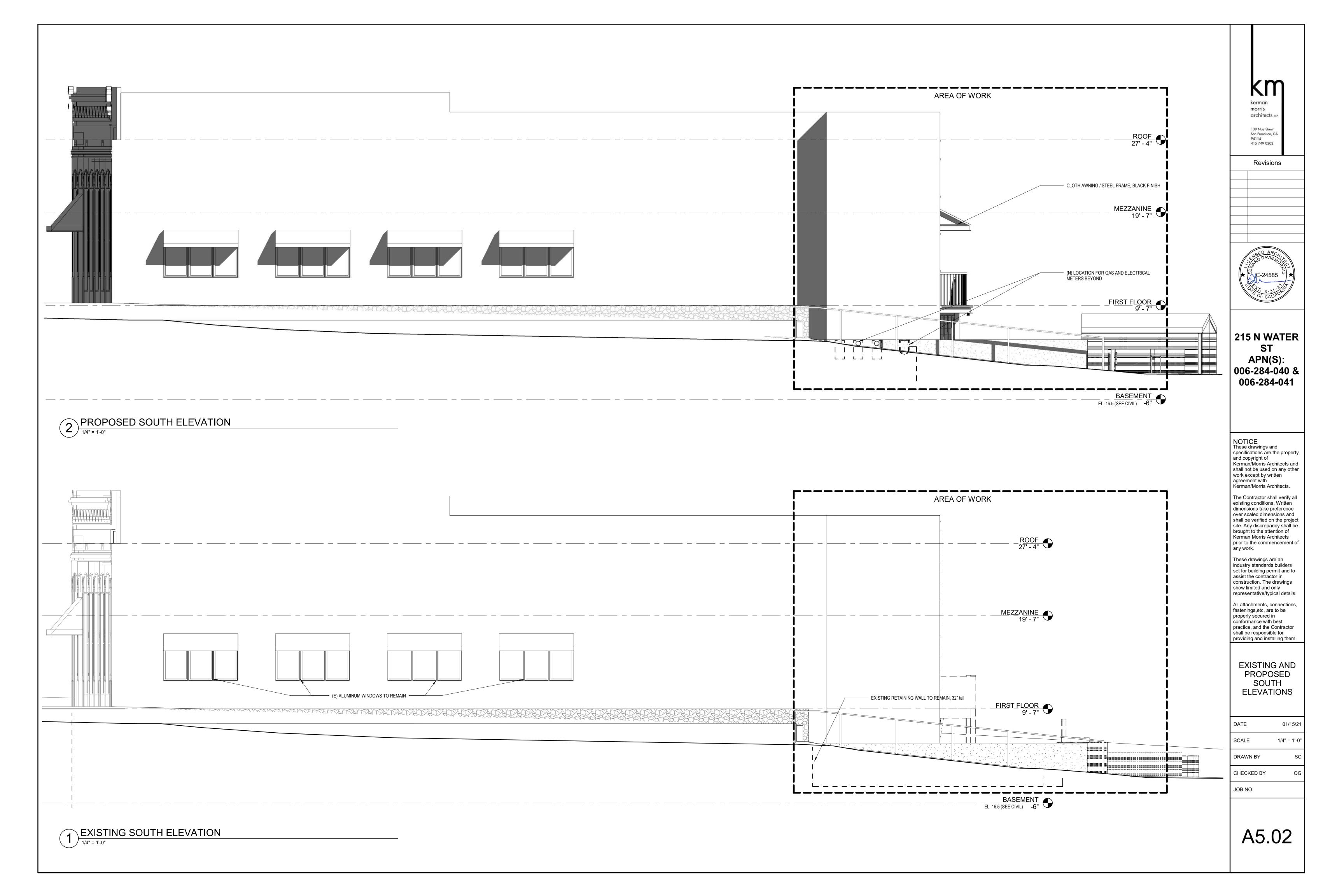
(E) PAINTED CONCRETE WALL (NO

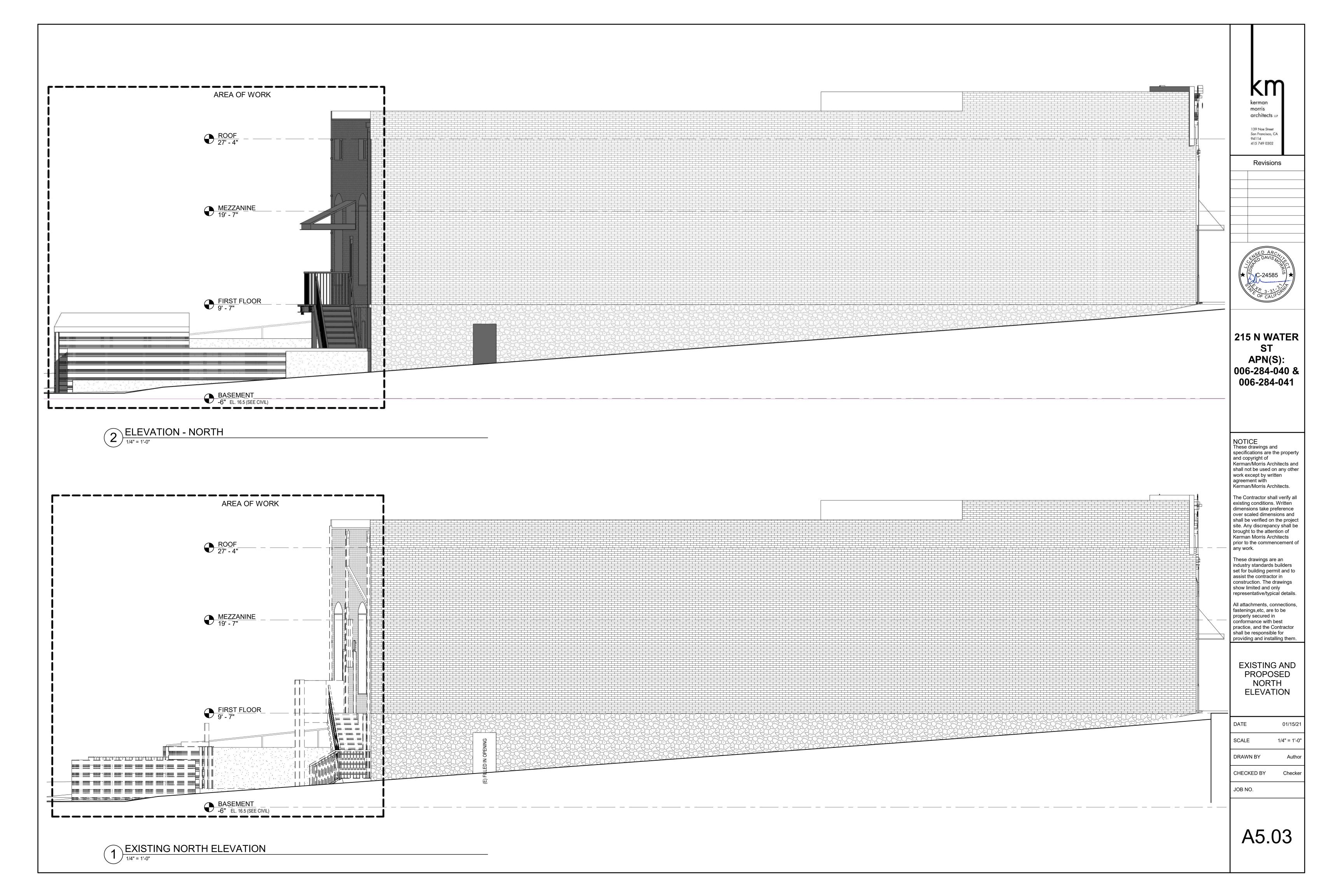
(N) DARK METAL CLERESTORY

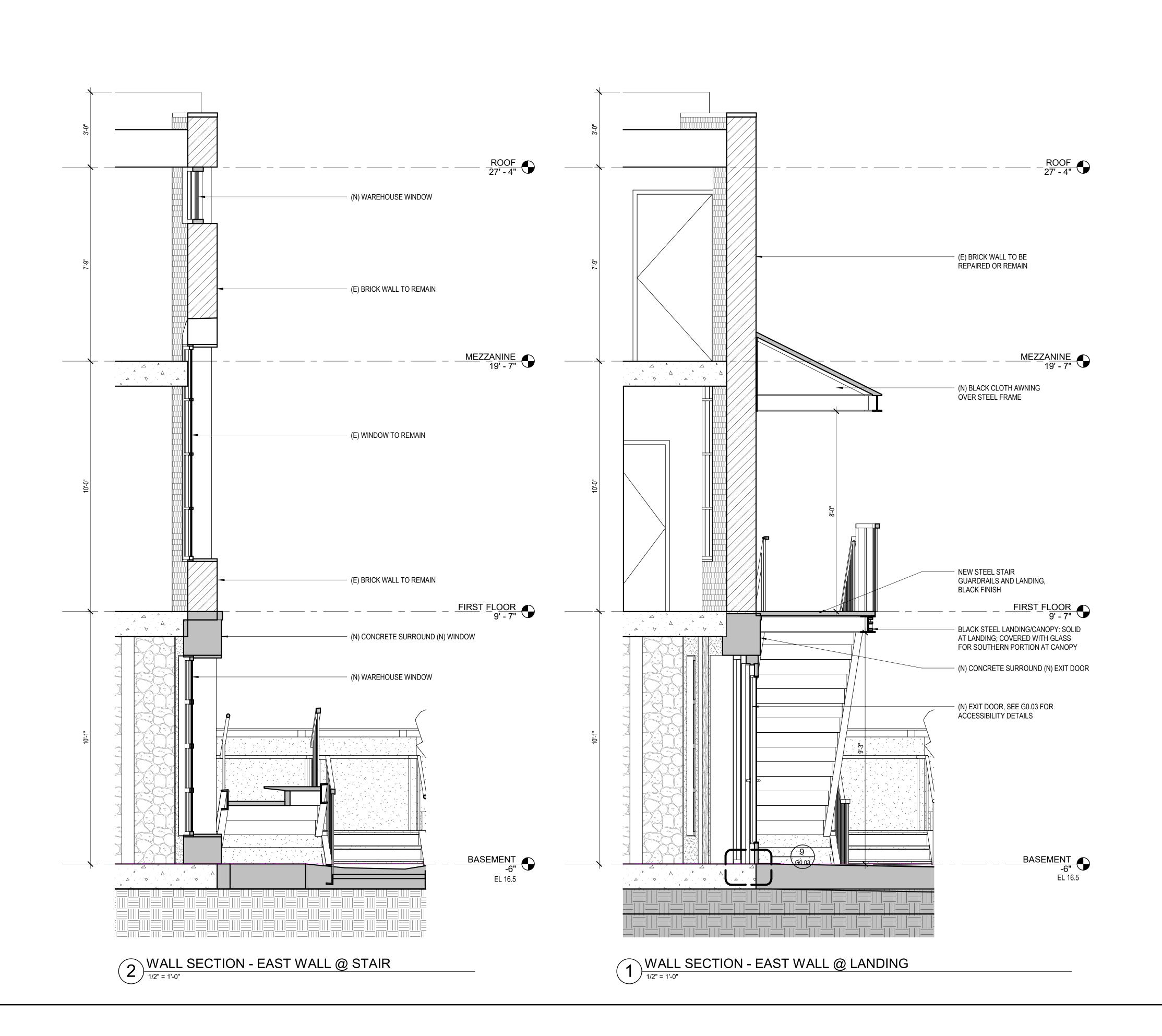
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 $\begin{pmatrix} 2 \\ A7.01 \end{pmatrix}$ 

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PROPOSED BUILDING SECTIONS

DATE 01/15/21

SCALE 1/2" = 1'-0"

DRAWN BY

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JOB NO.

A7.01

Project Name:	Water Street T.I.	NRCC-PRF-01-E	Page 1 of 11
Project Address:	215 Water St & 208 Petaluma Blvd Petaluma 94952	Calculation Date/Time:	12:51, Thu, Jan 14, 2021
Input File Name:	North Water Street T.I. (215).cibd19x		

A. GENERAL INFORMATION					
1.	Project Location (city)	Petaluma	8.	Standards Version	Compliance2019
2.	CA Zip Code	94952	9.	Compliance Software (version)	EnergyPro 8.2
3.	Climate Zone	2	10.	Weather File	NAPA-CO_724955_CZ2010.epw
4.	Total Conditioned Floor Area in Scope	8,775 ft <sup>2</sup>	11.	Building Orientation (deg)	(E) 90 deg
5.	Total Unconditioned Floor Area	0 ft <sup>2</sup>	12.	Permitted Scope of Work	ExistingAlteration
6.	Total # of Stories (Habitable Above Grade)	1	13	Building Type(s)	Nonresidential
7.	Total # of dwelling units	0	14	Gas Type	NaturalGas

