



414 PETALUMA BLVD. APTS.

PETALUMA, CA

COVER SHEET

09/24/2021

LPAS

2484 Natomas Park Drive Suite 100 Sacramento CA 95833
916 443 0335 lpasdesign.com Architecture + Design

Project # 1295-0003

GENERAL NOTES:

1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM TO THE SPECIFICATIONS, STANDARDS AND ORDINANCES OF THE CITY OF PETALUMA.
2. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SONOMA COUNTY WATER AGENCY FLOOD CONTROL DESIGN STANDARDS AND THE CITY OF PETALUMA STORM DRAIN DETAIL SPECIFICATION NO. 31.
3. SEWER LATERALS SHALL HAVE 4.5 FEET OF COVER (FROM TC AT CURB LINE) AND NOT LESS THAN 1/4" FALL PER FOOT. SEWER LATERALS SHALL BE PLACED UNDER THE UNDERGROUND JOINT TRENCH UTILITIES AND KEPT CLEAR OF DRIVEWAYS.
4. MANHOLE FRAMES AND COVERS SHALL BE BROUGHT TO FINISH GRADE AFTER PAVING.
5. THE CONCRETE CONTRACTOR SHALL STAMP THE LETTER "W" ON THE FACE OF CURB DIRECTLY ABOVE THE WATER SERVICE. LETTERS SHALL BE NEAT, CLEAR AND 4" HIGH.
6. ALL STREET MONUMENTS, LOT CORNER PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. VARIANCES FROM STANDARD DETAILS OR THESE PLANS REQUIRE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE AGENCIES.
9. THE CITY ENGINEER SHALL HAVE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE FOR INSPECTION.
10. THE NEW WATER LINES SHALL NOT BE PHYSICALLY CONNECTED TO THE CITY WATER SYSTEM UNTIL TESTED, CHLORINATED, AND APPROVED. WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 3.5 FEET FROM FINISHED GRADE.
11. WHEREVER POSSIBLE, GATE VALVES SHOULD BE LOCATED ON THE PROJECTION OF CURB LINES.
12. FIVE (5) HOURS MAXIMUM SHUTDOWN TIME OF EXISTING MAINS WHILE MAKING CONNECTIONS. TWENTY-FOUR (24) HOUR NOTICE OF SHUTDOWN TO BE GIVEN BY CONTRACTOR TO ALL WATER CUSTOMERS. EXISTING VALVES TO BE OPERATED BY CITY WATER DIVISION PERSONNEL ONLY.
13. WATER SERVICES SHALL BE PLACED OVER THE TOP OF THE UNDERGROUND JOINT TRENCH UTILITIES. WATER SERVICES SHALL NOT BE INSTALLED WITHIN CURB CUTS FROM DRIVEWAYS.
14. AGGREGATE BASE MATERIALS SHALL BE CLASS 2 AND PLACED IN ACCORDANCE WITH SECTION 26-1.04 OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DATED JULY 1984, OR LATEST EDITION.
15. THE SURFACE COURSE OF ASPHALT CONCRETE SHALL CONSIST OF TYPE A, 1/2" MAXIMUM MEDIUM GRADING AGGREGATE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF LABORATORY AND FIELD TESTS. ALL TESTING SHALL BE COORDINATED THROUGH THE CITY OF PETALUMA.
17. ALL ELEVATIONS SHOWN ARE ON NGVD 1929 DATUM, PER CITY OF PETALUMA DATA. BENCHMARK IS FOUND 2" BRASS DISC WITH PUNCH MARK IN STANDARD STREET WELL MONUMENT CASING IN THE CENTERLINE OF NORTH MCDOWELL BOULEVARD 34.11 FEET NORTHERLY OF THE INTERSECTION OF SCOTT STREET AND NORTH MCDOWELL BOULEVARD. ELEVATION = 32.09'
18. EXCAVATIONS OVER FIVE (5) FEET DEEP REQUIRE AN EXCAVATION PERMIT FROM THE STATE DEPARTMENT OF INDUSTRIAL SAFETY.
19. ALL UNDERGROUND CONTRACTORS SHALL CALL UNDERGROUND SERVICE ALERT AT 811 AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATING UNDERGROUND UTILITIES.
20. WHERE THE NEW DRIVEWAY OF THIS DEVELOPMENT JOINS EXISTING STREETS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT PAVEMENT CONFORMS AS REQUIRED BY THE PLANS.
21. GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF IN FORMS AND FINISHED SURFACING.
22. INSTALL SIGNING AND STRIPING TO CONFORM WITH THE CURRENT EDITION OF THE CALTRANS TRAFFIC MANUAL.
23. A TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO STARTING ANY ROAD WORK.
24. CONSTRUCTION EQUIPMENT IS NOT PERMITTED WITHIN ANY PUBLIC STREET OVERNIGHT.

GRADING NOTES

1. THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY ROCKRIDGE GEOTECHNICAL (PROJECT NO. 19-1721) DATED APRIL 26, 2020, IS HEREBY INCORPORATED AS A PART OF THESE PLANS.
2. THE OWNER SHALL RETAIN THE GEOTECHNICAL ENGINEER OF RECORD TO PROVIDE OBSERVATION AND TESTING OF SITE GRADING. THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SOLS REPORT TO THE CITY, WHICH CERTIFIES THAT THE EMBANKMENTS WERE PLACED IN ACCORDANCE WITH THE PLANS (AND AMENDMENTS THERETO, IF ANY), SPECIFICATIONS AND SOUND GEOTECHNICAL PRACTICE. THE REPORT SHALL ADDRESS IN PARTICULAR THE SUITABILITY OF THE NATIVE SOIL ENCOUNTERED AT THE TOE AND BASE OF ALL FILLS. FURTHER, THE REPORT SHALL CONTAIN ANALYSIS OF THE SOLS ENCOUNTERED AND A COMPILATION OF COMPACTION TESTS PERFORMED. THE REPORT SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF PETALUMA.
3. SUBGRADE, CLASS II AGGREGATE BASE, AND ASPHALT CONCRETE SHALL HAVE A RELATIVE COMPACTION OF AT LEAST 95%.
4. WHERE ROADWAY SUBGRADE IS IN EXISTING FILLS OR STOCKPILED MATERIAL, ALL FILLS SHOULD BE EXCAVATED TO FIRM NATIVE SOLS, REPLACED AS ENGINEERED FILL AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. THE UPPER 12 INCHES OF ROADWAY SUBGRADE SHOULD BE COMPACTED TO 95 PERCENT RELATIVE COMPACTION PER ASTM TEST DESIGNATION D1557-91, TO CREATE A FIRM, SMOOTH AND ESSENTIALLY UNYIELDING SURFACE. THE PAVEMENT DESIGN SECTIONS ASSUMED AN R-VALUE OF SUBGRADE SOLS. THE R-VALUE SHALL BE VERIFIED AFTER ROUGH GRADING TO ROADWAY SUBGRADE.
5. WHERE FILLS ARE PLACED TO DEVELOP ROADWAY SUBGRADE, ANY LOOSE SURFACE SOLS PRESENT AT EXISTING GRADE AT CENTERLINE SHALL BE SCARIFIED AND COMPACTED FOR THEIR FULL DEPTH PRIOR TO PLACEMENT OF ADDITIONAL FILL.
6. ALL EXCESS SOIL MATERIAL, STUMPS, AND BOLDERS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH CITY BUILDING AND FIRE DEPARTMENT GRADING ORDINANCES AS THEY MAY APPLY.
7. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH APPENDIX J OF THE 2013 CALIFORNIA BUILDING CODE (CBC) AND CHAPTER 15.80 & 17.31 OF THE PETALUMA MUNICIPAL CODE (PMC).
8. NO WORK SHALL COMMENCE UNTIL THE CONTRACTOR, GRADING CONTRACTOR AND ALL RELATED SUBCONTRACTORS HAVE OBTAINED A COPY OF THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS PROJECT. COPIES OF THIS REPORT ARE AVAILABLE AT THE OFFICE OF HERZOG GEOTECHNICAL CONSULTING ENGINEERS. WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THIS REFERENCED REPORT AND ALL SUBSEQUENT GEOTECHNICAL REPORTS, INVESTIGATIONS, TESTS AND ANY OTHER DOCUMENTS PREPARED BY THE GEOTECHNICAL ENGINEER AND ALSO IN ACCORDANCE WITH THE GRADING INSTRUCTIONS HEREIN PREPARED BY ADOBE ASSOCIATES, INC. INCLUDING APPENDIX J OF THE 2013 CALIFORNIA BUILDING CODE.
9. IN THE EVENT THAT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, WORK SHALL BE HALTED TEMPORARILY AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR THE EVALUATION OF THE ARTIFACTS AND TO RECOMMEND FUTURE ACTION. THE LOCAL INDIAN COMMUNITY SHALL ALSO BE NOTIFIED AND CONSULTED IN THE EVENT ANY ARCHAEOLOGICAL REMAINS ARE UNCOVERED.
10. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL PREVENT ANY DUST NUISANCE BY IMPLEMENTING THE FOLLOWING MEASURES TO THE SATISFACTION OF THE CITY INSPECTOR:
 - a. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
 - b. COVER ALL TRUCKS HAULING SOIL, AGGREGATE, OR OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
 - c. SWEEP ROADS AS NEEDED (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC ROADS.
11. ALL STRIPPINGS TO BE USED ON THE PROJECT SHALL BE AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
12. IF CONSTRUCTION IS PERFORMED EARLIER THAN APRIL 15TH OR LATER THAN OCTOBER 15TH IN ANY GIVEN YEAR, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AS SHOWN ON THESE PLANS. SEE EROSION AND SEDIMENT CONTROL NOTES.
13. THE CONTRACTOR SHALL PERFORM EARTHWORK CALCULATIONS WHICH ACCOUNT FOR HIS/HER PROPOSED METHODS OF GRADING AND TRENCHING AS HE/SHE DEEMS NECESSARY FOR BIDDING AND CONSTRUCTION PURPOSES. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO BALANCE THE EARTHWORK OF THIS PROJECT AND TO ACCOUNT FOR THE COST OF ANY NECESSARY IMPORTING OR EXPORTING OF EARTH IN HIS/HER BID. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THIS ITEM OF WORK UNLESS THE OWNER REQUESTS ADDITIONAL WORK BE PERFORMED.
14. UNSUITABLE MATERIAL SHALL BE HAULED OFF TO SITES APPROVED BY CITY BUILDING DIVISION AND THE CITY FIRE DEPARTMENT OR CITY. APPROVALS MUST BE IN WRITING PRIOR TO REMOVAL OF MATERIAL.
15. PRIOR TO ANY SITE WORK, A PROTECTION ZONE SHALL BE FENCED AROUND ANY TREE TO BE SAVED. ANY OFFSITE TREES OVERHANGING THE PROPERTY LINE SHALL BE AFFORDED THE SAME LEVEL OF PROTECTION. THE FENCE SHALL REMAIN IN PLACE CONTINUOUSLY DURING ALL PHASES OF CONSTRUCTION, NO EXCAVATION, CUTTING, FILLING, COMPACTION, TRENCHING, TUNNELING OR PAVING, AND NO STORAGE OR DUMPING OF CONSTRUCTION MATERIALS, GAS, OR OTHER SUBSTANCES SHALL OCCUR IN THE PROTECTION ZONE WITHOUT THE WRITTEN APPROVAL OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT.
16. CONTRACTOR SHALL CONFINE HOURS OF CONSTRUCTION OPERATION TO 7 A.M. TO 5 P.M., MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED. ALL EQUIPMENT SHALL HAVE APPROPRIATE NOISE SUPPRESSION DEVICES (MUFFLERS) IN-PLACE AND FUNCTIONING AT ALL TIMES, IN ACCORDANCE WITH STATE GUIDELINES FOR SAME. NO ON-SITE "WARM UP" OF EQUIPMENT SHALL BE PERMITTED PRIOR TO 7:00 A.M. "WARM UP" TIMES SHALL BE MINIMIZED, AND ANY EQUIPMENT NOT ACTIVELY IN-USE SHALL BE SHUT DOWN IMMEDIATELY.
17. ALL RAMPS, CURB RAMPS, SIDEWALKS & DRIVEWAYS SHALL MEET CURRENT ADA & CBC REQUIREMENTS.

