



**WARE MALCOLM**  
 Leading Design for Commercial Real Estate

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 civil engineering  
 10 edleman  
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 F 949.853.1581

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 5002 PETALUMA BLVD.  
 PETALUMA CALIFORNIA

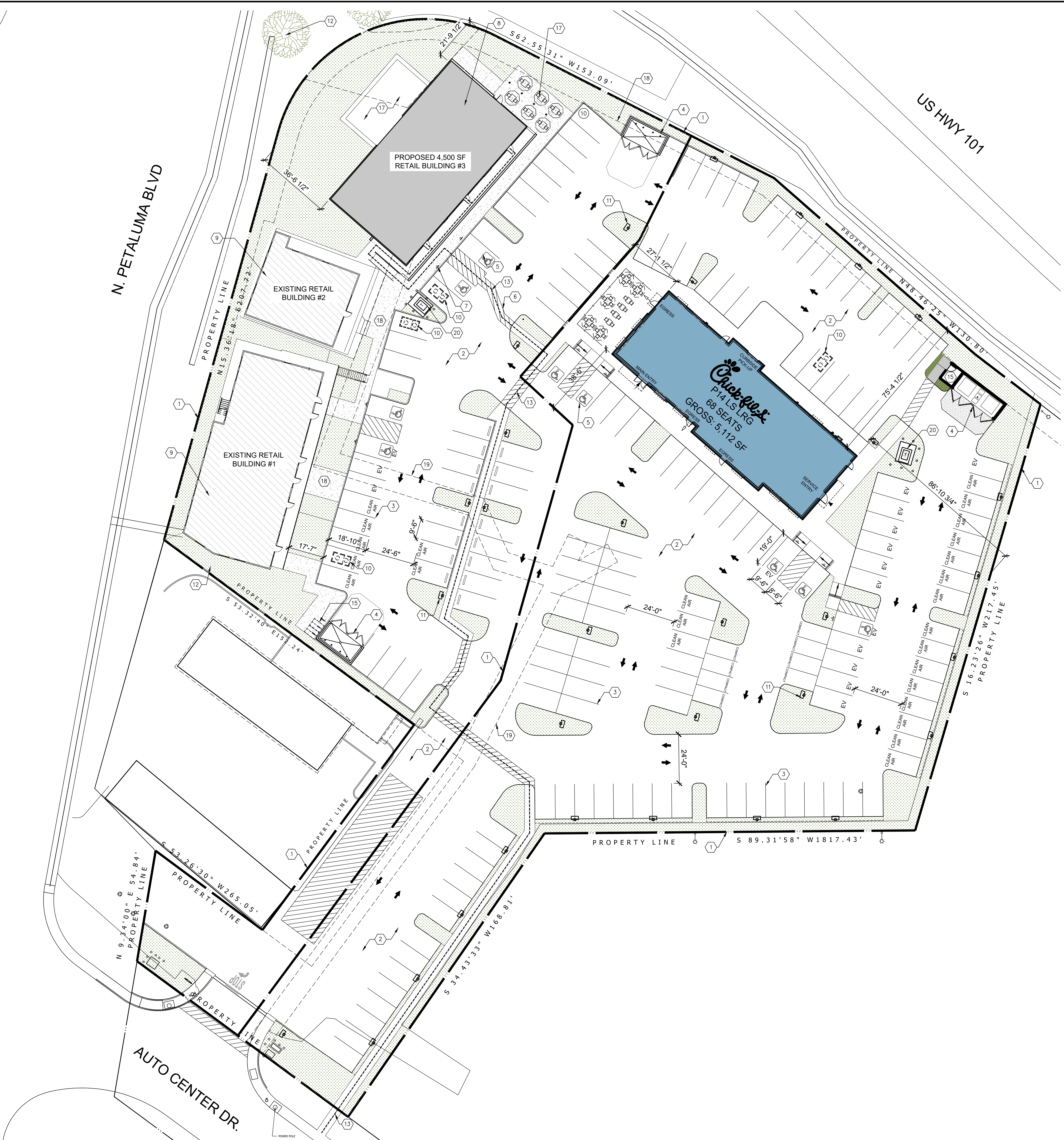
DATE	REMARKS	DATE	REMARKS
10/07/2022	SFAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.F.
JOB NO.:	LAX22-0095-00

