

## SPAR APPLICATION APRIL 8th, 2022 (AUGUST 26TH RESUBMISSION)

SPAR - INDEX OF DRAWINGS			
SHEET NO	SHEET TITLE	ISSUE DATE	REVISED DATE
SPAR			
SPAR-G0	GENERAL - COVER	08 APRIL 2022	24 JUNE 2022
SPAR-A1	ARCHITECTURAL - SITE PLAN	08 APRIL 2022	24 JUNE 2022
SPAR-A1.1	ARCHITECTURAL - SURVEY	08 APRIL 2022	24 JUNE 2022
SPAR-C1	CIVIL - CONCEPTUAL SITE PLAN	08 APRIL 2022	24 JUNE 2022
SPAR-L1	SITE LANDSCAPE PLAN - LEVEL 01	08 APRIL 2022	24 JUNE 2022
SPAR-L1.1	STREET PLAN	09 JUNE 2022	24 JUNE 2022
SPAR-L2	SITE LANDSCAPE PLAN - LEVEL 02	08 APRIL 2022	24 JUNE 2022
SPAR-L3	SITE LANDSCAPE PLAN - LEVEL 06	08 APRIL 2022	24 JUNE 2022
SPAR-L4	SITE LANDSCAPE MATERIALS	08 APRIL 2022	24 JUNE 2022
SPAR-A2.1	ARCHITECTURAL - HISTORIC ANALYSIS DIAGRAMS	08 APRIL 2022	24 JUNE 2022
SPAR-A2.2	ARCHITECTURAL - HISTORIC ANALYSIS DIAGRAMS	08 APRIL 2022	24 JUNE 2022
SPAR-A2.3	ARCHITECTURAL - HISTORIC ANALYSIS DIAGRAMS	08 APRIL 2022	24 JUNE 2022
SPAR-A2.4	ARCHITECTURAL - HISTORIC ANALYSIS DIAGRAMS	08 APRIL 2022	24 JUNE 2022
SPAR-A2.5	SHADOW STUDY	08 APRIL 2022	24 JUNE 2022
SPAR-A2.6	VIEW ANALYSIS	09 JUNE 2022	24 JUNE 2022
SPAR-A3	ARCHITECTURAL - MASSING ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A4	ARCHITECTURAL - SITE ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A5	ARCHITECTURAL - FLOOR PLAN - BASEMENT	08 APRIL 2022	24 JUNE 2022
SPAR-A6	ARCHITECTURAL - FLOOR PLAN - LEVEL 01	08 APRIL 2022	24 JUNE 2022
SPAR-A6.1	ARCHITECTURAL - FLOOR PLAN - LEVEL 02	08 APRIL 2022	24 JUNE 2022
SPAR-A6.2	ARCHITECTURAL - FLOOR PLAN - LEVEL 03	08 APRIL 2022	24 JUNE 2022
SPAR-A6.3	ARCHITECTURAL - FLOOR PLAN - LEVEL 04	08 APRIL 2022	24 JUNE 2022
SPAR-A6.4	ARCHITECTURAL - FLOOR PLAN - LEVEL 05	08 APRIL 2022	24 JUNE 2022
SPAR-A7	ARCHITECTURAL - FLOOR PLAN - ROOFTOP LEVEL	08 APRIL 2022	24 JUNE 2022
SPAR-A8	ARCHITECTURAL - ROOF PLAN	08 APRIL 2022	24 JUNE 2022
SPAR-A9	ARCHITECTURAL - EXTERIOR ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A10	ARCHITECTURAL - EXTERIOR ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A11	ARCHITECTURAL - EXTERIOR ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A12	ARCHITECTURAL - EXTERIOR ELEVATIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A13	ARCHITECTURAL - RENDERINGS	08 APRIL 2022	24 JUNE 2022
SPAR-A14	ARCHITECTURAL - RENDERINGS	08 APRIL 2022	24 JUNE 2022
SPAR-A15	ARCHITECTURAL - BUILDING SECTIONS	08 APRIL 2022	24 JUNE 2022
SPAR-A16	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 01	08 APRIL 2022	24 JUNE 2022
SPAR-A16.1	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 02	08 APRIL 2022	24 JUNE 2022

SPAR - INDEX OF DRAWINGS			
SHEET NO	SHEET TITLE	ISSUE DATE	REVISED DATE
SPAR-A16.2	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 03	08 APRIL 2022	24 JUNE 2022
SPAR-A16.3	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 04	08 APRIL 2022	24 JUNE 2022
SPAR-A16.4	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 05	08 APRIL 2022	24 JUNE 2022
SPAR-A17	ARCHITECTURAL - REFLECTED CEILING PLAN - ROOFTOP LEVEL	08 APRIL 2022	24 JUNE 2022
SPAR-A18	PHOTOMETRIC PLAN - SITE	08 APRIL 2022	24 JUNE 2022
SPAR-A19	PHOTOMETRIC PLAN - ROOF	08 APRIL 2022	24 JUNE 2022
SPAR-A20	ARCHITECTURAL - EXTERIOR SIGNAGE DETAILS	08 APRIL 2022	24 JUNE 2022
Grand total: 41			

### PROJECT INFORMATION

<b>PROJECT ADDRESS:</b>	2 PETALUMA BLVD NORTH PETALUMA, CALIFORNIA	
<b>OCCUPANCY TYPE:</b>	A-2 RESTAURANTS R-1 HOTEL GUESTROOMS S-2 PARKING	
<b>APN:</b>	I-A	
<b>CONSTRUCTION TYPE:</b>	I-A	
<b>NUMBER OF STORIES:</b>	FIVE STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE.	
<b>BUILDING HEIGHT ABOVE GRADE:</b>	67'-10"	
<b>SITE AREA:</b>	14,256 sf	
<b>FAR:</b>	4.55	
<b>PROJECT AREA:</b>	Gross	Net
Basement	13,100	
Parking		9174
Storage		1286
MEP		1062
Ground Floor	12,727	
Restaurant		2308
outdoor seating		901
Kitchen		1832
MEP		1142
trash		176
Hotel		1460
boh		3213
Level 2	12,117	
Guest		8860
Fitness		1283
Balc		508
Terrace		898
Admin		1050
Level 3	12,117	
Guest		9323
Balc		508
Level 4	12,117	
Guest		9323
Balc		508
Level 5	11,502	
Guest		8700
Balc		988
Level 6	4,220	
Event		1372
Pantry		967
Terrace		5514

### GUESTROOM SCHEDULE

LEVEL	NAME	COUNT
LEVEL 02		
LEVEL 02	GUESTROOM KING	15
LEVEL 02	GUESTROOM QUEEN	4
LEVEL 02	GUESTROOM SUITE	1
		20
LEVEL 03		
LEVEL 03	GUESTROOM DOUBLE QUEEN	1
LEVEL 03	GUESTROOM KING	20
LEVEL 03	GUESTROOM KING ADA	1
LEVEL 03	GUESTROOM QUEEN	4
LEVEL 03	GUESTROOM SUITE	1
		27
LEVEL 04		
LEVEL 04	GUESTROOM DOUBLE QUEEN	1
LEVEL 04	GUESTROOM KING	20
LEVEL 04	GUESTROOM KING ADA	1
LEVEL 04	GUESTROOM QUEEN	4
LEVEL 04	GUESTROOM SUITE	1
		27
LEVEL 05		
LEVEL 05	GUESTROOM BRIDAL SUITE	1
LEVEL 05	GUESTROOM DELUXE SUITE	1
LEVEL 05	GUESTROOM DOUBLE QUEEN	1
LEVEL 05	GUESTROOM EXECUTIVE SUITE	4
LEVEL 05	GUESTROOM KING	11
LEVEL 05	GUESTROOM KING ADA	1
		19
TOTAL		93

### GUESTROOM QUANTITY

GUESTROOM TYPE	COUNT
GUESTROOM BRIDAL SUITE	1
GUESTROOM DELUXE SUITE	1
GUESTROOM DOUBLE QUEEN	3
GUESTROOM EXECUTIVE SUITE	4
GUESTROOM KING	66
GUESTROOM KING ADA	3
GUESTROOM QUEEN	12
GUESTROOM SUITE	3
	93

Total Above Grade Gross (shafts not removed)	64,800
Land area	14,256
FAR	4.55
Site coverage	100%
Keys	93
Building Height (max to top of event roof from ave grade)	67'-10"



# HOTEL WEAVER

2 Petaluma Blvd South  
Petaluma, California



**Page Southerland Page, Inc.**  
414 Jackson Street, 4th Floor  
San Francisco, CA 94111  
pagethink.com

TEL 415.249.0130  
FAX 415.249.0132

ARCHITECTURE / ENGINEERING / INTERIORS / PLANNING / CONSULTING  
Albuquerque / Austin / Dallas / Denver / Dubai / Houston / Mexico City / Phoenix / San Francisco / Washington DC / International Affiliate Offices

**STRUCTURAL**  
BUEHLER  
444 Flower St 3800  
Los Angeles, CA  
90071  
323 536 2362

**LANDSCAPE**  
BRIGHTVIEW  
8 Hughes  
Ste. 150  
Irvine, CA, 4900  
949 238 4900

**FF&E**  
DH-COMPANIES  
7591 Coppermine Drive  
Manassas, VA  
20109  
703 520 1885

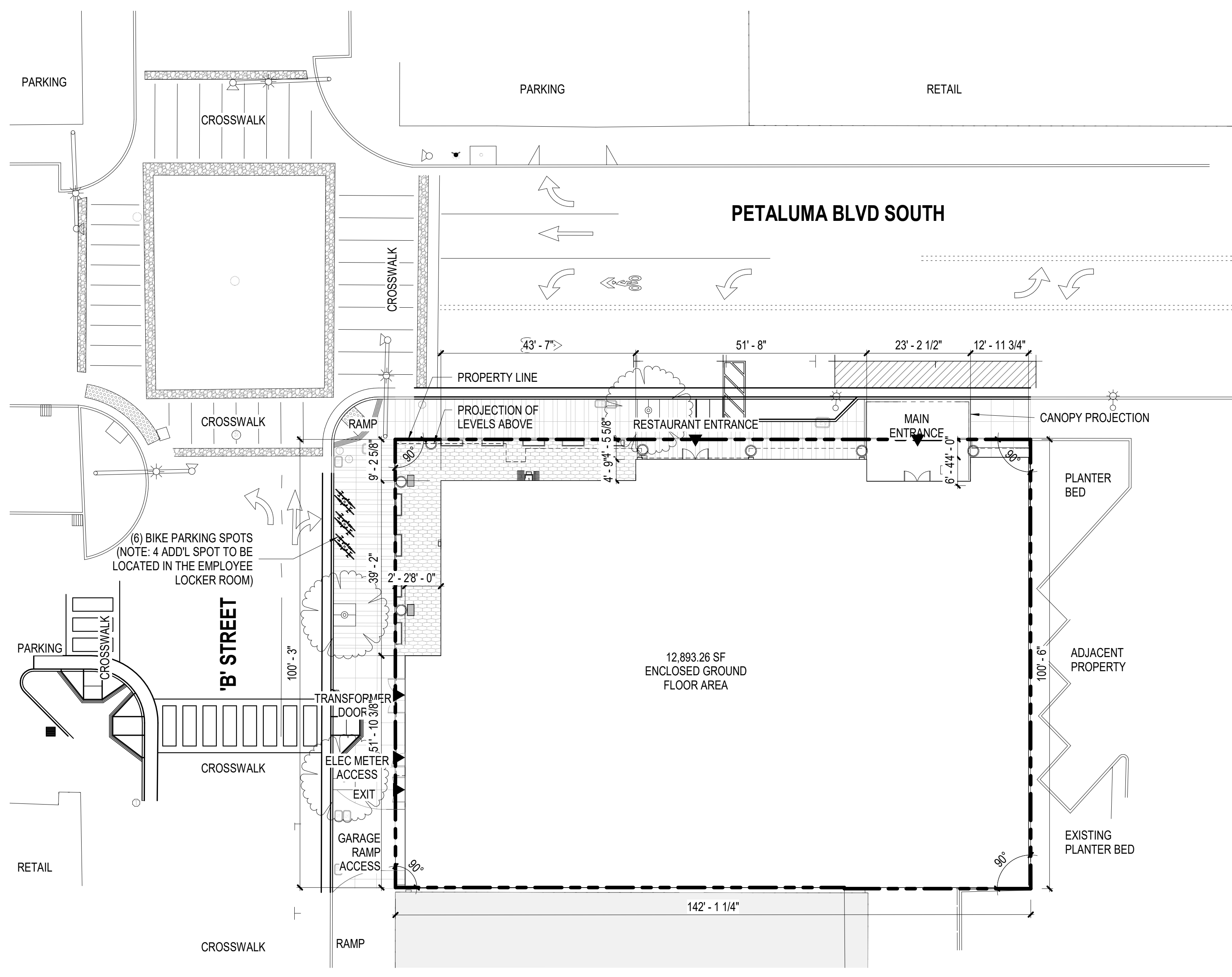
**MEP**  
INTERACE ENGINEERING  
601 South Figueroa St  
Suite 2750  
Los Angeles, CA 90017  
213 694 3408

**CIVIL**  
N CONSULTENG  
4 Park Plz  
Irvine, CA  
92614  
949 396 1161

**INTERIOR**  
SIXTEEN-FIFTY  
7509 Girard Ave.  
La Jolla, CA  
92037  
858 454 6909

## FOR REVIEW ONLY

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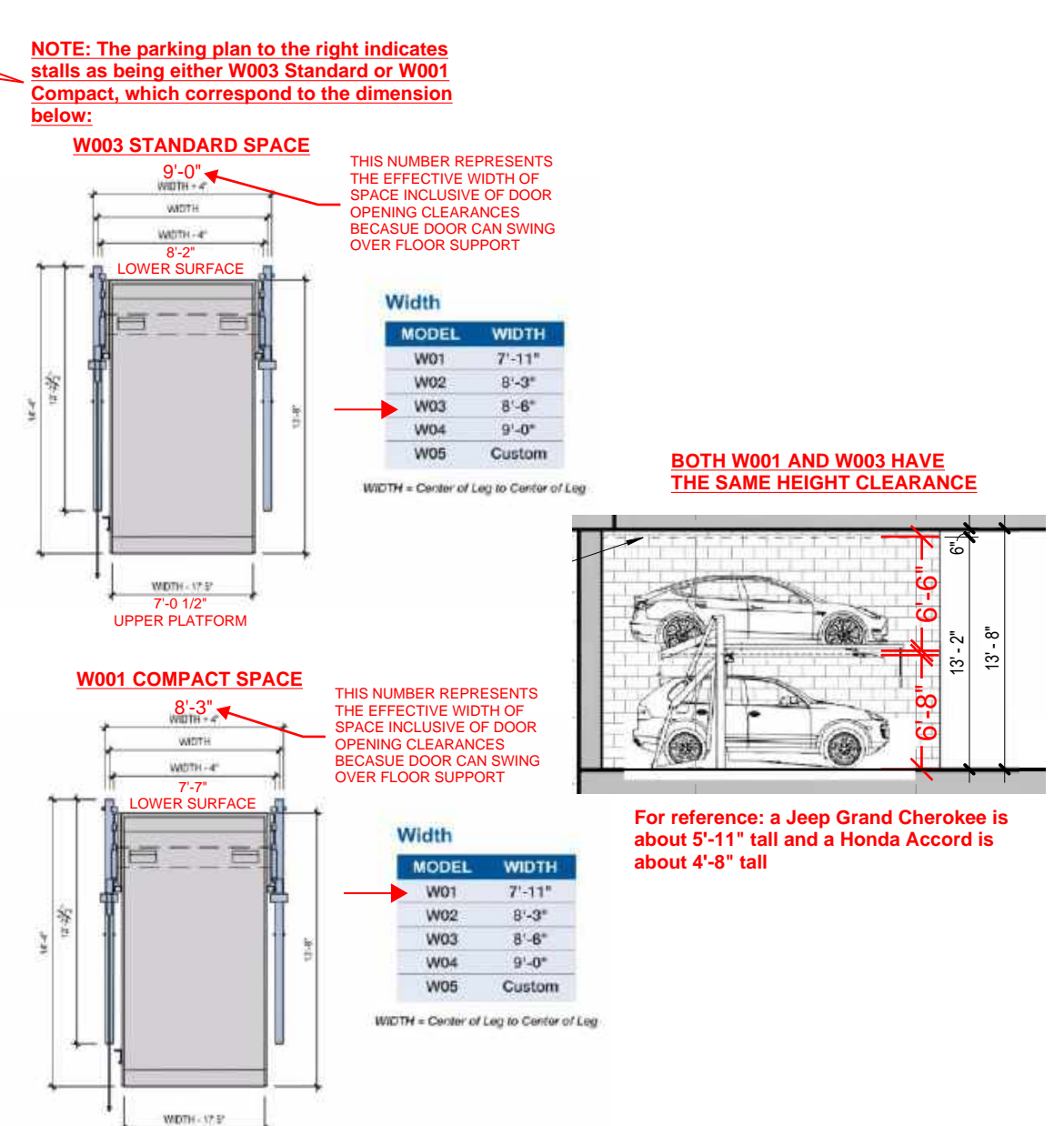
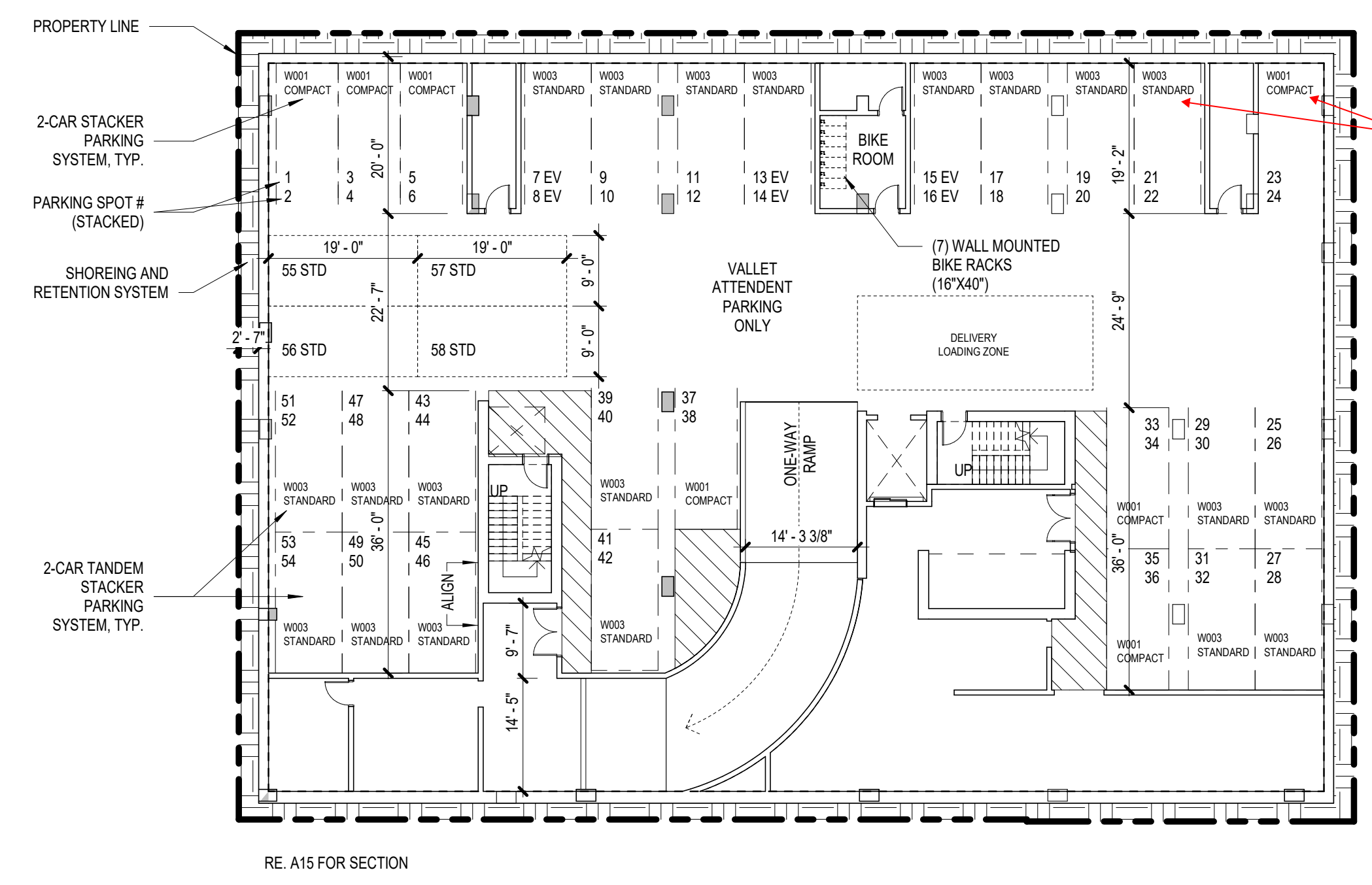
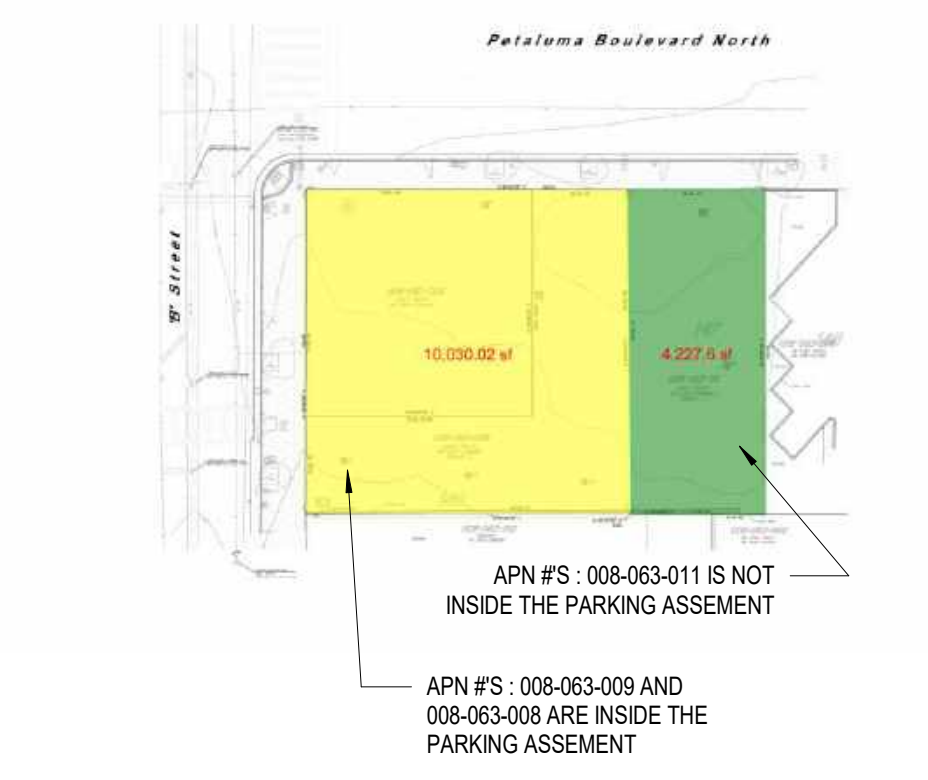


**PARKING TABULATIONS:**

Parking requirements per Table 11.1 and parking assessment district ratio reduction

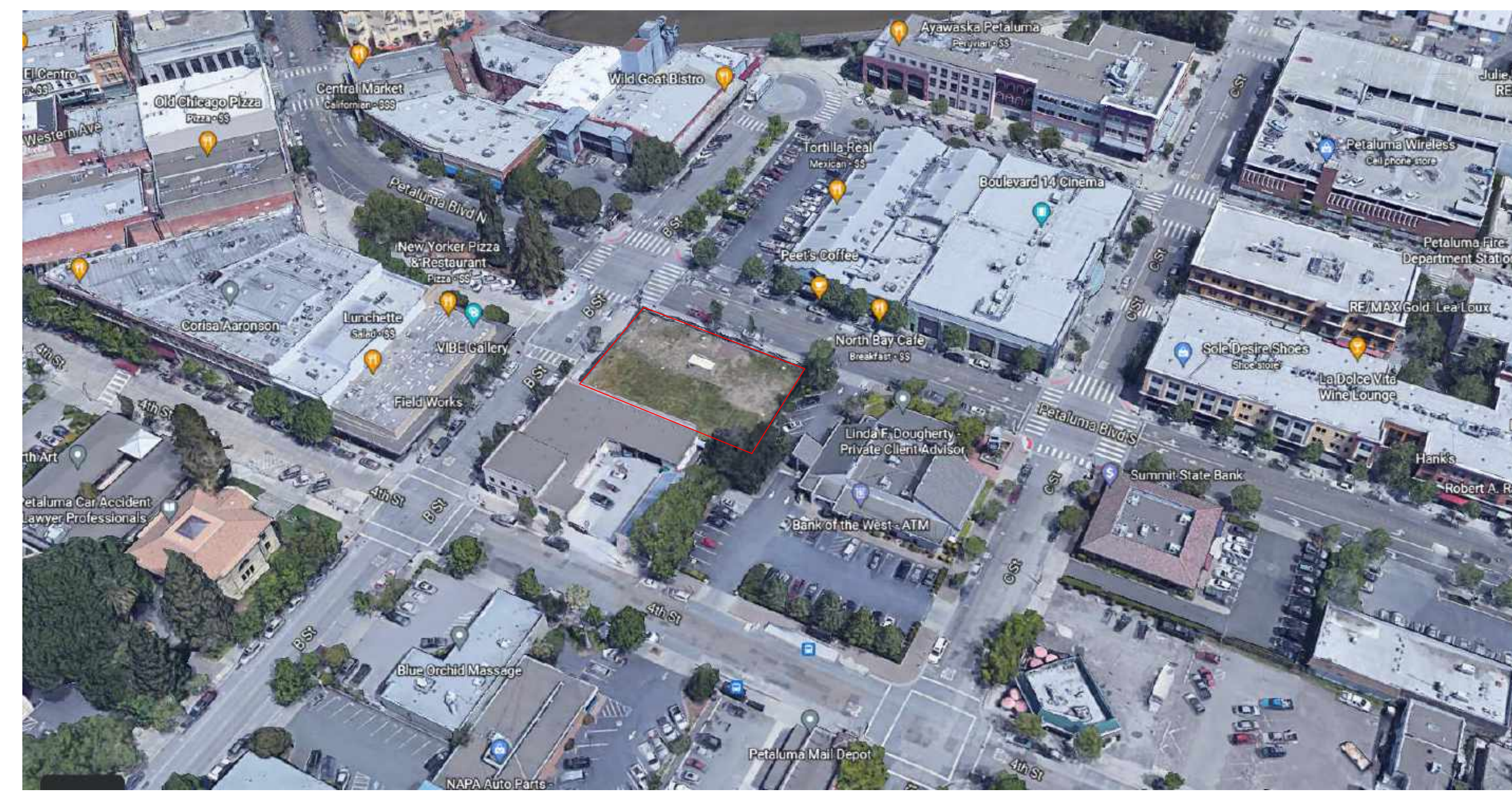
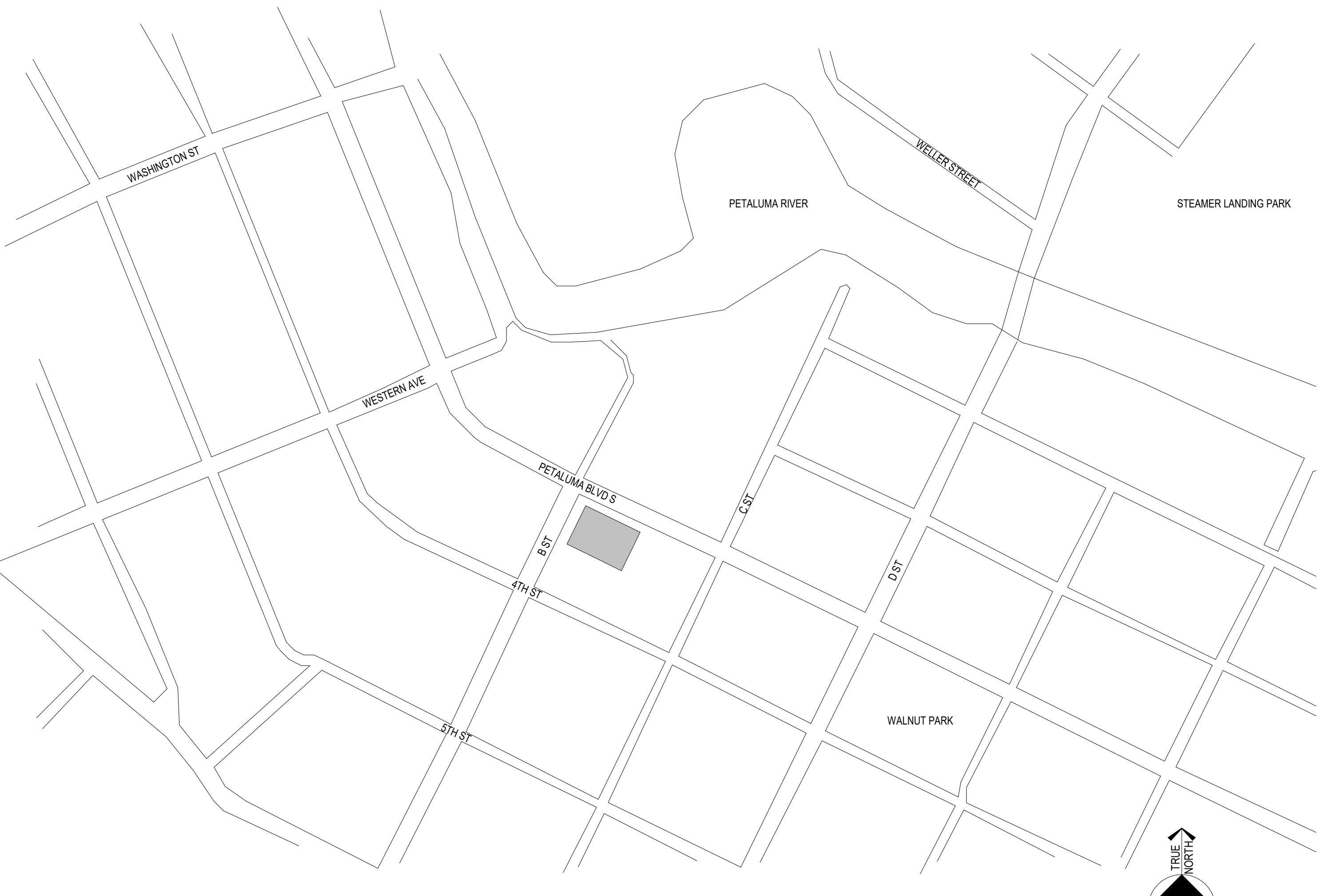
Restaurant 133 seats = (133)(2.3) = 54 spaces  
 Guest room 93 keys + 1 manager = 94 spaces  
 Rooftop Bar 60 seats = (60)(2.5) = 24 spaces  
 Event Space 1372 sf = (1372)(0.8) = 23 spaces

