

SPAR APPLICATION APRIL 4th, 2022

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SPAR-A17	ARCHITECTURAL - REFLECTED CEILING PLAN - ROOFTOP LEVEL	04 APRIL 2022
Stand 1088: 23		

PROJECT INFORMATION	
PROJECT ADDRESS:	2 PETALUMA BLVD NORTH PETALUMA, CALIFORNIA
OCCUPANCY TYPE:	A-2 RESTAURANTS R-1 HOTEL GUESTROOMS S-2 PARKING
APN:	
CONSTRUCTION TYPE:	1A
NUMBER OF STORIES:	FIVE STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE.
BUILDING HEIGHT ABOVE GRADE:	55' 5" (TOP OF ROOF PAVER)
PROJECT AREA:	BASEMENT 8,962 (13,095 w/ PARKING) L1 12,233 L2 12,095 L3 12,095 L4 12,095 L5 11,478 L6 (ROOF) 3,729 TOTAL 68,140
SITE AREA:	14,266.54 SF
FAR:	4.78



HOTEL WEAVER

2 Petaluma Blvd South
Petaluma, California



Page Southernland Page, Inc.
414 Jackson Street, 4th Floor
San Francisco, CA 94111
pagethink.com

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ARCHITECTURE / ENGINEERING / INTERIORS / PLANNING / CONSULTING
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**STRUCTURAL
BUEHLER**
444 Flower St 3800
Los Angeles, CA
90071
323 536 2362

**MEP
INTERACE ENGINEERING**
601 South Figueroa St
Suite 2750
Los Angeles, CA 90017
213 694 3408

**LANDSCAPE
BRIGHTVIEW**
8 Hughes
Ste. 150
Irvine, CA, 4900
949 238 4900

**CIVIL
N CONSULTENG**
4 Park Plz
Irvine, CA
92614
949 396 1161

**FF&E
DH-COMPANIES**
7591 Coppermine Drive
Manassas, VA
20109
703 520 1885

**INTERIOR
SIXTEEN-FIFTY**
7509 Girard Ave.
La Jolla, CA
92037
858 454 6909

FOR REVIEW ONLY

INTERIM REVIEW
THIS DOCUMENT IS RELEASED FOR THE
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MEP INTERFACED ENGINEERING BRIGHTVIEW DESIGN GROUP
601 South Figueroa Street
Suite 2750
Los Angeles CA 90017
323.536.2362

STRUCTURE BUEHLER ENGINEERING DH-COMPANIES
5 Third Street
Suite 1125
San Francisco, CA 94103
213.694.3408

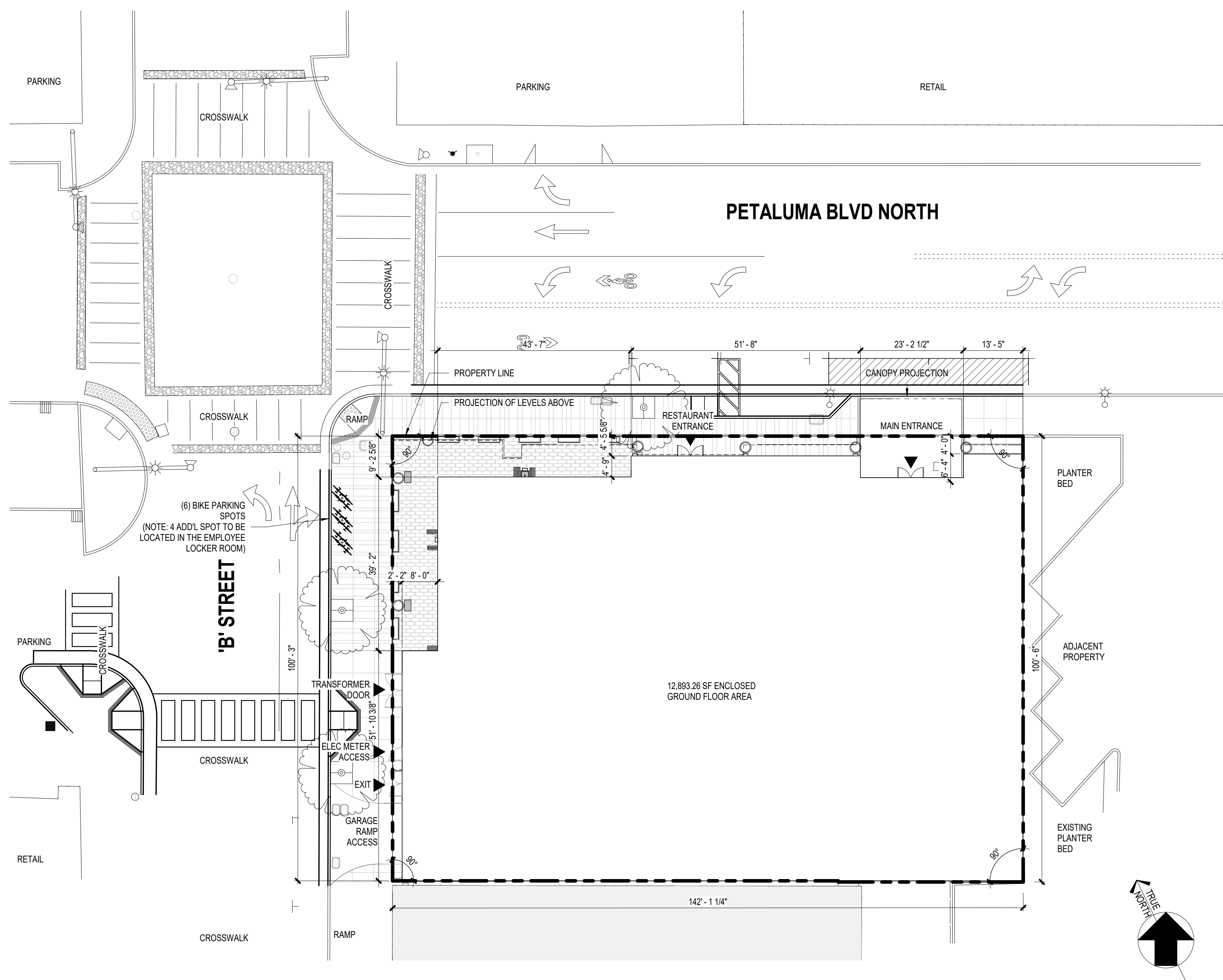
INTERIORS SIXTEEN FIFTY
7509 Girard Ave
La Jolla, CA
92037
858.454.6909

LANDSCAPE BRIGHTVIEW DESIGN GROUP
1645 Grant Street
Denver, Colorado 80203
Address Line 3
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Manassas, VA 20109
San Francisco, CA 94103
213.694.3408

CIVIL N CONSULTING ENGINEERS
4 Park Plz
Irvine, CA
92614
949.399.1161

EKN Petaluma LLC
HOTEL WEAVER
2 Petaluma Blvd South
Petaluma, California



SPEC SHEET PARKPLUS DP003 DOUBLE STACKER

The PARKPLUS DP003 Double Stacker is a patented, innovative parking system designed to maximize parking efficiency in urban environments. It features a compact footprint, easy installation, and a long service life.

Specifications:

- Overall Height: 10'-0"
- Overall Width: 8'-0"
- Overall Depth: 12'-0"
- Clearance: 7'-0"
- Weight Capacity: 4,000 lbs

Additional Information:

- Safety:** Complies with all applicable safety codes and standards.
- Fire Protection:** Constructed with fire-rated materials.
- Electrical:** Includes integrated lighting and power outlets.
- Applications:** Ideal for multi-story buildings, parking garages, and urban lots.

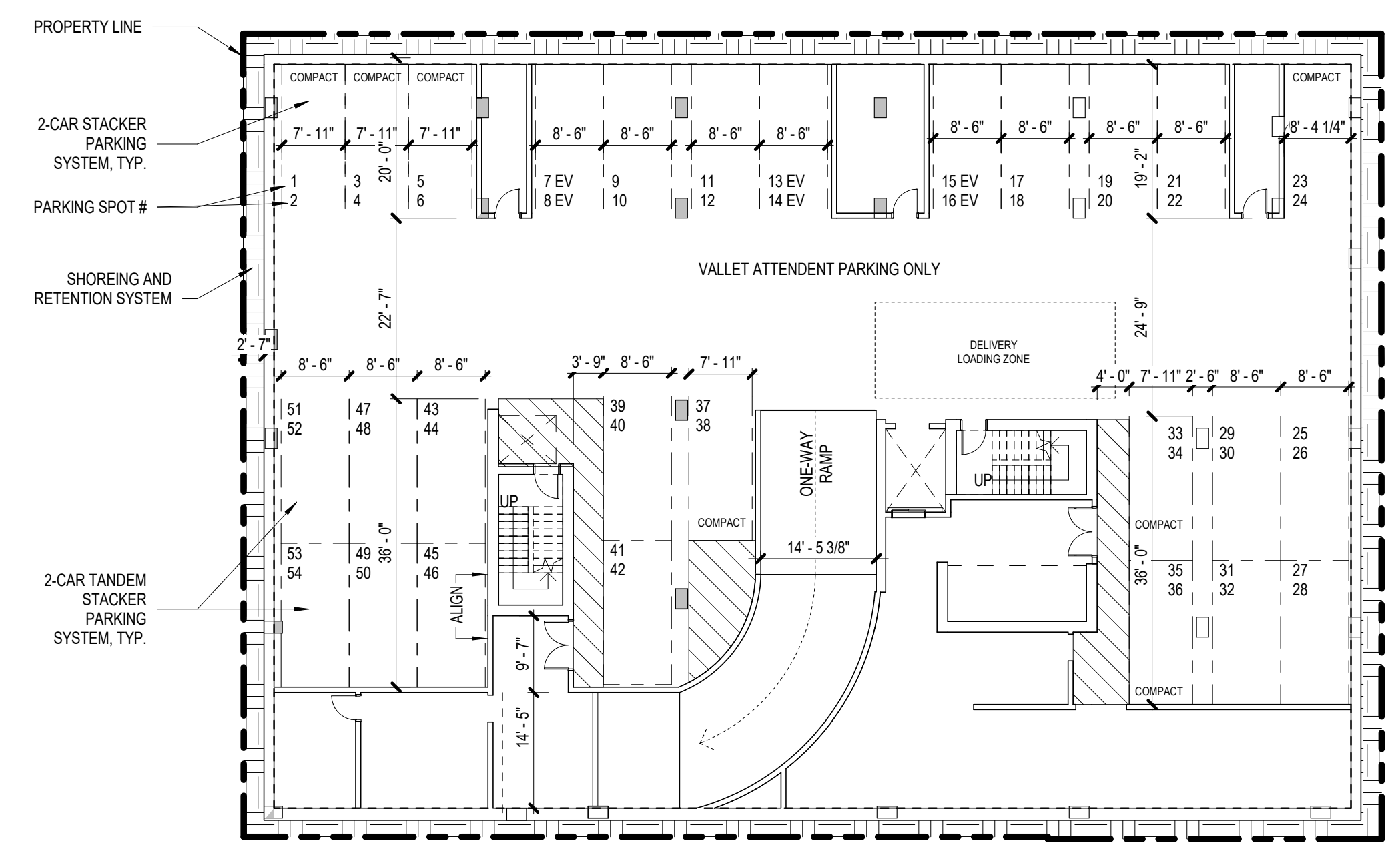
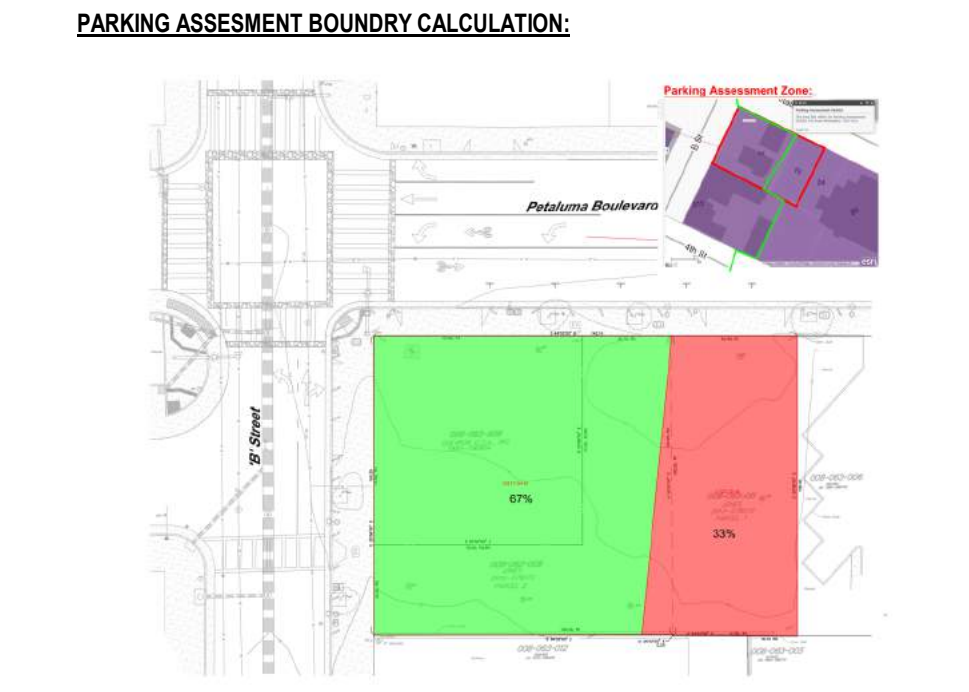
8-444-PARKPLUS

PARKING TABULATIONS:

Shared facility per 11.065(c) and per parking assessment district ratio reduction

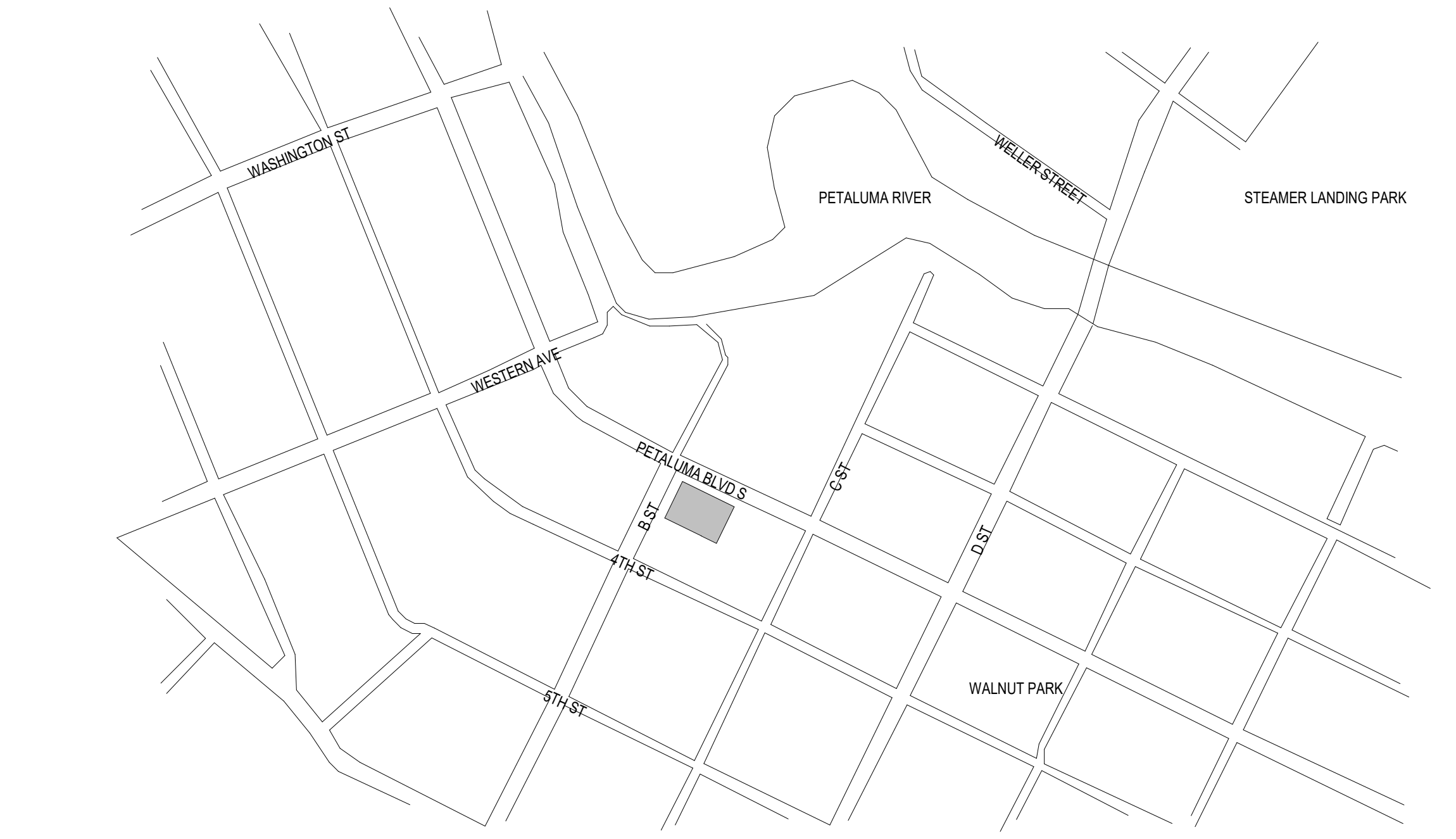
Restaurant 120 seats = (120/2.5) = 48 spaces
Guest room 93 keys + 1 manager = 94 spaces
Roof-top Bar 56 seats = (20/2.5) = 8 spaces
Event Space 1200 sf = (1200/60) = 21 spaces