SHEET  
**A1.0**

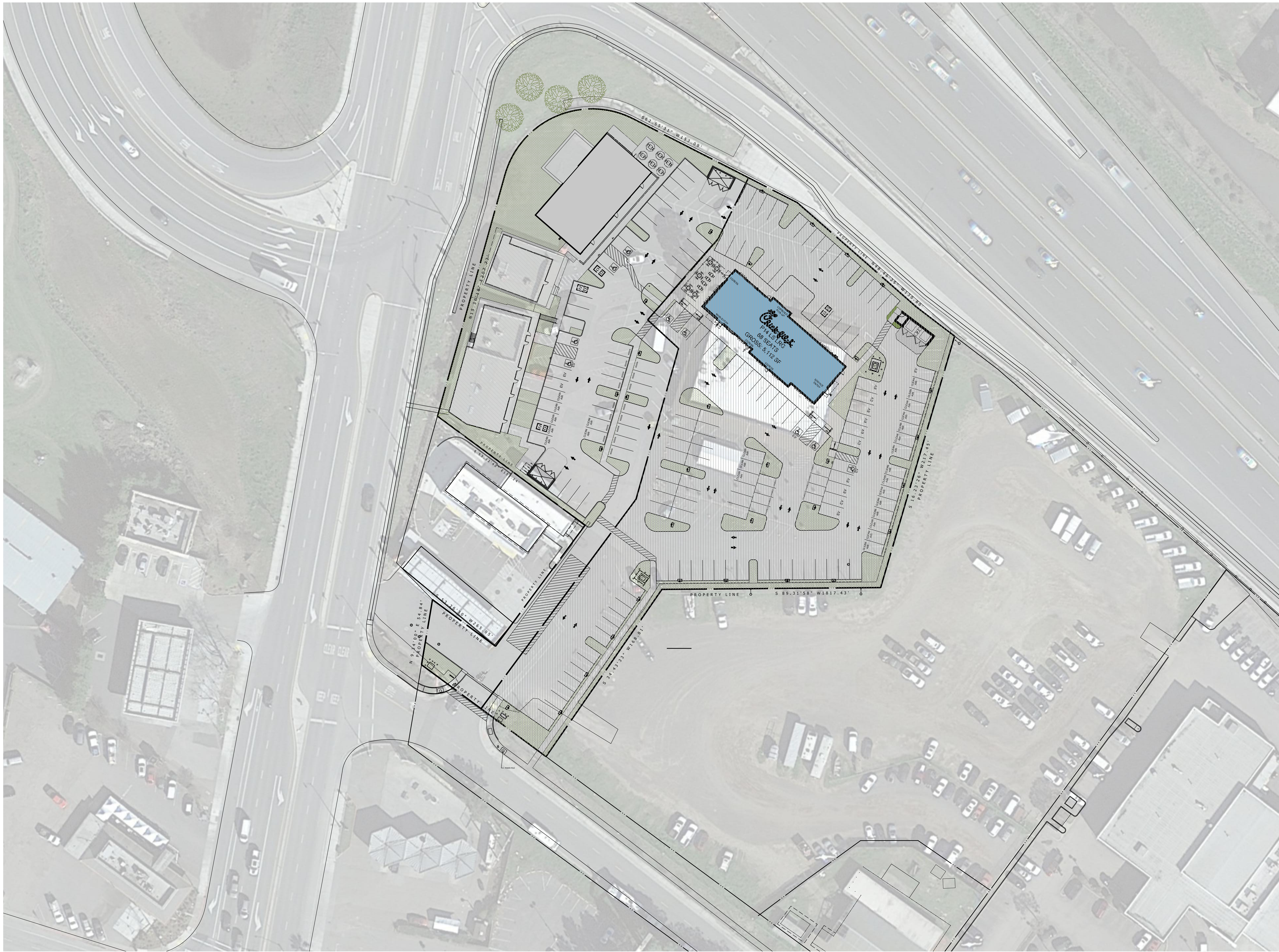
SITE PLAN KEYNOTES	
1	PROPERTY LINE.
2	PROPOSED ASPHALT PAVING UPGRADE THROUGHOUT SITE.
3	PROPOSED STANDARD PARKING STALLS.
4	PROPOSED TRASH ENCLOSURE.
5	PROPOSED ACCESSIBLE PARKING STALL.
6	PROPOSED ACCESSIBLE ACCESS AISLE.
7	PROPOSED ACCESSIBLE PARKING SIGNAGE.
8	PROPOSED BUILDING.
9	EXISTING BUILDING TO BE PAINTED TO MATCH NEW BUILDING SCHEME. REFER TO ELEVATIONS.
10	PROPOSED GREASE INTERCEPTOR.
11	PROPOSED SITE LIGHTING.
12	PROPOSED LANDSCAPE. REFER TO LANDSCAPE DRAWINGS.
13	ACCESSIBLE PATH OF TRAVEL TO PUBLIC ROW.
14	PROPOSED TRANSFORMER.
15	PROPOSED LONG-TERM BIKE RACK.
16	PROPOSED SHORT-TERM BIKE RACK.
17	PROPOSED PATIO SEATING.
18	PROPOSED CONCRETE SIDEWALK AND LANDSCAPE.
19	EXISTING POEAE EASEMENT.
20	PROPOSED TRANSFORMER. REFER TO CIVIL.