Total = 195 spaces \* 29.65% (rate ratio) = 58 spaces required  
**83 spaces provided (14 compact)**



2 ARCHITECTURAL - SITE  
SCALE: 1/16" = 1'-0"

1 UNDERGROUND PARKING PLAN  
SCALE: 1/16" = 1'-0"



Page Southland Page, Inc.  
414 Jackson Street, 4th Floor  
San Francisco, CA 94111  
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Fax: 415 249 0132

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**MEP**  
INTERFACE ENGINEERING  
601 South Figueroa Street  
Suite 2750  
Los Angeles CA 90017  
323 536 2362

**LANDSCAPE BRIGHTVIEW DESIGN GROUP**  
1645 Grant Street  
Denver, Colorado 80203  
Address Line 3  
949 238 4900

**STRUCTURE**  
BUHLER ENGINEERING  
5 Third Street  
Suite 1125  
San Francisco, CA 94103  
213 694 3408

**FF&E DH-COMPANIES**  
7591 Coppermine Drive  
Manassas, VA 20109

**INTERIORS SIXTEEN FIFTY**  
7509 Girard Ave  
La Jolla, CA 92037  
888 454 6909

**CIVIL N CONSULTING ENGINEERS**  
4 Park Plz  
Irvine, CA 92614  
949 399 1161

**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	SPAR REVISION	24 JUN 2022

PROFESSIONAL SEALS

**INTERIM REVIEW**  
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF  
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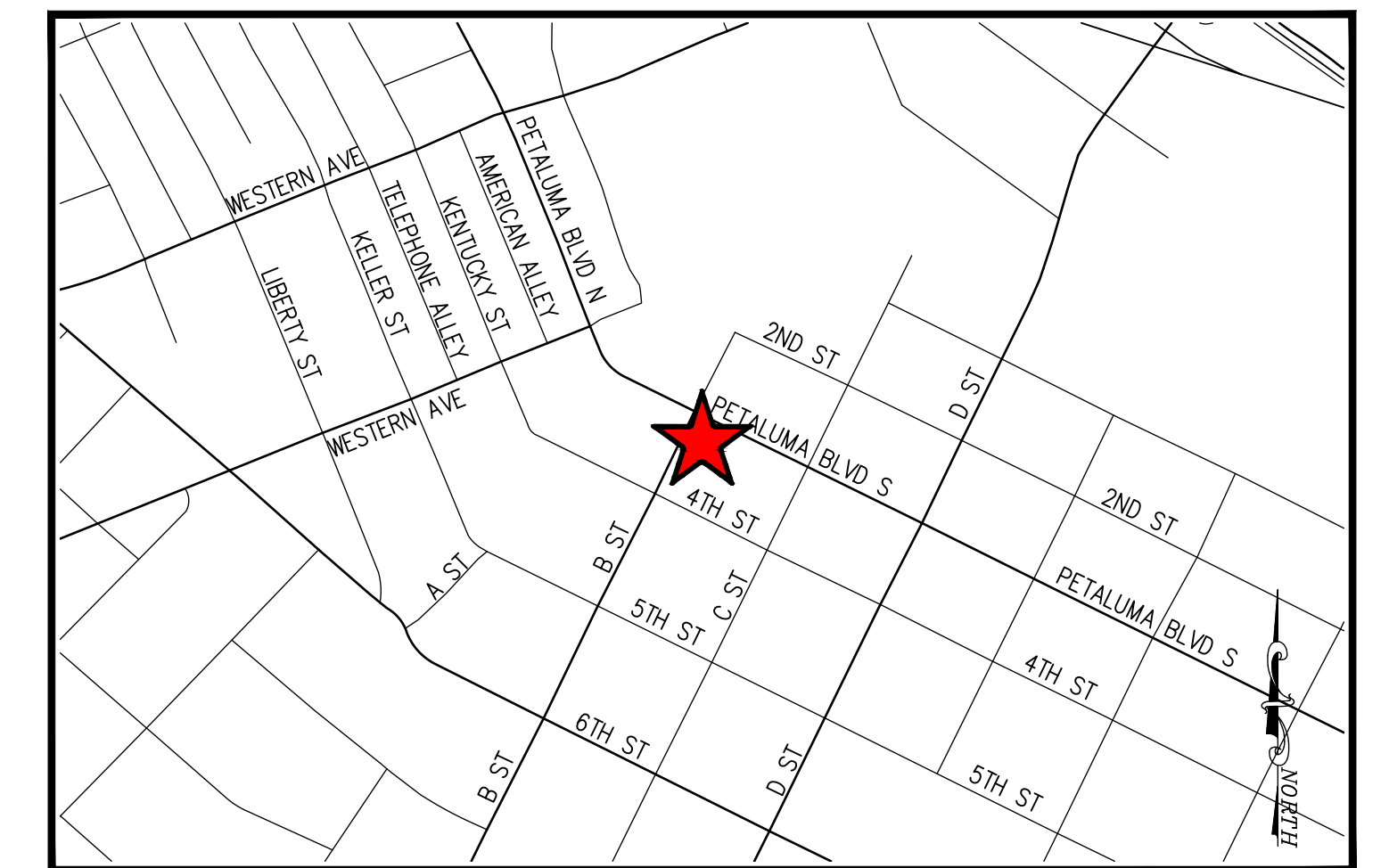
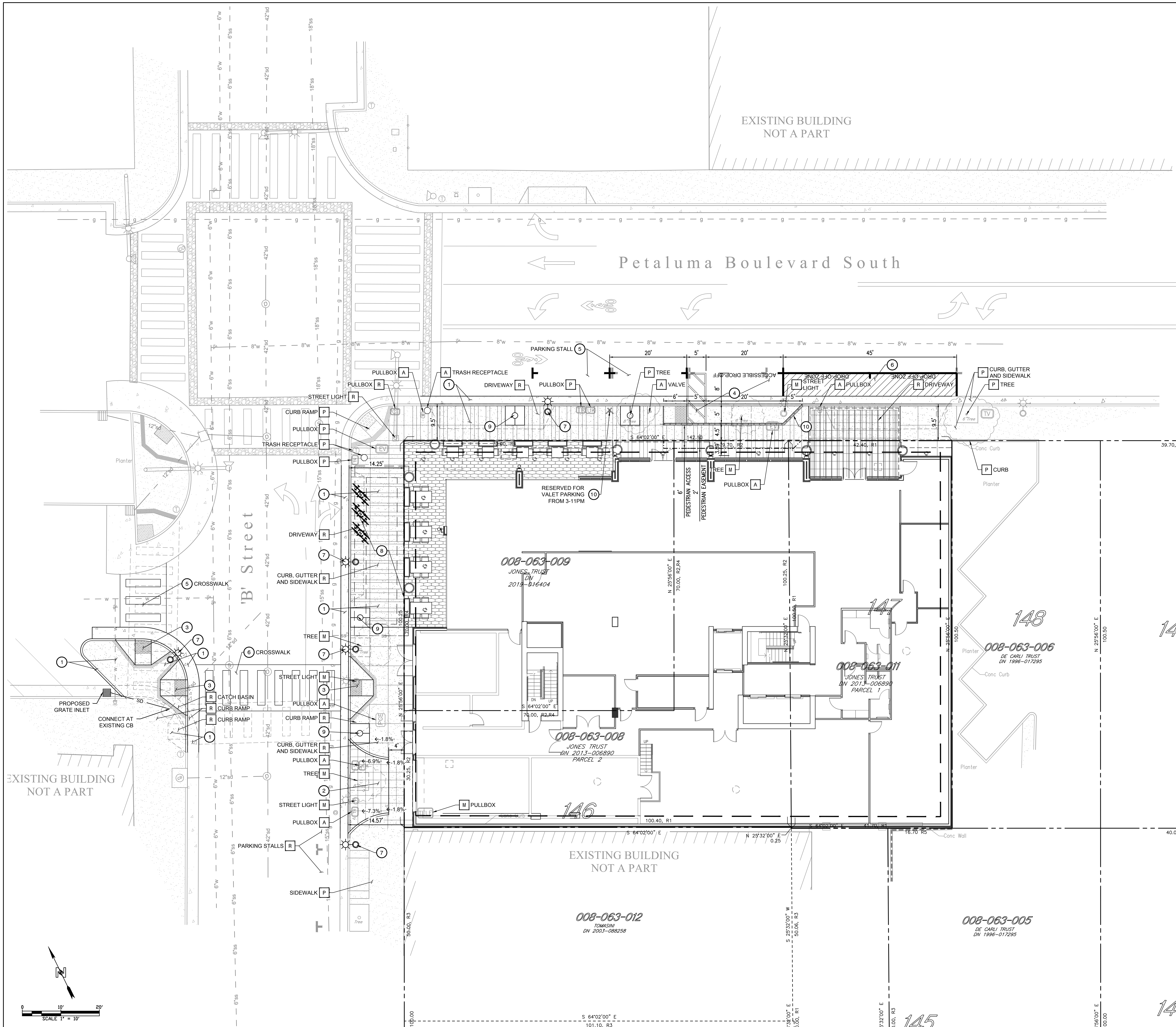
ARCHITECTURAL - SITE PLAN

DRAWN BY Author	CHECKED BY Checker
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 APRIL 2022

FILE PATH: C:\Users\vgonzalez\OneDrive - Page\Documents\621010-A-Petaluma-R21-CENTRAL\_vgonzalez27175.rvt  
 USER NAME: vgonzalez  
 DATE/TIME: 6/24/2022 1:04:08 PM



NOT FOR CONSTRUCTION



VICINITY MAP  
SCALE: 1" = 500'

<b>PROJECT TEAM</b>	
<b>OWNER / DEVELOPER</b> EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660 CONTACT: MIKE JOLLY PHONE: 310.776.0621	<b>ARCHITECT</b> PAGE SOUTHERLAND PAGE, INC 414 JACKSON STREET, 4TH FLOOR SAN FRANCISCO, CA 94111 CONTACT: SAM GELFAND PHONE: 415.249.0130
<b>CIVIL ENGINEER</b> N CONSULTING ENGINEERS, INC. 4 PARK PLAZA, SUITE 1750 IRVINE, CA 92614 CONTACT: DEREK KARIMOTO P.E., QSD PHONE: 714.514.8858	<b>LANDSCAPE ARCHITECT</b> BRIGHTVIEW 8 HUGHES, STE. 150 IRVINE, CA 92614 CONTACT: MATT DUNCAN PHONE: 949.396.1161
<b>STRUCTURAL</b> BUEHLER 444 FLOWER ST 3800 LOS ANGELES, CA 90071 CONTACT: PHONE: 323.536.2362	<b>MEP</b> INTERFACE ENGINEERS, INC 401 SOUTH FIGUEROA STREET, SUITE 2750 LOS ANGELES, CA 90017 CONTACT: EUGENE DE SOUZA PHONE: 213.694.3498

PROJECT DATA	
APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94952
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COMBINING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,266 SF [0.327 ACRES]

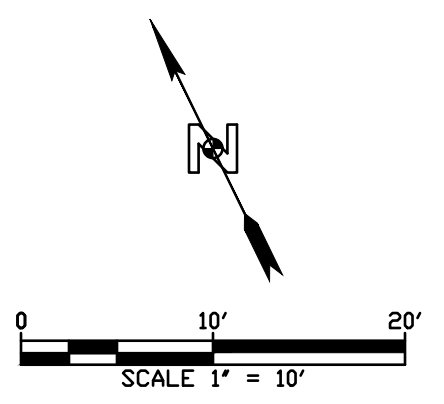
DEMOLITION NOTES	
[A] ADJUST TO GRADE.	EA
[M] MOVE OR RELOCATE.	EA
[P] PROTECT IN PLACE.	EA
[R] REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES	
1. CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2. CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3. CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4. CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5. STRIPE IN-KIND.	LF
6. PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45' @ 3" O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF
7. INSTALL RELOCATED STREET LIGHT PER CITY OF PETALUMA STANDARD DETAIL 611.	EA
8. INSTALL STORM WATER DETENTION SYSTEM.	EA
9. CONSTRUCT TREE WELL PER LANDSCAPE PLANS.	EA
10. INSTALL HANDRAIL.	LF
11. INSTALL SIGN POST AND SIGNAGE.	EA

LEGEND	
---	PROPERTY LINE
---	EXCAVATION LIMITS
---	SAWCUT LINE
g	EXISTING GAS
sd	EXISTING STORM DRAIN
ss	EXISTING SANITARY SEWER
w	EXISTING WATER
---	PEDESTRIAN EASEMENT

EARTHWORK:	
CUT:	7136 C.Y.
FILL:	0 C.Y.
IMPORT:	0 C.Y.
EXPORT:	7136 C.Y.

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.



NO.	DATE	REVISION DESCRIPTION	BY	DATE

**DIGALERT**  
DIAL TOLL FREE  
**811**  
AT LEAST TWO DAYS BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

**NOTICE TO CONTRACTOR:**  
1. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.  
2. N CONSULTING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF N CONSULTING.

**BENCH MARK**  
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.  
**BASIS OF BEARINGS**  
192 MAPS 26, SCR.

**N CONSULTING ENGINEERS**  
4 Park Plaza, Suite 1750  
Irvine, CA 92614  
PHONE: 949.396.1161  
www.nconsulting.com

DEREK H. KARIMOTO  
2022-08-26

**PROFESSIONAL SEAL**  
No. 42556  
Exp. 3/31/24  
CIVIL  
STATE OF CALIFORNIA

PROJECT ADDRESS:  
2 PETALUMA BLVD  
PETALUMA, CA 94952

SITE:  
EKN PETALUMA HOTEL

TITLE:  
CONCEPTUAL SITE PLAN

ISSUE:  
SPAR APPLICATION SUBMITTAL - 2022-08-26

SCALE AT D:  
1" = 10'

DATE:  
8/26/2022

PROJECT NO:  
21-002

SHEET:  
SPAR C1

DRAWN:	S.S.	DATE:	8/26/2022	PROJECT NO.:	21-002
CHECKED:	D.H.K.	REV. COUNT:	1	SHEET:	SPAR C1

P:\21-002 EKN Petaluma Hotel\Drawings\Prelim\21002C10-CSP.rvt Aug 26, 2022 - 2:18pm

EKN Petaluma LLC  
 Petaluma Hotel  
 2 Petaluma Blvd North  
 Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.  
 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND  
 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:  
 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND  
 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST, WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET-BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICCI 802.2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTING AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
<b>PAVING</b>	
P1	CLIP CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND, MORTAR SET)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR, MORTAR SET)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, MORTAR SET)
<b>PLANTERS</b>	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
<b>SITE FURNISHINGS</b>	
SF1	BIKE RACK "Formo-Surface Bike Rack Body" (METAL, 2 BICYCLES)
SF2	TREE GRATE (METAL, 5' X 5')
<b>SITE LIGHTING</b>	
L3	STREET/PEDESTRIAN LIGHT
L4	DOWNLIGHT
L5	WALL SCONCE

PRELIMINARY WATER CALCULATIONS

Reference	Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting Descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (ETAF)
LOW	0.3	Drip	0.91	0.37
MEDIUM	0.5	Drip	0.81	0.42
HIGH	0.7	Drip	0.81	0.56
			1	0.90
Regular Landscape Area Totals:			1,523	604
Special Landscape Area				
Special Landscape Area Totals:			0	0
ETWU Total:				14,819
Maximum Allowed Water Allowance (MAWA)				16,827
Over All Landscape Area Totals:			1,523	MAWA Total: 16,827

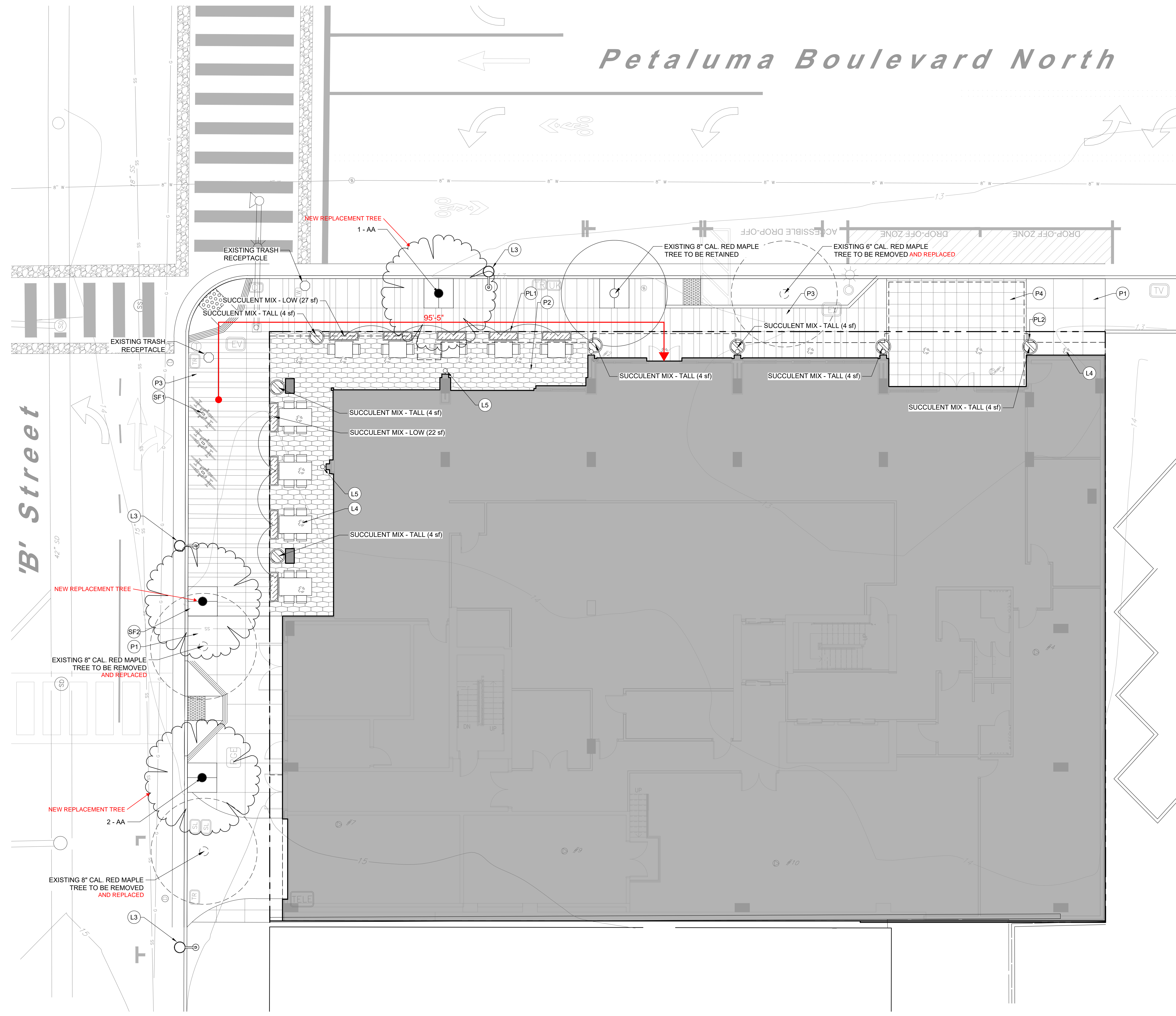
**ETAF Calculations**

Regular Landscape Area	All Landscape Area (including special landscape area)
Total ETAF x Area	604
Total Area	1,523
Average ETAF	0.40
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.	

**MAWA VS. ETWU**

PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	ADE	8	AEONIUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	10	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	10	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	38	SEMPERIVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	5	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	8	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
	ABG	6	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	21	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	21	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.



SITE LANDSCAPE PLAN - LEVEL 01



REVISION HISTORY

NO.	REVISION	DATE
1	SPAR REVISION	24 JUN 2022

PROFESSIONAL SEALS

REVISION	DESCRIPTION	DATE

SITE LANDSCAPE PLAN - LEVEL 01

DRAWN BY	CHECKED BY

PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH

ORIGINAL ISSUE	DATE
SPAR APPLICATION	04/04/2022

SPAR L1  
 SHEET NUMBER



EKN Petaluma LLC  
Petaluma Hotel  
2 Petaluma Blvd North  
Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL MIXES MUST BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
  - 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND
  - 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
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10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

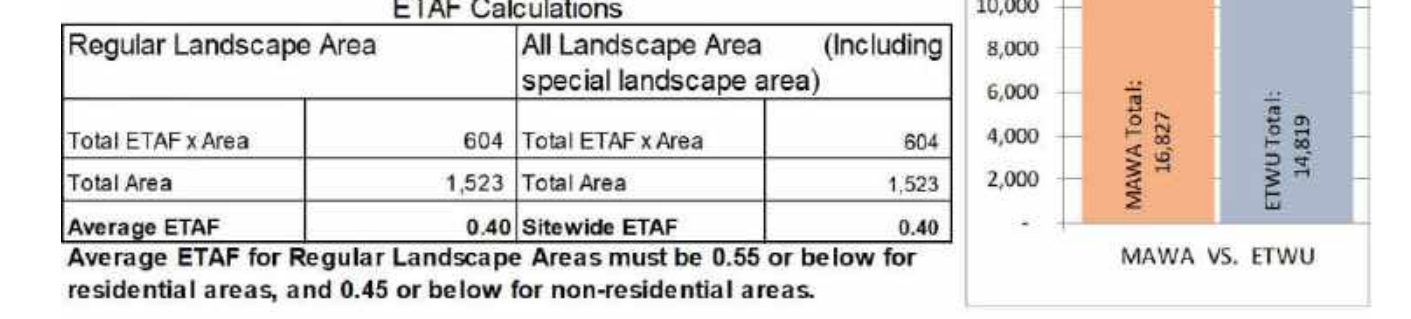
CODE	DESCRIPTION
<b>PAVING</b>	
(P5)	PRECAST CONCRETE PAVER - TYPE 4 (FIELD, SQUARE, MORTAR SET)
(P6)	SYNTHETIC TURF OVER BASE TILE (MORTAR SET)
<b>PLANTERS</b>	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
<b>SITE LIGHTING</b>	
(L1)	BOLLARD

PRELIMINARY WATER CALCULATIONS

Reference Hydrozone # / Planting descriptions	Evapotranspiration (Eto)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)	Landscaping Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
<b>Regular Landscape Area</b>									
LOW	0.3	Drip	0.81	0.37	1.963	905	12,394		
MEDIUM	0.5	Drip	0.81	0.62	1.60	99	2,425		
HIGH	0.7	Drip	0.81	0.96	-	-	-		
			1	0.90	-	-	-		
Regular Landscape Area Totals:							1,523	604	
<b>Special Landscape Area</b>									
Special Landscape Area Totals:							0	0	
							<b>ETWU Total:</b>	<b>14,819</b>	
Maximum Allowed Water Allowance (MAWA)							1,523	<b>MAWA Total:</b>	<b>16,827</b>
Over All Landscape Area Totals:							1,523	<b>MAWA Total:</b>	<b>16,827</b>

**\*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area**  
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscaping area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**\*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]**  
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscaping area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.



