



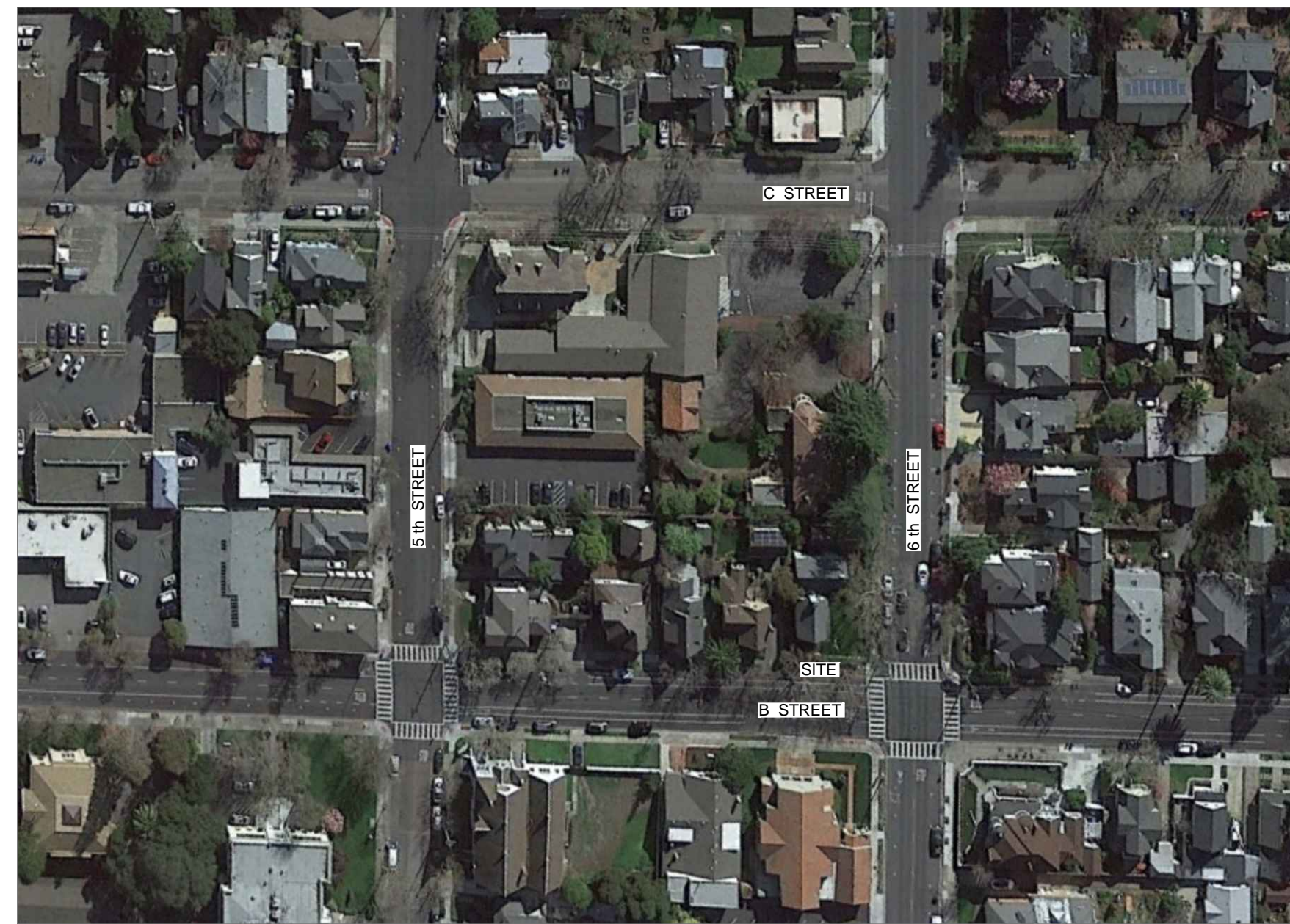
**VIEW FROM B STREET**

NO SCALE



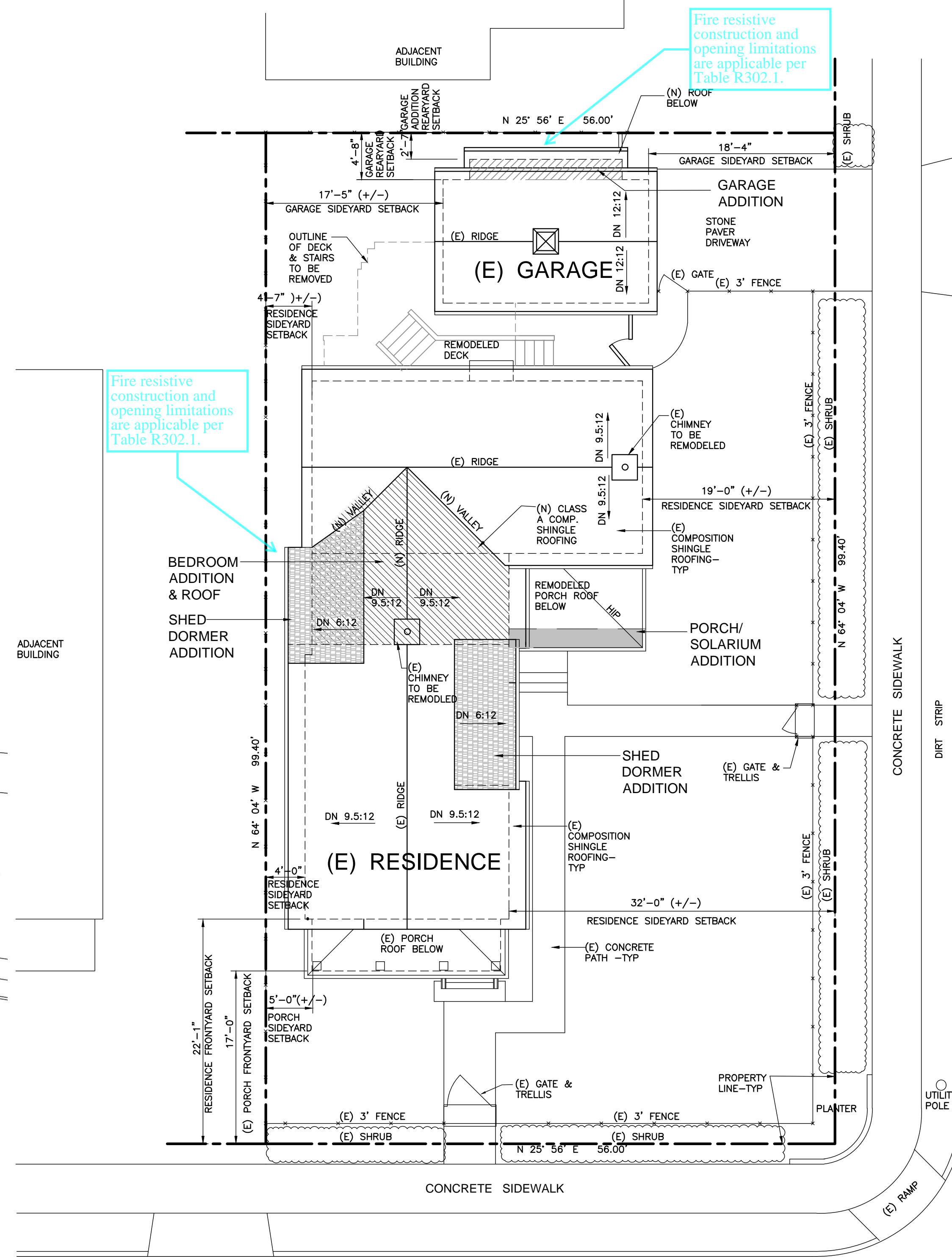
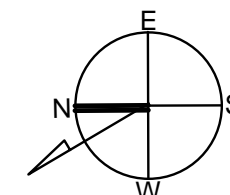
**VIEW FROM 6th STREET**

NO SCALE



**AERIAL CONTEXT MAP**

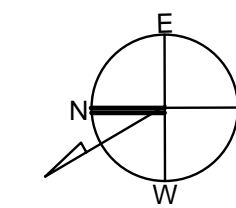
1" = 128'



**B STREET**

**SITE PLAN & ROOF PLAN**

1/8" = 1'-0"



**SITE INFORMATION**

APN:	008-103-001-000
JURISDICTION:	CITY OF PETALUMA
ZONING:	MU2 - H
LOT AREA:	5,566 SF
RESIDENCE FLOOR AREAS:	
EXISTING LOWER FLOOR:	1,266 SF
EXISTING UPPER FLOOR:	859 SF
TOTAL EXISTING FLOOR AREA:	2,125 SF
UPPER FLOOR ADDITION:	193 SF
TOTAL LIVING AREA:	2,318 SF
COVERED PORCHES:	
EXISTING WEST PORCH:	96 SF
EXISTING SOUTH PORCH:	89 SF
SOUTH PORCH ADDITION:	22 SF
TOTAL PORCHES:	207 SF
DETACHED GARAGE:	245 SF
GARAGE ADDITION:	30 SF
TOTAL GARAGE:	275 SF
DECKS:	
EXISTING REAR DECK & STAIR:	200 SF
DECK AND STAIR TO BE REMOVED:	(121 SF)
TOTAL DECK AND STAIR:	79 SF
EXISTING LOT COVERAGE: (1,896 SF)	34.06 %
NEW LOT COVERAGE: (1,827 SF)	32.82 %
EXISTING FLOOR AREA RATIO: (2,125 SF)	32.82%
NEW FLOOR AREA RATIO: (2,318 SF)	41.65%

**BUILDING INFORMATION**

OCCUPANCY GROUP:	R-3
TYPE OF CONSTRUCTION:	VB
STORIES:	2
SPRINKLERS:	NO
OCCUPANT LOAD:	12

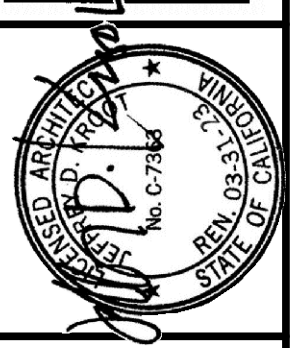
**VICINITY MAP**



**DRAWING INDEX**

- 1 SITE PLAN, SITE INFORMATION
  - 2 FLOOR PLANS
  - 3 SECTIONS
  - 4 WEST AND SOUTH EXTERIOR ELEVATIONS
  - 5 EAST AND NORTH EXTERIOR ELEVATIONS
- 
- AB-1 EXISTING SITE PLAN
  - AB-2 EXISTING FLOOR PLANS
  - AB-3 EXISTING BUILDING ELEVATIONS
  - AB-4 EXISTING BUILDING ELEVATIONS
  - AB-5 EXISTING SECTIONS

REVISIONS	BY



**SITE & ROOF PLAN**

Addition and Remodel  
**JOHNSTON RESIDENCE**  
 523 'B' Street Petaluma, CA  
 APN: 008-103-001

Date	OCT 2021
Scale	1/8" = 1'-0"
Drawn	DMS
Job	JOHNSTON ADDITION
Sheet	<b>1</b>
of	5