Total = 211 spaces * 33% (site ratio) = 70 spaces * 75% per 11.065 (C) shared facility = **53 spaces required**
54 spaces provided (14 compact)



2 ARCHITECTURAL - SITE
SCALE: 1/16" = 1'-0"

1 UNDERGROUND PARKING PLAN
SCALE: 1/16" = 1'-0"



4 SITE - AERIAL CONTEXT MAP
NOT TO SCALE



3 SITE - PHOTOS
SCALE: 1" = 160'-0"

5 VICINITY MAP
SCALE: 1" = 300'-0"

REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	

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ARCHITECTURAL - SITE PLAN

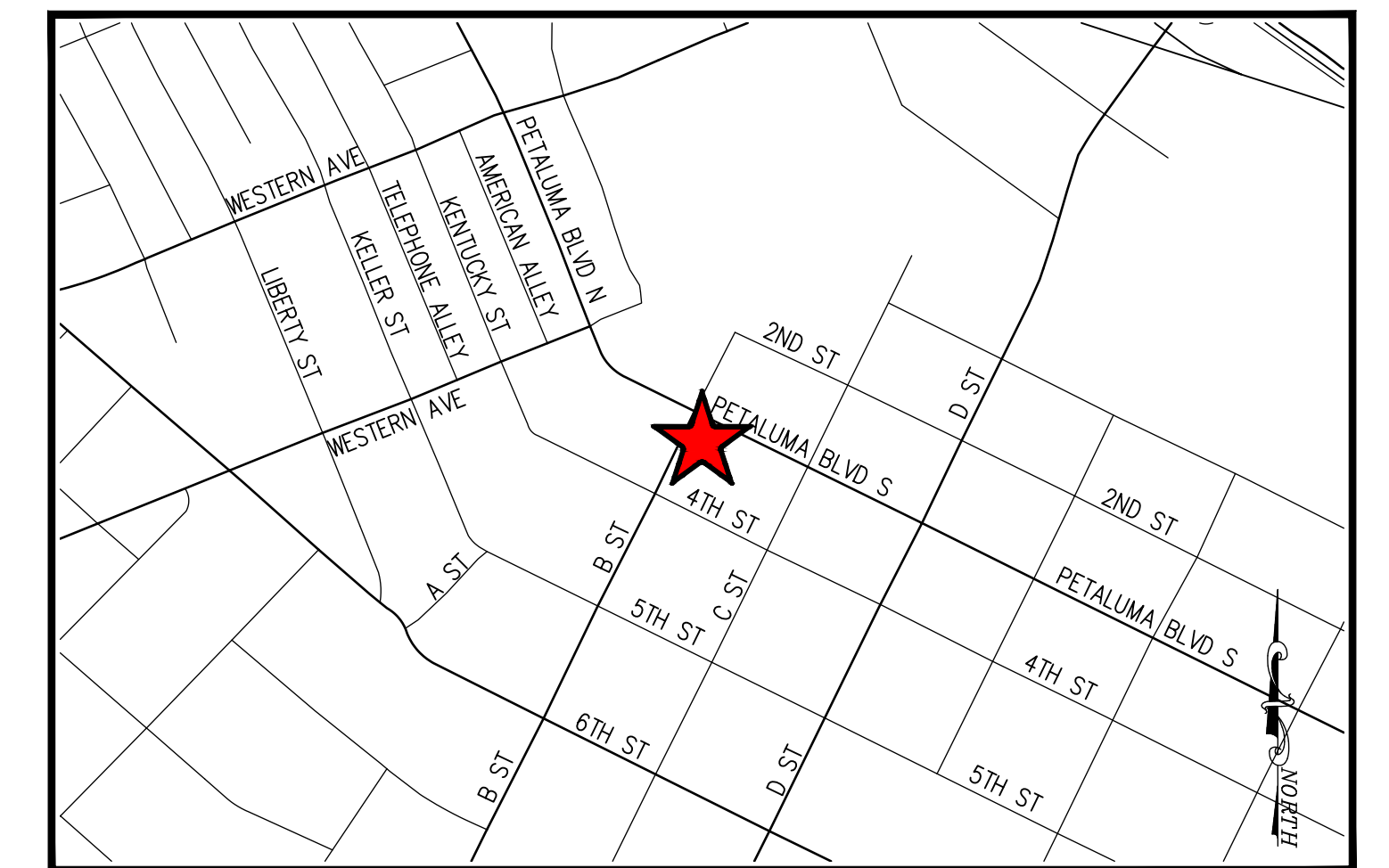
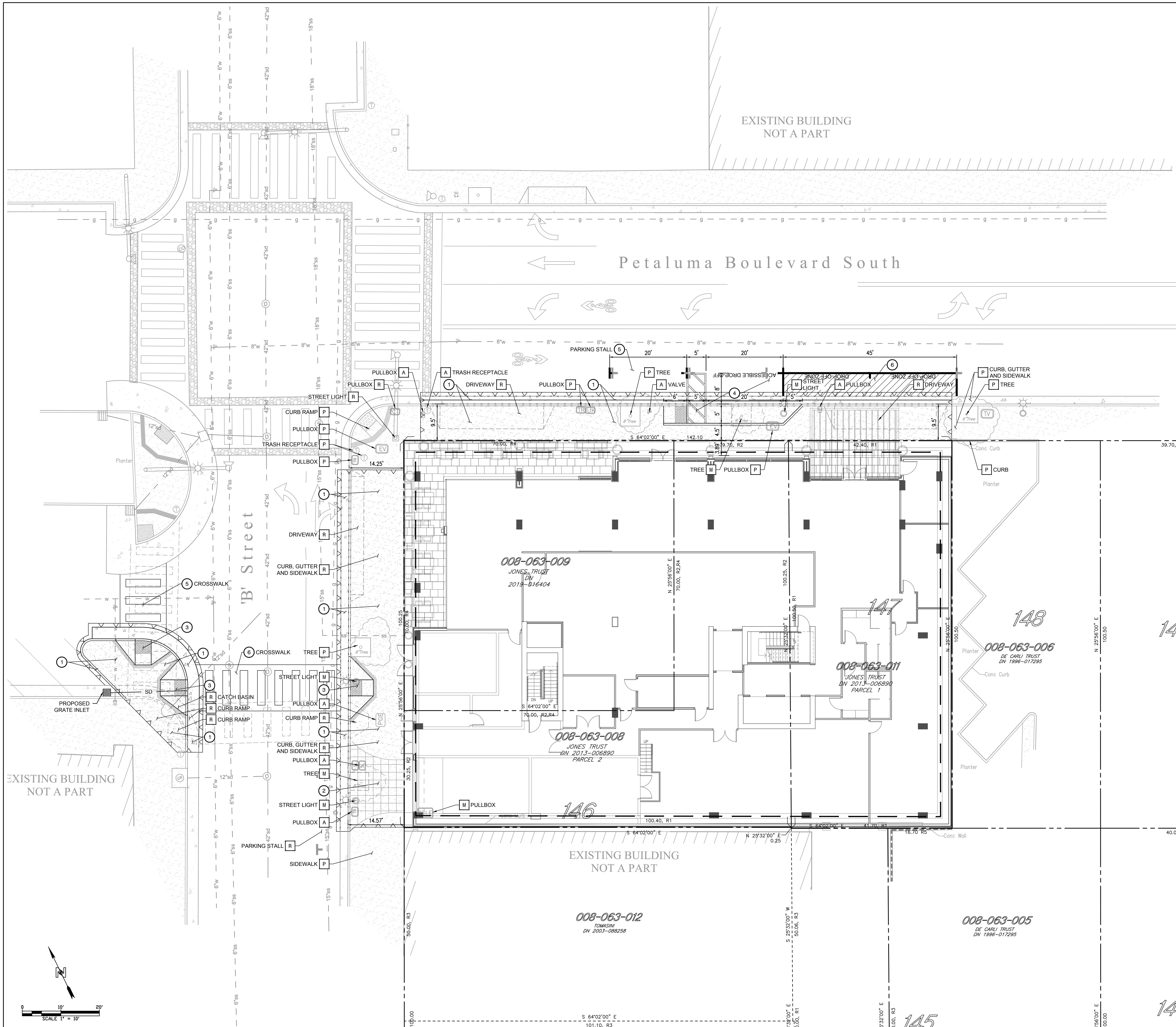
DRAWN BY: _____ CHECKED BY: _____

PROJECT NUMBER: 621010 PROJECT ABBREVIATION: PH

ORIGINAL ISSUE DATE: 04 APRIL 2022

C:\Users\vgonzalez\OneDrive - Page Southernland Page, Inc.\Documents\621010-A-Petaluma-R21-CENTRAL_vgonzalez27175.rvt
DATE STAMP: 4/17/2022 4:17:02 PM

NOT FOR CONSTRUCTION



VICINITY MAP
SCALE: 1" = 500'

PROJECT TEAM	
OWNER / DEVELOPER EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660 CONTACT: MIKE JOLLY PHONE: 310.776.0621	ARCHITECT PAGE SOUTHERLAND PAGE, INC 414 JACKSON STREET, 4TH FLOOR SAN FRANCISCO, CA 94111 CONTACT: PHONE: 415.249.0130
CIVIL ENGINEER N CONSULTING ENGINEERS, INC. 4 PARK PLAZA, SUITE 1750 IRVINE, CA 92614 CONTACT: DEREK KARIMOTO P.E., QSD PHONE: 714.514.8858	LANDSCAPE ARCHITECT BRIGHTVIEW 8 HUGHES, STE. 150 IRVINE, CA 92614 CONTACT: PHONE: 949.396.1161
STRUCTURAL BUEHLER 444 FLOWER ST 3800 LOS ANGELES, CA 90071 CONTACT: PHONE: 323.536.2362	MEP BRIGHTVIEW 8 HUGHES, STE. 150 IRVINE, CA 92614 CONTACT: PHONE: 949.396.1161

PROJECT DATA	
APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94952
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COMBINING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,256 SF [0.327 ACRES]

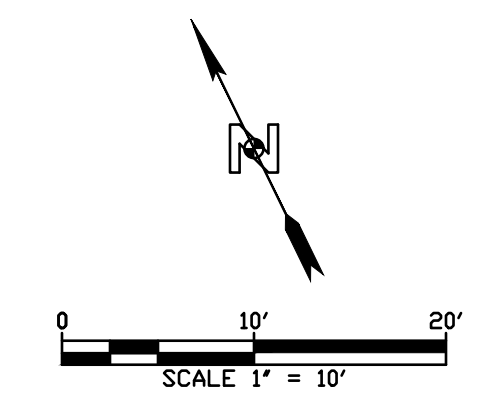
DEMOLITION NOTES	
[A] ADJUST TO GRADE.	EA
[M] MOVE OR RELOCATE.	EA
[P] PROTECT IN PLACE.	EA
[R] REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES	
1 CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2 CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3 CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4 CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5 RE-STRIPE IN-KIND.	LF
6 PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45° @ 3" O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF

LEGEND	
---	PROPERTY LINE
---	EXCAVATION LIMITS
---	SAWCUT LINE
---	EXISTING GAS
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING WATER

EARTHWORK:	
CUT:	7136 C.Y.
FILL:	0 C.Y.
IMPORT:	0 C.Y.
EXPORT:	7136 C.Y.

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.



NO.	DATE	REVISION DESCRIPTION	BY	DATE

DIGALERT
DIAL TOLL FREE
811
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NOTICE TO CONTRACTOR:

- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
- N CONSULTING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF N CONSULTING.

BENCH MARK
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.

BASIS OF BEARINGS
192 MAPS 26, SCR.

N CONSULTING ENGINEERS
4 Park Plaza, Suite 1750
Irvine, CA 92614
PHONE: 949.396.1161
www.nconsulting.com

DEREK H. KARIMOTO
2022-04-01
DATE

PROJECT ADDRESS:
2 PETALUMA BLVD
PETALUMA, CA 94952

CLIENT:
EKN DEVELOPMENT GROUP
220 NEWPORT CENTER DRIVE, SUITE 11-262
NEWPORT BEACH, CA 92660

ISSUE:
SPAR APPLICATION - 2022-04-04

SITE: EKN PETALUMA HOTEL	
TITLE: CONCEPTUAL SITE PLAN	
DRAWN: S.S.	SCALE AT D: 1" = 10'
CHECKED: D.H.K.	DATE: 4/1/2022
PROJECT NO: 21-002	SHEET: SPAR C1

P:\21-002 Ekn Petaluma Hotel\Drawings\Title\21002c10.CSP.dwg, Apr 01, 2022, 4:52pm

EKN Petaluma LLC
Petaluma Hotel
2 Petaluma Blvd South
Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802.2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTINGS AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P1	C/P CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
SITE FURNISHINGS	
SF1	BIKE RACK (METAL, 2 BICYCLES)
SF2	TREE GRATE (METAL, 9' X 5')

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE) / ETAF (PF/IE)
LOW	0.3	Drip	0.81
MEDIUM	0.5	Drip	0.81
HIGH	0.7	Drip	0.81
Regular Landscape Area			
Regular Landscape Area Totals:		1,523	604
Special Landscape Area			
Special Landscape Area Totals:		0	0
Maximum Allowed Water Allowance (MAWA):		15,233	16,827
Over All Landscape Area Totals:		1,523	MAWA Totals: 16,827

***Hydrozone # / Planting Description**
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

***MAWA (Annual Gallons Allowed) = (Eto) / (0.62) / (ETAF x LA) + ((1-ETAF) x SLA)**
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45

***ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area**
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.

ETAF Calculations		All Landscape Area (including special landscape area)	
Total ETAF x Area	604	Total ETAF x Area	604
Total Area	1,523	Total Area	1,523
Average ETAF	0.40	Sitewide ETAF	0.40

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

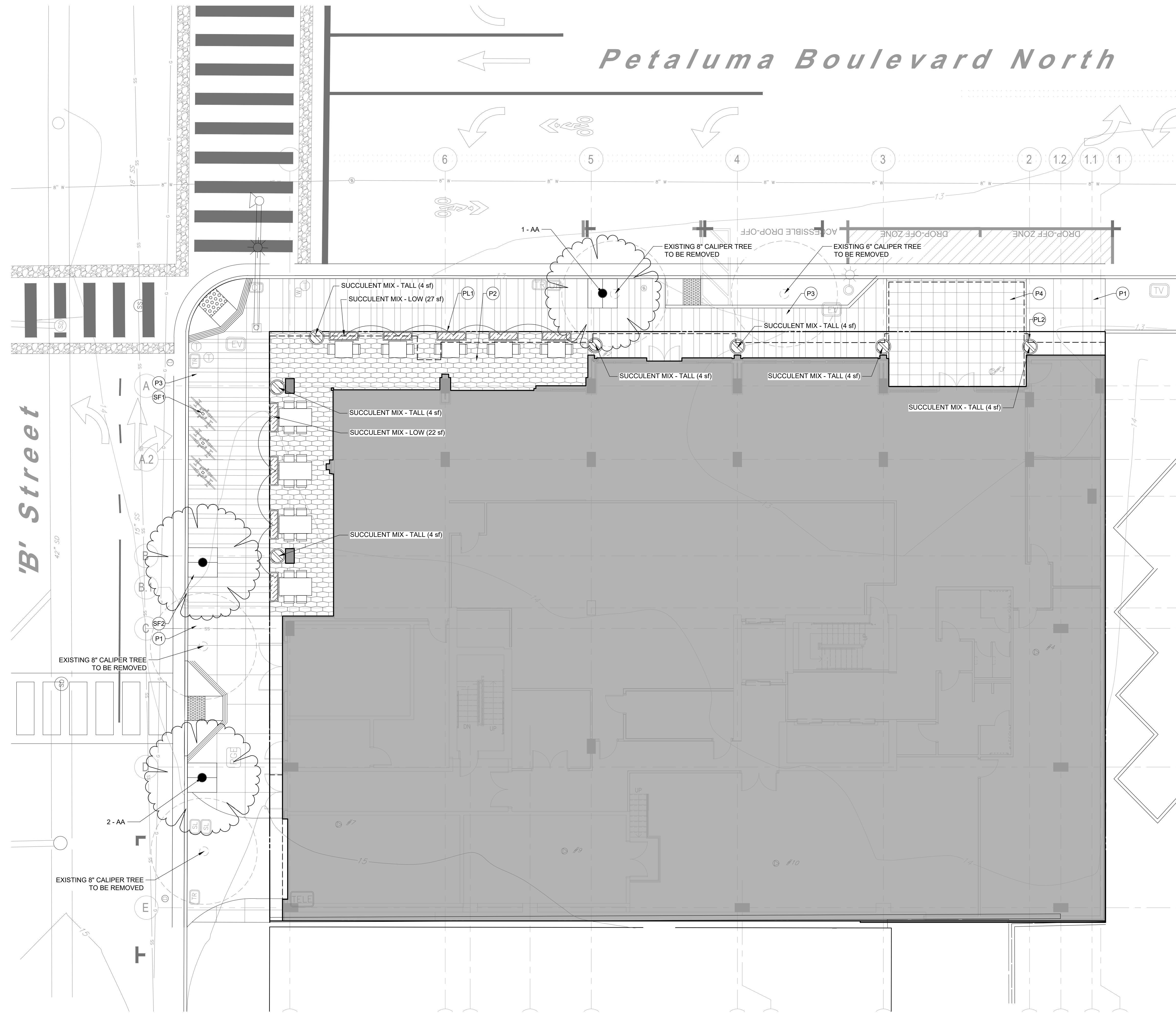
PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	ADE	8	AEONIUUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	10	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	10	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	38	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	5	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	8	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
	ABG	6	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	21	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	21	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.