B. PROJECT SUMMARY	
--------------------	--

Table Instructions: Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within

	Buildin	g Components C	omplying via Performance			Building Components Comply	ring Prescriptively
		Performance			Performance	The following building components are ONLY eligible for prescriptiv	
Envelope (see Table G)		Not Included	Covered Process: Commercial Kitchens	×	Not Included	compliance and should be documented on the NRCC form listed the scope of the permit application (i.e. compliance will not be on the NRCC-PRF-E).	
Mechanical (see Table H)		Performance	Coursed Brossess Commuter Booms		Performance	Indoor Lighting (Unconditioned)§140.6	NRCC-LTI-E
	$\boxtimes$	Not Included	Covered Process: Computer Rooms	$\boxtimes$	Not Included	Outdoor Lighting §140.7	NRCC-LTO-E
5		Performance	Covered Process: Laboratory Exhaust		Performance	Sign Lighting §140.8	NRCC -LTS-E
Domestic Hot Water (see Table I)	$\boxtimes$	Not Included		$\boxtimes$	Not Included	Mandatory Measures	
Lighting ( Indoor Conditioned, see Table K)		Performance				Electrical power systems, commissioning, sescalator requirements are mandatory and listed if applicable (i.e. compliance will not NRCC-PRF-E.)	d should on the NRCC form
	$\boxtimes$	Not Included	1			Electrical Power Distribution S110.11	NRCC-ELC-E is required
Solar Thermal Water Heating (see		Performance	1			Commissioning S120.8	NRCC-CXR-E is required
Table I)		Not Included				Solar Ready S110.10	NRCC-SRA-E is required

Project Name:	Water Street T.I.	NRCC-PRF-01-E	Page 2 of 11
Project Address:	215 Water St & 208 Petaluma Blvd Petaluma 94952	Calculation Date/Time:	12:51, Thu, Jan 14, 2021
Input File Name:	North Water Street T.I. (215).cibd19x		

### C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft 2-yr)

COM	PL	ΙE
	-5100	

COMPLIES					
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) <sup>1</sup>		
Space Heating	17.07	17.02	0.05		
Space Cooling	92.03	92.01	0.02		
Indoor Fans	151.06	150.98	0.08		
Heat Rejection	\ <del></del>	Sec	94		
Pumps & Misc.	ania.	(PA	Sal		
Domestic Hot Water	80.59	80.59	-		
Indoor Lighting	76.66	76.66	3.00		
ENERGY STANDARDS COMPLIANCE TOTAL	417.41	417.26	0.15 (0.0%)		

<sup>1</sup> Notes: The number in parenthesis following the Compliance Margin in column 4. represents the Percent Better than Standard.

### C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS1

☐ This project is pursuing CalGreen Tier 1	☐ This project is pursuing CalGreen Tier 2			
Miscellaneous Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV)1	
Receptacle	74.03	74.03	E-8	
Process	1.22	194	= <del>1</del>	
Other Ltg				
Process Motors	lists.	G <sub>75</sub>	5 <del>-10</del>	
COMPLIANCE TOTAL PLUS MISCELLANEOUS COMPONENTS	491.44	491.29	0.1 (0.0%)	
<sup>1</sup> Notes: This table is used to document compliance with programs	OTHER THAN Title 24 Part 6, if applicable.	in the second se		

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### C3. ENERGY USE SUMMARY

<b>Energy Component</b>	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)
Space Heating	(55)		777	74.6	74.4	0.2
Space Cooling	14.1	14.1	0.0	<del>11</del> 0		9**
Indoor Fans	42.0	42.0	0.0	<b>8</b>		
Heat Rejection	**	*	**)	<b>a</b>	-	**
Pumps & Misc.	.**	=	<del></del>	HA:		ien.
Domestic Hot Water	742	HR. I	227	393.7	393.7	0.0
Indoor Lighting	22.9	22.9	0.0	201		
Compliance Total	79.0	79.0	0.0	468.3	468.1	0.2
Receptacle	22.2	22.2	0.0	H-1	**	-
Process		÷		<u> </u>		
Other Ltg		#	*	-		- 100
Process Motors	1700	**		<del></del>	1+81	(75)
TOTAL	101.2	101.2	0.0	468.3	468.1	0.2

### C4. UNMET LOAD HOURS

This Section Does Not Apply

### D. EXCEPTIONAL CONDITIONS

The building does not include service water heating. Verify that service water heating is not required and is not included in the design. The proposed building includes space(s) that are modeled with unknown HVAC system(s). Verify that the spaces modeled with unknown HVAC system(s) are either part of core and shell analysis

### E. HERS VERIFICATION

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below.

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which will be permitted for mechanical compliance in the future, or the spaces have an existing HVAC system not modeled for compliance, or the compliance scope does not include mechanical.