REVISIONS	BY

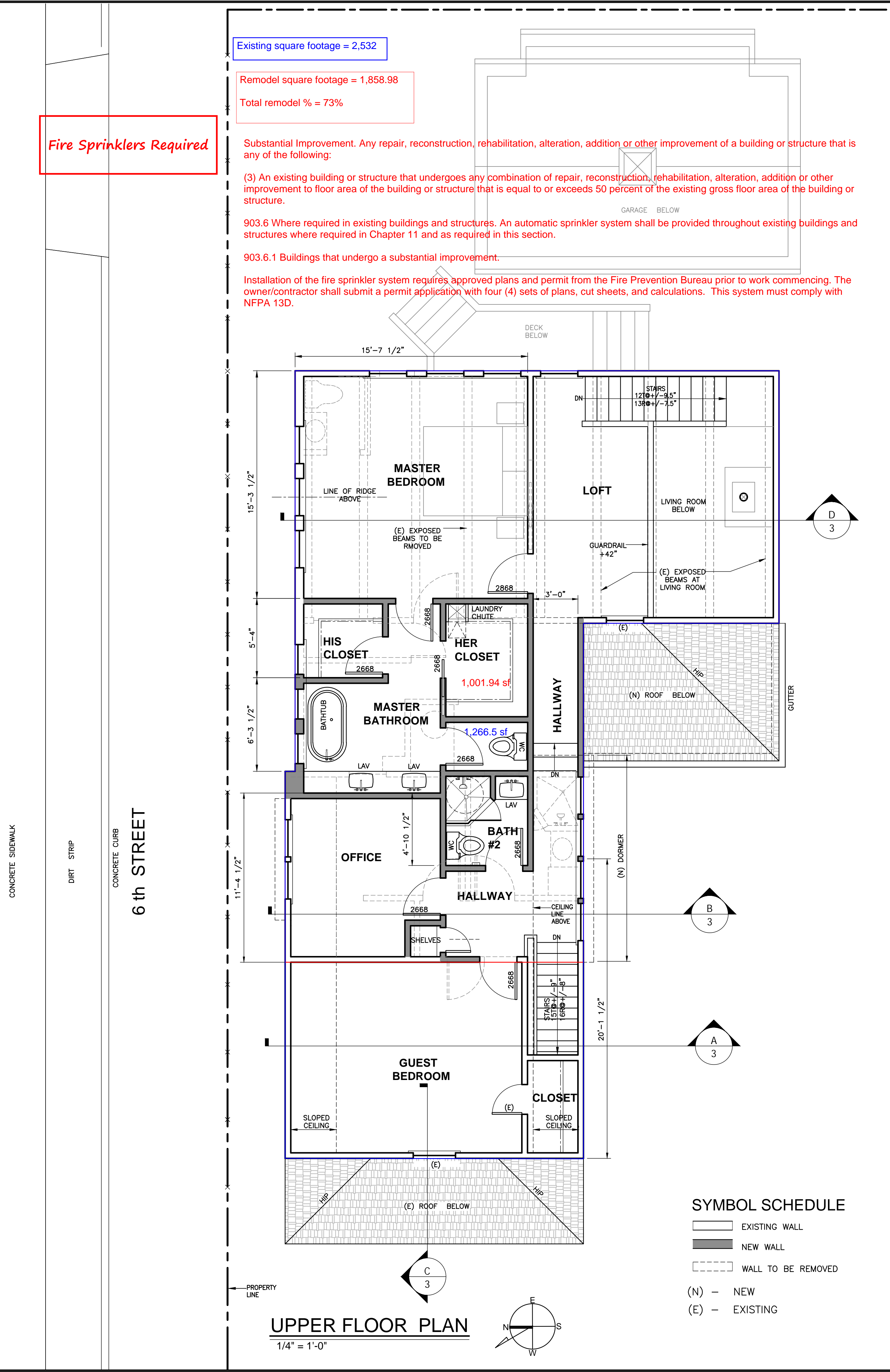
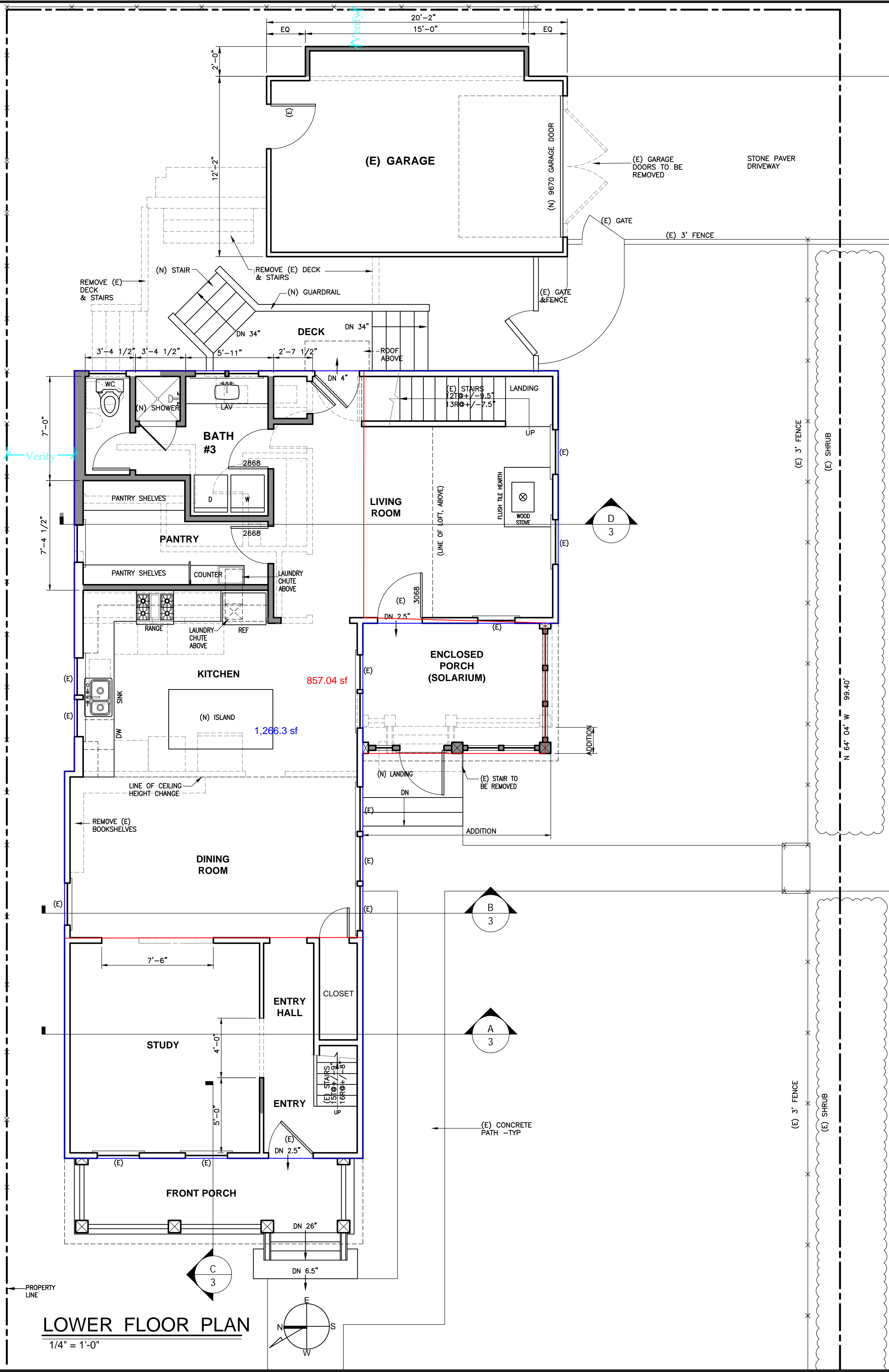


**JEFF KROOK ARCHITECT & ASSOCIATES**  
 P.O. BOX 286 · SAN ANSELMO, CALIFORNIA 94979 · 415/455-5531

**FLOOR PLANS**

Addition and Remodel  
**JOHNSTON RESIDENCE**  
 523 'B' Street Petaluma, CA  
 APN: 008-103-001

Date: OCT 2021  
 Scale: 1/4" = 1'-0"  
 Drawn: DMS  
 Job: JOHNSTON ADDITION  
 Sheet: **2**  
 of 5



**Fire Sprinklers Required**

Existing square footage = 2,532  
 Remodel square footage = 1,858.98  
 Total remodel % = 73%

Substantial Improvement. Any repair, reconstruction, rehabilitation, alteration, addition or other improvement of a building or structure that is any of the following:

(3) An existing building or structure that undergoes any combination of repair, reconstruction, rehabilitation, alteration, addition or other improvement to floor area of the building or structure that is equal to or exceeds 50 percent of the existing gross floor area of the building or structure.

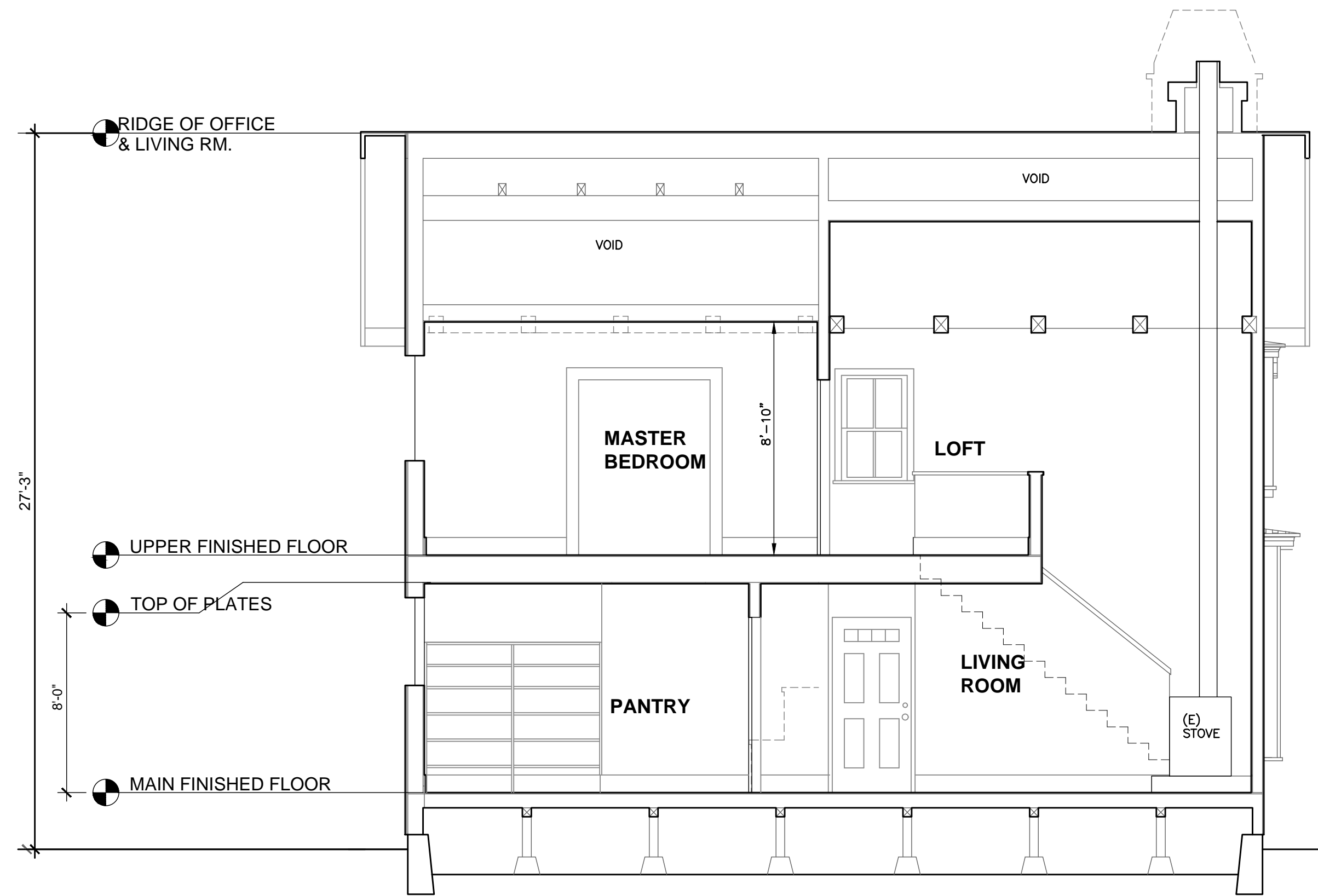
903.6 Where required in existing buildings and structures. An automatic sprinkler system shall be provided throughout existing buildings and structures where required in Chapter 11 and as required in this section.

903.6.1 Buildings that undergo a substantial improvement.

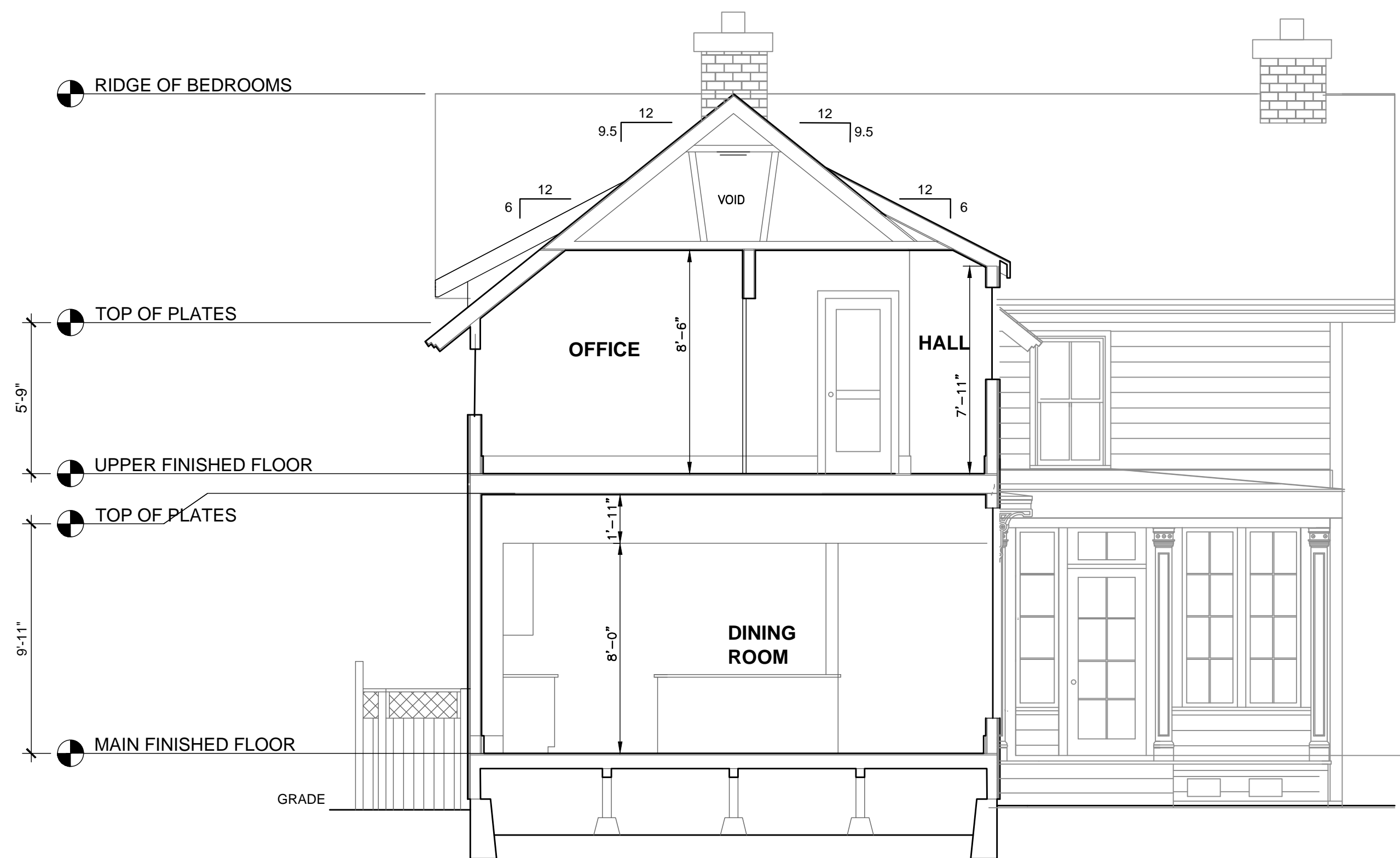
Installation of the fire sprinkler system requires approved plans and permit from the Fire Prevention Bureau prior to work commencing. The owner/contractor shall submit a permit application with four (4) sets of plans, cut sheets, and calculations. This system must comply with NFPA 13D.