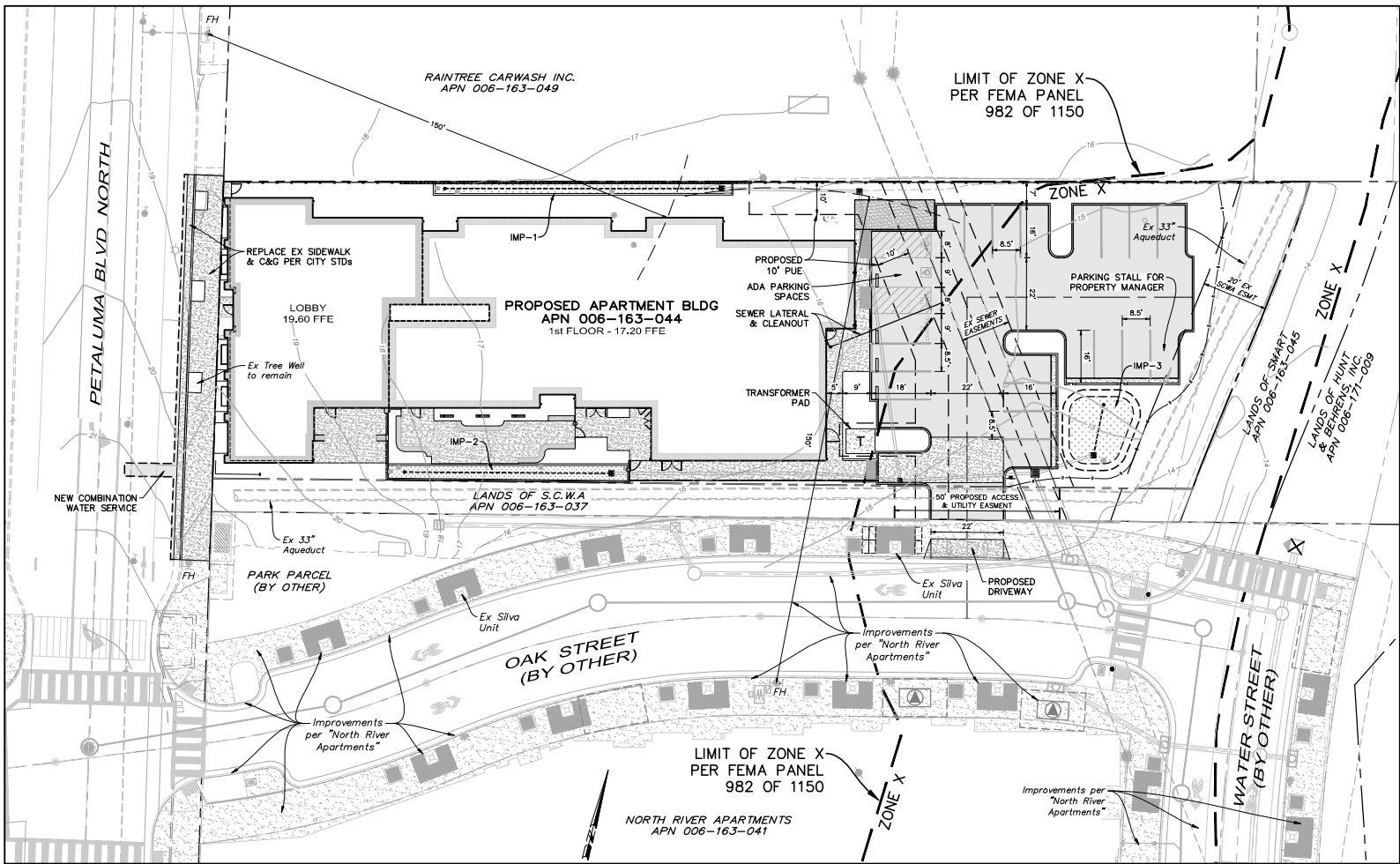
EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTER 15.80 & 17.31 OF THE PMC.
 2. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
 3. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
 4. AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT.
- RAINY SEASON OPERATIONS**
1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH PMC CHAPTER 17.31 - BEST MANAGEMENT PRACTICES (BMPs) SHALL BE IMPLEMENTED AS SHOWN ON THIS PLAN.
 2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
 3. OWNER TO ORGANIZE SITE MEETING WITH DESIGN ENGINEER AND SITE GRADING CONTRACTOR PRIOR TO THE ONSET OF WINTER RAINS TO COORDINATE PROPER EROSION CONTROL MEASURES BASED UPON SCHEDULE AND LEVEL OF EXPOSED SOIL.
- YEAR ROUND REQUIREMENTS**
1. DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECASTS A CHANCE OF RAIN OF 50% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED ON THESE PLANS SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
 2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 3. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
 4. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL SHOWN ON THIS PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
 5. DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
 6. ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE CITY RIGHT-OF-WAY, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE.
 7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
 8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEPT INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
 9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SOLE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY. APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVARIANT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.
- MATERIALS**
- | | APPLICATION RATE (POUNDS PER ACRE) |
|--------------------------------------|------------------------------------|
| SEED MIX | |
| BROMUS MOLLIIS (BLANDO BROME) | 40 |
| TRIFOLIUM HIRTUM (HYKON ROSE CLOVER) | 20 |
| FERTILIZER | |
| 16-20-0 & 15% SULPHUR | 500 |
| MULCH | |
| STRAW | 4000 |
| HYDRAULIC STABILIZING* | 75-100 |
| M-BINDER OR SENTINEL | PER MANUFACTURER |
| EQUIVALENT MATERIAL | |
- *NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
10. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL CONSTRUCTION HAS BEEN COMPLETED.
 11. ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
 12. SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
 13. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
 14. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
 15. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
 16. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
 17. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

414 PETALUMA BOULEVARD NORTH APARTMENTS
SITE IMPROVEMENT PLANS

414 Petaluma Blvd North, Petaluma, California

APN 006-163-044



OVERALL SITE PLAN

SCALE: 1" = 20'

DEVELOPER INFO

MIDPEN HOUSING CORP.
C/O: RILEY WEISSBORN
350 COLLEGE AVE., SUITE 250
SANTA ROSA, CA 95401
(707) 398-2382

LANDSCAPE & ARCHITECT

LPAS ARCHITECTURE & DESIGN
53RD STREET
SAN FRANCISCO, CA 94103
(415) 213-0335

MEP ENGINEER

EMERALD CITY ENGINEERS, INC.
21705 HIGHWAY 99
LYNNWOOD, WA 98036
(425) 741-1200

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL
270 GRAND AVENUE
OAKLAND, CA 94610
(510) 420-5758

PARKING REPORT

- ONSITE PARKING: 21
- ACCESSIBLE: 1 (VAN)
- EV CHARGING: 1

CIVIL ENGINEER & LAND SURVEYOR

ADOBE ASSOCIATES, INC.
1220 N. DUTTON
SANTA ROSA, CA 95401
(707) 541-2300

GRADING QUANTITIES:

Site Grading is based upon subgrade to existing grade. No account has been taken for strippling, expansion or contraction. Volumes should be verified and determined independently by the contractor.

CUT	FILL	NET
320 CY	120 CY	200 CY (EXPORT)

Note:
Excess material to be off-hauled to an approved location or placed onsite under the direction of the project.
Sols Engineer: Earth materials placed onsite not shown on these plans may require revision(s) to the grading permit.
Area of Disturbance = 0.66 Acres

LEGEND

PROPOSED	EXISTING	DESCRIPTION
---	---	PROPERTY BOUNDARY
---	---	SANITARY SEWER & MANHOLE
---	---	SANITARY SEWER & CLEANOUT
---	---	REINFORCED CONCRETE PIPE
---	---	STORM DRAIN & MANHOLE
---	---	STORM DRAIN & DRAINAGE INLET (DI)
---	---	STORM DRAIN & AREA DRAIN (AD)
---	---	FORCE MAIN
---	---	ROOF DRAIN & DOWN SPOUT (DS)
---	---	WATER SERVICE / WM
---	---	WATER MAIN & GATE VALVE
---	---	FIRE HYDRANT
---	---	UTILITY POLE W/NO GUY WIRE
---	---	SEWER LIGHT
---	---	SEE STRUCTURAL PLANS
---	---	STATION
---	---	STANDARD
---	---	TELEPHONE
---	---	TOP OF GRAVEL LAYER
---	---	TOP OF SOIL LAYER
---	---	TYPICAL
---	---	VARIABLE
---	---	VERTICAL
---	---	WATER
---	---	WATER METER
---	---	WATER LINE

LOCATION MAP

NOT TO SCALE

LPAS

2484 Natomas Park Drive Suite 100 Sacramento CA 95833
916-443-0335 lpasdesign.com Architecture + Design

414 PETALUMA BLVD. APTS.

Affordable Housing

PETALUMA, CA

MidPen Housing Corp.

NO. ISSUE DATE



David R. Brown, RCE 41833
My license expires 3/31/2022

APPROVAL

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civil engineering | land surveying | wastewater

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"A Service You Can Count On!"

COVER SHEET & NOTES

PROJECT NO: 1295-0003

DATE: 09/24/2021

SHEET NO:

C1.0

REVISIONS				APPROVED FOR PUBLIC WORKS CONSTRUCTION	
NO.	DATE	REVISION	APPL.	CITY OF PETALUMA	
				BY: CITY ENGINEER DINA MARIE BENEDETTI-PETNIC R.C.E. 42778 DATE:	
CITY OF PETALUMA FILE NO.				DETAIL X ON SHEET CXX	



414 PETALUMA BLVD. APTS.

Affordable Housing

PETALUMA, CA

MidPen Housing Corp.

NO. ISSUE DATE



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DEMOLITION PLAN

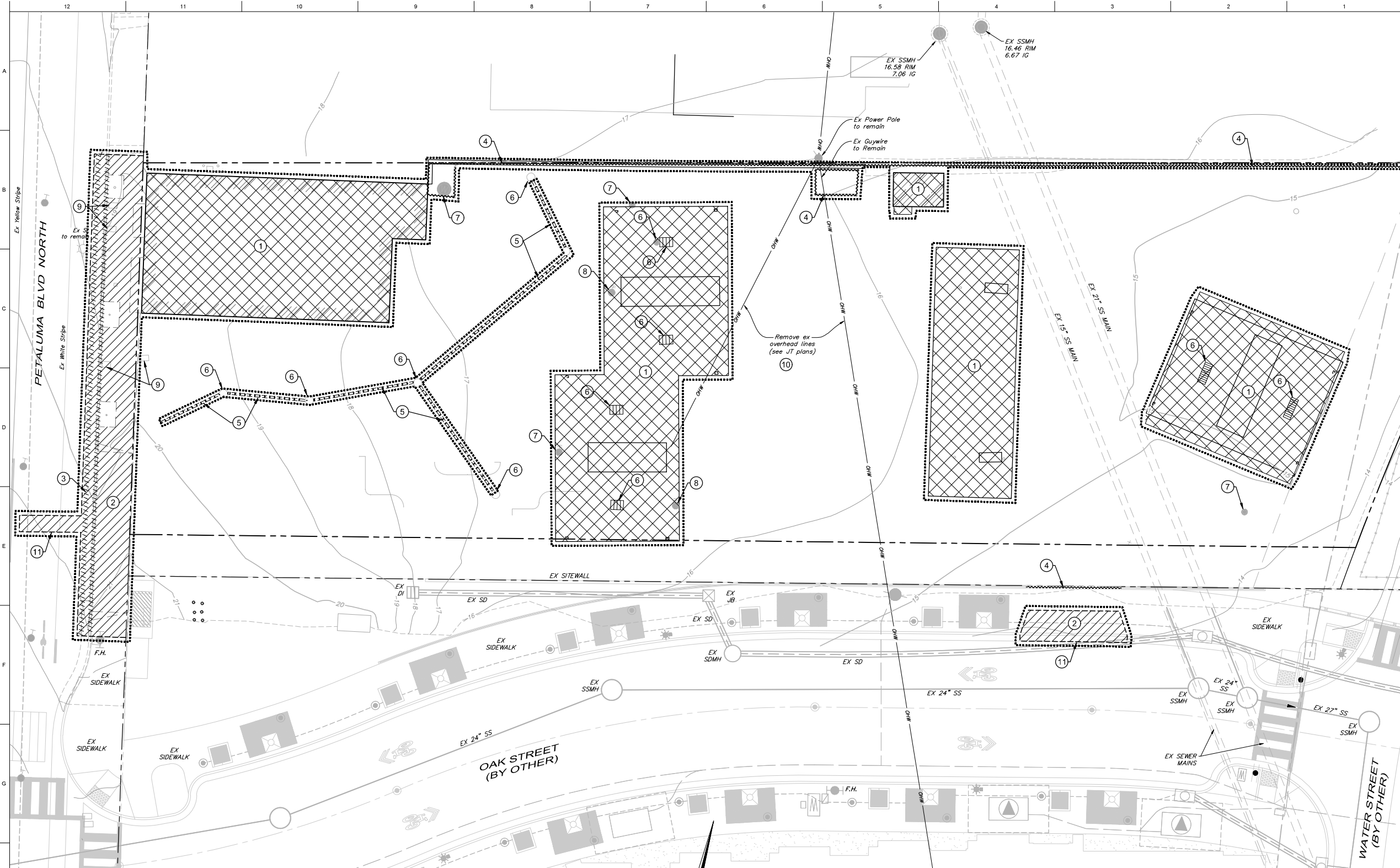
PROJECT NO: 1295-0003

DATE: 09/24/2021

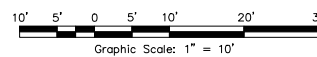
SHEET NO:

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PERMIT SUBMITAL



DEMOLITION PLAN



DEMOLITION TABLE *

SYMBOL	DEMOLITION FEATURE
.....	APPROXIMATE LIMIT OF DEMOLITION WORK
①	REMOVE EXISTING BUILDING/STRUCTURE
②	REMOVE EXISTING ASPHALT/CONCRETE
③	REMOVE EXISTING CURB AND GUTTER
④	REMOVE EXISTING FENCE/SITE WALL
⑤	REMOVE EX TRENCH DRAIN/STORM DRAIN
⑥	REMOVE EX SEWER/STORM DRAIN INLET & CLEANOUT
⑦	REMOVE/ABANDON EX WELL/WATER LINE
⑧	REMOVE EX GAS VALVE & LINE
⑨	REMOVE EX WATER METER
⑩	REMOVE EXISTING OVERHEAD WIRE
⑪	SAWCUT LINE

* CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION

KEY NOTES:

- IMPROVEMENTS PER "NORTH RIVER APARTMENTS" IMPROVEMENT PLANS.
- 1-1/2" WATER SERVICE FOR 1" WATER METER (CITY STD.-862)
- 1" REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY (CITY STD.-876)
- 8" COMBINATION WATER SERVICE (CITY STD.-870)
- GATE VALVE (CITY STD.-877)
- 2" WATER SERVICE FOR 2" WATER METER (CITY STD.-865)
- 2" REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY (CITY STD.-874)
- 6" DOUBLE-CHECK DETECTOR FIRE LINE BACKFLOW ASSEMBLY (CITY STD.-880)
- CONCRETE THRUST BLOCK (CITY STD.-854)
- 12" STORM DRAIN SHALL BE HDPE WITH NO JOINTS BETWEEN THE STRUCTURES. THIS CROSSING TO BE REVIEWED BY S.C.W.A. (SHOWN AQUEDUCT ELEVATIONS PER POTHOLES DONE ON MAY 19, 2020)
- DOWNSPOUT (DS, SAP) AND ROOF DRAIN (4" SD, s=0.01 MIN)
- RELOCATE BIORETENTION SOIL CELLS (6) FROM SILVA UNIT ON EASTSIDE (TO BE REMOVED) TO SILVA UNIT ON WESTSIDE OF NEW DRIVEWAY, BY OTHERS.