### F. ADDITIONAL REMARKS

This Section Does Not Apply

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### G1. ENVELOPE GENERAL INFORMATION (conditioned spaces only)

1	2	3	4
Opaque Surfaces & Orientation	Total Gross Surface Area (ft²)	Total Fenestration Area (ft²)	Window to Wall Ratio (%)
North-Facing <sup>1</sup>	3,489 ft <sup>2</sup>	348 ft <sup>2</sup>	10.0
East-Facing <sup>2</sup>	0 ft <sup>2</sup>	0 ft²	00.0
South-Facing <sup>3</sup>	3,489 ft <sup>2</sup>	510 ft <sup>2</sup>	14.6
West-Facing <sup>4</sup>	0 ft <sup>2</sup>	0 ft²	00.0
Total	6,978 ft <sup>2</sup>	858 ft²	12.3
Roof	4,012 ft <sup>2</sup>	O ft <sup>2</sup>	00.00

<sup>1</sup> North-Facing is oriented to within 45 degrees of true north, including 45°00'00" east of north (NE), but excluding 45°00'00" west of north (NW). <sup>2</sup> East-Facing is oriented to within 45 degrees of true east, including 45°00'00" south of east (SE), but excluding 45°00'00" north of east (NE). <sup>3</sup> South-Facing is oriented to within 45 degrees of true south, including 45°00'00" west of south (SW), but excluding 45°00'00" east of south (SE). 4 West-Facing is oriented to within 45 degrees of true west, including 45°00'00" north of due west (NW), but excluding 45°00'00" south of west (SW).

### **G2. CRRC ROOFING PRODUCT SUMMARY**

This Section Does Not Apply

1	2	3	4	5	6	7	8	9
Surface Name	Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	U-Factor / F-Factor / C-Factor	Status <sup>1</sup>	Description of Assembly Layers
5 Brick Wall6	ExteriorWall	6978	NA	0	NA	U-Factor: 0.306	E	Brick - 48 lb/ft3 - 3 5/8 in.
R-11 Roof No Attic15	Roof	4012	Wood	11	NA	U-Factor: 0.078	E	Asphalt shingles - 1/4 in. Vapor permeable felt - 1/8 in. Plywood - 1/2 in. Air - Cavity - Wall Roof Ceiling - 4 in. or more Wood framed roof, 16in. OC, 3.5in., R-11 Gypsum Board - 1/2 in.
Slab On Grade17	UndergroundFloor	4012	NA	0	NA	F-Factor: 0.730	E	Slab Type = UnheatedSlabOnGrade Insulation Orientation = None Insulation R-Value = R0

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### G3. OPAQUE SURFACE ASSEMBLY SUMMARY

1	2	3	4	5	6	7	8	9
Surface Name	Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	U-Factor / F-Factor / C-Factor	Status <sup>1</sup>	Description of Assembly Layers
R-0 Floor No Crawlspace39	InteriorFloor	4763	NA	O	NA	U-Factor: 0.183	E	Air - Cavity - Wall Roof Ceiling - 4 in. o more Plywood - 1/2 in. Carpet - 3/4 in.

### 1 Status: N - New, A - Altered, E - Existing

G4. OPAQUE DOOR SUMMARY		
1	2	3
Assembly Name	Overall U-factor	Status <sup>1</sup>
Wood Door21	0.500	A

### GE EENIECTDATION ACCEMBLY CHIMANADY

1	2	3	4	5	6	7	8	9
Fenestration Assembly Name / Tag or I.D.	Fenestration Type / Product Type / Frame Type	Certification Method <sup>1</sup>	Assembly Method	Area ft <sup>2</sup>	Overall U-factor	Overall SHGC	Overall VT	Status*
Double Non Metal Clear 0.47	VerticalFenestration FixedWindow N/A	NFRC Rated	SiteBuilt	348	0.47	0.31	0.50	А
Single Metal Clear	VerticalFenestration FixedWindow MetalFraming	Default Performance	SiteBuilt	510	1.19	0.83	0.77	E

1 Newly installed fenestration shall have a certified NFRC Label Certificate or use the CEC default tables found in Table 110.6-A and Table 110.6-B. Center of Glass (COG) values are for the glass-only, determined by the manufacturer, and are shown for ease of verification. Site-built fenestration values are calculated per Nonresidential Appendix NA6 and are used in the analysis.

### G6. OVER

<sup>2</sup> Status: N - New, A - Altered, E - Existing

G6. OVERHANG DETAILS	
This Section Does Not Apply	

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### **G7. FIN DETAILS**

This Section Does Not Apply

### H. HVAC SYSTEM SUMMARY This Section Does Not Apply

### I. DOMESTIC/SERVICE HOT WATER SYSTEM SUMMARY

1.	DHW	<b>EQUIPMENT SUMMARY</b>	
_			-

This Section Does Not Apply

### 12. MULTI-FAMILY CENTRAL DHW SYSTEM DETAILS This Section Does Not Apply

13. SOLAR HOT WATER HEATING SUMMARY

### J. COVERED PROCESS SUMMARY

This Section Does Not Apply

This Section Does Not Apply

### K. INDOOR LIGHTING SUMMARY

This Section Does Not Apply

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### L. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Installation must be submitted for the features to be recognized for compliance. These documents bust be retained and provided to the building inspector during construction and can be found online at: https://www.energy.ca.gov/title24/2019standards/2019\_compliance\_documents/Nonresidential\_Documents/NRCI/