REVISION HISTORY

NO.	DESCRIPTION	DATE

SITE LANDSCAPE PLAN - LEVEL 01



SITE LANDSCAPE PLAN - LEVEL 01



NOTES

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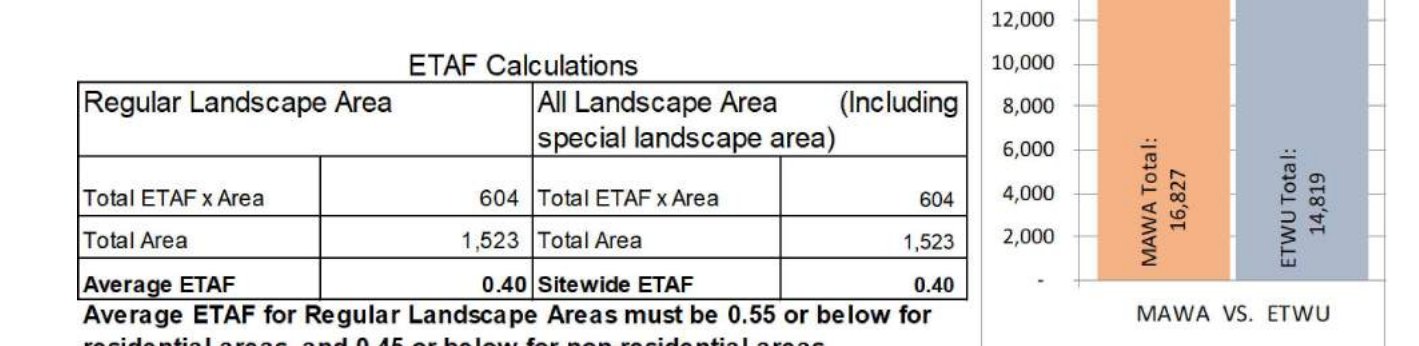
CODE	DESCRIPTION
PAVING	
(P5)	PRECAST CONCRETE PAVER - TYPE 4 (FIELD, SQUARE)
(P6)	SYNTHETIC TURF OVER BASE TILE
PLANTERS	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE) / ETAF (PF/IE)
LOW	0.3	Drip	0.81 / 0.37
MEDIUM	0.5	Drip	0.81 / 0.62
HIGH	0.7	Drip	0.81 / 0.86
Regular Landscape Area Totals:		1,523	604
Special Landscape Area		-	-
Special Landscape Area Totals:		0	0
ETAF Total:			14,819
Maximum Allowed Water Allowance (MAWA)			
Over All Landscape Area Totals:		1,523	MAWA Total: 16,827

***ETAF (Annual Gallons Required) = Eto x 0.62 x ETAF x Area**
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45

***MAWA (Annual Gallons Allowed) = (Eto) / (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]**
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45

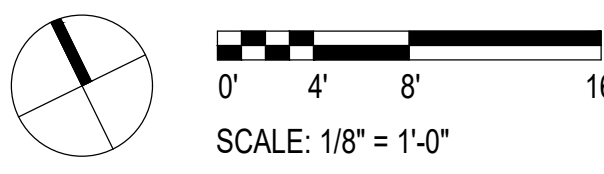


PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		372 SF	PLANTER MIX			
	AYG	20	ANIGOZANTHOS X 'YELLOW GEM'	1 GAL.	LOW	20% @ 24" o.c.
	KUV	20	YELLOW GEM KANGAROO PAW KNIPHOFIA UVARIA	1 GAL.	LOW	20% @ 24" o.c.
	PDD	9	RED HOT POKER PHORMIUM X 'DARK DELIGHT'	5 GAL.	LOW	20% @ 36" o.c.
	PTW	9	DARK DELIGHT PURPLE FLAX PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'	5 GAL.	LOW	20% @ 36" o.c.
	WFR	9	WHEELER'S DWARF PITTOSPORUM WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL.	LOW	20% @ 36" o.c.
		351 SF	GREEN ROOF - SEDUM MIX			



SITE LANDSCAPE PLAN - LEVEL 02



DATE: 04/04/2022
 USER NAME:
 DATE TIME:

REVISION HISTORY	DATE

PROFESSIONAL SEALS	DATE

PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	04/04/2022

SPAR L2

SHEET NUMBER

NOTES

- ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
- ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
- A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
- ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM, IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

- POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
- THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
- PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
- A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
- FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
- ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
- THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
- ALL PLANTING AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
- TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE)
P7	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR)
P8	WOOD TILE PAVER (ACCENT, RECTANGULAR)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
PL3	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
L1	BOLLARD
L2	UPLIGHT

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	ETAF (PF/IE)
Regular Landscape Area			
LOW	0.3	Drip	0.37
MED/M	0.5	Drip	0.62
HIGH	0.7	Drip	0.86
Regular Landscape Area Totals: 1,523 604			
Special Landscape Area			
Special Landscape Area Totals: 0 0			
ETWU Total: 14,819			
Maximum Allowed Water Allowance (MAWA)			
Over All Landscape Area Totals: 1,523 MAWA Total: 16,827			

¹Hydrozone #/Planting Description
E.g.
1) roof lawn
2) low water use plantings
3) medium water use planting

²Irrigation Method
overhead spray
or drip

³Irrigation Efficiency
0.75 for spray
0.81 for drip

⁴ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	LA	13	LUMA APICULATA CHILEAN MYRTLE	15 GAL.	MED	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		144 SF	SUCCULENT MIX - LOW			
	ADE	23	AEONIUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	30	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	120	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	15	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	23	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
		20 SF	SUCCULENT MIX - TALL			
	ABG	5	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	15	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.
		403 SF	PLANTER MIX			
	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW	20% @ 24" o.c.
	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW	20% @ 24" o.c.
	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW	20% @ 36" o.c.
	PTW	10	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTIOSPORUM	5 GAL	LOW	20% @ 36" o.c.
	WFR	10	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW	20% @ 36" o.c.

EKN Petaluma LLC
Petaluma Hotel
2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

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REVISION	DESCRIPTION	DATE

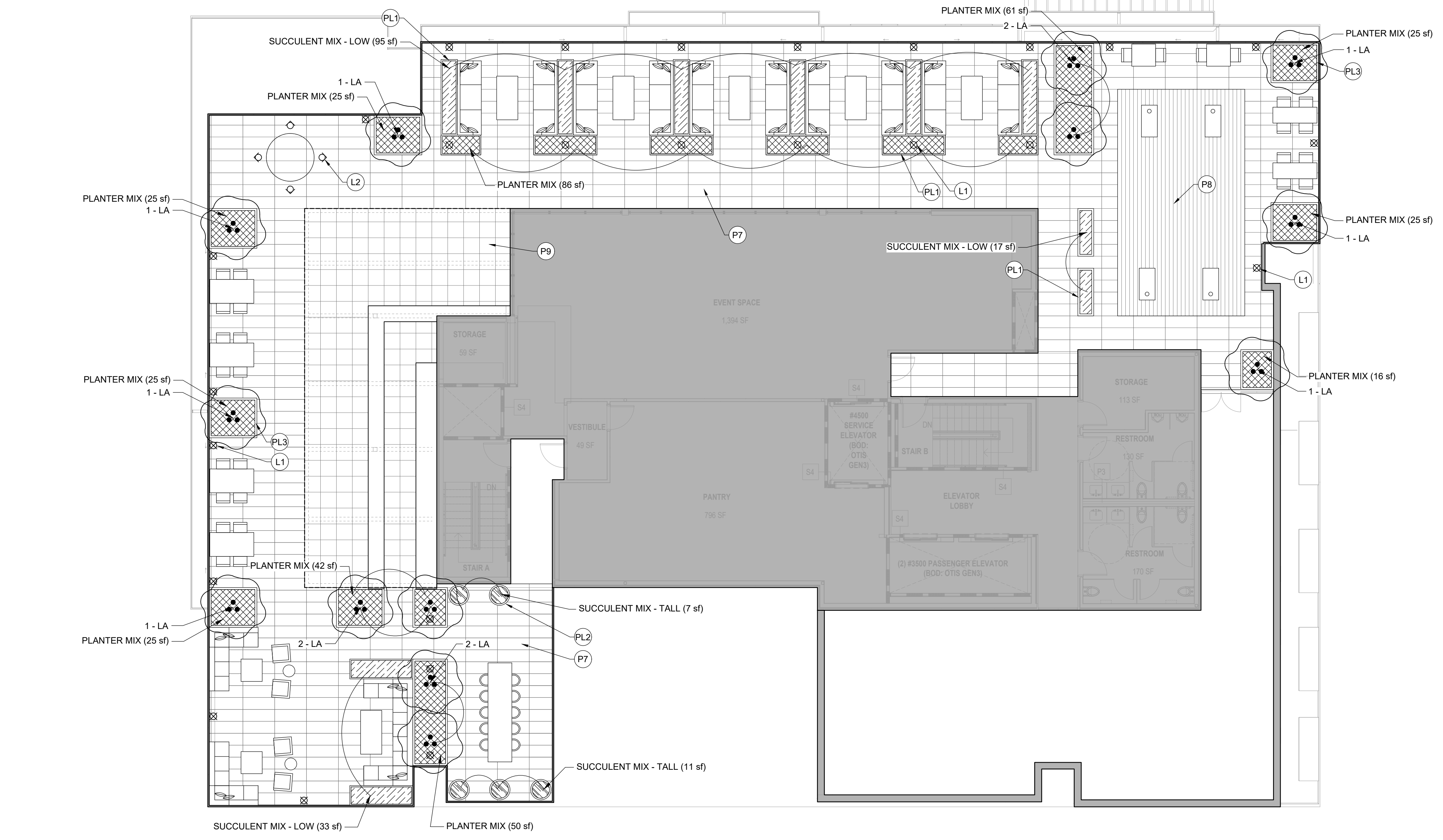
SITE LANDSCAPE PLAN - LEVEL 06

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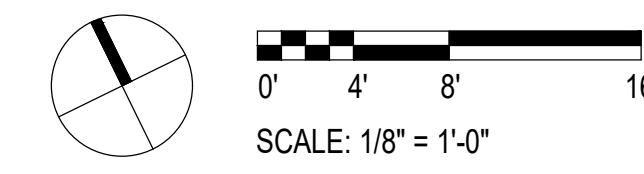
PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	04/04/2022

SPAR L3

SHEET NUMBER



SITE LANDSCAPE PLAN - LEVEL 06



DATE: 04/04/2022

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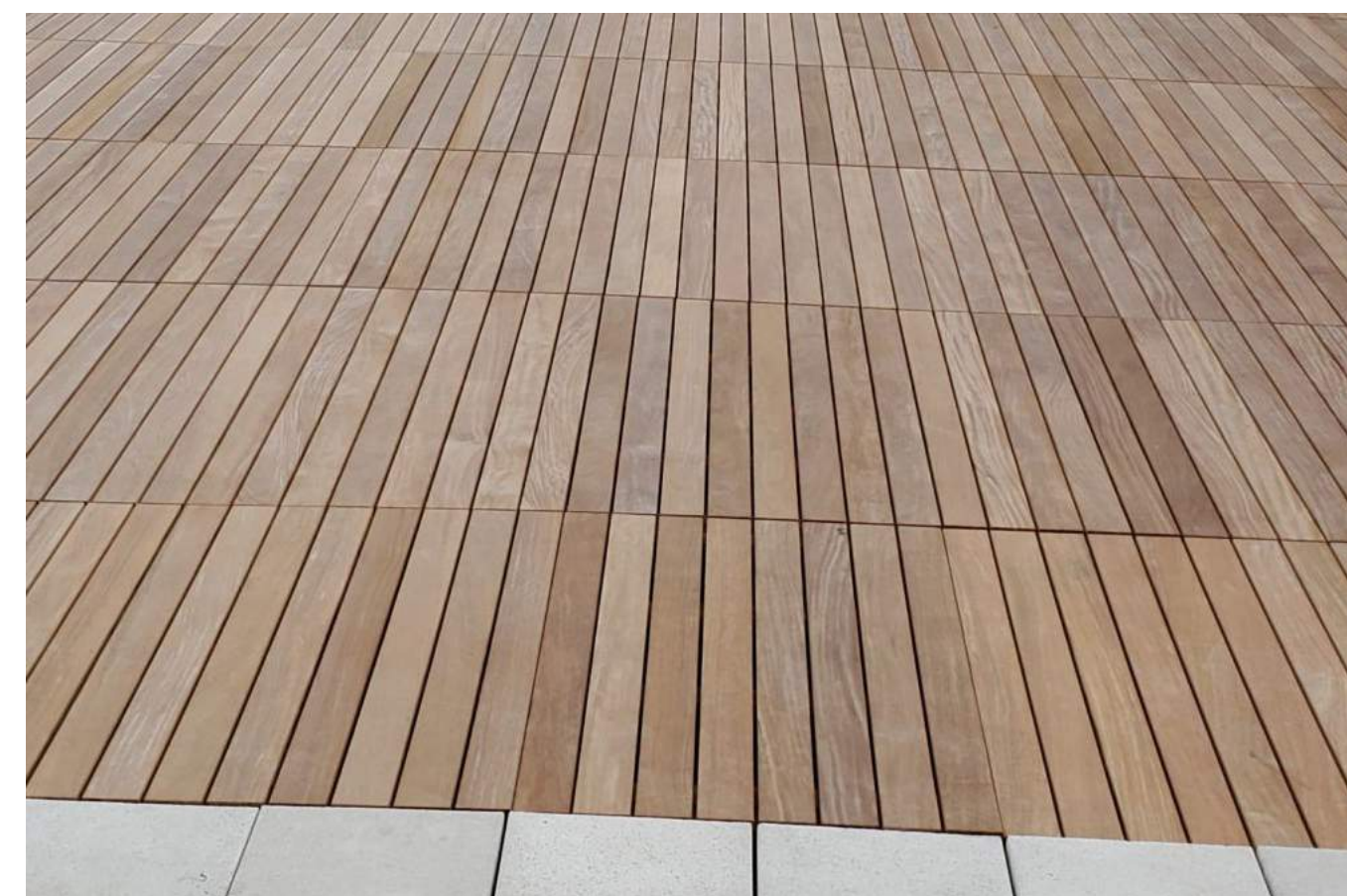
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SITE LANDSCAPE MATERIALS