PLANT SCHEDULE (THIS SHEET)

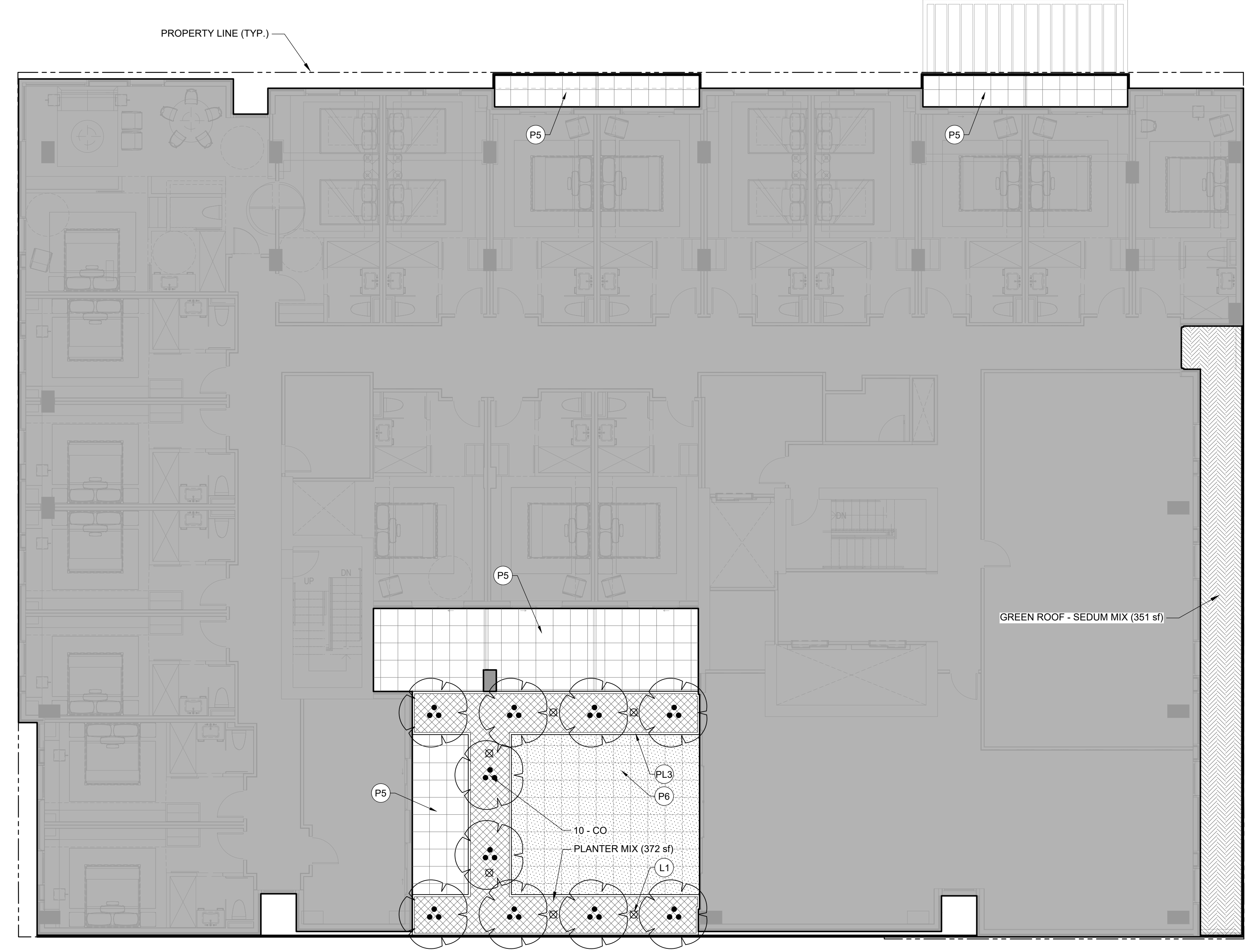
TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW

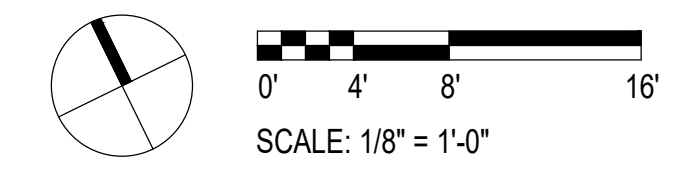
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		372 SF	PLANTER MIX			
	AYG	20	ANIGOZANTHOS X 'YELLOW GEM'	1 GAL.	LOW	20% @ 24" o.c.
	KUV	20	YELLOW GEM KANGAROO PAW	1 GAL.	LOW	20% @ 24" o.c.
	PDD	9	KNIPHOFIA UVARIA	5 GAL.	LOW	20% @ 36" o.c.
	PTW	9	RED HOT POKER	5 GAL.	LOW	20% @ 36" o.c.
	WFR	9	PHORMIUM X 'DARK DELIGHT'	5 GAL.	LOW	20% @ 36" o.c.
			DARK DELIGHT PURPLE FLAX			
			PITTIOSPORUM TOBIRA 'WHEELER'S DWARF'			
			WHEELER'S DWARF PITTIOSPORUM			
			WESTRINGIA FRUTICOSA 'WES05' TM			
			MUNDI COAST ROSEMARY			

		351 SF	GREEN ROOF - SEDUM MIX			
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SITE LANDSCAPE PLAN - LEVEL 02



REVISION HISTORY		
1	SPAR REVISION	24 JUN 2022

REVISION	DESCRIPTION	DATE

SITE LANDSCAPE PLAN - LEVEL 02

DRAWN BY	CHECKED BY

PROJECT NUMBER: 621010  
PROJECT ABBREVIATION: PH  
ORIGINAL ISSUE: SPAR APPLICATION  
DATE: 04/04/2022

SPAR L2  
SHEET NUMBER

EKN Petaluma LLC  
Petaluma Hotel  
2 Petaluma Blvd North  
Petaluma, California

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
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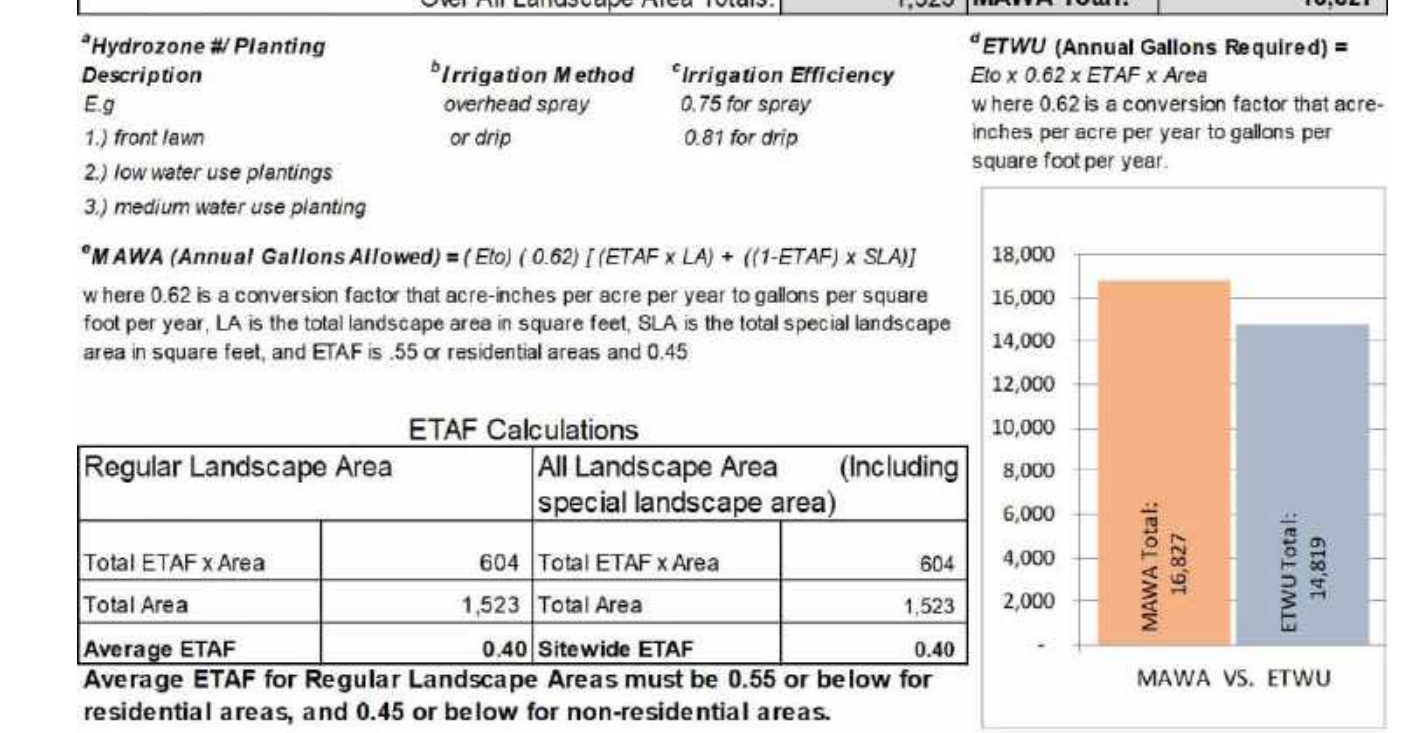
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2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
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10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
<b>PAVING</b>	
(P4)	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, ON PEDESTAL)
(P7)	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR, ON PEDESTAL)
(P8)	WOOD TILE PAVER (ACCENT, RECTANGULAR, ON PEDESTAL)
<b>PLANTERS</b>	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL2)	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
<b>SITE LIGHTING</b>	
(L1)	BOLLARD
(L2)	UPLIGHT

PRELIMINARY WATER CALCULATIONS

Reference	Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)
Regular Landscape Area				
LOW	0.5	Drip	0.81	0.37
MED-M	0.5	Drip	0.81	0.37
HIGH	0.7	Drip	0.81	0.57
Regular Landscape Area Totals: 1,523 604				
Special Landscape Area				
Special Landscape Area Totals: 0 0				
ETWU Total: 14,819				
Maximum Allowed Water Allowance (MAWA)				
Chair All Landscape Area Totals: 1,523 MAWA Total: 16,827				



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
(LA)	LA	4	LUMA APICULATA CHILEAN MYRTLE	15 GAL	MED
<b>SHRUB AREAS</b>					
(ADE)	ADE	23	AEONIUM DECORUM PINWHEEL	1 GAL	LOW
(CPE)	CPE	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW
(DPU)	DPU	30	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW
(STE)	STE	120	SEMPERIVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW
(SRO)	SRO	15	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW
(SSE)	SSE	23	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW
(ABG)	ABG	5	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW
(SMA)	SMA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW
(SRA)	SRA	15	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW
<b>PLANTER MIX</b>					
(AYG)	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW
(KUV)	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW
(PDD)	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW
(PTW)	PTW	10	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTIOSPORUM	5 GAL	LOW
(WFR)	WFR	10	WESTRINGIA FRUITICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW

REVISION HISTORY

NO.	REVISION	DATE
1	SPAR REVISION	24 JUN 2022

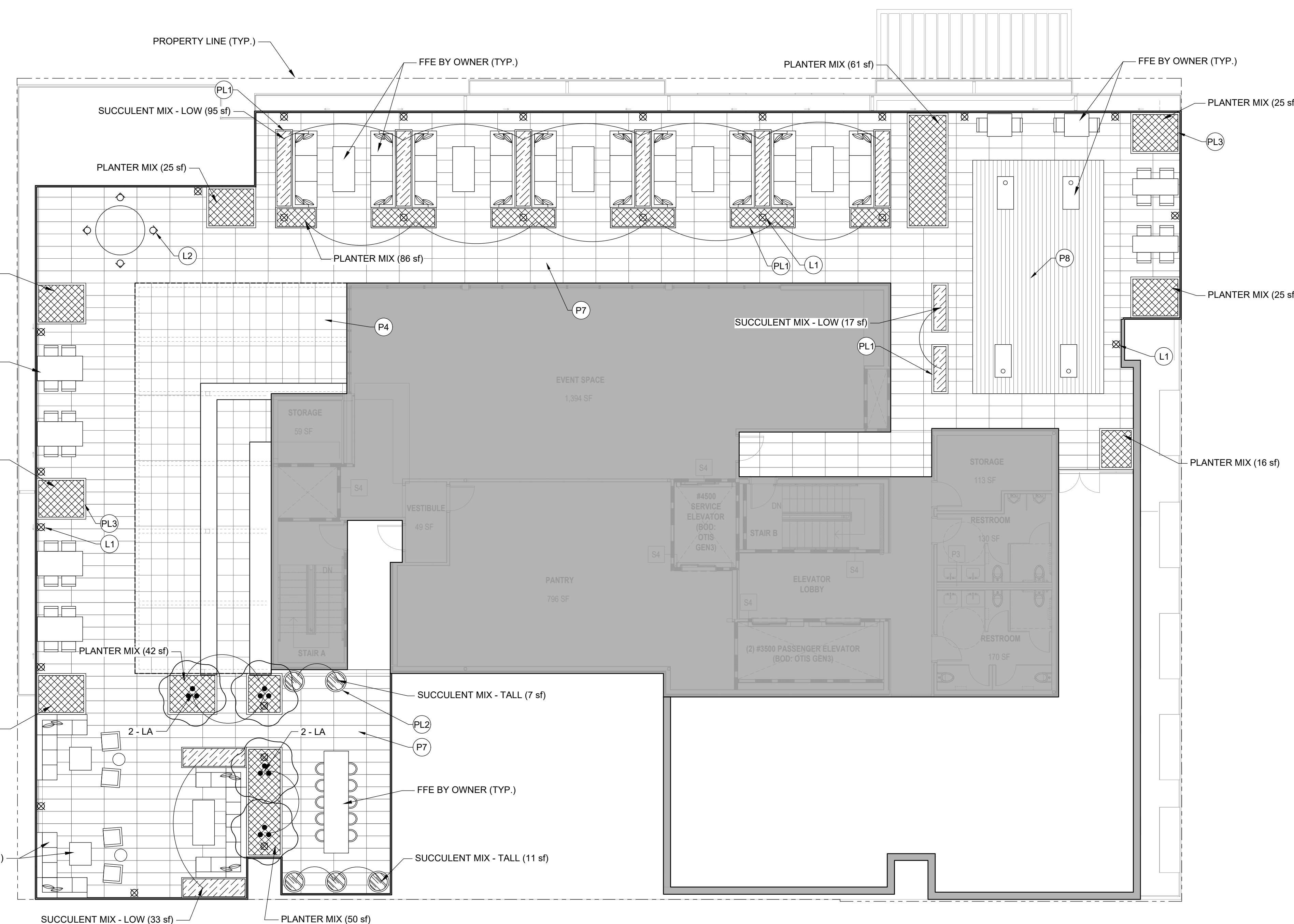
REVISION DESCRIPTION

NO.	DESCRIPTION	DATE

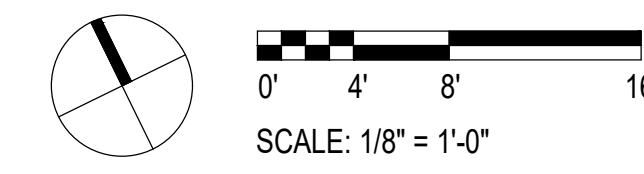
SITE LANDSCAPE PLAN - LEVEL 06

PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	04/04/2022

SPAR L3  
SHEET NUMBER



SITE LANDSCAPE PLAN - LEVEL 06







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San Francisco, CA 94111  
page@think.com

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FAX: 415 249 0132

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Los Angeles CA 90017  
323 536 2362

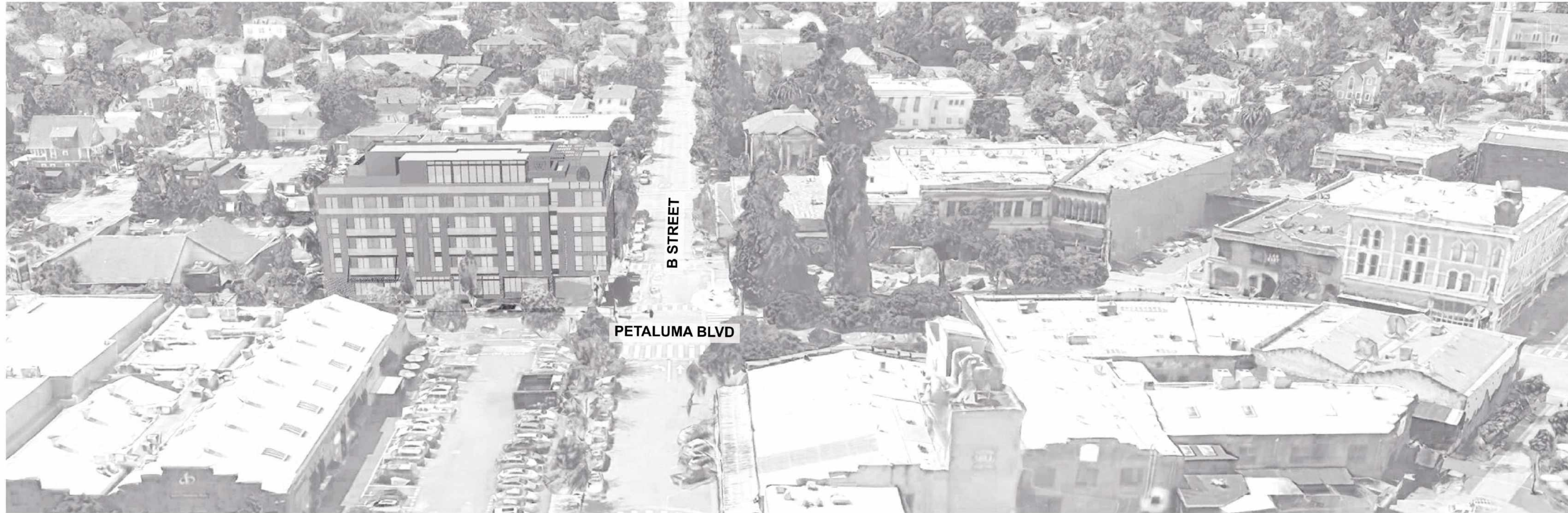
STRUCTURE  
BUHLER ENGINEERING  
5 Third Street  
Suite 1125  
San Francisco, CA 94103  
213 694 3408

INTERIORS  
SIXTEEN FIFTY  
7509 Girard Ave  
La Jolla, CA  
92037  
858 454 6909

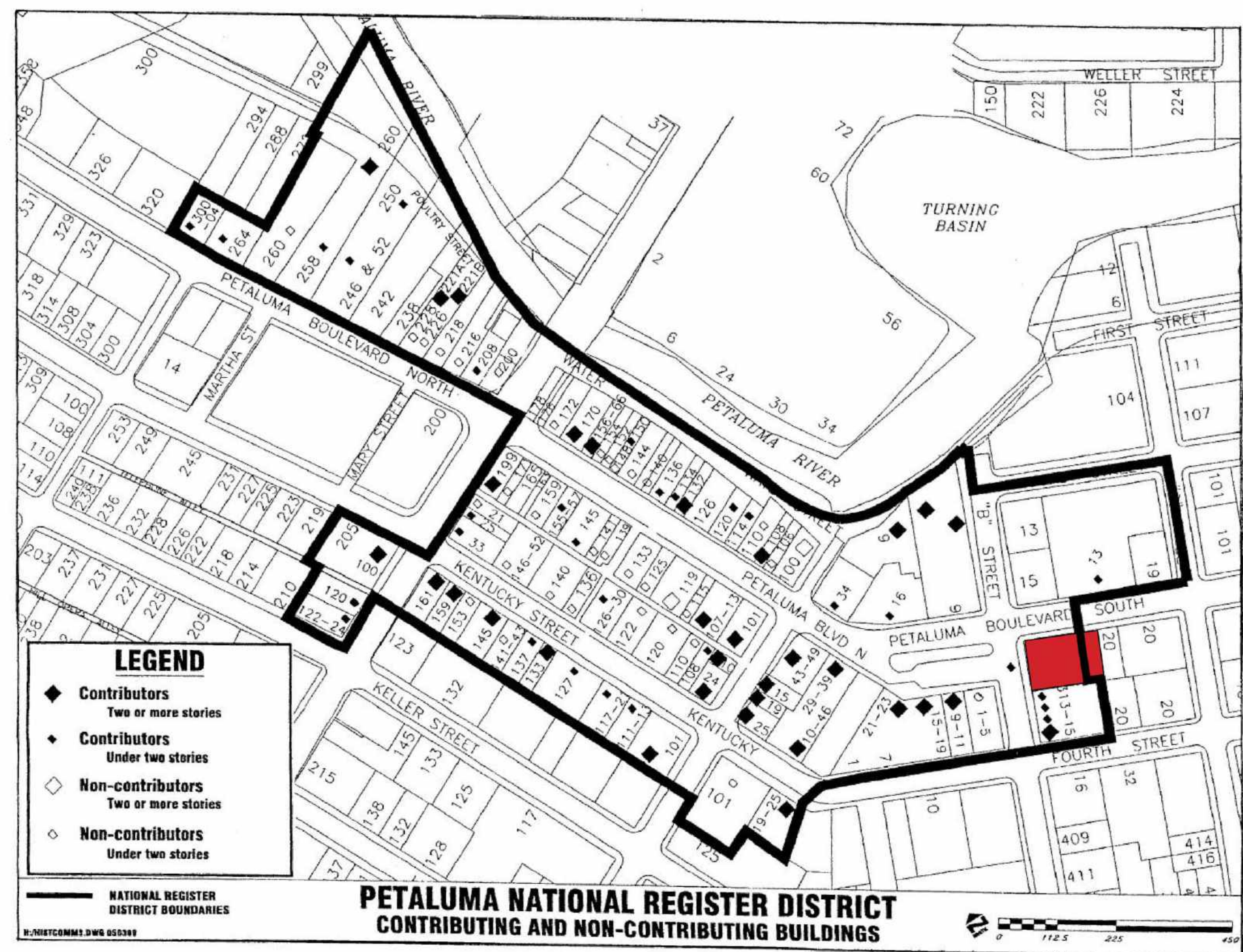
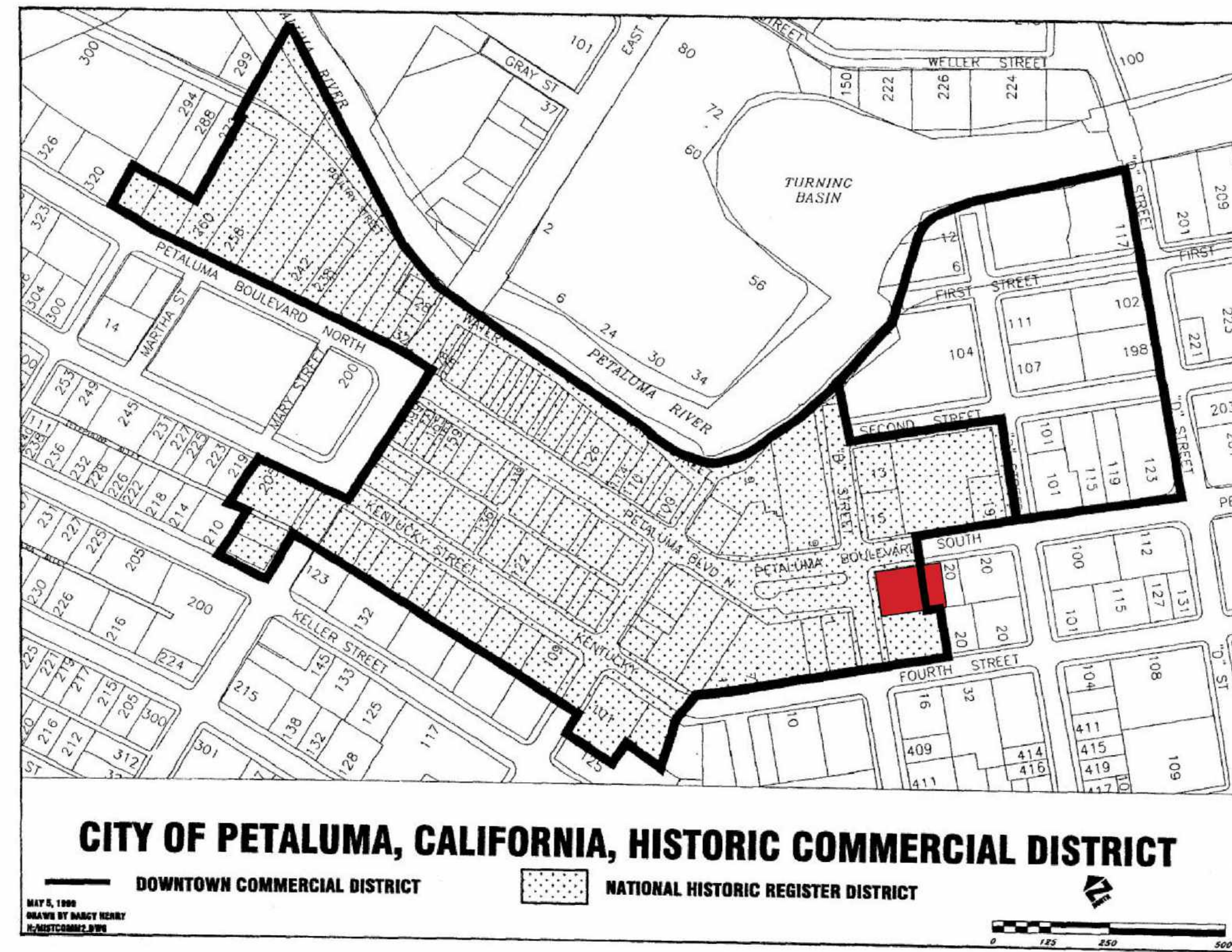
LANDSCAPE  
BRIGHTVIEW DESIGN GROUP  
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949 238 4900

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N CONSULTING ENGINEERS  
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**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California



REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	SPAR REVISION	24 JUN 2022

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**SPAR-A2.1**  
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EKN Petaluma LLC  
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92037  
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92614  
949 369 1161