Building Component	YES	ES NO Form/Title		Inspe	
SUPPLICATION IS SENTENCED OF THE SENTENCED SEN			A CONTROL OF CONTROL O		Fail
Envelope			NRCI-ENV-01-E - Must be submitted for all buildings		
Mechanical		$\boxtimes$	NRCI-MCH-01-E - Must be submitted for all buildings		
		$\boxtimes$	NRCI-PLB-01-E - Must be submitted for all buildings		
			NRCI-PLB-02-E - Must be submitted for high-rise residential and hotel/ motel central hot water distribution systems to be recognized for compliance		
Plumbing		×	NRCI-PLB-03-E - Must be submitted for high-rise residential and hotel/motel single dwelling unit hot water system distribution systems to be recognized for compliance		
		$\boxtimes$	NRCI-PLB-21-E - Must be HERS verified for central systems in high-rise residential hotel/ motel application		
			NRCI-PLB-22-E - Must be HERS verified for single dwelling unit systems in high-rise residential, hotel/motel application		
		$\boxtimes$	NRCI-STH-01-E - Must be submitted for solar hot water heating systems		
		$\boxtimes$	NRCI-LTI-01-E - Must be submitted for all buildings		
		×	NRCI-LTI-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS) to be recognized for compliance		
Indoor Lighting		×	NRCI-LTI-04-E - Must be submitted for two interlocked systems serving an auditorium, a convention center, a conference room, a multipurpose room, or a theater to be recognized for compliance		
		$\boxtimes$	NRCI-LTI-05-E - Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance		
		⊠	NRCI-LTI-06-E - Must be submitted for additional wattage installed in a video conferencing studio to be recognized for compliance		
Covered Process		$\boxtimes$	NRCI-PRC-01-E - Must be submitted for all Covered Processes		

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### M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit:https://www.energy.ca.gov/title24/2019standards/2019\_compliance\_documents/Nonresidential\_Documents/NRCA/

Building Component	Building Component YES NO Form/Title		Fie Inspe		
504(504(1910 <del>55</del> 8) 235(10 <sup>3</sup> 2) 247(12)	110000	5648506	)	Pass	Fail
- 1			NRCA-ENV-02-F - NRFC label verification for fenestration		
Envelope			NRCA-ENV-03-F - Daylighting Design PAFs		
		$\boxtimes$	NRCA-LTI-02-A - Occupancy Sensors and Automatic Time Switch Controls		
Indeed Caldina			NRCA-LTI-03-A - Automatic Daylight Controls		
Indoor Lighting		$\boxtimes$	NRCA-LTI-04-A - Demand Responsive Lighting Controls		
			NRCA-LTI-05-A - Institutional Tuning Power Adjustment Factor (PAF)		
			NRCA-PRC-02-F - Kitchen Exhaust		
		$\boxtimes$	NRCA-PRC-03-F - Garage Exhaust		
Covered Process		$\boxtimes$	NRCA-PRC-12-F – Elevator Lighting and Ventilation Controls		
Covered Process		$\boxtimes$	NRCA-PRC-13-F –Escalator and Moving Walkways Speed Control		
		$\boxtimes$	NRCA-PRC-14-F – Lab Exhaust Ventilation System		
			NRCA-PRC-15-F - Fume Hood Automatic Sash Closures System		

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### M. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

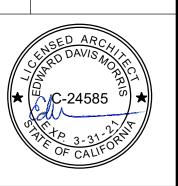
Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Acceptance must be submitted for the features to be recognized for compliance. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit:https://www.energy.ca.gov/title24/2019standards/2019\_compliance\_documents/Nonresidential\_Documents/NRCA/

