

REVISIONS:	BY:

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AS SUBMITTED FOR:  
 SITE PLAN &  
 ARCHITECTURAL REVIEW  
 PRINT DATE:  
 JULY 26, 2022

A PROPOSED  
 NEW BUILDING FOR:




**labcon**  
 NORTH AMERICA

FISHER DRIVE  
 PETALUMA, CA 94954

APN: 005-028-XXX

NEIGHBORHOOD  
 CONTEXT MAP



LICENSED ARCHITECT  
 GREG LEDOUX  
 NO. 011434  
 STATE OF CALIFORNIA  
 EXPIRES 12-31-23

**GREG  
 LEDOUX**  
 and  
 ASSOCIATES,  
 INC.

48 W. SIERRA AVE.  
 COTATI, CA  
 (707) 795-8855

DRAWN BY:  
 SH

DATE:  
 JULY 26, 2022

JOB NO.  
 21.0202

SCALE:  
 1/8" = 100'-0"

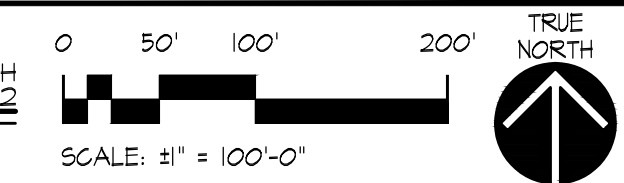
OF 3 SHEETS

**RZ-1**

**REZONING NEIGHBORHOOD CONTEXT PLAN**

SCALE: 1/8" = 100'-0"

AERIAL IMAGE PROVIDED BY: GOOGLE EARTH  
 DOWNLOAD DATE: JUNE 4, 2022



**DOCUMENT REFERENCES**

- R1 PARCEL MAP NO. 23, RECORDED IN BOOK 177 OF MAPS, AT PAGE 45, SCR.
- R2 LAKEVILLE BUSINESS PARK, RECORDED IN BOOK 368 OF MAPS, AT PAGES SCR.

**EXISTING EASEMENT DESIGNATIONS**

- EX1 10' WIDE PRIVATE STORM DRAIN EASEMENT, FBO LOTS 5, 6 & 7, PER 368 MAPS 9-12, SCR.
- EX2 25' BUILDING SETBACK LINE, PER 368 MAPS 9-12, SCR.
- EX3 10' PUBLIC UTILITY EASEMENT PER 368 MAPS 9-12, SCR.
- EX4 10' PACIFIC BELL EASEMENT AND BLANKET EASEMENT FOR UTILITY PURPOSES OVER FISHER DRIVE AND CADER LANE, PER DN 85-079429, SCR.
- EX5 10' WIDE WATER MAIN EASEMENT, PER 368 MAPS 9-12, SCR.
- EX6 1' WIDE NO ACCESS EASEMENT, PER 368 MAPS 9-12, SCR.
- EX7 PUBLIC ACCESS AND SIDEWALK EASEMENT, PER DN 2007-054189, SCR.
- EX8 63' WIDE PARKING EASEMENT, PER DN 2012-018786, SCR.
- EX9 8' WIDE SLOPE EASEMENT, PER 2002-110366, SCR.

**PARCEL DEDICATIONS**

- EX10 15' DEDICATION TO CITY OF PETALUMA FOR ADOBE CREEK RESTORATION PROJECT, PER DN 96-064575, SCR.
- EX11 PORTION OF PARCEL 1 DEDICATED TO THE CITY OF PETALUMA BY GRANT DEED, PER DN 84-031396, SCR.