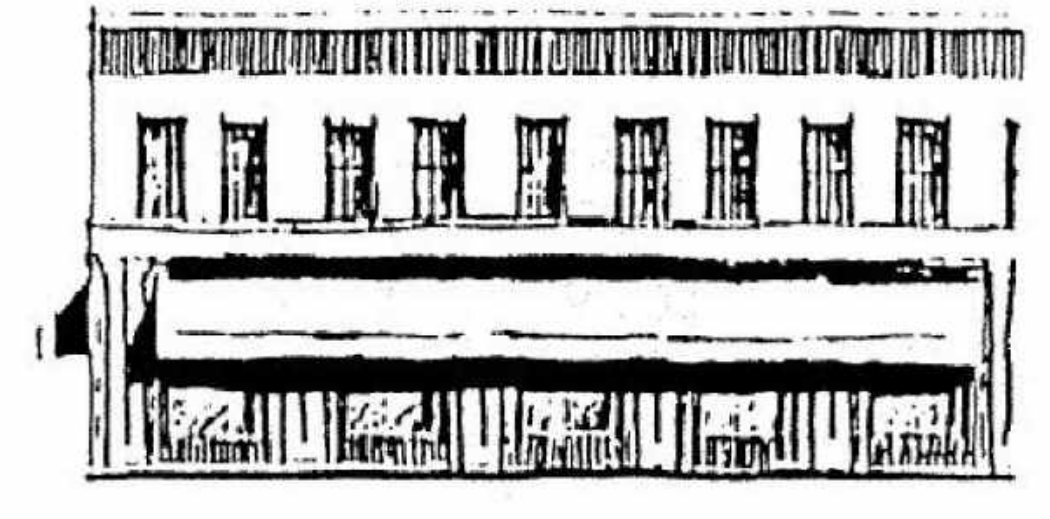
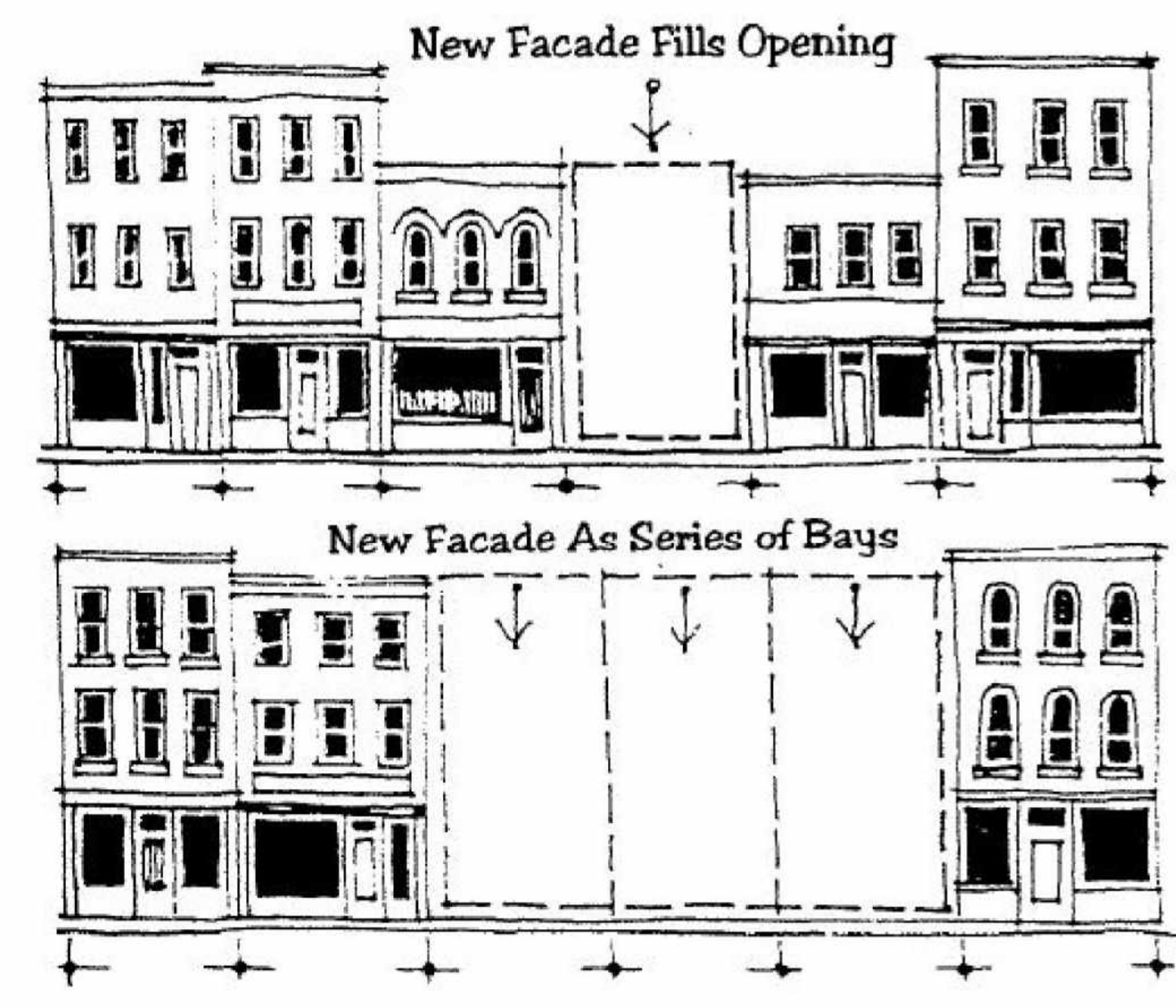
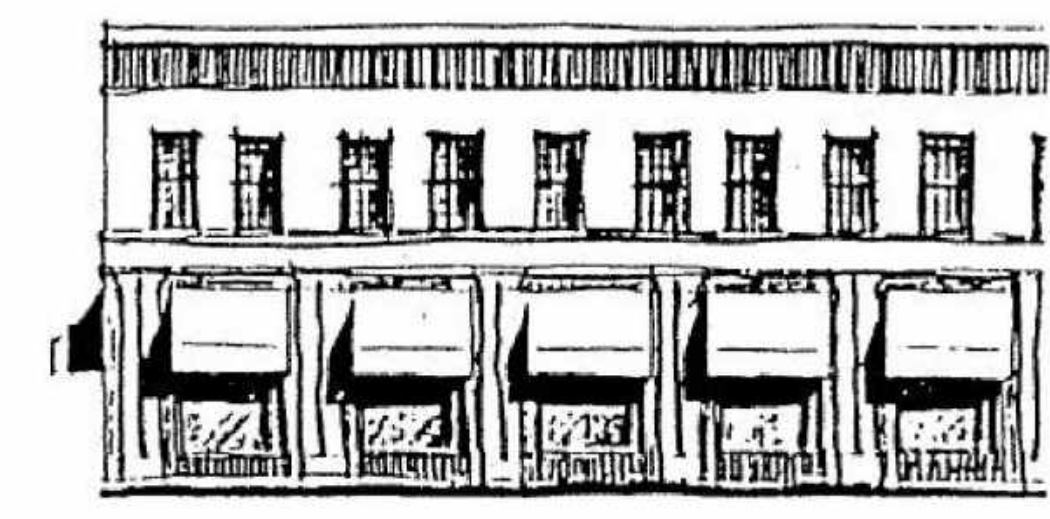
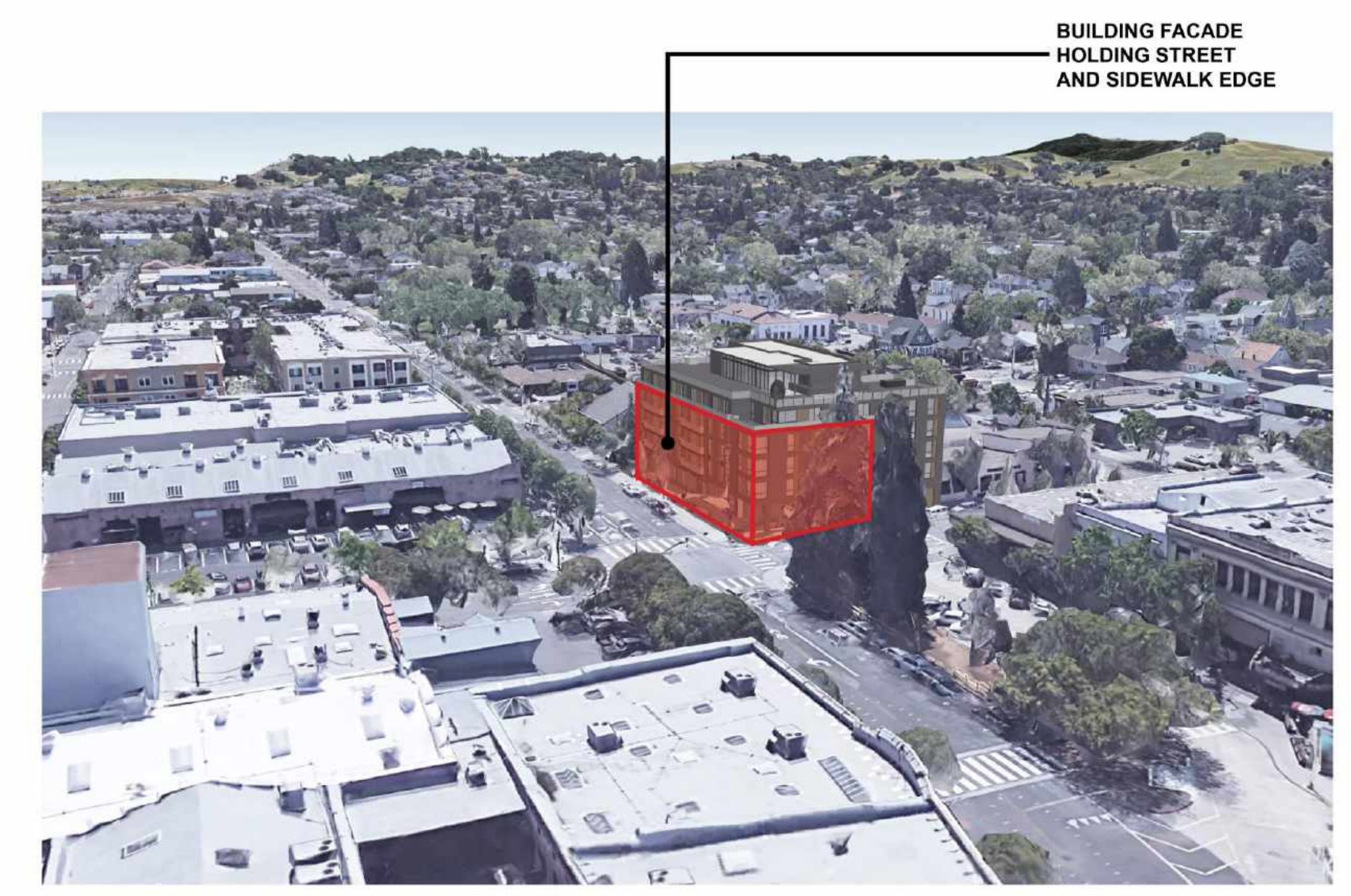
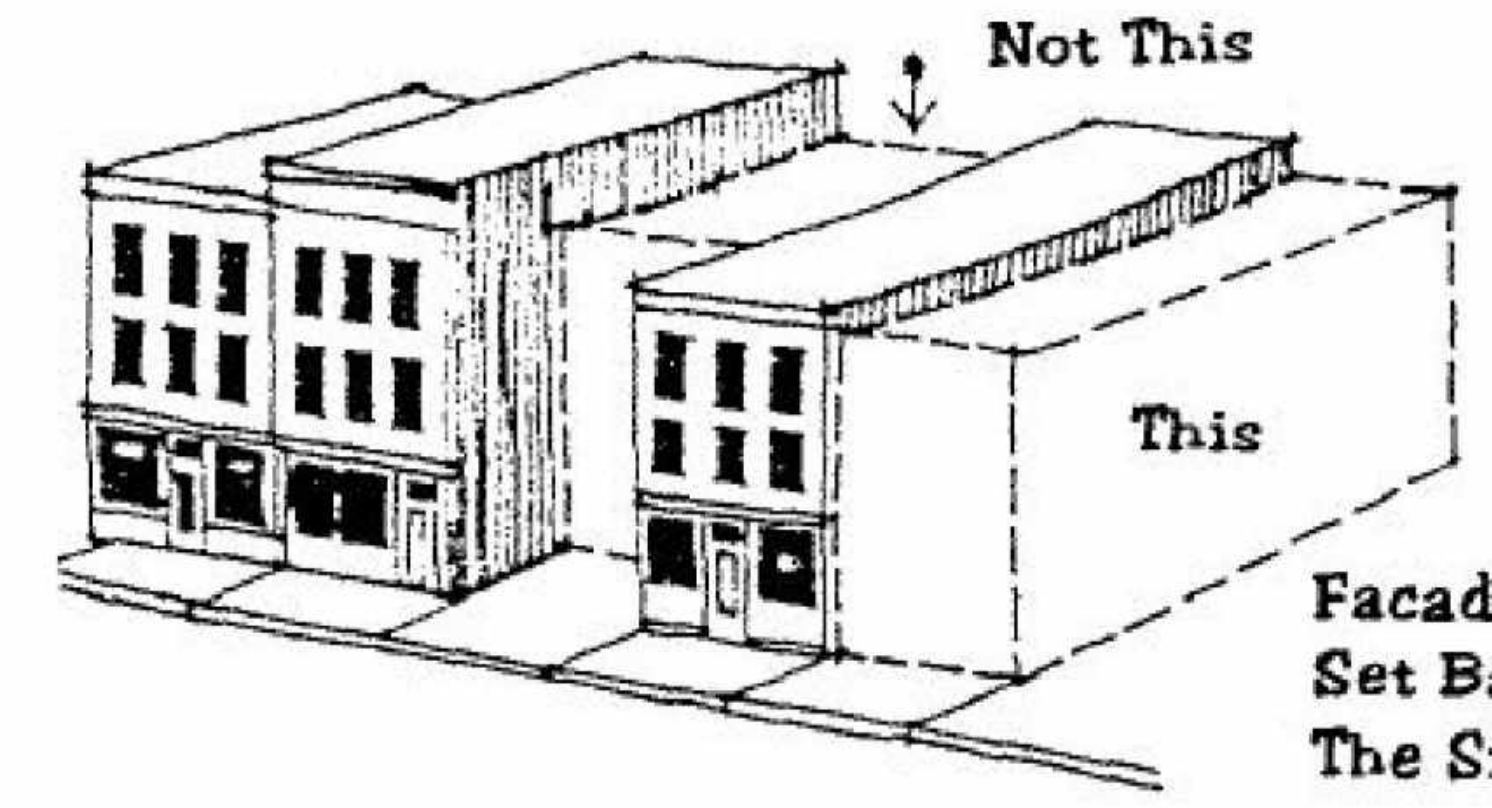


Illustration 2



Separate awnings for each structural bay.



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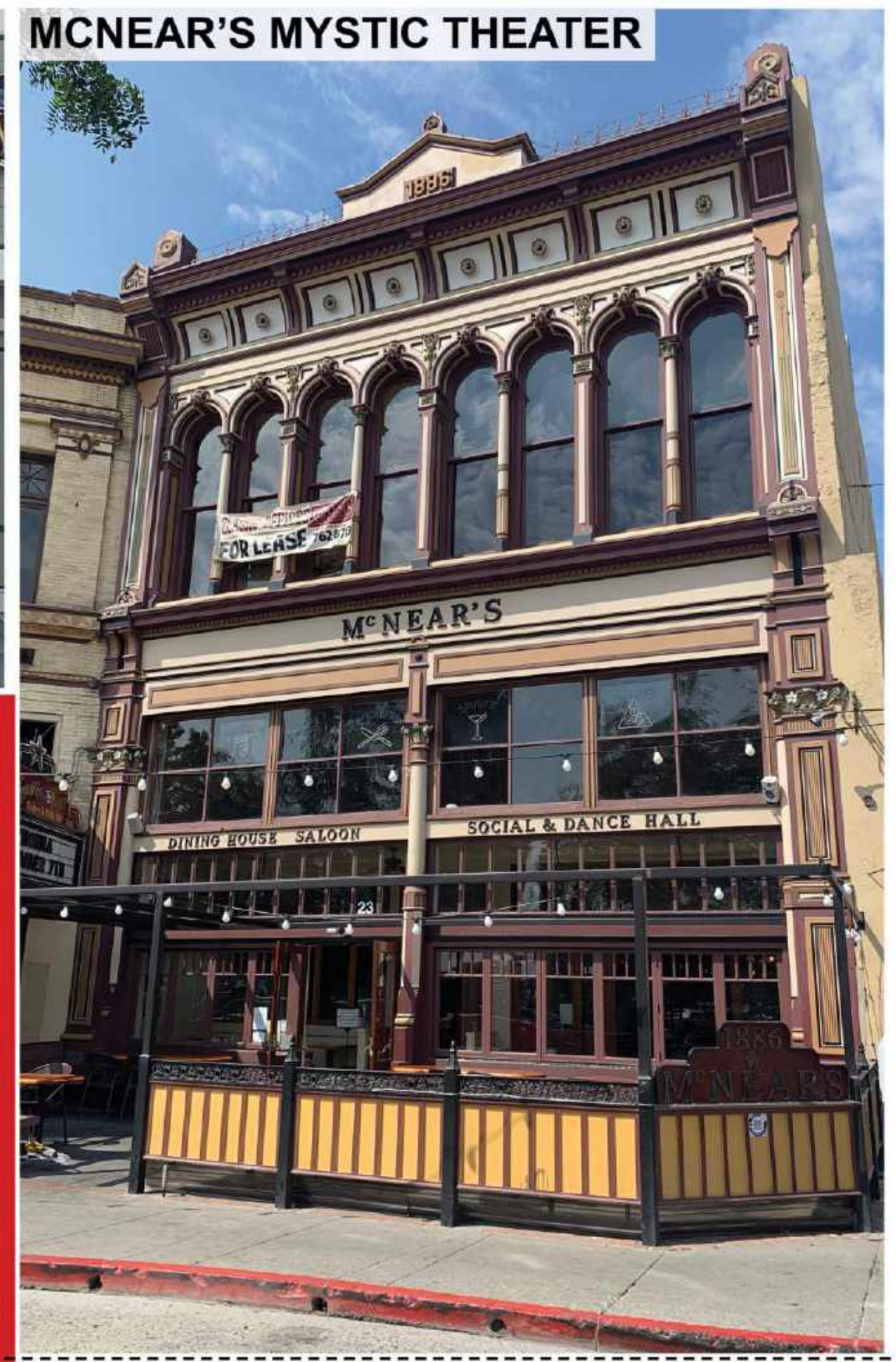
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15 WESTERN BUILDING



MCNEAR'S MYSTIC THEATER



THE WEAVER HOTEL (PROPOSED)



110 PETALUMA BLVD N 5 PETALUMA BLVD S



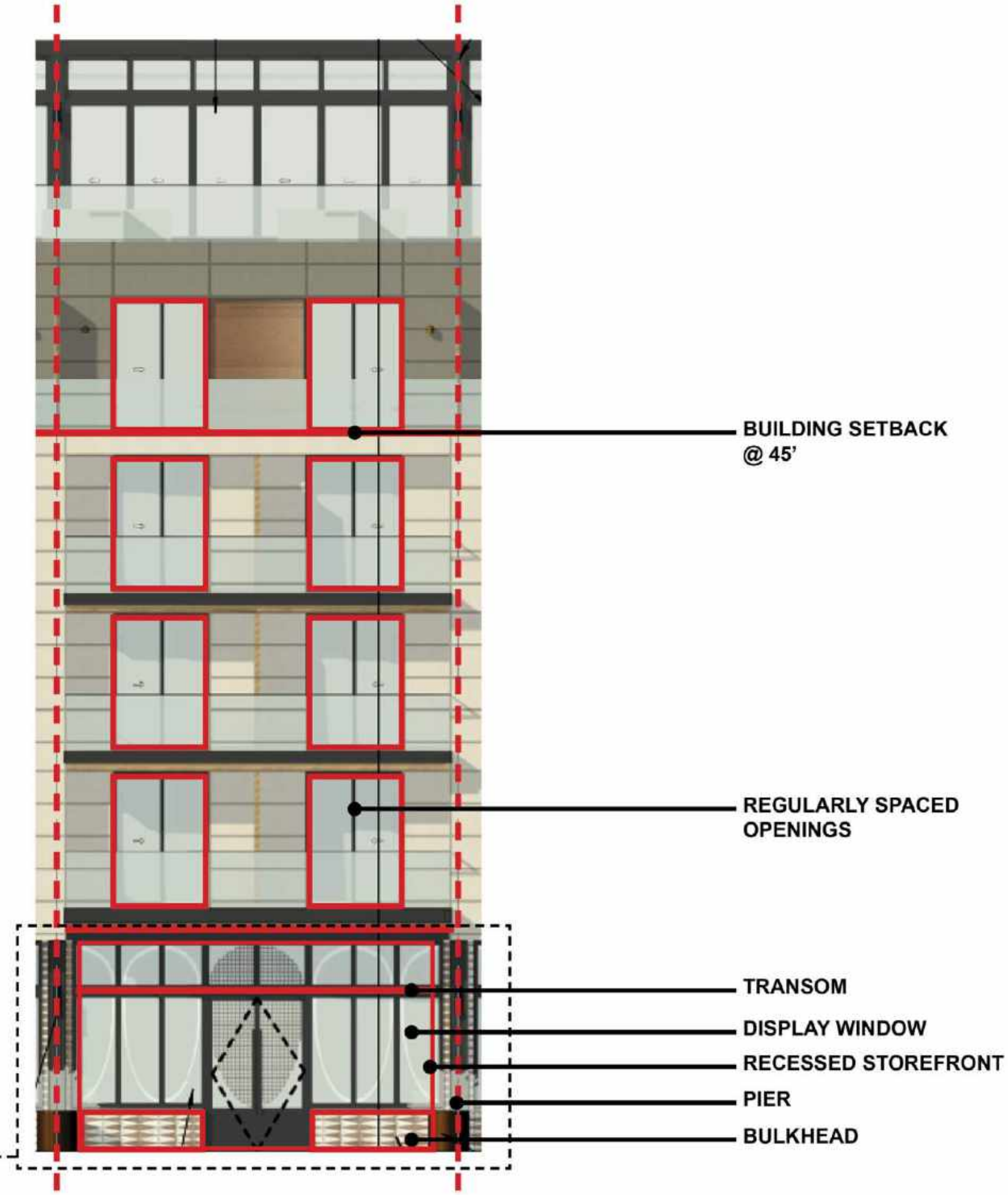
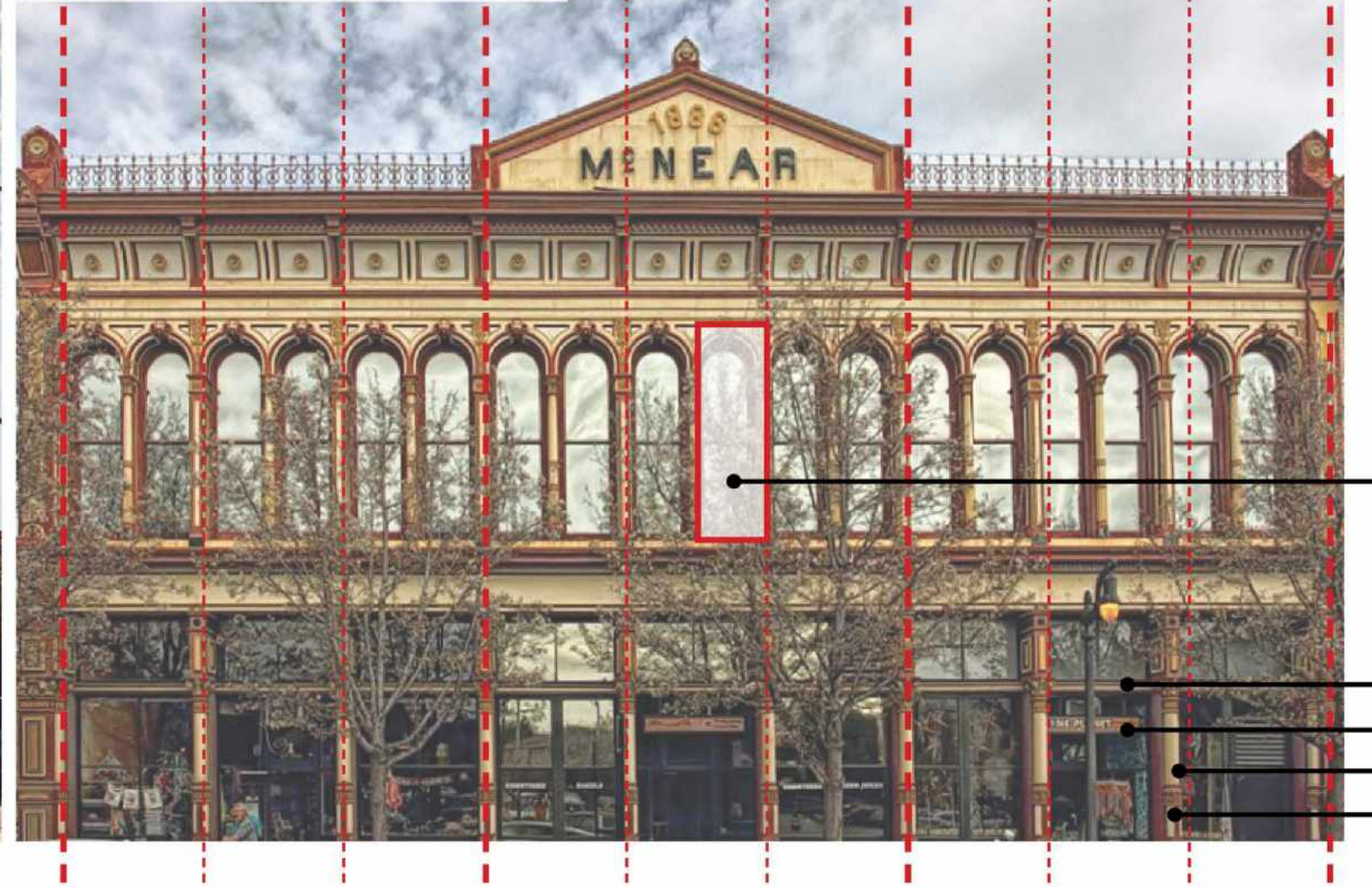
MASONIC BUILDING