<b>Building Component</b>	YES	YES NO Form/Title		Inspec	
	Marie Control	8000000	A Teledarian et viga attorno	Pass	Fail
			NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HVAC units. Note; MCH02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap	П	С
		$\boxtimes$	NRCA-MCH-03-A Constant Volume Single Zone HVAC		
		$\boxtimes$	NRCA-MCH-04(a)-H Air Distribution Duct Leakage - HERS Verification required		
			NRCA-MCH-04(b)-A Air Distribution Duct Leakage - ATT only		
		$\boxtimes$	NRCA-MCH-05-A Air Economizer Controls		
			NRCA-MCH-06-A Demand Control Ventilation Systems Acceptance must be submitted for all systems required to employ demand controlled ventilation (refer to §120.1(c)3) can vary outside ventilation flow rates based on maintaining interior carbon dioxide (CO2) concentration setpoints		
			NRCA-MCH-07-A Supply Fan Variable Flow Controls		
The state of the s		$\boxtimes$	NRCA-MCH-08-A Valve Leakage Test		E
Mechanical		$\boxtimes$	NRCA-MCH-09-A Supply Water Temperature Reset Controls		
		$\boxtimes$	NRCA-MCH-10-A Hydronic System Variable Flow Controls		
		$\boxtimes$	NRCA-MCH-11-A Automatic Demand Shed Controls		
			NRCA-MCH-12-A FDD for Packaged Direct Expansion Units		
			NRCA-MCH-13-A Automatic FDD for Air Handling Units and Zone Terminal Units Acceptance		
		$\boxtimes$	NRCA-MCH-14-A Distributed Energy Storage DX AC Systems Acceptance		
		$\boxtimes$	NRCA-MCH-15-A Thermal Energy Storage (TES) System Acceptance		
			NRCA-MCH-16-A Supply Air Temperature Reset Controls		
		$\boxtimes$	NRCA-MCH-17-A Condenser Water Temperature Reset Controls		
		$\boxtimes$	NRCA-MCH-18 Energy Management Control Systems		
		$\boxtimes$	NRCA-MCH-19 Occupancy Sensor Controls		

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415 749 0302

Revisions



**215 N WATER** ST 006-284-04

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These drawings are an industry standards builders set for building permit and to assist the contractor in construction. The drawings show limited and only representative/typical details.

All attachments, connections, fastenings,etc, are to be properly secured in conformance with best practice, and the Contractor shall be responsible for providing and installing them.

> TITLE-24 **ENERGY** REPORT

DATE 01/14/21 SCALE

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JOB NO.

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<b>Building Component</b>	YES NO	NO	Form/Title		Field Inspector	
	ewe	20000000	0.195.04194.0411034.03849	Pass	Fail	
		$\boxtimes$	NRCV-MCH-04-H Duct Leakage Test			
Madagatas		$\boxtimes$	NRCV-MCH-24-H Enclosure Air Leakage			
Mechanical		$\boxtimes$	NRCV-MCH-27 Indoor Air Quality & Mechanical Ventilation			
		$\boxtimes$	NRCV-MCH-32-H Local Mechanical Exhaust			
Diverbine		$\boxtimes$	NRCV-PLB-21-H - HERS verified central systems in high-rise residential, hotel/motel application			
Plumbing		$\boxtimes$	NRCV-PLB-22-H - HERS verified single dwelling unit systems in high-rise residential, hotel/motel application			

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Input File Name:	North Water Street T.I. (215).cibd19x							
	AUTHOR'S DECLARATION STATEMENT ate of Compliance documentation is accurate and complete.			CABEC California Association of Building Energy Consultants				
Documentation Author	or Name: Timothy Carstairs, CEA, HERS, GPR	Cionati	1.1	CERTIFIED ENERGY ANALYST Timothy Caretairs				
Company: Carstairs E	nergy Inc.	Signatt	Signature:					
Address: 2238 Bayvie	w Heights Drive, Suite E	Signatu	re Date: 2021-01-14	10				
City/State/Zip: Los Os	sos CA 93402	CEA/ H	ERS Certification Identifica	tion (if applicable): R16-06-10042				
Phone: (805) 904-904	18							
RESPONSIBLE PERS	ON'S DECLARATION STATEMENT	W		**************************************				
plans and specification 5. I will ensure that a co inspections. I understan	s submitted to the enforcement agency for approval with this building ompleted signed copy of this Certificate of Compliance shall be made and that a completed signed copy of this Certificate of Compliance is respectively.  Designer Name: Edward "Toby" Morris	g permit application. available with the build	ing permit(s) issued for the bu with the documentation the bu	on other applicable compliance documents, worksheets, calculations, illding, and made available to the enforcement agency for all applicable illder provides to the building owner at occupancy.				
Address: 139 Noe St		Date Signed: 01/14/2021						
City/State/Zip: San Fr		Date 3	gried: 01/14/2021	Œ				
Phone: (415) 749-030	en de company de la company La company de la company d	Title: /	Architect	License #: C-24585				
Responsible Lighting	Designer Name:							
Company:		Signati	Signature: NOT IN SCOPE					
Address:		Date Si	Date Signed:					
City/State/Zip:				15 15 15 15 15 15 15 15 15 15 15 15 15 1				
Phone:		Title:		License #:				
Responsible Mechani	cal Designer Name: - specify -		NOT IN CCCC	*				
Company:		Signati	ire: NOT IN SCOPE					
Address:		Date Si	Date Signed:					
City/State/Zip:								
Phone:		Title:		License #:				