**SYMBOL SCHEDULE**

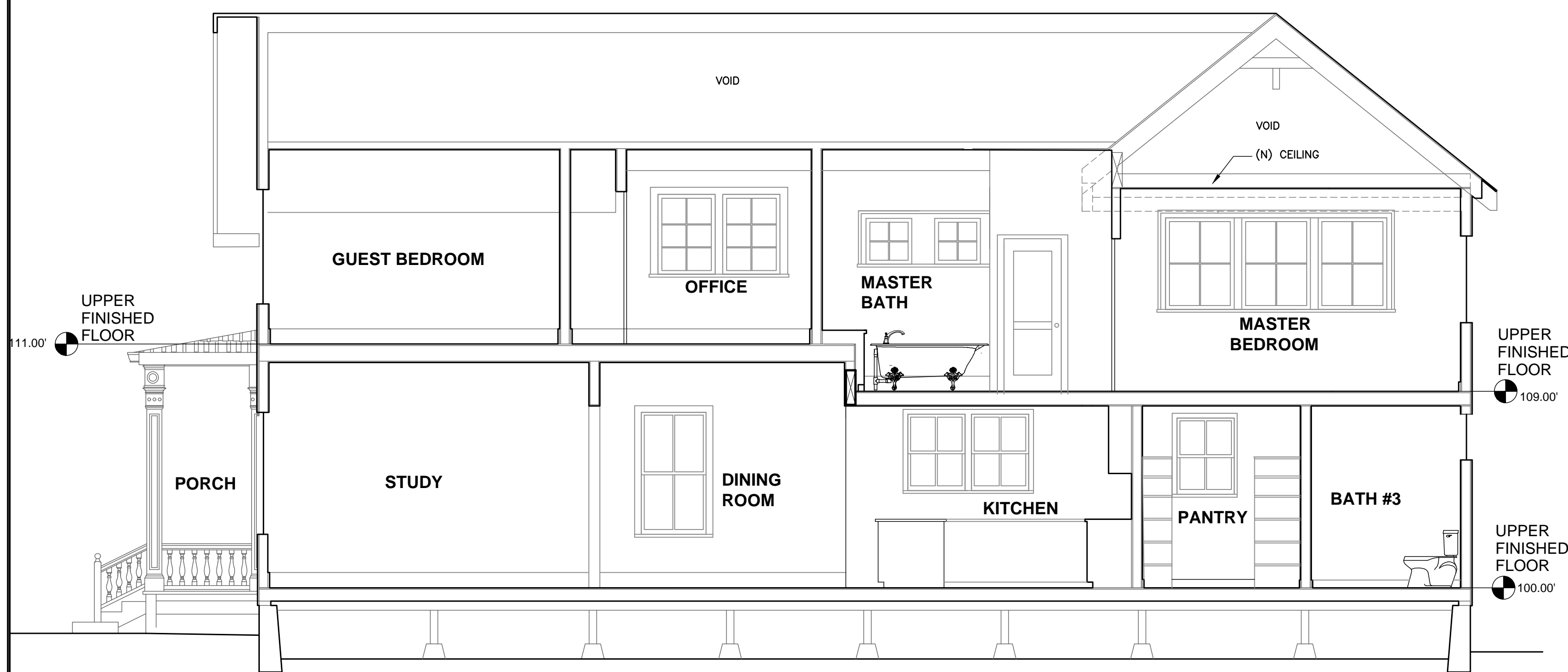
- EXISTING WALL
- NEW WALL
- - - WALL TO BE REMOVED
- (N) - NEW
- (E) - EXISTING



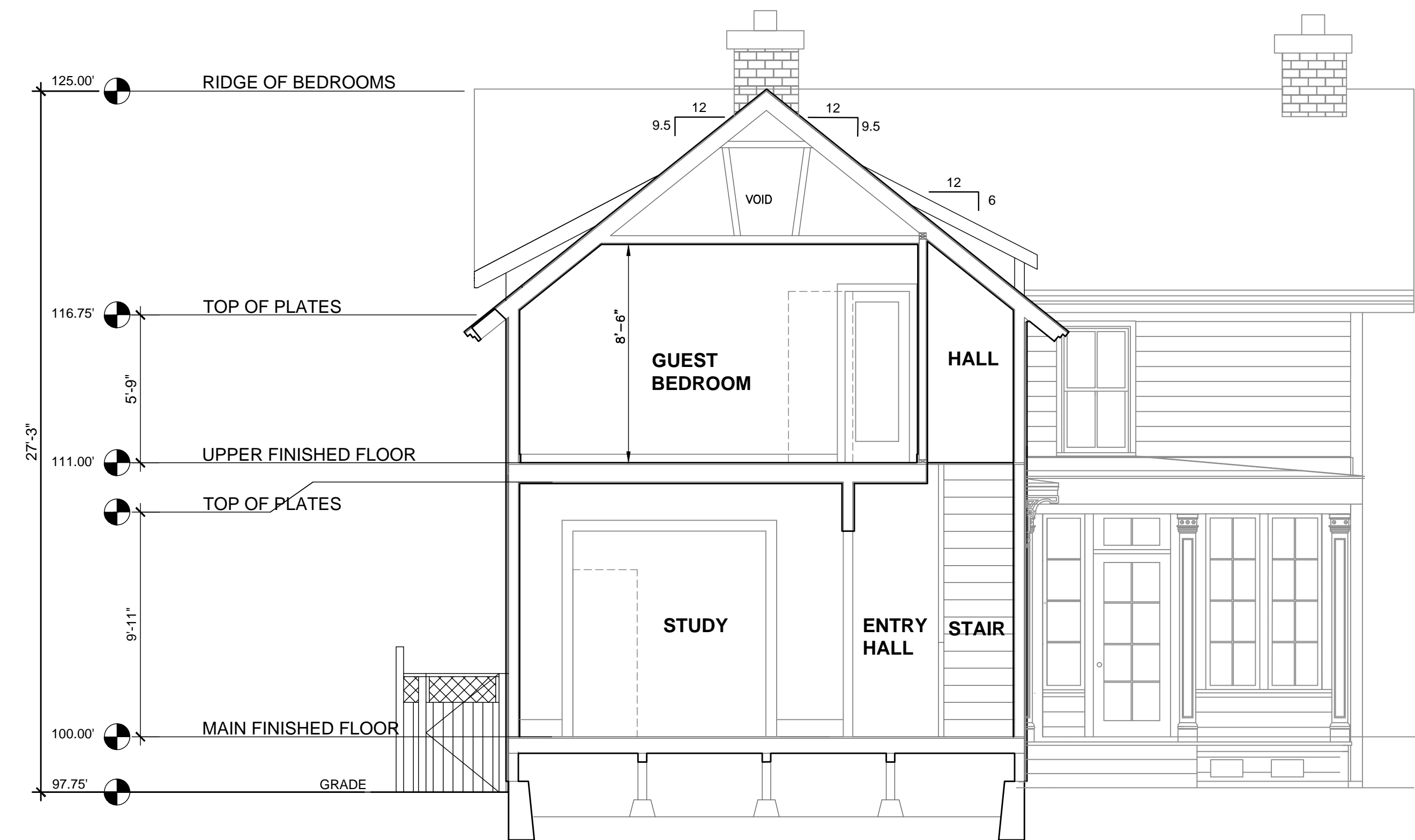
**D**  
3  
SECTION AT LIVING ROOM  
1/4"=1'-0"



**B**  
3  
SECTION AT DINING ROOM  
1/4"=1'-0"



**C**  
3  
LONGITUDINAL SECTION  
1/4"=1'-0"

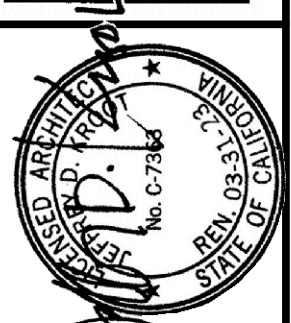


**A**  
3  
SECTION AT STUDY  
1/4"=1'-0"

SINCE THE LOWER FINISHED FLOOR ELEVATION IS UNKNOWN IT HAS BEEN DESIGNATED AS 100.00'

REVISIONS	BY

**JEFF KROOT ARCHITECT & ASSOCIATES**  
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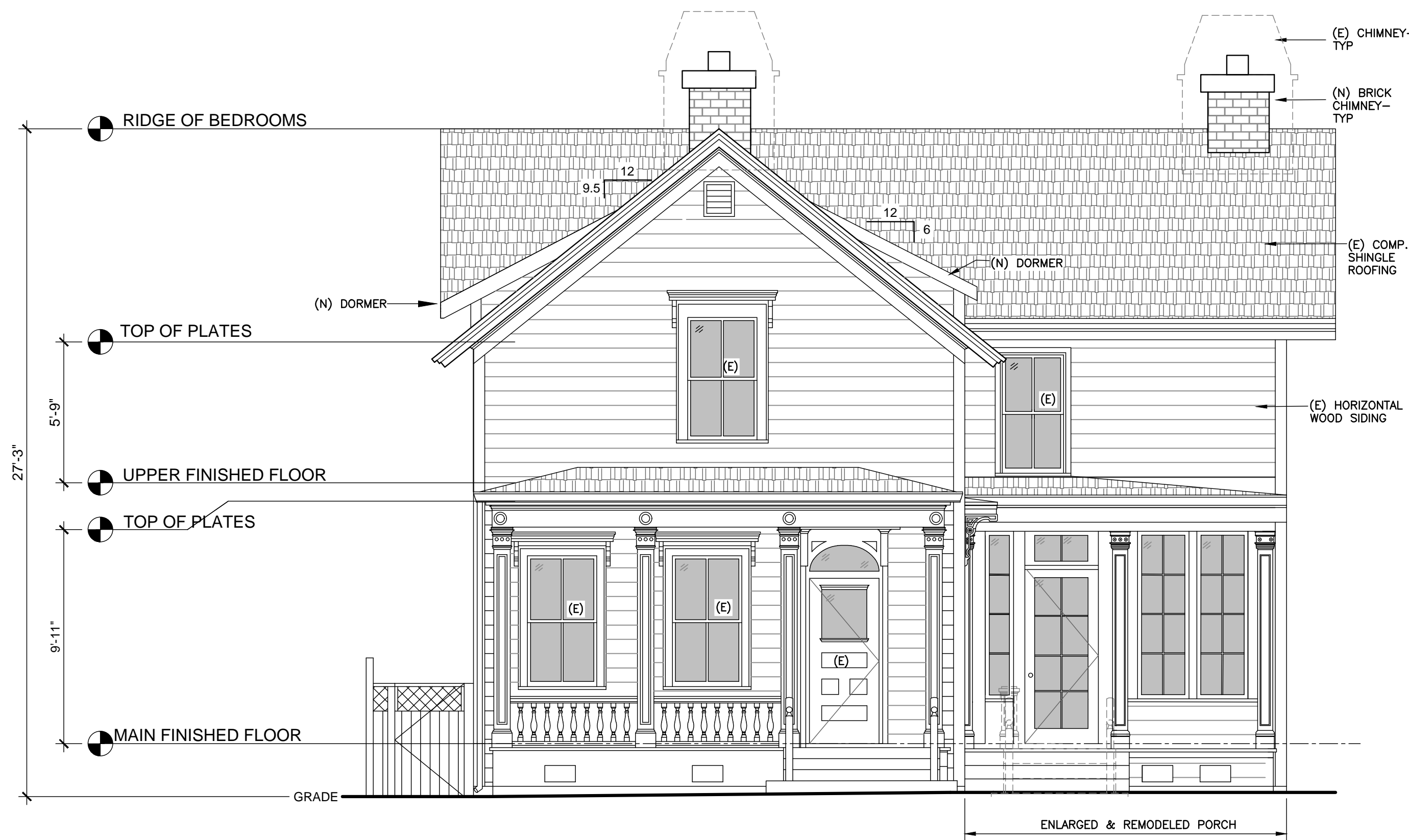