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 04/04/2022



SF1 **BIKE RACK**
 MATERIAL: METAL
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD
 MOUNTING: EMBEDDED



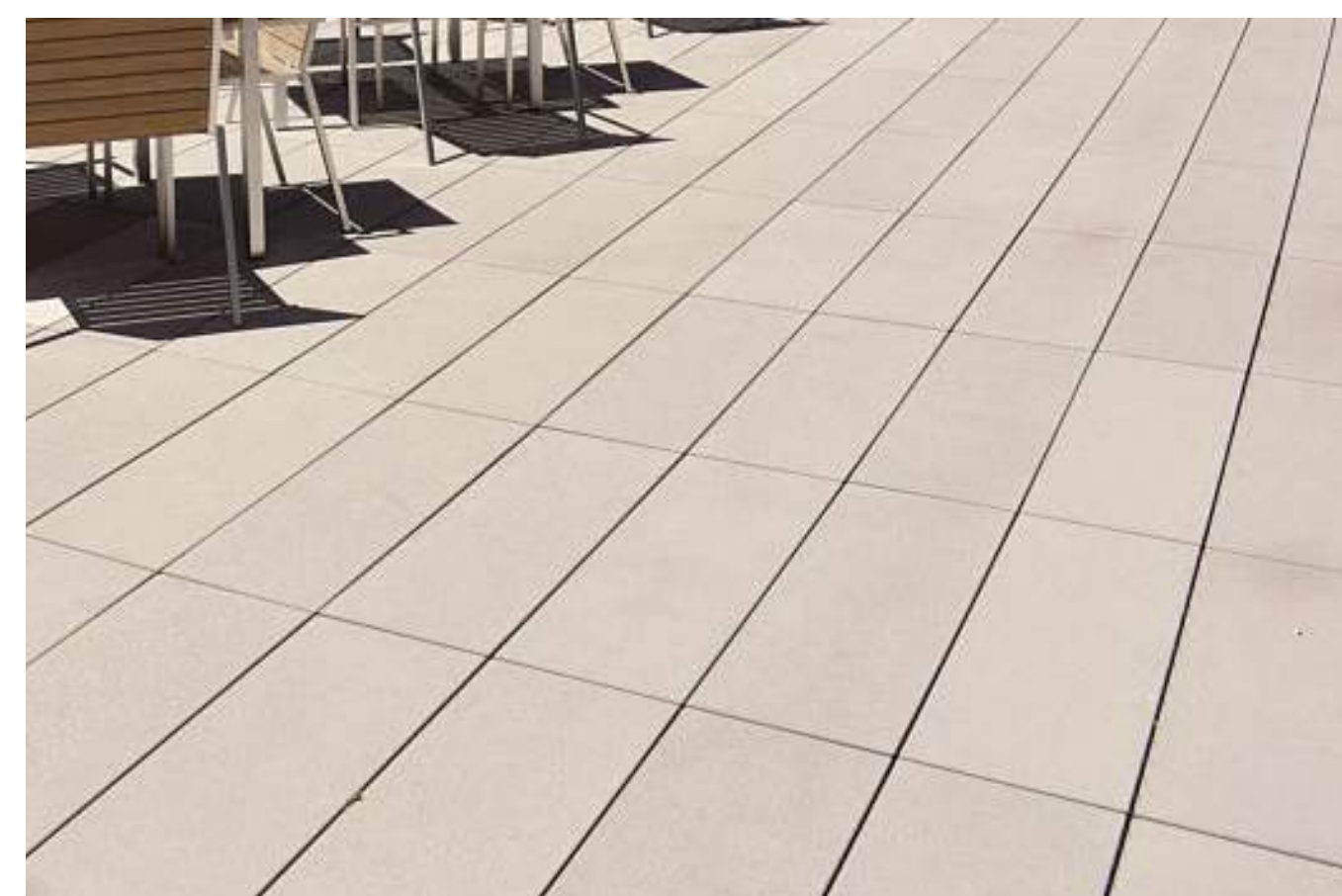
P8 **WOOD TILE PAVER**
 MATERIAL: WOOD, PEDESTAL SET
 SIZE: 24" X 96"
 COLOR/FINISH: STANDARD COLOR RANGE



P4 **CONCRETE PAVER - TYPE 3**
 MATERIAL: PRECAST CONCRETE, MORTAR/PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: ARTISTIC PATTERN, TBD



PL3 **BUILT-IN PLANTER**
 MATERIAL: METAL
 SIZE: 36" HT
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD



P7 **CONCRETE PAVER - TYPE 4**
 MATERIAL: PRECAST CONCRETE, PEDESTAL SET
 SIZE: 18" X 48"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



P3 **CONCRETE PAVER - TYPE 2**
 MATERIAL: PRECAST CONCRETE, MORTAR SET
 SIZE: WIDTHS 6"/12"/24", LENGTHS 48"/60"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



PL2 **FREESTANDING PLANTER - TYPE 2**
 MATERIAL: FIBERGLASS
 SIZE: 2.5' DIA X 3' HT
 COLOR: METALLIC MATCH COLOR
 FINISH: SMOOTH



P6 **SYNTHETIC TURF OVER TILE**
 MATERIAL: SYN TURF, PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: STANDARD COLOR RANGE



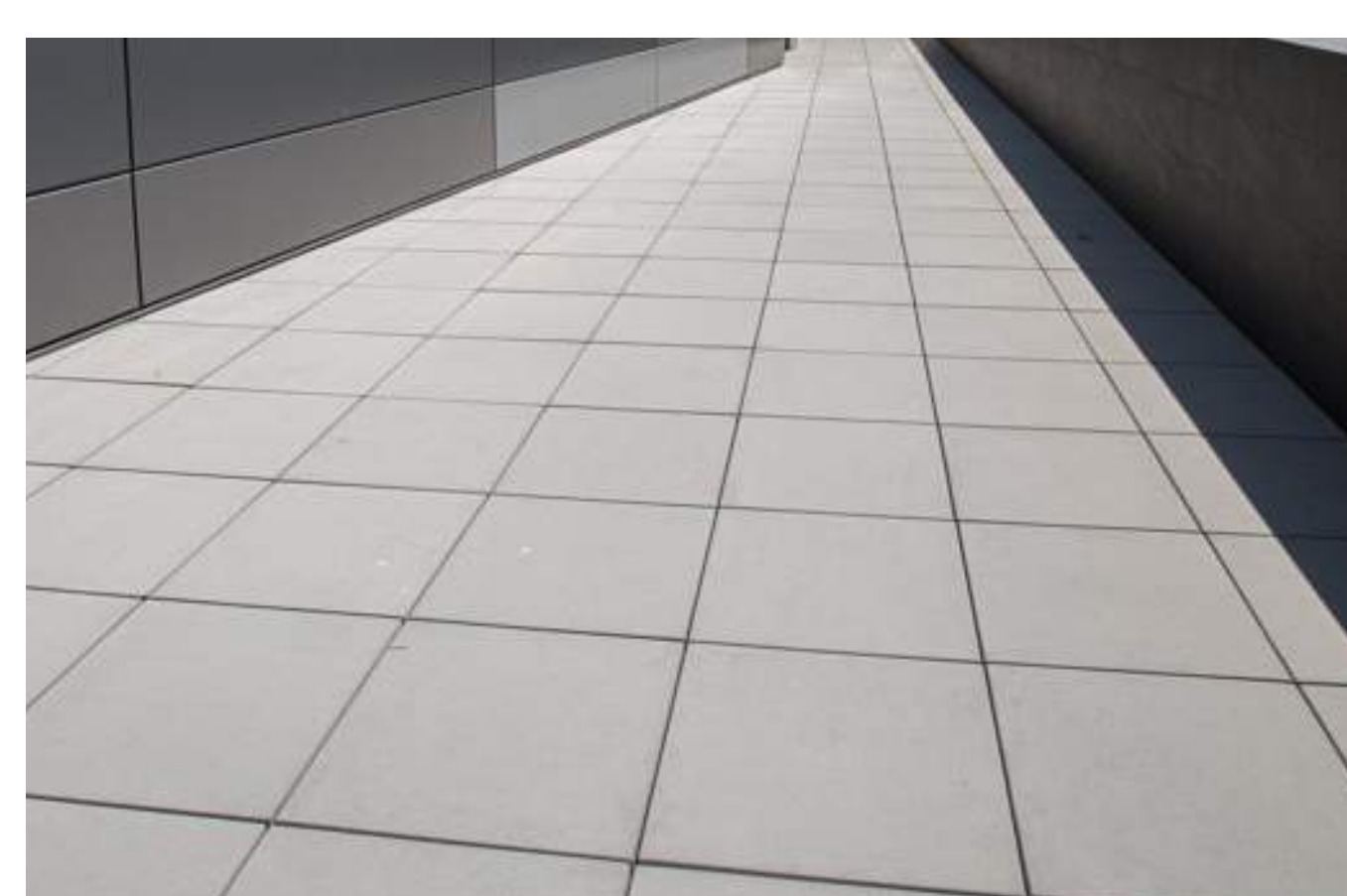
P2 **CONCRETE PAVER - TYPE 1**
 MATERIAL: PRECAST CONCRETE, MORTAR SET
 SIZE: 24" X 6" X 12" (DIAMOND)
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



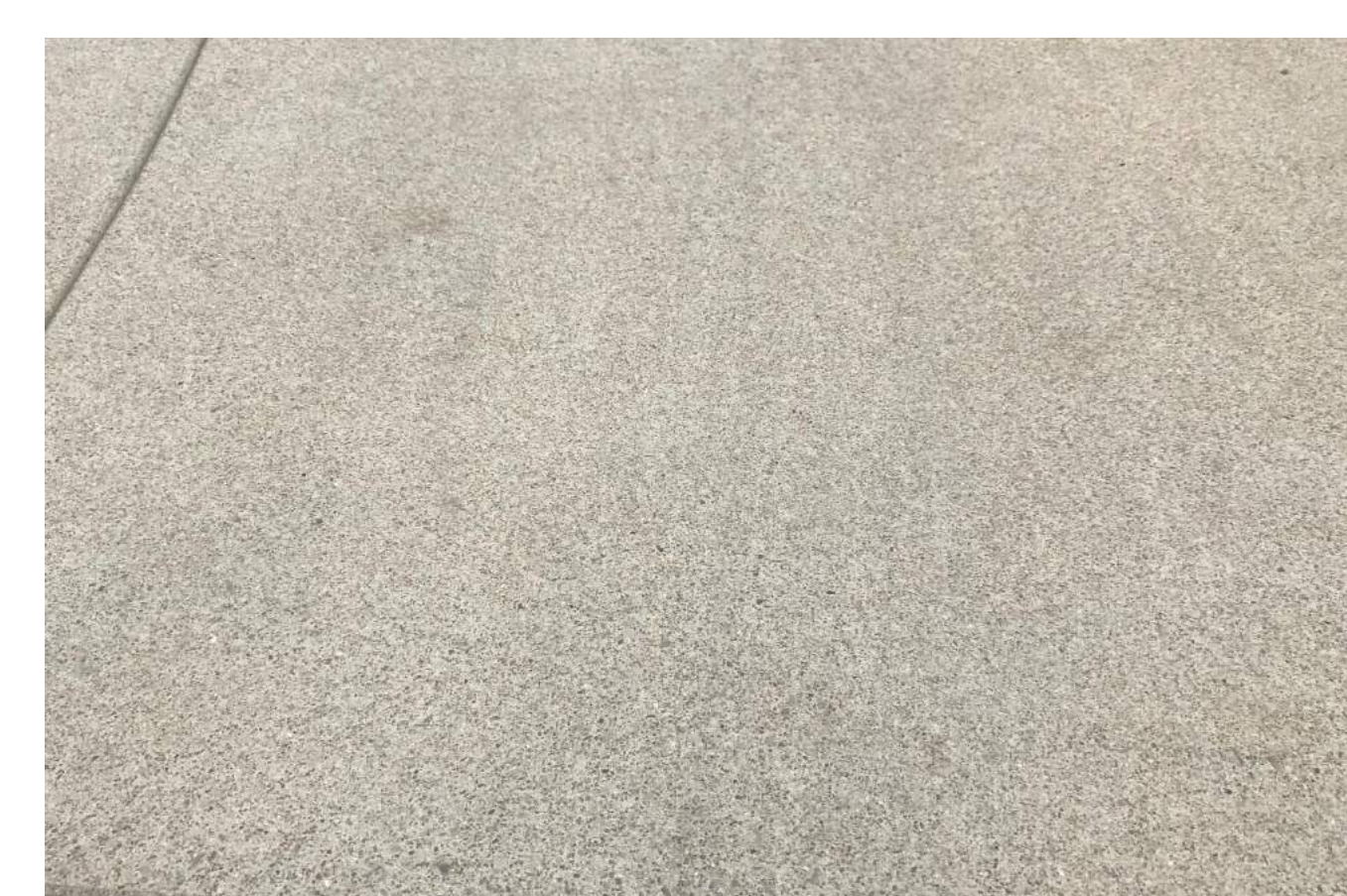
SF2 **TREE GRATE**
 MATERIAL: METAL
 SIZE: 5' X 5'
 COLOR: NATURAL
 FINISH: BAKED ON OIL FINISH



PL1 **FREESTANDING PLANTER - TYPE 1**
 MATERIAL: METAL
 SIZE: WIDTHS 18"/24"/30", HEIGHTS 18"/24"
 COLOR: POWDERCOAT METALLIC
 FINISH: STANDARD



P5 **CONCRETE PAVER - TYPE 4**
 MATERIAL: PRECAST CONCRETE, PEDESTAL SET
 SIZE: 24" X 24"
 COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



P1 **C.I.P. CONCRETE PAVEMENT**
 MATERIAL: CAST-IN-PLACE CONCRETE
 COLOR: STANDARD GREY
 FINISH: TOPCAST #05 "SANDBLAST"
 JOINT: SAWCUT