PROJECT DATA: PARCEL A		PROJECT DATA: PARCEL B	
<b>TOTAL SITE AREA:</b>	3.09 AC 134,514 SF	<b>TOTAL SITE AREA:</b>	3.09 AC 134,514 SF
<b>GROSS SITE AREA:</b>	1.36 AC 59,452 SF	<b>GROSS SITE AREA:</b>	1.73 AC 75,202 SF
<b>BUILDING FOOTPRINT:</b>		<b>BUILDING FOOTPRINT:</b>	
EXISTING BUILDING 1	5,400 SF	CHICK-FIL-A BUILDING	5,112 SF
EXISTING BUILDING 2	1,800 SF		
PROPOSED BUILDING-3	4,500 SF		
<b>BUILDING USE:</b>		<b>BUILDING USE:</b>	
RETAIL/ RESTAURANT		RETAIL/ RESTAURANT	
<b>TOTAL F.A.R.:</b>	20%	<b>TOTAL F.A.R.:</b>	07%
<b>PARKING REQUIRED:</b>		<b>PARKING REQUIRED:</b>	
RETAIL:	18 STALLS	RESTAURANT:	130 STALLS
RESTAURANT:	32 STALLS	TOTAL:	130 STALLS
TOTAL:	50 STALLS		
<b>ACCESSIBLE PARKING REQUIRED:</b>	2 STALLS	<b>ACCESSIBLE PARKING REQUIRED:</b>	6 STALLS
<b>PROVIDED:</b>	4 STALLS	<b>PROVIDED:</b>	5 STALLS
<b>EV AND CLEAN AIR PARKING:</b>		<b>EV AND CLEAN AIR PARKING:</b>	
REQUIRED EV:	4 STALLS	REQUIRED EV:	13 STALLS
PROVIDED EV:	4 STALLS	PROVIDED EV:	13 STALLS
REQUIRED CLEAN AIR:	6 STALLS	REQUIRED CLEAN AIR:	18 STALLS
PROVIDED CLEAN AIR:	6 STALLS	PROVIDED CLEAN AIR:	18 STALLS
<b>LONG-TERM BICYCLE STORAGE:</b>		<b>LONG-TERM BICYCLE STORAGE:</b>	
REQUIRED:	4 RACKS	REQUIRED:	1 RACK
PROVIDED:	4 RACKS	PROVIDED:	4 RACKS
<b>SHORT-TERM BICYCLE STORAGE:</b>		<b>DEVELOPMENT STANDARDS:</b>	
REQUIRED:	2 RACKS	ZONING:	C2
PROVIDED:	2-RACKS	MAX F.A.R.:	
<b>DEVELOPMENT STANDARDS:</b>		MAXIMUM:	1.20
ZONING:	C2	PROPOSED:	.07
MAX F.A.R.:		MAX BLDG HT.:	40'-0"
MAXIMUM:	1.20	PROPOSED HT.:	20'-4"
PROPOSED:	.20	<b>LANDSCAPE:</b>	
MAX BLDG HT.:	40'-0"	REQUIRED:	10% (5,945)
PROPOSED:	36'-7"	PROVIDED:	20% (12,194 SF)
<b>LANDSCAPE:</b>		<b>OFF-STREET PARKING:</b>	
REQUIRED:	10% (5,945)	STANDARD:	9' X 19'
PROVIDED:	20% (12,194 SF)	COMPACT:	8' X 16'
<b>OFF-STREET PARKING:</b>		COMPACT %:	30%
STANDARD:	9' X 19'	DRIVE AISLE:	22'-0"
COMPACT:	8' X 16'	OVERHANG:	2'-0"
COMPACT %:	30%	<b>REQUIRED PARKING RATIO BY USE:</b>	
DRIVE AISLE:	22'-0"	RESTAURANT:	1/2.5 SEATS
OVERHANG:	2'-0"	RETAIL:	1/300 SF
<b>REQUIRED PARKING RATIO BY USE:</b>		OFFICE:	1/300 SF
RESTAURANT:	1/2.5 SEATS		
RETAIL:	1/300 SF		
OFFICE:	1/300 SF		