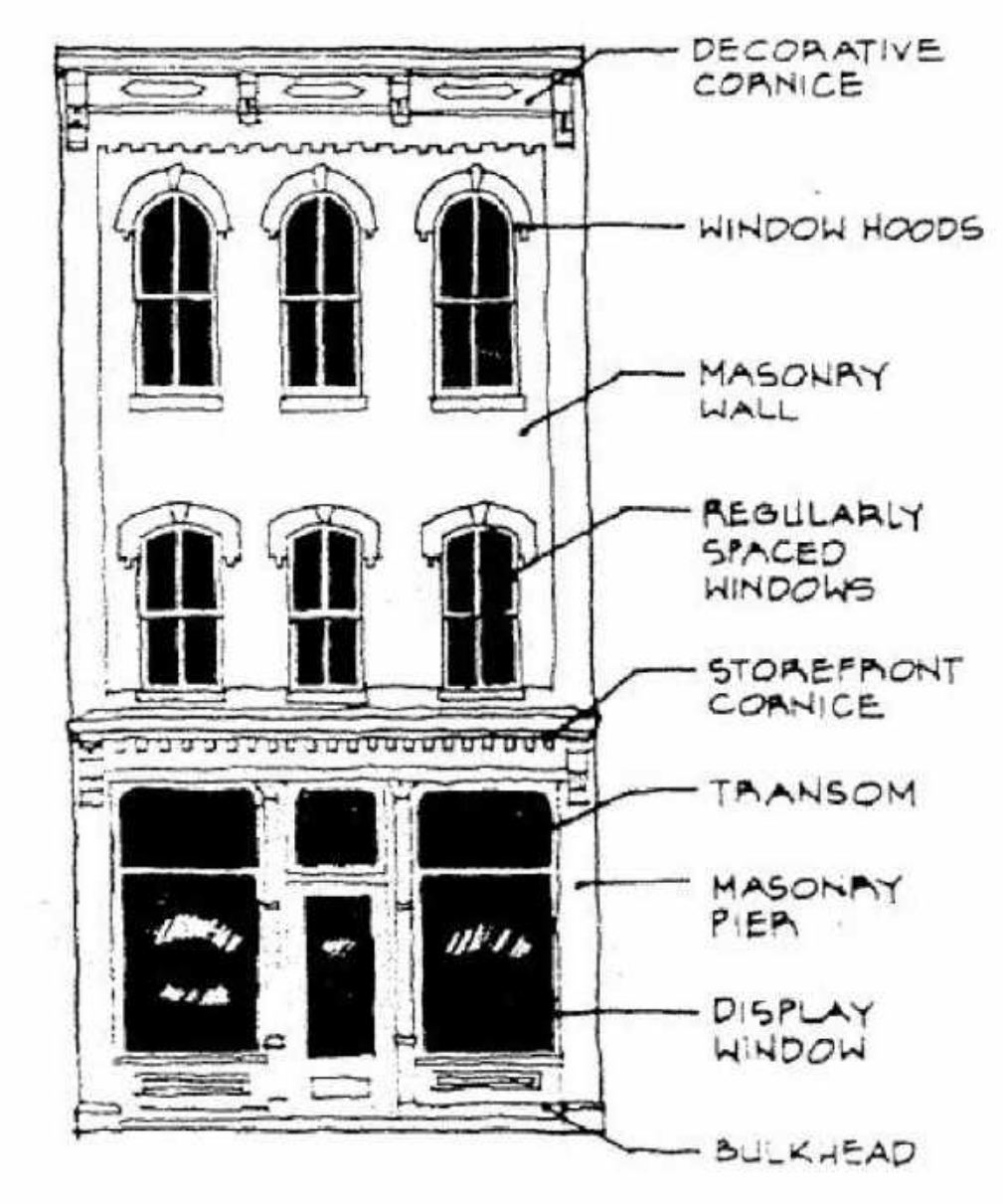
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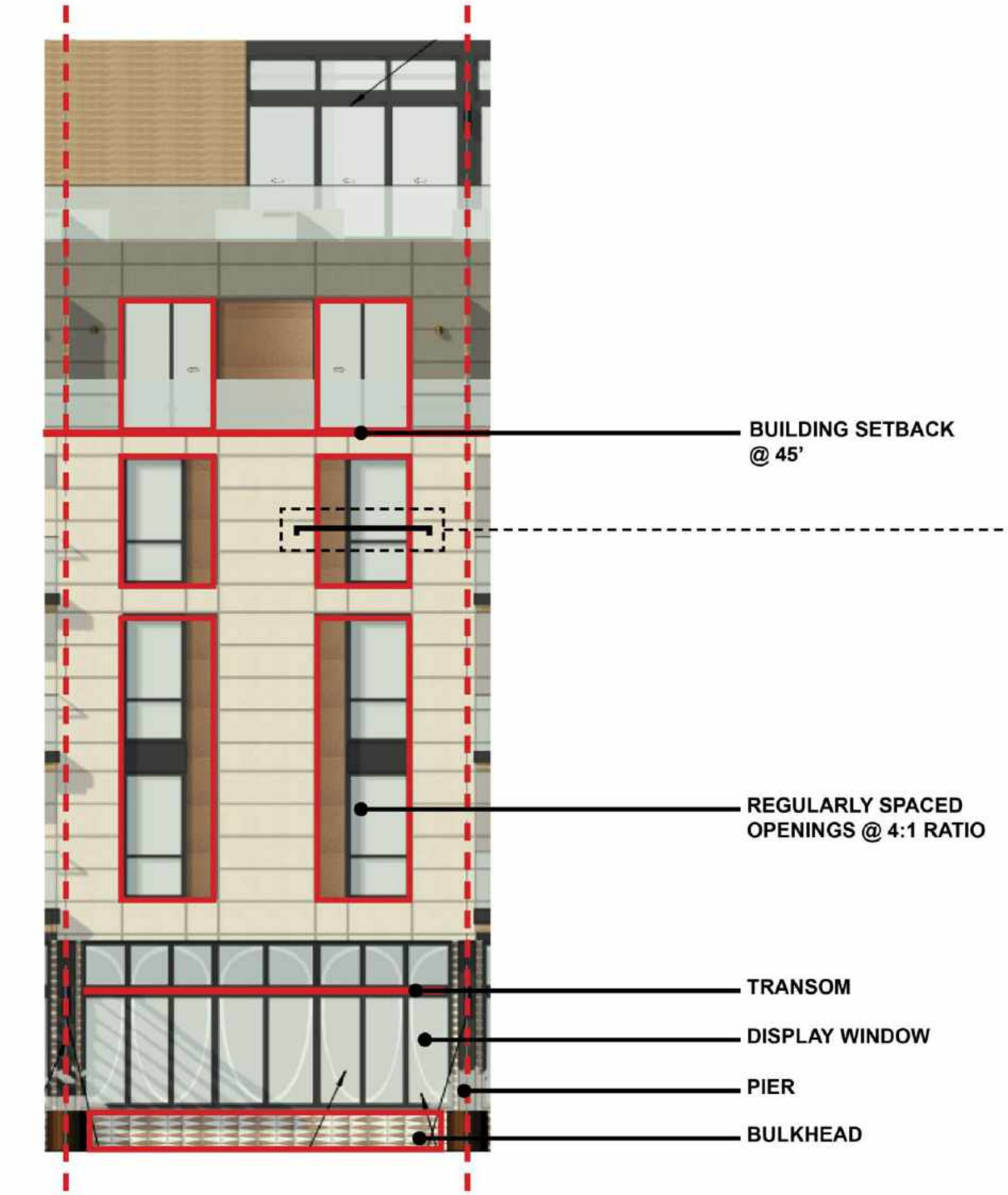
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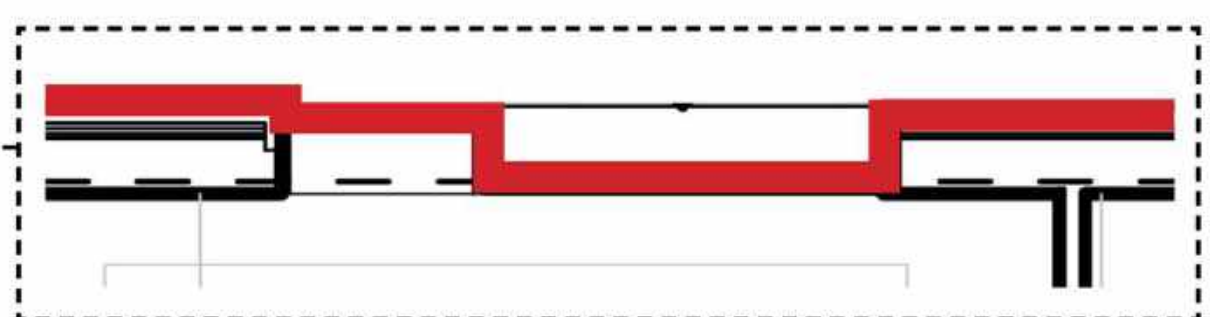
PROPOSED WEAVER HOTEL PART ELEVATION



REF: COMMERCIAL HISTORIC DISTRICT DESIGN GUIDELINES



PROPOSED WEAVER HOTEL PART ELEVATION



ENLARGED PLAN OF RECESSED WINDOW

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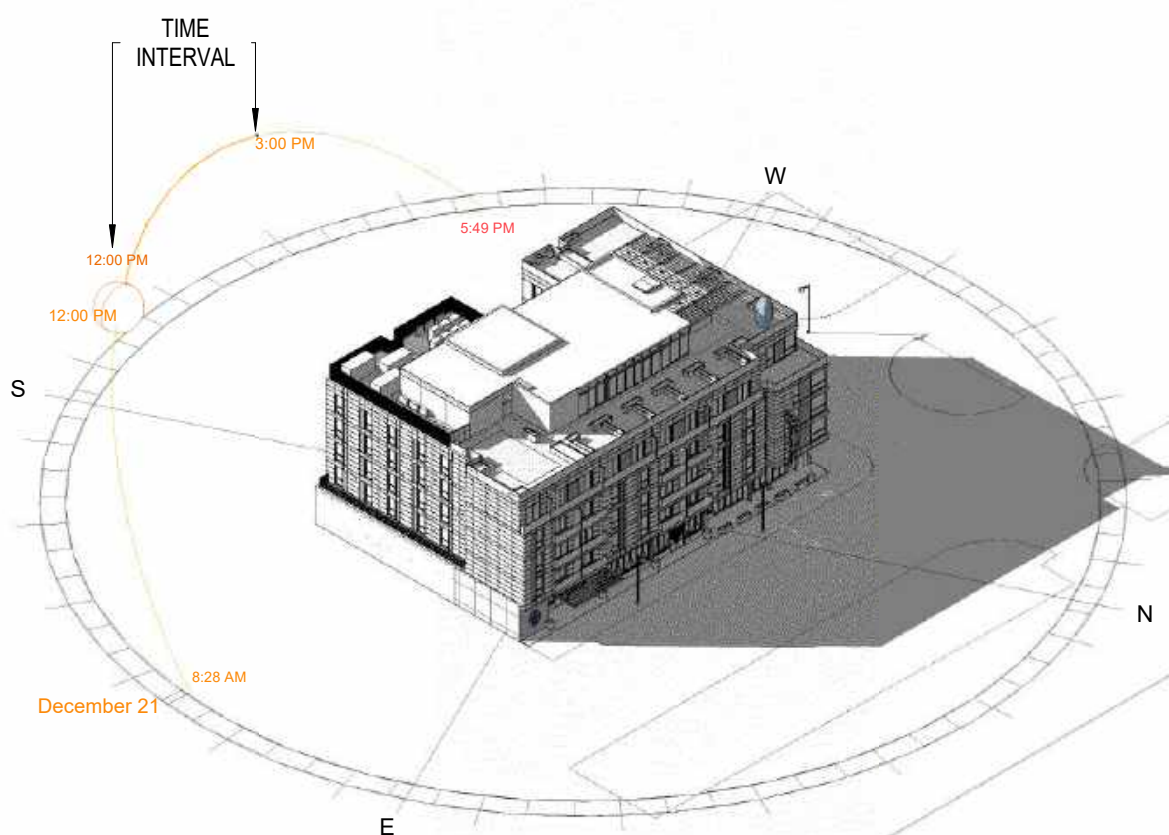
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4 SHADOW STUDY @ 15 HRS  
SCALE: 3/16" = 1'-0"



2 SHADOW STUDY 13PM  
SCALE: 3/16" = 1'-0"



3 SHADOW STUDY 14PM  
SCALE: 3/16" = 1'-0"



1 SHADOW STUDY 12PM  
SCALE: 3/16" = 1'-0"

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213 694 3408

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Manassas, VA, 20109

INTERIORS  
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La Jolla, CA  
92037  
858 454 6909

CIVIL  
N CONSULTING ENGINEERS  
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EKN Petaluma LLC  
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2 Petaluma Blvd South  
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SHADOW STUDY

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HOTEL WEAVER



HOTEL WEAVER

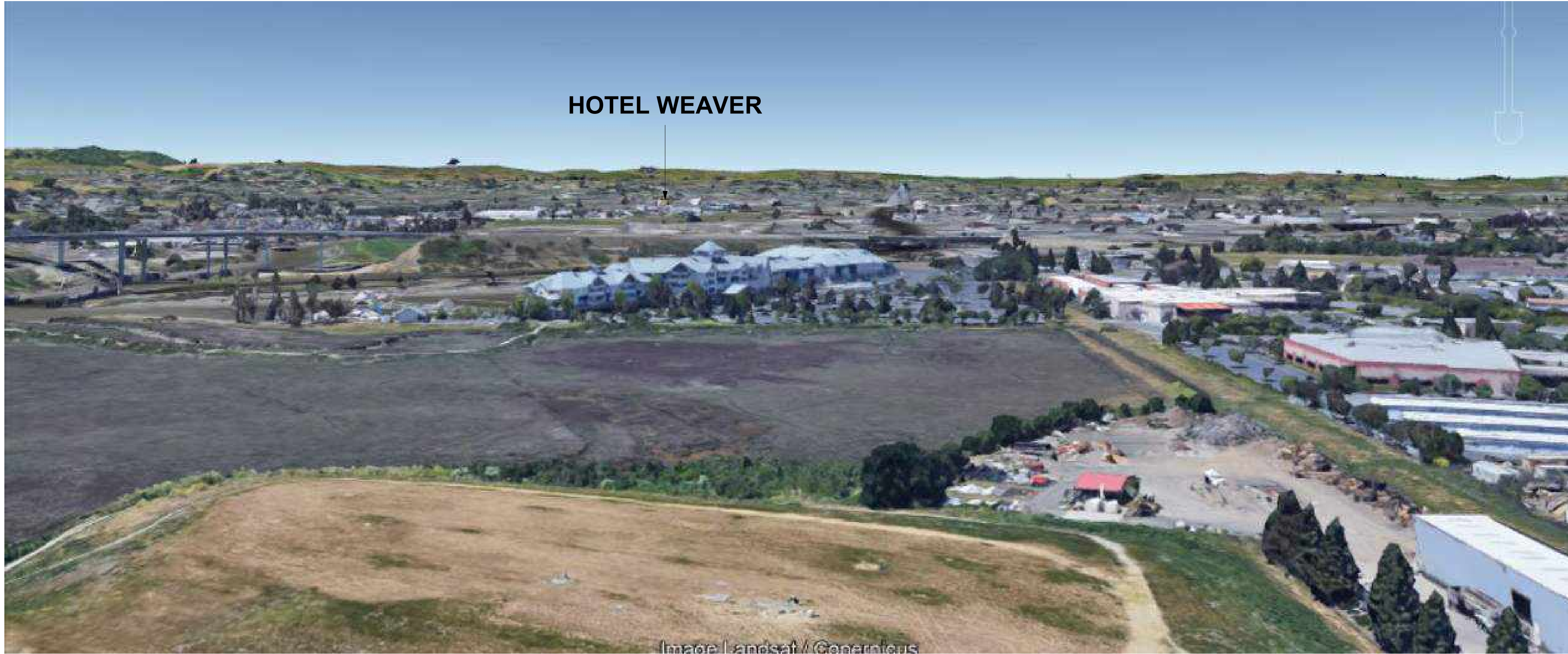
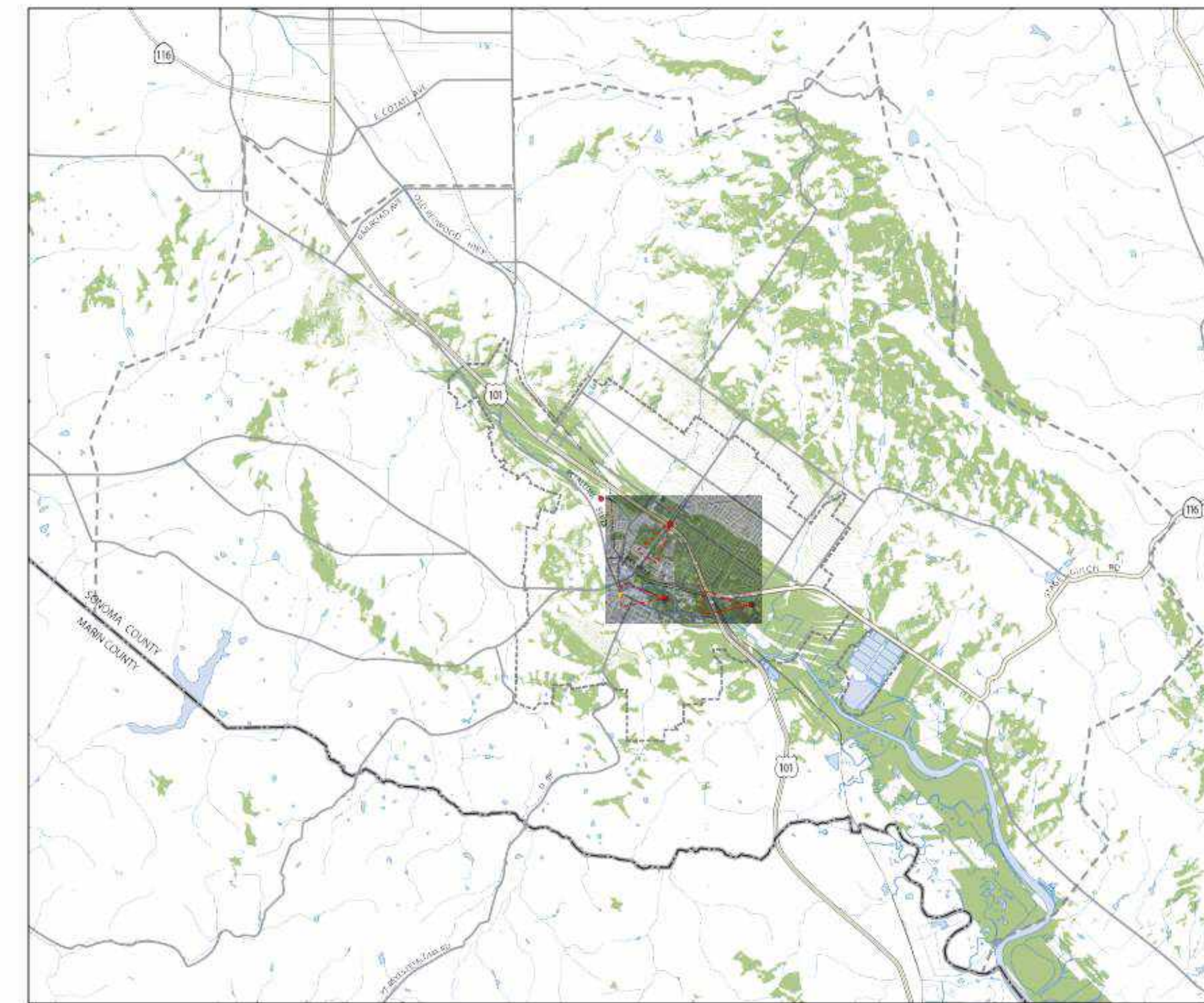
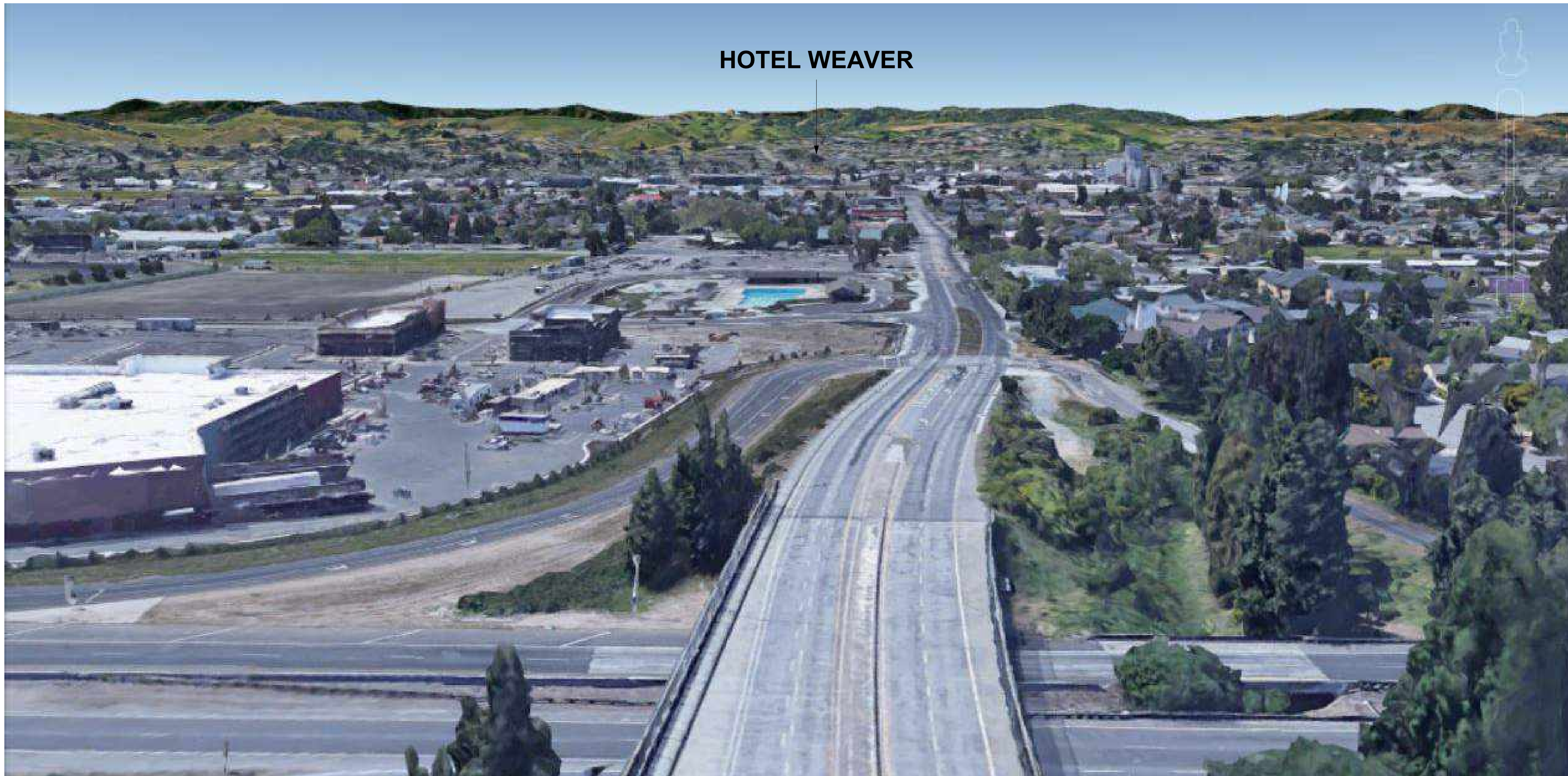


Image Landsat/Genericons

HOTEL WEAVER



KEY MAP

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<b>INTERIORS</b> SIXTEEN FIFTY 7509 Girard Ave La Jolla, CA 92037 858 454 6909	<b>CIVIL</b> N CONSULTING ENGINEERS 4 Park Plz Irvine, CA 92614 949 399 1161
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**HOTEL WEAVER**  
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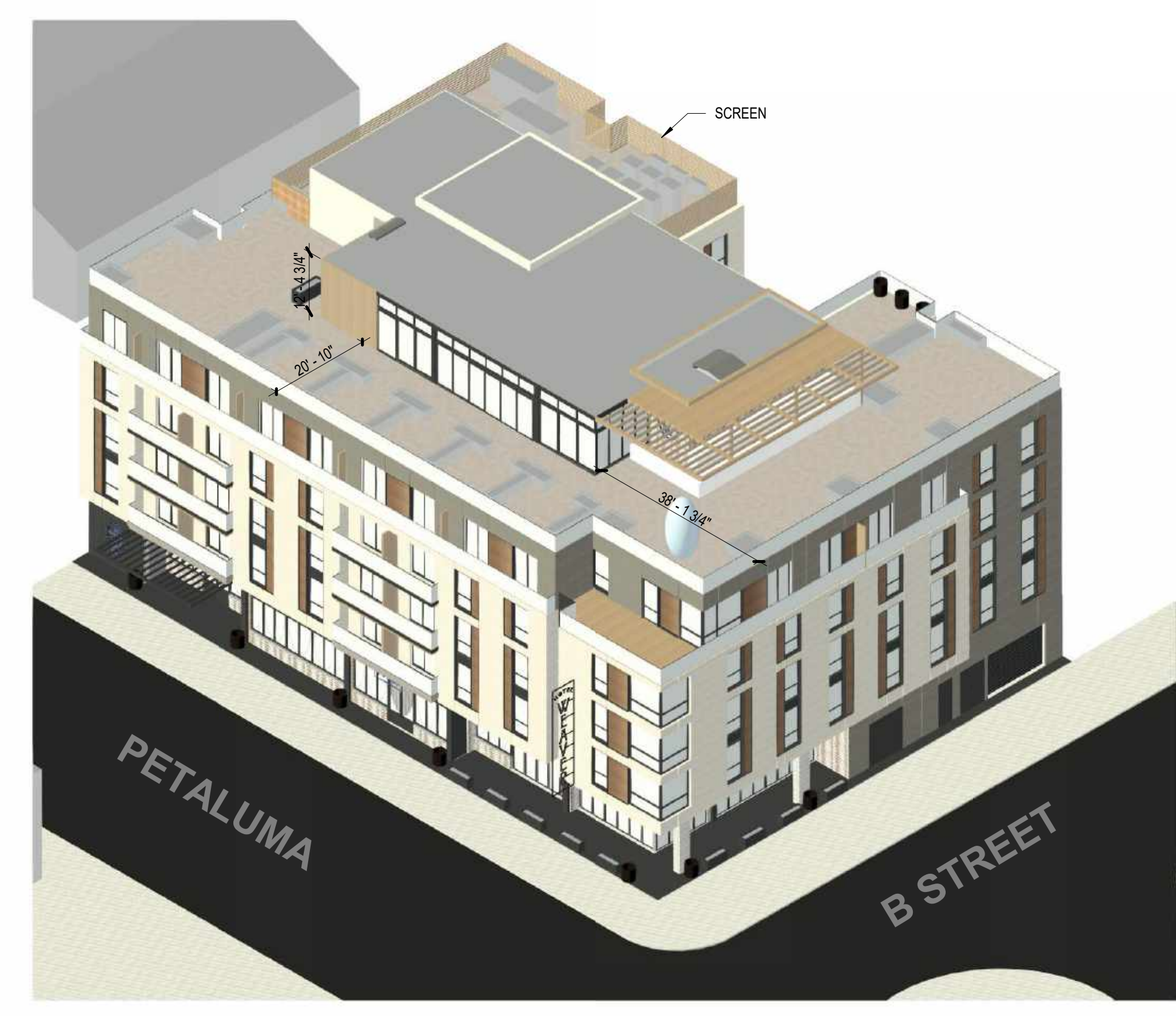
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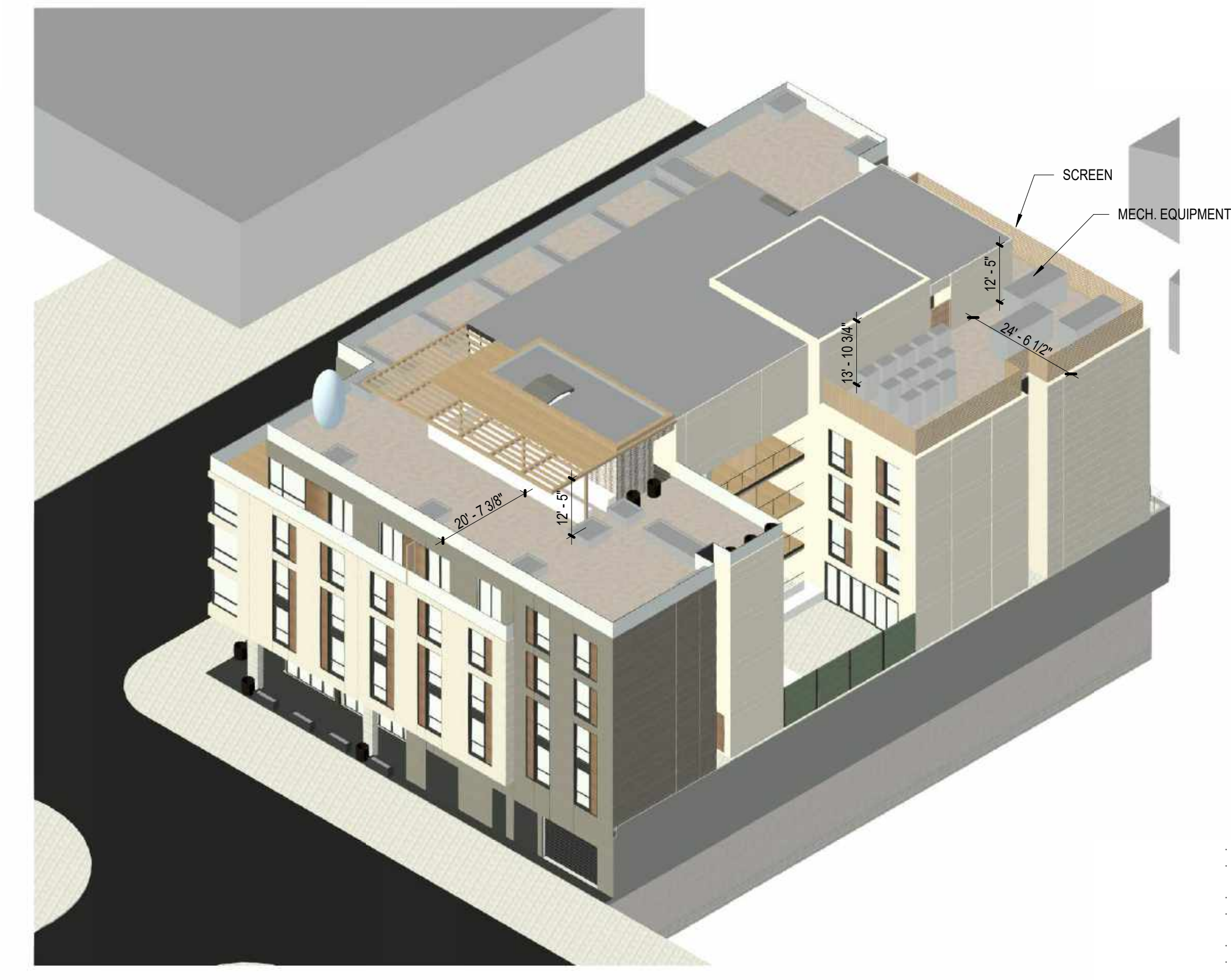
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AXONOMETRIC VIEW - PETALUMA BLVD