414 PETALUMA BLVD. APTS.

Affordable Housing

PETALUMA, CA

MidPen Housing Corp.

NO. ISSUE DATE



David R. Brown, RCE 41833
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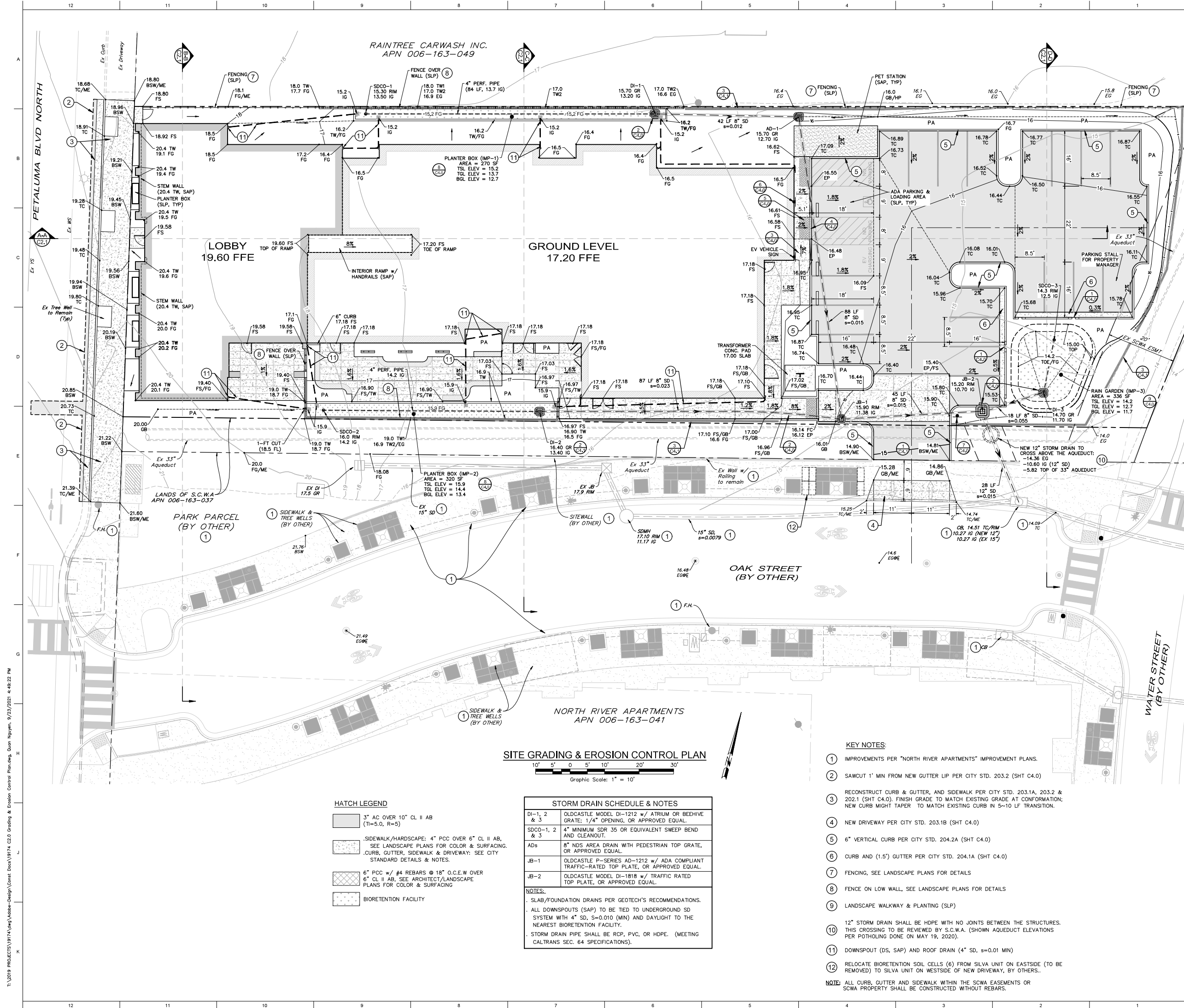
GRADING & EROSION CONTROL PLAN

PROJECT NO: 1295-0003
DATE: 09/24/2021

SHEET NO:

C2.0

PERMIT SUBMITAL



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Petaluma, CA

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CONSULTANT

OVERALL SITE PLAN

PROJECT NO: 1295-0003
DATE: 11/19/2021

SHEET NO:

AS1.00

SITE KEYNOTES

- 1

EXISTING CONCRETE WALK TO REMAIN
- 2

EXISTING PLANTER STRIP TO REMAIN
- 3

EXISTING ELECTRICAL POLE TO REMAIN
- 4

EXISTING LOW RETAINING WALL (SOUTH) - SEE NORTH RIVER APARTMENTS PUBLIC IMPROVEMENT PLANS SHEET 11 FOR REFERENCE
- 5

LOW RETAINING WALL WITH WOOD FENCING ON-TOP (NORTH)
- 6

REINFORCED CONCRETE PAVING - 4" CONCRETE, 4" CLASS II AGGREGATE BASE, NATURAL GREY W/ MED. BROOM FINISH, ADD LAMP BLACK PIGMENT
- 7

REINFORCED CONCRETE PAVING - 4" CONCRETE, 4" CLASS II AGGREGATE BASE, NATURAL GREY W/ SANDBLAST FINISH, ADD LAMP BLACK PIGMENT
- 8

AC PAVING
- 9

EV CHARGING PRE-WIRE FOR FUTURE DEVELOPMENT - PARKING STALLS 2, 3 & 4
- 10

TRANSFORMER - SEE JOINT TRENCH PLANS FOR REFERENCE
- 11

PROTECTIVE BOLLARD (3) FOR TRANSFORMER - SEE JOINT TRENCH PLANS FOR REFERENCE
- 12

WATER QUALITY PLANTER - SEE CIVIL PLANS FOR REFERENCE
- 13

6'-0" HIGH FIRE DEPARTMENT MAINTENANCE ACCESS GATE
- 14

6'-0" HIGH WOOD FENCE
- 15

LANDSCAPE AREA, TYP. SEE PLANTING PLANS FOR REFERENCE
- 16

2'-6" HIGH RETAINING WALL WITH LASER CUT METAL PANELING - BOK MODERN, MODEL: 3'-0" LOW PATIO FENCE / DIVIDER, PATTERN: C27, COLOR: TB
- 17

TOURNESOL RAISED PLANTER (WWR-722424-SUB)
- 18

PERCUSSION PLAY - HARMONY BELLS - A MINOR A4 - A5
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 19

PERCUSSION PLAY - HARMONY BELLS - C MAJOR C4 - C5
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 20

PERCUSSION PLAY - HARMONY BELLS - E MINOR E4 - E5
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 21

PERCUSSION PLAY - HARMONY BELLS - G MAJOR G4 - G5
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 22

PERCUSSION PLAY - CONGAS (PAIR)
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 23

PERCUSSION PLAY - CAVATINA
SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901
EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 24

PERCUSSION PLAY - SOPRANO PENTATONIC C# D# E# F# G#
LESS - SALES REP: ROBIN ASHFIELD // MOBILE: +44 (784) 101-5901 // EMAIL: ROBIN@PERCUSSIONPLAY.COM
- 25

EXTERIOR BUILDING LIGHTING - SEE ELECTRICAL PLANS & OUTDOOR LIGHTING NOTES PER K4, AS1.00 & AS1.01.
- 26

SITE LIGHTING - SEE ELECTRICAL PLANS & OUTDOOR LIGHTING NOTES PER K4, AS1.00 & AS1.01.
- 27

SHORT TERM BIKE RACK - 2 BIKES
- 28

GUY WIRE
- 29

HANDRAIL AT RAMP
- 30

4'-0" TALL PLAY ENCLOSURE FENCING
- 31

5'-0" TALL PEDESTRIAN GATE WITH KEY ACCESS
- 32

5'-0" TALL TUBE-STEEL FENCING
- 33

PORTABLE BARBECUE PROVIDED BY OWNERS
- 34

5'-0" GREENSCREEN TRELLIS - MANUFACTURER: "GREENSCREEN" // PHONE: (800) 450-3484
WEBSITE: WWW.GREENSCREEN.COM
- 35

PET WASTE POLE-MOUNTED RECEPTACLE
- 36

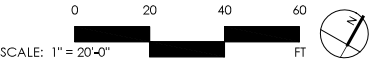
TOURNESOL BENCH - ALPHA COLLECTION GFRC CONCRETE LETTER "T" - PART# AP-EVE
SALES REP: PATRICK TROLLIP // PHONE: (800) 542-2282
EMAIL: PTROLLIP@TOURNESOL.COM
- 37

TOURNESOL BENCH - ALPHA COLLECTION GFRC CONCRETE - PART# AP-COMMA
SALES REP: PATRICK TROLLIP // PHONE: (800) 542-2282
EMAIL: PTROLLIP@TOURNESOL.COM
- 38

TOURNESOL BENCH - ALPHA COLLECTION GFRC CONCRETE LETTER "L" - PART# AP-ELL
SALES REP: PATRICK TROLLIP // PHONE: (800) 542-2282
EMAIL: PTROLLIP@TOURNESOL.COM
- 39