**TREE INVENTORY**

TREE #	SPECIES	TRUNK DIAMETER (IN.)	TREE #	SPECIES	TRUNK DIAMETER (IN.)
1	APPLE/MALUS SP. MULTIPLE	< 3"	47	CHINESE PISTACHE/PISTACIA CHINENSIS	1-1/2"
2	COAST REDWOOD/SEQUOIA SEMPERVIRENS	12,15"	48	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
3	COAST REDWOOD/SEQUOIA SEMPERVIRENS	17"	49	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
*4	COAST REDWOOD/SEQUOIA SEMPERVIRENS	22"	50	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
*5	COAST REDWOOD/SEQUOIA SEMPERVIRENS	24"	51	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
*6	COAST REDWOOD/SEQUOIA SEMPERVIRENS	26"	52	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
7	COAST REDWOOD/SEQUOIA SEMPERVIRENS	17"	53	LAUREL/PRUNUS LYONII	2,3"
*8	COAST REDWOOD/SEQUOIA SEMPERVIRENS	20"	54	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
9	WILLOW/SALIX SP.	14,17"	55	CHINESE PISTACHE/PISTACIA CHINENSIS	1-1/2"
*10	COAST REDWOOD/SEQUOIA SEMPERVIRENS	21"	56	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
*11	COAST REDWOOD/SEQUOIA SEMPERVIRENS	23"	57	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
12	COAST REDWOOD/SEQUOIA SEMPERVIRENS	17"	58	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
13	COAST REDWOOD/SEQUOIA SEMPERVIRENS	3,5,7,8"	59	CHINESE PISTACHE/PISTACIA CHINENSIS	1"
*14	COAST REDWOOD/SEQUOIA SEMPERVIRENS	22"	60	HOLLY OAK/QUERCUS ILEX	22"
15	COAST REDWOOD/SEQUOIA SEMPERVIRENS	13"	61	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*16	COAST REDWOOD/SEQUOIA SEMPERVIRENS	21"	62	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*17	COAST REDWOOD/SEQUOIA SEMPERVIRENS	24"	63	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*18	COAST REDWOOD/SEQUOIA SEMPERVIRENS	20"	64	CANARY ISLAND PINE/PINUS CANARIENSIS	1-1/2"
*19	COAST REDWOOD/SEQUOIA SEMPERVIRENS	23"	65	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*20	COAST REDWOOD/SEQUOIA SEMPERVIRENS	22"	66	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*21	COAST REDWOOD/SEQUOIA SEMPERVIRENS	22"	67	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*22	COAST REDWOOD/SEQUOIA SEMPERVIRENS	12,23"	68	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*23	COAST REDWOOD/SEQUOIA SEMPERVIRENS	22"	69	CANARY ISLAND PINE/PINUS CANARIENSIS	1,1,1"
*24	COAST REDWOOD/SEQUOIA SEMPERVIRENS	20"	70	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
25	COAST REDWOOD/SEQUOIA SEMPERVIRENS	14"	71	CANARY ISLAND PINE/PINUS CANARIENSIS	2"
*26	COAST LIVE OAK/QUERCUS AGRIFOLIA	6"	72	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*27	COAST REDWOOD/SEQUOIA SEMPERVIRENS	19"	73	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*28	COAST LIVE OAK/QUERCUS AGRIFOLIA	7"	74	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*29	COAST REDWOOD/SEQUOIA SEMPERVIRENS	19"	75	CANARY ISLAND PINE/PINUS CANARIENSIS	2"
30	STRAWBERRY TREE/ARBUTUS UNEDO	5,6"	76	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
31	BOX ELDER/ACER NEGUNDO	8,9"	77	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
32	COAST REDWOOD/SEQUOIA SEMPERVIRENS	16"	78	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
33	COAST REDWOOD/SEQUOIA SEMPERVIRENS	16"	79	CANARY ISLAND PINE/PINUS CANARIENSIS	4"
34	OREGON ASH/FRAXINUS LATIFOLIA	6"	80	CANARY ISLAND PINE/PINUS CANARIENSIS	2"
*35	COAST LIVE OAK/QUERCUS AGRIFOLIA	13"	81	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*36	COAST REDWOOD/SEQUOIA SEMPERVIRENS	13"	82	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
37	COAST REDWOOD/SEQUOIA SEMPERVIRENS	13"	83	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
38	COAST REDWOOD/SEQUOIA SEMPERVIRENS	13"	84	CANARY ISLAND PINE/PINUS CANARIENSIS	1"
*39	COAST LIVE OAK/QUERCUS AGRIFOLIA	8,10"	85	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
40	COAST REDWOOD/SEQUOIA SEMPERVIRENS	12"	86	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
41	COAST REDWOOD/SEQUOIA SEMPERVIRENS	15"	87	CANARY ISLAND PINE/PINUS CANARIENSIS	4"
*42	COAST LIVE OAK/QUERCUS AGRIFOLIA	3" @ 3', 12"	88	CANARY ISLAND PINE/PINUS CANARIENSIS	4"
*43	COAST LIVE OAK/QUERCUS AGRIFOLIA	5,6,7"	89	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
*44	COAST REDWOOD/SEQUOIA SEMPERVIRENS	21"	90	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
45	OREGON ASH/FRAXINUS LATIFOLIA	7"	91	CANARY ISLAND PINE/PINUS CANARIENSIS	3"
46	LAUREL/PRUNUS LYONII MULTIPLE	< 3"			