SECTIONS

Addition and Remodel  
**JOHNSTON RESIDENCE**  
523 'B' Street Petaluma, CA  
APN: 008-103-001

Date: OCT 2021  
Scale: 1/4" = 1'-0"  
Drawn: DMS  
Job: JOHNSTON ADDITION  
Sheet: 3

of 5



**WEST EXTERIOR ELEVATION**  
1/4" = 1'-0"



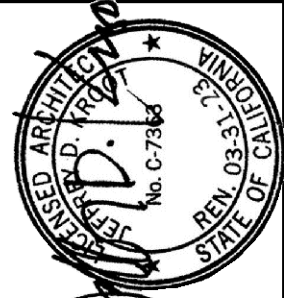
**VIEW FROM 6th STREET**  
NO SCALE



**SOUTH EXTERIOR ELEVATION**  
1/4" = 1'-0"

REVISIONS	BY

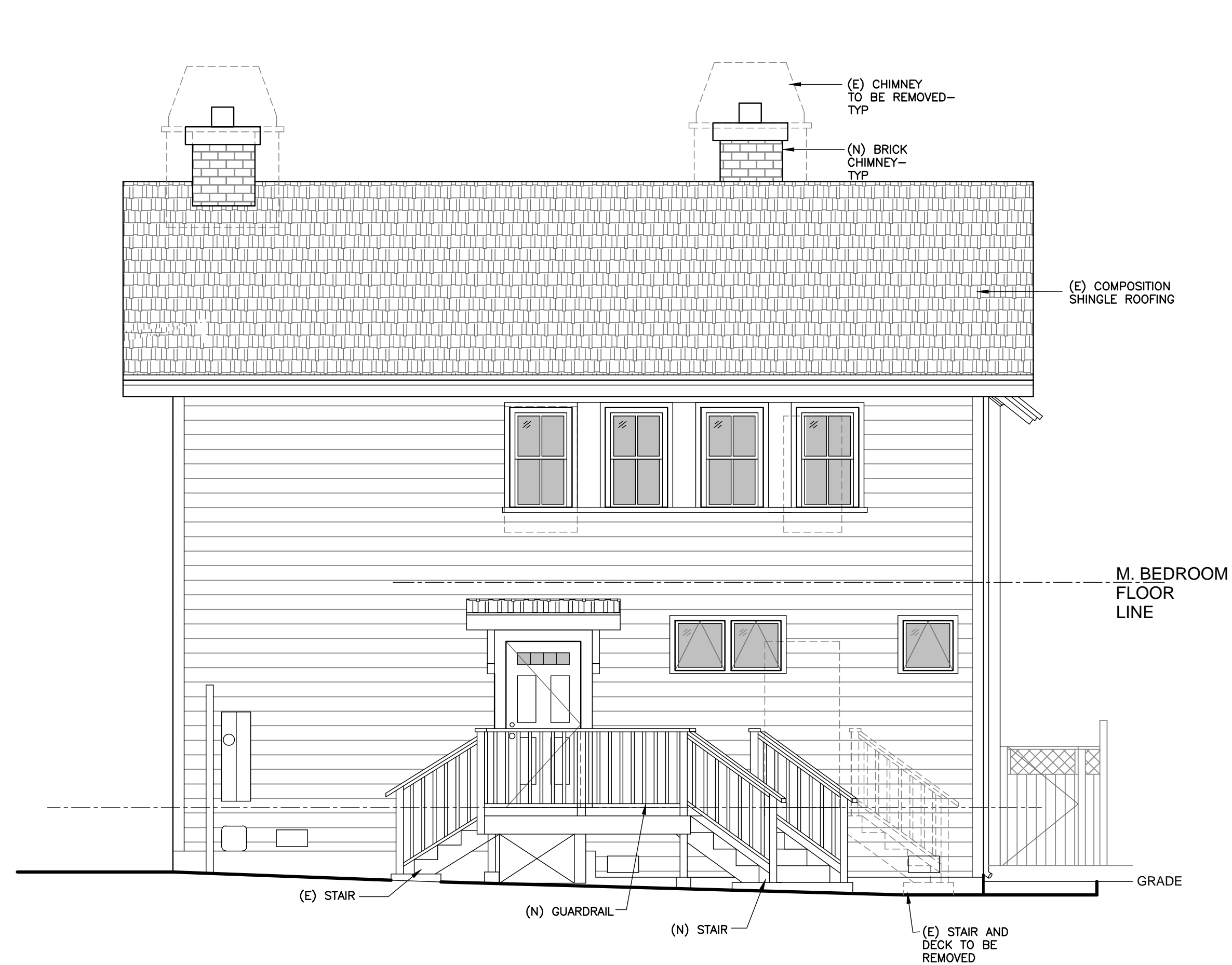
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**WEST & SOUTH EXTERIOR ELEVATIONS**

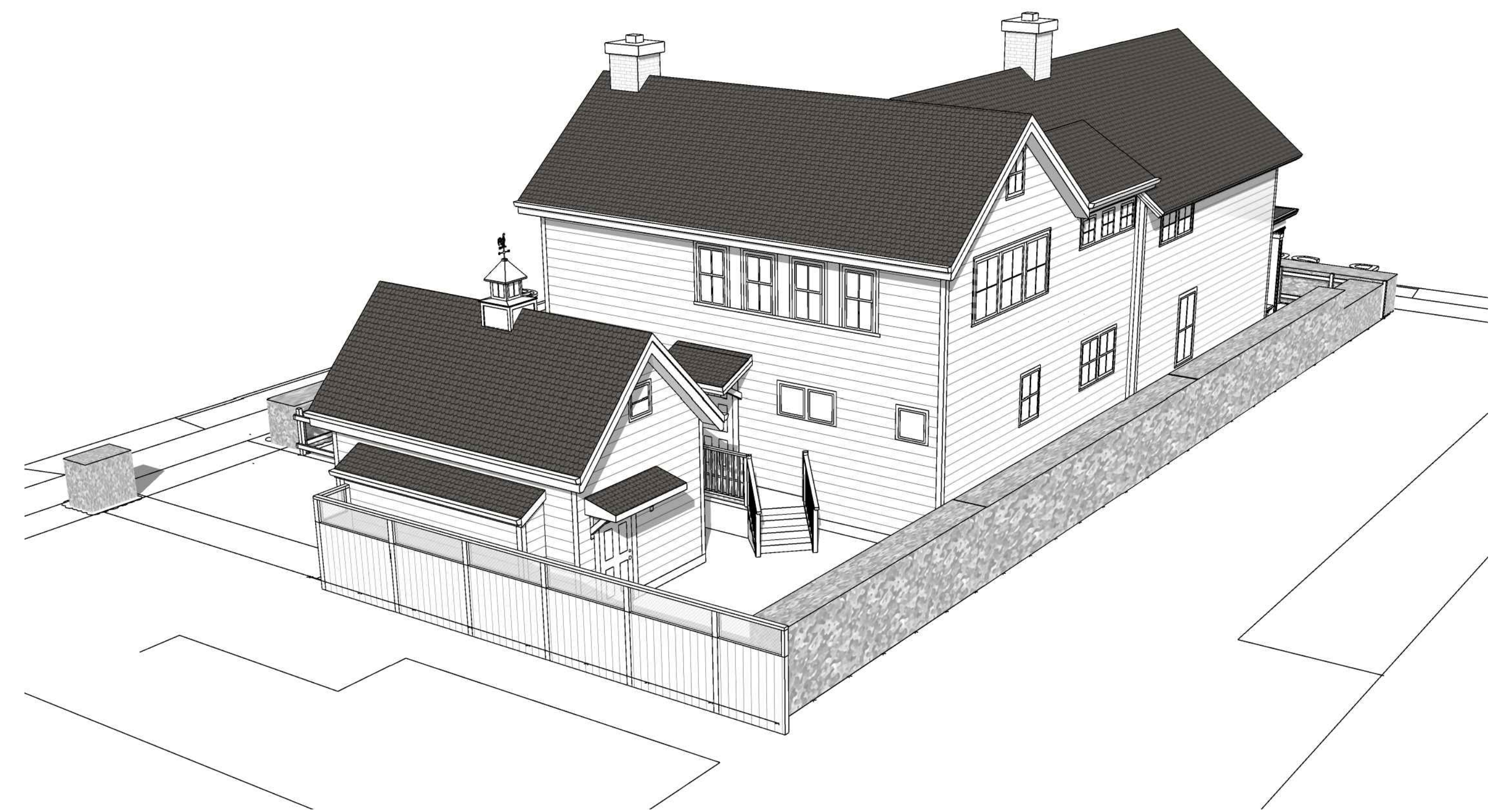
Addition and Remodel  
**JOHNSTON RESIDENCE**  
523 'B' Street Petaluma, CA  
APN: 008-103-001

Date	OCT 2021
Scale	1/4" = 1'-0"
Drawn	DMS
Job	JOHNSTON ADDITION
Sheet	<b>4</b>
of	5



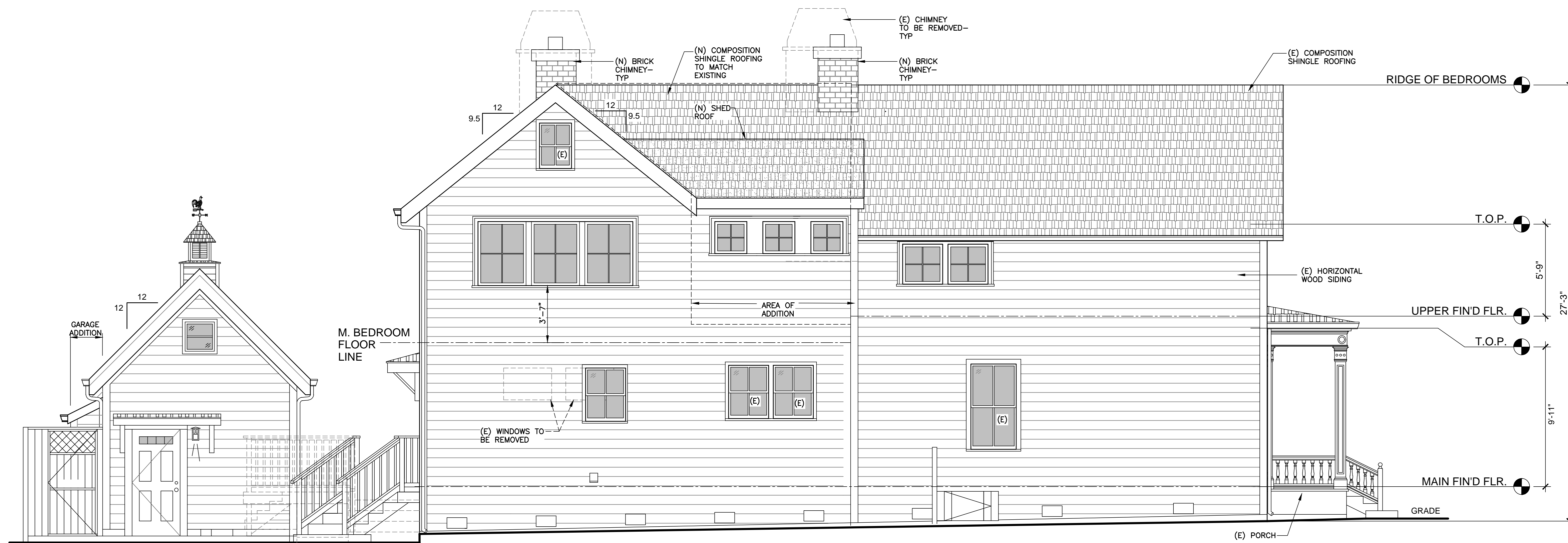
**EAST EXTERIOR ELEVATION**

1/4" = 1'-0"



**VIEW FROM THE REAR**

NO SCALE



**NORTH EXTERIOR ELEVATION**

1/4" = 1'-0"

REVISIONS BY

NO.	DESCRIPTION	DATE	BY

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**EAST & NORTH EXTERIOR ELEVATIONS**

Addition and Remodel  
**JOHNSTON RESIDENCE**  
 523 'B' Street Petaluma, CA  
 APN: 008-103-001

Date OCT 2021

Scale 1/4" = 1'-0"