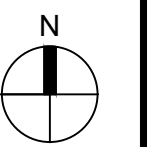


**SITE PLAN**  
 SCALE: 1"=20'-0"

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**AERIAL CONTEXT MAP**  
SCALE: 1"=30'-0"



AERIAL CONTEXT MAP			
DATE	REMARKS	DATE	REMARKS
11/10/2022	SPAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

SHEET  
**A1.1**

**PETALUMA RETAIL**  
5002 PETALUMA BLVD.  
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architecture  
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petaluma ca  
707.863.1381

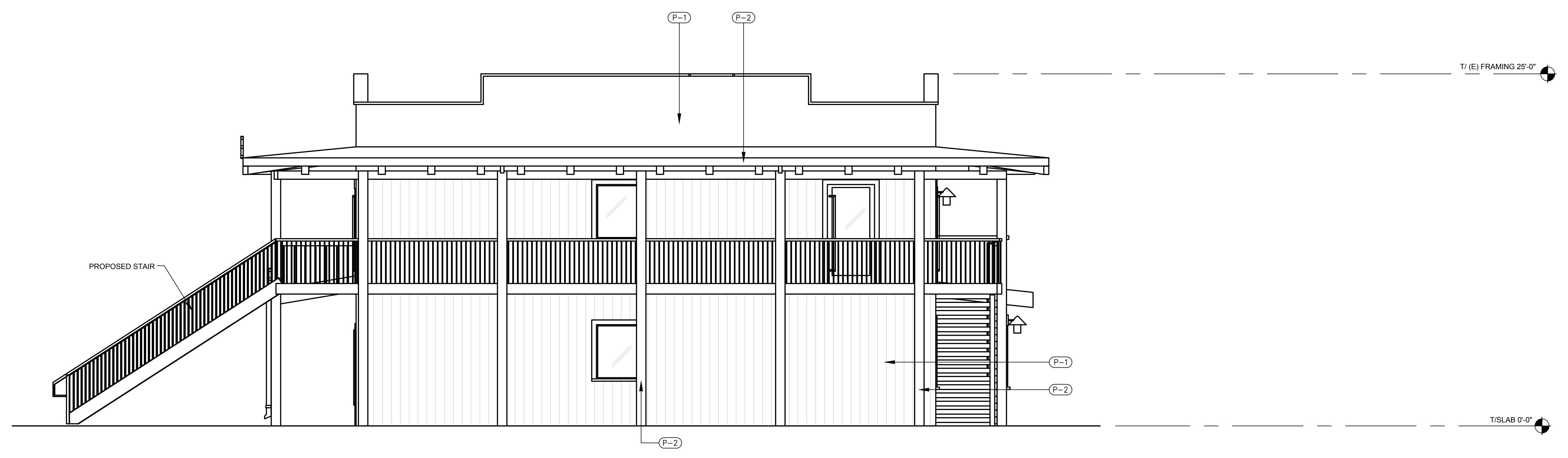
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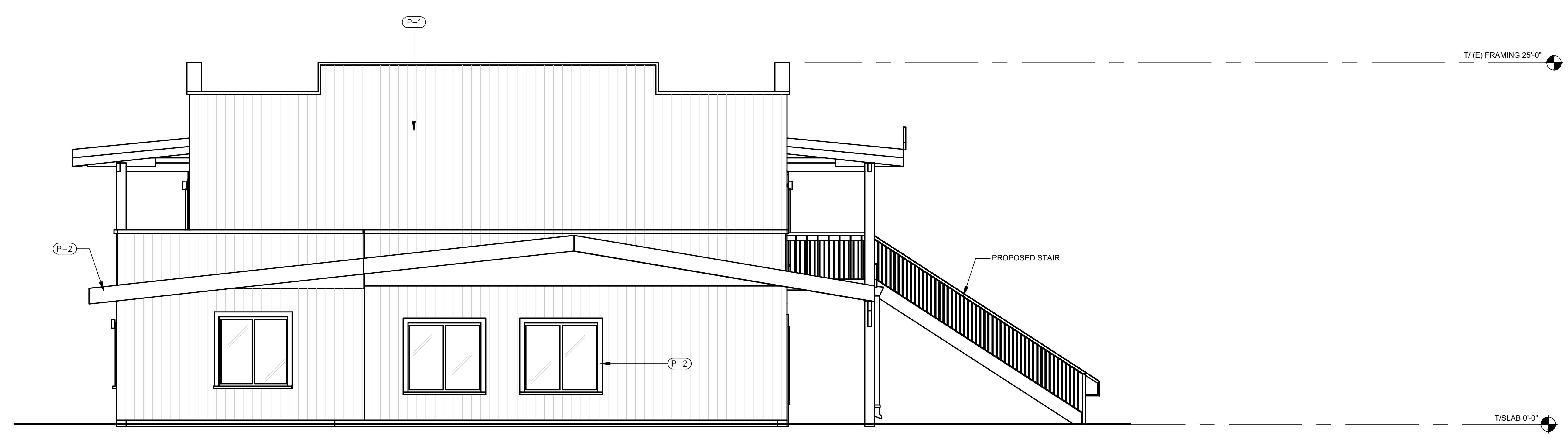