DECOMPOSED GRANITE WITH ALUMINUM EDGING & BINDER
- 40

SPEC PLAY 24-LAYER POURED IN PLACE CORKEEN PLAYGROUND SURFACING.
SALES REP: CAROLINE O'NEAL // PHONE: (800) 475-1071



OVERALL SITE PLAN
1" = 20'-0" H3

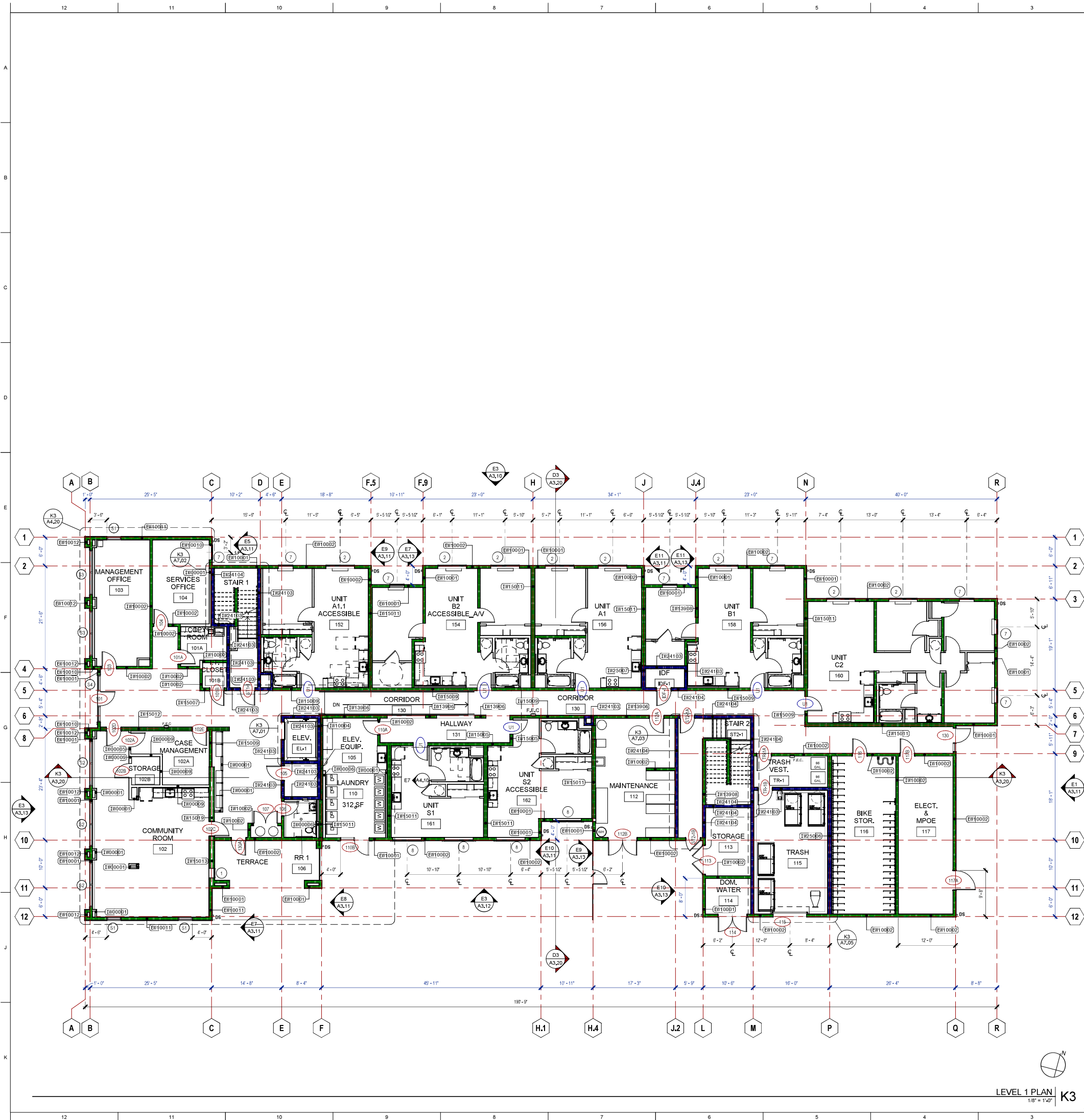
KEYNOTE SCHEDULE H1

1. CONTRACTOR SHALL INFORM ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS. THE WRITTEN DIMENSION SHALL SUPERSEDE THE DRAWN DIMENSION. ALL FIELD CHANGES MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
2. ALL DIMENSIONS ARE TO FACE OF CURB AND FACE OF WALL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE AT 90 DEGREES OR 45 DEGREES UNLESS OTHERWISE NOTED.
3. SLEEVING SHALL BE PROVIDED AND COORDINATED BY CONTRACTOR DURING CONCRETE WORK AND WALL CONSTRUCTION. ALL SLEEVES SHALL BE SCHEDULE 40 PVC, SIZE AS NOTED. REFER TO CIVIL AND IRRIGATION PLANS FOR LOCATIONS OF SLEEVES.
4. PROVIDE A CROSS SLOPE ON ALL CONCRETE WALKS AND PAVING OF 2% MAXIMUM. 1% MINIMUM TO PROVIDE POSITIVE DRAINAGE. REFER TO CIVIL PLANS FOR MORE INFORMATION.
5. FINISH GRADE SHALL HAVE A MINIMUM OF 2% SLOPE AWAY FROM ALL WALLS AND STRUCTURES UNLESS OTHERWISE SPECIFIED. REFER TO CIVIL PLANS FOR MORE INFORMATION.
6. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO ANY EXCAVATION. CONTACT COMMON GROUND ALLIANCE (C.G.A.) @ 811, CALL AT LEAST 48 HOURS PRIOR TO PERFORMING ANY EXCAVATION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO UTILITIES CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
7. WHERE CONTRACTOR'S WORK INTERFACES WITH EXISTING IMPROVEMENTS, CARE SHALL BE TAKEN TO AVOID DAMAGING EXISTING LANDSCAPING, IRRIGATION AND UTILITIES. ANY DAMAGE TO EXISTING CONDITIONS SHALL BE REPAIRED WITHIN 48 HOURS AT NO ADDITIONAL COST TO THE OWNER.
8. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING THE ELEVATIONS OF ALL NEW AND EXISTING UTILITY VAULTS, BOXES, MANHOLES, AND OTHER STRUCTURES TO NEW FINISH GRADE.
9. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
10. FOR SITE EGRESS/EXITING PLAN, SEE ARCHITECTURE SHEET G030 FOR REFERENCE.

SITE NOTES K1

- OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:
- A. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 0-4 AS DEFINED IN CHAPTER 10, SECTION 10-1.14 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
- B. BACKLIGHT (B) RATINGS AS DEFINED IN IES TM-15-11 (SHOWN IN TABLE A-1 IN CHAPTER 8);
- C. UPLIGHT AND GLARE RATINGS AS DEFINED IN CALIFORNIA ENERGY CODE (SHOWN IN TABLES 130.2-A AND 130.2-B IN CHAPTER 8);

OUTDOOR LIGHTING NOTES K4



FLOOR PLAN GENERAL NOTES

1. SEE A8.10 THROUGH A8.22 FOR EXTERIOR WALL AND INTERIOR PARTITION TYPES.
2. PROVIDE BLOCKING FOR ALL CASEWORK AND GRAB BARS (BOTH FUTURE IN THE CASE OF THE UNITS AND IN CONTRACT IN THE CASE OF COMMON AREA BATHROOMS) IN ACCORDANCE WITH A0.40A AND A0.40B.
3. WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN FIRE RATED WALLS, PROVIDE FIRE RATED CABINETS WITH A FIRE RATING EQUAL TO OR GREATER THAN THE WALL IN WHICH IT IS INSTALLED. WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN WALLS THAT MUST MEET AN ACOUSTICAL RATING, INSTALL PER B7
A8.52
4. SEE TITLE 24 SHEETS FOR THE REQ'D MIN. LEVELS OF INSULATION IN THE CONSTRUCTION ASSEMBLIES AND THE MAXIMUM U-FACTOR AND MAXIMUM SHGC FACTOR ALLOWED FOR THE PENETRATION, WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION.
5. SEE THE ENLARGED UNIT PLANS, A4.01 THROUGH A4.08 FOR THE RESIDENTIAL UNIT WALL TYPES, DOOR TYPE CALL-OUTS AND MORE INFORMATION ON THE UNITS.
6. PROVIDE THROUGH AND MEMBRANE PENETRATION PROTECTION AT FIRE RATED WALLS, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLIES AS INDICATED ON A0.01 AND A0.02.
7. PROVIDE ACOUSTICAL ISOLATION AND PROTECTION AS INDICATED ON SHEET A8.52.
8. UNLESS NOTED OTHERWISE AT DOOR OPENINGS, ASSUME 4" TO THE FRAMING OF NEAREST ADJACENT WALL.
9. SEE A4.01 THROUGH A4.08 FOR THE ENLARGED UNIT PLANS.

FLOOR PLAN LEGEND

- 1 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HOUR RATED UNIT DEMISING WALL
- NON-RATED WALL
- 30 X 48 CLEAR FLOOR AREA
- 60" DIA. CLEAR FLOOR AREA
- DOOR NUMBER, SEE SHEETS A2.81
- WINDOW / STOREFRONT TYPE IDENTIFIER, SEE SHEETS A2.83
- LOCATION: "I" = INTERIOR
"E" = EXTERIOR
- MATERIAL: "W" = WOOD, "S" = STEEL
"C" = CONCRETE
"M" = MASONRY
- FIRE RATING: 1HR, 2HR, ETC.
- STC RATING, WHERE APPLICABLE
- IDENTIFIER: PROJECT NUMBER DESIGNATION
- WALL TAG; SEE WALL ASSEMBLY SHEETS A9.10 THROUGH A9.17
- DS DOWNSPOUT

KEYNOTE LEGEND

- E1 A3.11
- E2 A3.11
- E3 A3.12
- E4 A3.11
- E5 A3.11
- E6 A3.11
- E7 A3.11
- E8 A3.11
- E9 A3.11
- E10 A3.11
- E11 A3.11
- E12 A3.11
- E13 A3.11
- E14 A3.11
- E15 A3.11
- E16 A3.11
- E17 A3.11
- E18 A3.11
- E19 A3.11
- E20 A3.11
- E21 A3.11
- E22 A3.11
- E23 A3.11
- E24 A3.11
- E25 A3.11
- E26 A3.11
- E27 A3.11
- E28 A3.11
- E29 A3.11
- E30 A3.11
- E31 A3.11
- E32 A3.11
- E33 A3.11
- E34 A3.11
- E35 A3.11
- E36 A3.11
- E37 A3.11
- E38 A3.11
- E39 A3.11
- E40 A3.11
- E41 A3.11
- E42 A3.11
- E43 A3.11
- E44 A3.11
- E45 A3.11
- E46 A3.11
- E47 A3.11
- E48 A3.11
- E49 A3.11
- E50 A3.11
- E51 A3.11
- E52 A3.11
- E53 A3.11
- E54 A3.11
- E55 A3.11
- E56 A3.11
- E57 A3.11
- E58 A3.11
- E59 A3.11
- E60 A3.11
- E61 A3.11
- E62 A3.11
- E63 A3.11
- E64 A3.11
- E65 A3.11
- E66 A3.11
- E67 A3.11
- E68 A3.11
- E69 A3.11
- E70 A3.11
- E71 A3.11
- E72 A3.11
- E73 A3.11
- E74 A3.11
- E75 A3.11
- E76 A3.11
- E77 A3.11
- E78 A3.11
- E79 A3.11
- E80 A3.11
- E81 A3.11
- E82 A3.11
- E83 A3.11
- E84 A3.11
- E85 A3.11
- E86 A3.11
- E87 A3.11
- E88 A3.11
- E89 A3.11
- E90 A3.11
- E91 A3.11
- E92 A3.11
- E93 A3.11
- E94 A3.11
- E95 A3.11
- E96 A3.11
- E97 A3.11
- E98 A3.11
- E99 A3.11
- E100 A3.11

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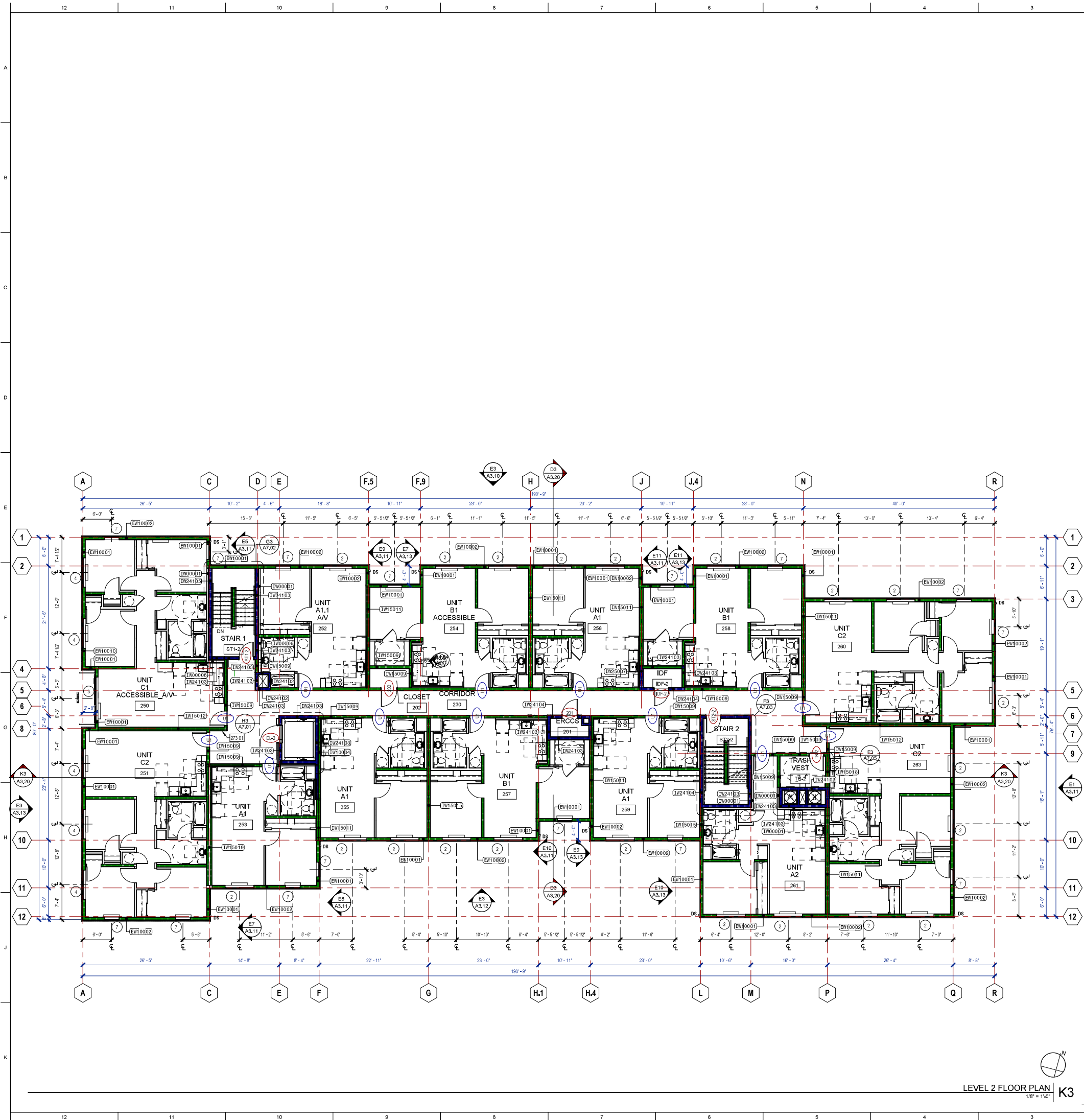
LEVEL 1 FLOOR PLAN