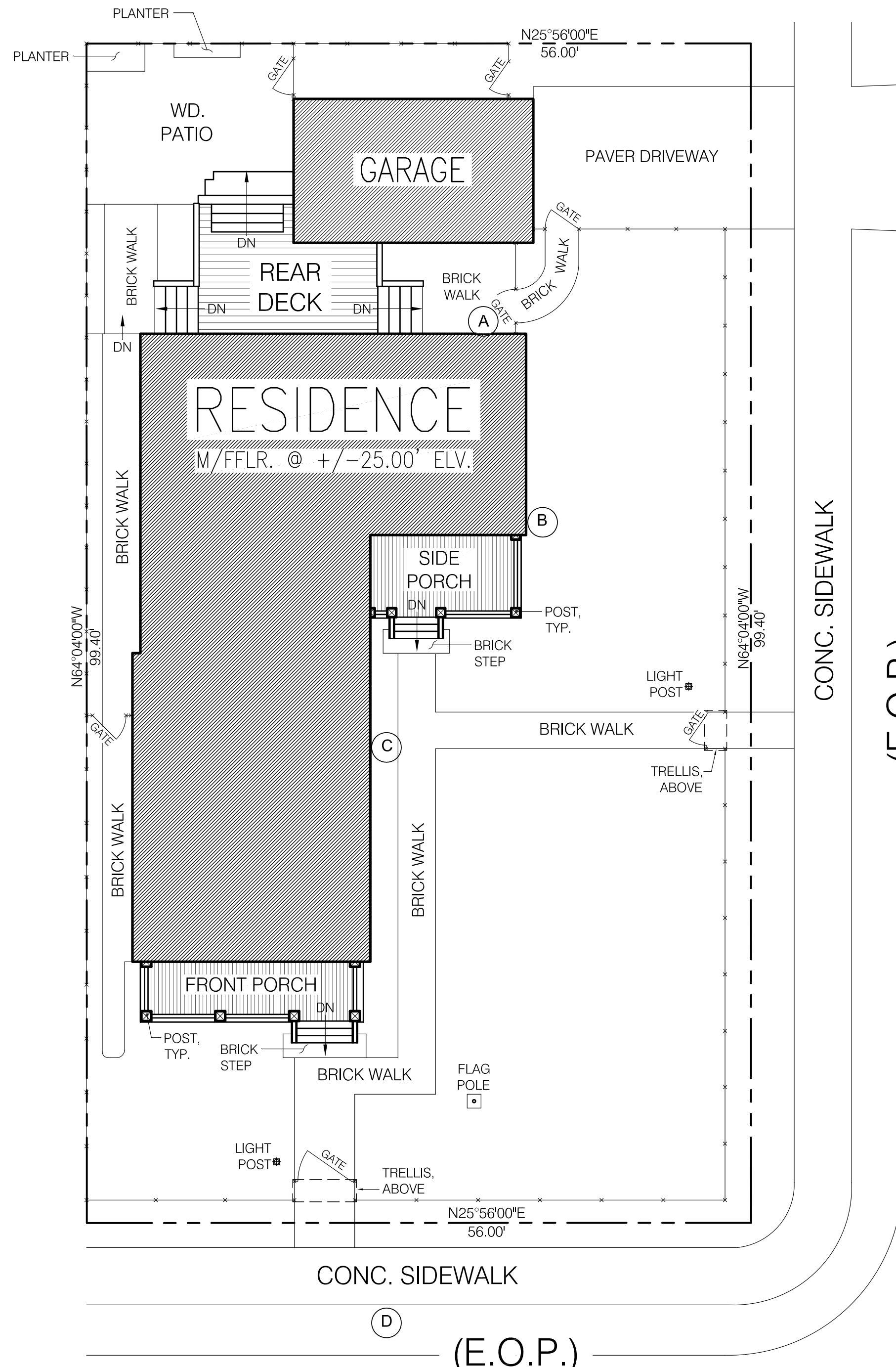
Drawn DMS

Job JOHNSTON ADDITION

Sheet

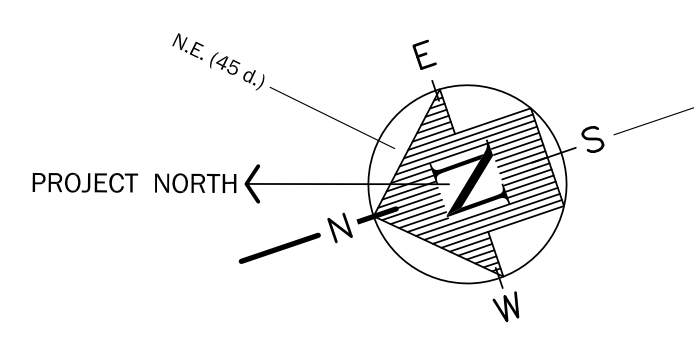
of 5

THIS IS NOT AN OFFICIAL OR RECORDED SURVEY, AND MAY NOT BE USED FOR ANY SUBMITTAL. THE PROPERTY LINES SHOWN ABOVE ARE DEPICTED FOR GENERAL PLANNING PURPOSES ONLY, BASED ON AVAILABLE COUNTY PUBLIC RECORDS, AND ARE THEREFORE SHOWN POSITIONED IN THE PROXIMITY OF FENCELINES. THEY ARE NOT TO BE CONSTRUED AS THE LEGAL DESCRIPTION OR AS THE ACTUAL PROPERTY LINE LOCATIONS FOR THIS LOT. THE SERVICES OF A LICENSED CIVIL ENGINEER OR SURVEYOR MAY BE REQUIRED BY YOUR PLANNING AND BUILDING DEPARTMENT JURISDICTION IN THE EVENT YOU SEEK APPROVAL FOR FUTURE CONSTRUCTION. THE MAIN FINISHED FLOOR ELEVATION IS APPROXIMATE AND DERIVED FROM UNOFFICIAL ONLINE MAPPING RESOURCES.



**6TH ST. (70' R.O.W.)**  
 BUILT ROAD +/-42 FT. WIDE (VARIES)

**B ST. (70' R.O.W.)**  
 BUILT ROAD +/-46 FT. WIDE (VARIES)



SCALE: 1/8"=1'-0"

**COMMON ABBREVIATIONS**

A.C.	ASPHALT CONCRETE
ADJ.	ADJACENT
APN	ASSESSOR'S PARCEL NUMBER
C.	CASEMENT
C O N C.	CONCRETE
D.E.	DRAINAGE EASEMENT
DN	DOWN
DR.	DOOR
DS	DOWNSPOUT
E. O. P.	EDGE OF PAVEMENT (APPROXIMATE)
ELV.	ELEVATION (ABOVE SEA LEVEL, APPROX.)
F.	FIXED
HT.	HEIGHT
M / F F L R.	MAIN FINISHED FLOOR (LEVEL)
F.V.	FOUNDATION VENT
R O W.	RIGHT-OF-WAY
R R W.	ROCK RETAINING WALL
S.G.	SINGLE GLAZED
S.H.	SINGLE HUNG
TLD	TIGHT-LINE DRAIN
T.O.P.	TOP OF PLATE
2888 DR.	2'-8" WIDE X 6'-8" HIGH DOOR
4040 AF. DG. SL.	4'-0" W. X 4'-0" H. ALUMINUM-FRAMED DBL-GLAZED SLIDER WINDOW (SINGLE HUNG-S.H., CASEMENT-C., ETC.)

**UTILITY-EQUIPMENT LEGEND**

(A)	ELECTRICAL METER-MAIN (200 AMP)
(B)	NATURAL GAS METER
(C)	WATER INLET SHUTOFF
(D)	WATER METER

**JOHNSTON RESIDENCE**

523 B ST.  
 PETALUMA, CA 94952  
 3 BEDROOM, 2 1/2 BATHS  
 CONSTRUCTION YEAR 1954  
 PUBLIC RECORDS

APN.....008-103-001-000  
 JURISDICTION.....CITY OF PETALUMA  
 ZONE.....MU2-H  
 (MIXED USE 2-HISTORIC)

BUILD'G. CODES.....2019 CRC, AND CBC, ETC.

**AREA CALCS**

BUILDING FOOTPRINT.....	1,266 S.F.
GARAGE (DETACHED).....	245 S.F.
RESIDENCE LIVING AREA.....	2,180 S.F.
(TOTAL OF 1,266 S.F. MAIN AND 914 S.F. UPPER FLOOR HEATED LIVING SPACE)	
DECK / PORCH AREA.....	402 S.F.
LOT SIZE (.127 ACRES).....	5,544 S.F.
F.A.R.....	N/A (NO MAX.)
LOT COV'G. (1,913 / 5,544).....	34.5% (80% MAX.)

**SETBACKS**

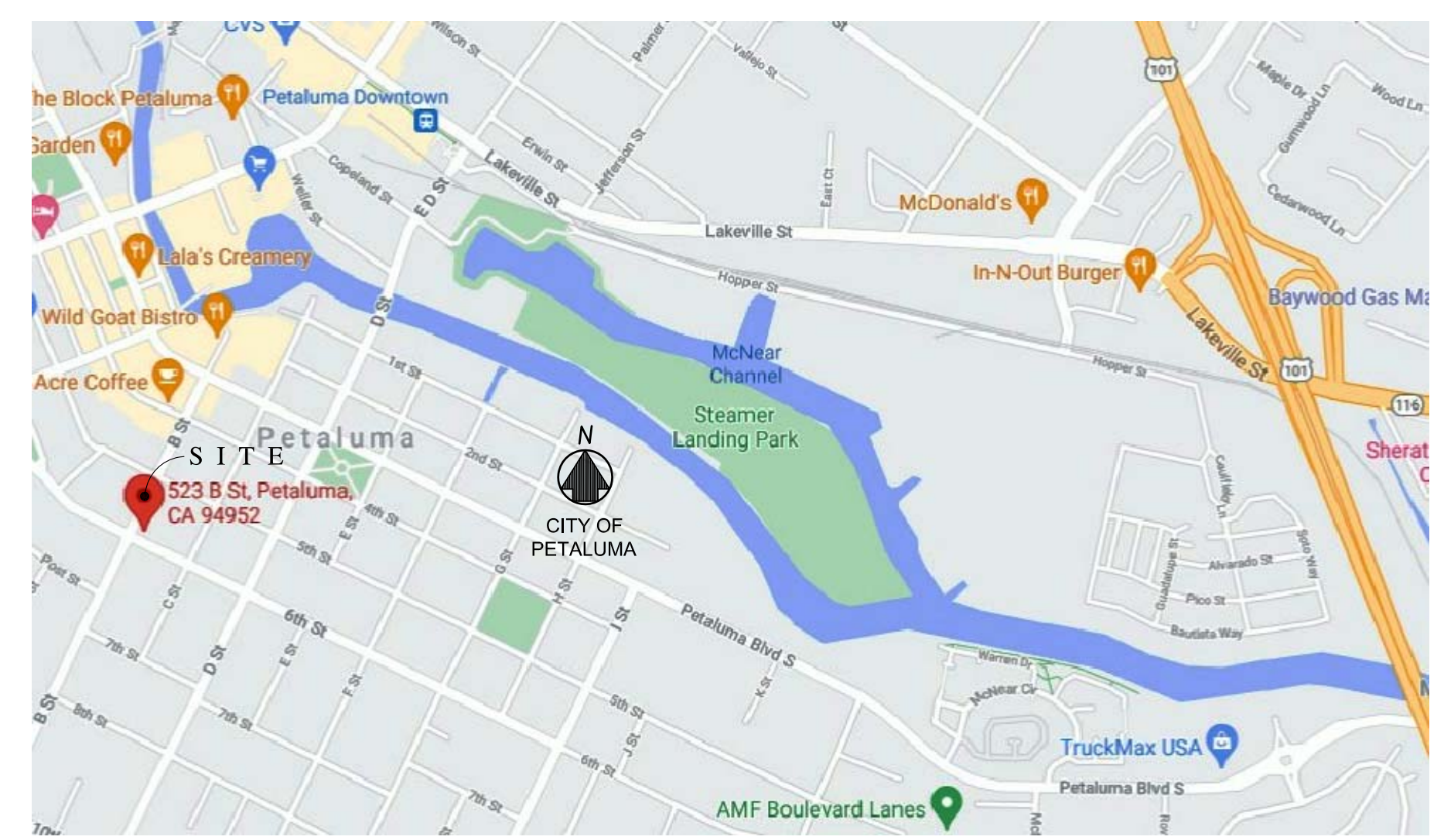
FRONT 0' MIN., 10' MAX.  
 SIDES 0' MIN., 10' MAX.  
 REAR 0'  
 HEIGHT 45' MAX.  
 (FOR PRIMARY BUILDING)  
 HEIGHT 20' MAX.  
 (FOR ACCESSORY BUILDING)

**INDEX TO DRAWINGS**

AB-1	SITE DATA - WITH AREA CALCULATIONS
AB-2	GARAGE LEVEL AND MAIN FLOOR PLANS
AB-3	ELEVATIONS - EAST AND WEST
AB-4	ELEVATIONS - NORTH AND SOUTH
AB-5	SECTIONS AND STRUCTURAL ASSEMBLY NOTES

**LOCATION (BY GOOGLE EARTH)**

LATITUDE.....38° 13' 51" N.  
 LONGITUDE.....122° 38' 25" W.