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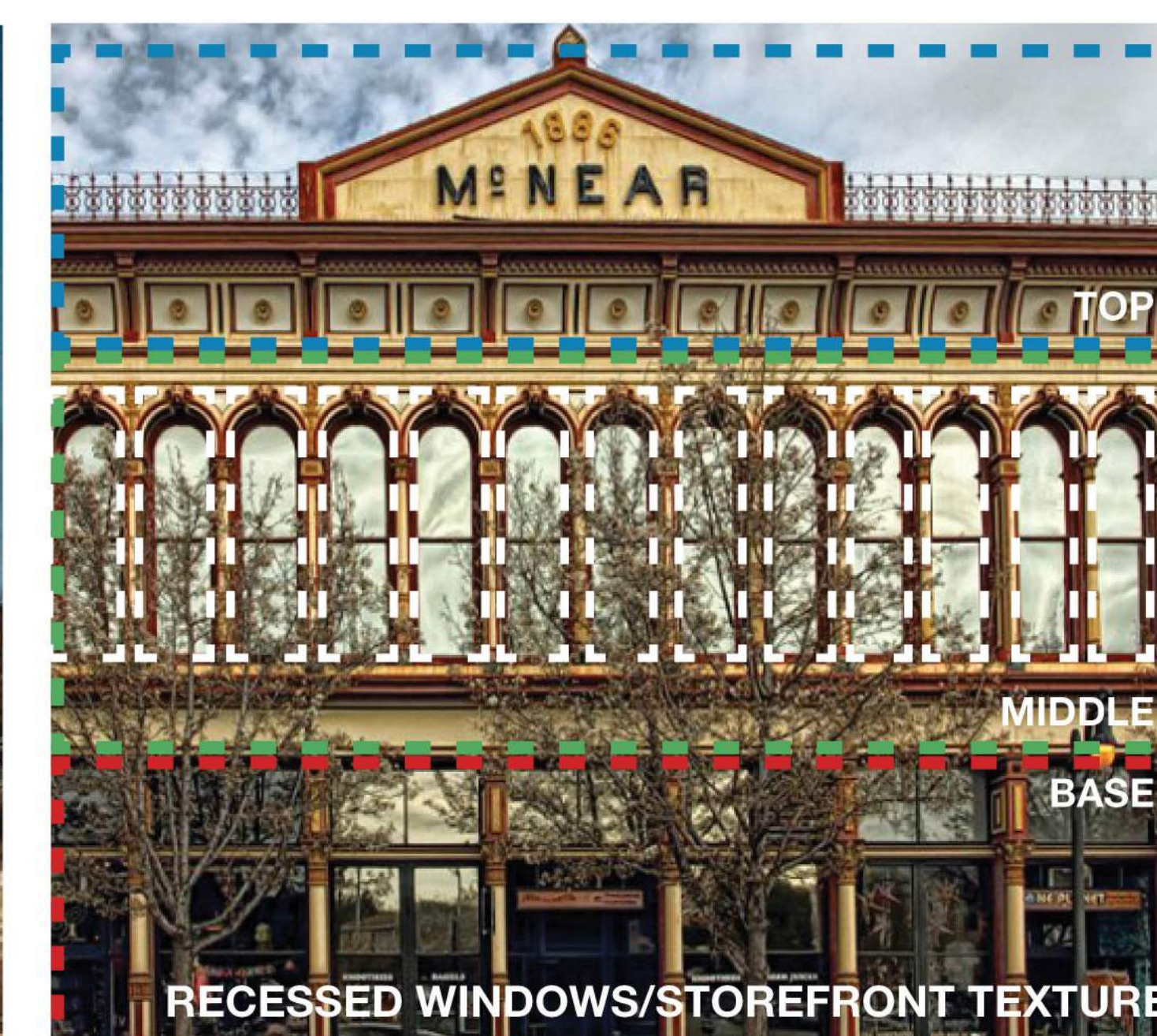
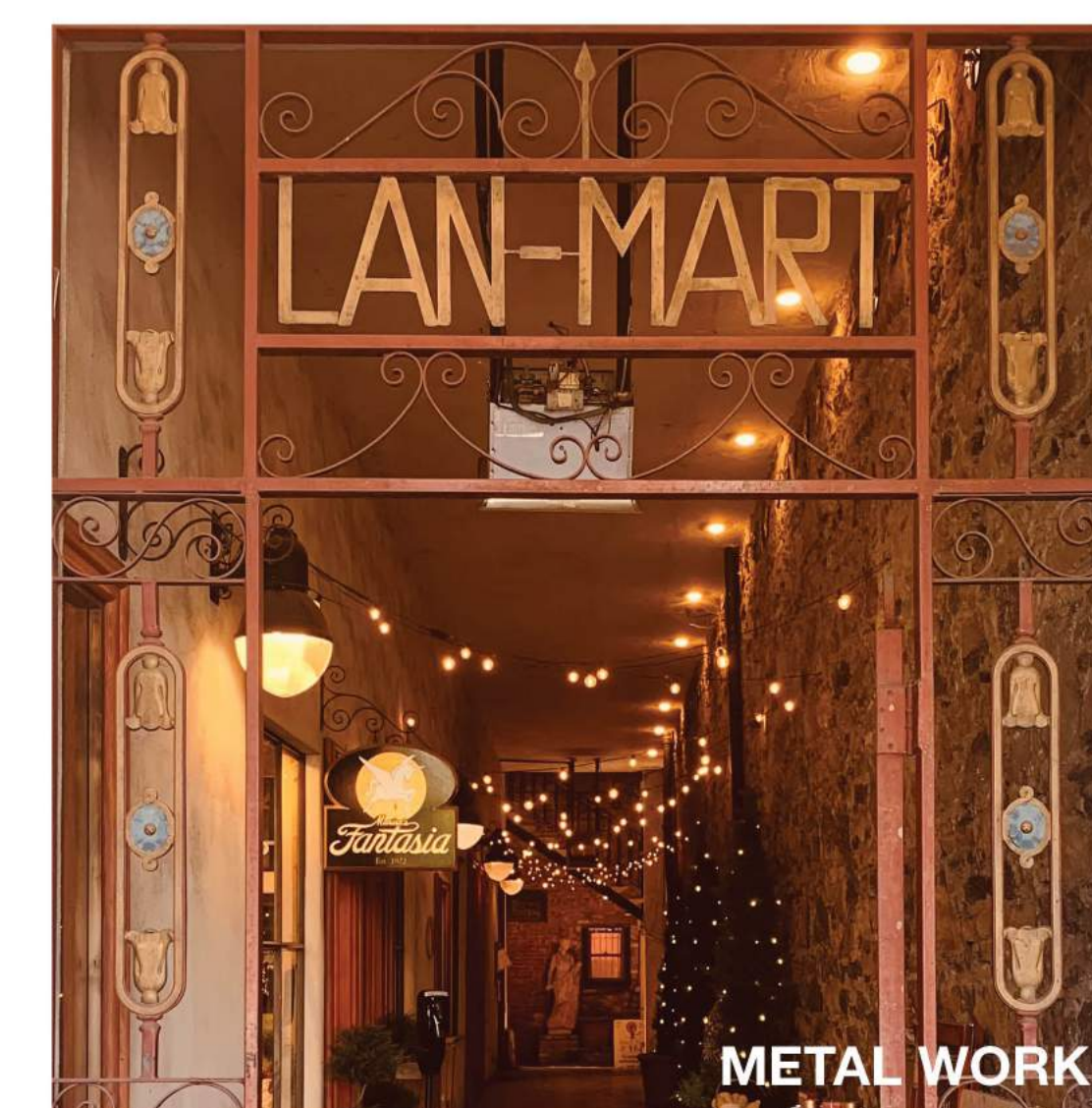
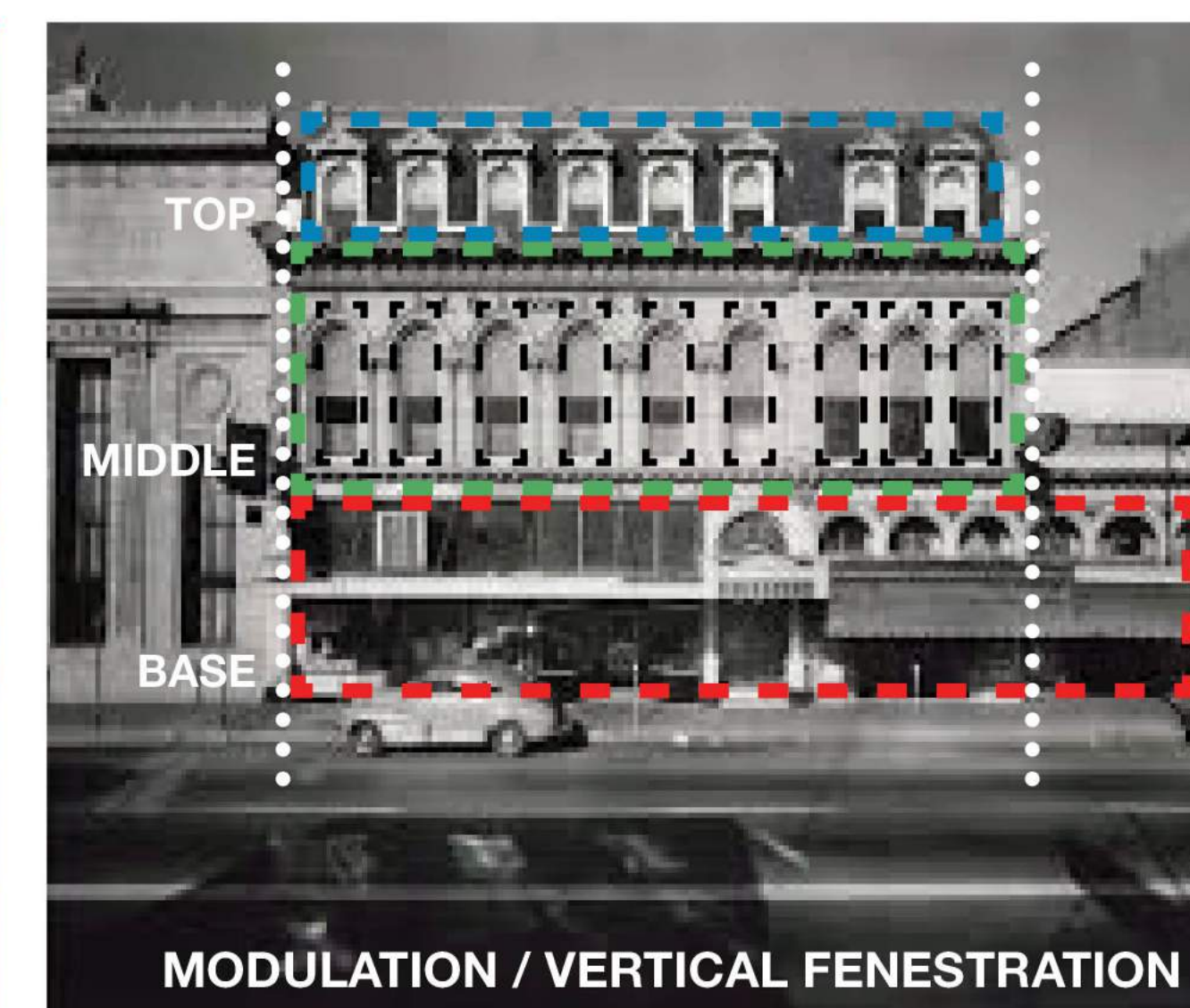
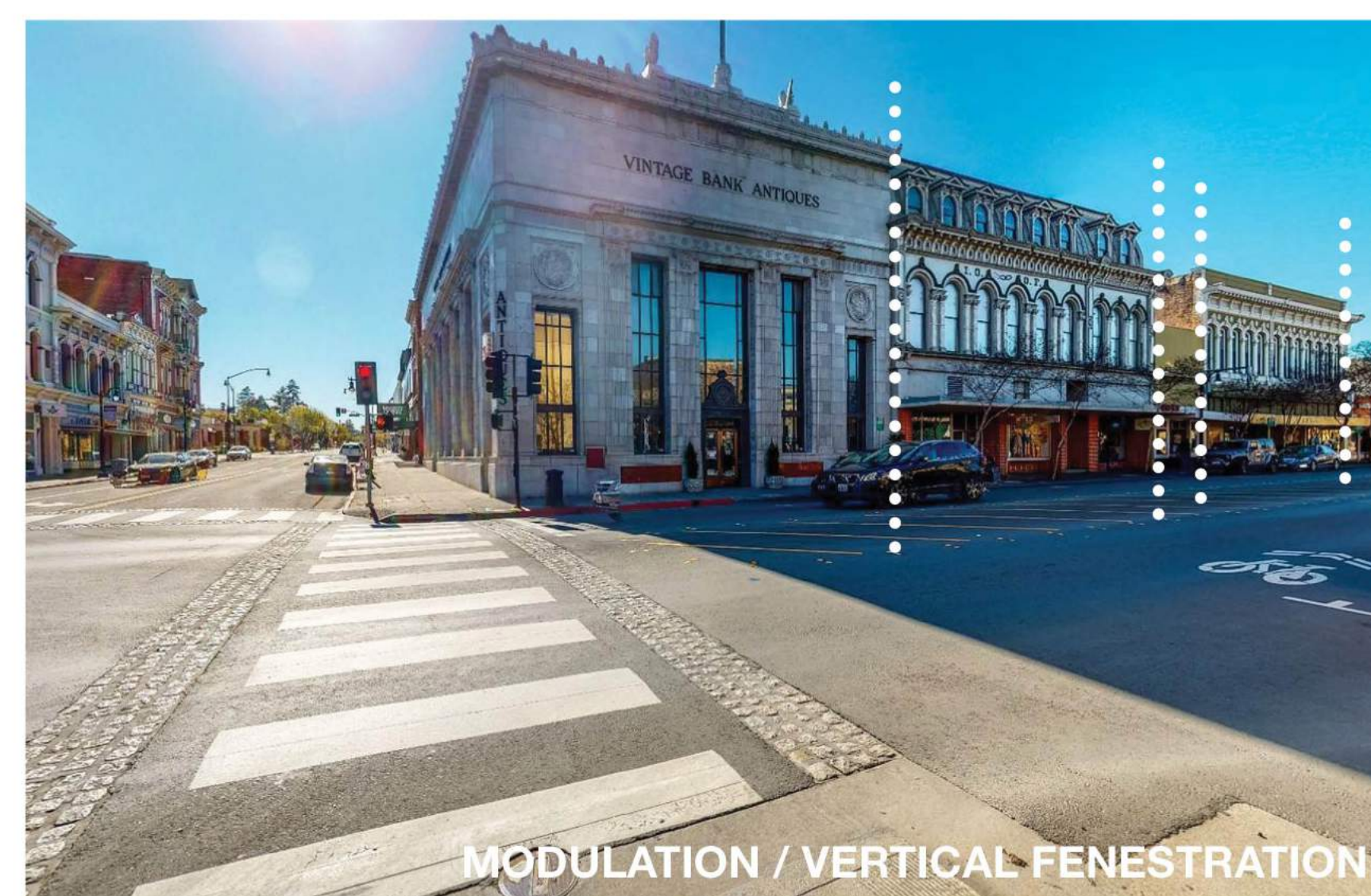
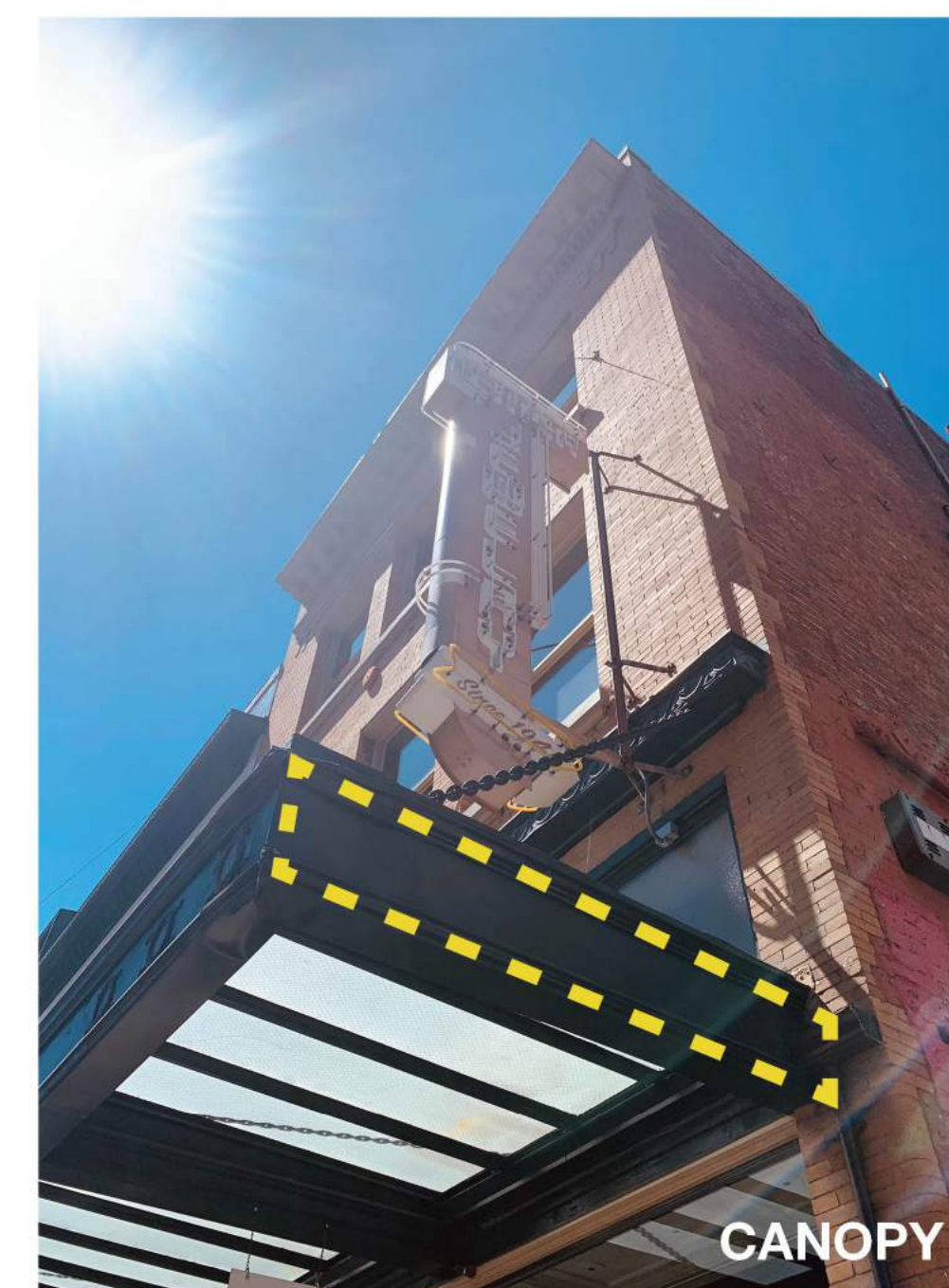
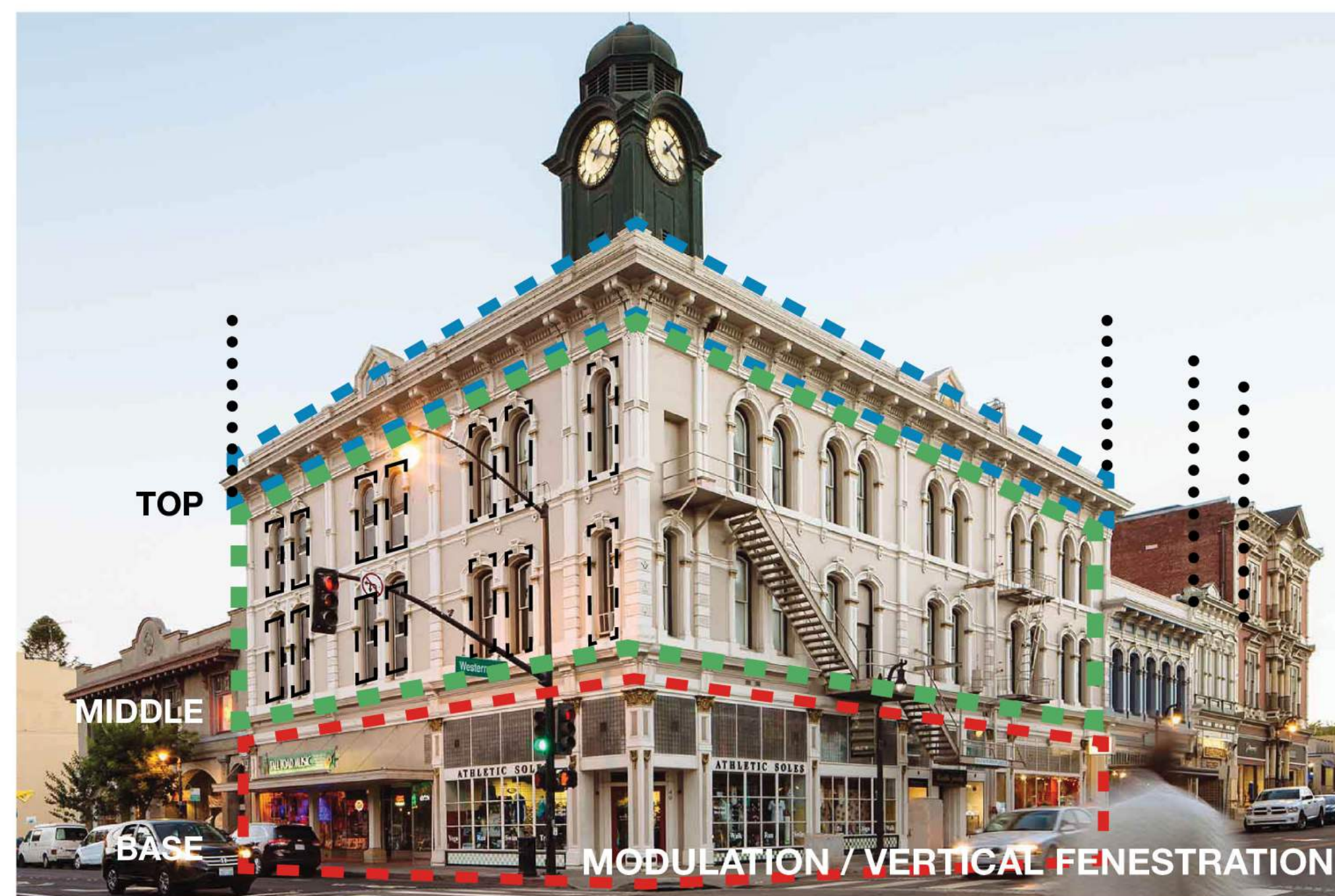
INTERIORS SIXTEEN FIFTY 7509 Girard Ave La Jolla, CA 92037 888 454 6909