PROJECT NO: 1295-0003

DATE: 03/15/2021

SHEET NO:

A2.01



FLOOR PLAN GENERAL NOTES

- SEE A8.10 THROUGH A8.22 FOR EXTERIOR WALL AND INTERIOR PARTITION TYPES.
- PROVIDE BLOCKING FOR ALL CASEWORK AND GRAB BARS (BOTH FUTURE IN THE CASE OF THE UNITS AND IN CONTRACT IN THE CASE OF COMMON AREA BATHROOMS) IN ACCORDANCE WITH A4.40A AND A4.40B.
- WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN FIRE RATED WALLS, PROVIDE FIRE RATED CABINETS WITH A FIRE RATING EQUAL TO OR GREATER THAN THE WALL IN WHICH IT IS INSTALLED. WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN WALLS THAT MUST MEET AN ACOUSTICAL RATING, INSTALL PER B7
A8.52
- SEE TITLE 24 SHEETS FOR THE REQ'D MIN. LEVELS OF INSULATION IN THE CONSTRUCTION ASSEMBLIES AND THE MAXIMUM U-FACTOR AND MAXIMUM SHGC FACTOR ALLOWED FOR THE PENETRATION, WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION.
- SEE THE ENLARGED UNIT PLANS, A4.01 THROUGH A4.08 FOR THE RESIDENTIAL UNIT WALL TYPES, DOOR TYPE CALL-OUTS AND MORE INFORMATION ON THE UNITS.
- PROVIDE THROUGH AND MEMBRANE PENETRATION PROTECTION AT FIRE RATED WALLS, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLIES AS INDICATED ON A8.01 AND A8.02.
- PROVIDE ACOUSTICAL ISOLATION AND PROTECTION AS INDICATED ON SHEET A8.52.
- UNLESS NOTED OTHERWISE AT DOOR OPENINGS, ASSUME 4" TO THE FRAMING OF NEAREST ADJACENT WALL.
- SEE A4.01 THROUGH A4.08 FOR THE ENLARGED UNIT PLANS.

FLOOR PLAN LEGEND

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- 2 HOUR RATED WALL
- 1 HOUR RATED UNIT DEMISING WALL
- NON-RATED WALL
- 30 X 48 CLEAR FLOOR AREA
- 60" DIA. CLEAR FLOOR AREA
- DOOR NUMBER, SEE SHEETS A2.81
- WINDOW / STOREFRONT TYPE IDENTIFIER, SEE SHEETS A2.83
- LOCATION: "I" = INTERIOR
"E" = EXTERIOR
- MATERIAL: "W" = WOOD, "S" = STEEL
"C" = CONCRETE
"M" = MASONRY
- FIRE RATING: 1HR, 2HR, ETC.
- STC RATING, WHERE APPLICABLE
- IDENTIFIER: PROJECT NUMBER DESIGNATION
- WALL TAG; SEE WALL ASSEMBLY SHEETS A8.10 THROUGH A8.17
- DS DOWNSPOUT

KEYNOTE LEGEND

- 273 01 ELEVATOR TWO-WAY COMMUNICATION CALL-BOX

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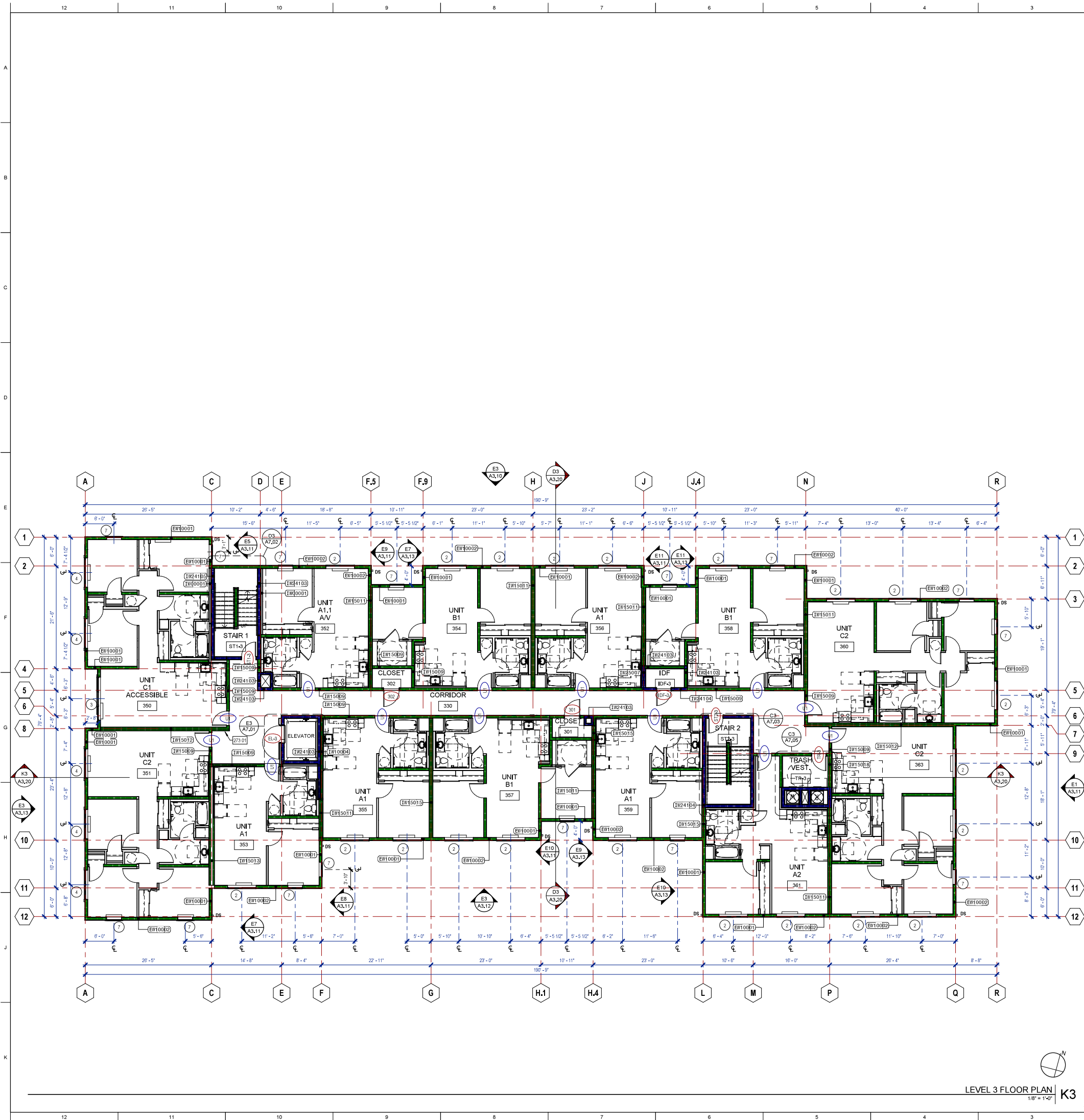
LEVEL 2 FLOOR
PLAN

PROJECT NO: 1295-0003
DATE: 03/15/2021

SHEET NO:

A2.02

LEVEL 2 FLOOR PLAN
1/8" = 1'-0" K3



LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- SEE A8.10 THROUGH A8.22 FOR EXTERIOR WALL AND INTERIOR PARTITION TYPES.
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A8.52
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- PROVIDE ACOUSTICAL ISOLATION AND PROTECTION AS INDICATED ON SHEET A8.52.
- UNLESS NOTED OTHERWISE AT DOOR OPENINGS, ASSUME 4" TO THE FRAMING OF NEAREST ADJACENT WALL.
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FLOOR PLAN LEGEND

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- 2 HOUR RATED WALL
- 1 HOUR RATED UNIT DEMISING WALL
- NON-RATED WALL
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- 60" DIA. CLEAR FLOOR AREA
- DOOR NUMBER, SEE SHEETS A2.81
- WINDOW/STOREFRONT TYPE IDENTIFIER, SEE SHEETS A2.83
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"E" = EXTERIOR
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"C" = CONCRETE
"M" = MASONRY
- FIRE RATING: 1HR, 2HR, ETC.
- STC RATING, WHERE APPLICABLE
- IDENTIFIER: PROJECT NUMBER DESIGNATION
- WALL TAG: SEE WALL ASSEMBLY SHEETS A8.10 THROUGH A8.17
- DS DOWNSPOUT

KEYNOTE LEGEND

- 273 01 ELEVATOR TWO-WAY COMMUNICATION CALL-BOX

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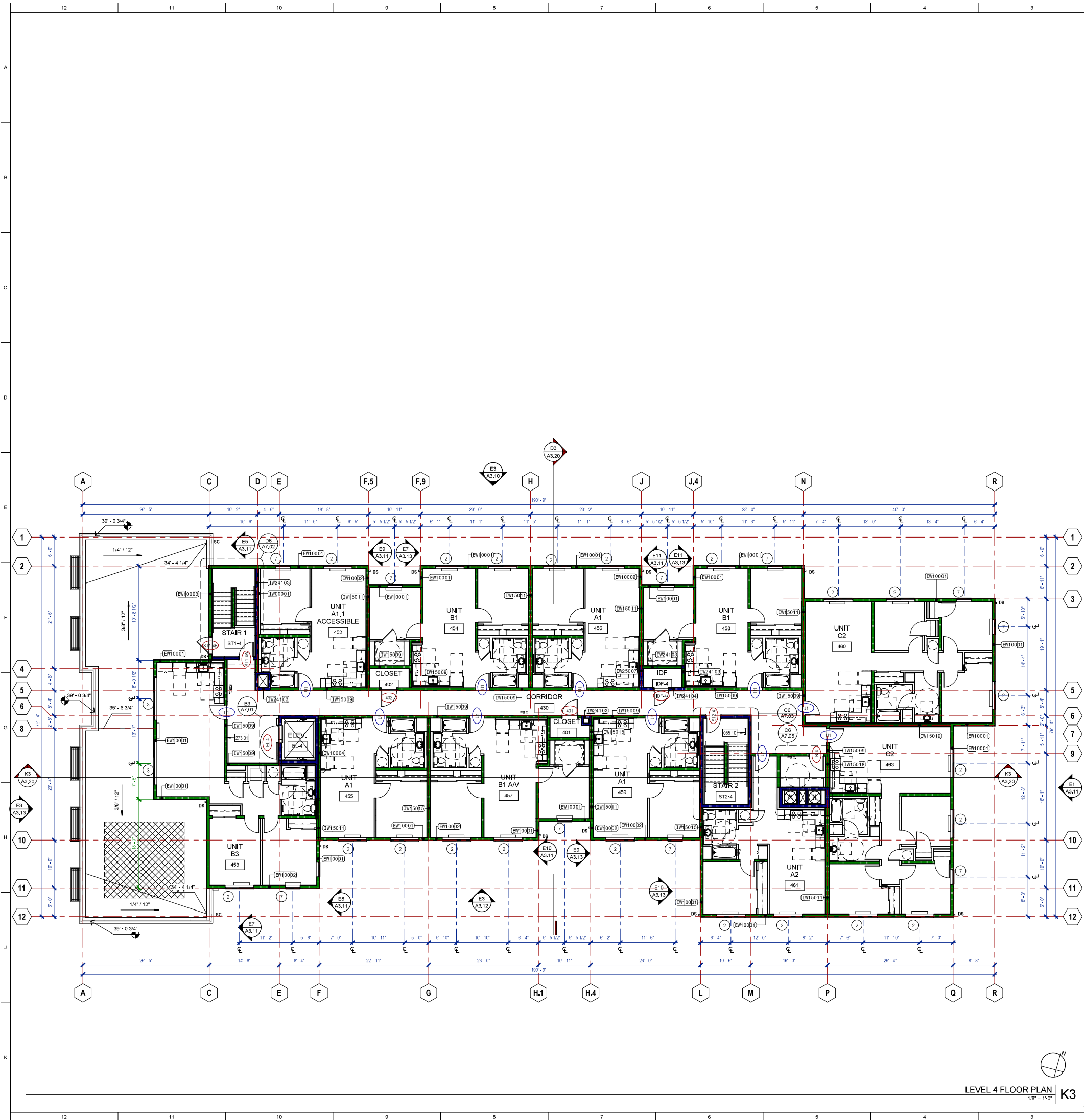
LEVEL 3 FLOOR PLAN

PROJECT NO: 1295-0003

DATE: 03/15/2021

SHEET NO:

A2.03



FLOOR PLAN GENERAL NOTES

- SEE A8.10 THROUGH A8.22 FOR EXTERIOR WALL AND INTERIOR PARTITION TYPES.
- PROVIDE BLOCKING FOR ALL CASEWORK AND GRAB BARS (BOTH FUTURE IN THE CASE OF THE UNITS AND IN CONTRACT IN THE CASE OF COMMON AREA BATHROOMS) IN ACCORDANCE WITH A0.40A AND A0.40B.
- WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN FIRE RATED WALLS, PROVIDE FIRE RATED CABINETS WITH A FIRE RATING EQUAL TO OR GREATER THAN THE WALL IN WHICH IT IS INSTALLED. WHERE FIRE EXTINGUISHER CABINETS ARE INSTALLED IN WALLS THAT MUST MEET AN ACOUSTICAL RATING, INSTALL PER B7
A8.52
- SEE TITLE 24 SHEETS FOR THE REQ'D MIN. LEVELS OF INSULATION IN THE CONSTRUCTION ASSEMBLIES AND THE MAXIMUM U-FACTOR AND MAXIMUM SHGC FACTOR ALLOWED FOR THE PENETRATION, WINDOWS AND GLAZED DOORS MUST HAVE LABELS FOR THE 'U' AND 'SHGC' FACTORS THAT ARE REQUIRED BY THE ENERGY DOCUMENTATION.
- SEE THE ENLARGED UNIT PLANS, A4.01 THROUGH A4.08 FOR THE RESIDENTIAL UNIT WALL TYPES, DOOR TYPE CALL-OUTS AND MORE INFORMATION ON THE UNITS.
- PROVIDE THROUGH AND MEMBRANE PENETRATION PROTECTION AT FIRE RATED WALLS, FLOOR/CEILING, AND ROOF/CEILING ASSEMBLIES AS INDICATED ON A8.01 AND A8.02.
- PROVIDE ACOUSTICAL ISOLATION AND PROTECTION AS INDICATED ON SHEET A8.52.
- UNLESS NOTED OTHERWISE AT DOOR OPENINGS, ASSUME 4" TO THE FRAMING OF NEAREST ADJACENT WALL.
- SEE A4.01 THROUGH A4.08 FOR THE ENLARGED UNIT PLANS.