NOTE:  
 \* DENOTES TREES THAT ARE PROTECTED PER CITY OF PETALUMA IMPLEMENTING ZONING ORDINANCE (ZO).  
 TREE INFORMATION SHOWN HEREON PER TREE INVENTORY & EVALUATION REPORT PREPARED BY BECKY DUCKLES, DATED MAY 24, 2022.

**NOTES**

- TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. IN MARCH, 2022.
- VERTICAL DATUM: NAVD88, US SURVEY FEET.
- HORIZONTAL DATUM: LAKEVILLE BUSINESS PARK, FILED IN BOOK 368 OF MAPS, AT PAGES 9-12, SONOMA COUNTY RECORDS.
- UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM IMPROVEMENT PLANS FOR LAKEVILLE BUSINESS PARK, PREPARED BY MACKAY & SOMPS CIVIL ENGINEERS, DATED MARCH 13, 1984, AND IMPROVEMENT PLANS FOR CADER LANE AND LAKEVILLE HIGHWAY, PREPARED BY BAECHEL HUDIS, DATED OCTOBER 30, 2017. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARK THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POT-HOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
- TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- TITLE REPORTS ORDER NUMBERS 081202249-JJ (CADER LANE PARCEL) DATED APRIL 4, 2022 AND 0812022500-JJ (FISHER DRIVE PARCELS) DATED APRIL 8, 2022, BOTH PREPARED BY OLD REPUBLIC TITLE COMPANY WERE REVIEWED IN CONJUNCTION WITH THIS MAPPING.
- ROCK OUTCROPPINGS ARE SHOWN WHERE VISIBLE. ROCKS MAY EXIST UNDER THE SURFACE THAT ARE NOT VISIBLE AND ARE THIS NOT SHOWN ON THIS MAP.
- THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF STEVEN J. LAFRANCHI & ASSOCIATES, INC. STEVEN J. LAFRANCHI AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
- INFORMATION SHOWN ON THE NORTHERLY PORTION OF 3200 LAKEVILLE IS BASED ON RECORD DATA.

**FEMA FLOOD DESIGNATION**

PROPERTY IS LOCATED ENTIRELY WITHIN FEMA FLOOD HAZARD AREA ZONE X (NO SCREEN--AREAS OF MINIMAL FLOOD HAZARD) AND IS ADJACENT TO FEMA SPECIAL FLOOD HAZARD ZONE AE (AREA WITH BASE FLOOD ELEVATION) AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 06097C1001G, WITH A MAP REVISION DATE OF OCTOBER 2, 2015.

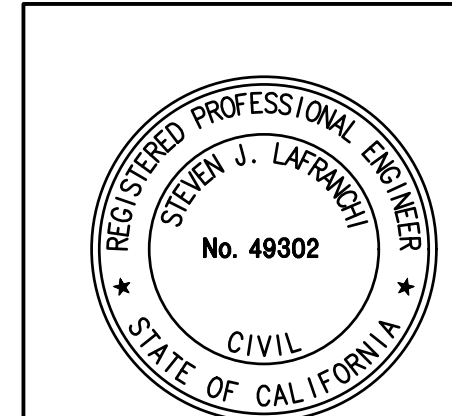
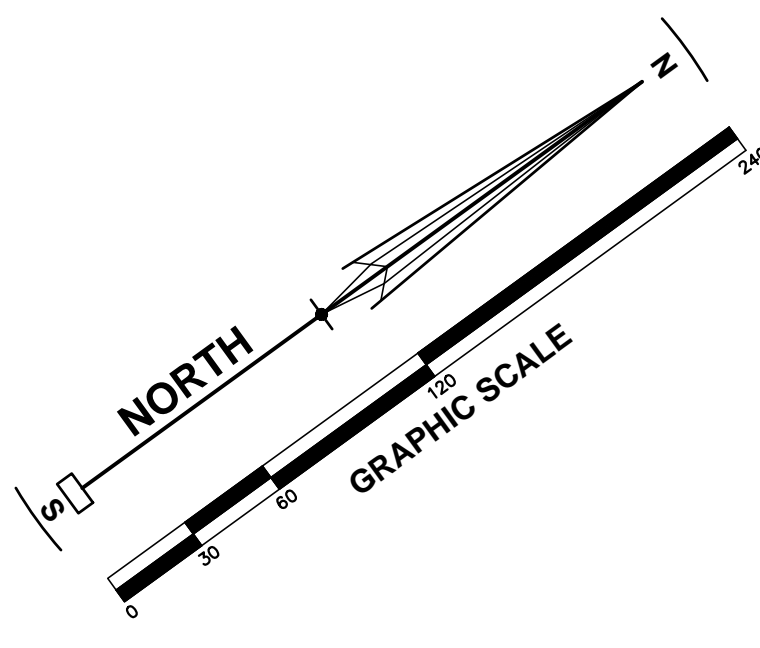
- BFE 20.0' --- BASE FLOOD ELEVATION (BFE)
- FEMA SPECIAL FLOOD HAZARD ZONE AE.