CIVIL N CONSULTING ENGINEERS 4 Park Plz Irvine, CA 92614 949 399 1161

PETALUMA CONTEXT

WHILE HOTEL WEAVER IS NEW CONSTRUCTION, TAKING CUES FROM THE FABRIC OF THE HISTORIC DOWNTOWN WAS OF IMPORTANCE TO THE DESIGN TEAM. LOOKING AT THE SURROUNDING CONTEXT, SEVERAL GUIDING PRINCIPALS CAME TO MIND IN THE COMPOSITION OF THE NEW HOTEL WEAVER: A CLEAR BASE, MIDDLE AND TOP EXPRESSION, VERTICAL RECESSED WINDOW PROPORTIONS, STREET SCAPE RHYTHM AND MODULATION, A TEXTURED STOREFRONT, AN OVERALL BALANCE OF HORIZONTAL AND VERTICAL MOVES, THE INTEGRATION OF CANOPIES TO CONNOTE ENTRY, METALWORK, AND HOLLOWED CORNERS. THE INTENT IS TO ACKNOWLEDGE THESE MASSING AND ARCHITECTURAL MOVES WHILE BUILDING WITH MODERN METHODS WITH DURABLE, NATURAL BUILDING MATERIALS.

EKN Petaluma LLC
HOTEL WEAVER
 2 Petaluma Blvd South
 Petaluma, California



REVISION HISTORY

REVISION	DESCRIPTION	DATE

PROFESSIONAL SEALS
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ARCHITECTURAL - SITE CONTEXT

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
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 Irvine, CA
 92614
 949 399 1161



AXONOMETRIC VIEW - PETALUMA BLVD



AXONOMETRIC VIEW- PETALUMA BLVD & B STREET



AXONOMETRIC VIEW - B STREET

EKN Petaluma LLC
HOTEL WEAVER
 2 Petaluma Blvd South
 Petaluma, California



2 WEST ELEVATION - CONCEPTUAL MASSING - TO B STREET
 SCALE: 1/8" = 1'-0"



1 MAIN ENTRY - NORTH ELEVATION - CONCEPTUAL MASSING - TO PETALUMA BLVD
 SCALE: 1/8" = 1'-0"

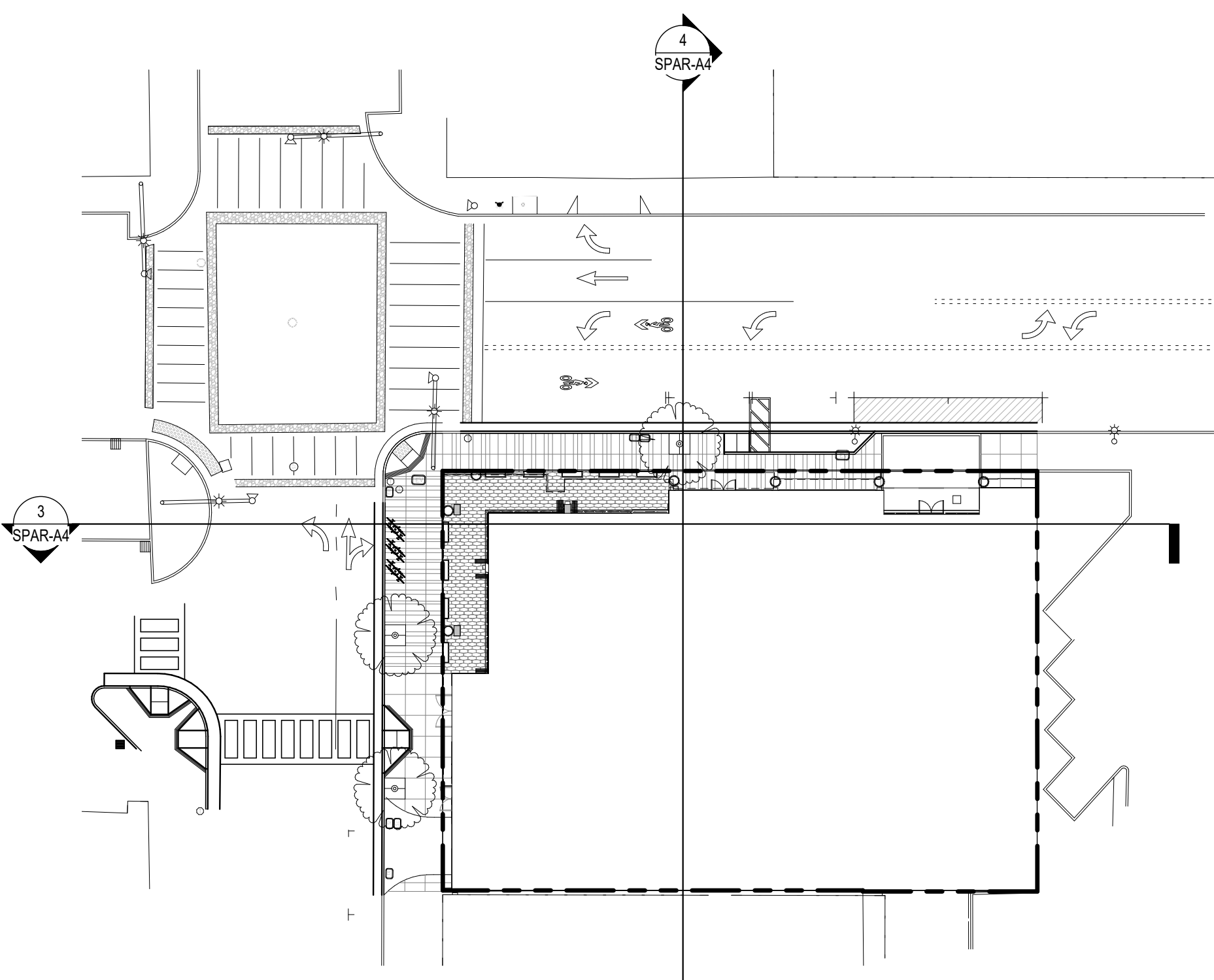
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SPAR-A3
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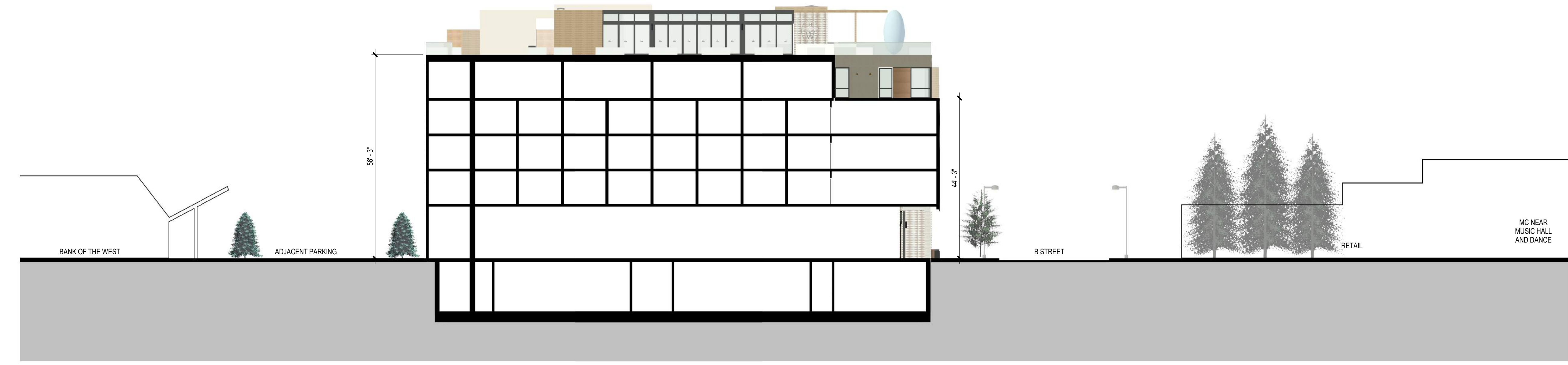
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5 KEY PLAN - SITE
SCALE: 1" = 30'-0"



4 SECTION - PETALUMA BLVD
SCALE: 1/16" = 1'-0"



3 SECTION - B STREET
SCALE: 1/16" = 1'-0"



2 ELEVATION - PETALUMA STREET MASSING
SCALE: 1/16" = 1'-0"



1 ELEVATION - B STREET
SCALE: 1/16" = 1'-0"

EKN Petaluma LLC
HOTEL WEAVER
2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY		
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PROFESSIONAL SEALS

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ARCHITECTURAL - SITE ELEVATIONS

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SPAR-A4
SHEET NUMBER

FLOOR PLAN GENERAL NOTES

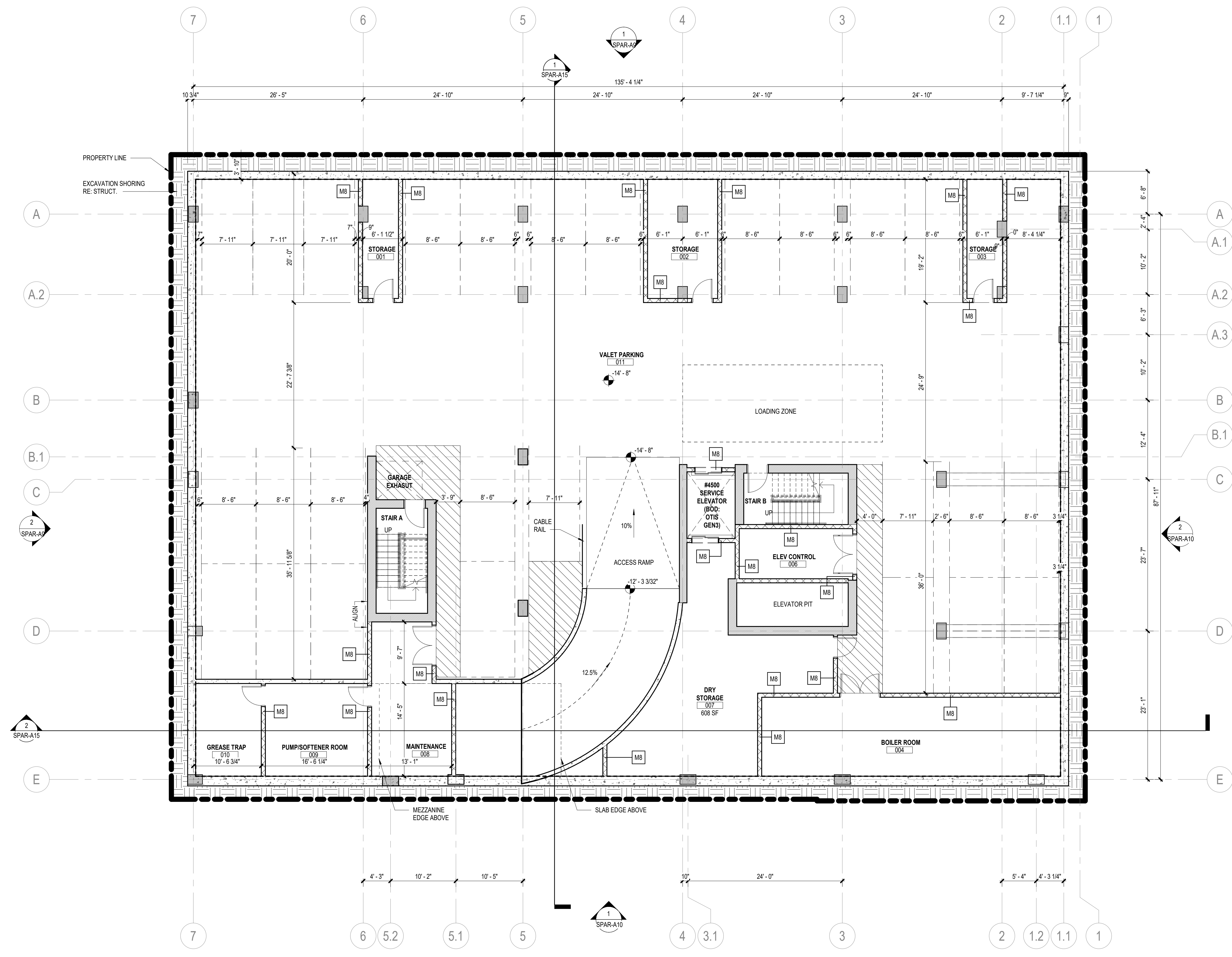
- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION
--------	-------------

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCH LINE
	SHEET REFERENCE
	KEYED NOTE
	KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG
	REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE. STRUCT.
	NEW DOOR WITH DOOR TAG REF. DOOR SCHED.
	NEW WINDOW WITH WINDOW MARK REF. GLAZING ELEVATIONS.
	COLUMN GRID DESIGNATIONS



1 FLOOR PLAN - BASEMENT LEVEL

SCALE: 1/8" = 1'-0"