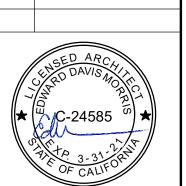
CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

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215 N WATER ST APN(S): 006-284-040 & 006-284-041

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TITLE-24 ENERGY REPORT

DATE 01/14/21

SCALE

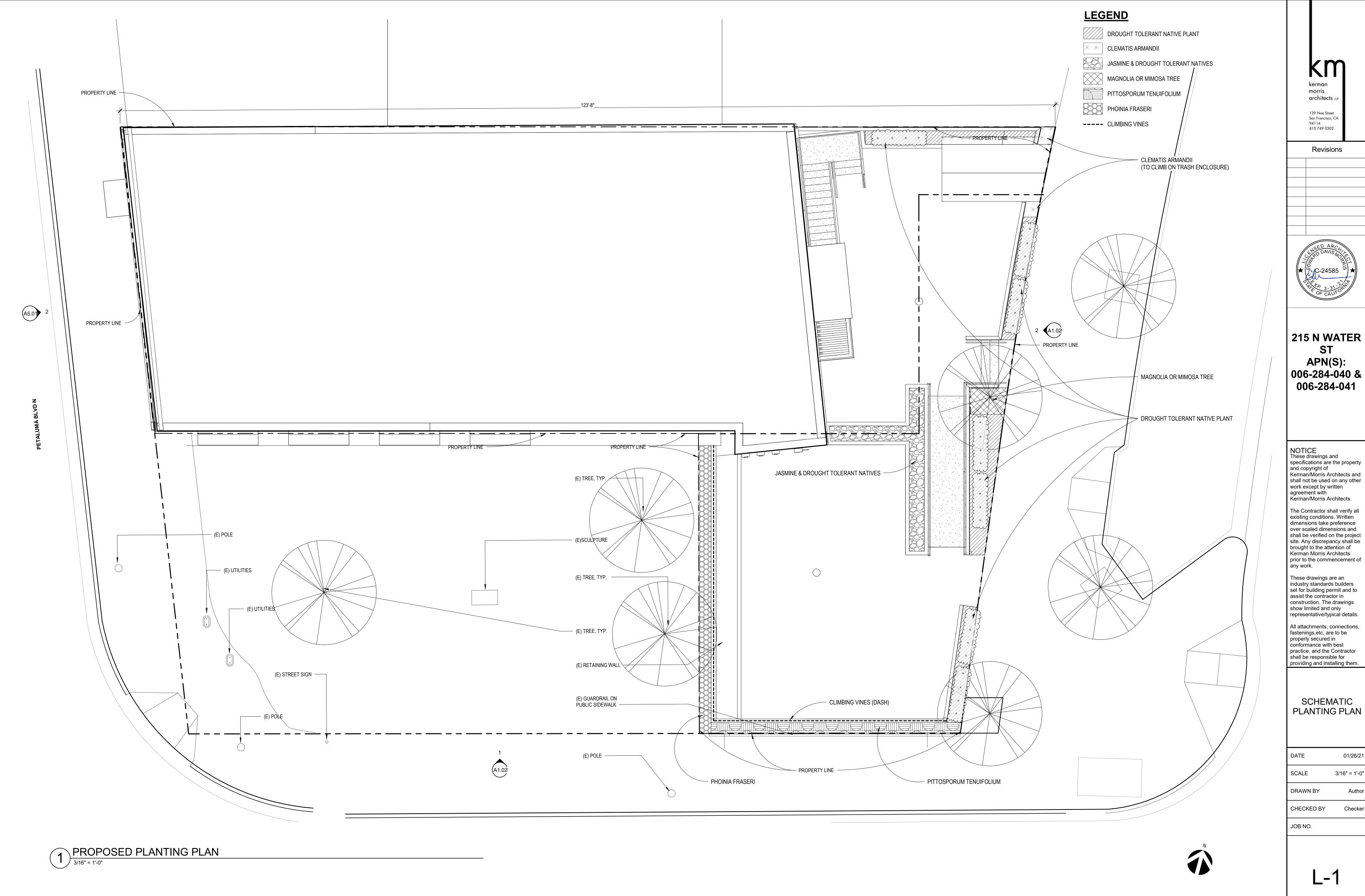
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T24-02



shall be verified on the project site. Any discrepancy shall be prior to the commencement of

3/16" = 1'-0" Author