50' DEVELOPMENT SETBACK LINE FROM TOP OF BANK AS MEASURED PER THIS SURVEY, MARCH 2022. PER GP POLICY 4-P-1 D.

RIPIARIAN FOREST DRIP LINE PER BIOLOGICAL RESOURCES REPORT PREPARED BY HUFFMAN-BROADWAY GROUP, INC., MAY 2022.

**LEGEND**

- TREE
- WATER VALVE
- ⊕ WATER METER
- ⊞ COMMUNICATIONS VAULT
- ⊞ CABLE TELEVISION VAULT
- ⊞ ELECTRIC SERVICE VAULT
- ⊞ STREET LIGHT SERVICE VAULT
- ⊞ FIRE DEPARTMENT CONNECTION
- ⊞ FIRE HYDRANT
- ⊞ DROP INLET
- ⊞ CATCH BASIN
- ⊞ STORM DRAIN MANHOLE
- ⊞ SANITARY SEWER CLEANOUT
- ⊞ SANITARY SEWER MANHOLE
- ⊞ STREET LIGHT
- ⊞ BORING SAMPLE LOCATIONS
- CENTER LINE
- BOUNDARY LINE
- LOT LINES
- HISTORIC PARCEL LINES. SEE PARCEL DEDICATION KEYNOTES.
- EXISTING EASEMENT. SEE EXISTING EASEMENT KEYNOTES.
- EXISTING BUILDING
- STORM DRAIN
- TOP OF BANK/SLOPE
- TOE OF SLOPE
- GRADE BREAK
- COMMUNICATIONS
- JOINT TRENCH
- CABLE TELEVISION
- WATER SERVICE
- 12" WATER SERVICE
- 16" WATER SERVICE
- SANITARY SEWER SERVICE
- 8" SANITARY SEWER SERVICE
- 12" HIGH PRESSURE GAS LINE
- ELECTRIC SERVICE
- EXISTING CURB AND GUTTER
- DRIPLINE, APPROXIMATE
- CONCRETE