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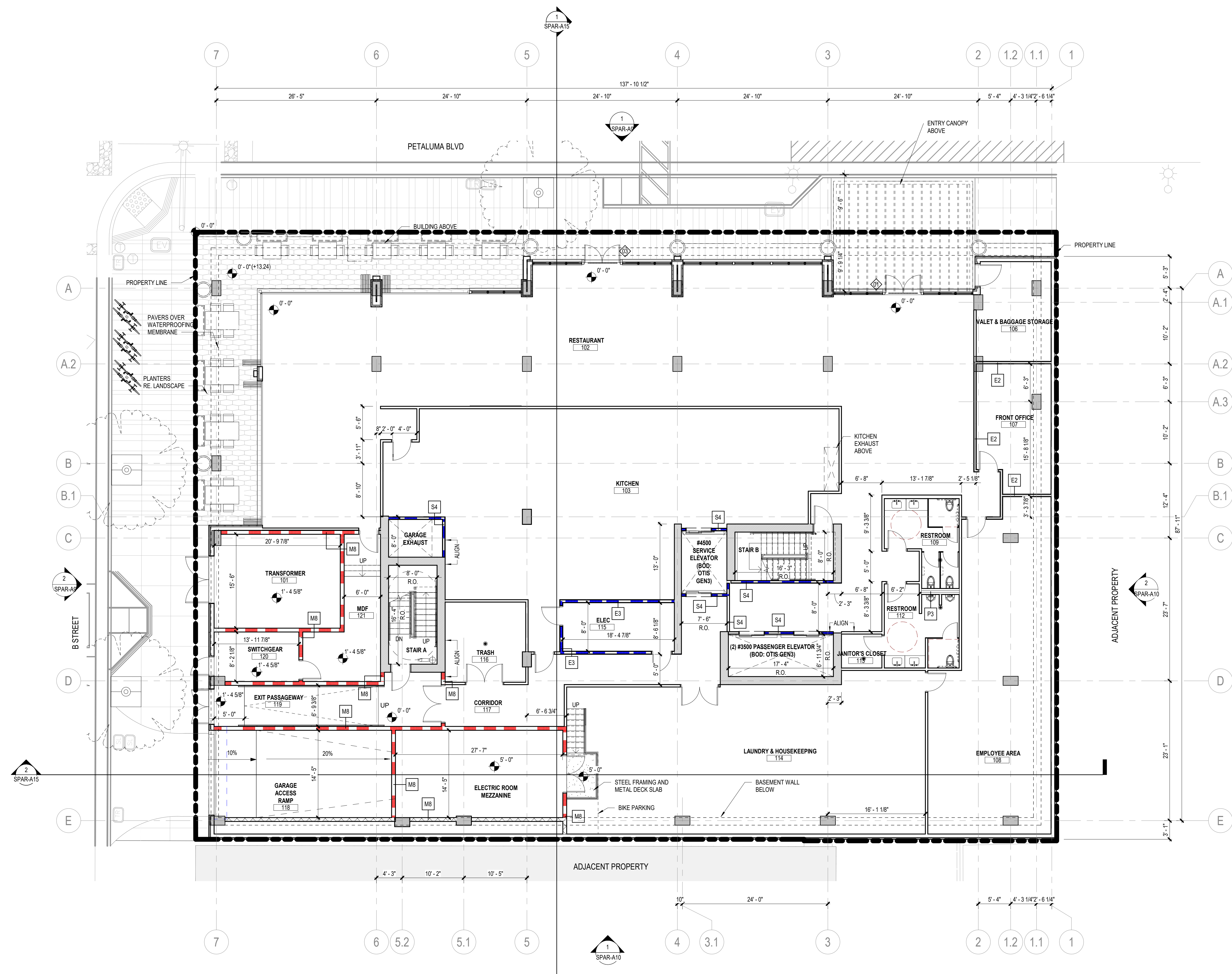
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1 FLOOR PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL - FLOOR PLAN - LEVEL 01

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FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION
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FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	REF 01 / A101 SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION 1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 1-HOUR FIRE-RATED SMOKE BARRIER 2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 2-HOUR FIRE-RATED SMOKE BARRIER 3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION SHEAR WALL - RE: STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

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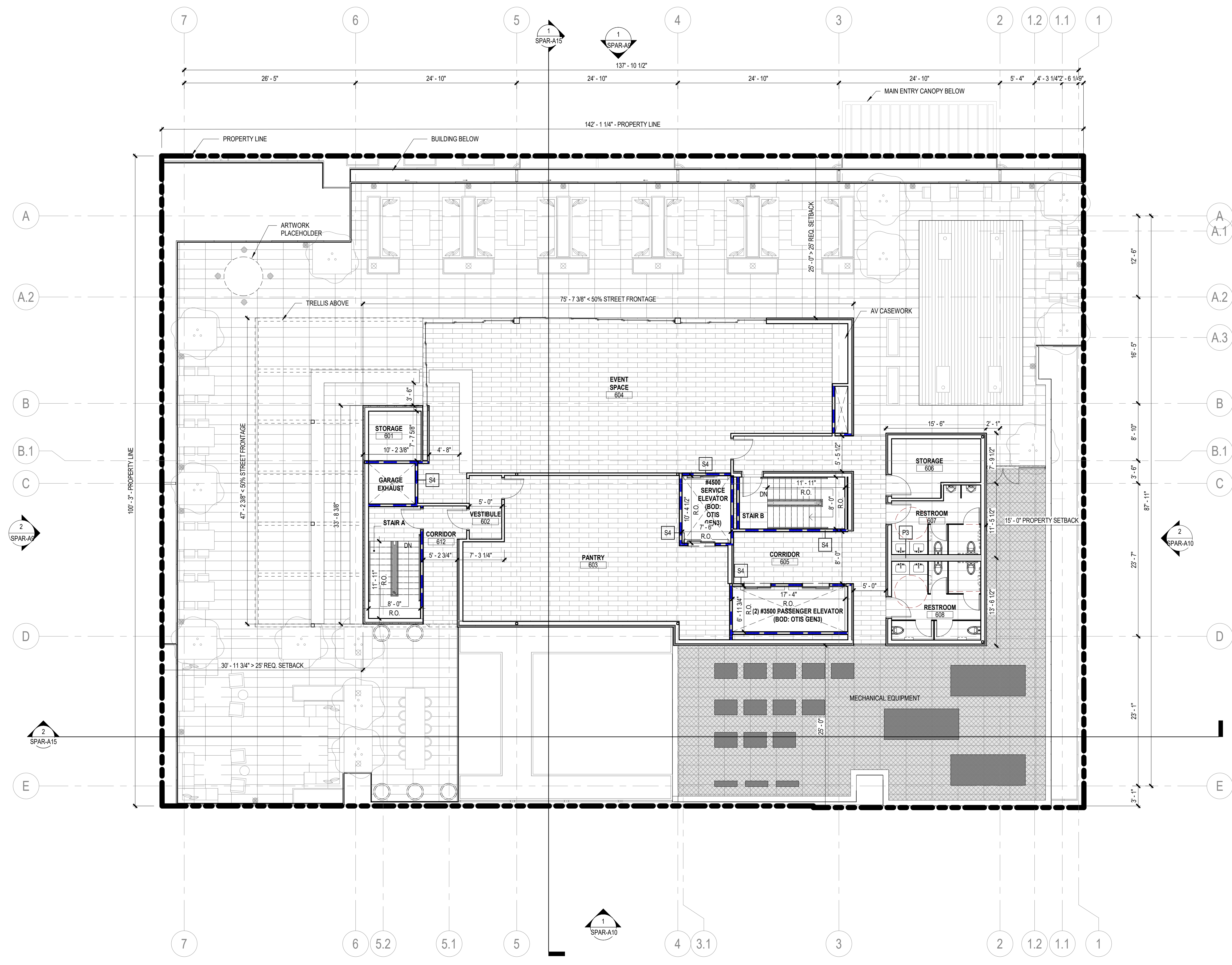
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ARCHITECTURAL - FLOOR PLAN - ROOFTOP LEVEL

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1 FLOOR PLAN - ROOFTOP PLAN
SCALE: 1/8" = 1'-0"

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FLOOR PLAN GENERAL NOTES

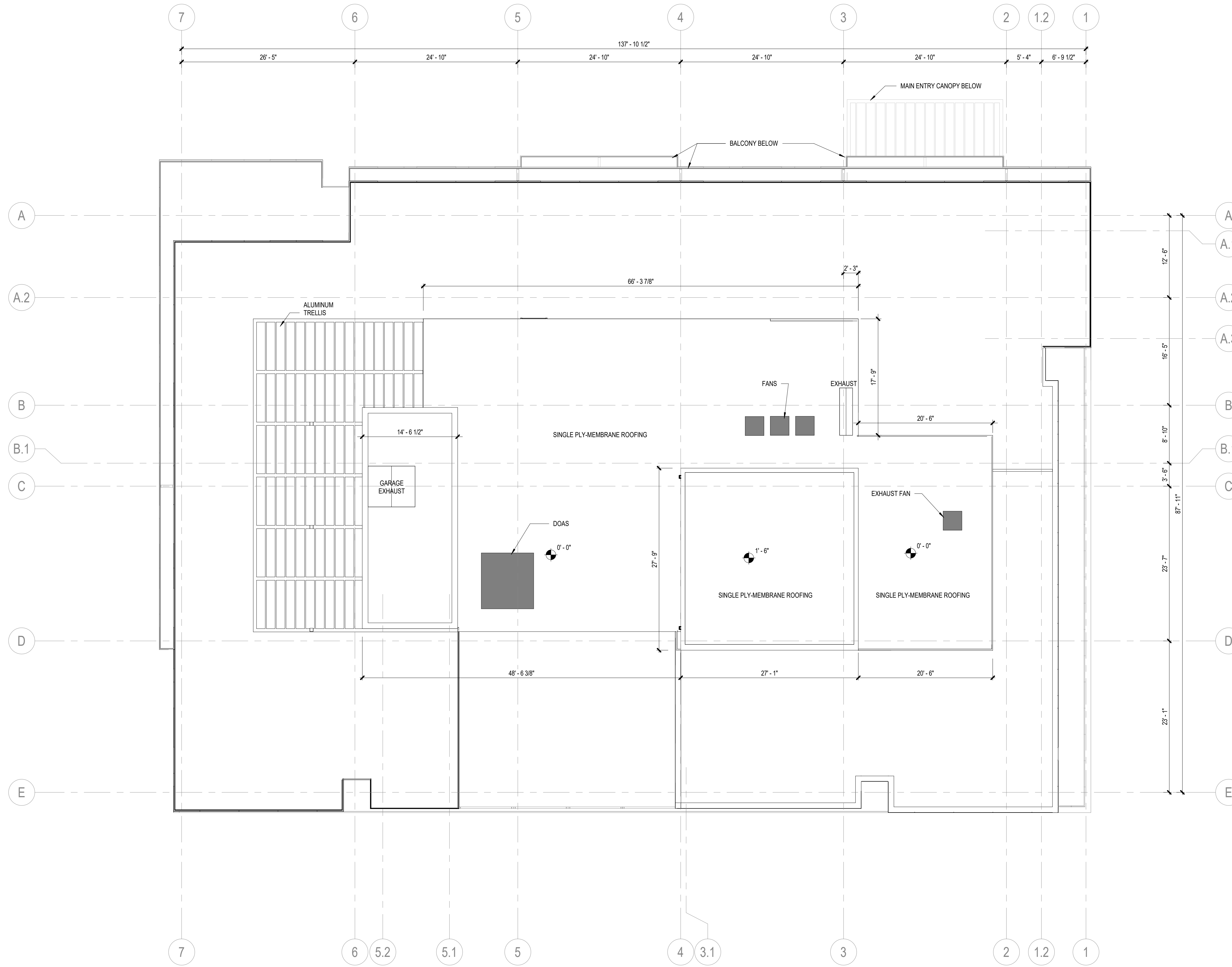
1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION
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FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION 1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 1-HOUR FIRE-RATED SMOKE BARRIER 2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 2-HOUR FIRE-RATED SMOKE BARRIER 3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE: STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS



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ARCHITECTURAL - FLOOR PLAN - TOP OF ROOF

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1 TOP OF ROOF
SCALE: 1/8" = 1'-0"

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Petaluma, California

EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION
1	CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
2	CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
3	CLADDING - PORCELANOSA - MAKER ROPE.
4	CLADDING - PORCELANOSA - MAKER SMOKE.
5	GLASS - CLEAR.
6	CUSTOM CUT METAL PANEL - BRONZE.
7	CLADDING - PORCELANOSA MANHATTAN COGNAC.
8	METAL - DARK BRONZE.
9	STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10	BOARD FORMED CONCRETE COLUMNS.
11	RAILING - STRUCTURAL GLASS.
12	DA - LIGHTING FIXTURE SCONCE - BLUE RENZO.
13	DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14	CLADDING - ALUMINUM WOODGRAIN.

WINDOW TYPE LEYEND

- TYPE 01: FIXED WINDOWS
- TYPE 02: STOREFRONT.
- TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT.
- TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT.
- TYPE 05: FULL HEIGHT ONE SLIDING PANEL.
- TYPE 06: SLIDING OPERABLE WALL.
- *ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
3. CLADDING - PORCELANOSA - MAKER ROPE.
4. CLADDING - PORCELANOSA - MAKER SMOKE.
5. GLASS - CLEAR.
6. CUSTOM CUT METAL PANEL - BRONZE.
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
8. METAL - DARK BRONZE.
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10. BOARD FORMED CONCRETE COLUMNS.
11. RAILING - STRUCTURAL GLASS.
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO.
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14. CLADDING - ALUMINUM WOODGRAIN.



2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



1 ELEVATION - MAIN ENTRY - NORTH
SCALE: 1/8" = 1'-0"

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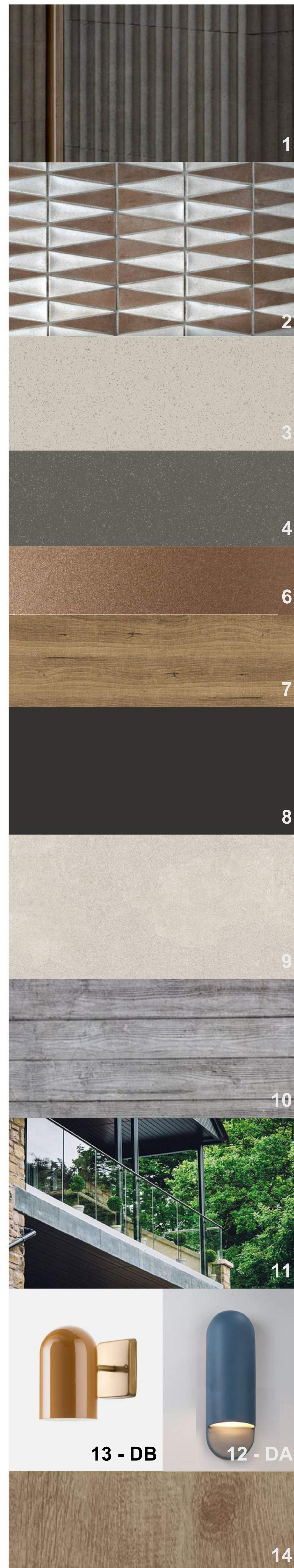
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SPAR-A9
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2 ARCHITECTURAL - EAST ELEVATIONS
SCALE: 1/8" = 1'-0"



1 ARCHITECTURAL - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION
--------	-------------

WINDOW TYPE LEYEND

- TYPE 01: FIXED WINDOWS
 - TYPE 02: STOREFRONT.
 - TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT.
 - TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT.
 - TYPE 05: FULL HEIGHT ONE SLIDING PANEL.
 - TYPE 06: SLIDING OPERABLE WALL.
- *ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
3. CLADDING - PORCELANOSA - MAKER ROPE.
4. CLADDING - PORCELANOSA - MAKER SMOKE.
5. GLASS - CLEAR.
6. CUSTOM CUT METAL PANEL - BRONZE.
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
8. METAL - DARK BRONZE.
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10. BOARD FORMED CONCRETE COLUMNS.
11. RAILING - STRUCTURAL GLASS.
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14. CLADDING - ALUMINUM WOODGRAIN.