VICINITY MAP

**SITE DATA**

THIS IS NOT A SURVEY. LOT BOUNDARY DISTANCES AS SHOWN ON ASSESSOR'S MAP BK. 008 - PG. -10

REVISION	BY

**DRAFTECH (of Marin County)**  
 15 SCHOOL TERRACE  
 NOVATO, CA, 94945  
 drafbtech@yahoo.com ph. (415) 897-0042

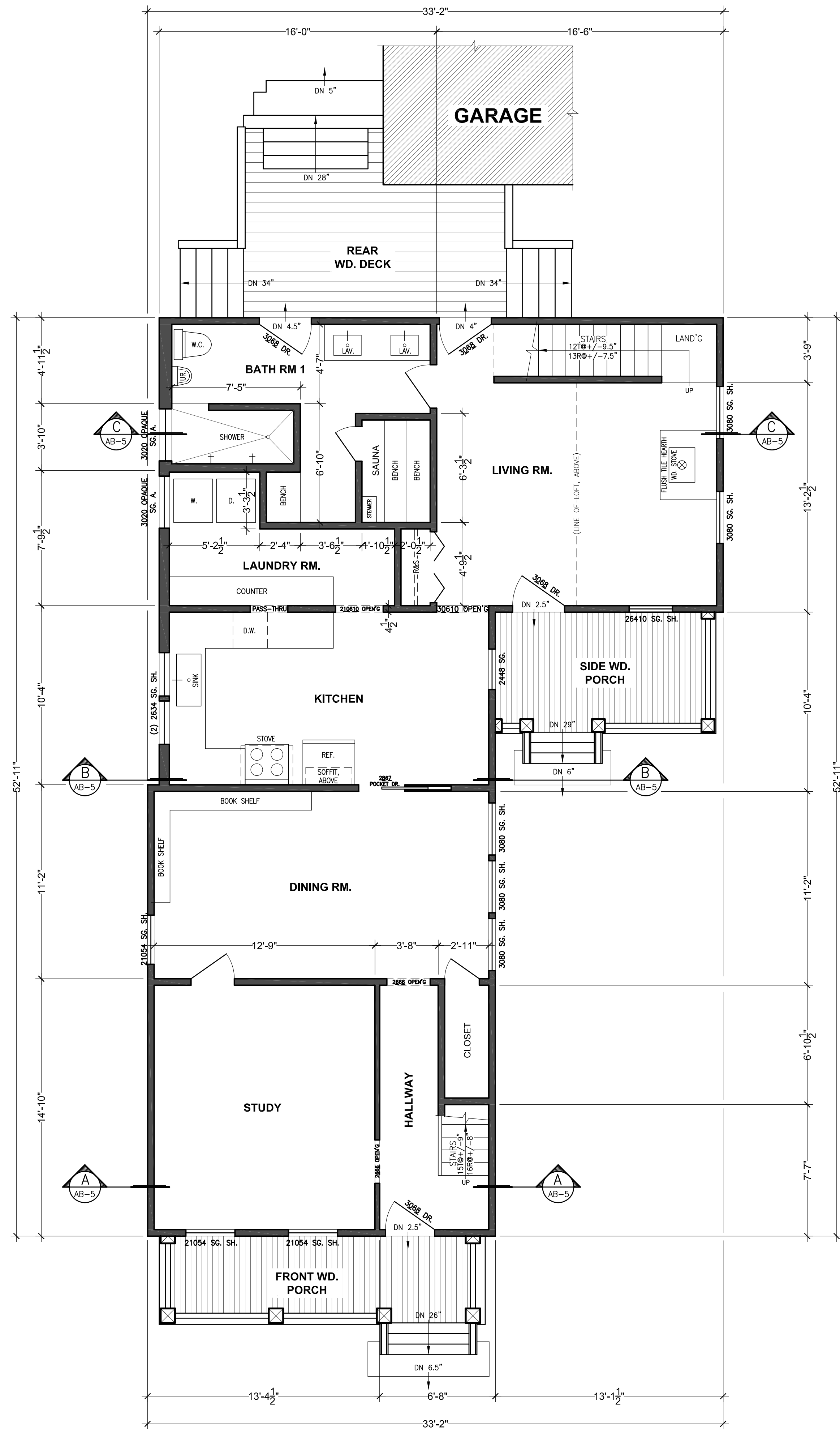
**SITE DATA**  
 WITH AREA CALCULATIONS

AS-BUILT DRAWINGS FOR THE:  
**JOHNSTON RESIDENCE**  
 523 B ST.  
 PETALUMA, CALIFORNIA 94952  
 APN 008-103-001-000

Date	08/18/21
Scale	1/8"=1'-0"
Drawn by	SRT/VGT
Project	JOHNSTON

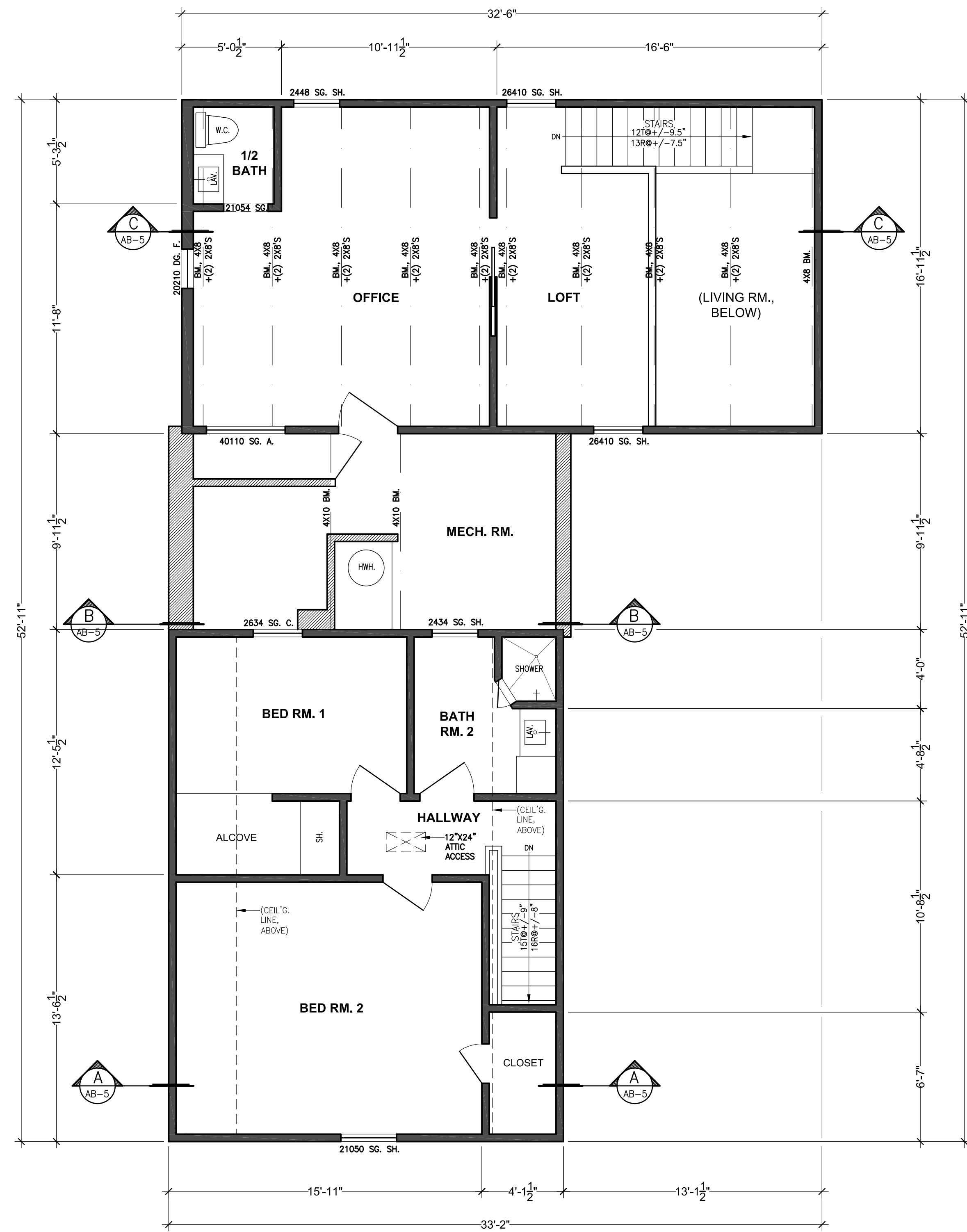
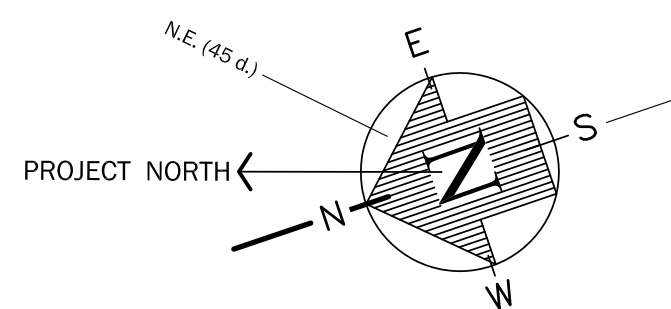
AS-BUILT PLAN  
**AB-1**  
 sheet 1 of 5

**REFERENCE - NOT FOR SUBMITTAL**  
 ADDITIONAL COPIES AVAILABLE BY REQUEST



MAIN FLOOR PLAN

SCALE : 1/4"=1'-0"



UPPER FLOOR PLAN

SCALE : 1/4"=1'-0"

REVISION	BY

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**MAIN FLOOR AND  
UPPER FLOOR PLANS**

AS-BUILT DRAWINGS FOR THE:  
**JOHNSTON RESIDENCE**  
 523 B ST.  
 PETALUMA, CALIFORNIA 94952

APN 008-103-001-000

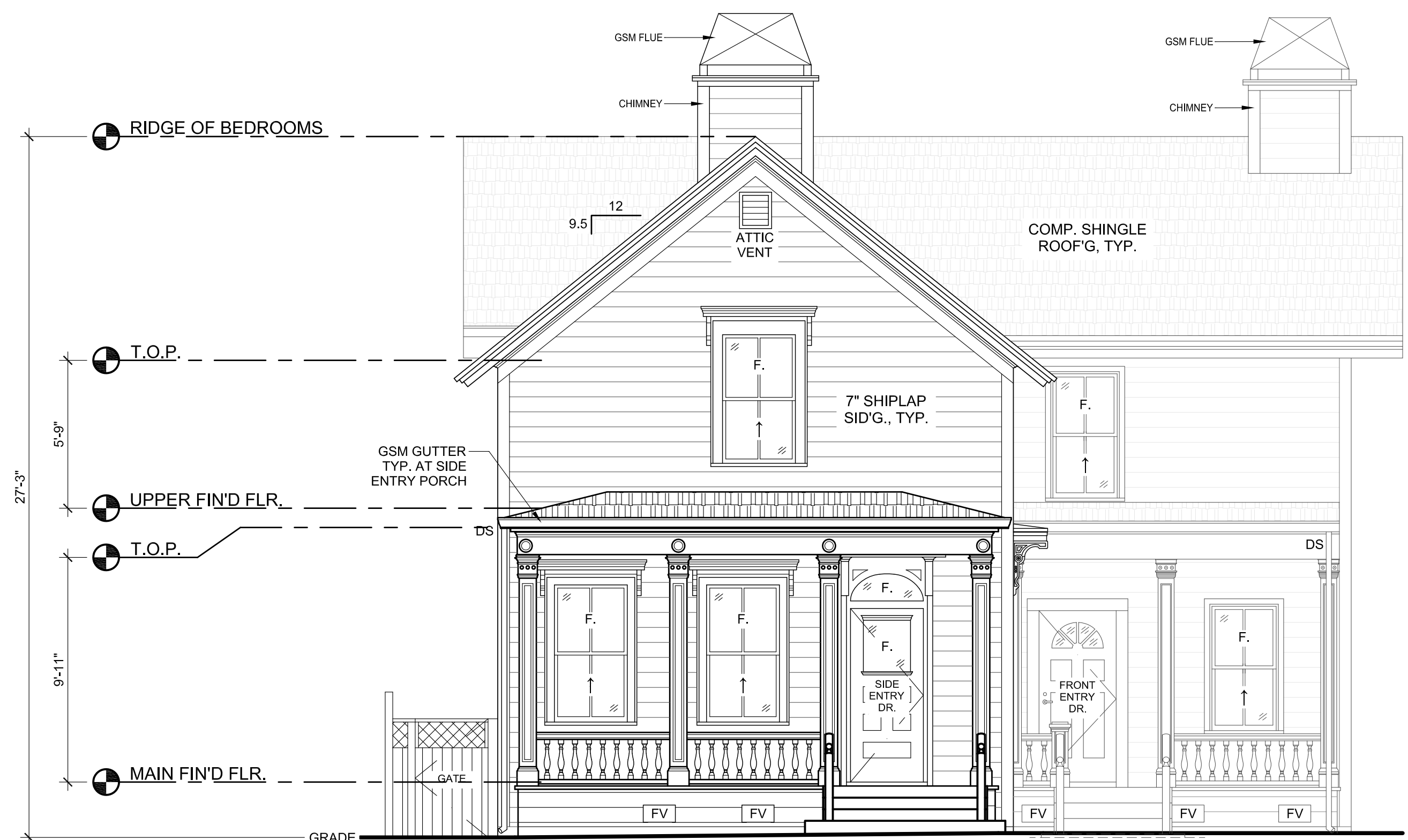
Date 08/18/21  
 Scale 1/4"=1'-0"  
 Drawn by SRT/VGT  
 Project JOHNSTON