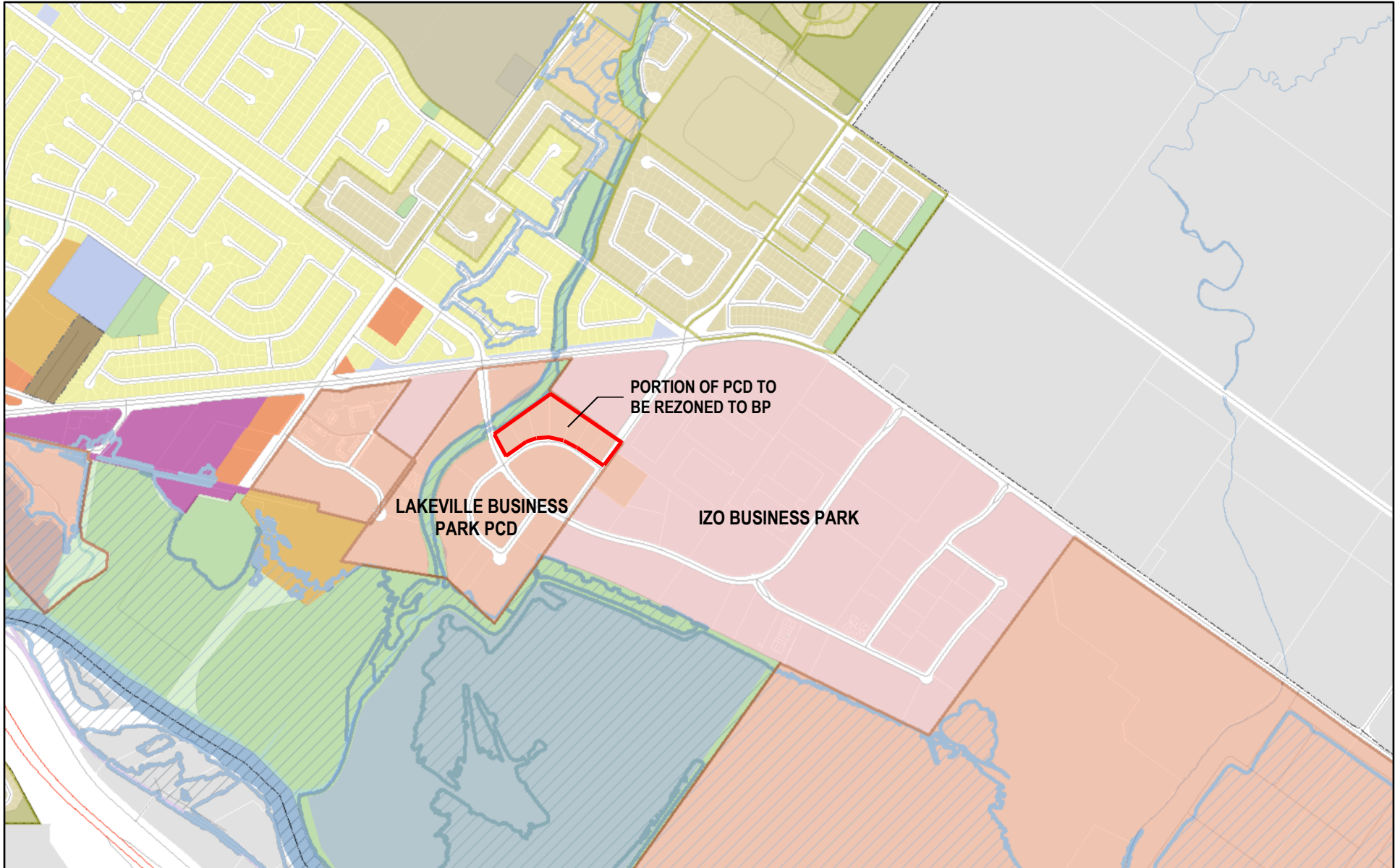
REVISIONS	BY

**EXISTING CONDITIONS EXHIBIT**  
 LABCON NORTH AMERICA  
 FISHER DRIVE APNS 005-280-006, -007, -042, -043, -044, -045 & 3200 LAKEVILLE HWY APN 005-040-039  
 PETALUMA CALIFORNIA

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS  
 LAND PLANNERS - LANDSCAPE ARCHITECTS  
 PETALUMA THEATRE SQUARE  
 140 SECOND STREET, SUITE 512  
 PETALUMA, CALIFORNIA 94952  
 (707) 762-3122 FAX (707) 762-3239

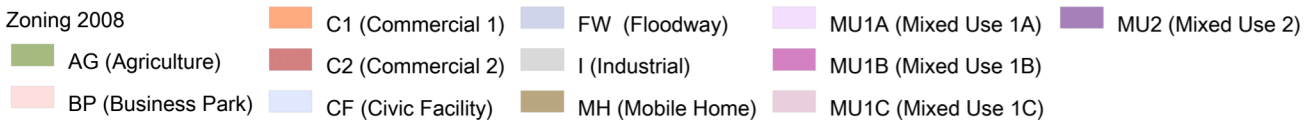
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 CHECK: S.J.L  
 JOB: LABCON2022  
 JOB No: 222290  
 SHEET  
**RZ-2**  
 OF 3 SHEETS

# PROPOSED CITY GIS REZONING EXHIBIT

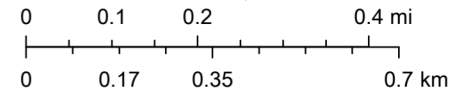


July 28, 2022

Zoning 2008



1:18,056



County of Marin, County of Napa, Sonoma County, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc., NGA, USGS