AXONOMETRIC VIEW - PETALUMA BLVD & B STREET



AXONOMETRIC VIEW - B STREET



2 WEST ELEVATION - CONCEPTUAL MASSING - TO B STREET  
 SCALE: 1/8" = 1'-0"



1 MAIN ENTRY - NORTH ELEVATION - CONCEPTUAL MASSING - TO PETALUMA BLVD  
 SCALE: 1/8" = 1'-0"

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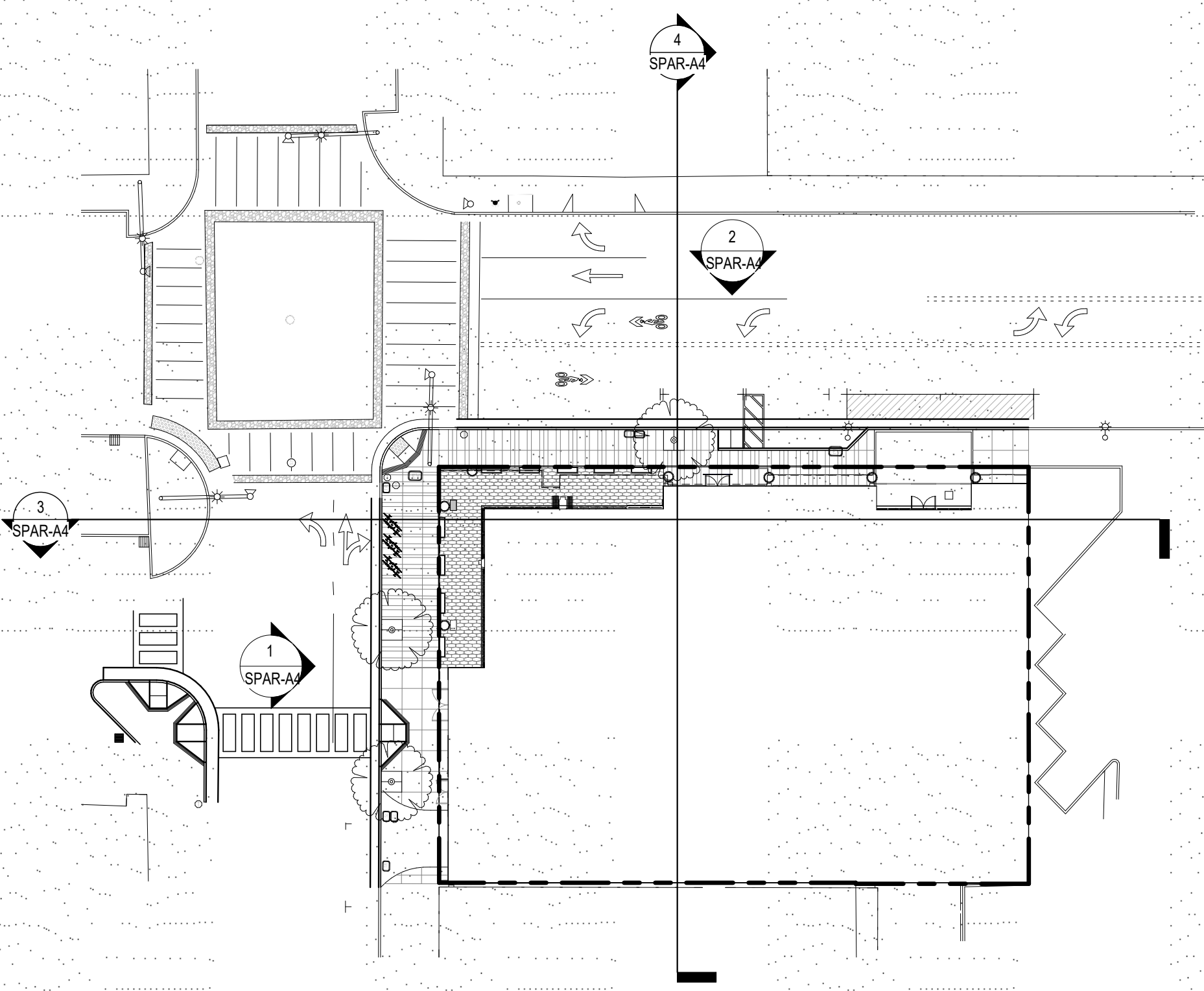
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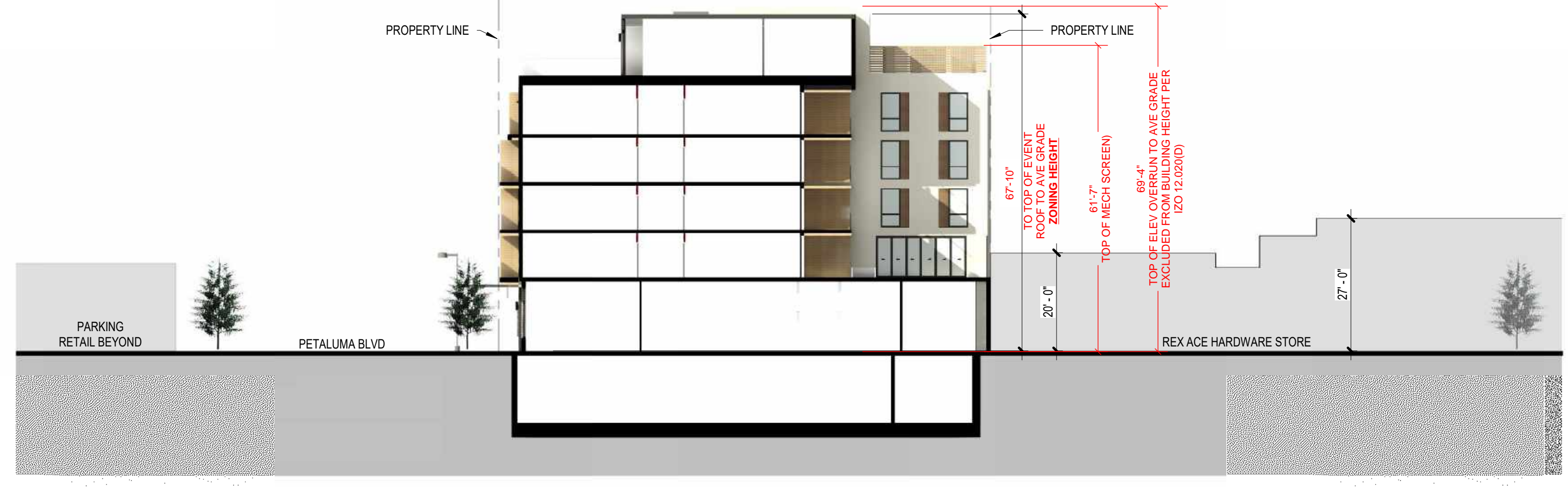
ARCHITECTURAL - SITE ELEVATIONS

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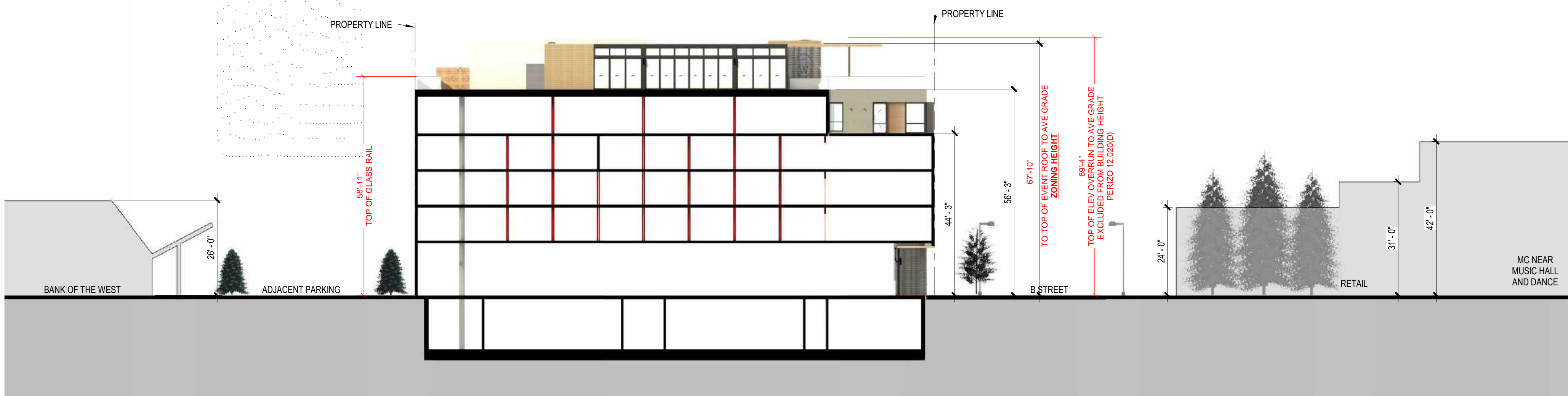
SPAR-A4  
SHEET NUMBER



5 KEY PLAN - SITE  
SCALE: 1" = 30'-0"



4 SECTION - PETALUMA BLVD  
SCALE: 1" = 20'-0"



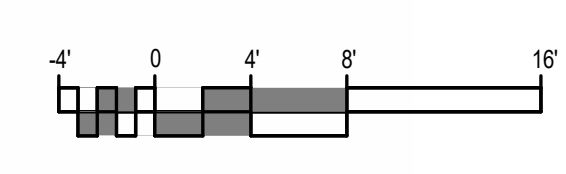
3 SECTION - B STREET  
SCALE: 1" = 20'-0"



2 ELEVATION - PETALUMA STREET MASSING  
SCALE: 1" = 20'-0"



1 ELEVATION - B STREET  
SCALE: 1" = 20'-0"



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FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE \_ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION
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FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE
	PARTITION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE-RATED SMOKE BARRIER
	SHEAR WALL - RE: STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

REVISION HISTORY

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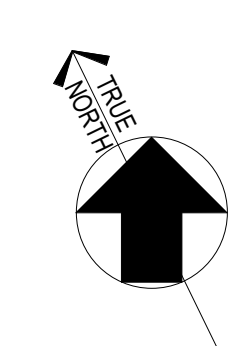
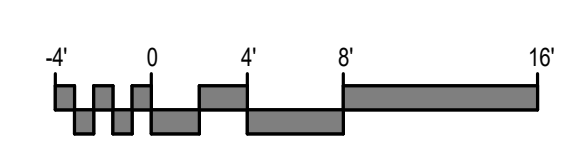
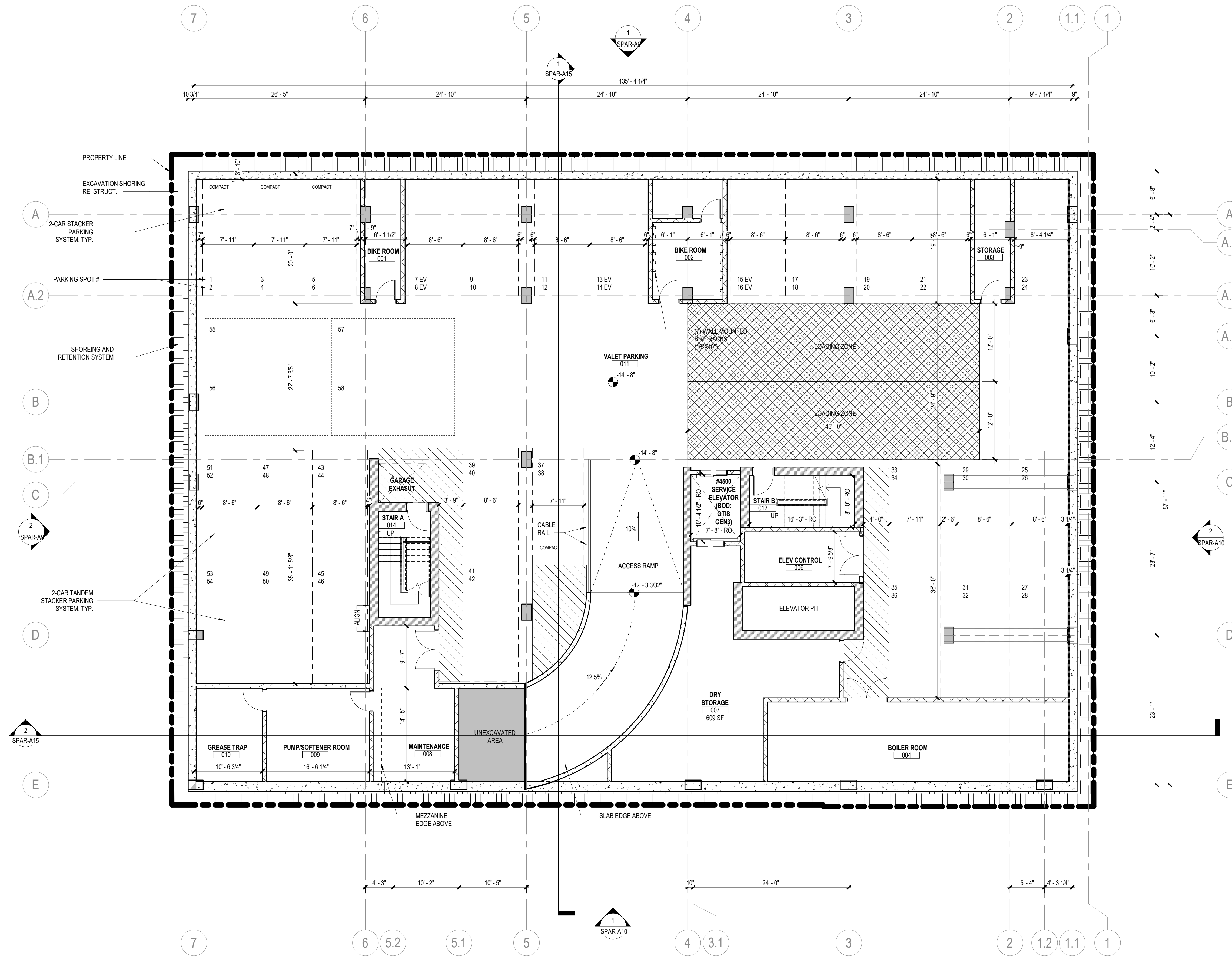
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ARCHITECTURAL - FLOOR PLAN - BASEMENT

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SPAR-A5

SHEET NUMBER



1 FLOOR PLAN - BASEMENT LEVEL  
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL - ROOF PLAN

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**SPAR-A8**  
SHEET NUMBER

**FLOOR PLAN GENERAL NOTES**

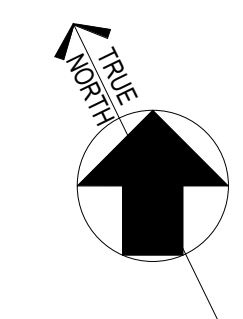
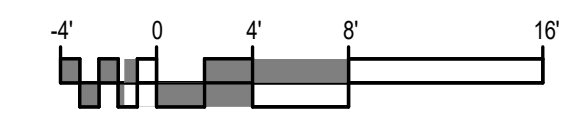
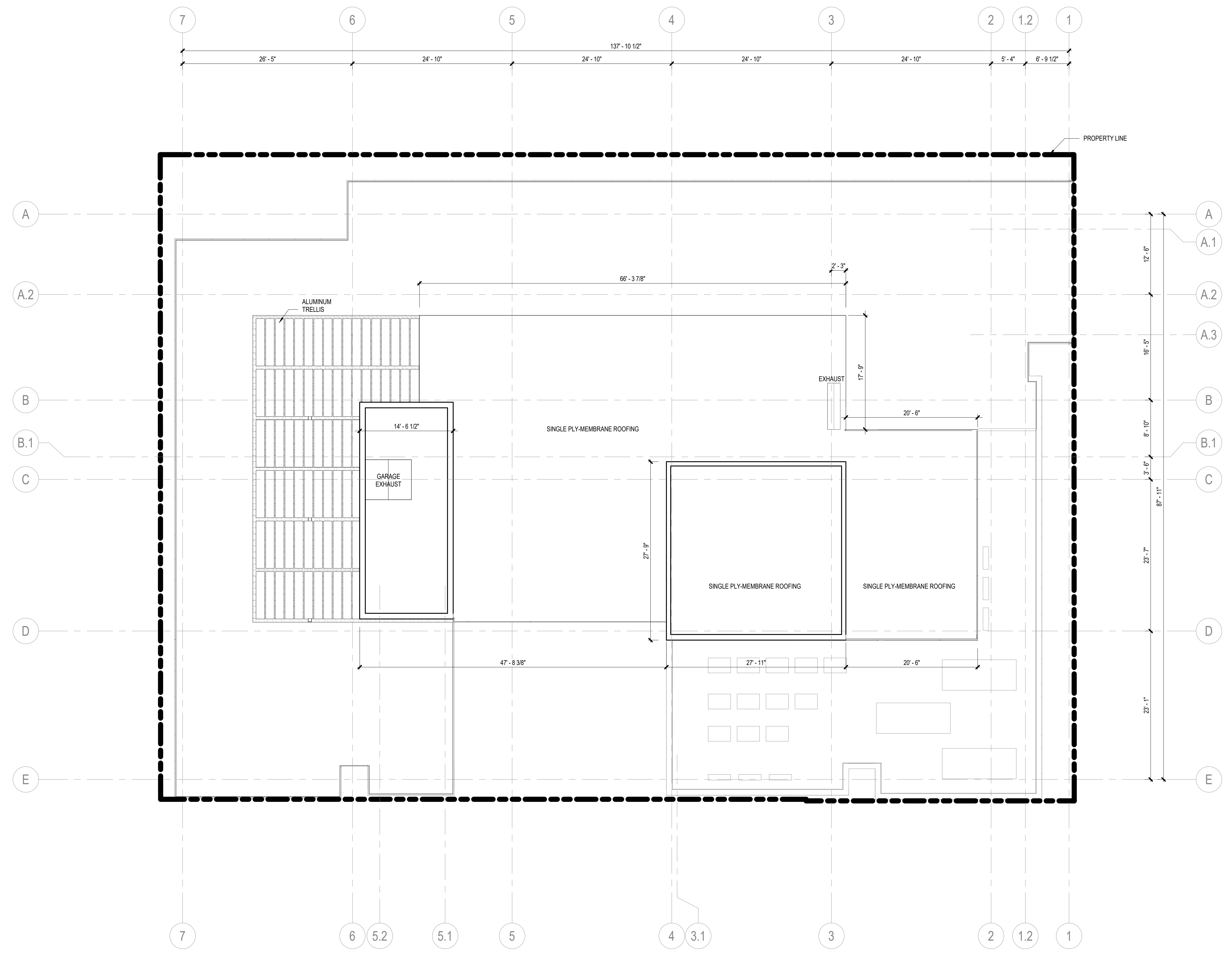
- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION

**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION 1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 1-HOUR FIRE-RATED SMOKE BARRIER 2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION 2-HOUR FIRE-RATED SMOKE BARRIER 3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE: STRUCT
	NEW DOOR WITH DOOR TAG REF: DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF: GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS



**1** TOP OF ROOF  
SCALE: 1/8" = 1'-0"

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**EXTERIOR GENERAL NOTES**

- FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.
- ALL MATERIALS NEED TO BE APPROVED.

**KEYED NOTES**

NUMBER	DESCRIPTION
--------	-------------

**WINDOW TYPE LEYEND**

- TYPE 01: FIXED WINDOWS
  - TYPE 02: STOREFRONT
  - TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT
  - TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT
  - TYPE 05: FULL HEIGHT ONE SLIDING PANEL
  - TYPE 06: SLIDING OPERABLE WALL
- \*ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

**EXTERIOR ELEVATION LEGEND**

- CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY
- CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE
- CLADDING - PORCELANOSA - MAKER ROPE
- CLADDING - PORCELANOSA - MAKER SMOKE
- GLASS - CLEAR
- CUSTOM CUT METAL PANEL - BRONZE
- CLADDING - PORCELANOSA MANHATTAN COGNAC
- METAL - DARK BRONZE
- STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE
- BOARD FORMED CONCRETE COLUMNS
- RAILING - STRUCTURAL GLASS
- DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
- DB - LIGHTING FIXTURE OUTDOOR SCONCE
- CLADDING - ALUMINUM WOODGRAIN



**2 ARCHITECTURAL - EAST ELEVATIONS**  
 SCALE: 1/8" = 1'-0"



**1 ARCHITECTURAL - SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**1** CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY  
 LOCATION: LEVEL 1 EXTERIOR FINISH

**2** CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE  
 LOCATION: LEVEL 1 EXTERIOR FINISH - BELOW STOREFRONT

**3** CLADDING - PORCELANOSA MAKER ROPE  
 LOCATION: GENERAL MASS EXTERIOR FINISH

**4** CLADDING - PORCELANOSA MAKER SMOKE  
 LOCATION: TOP MASS (LEVEL 05) EXTERIOR FINISH

**6** CUSTOM CUT METAL PANEL - BRONZE  
 LOCATION: PANEL NEXT TO TYP WINDOWS AND BALCONY DIVIDERS

**7** CLADDING - PORCELANOSA MANHATTAN COGNAC  
 LOCATION: BALCONY SOFFIT

**8** METAL - DARK BRONZE  
 LOCATION: ALL METAL FRAMES

**9** STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE  
 LOCATION: SOUTH ELEVATION

**10** BOARD FORMED CONCRETE COLUMNS  
 LOCATION: LEVEL 01 EXPOSED COLUMNS

**11** RAILING - STRUCTURAL GLASS  
 LOCATION: ALL RAILINGS

**13 - DB** OUTDOOR SCONCE  
 LOCATION: LEVEL 5 GUESTROOM BALCONIES

**12 - DA** OUTDOOR SCONCE  
 LOCATION: LEVEL 1 RESTAURANT

**14** CLADDING - ALUMINUM WOODGRAIN  
 KNOTWOOD DRETTWOOD  
 LOCATION: EXTERIOR ROOFTOP WALL FINISH

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**ARCHITECTURAL - EXTERIOR ELEVATIONS**

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ORIGINAL SIZE <b>SPAR APPLICATION</b>	DATE <b>08 APRIL 2022</b>

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CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY  
CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE  
CLADDING - PORCELANOSA MAKER SMOKE  
CLADDING - PORCELANOSA MAKER ROPE  
CLADDING - PORCELANOSA MANHATTAN COGNAC  
CUSTOM CUT METAL PANEL - BRONZE  
METAL - DARK BROZE  
BOARD FORMED CONCRETE COLUMNS



## EKN Petaluma LLC HOTEL WEAVER 2 Petaluma Blvd South Petaluma, California

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## SPAR-A11

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CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE, DARK GRAY  
 CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE, TWO TONE  
 CLADDING - PORCELANOSA MAKER SMOKE  
 CLADDING - PORCELANOSA MAKER ROSE  
 CLADDING - PORCELANOSA MANHATTAN COGNAC  
 CUSTOM CUT METAL PANEL - BRONZE  
 METAL - DARK BROZE  
 BOARD FORMED CONCRETE COLUMNS



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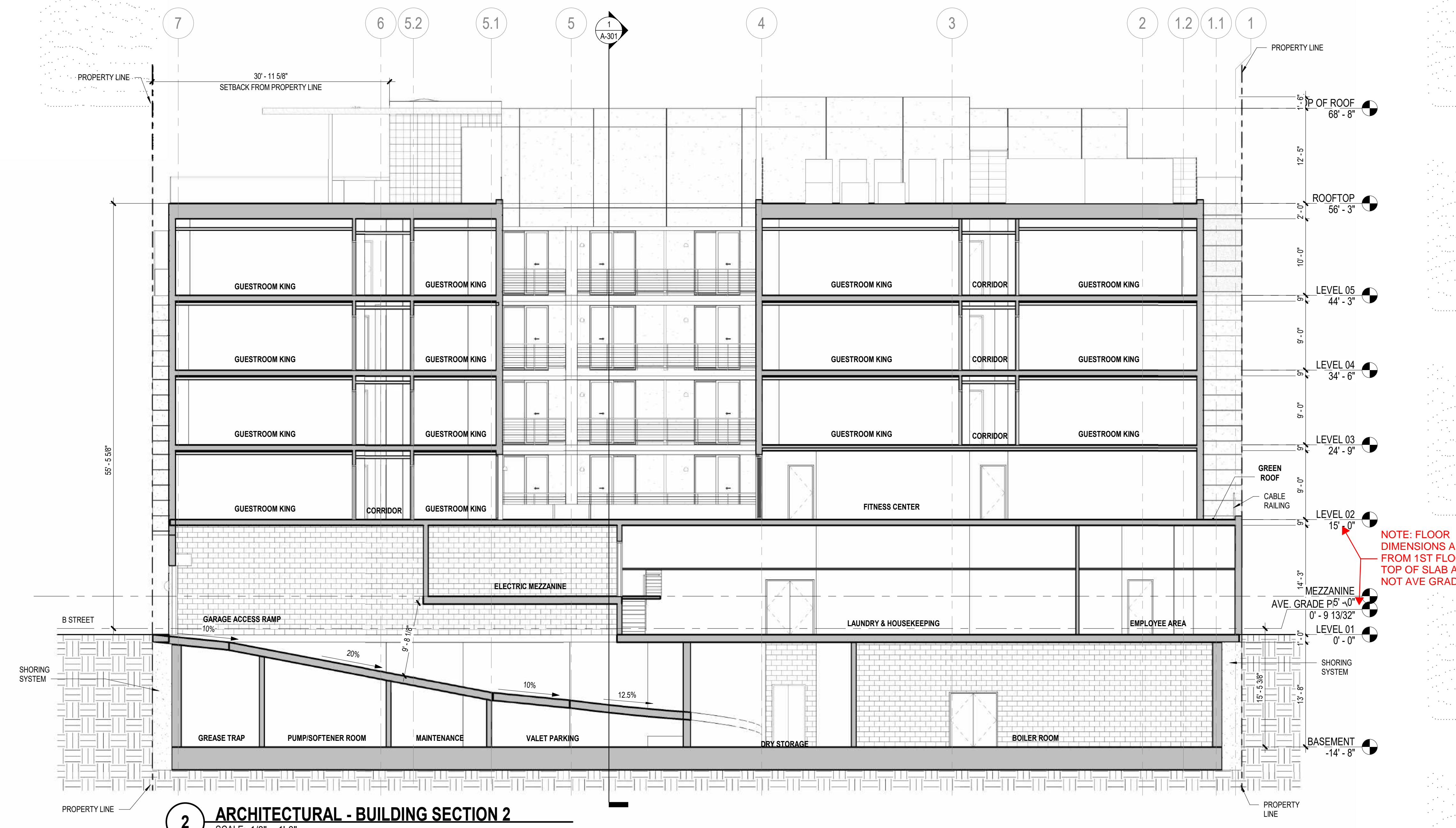
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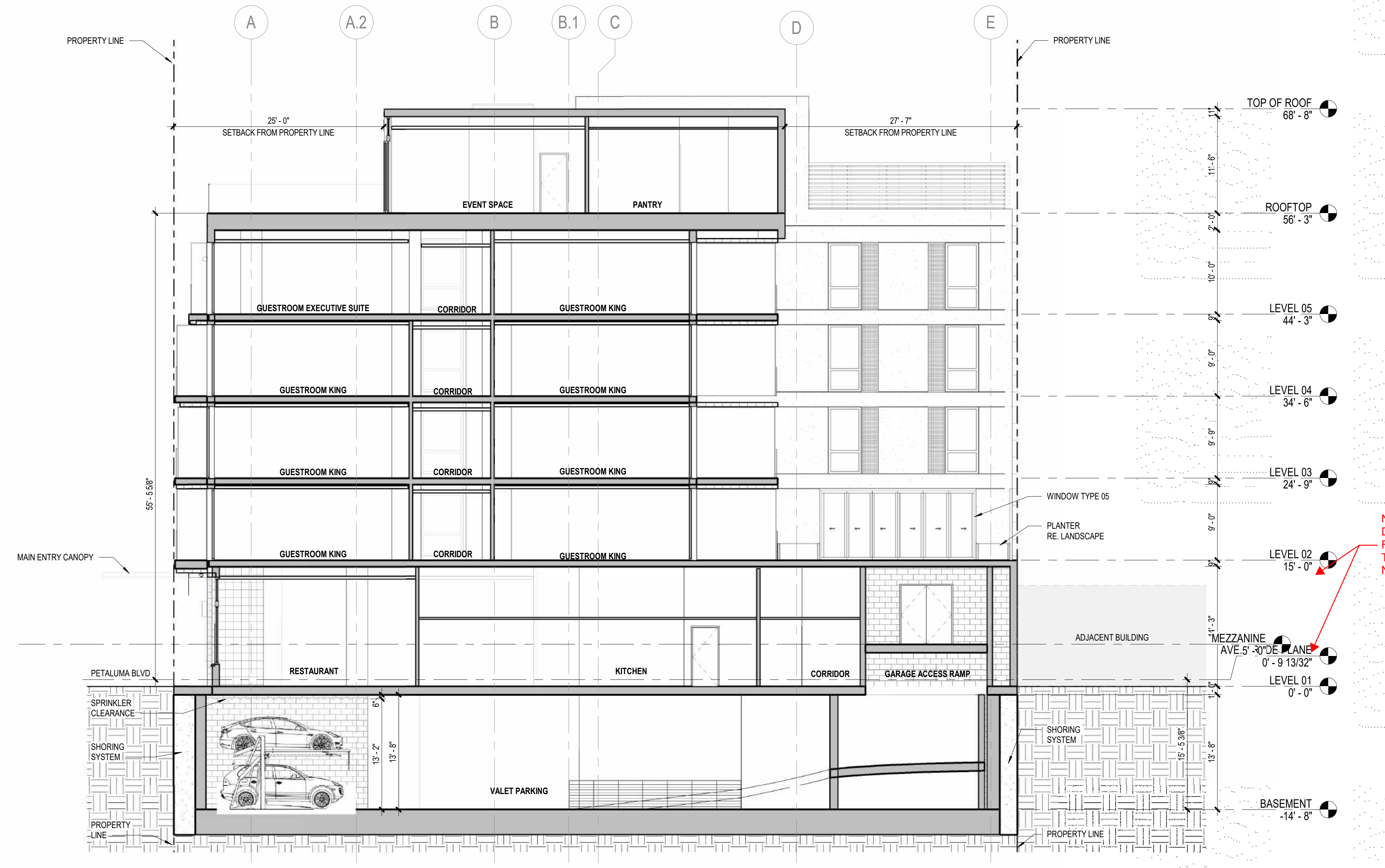
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2 ARCHITECTURAL - BUILDING SECTION 2  
 SCALE: 1/8" = 1'-0"