ROOF GENERAL NOTES

- SLOPE TO DRAIN, NO LESS THAN 1/4" PER FOOT
- VERIFY MECHANICAL CURB HEIGHTS WITH MECHANICAL.
- ALL ROOF SURFACES SHALL SLOPE TO DRAIN, GUTTER, OR DOWNSPOUT. MAIN ROOF SHALL SLOPE A MINIMUM OF 1/8" PER FOOT AT VALLEYS.
- ALL ROOF-CEILING ASSEMBLIES ARE 1-HR, FIRE RATED, SEE A8.10
- FOR TYPICAL ROOF DETAILS SEE A8.10 AND A8.11
- ALL GSM FLASHING, COPING, DOWNSPOUTS, LOUVERS, WALL CAPS, GUTTERS, SOFFIT VENTS, AND CONDUCTOR HEADS ARE TO BE FIELD PAINTED. U.O.N, THIS APPLIES TO ALL SUCH GSM METAL COMPONENTS, WHETHER EXPOSED TO VIEW OR HIDDEN FROM VIEW.
- ALL ROOF FLASHING ACCESSORIES ARE TO BE G-90 HOT DIP GALVANIZED, UON
- THE MIN. INSULATION THICKNESS ABOVE THE PLYWOOD SHEATHING IS 3" THICK.

FLOOR PLAN LEGEND

- 1 HOUR RATED WALL
- 2 HOUR RATED WALL
- 1 HOUR RATED UNIT DEMISING WALL
- NON-RATED WALL
- 30 X 48 CLEAR FLOOR AREA
- 60" DIA. CLEAR FLOOR AREA
- 12 DOOR NUMBER, SEE SHEETS A2.81
- 12 WINDOW / STOREFRONT TYPE IDENTIFIER, SEE SHEETS A2.83
- LOCATION: "I" = INTERIOR
"E" = EXTERIOR
- MATERIAL: "W" = WOOD, "S" = STEEL
"C" = CONCRETE
"M" = MASONRY
- FIRE RATING: 1HR, 2HR, ETC.
- STC RATING, WHERE APPLICABLE
- IDENTIFIER: PROJECT NUMBER DESIGNATION
- WALL TAG; SEE WALL ASSEMBLY SHEETS A8.10 THROUGH A8.17
- DS DOWNSPOUT

KEYNOTE LEGEND

- 055 10 PERMANENT ROOF ACCESS LADDER FIXED TO WALL - EXTEND LADDER 42" ABOVE ADJACENT ROOF SURFACE
- 273 01 ELEVATOR TWO-WAY COMMUNICATION CALL-BOX

ROOF LEGEND

- SPLIT SYSTEM CONDENSER
- SOLAR READY ZONE
- FALL ARREST STANCHION
- ELEVATION, PARAPET
- ELEVATION, ROOF
- SC THROUGH-WALL SCUPPER

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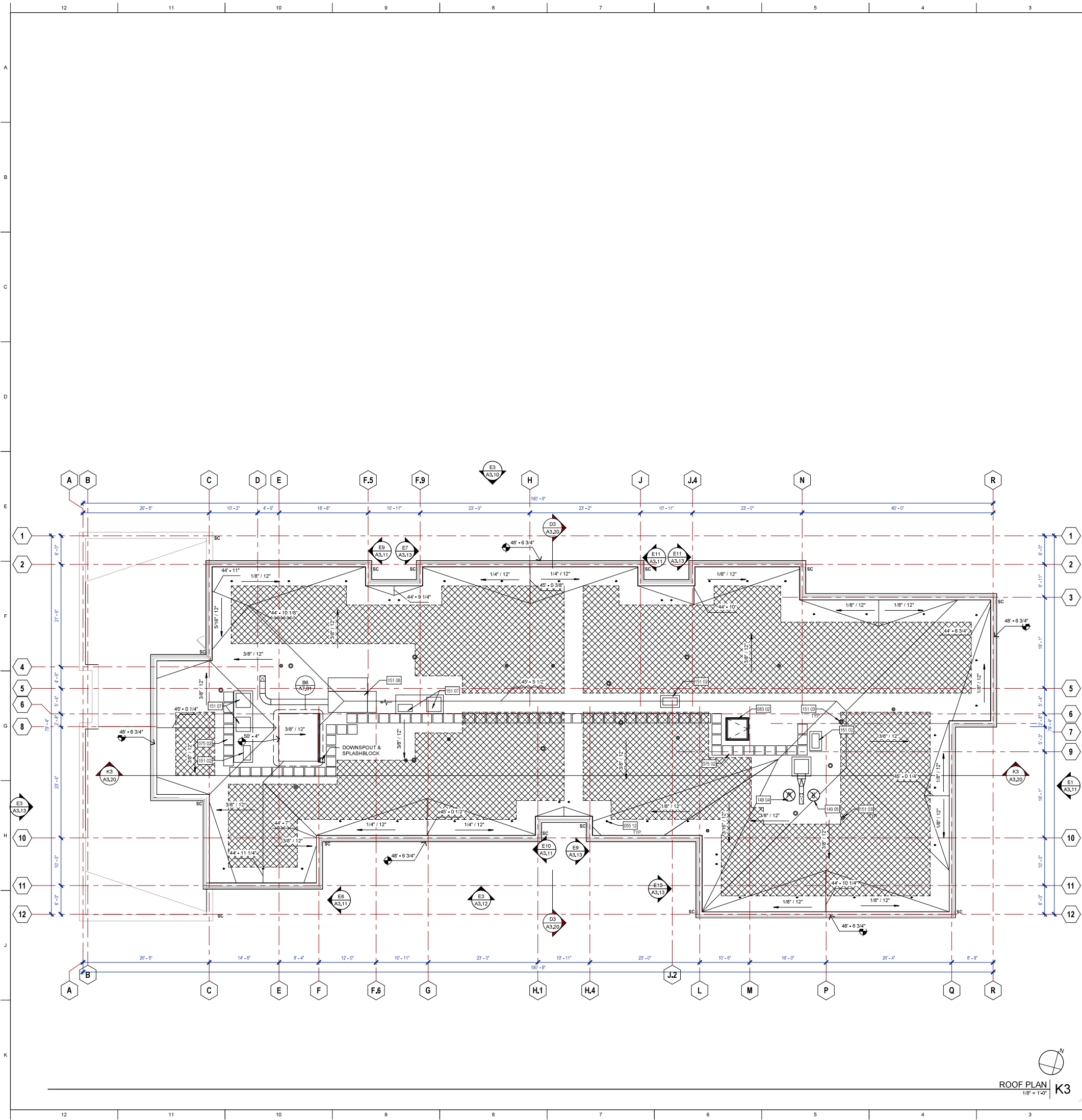
LEVEL 4 FLOOR PLAN

PROJECT NO: 1295-0003
DATE: 03/15/2021

SHEET NO:

A2.04

PC1 RESUBMITTAL



GENERAL NOTES

1. SLOPE TO DRAIN, NO LESS THAN 1/4" PER FOOT

2. VERIFY MECHANICAL CURB HEIGHTS WITH MECHANICAL

3. ALL ROOF SURFACES SHALL SLOPE TO DRAIN, GUTTER, OR DOWNSPOUT. MAIN ROOF SHALL SLOPE A MINIMUM OF 1/8" PER FOOT AT VALLEYS.

4. ALL ROOF-CEILING ASSEMBLIES ARE 1-HR. FIRE RATED. SEE A8.10


5. FOR TYPICAL ROOF DETAILS SEE SHEETS A8.10 AND A8.11.


6. ALL GSM FLASHING, COPING, DOWNSPOUTS, LOUVERS, WALL CAPS, GUTTERS, SOFFIT VENTS, AND CONDUCTOR HEADS ARE TO BE FIELD PAINTED, U.O.N. THIS APPLIES TO ALL SUCH GSM METAL COMPONENTS, WHETHER EXPOSED TO VIEW OR HIDDEN FROM VIEW.


7. ALL ROOF FLASHING ACCESSORIES ARE TO BE G-90 HOT DIP GALVANIZED, UON


8. THE MIN. INSULATION THICKNESS ABOVE THE PLYWOOD SHEATHING IS 3" THICK.


LEGEND


 SPLIT SYSTEM CONDENSER

 SOLAR READY ZONE


 FALL ARREST STANCHION

 ELEVATION, PARAPET

 ELEVATION, ROOF

 THROUGHWALL SCUPPER

KEYNOTE LEGEND

 KEYNOTE TAG

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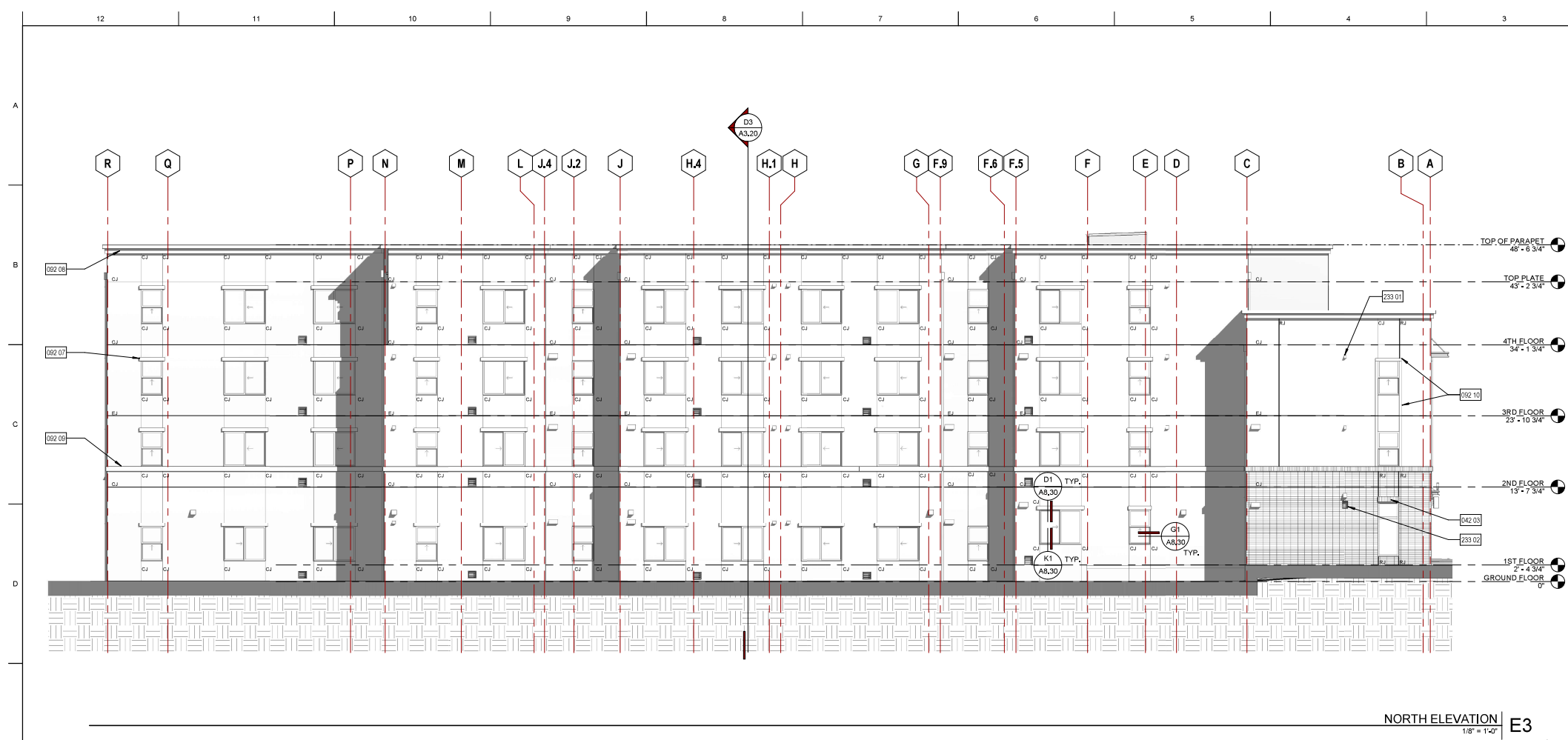
ROOF PLAN

PROJECT NO: 1295-0003
DATE: 03/15/2021

SHEET NO:

A2.05

PC1 RESUBMITTAL



NORTH ELEVATION



NORTH ELEVATION - COLORED | K3
1/8" = 1'-0"

GENERAL NOTES

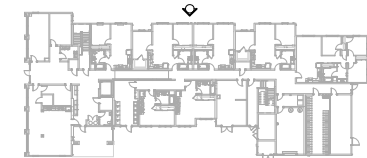
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2. ALL EXTERIOR WALL ACCESSORIES AND ROOF FLASHING ACCESSORIES ARE TO BE G-80 HOT DIP GALVANIZED, U.O.N.
3. ALL STEEL AWNING STRUCTURE, POSTS, ATTACHMENT BRACKETS, SUPPORTS AND FITTINGS ARE TO BE FIELD PAINTED, U.O.N.
4. PORTLAND CEMENT PLASTER SHALL BE PAINTED,
UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, WHERE A WALL, SILL OR CEILING IS PLASTERED. PLASTER SHALL BE A PORTLAND CEMENT PLASTER CONJOINT JOINTS SO THAT PLASTER AREAS DO NOT EXCEED 144 SF. AND DO NOT EXCEED A LENGTH-TO-WIDTH RATIO OF 2 1/2 TO 1.