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ARCHITECTURAL - EXTERIOR
ELEVATIONS

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 2 Petaluma Blvd South
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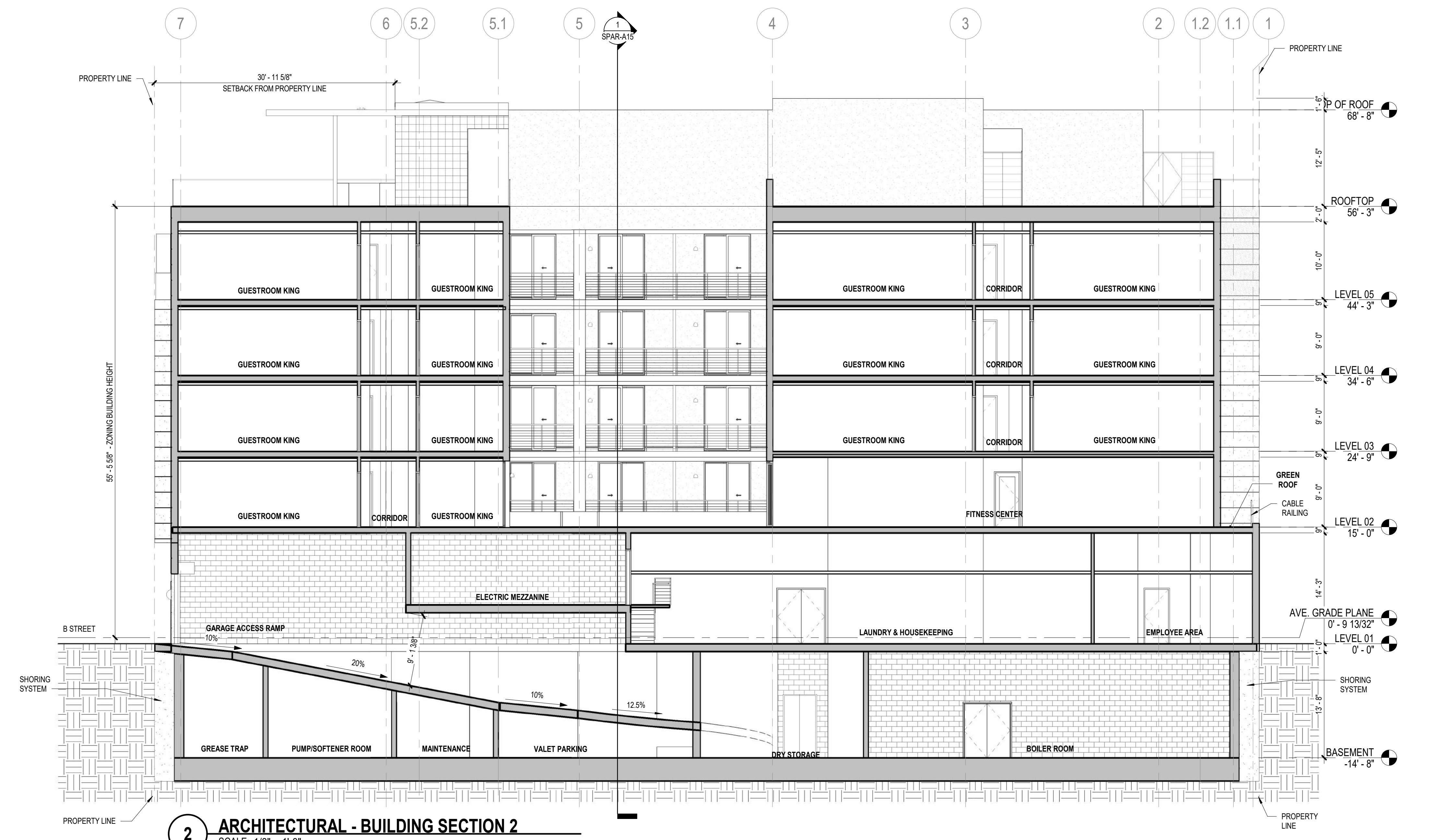
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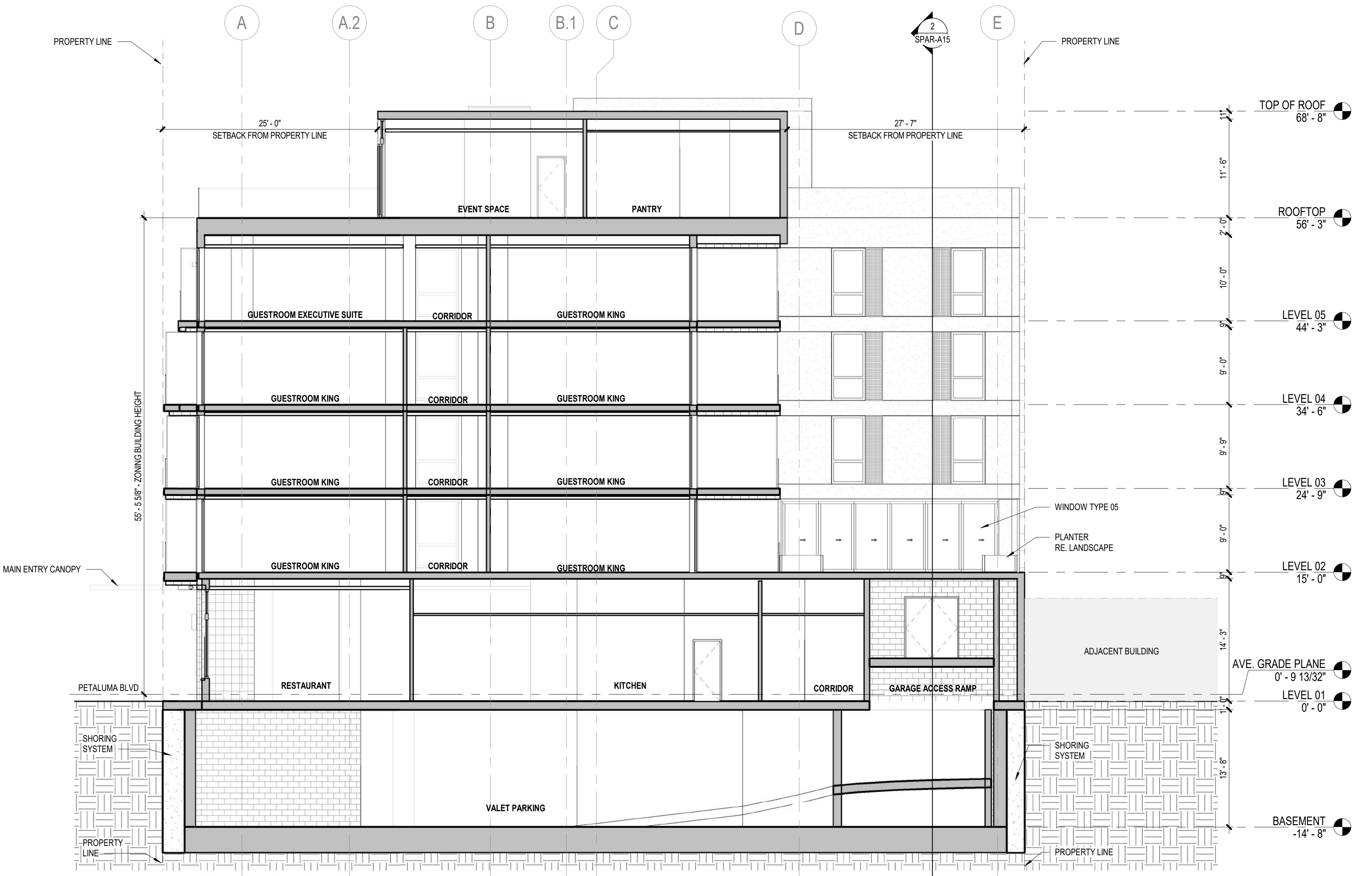
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---	---



2 ARCHITECTURAL - BUILDING SECTION 2
 SCALE: 1/8" = 1'-0"



1 ARCHITECTURAL - BUILDING SECTION 1
 SCALE: 1/8" = 1'-0"

EKN Petaluma LLC
HOTEL WEAVER
 2 Petaluma Blvd South
 Petaluma, California

REVISION HISTORY

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CEILING PLAN GENERAL NOTES

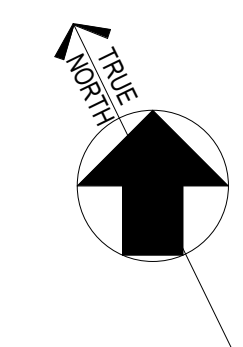
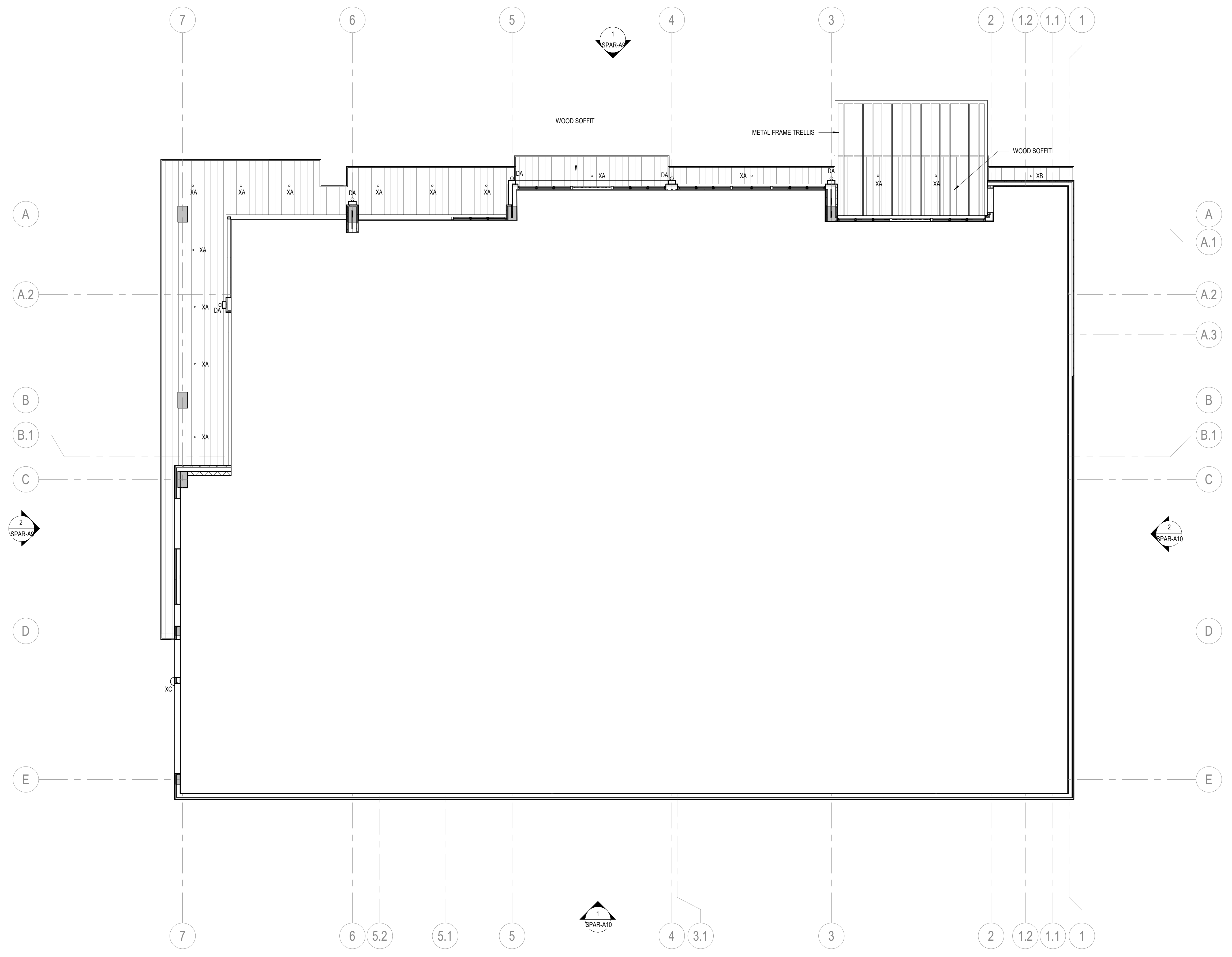
1. ALL CEILINGS HEIGHTS IN "CORRIDORSHALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
2. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
4. ALL 'CAN' LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILES.
5. ALL 'CAN' LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURRODOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
8. ALL CEILINGS HEIGHTS IN "TOILET ROOMS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
9. ALL CEILINGS HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.O.

KEYED NOTES

NUMBER	DESCRIPTION
A	
A.1	
A.2	
A.3	
B	
B.1	
C	
D	
E	

EXTERIOR CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
○	XA - EXTERIOR DOWNLIGHT
○	XB - EXTERIOR WALL WASHER
⊂	XC - EXTERIOR EGRESS SCOSCE
◊	DA - EXTERIOR SCOSCE A
◊	DB - EXTERIOR SCOSCE B
---	DC - LINEAR LIGHTING



EKN Petaluma LLC
HOTEL WEAVER
2 Petaluma Blvd South
Petaluma, California

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ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 01

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1 REFLECTED CEILING PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

CEILING PLAN GENERAL NOTES

1. ALL CEILING HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
2. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
4. ALL 'CAN' LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILES.
5. ALL 'CAN' LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURFDOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
8. ALL CEILING HEIGHTS IN "TOILET ROOMS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
9. ALL CEILING HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.O.

KEYED NOTES

NUMBER	DESCRIPTION
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EXTERIOR CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
○	XA - EXTERIOR DOWNLIGHT
○	XB - EXTERIOR WALL WASHER
D	XC - EXTERIOR EGRESS SCENCE
○	DA - EXTERIOR SCENCE A
○	DB - EXTERIOR SCENCE B
- - -	DC - LINEAR LIGHTING

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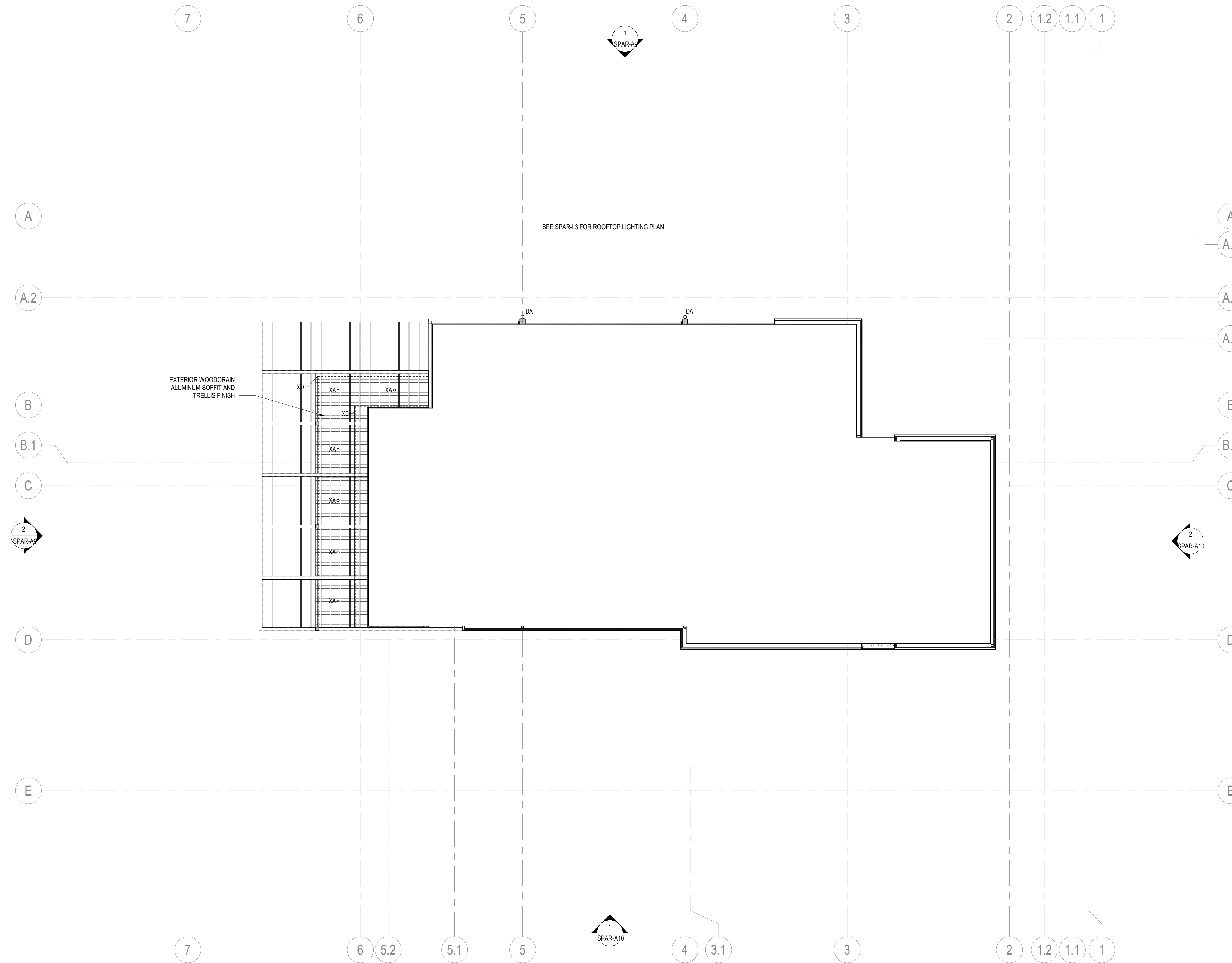
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 CEILING PLAN - ROOFTOP LEVEL

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