1 ARCHITECTURAL - BUILDING SECTION 1  
 SCALE: 1/8" = 1'-0"

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 SHEET NUMBER



**CEILING PLAN GENERAL NOTES**

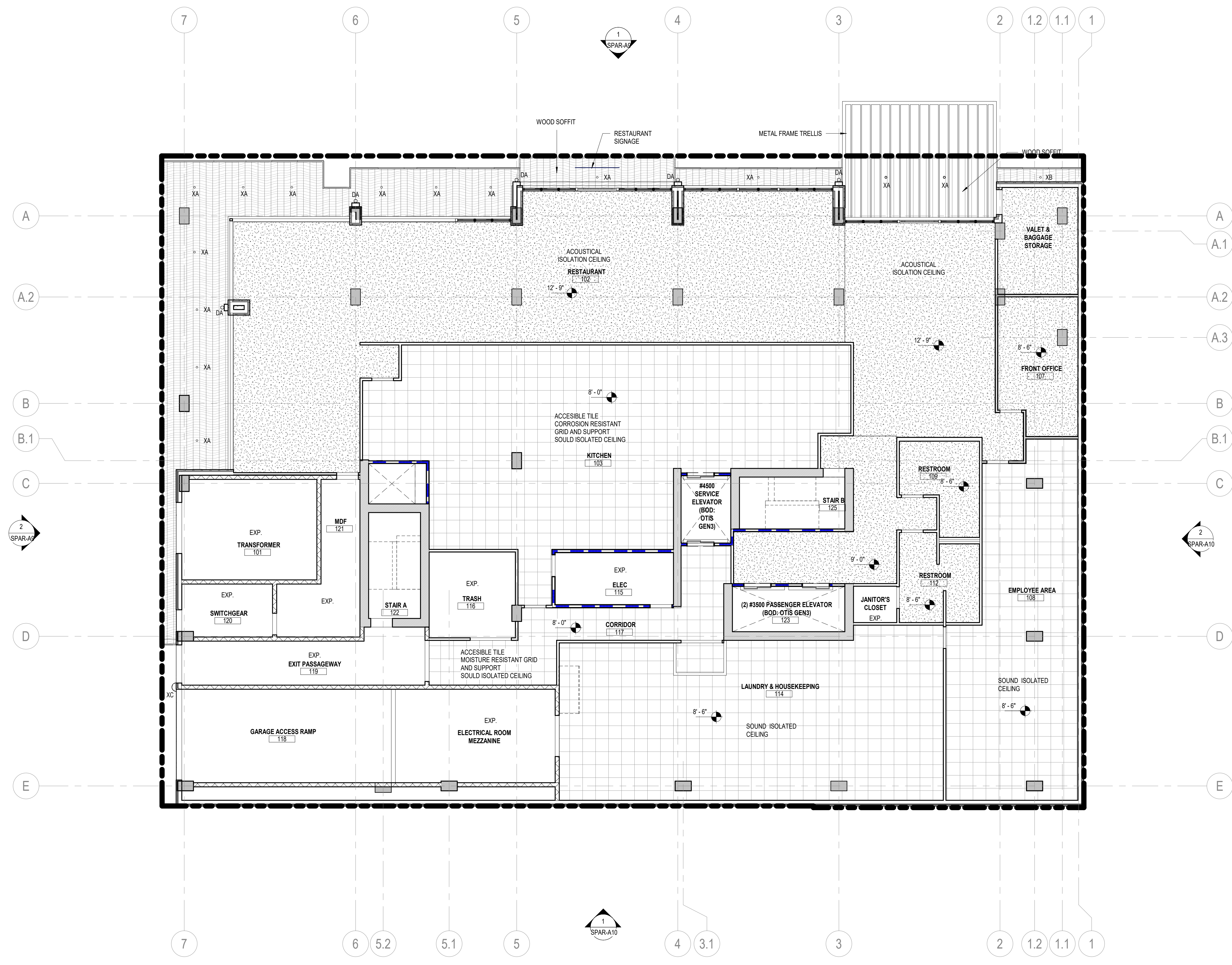
1. ALL CEILINGS HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
2. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
4. ALL 'CAN' LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILES.
5. ALL 'CAN' LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURFDOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
8. ALL CEILINGS HEIGHTS IN "TOILET ROOMS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
9. ALL CEILINGS HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.O.

**KEYED NOTES**

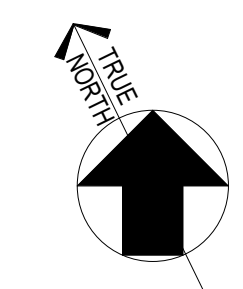
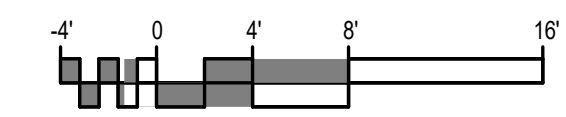
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**EXTERIOR CEILING PLAN LEGEND**

SYMBOL	DESCRIPTION
○	XA - EXTERIOR DOWNLIGHT
○	XB - EXTERIOR WALL WASHER
⊂	XC - EXTERIOR EGRESS SCENCE
○	DA - EXTERIOR SCENCE A
○	DB - EXTERIOR SCENCE B
---	DC - LINEAR LIGHTING



**1 REFLECTED CEILING PLAN - LEVEL 01**  
SCALE: 1/8" = 1'-0"



**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

NO.	REVISION	DATE
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ARCHITECTURAL - REFLECTED  
CEILING PLAN - LEVEL 01

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**CEILING PLAN GENERAL NOTES**

1. ALL CEILING HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
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3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
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6. ALL GYP. BOARD FURFDOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
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9. ALL CEILING HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.O.

**KEYED NOTES**

NUMBER	DESCRIPTION
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**EXTERIOR CEILING PLAN LEGEND**

SYMBOL	DESCRIPTION
○	XA - EXTERIOR DOWNLIGHT
○	XB - EXTERIOR WALL WASHER
○	XC - EXTERIOR EGRESS SCENCE
○	DA - EXTERIOR SCENCE A
○	DB - EXTERIOR SCENCE B
---	DC - LINEAR LIGHTING

**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

NO.	REVISION	DATE
1	SPAR REVISION	24 JUN 2022

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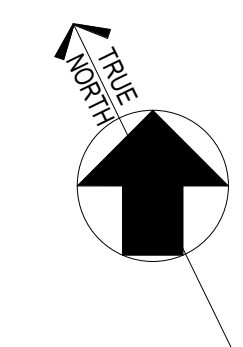
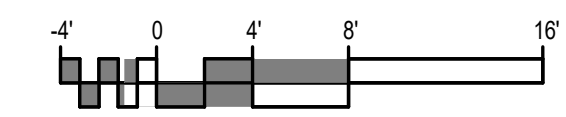
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CEILING PLAN - LEVEL 02

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**1 REFLECTED CEILING PLAN - LEVEL 02**  
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**CEILING PLAN GENERAL NOTES**

1. ALL CEILINGS HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
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3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
4. ALL 'CAN' LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILES.
5. ALL 'CAN' LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURFDOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
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**KEYED NOTES**

NUMBER	DESCRIPTION
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**EXTERIOR CEILING PLAN LEGEND**

SYMBOL	DESCRIPTION
○	XA - EXTERIOR DOWNLIGHT
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⊂	XC - EXTERIOR EGRESS SCENCE
○	DA - EXTERIOR SCENCE A
○	DB - EXTERIOR SCENCE B
---	DC - LINEAR LIGHTING

**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

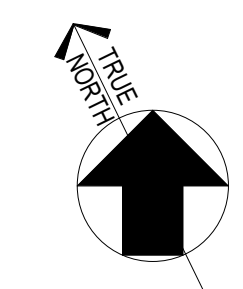
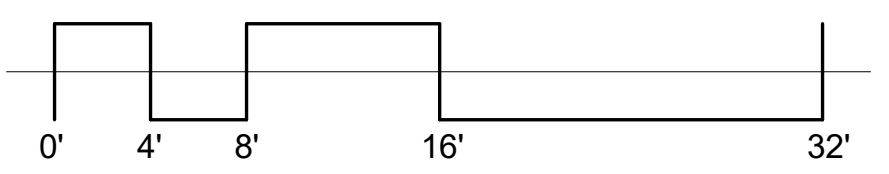
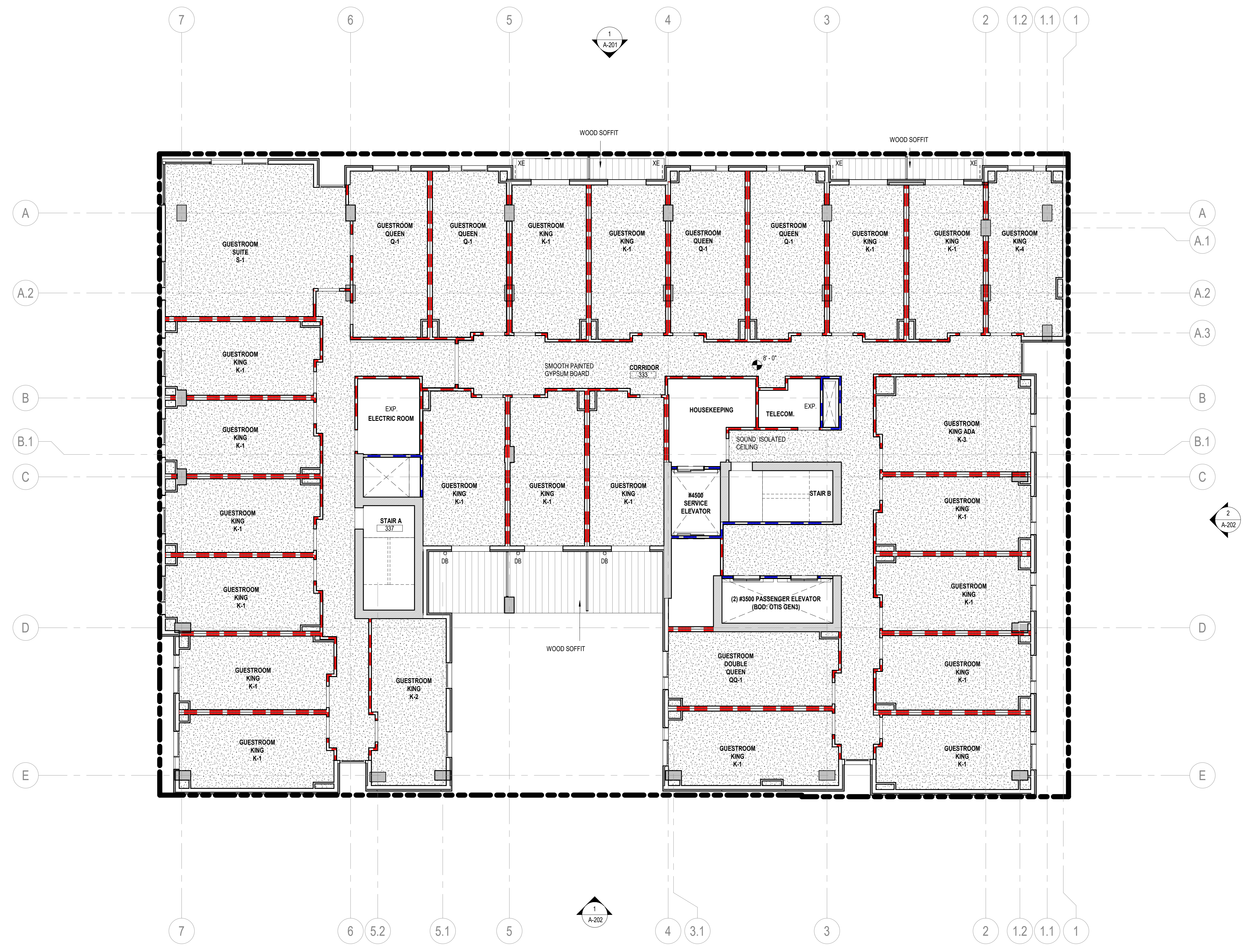
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ARCHITECTURAL - REFLECTED  
CEILING PLAN - LEVEL 03

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SHEET NUMBER



**1 REFLECTED CEILING PLAN - LEVEL 03**  
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**CEILING PLAN GENERAL NOTES**

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**EKN Petaluma LLC**  
**HOTEL WEAVER**  
 2 Petaluma Blvd South  
 Petaluma, California

**REVISION HISTORY**

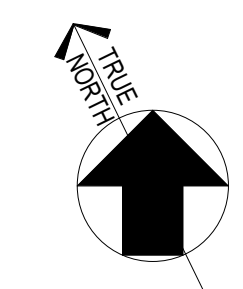
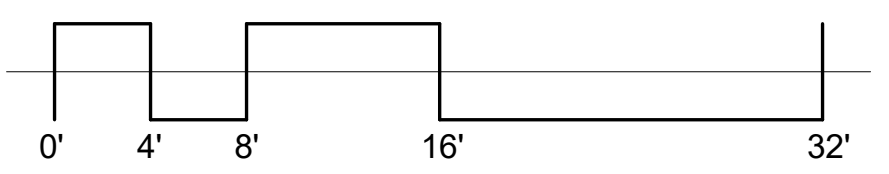
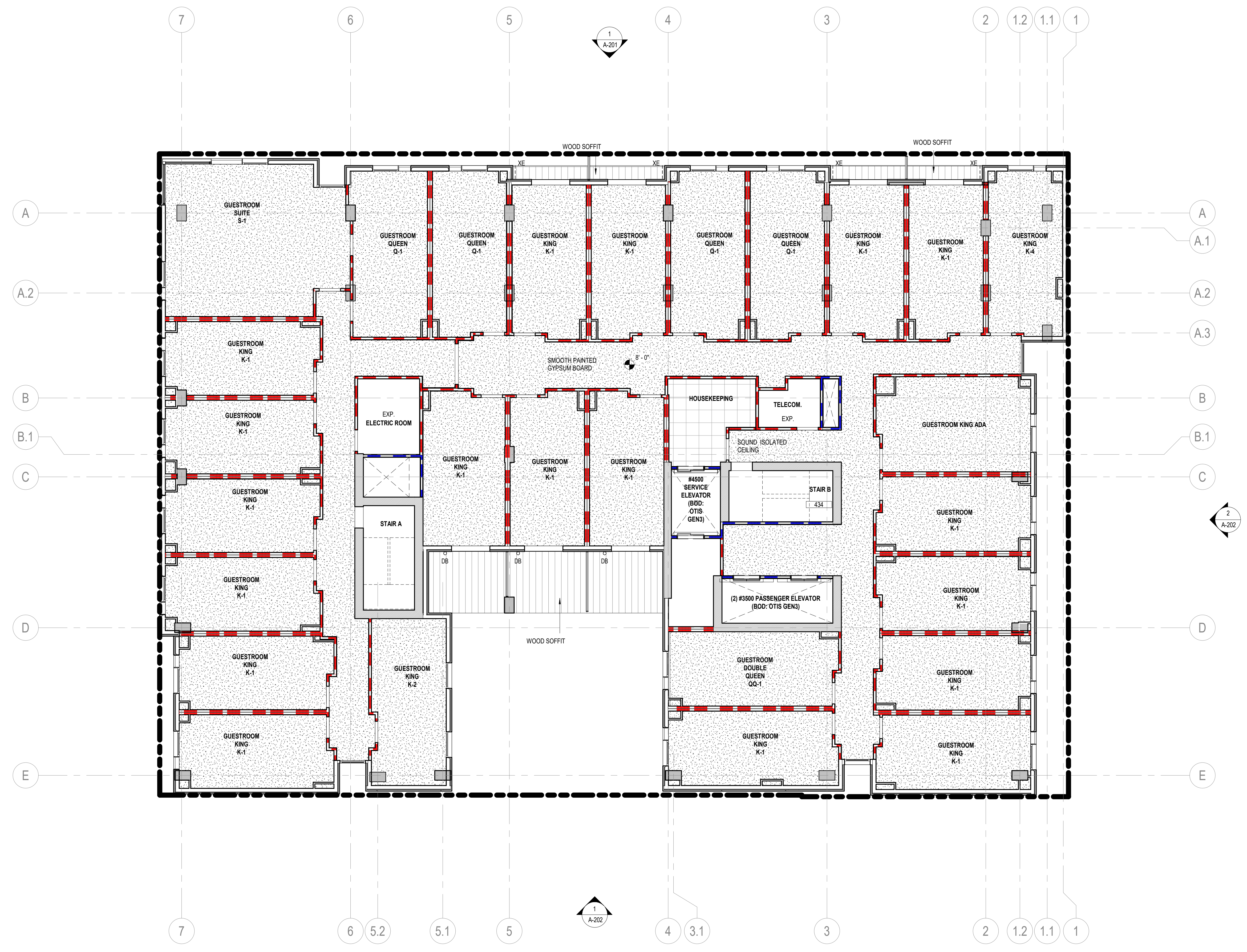
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 CEILING PLAN - LEVEL 04

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**SPAR-A16.3**  
 SHEET NUMBER



**1 REFLECTED CEILING PLAN - LEVEL 04**  
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**CEILING PLAN GENERAL NOTES**

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**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

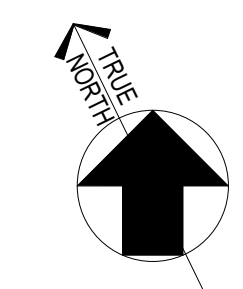
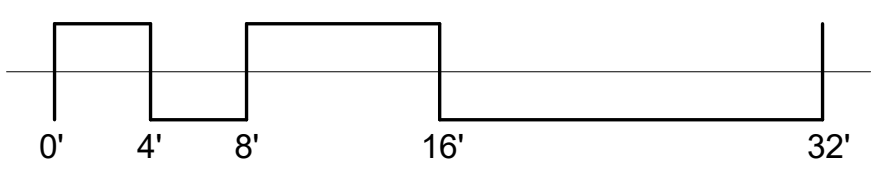
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ARCHITECTURAL - REFLECTED  
CEILING PLAN - LEVEL 05

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 APRIL 2022

**SPAR-A16.4**  
SHEET NUMBER



**1 REFLECTED CEILING PLAN - LEVEL 05**  
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**CEILING PLAN GENERAL NOTES**

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**KEYED NOTES**

NUMBER	DESCRIPTION
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**EXTERIOR CEILING PLAN LEGEND**

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⊙	DA - EXTERIOR SCENCE A
⊙	DB - EXTERIOR SCENCE B
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**EKN Petaluma LLC**  
**HOTEL WEAVER**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

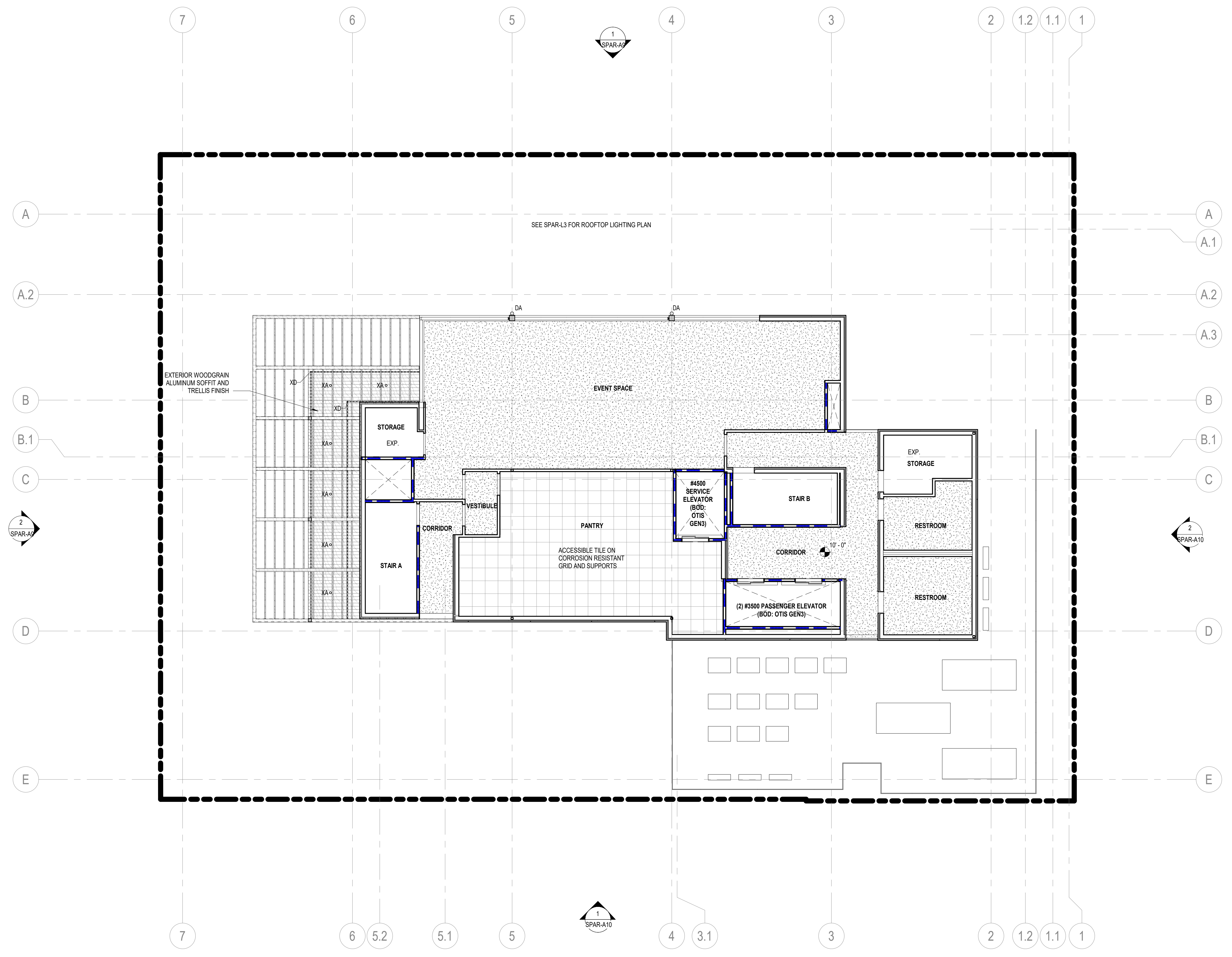
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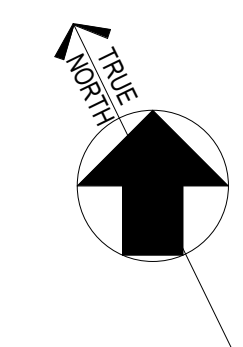
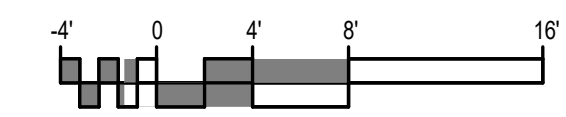
ARCHITECTURAL - REFLECTED  
CEILING PLAN - ROOFTOP LEVEL

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**SPAR-A17**  
SHEET NUMBER



**1 ARCHITECTURAL - ROOFTOP**  
SCALE: 1/8" = 1'-0"



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Calculation Summary							
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Level 1 Site Photometrics	Illuminance	Fc	1.99	32.9	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	14	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model_B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	126
⊕	1	CLMDBSPL030 101 1xLED-LBD20B0	Single	CLMDBSPL030 101 1xLED-LBD20B0		0.850	616	9	9
⊕	1	WDGE2 LED P1 27K 90CRI VW	Single	WDGE2 LED P1 27K 90CRI VW		0.850	1012	9.81	9.81

REVISION	DESCRIPTION	DATE
SPAR	REVISION HISTORY	24 JUN 2022

REVISION	DESCRIPTION	DATE
PROFESSIONAL SEALS	INTERIM REVIEW	

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PHOTOMETRIC PLAN - SITE

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SPAR-A18  
SHEET NUMBER

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414 Jackson Street, 4th Floor  
San Francisco, CA 94111  
page@pspp.com

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INTERFACE ENGINEERING BRIGHTVIEW DESIGN GROUP  
801 South Figueroa Street  
Suite 2750  
Los Angeles CA 90017  
323 536 2362

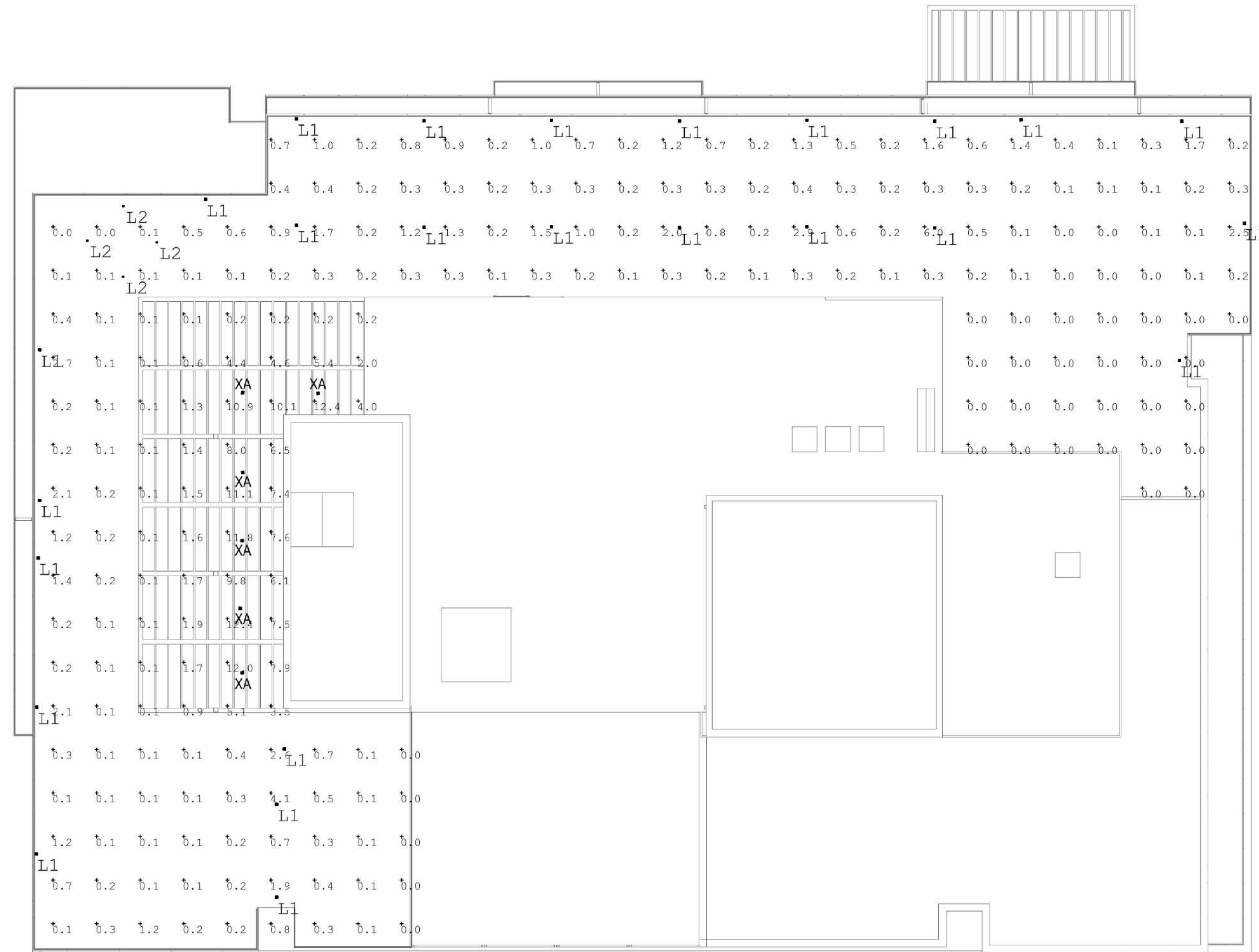
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BRIGHTVIEW DESIGN GROUP  
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Denver, Colorado 80203  
Address Line 3  
949 238 4900

**STRUCTURE**  
BUEHLER ENGINEERING  
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Suite 1125  
San Francisco, CA 94103  
213 694 3408

**FF&E**  
DH-COMPANIES  
7591 Coppermine Drive  
Manassas, VA 20109

**INTERIORS**  
SIXTEEN FIFTY  
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La Jolla, CA  
92037  
858 454 6909

**CIVIL**  
N CONSULTING ENGINEERS  
4 Park Plz  
Irvine, CA  
92614  
949 369 1161



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
rooftop area		Fc	1.12	12.4	0.0	N.A.	N.A.

Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
☐	26	7380	Single	CRT2003060919-002, Model 7380	L1	0.850	630	13.3	345.8
⊕	4	2134x212	Single	213 4x 212		0.850	144	5	20
⊕	6	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	54

REVISION	DESCRIPTION	DATE
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PROFESSIONAL SEALS

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PHOTOMETRIC PLAN - ROOF

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SPAR APPLICATION	08 APRIL 2022

**SPAR-A19**

SHEET NUMBER



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San Francisco, CA 94111  
page@think.com

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858 454 6909 949 399 1161

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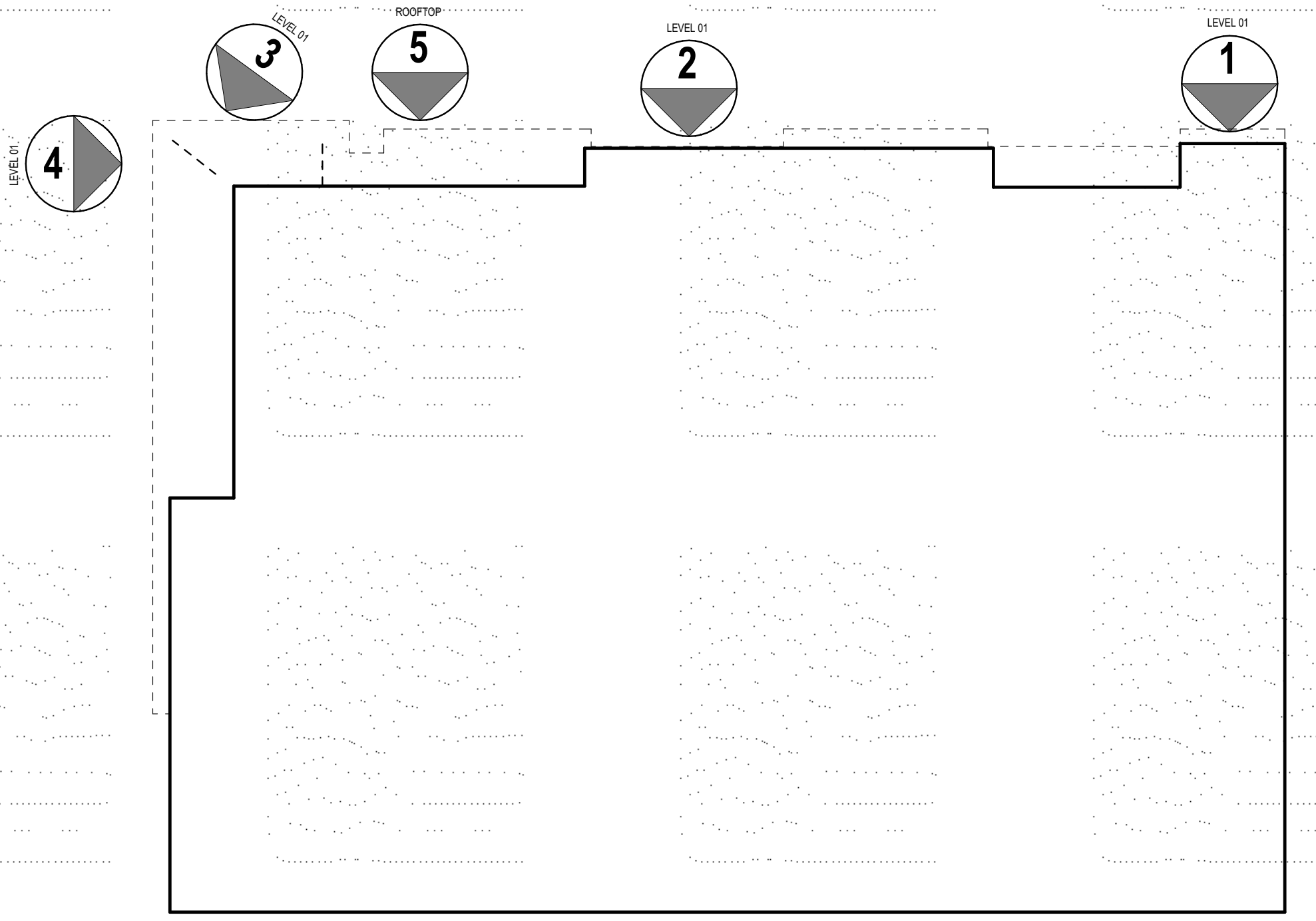
REVISION HISTORY

REVISION	DESCRIPTION	DATE
1	SPAR REVISION	24 JUN 2022

PROFESSIONAL SEALS  
INTERIM REVIEW  
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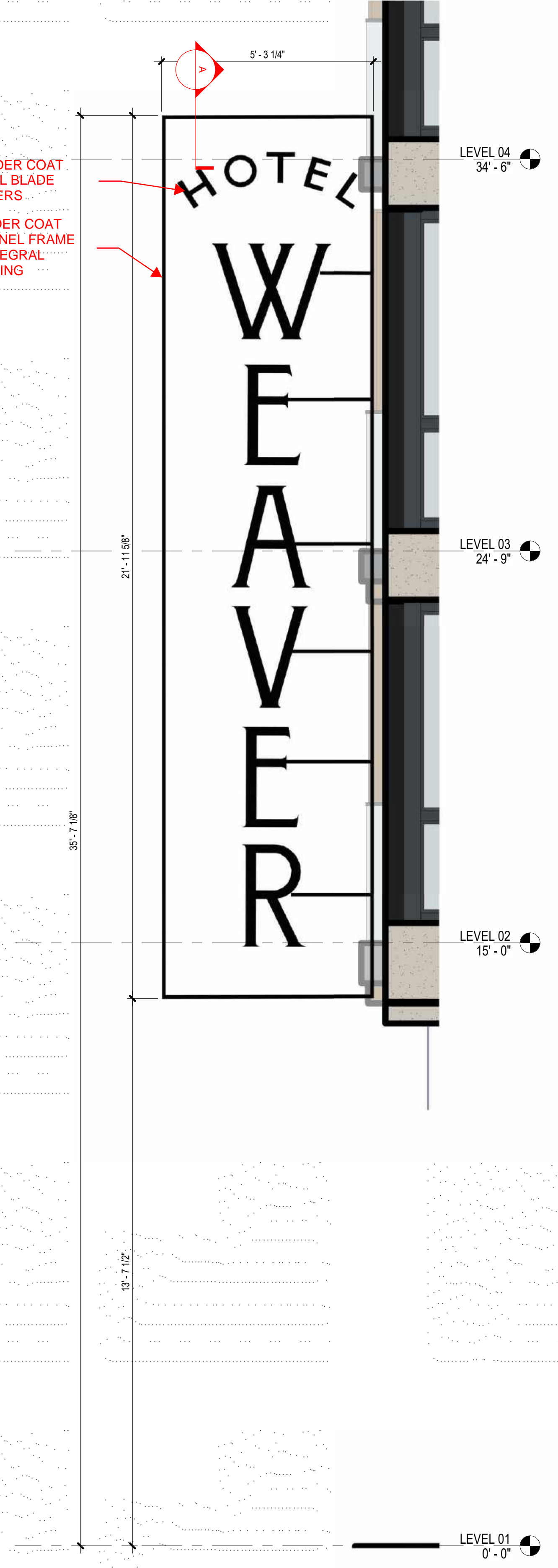
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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 APRIL 2022



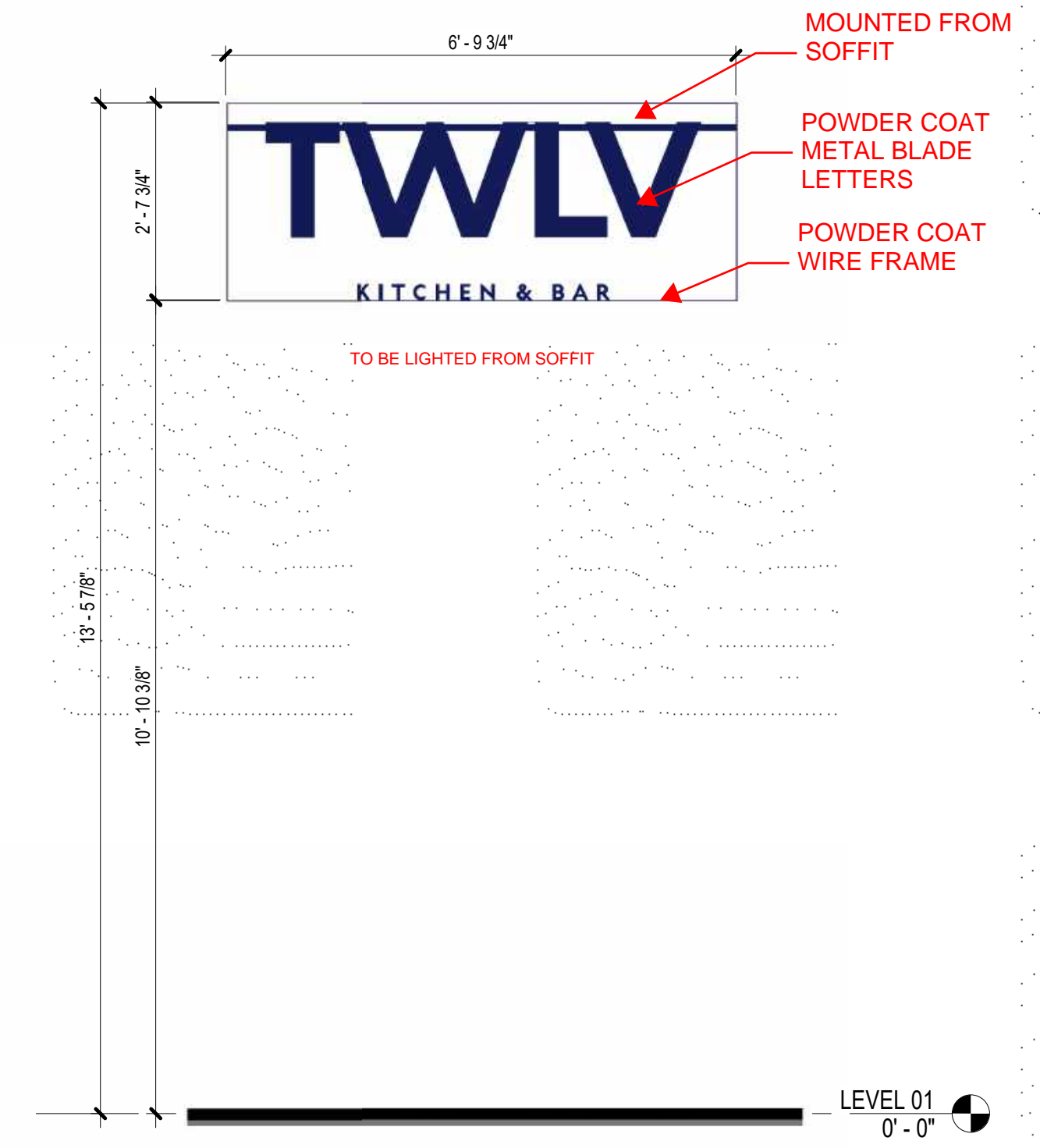
6 KEY PLAN  
SCALE: 1/16" = 1'-0"

POWDER COAT CHANNEL FRAME  
LED STRIP LIGHT AROUND ENTIRE FRAME SHINING ON TO LETTERS  
INTEGRAL LIGHT DETAIL DETAIL 'X'

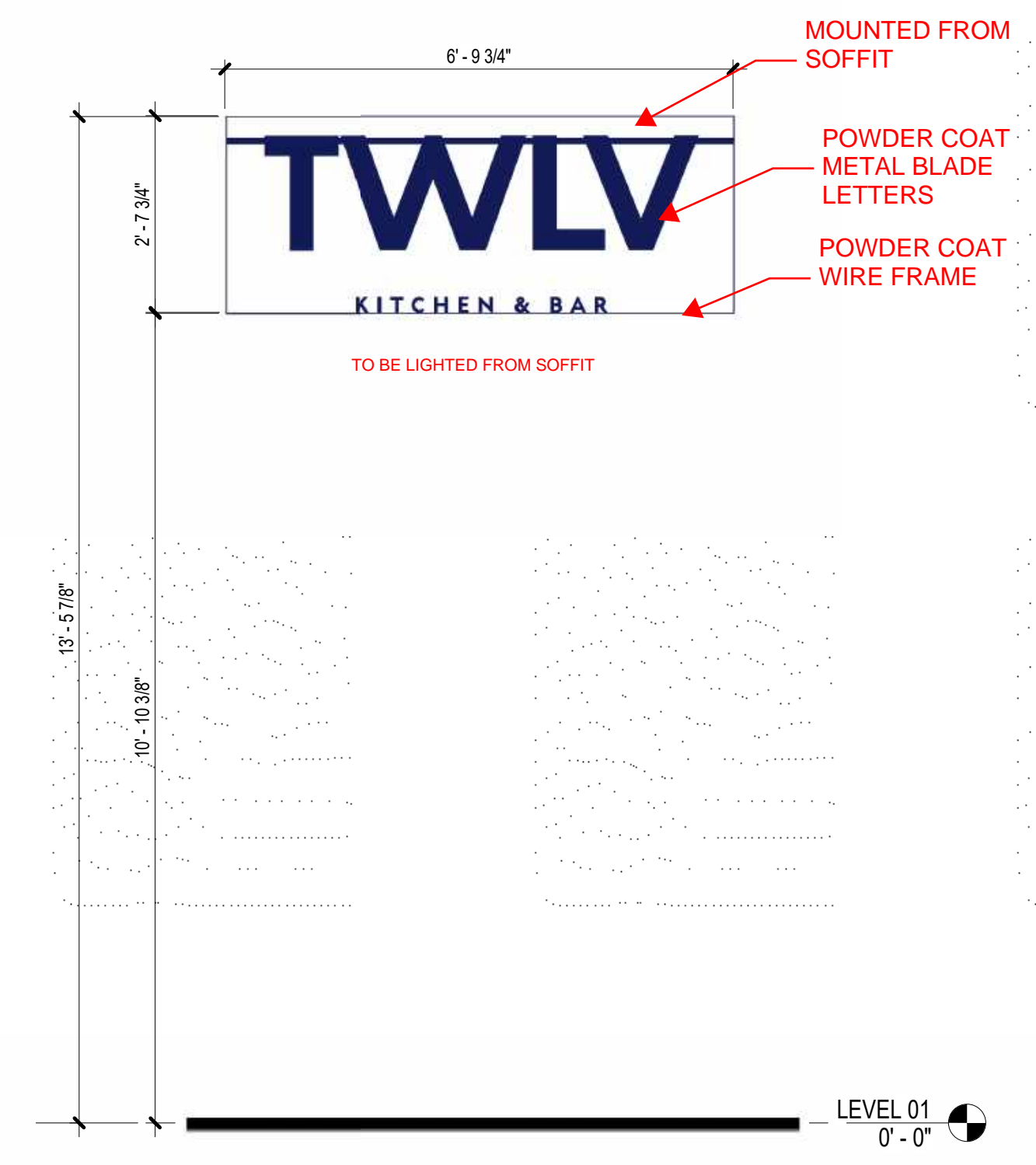
POWDER COAT METAL BLADE LETTERS  
POWDER COAT CHANNEL FRAME w/ INTEGRAL LIGHTING



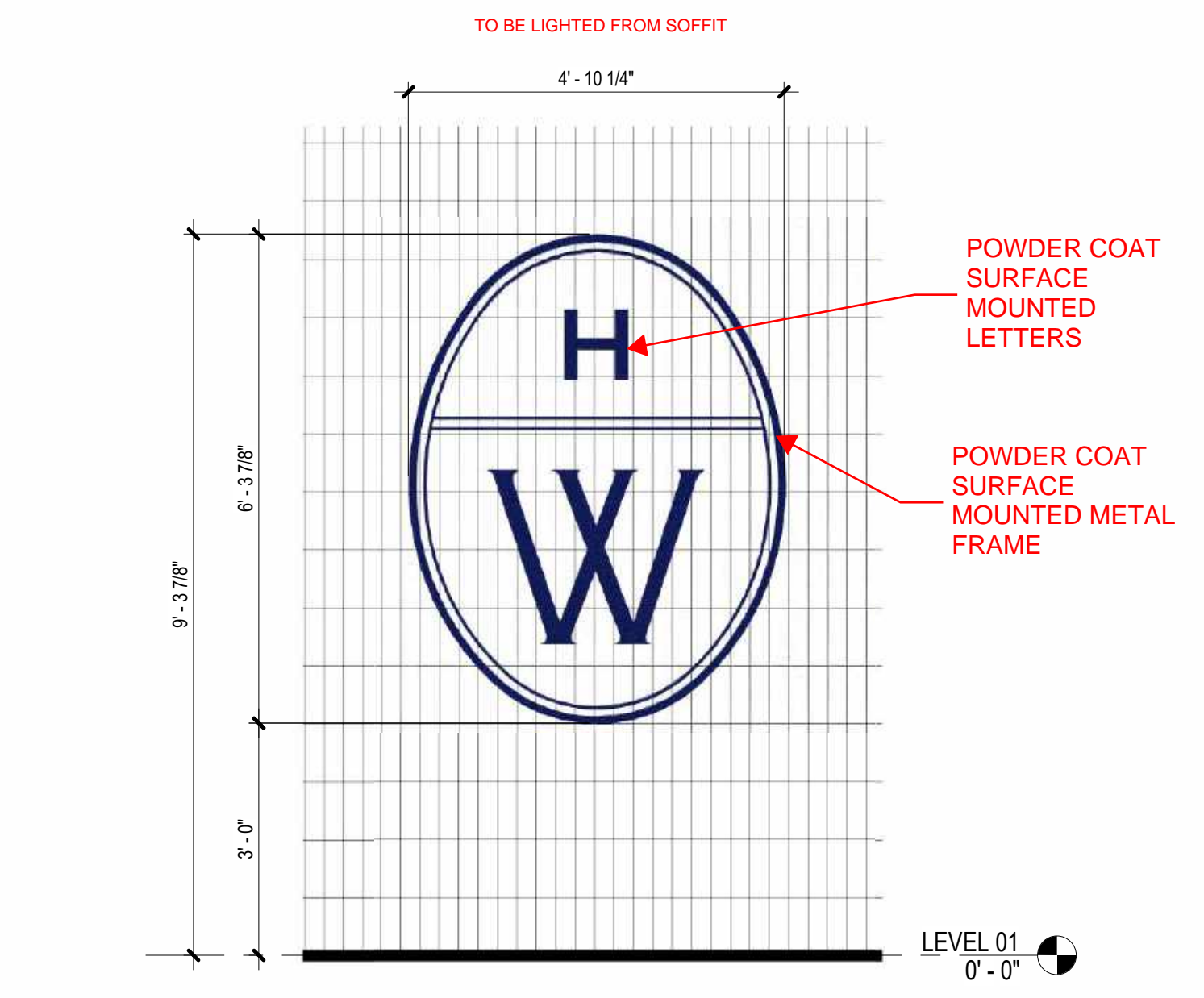
4 ELEVATION - WEST - VERTICAL BUILDING SIGNAGE  
SCALE: 1/2" = 1'-0"



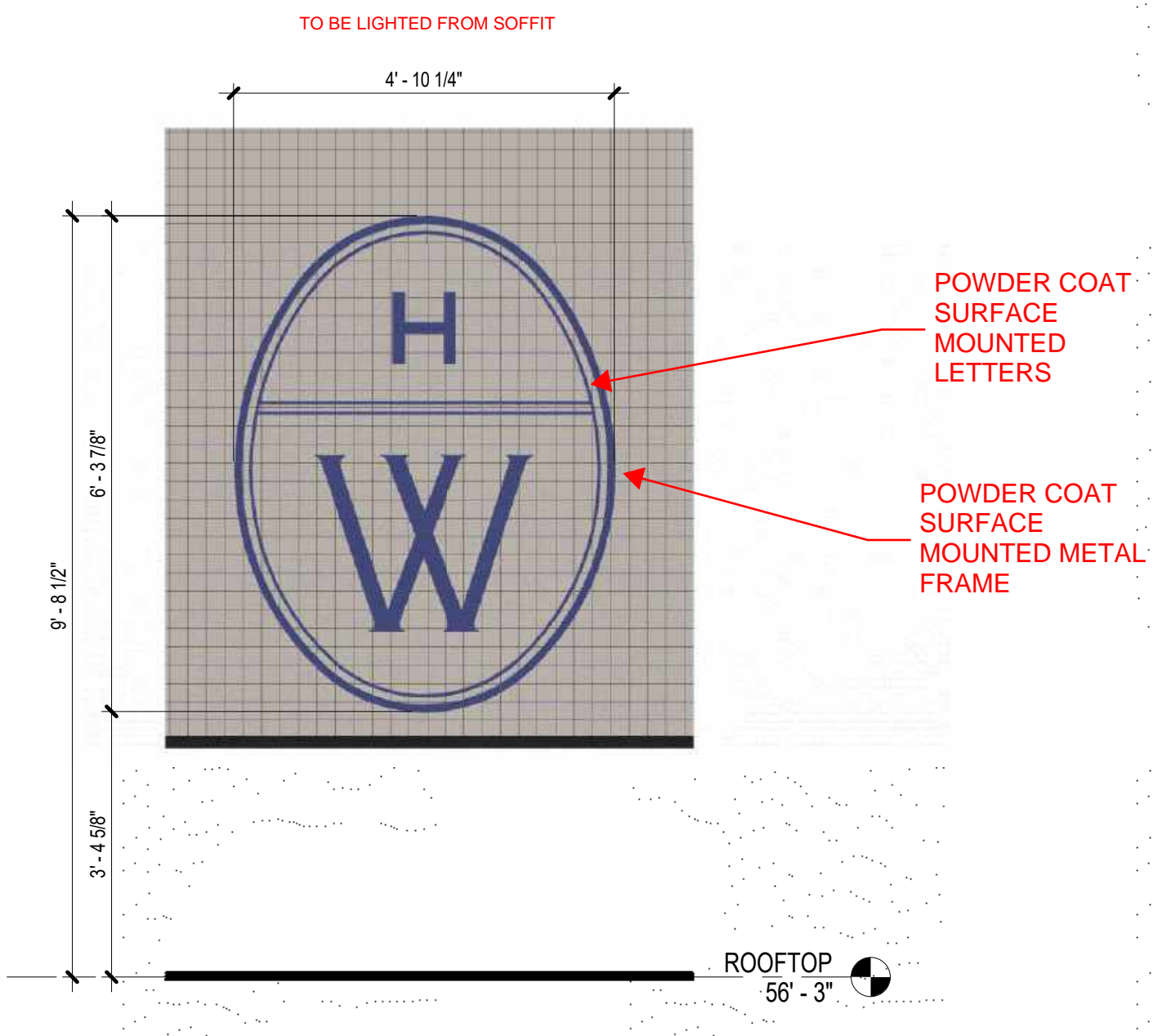
3 ELEVATION - MAIN ENTRY - NORTH - CORNER SIGNAGE  
SCALE: 1/2" = 1'-0"



2 ELEVATION - MAIN ENTRY - NORTH - RESTAURANT SIGNAGE  
SCALE: 1/2" = 1'-0"



1 ELEVATION - MAIN ENTRY - NORTH - LEVEL 01 SIGNAGE  
SCALE: 1/2" = 1'-0"



5 ELEVATION - MAIN ENTRY - NORTH - ROOFTOP SIGNAGE  
SCALE: 1/2" = 1'-0"

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