EJ ——— CEMENT PLASTER JOINTS AT FLOOR LINES PER G10
A8,20 G4
A8,21

CJ ——— TYP. CEMENT PLASTER CONTROL JOINTS PER D4
A8,20

RJ ——— 1" REVEAL JOINT PER D4
A8,21

KEY PLAN



EXTERIOR FINISH LEGEND

- | | | |
|------|---|-------------|
| P-1 | 20/30 SAND FINISH: 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4570 SHOUJI SCREEN | |
| P-2 | 20/30 SAND FINISH: 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4600 AFTERNOON TEA | |
| P-3 | 20/30 SAND FINISH: 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4566 CITY LOFT | |
| P-4 | 20/30 SAND FINISH: 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4581 BAIT WING | |
| P-5 | 20/30 SAND FINISH: 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KMA72 BARNWOOD | |
| SF-1 | MEDIUM BRONZE ANODIZED | |
| BR-1 | ADHERED THIN BRICK
MFR: INTERSTATE BRICK
COLOR: PLATINUM
SIZE: 5/8" THICK (FIELD)
1" THICK (TRIM) | K4
A9,10 |
| VW-1 | VINYL WINDOWS
MFR: VPI
COLOR: WHITE | |

KEYNOTE LEGEND

- | | |
|--------|---|
| 000 00 | KEYNOTE TAG |
| 042 03 | THIN BRICK VENEER - SOLDIER COURSE LINTEL |
| 052 07 | CEMENT PLASTER CLAD FOAM TRIM - 2" X 8" |
| 052 08 | CEMENT PLASTER CLAD FOAM TRIM CORNER |
| 052 09 | CEMENT PLASTER CLAD FOAM TRIM - 2" X 9" |
| 052 10 | CEMENT PLASTER CLAD FOAM TRIM - 1" X 4" |
| 233 01 | BONDERIZED GSM VENT HOOD |
| 233 02 | MECHANICAL LOUVER |

L P ∇ S

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EXTERIOR ELEVATIONS - NORTH

PROJECT NO: 1295-0003

DATE: 03/15/2021

SHEET NO:

A3.10

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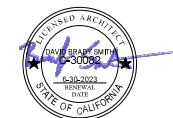
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EXTERIOR
ELEVATIONS - EAST

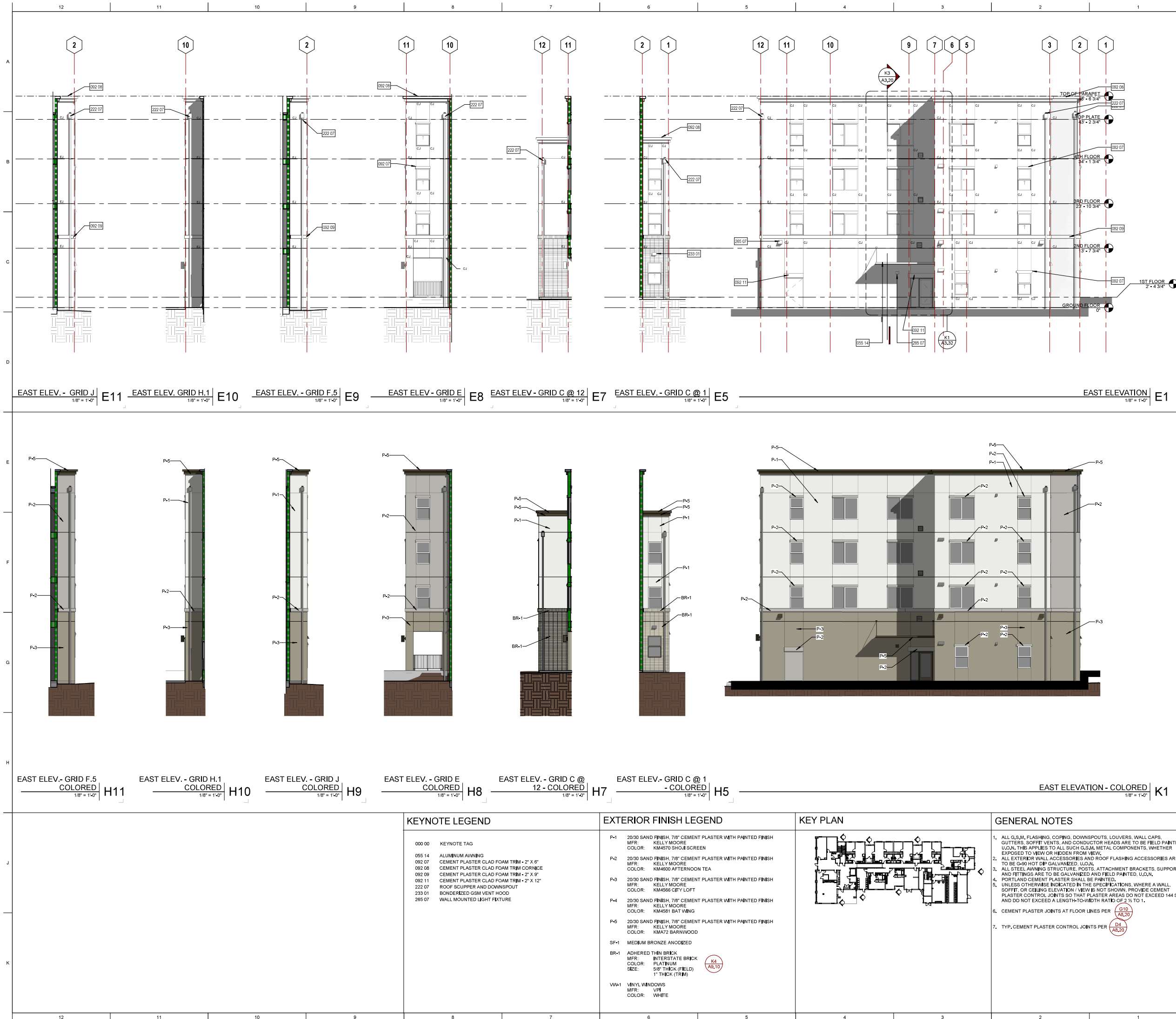
PROJECT NO: 1295-0003

DATE: 03/15/2021

SHEET NO:

A3.11

PC1 RESUBMITTAL





GENERAL NOTES

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- UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, WHERE A WALL, SOFFIT, OR CEILING ELEVATION / VIEW IS NOT SHOWN, PROVIDE CEMENT PLASTER CONTROL JOINTS SO THAT PLASTER AREAS DO NOT EXCEED 144 SF, AND DO NOT EXCEED A LENGTH-TO-WIDTH RATIO OF 2 1/2 TO 1.

EJ — CEMENT PLASTER JOINTS AT FLOOR LINES PER (010) (A6,20) (A6,21)

CJ — TYP. CEMENT PLASTER CONTROL JOINTS PER (04) (A6,30)

RJ — 1" REVEAL JOINT PER (04) (A6,21)

KEY PLAN

EXTERIOR FINISH LEGEND

P-1	20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH MFR: KELLY MOORE COLOR: KM4570 SHOUJSCREEN
P-2	20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH MFR: KELLY MOORE COLOR: KM4600 AFTERNOON TEA
P-3	20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH MFR: KELLY MOORE COLOR: KM4566 CITY LOFT
P-4	20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH MFR: KELLY MOORE COLOR: KM4581 BAY WING
P-5	20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH MFR: KELLY MOORE COLOR: KM472 BARNWOOD
SF-1	MEDIUM BRONZE ANODIZED
BR-1	ADHERED THIN BRICK MFR: INTERSTATE BRICK COLOR: PLATINUM SIZE: 5/8" THICK (FIELD) 1" THICK (TRIM) (K4) (A9,10)
WW-1	VINYL WINDOWS MFR: VPI COLOR: WHITE

KEYNOTE LEGEND

000 00	KEYNOTE TAG
042 03	THIN BRICK VENEER - SOLDIER COURSE UNTEL
092 07	CEMENT PLASTER CLAD FOAM TRIM - 2" X 6"
092 08	CEMENT PLASTER CLAD FOAM TRIM CORNICE
092 09	CEMENT PLASTER CLAD FOAM TRIM - 2" X 9"
092 10	CEMENT PLASTER CLAD FOAM TRIM - 1" X 4"
092 11	CEMENT PLASTER CLAD FOAM TRIM - 2" X 12"
233 01	BONDERIZED GSM VENT HOOD
233 02	MECHANICAL LOUVER
265 07	WALL MOUNTED LIGHT FIXTURE

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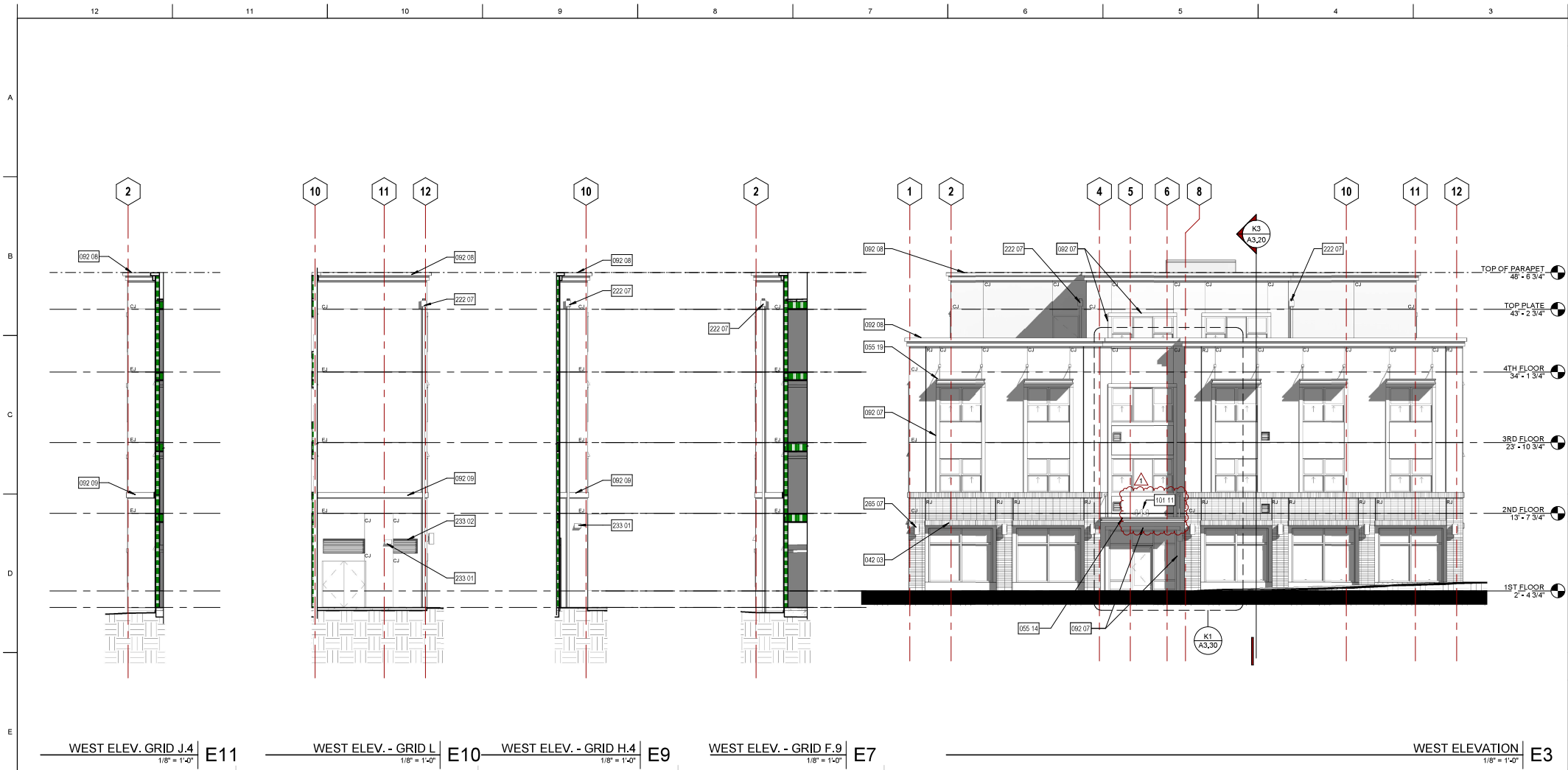
EXTERIOR ELEVATIONS - SOUTH