AS-BUILT PLAN

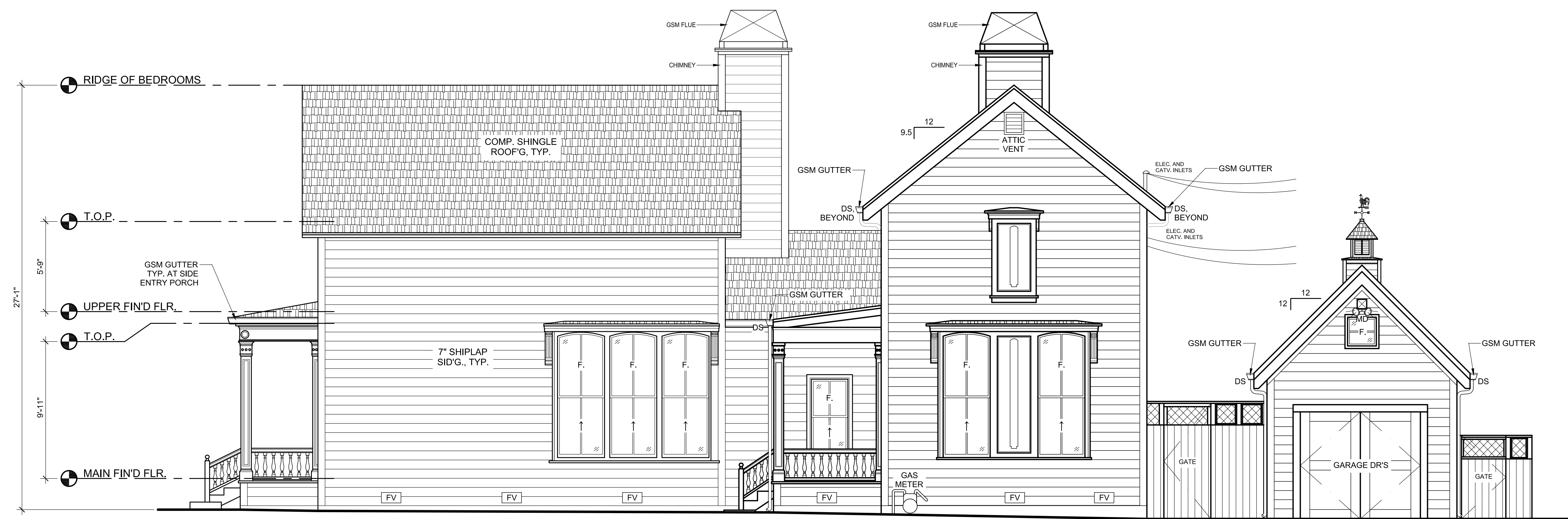
**AB-2**

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REVISION	BY



**WEST ELEVATION**  
 VIEW FROM FRONT YARD FACING 'B' STREET  
 SCALE : 1/4"=1'-0"



**SOUTH ELEVATION**  
 VIEW FROM SIDE YARD FACING 6TH STREET  
 SCALE : 1/4"=1'-0"

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**BUILDING ELEVATIONS**  
 WEST AND SOUTH

AS-BUILT DRAWINGS FOR THE:  
**JOHNSTON RESIDENCE**  
 523 B ST.  
 PETALUMA, CALIFORNIA 94952  
 APN 008-103-001-000

Date 08/18/21  
 Scale 1/4"=1'-0"  
 Drawn by SRT/VGT  
 Project JOHNSTON

AS-BUILT PLAN  
**AB-3**  
 sheet 3 of 5

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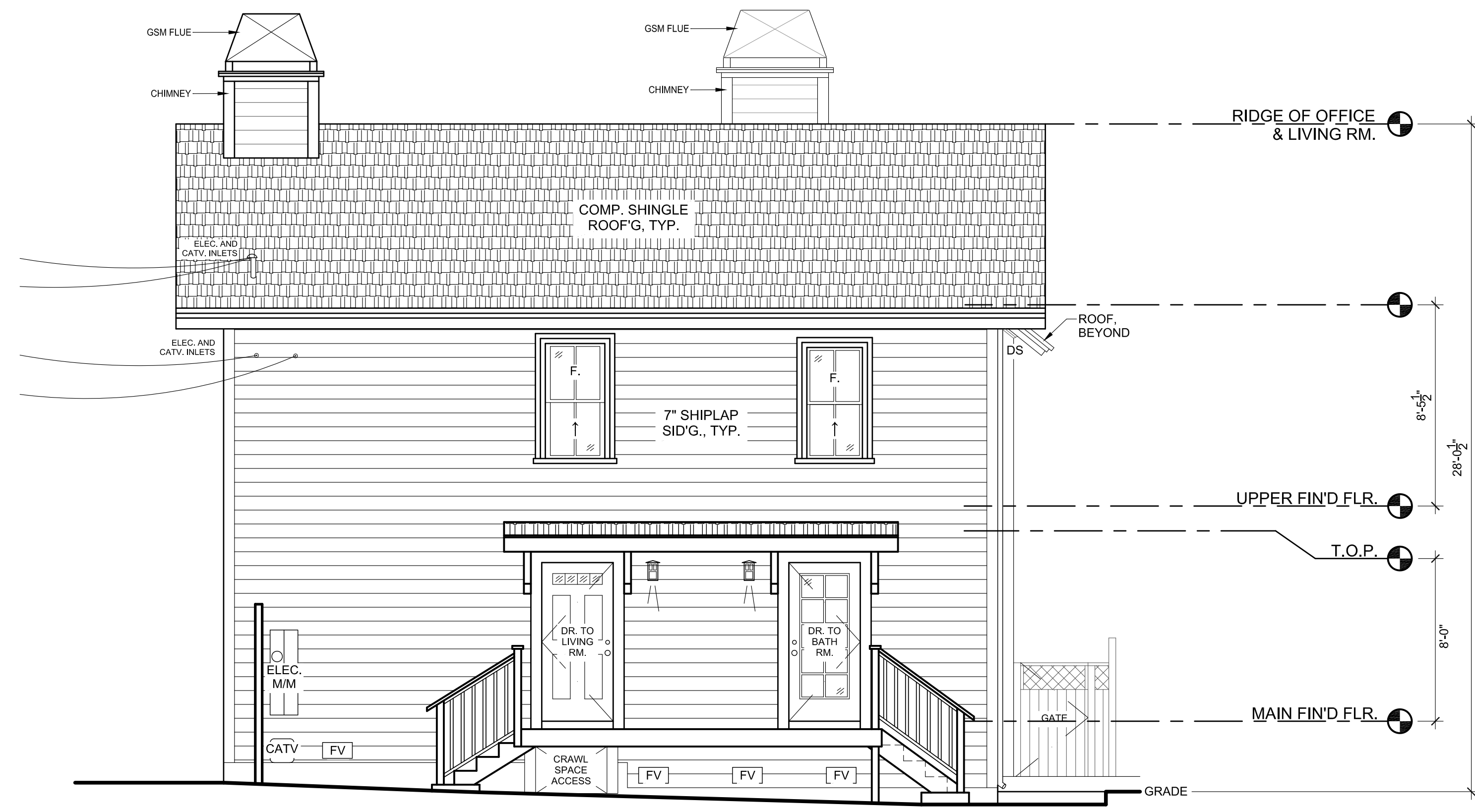
**DRAFTECH (of Marin County)**  
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**BUILDING ELEVATIONS**  
 EAST AND NORTH

AS-BUILT DRAWINGS FOR THE:  
**JOHNSTON RESIDENCE**  
 523 B ST.  
 PETALUMA, CALIFORNIA 94952  
 APN 008-103-001-000

Date 08/18/21  
 Scale 1/4"=1'-0"  
 Drawn by SRT/VGT  
 Project JOHNSTON

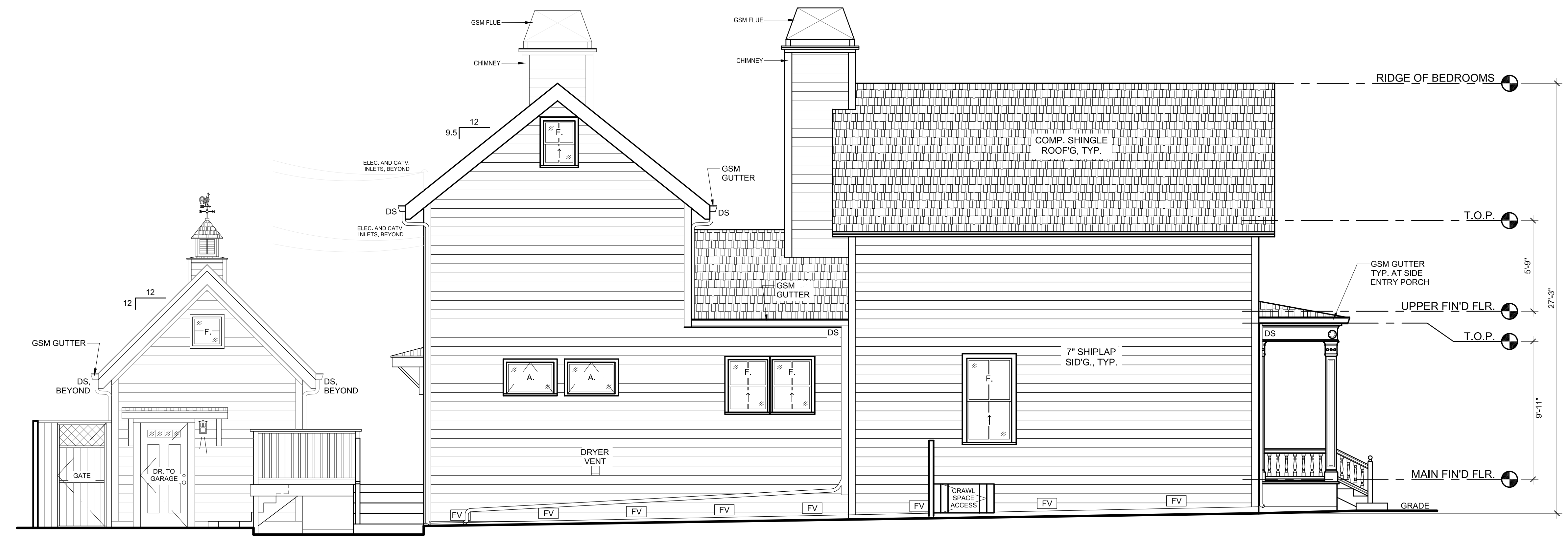
AS-BUILT PLAN  
**AB-4**  
 sheet 4 of 5



**EAST ELEVATION**

VIEW FROM REAR YARD

SCALE : 1/4"=1'-0"



**NORTH ELEVATION**

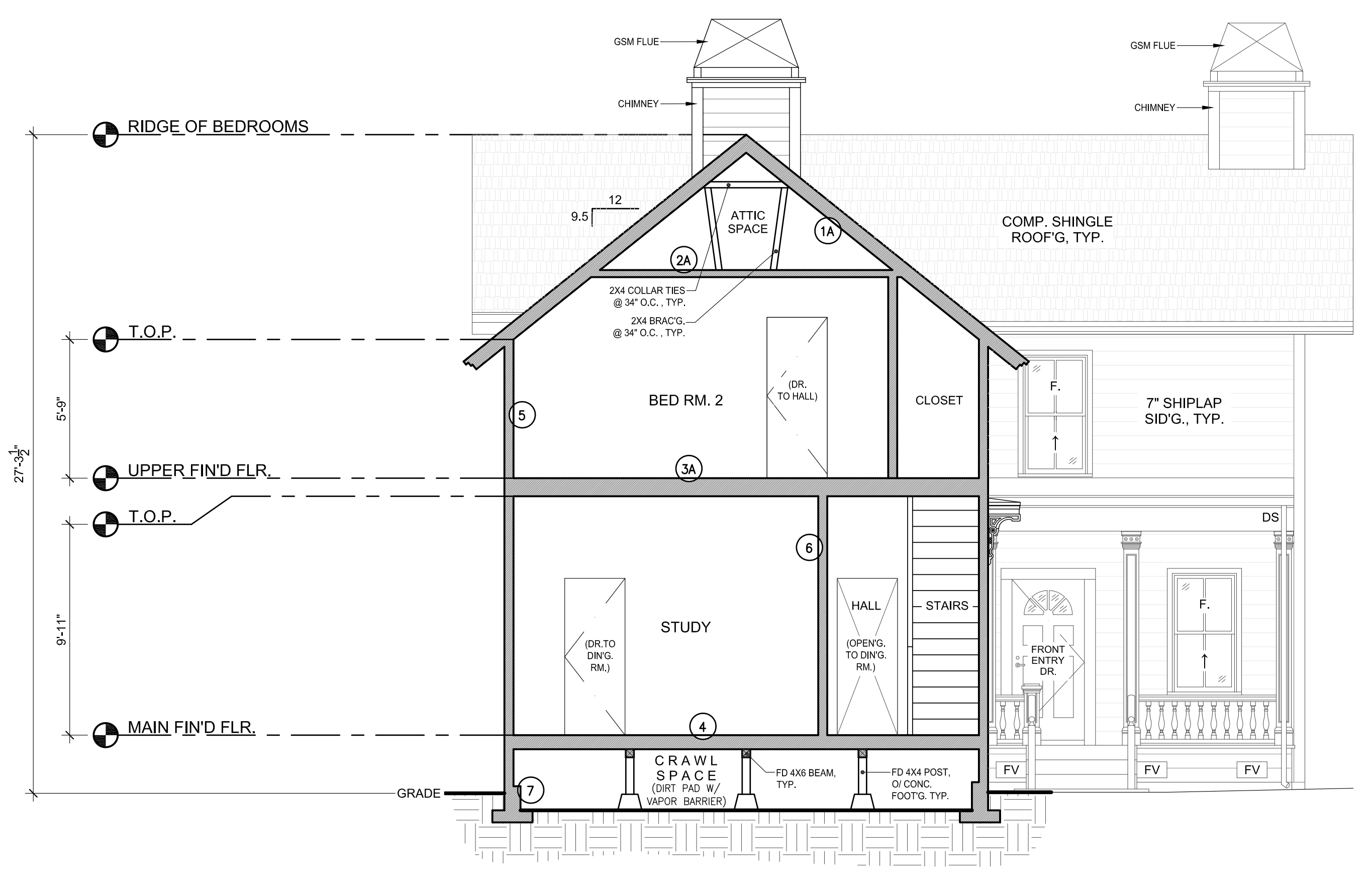
VIEW FROM INTERIOR SIDE YARD

SCALE : 1/4"=1'-0"

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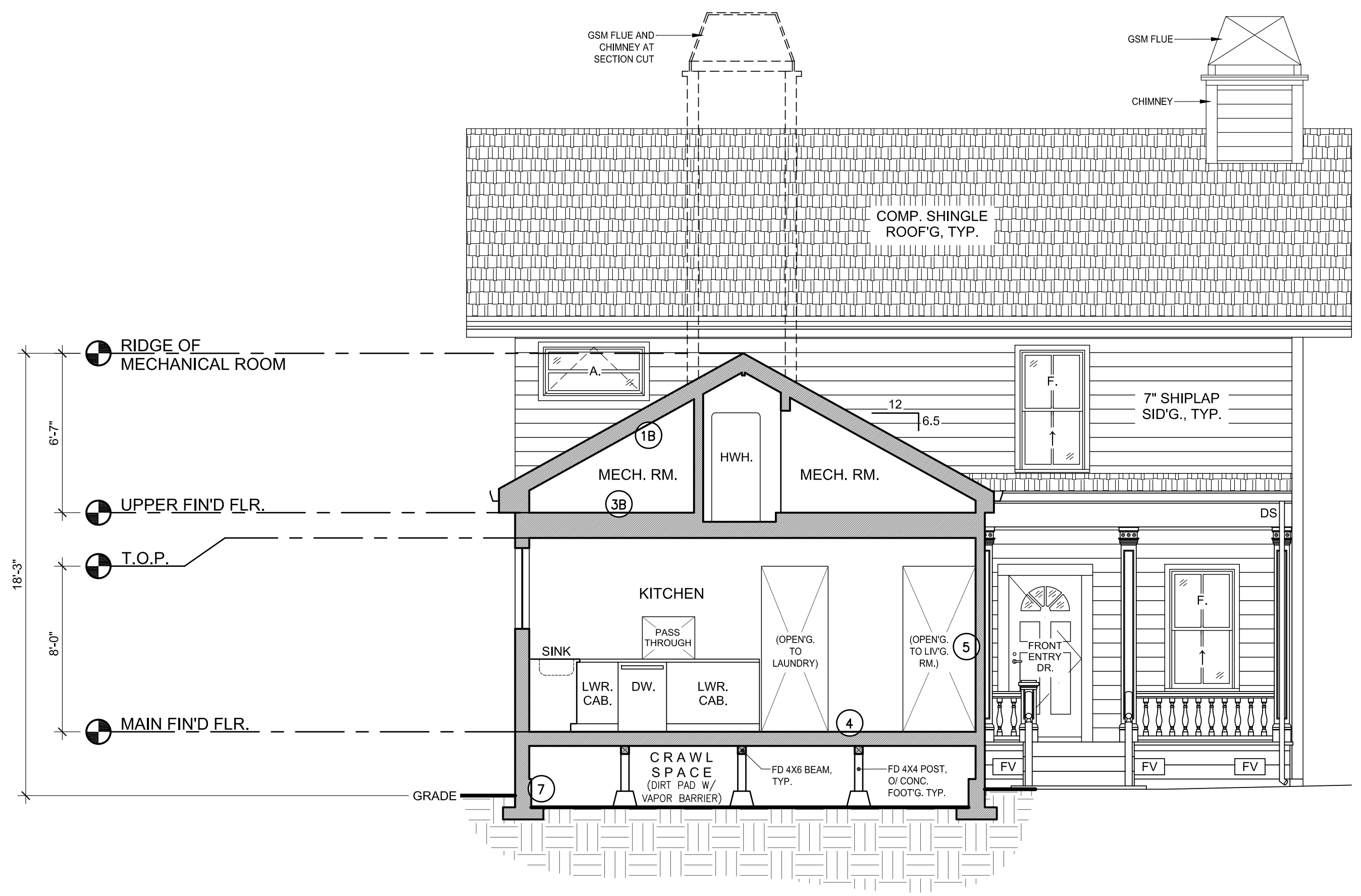


STRUCTURAL ASSEMBLY NOTES		
(1A)	ROOF FRAMING O/ BEDROOMS AND BATH (ASSUMED)	COMP. SHINGLE ROOF'G O/ BUILD'G. PAPER O/ 1X PLY O/ 1X SKIP SHEATHING O/ FULL DIMENSION 2X3 RAFTERS @ +/-32" O.C.
(1B)	ROOF FRAMING O/ MECHANICAL ROOM (VAULTED CEILING), (ASSUMED)	COMP. SHINGLE ROOF'G O/ BUILD'G. PAPER O/ 1X PLY O/ 2X8 RAFTERS @ +/-16" O.C. O/ 1X PLY AT INTERIOR. (INSULATION UNKNOWN)
(1C)	ROOF FRAMING O/ OFFICE, LOFT AND LIVING ROOM (VAULTED CEILING AT OFFICE ONLY), (ASSUMED)	COMP. SHINGLE ROOF'G O/ BUILD'G. PAPER O/ 1X PLY O/ 1X SKIP SHEATHING O/ FULL DIMENSION 2X3 RAFTERS @ +/-32" O.C. W/ 3/4" LATHE AND PLASTER O/ 1/2" GYP. BD. AT INTERIOR, (ASSUMED)
(2A)	CEILING FRAMING O/ BEDROOMS AND BATH (ASSUMED)	FULL DIMENSION 2X3 JOISTS @ +/-20" O.C. W/ 3/4" LATHE AND PLASTER O/ 1/2" GYP. BD. AT INTERIOR, (ASSUMED, INSULATION UNKNOWN)
(2B)	CEILING FRAMING O/ LOFT AND LIVING ROOM (ASSUMED)	2X8 JOISTS @ +/-16" O.C. W/ 3/4" LATHE AND PLASTER O/ 1/2" GYP. BD. AT INTERIOR, (ASSUMED, INSULATION UNKNOWN)
(3A)	UPPER FLOOR FRAMING AT BEDROOMS AND BATH (ASSUMED)	FLOOR FINISH O/ 1X SUBFLOOR O/ 2X8 JOISTS @ +/-20" O.C. W/ 3/4" LATHE AND PLASTER FINISH AT CEIL'G. BELOW, (ASSUMED)
(3B)	UPPER FLOOR FRAMING AT MECHANICAL ROOM (ASSUMED)	FLOOR FINISH O/ 1X SUBFLOOR O/ 2X12 JOISTS @ +/-16" O.C. W/ 3/4" LATHE AND PLASTER O/ 1/2" GYP. BD. FINISH AT CEIL'G. BELOW, (ASSUMED)
(4)	MAIN FLOOR FRAMING, (ASSUMED)	FLOOR FINISH O/ 1X SUBFLOOR O/ FULL DIMENSION 2X6 JOISTS @ +/-24" O.C., (ASSUMED, INSULATION UNKNOWN)
(5)	EXTERIOR WALLS (ASSUMED)	7" HORIZ. SHIPLAP SID'G. O/ BUILD'G. PAPER O/ FULL DIMENSION 2X3 STUDS @ +/-20" O.C. W/ 3/4" LATHE AND PLASTER O/ 5/8" GYP. BD. AT INTERIOR, (INSULATION UNKNOWN)
(6)	INTERIOR WALLS (ASSUMED)	FULL DIMENSION 2X3 STUDS @ +/-20" O.C. W/ 3/4" LATHE AND PLASTER O/ 5/8" GYP. BD.
(7)	PERIMETER FOUNDATION WALLS (ASSUMED)	8" WIDE CONC. FOUNDATION WALL SUPPORTING 2X6 P.T. MUD SILL W/ 1/2" Ø ANCHOR BOLTS, SPACING UNKNOWN (PROFILE BELOW GRADE UNKNOWN)

FOUNDATION NOTES: INTERIOR POST AND PIER LAYOUT IS APPROXIMATE FOR SECTIONS 'A' AND 'B'. INTERIOR POST AND PIER LAYOUT IS ASSUMED FOR SECTION 'C' SINCE NO EASY ACCESS TO THIS AREA.

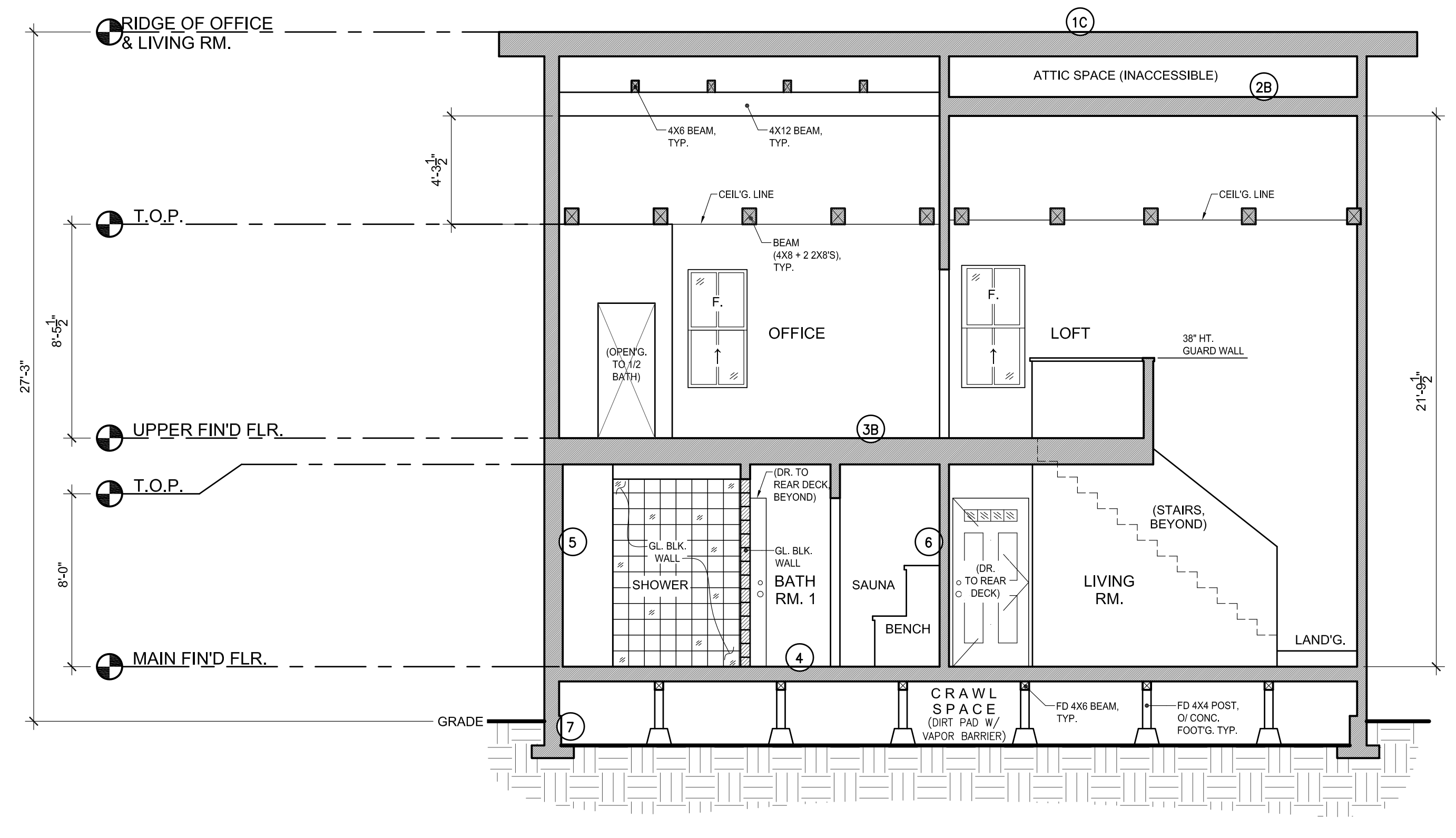
SECTION 'A'

SCALE : 1/4"=1'-0"



SECTION 'B'

SCALE : 1/4"=1'-0"



SECTION 'C'

SCALE : 1/4"=1'-0"

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BUILDING SECTIONS AND  
STRUCTURAL ASSEMBLY NOTES

AS-BUILT DRAWINGS FOR THE:  
**JOHNSTON RESIDENCE**  
523 B ST.  
PETALUMA, CALIFORNIA 94952

Date 08/18/21  
Scale 1/4"=1'-0"  
Drawn by SRT/VGT  
Project JOHNSTON

AS-BUILT PLAN  
**AB-5**  
sheet 5 of 5

REFERENCE - NOT FOR SUBMITTAL  
ADDITIONAL COPIES AVAILABLE BY REQUEST

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