PROJECT NO: 1295-0003
DATE: 03/15/2021

SHEET NO:

A3.12

PC1 RESUBMITTAL

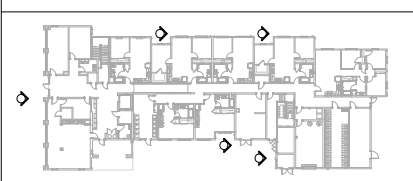


GENERAL NOTES

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4. PORTLAND CEMENT PLASTER SHALL BE PAINTED.
5. UNLESS OTHERWISE INDICATED IN THE SPECIFICATIONS, WHERE A WALL, SOFFIT, OR CEILING ELEVATION / VIEW IS NOT SHOWN, PROVIDE CEMENT PLASTER CONTROL JOINTS SO THAT PLASTER AREAS DO NOT EXCEED 144 SF, AND DO NOT EXCEED A LENGTH-TO-WIDTH RATIO OF 2 : 1.

- EJ — CEMENT PLASTER JOINTS AT FLOOR LINES PER (010, 034, 048, 20, 08, 21)
- CJ — TYP. CEMENT PLASTER CONTROL JOINTS PER (04, 08, 20, 08, 21)
- RJ — 1" REVEAL JOINT PER (04, 08, 21)

KEY PLAN

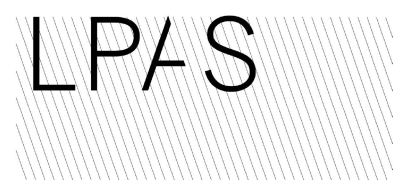


EXTERIOR FINISH LEGEND

- P-1 20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4570 SHOU SCREEN
- P-2 20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4600 AFTERNOON TEA
- P-3 20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4566 CITY LOFT
- P-4 20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM4581 BAY WING
- P-5 20/30 SAND FINISH, 7/8" CEMENT PLASTER WITH PAINTED FINISH
MFR: KELLY MOORE
COLOR: KM472 BARNWOOD
- SF-1 MEDIUM BRONZE ANODIZED
- BR-1 ADHERED THIN BRICK
MFR: INTERSTATE BRICK
COLOR: PLATINUM
SIZE: 5/8" THICK (FIELD)
1" THICK (TRIM) (K4, 09, 10)
- WW-1 VINYL WINDOWS
MFR: VPI
COLOR: WHITE

KEYNOTE LEGEND

- 000 00 KEYNOTE TAG
- 042 03 THIN BRICK VENEER - SOLDIER COURSE UNTEL
- 055 14 ALUMINUM AWNING
- 055 19 ALUM. SUN SHADE
- 092 07 CEMENT PLASTER CLAD FOAM TRIM - 2" X 6"
- 092 08 CEMENT PLASTER CLAD FOAM TRIM CORNICE
- 092 09 CEMENT PLASTER CLAD FOAM TRIM - 2" X 9"
- 101 11 1" HIGH BOXED NUMERAL ALUMINUM ADDRESS SIGN
- 222 07 ROOF SOUPPER AND DOWNSPOUT
- 233 01 BONDERIZED GSM VENT HOOD
- 233 02 MECHANICAL LOUVER
- 265 07 WALL MOUNTED LIGHT FIXTURE



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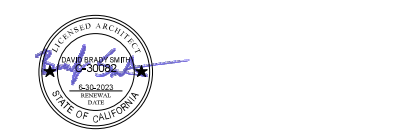
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MidPen Housing Corp.

NO. ISSUE DATE
1 PC 1 Resubmittal 11/19/2021



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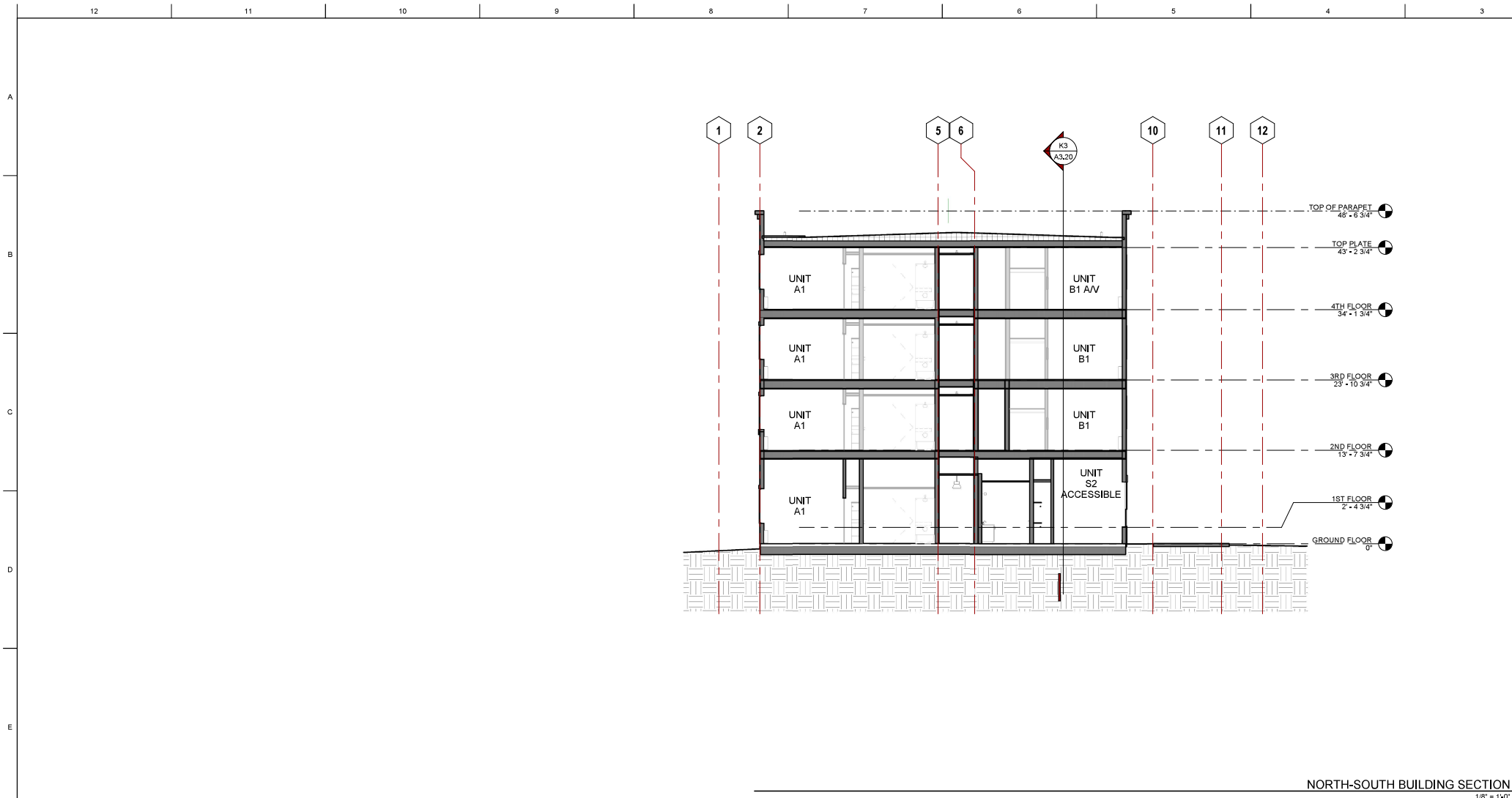
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EXTERIOR ELEVATIONS - WEST

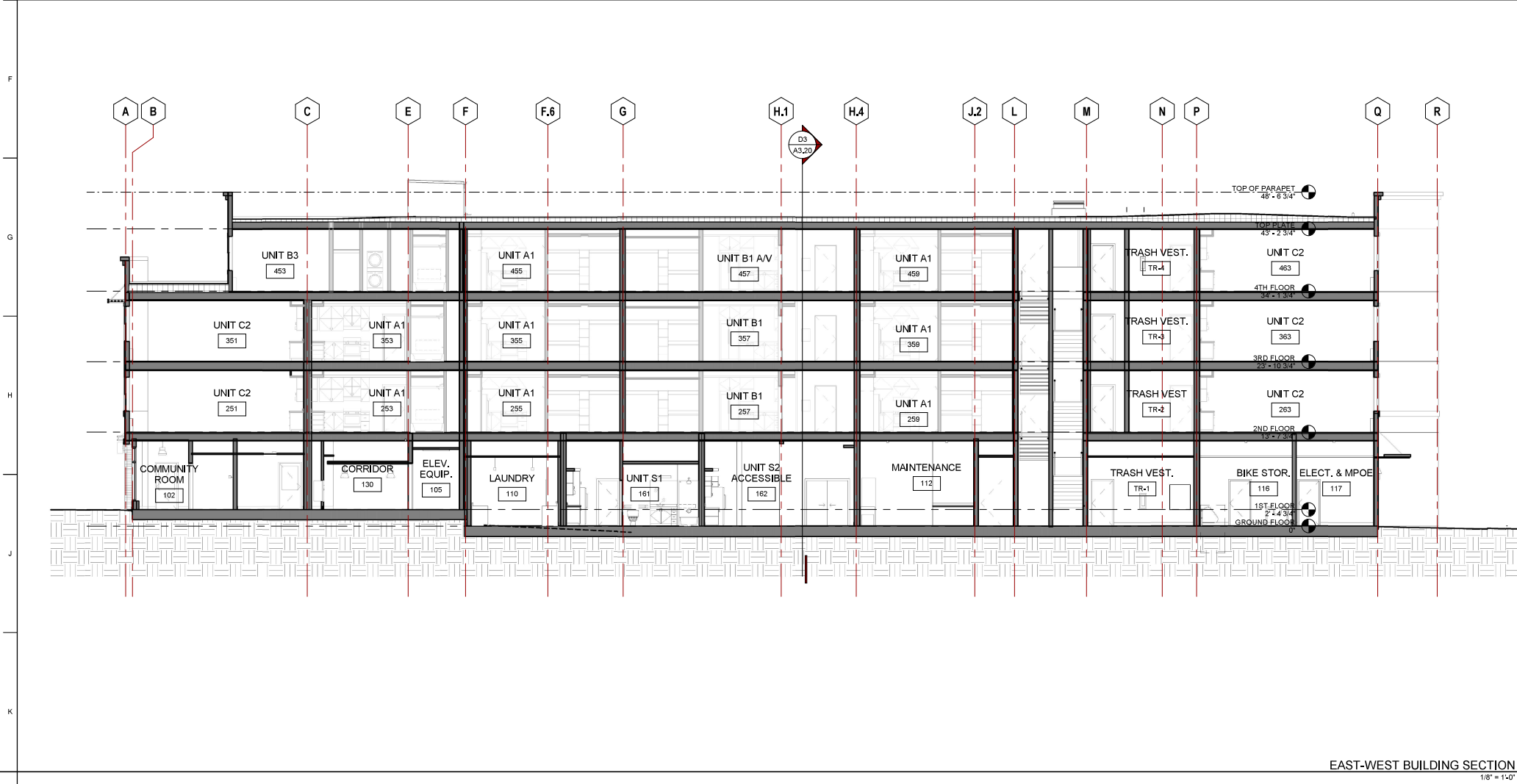
PROJECT NO: 1295-0003
DATE: 03/15/2021

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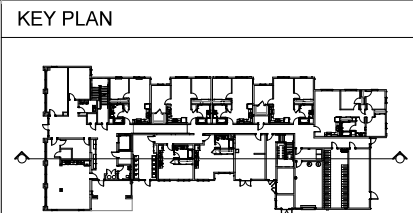
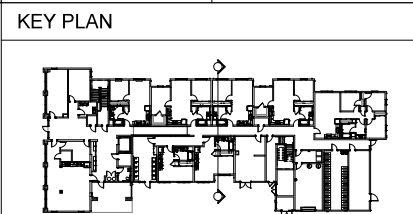
A3.13



NORTH-SOUTH BUILDING SECTION | D3
1/8" = 1'-0"



EAST-WEST BUILDING SECTION | K3
1/8" = 1'-0"



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CONSULTANT

BUILDING SECTIONS

PROJECT NO: 1295-0003
DATE: 03/15/2021

SHEET NO:

A3.20