**BUILDING 1- NORTH EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (B)



**BUILDING 1- SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (A)

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINIUM	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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EXTERIOR ELEVATIONS- BUILDING 1		
DATE	REMARKS	DATE
10/07/2022	SPAR SUBMITTAL	

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DRAWN BY: M.P.  
JOB NO.: LAX22-0095-00

SHEET  
**A4.1**

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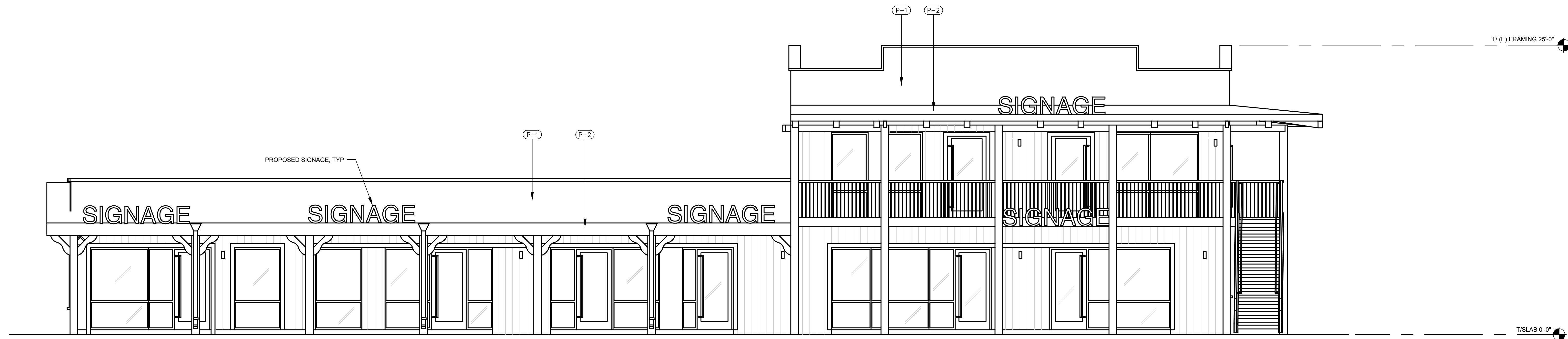
EXTERIOR ELEVATIONS- BUILDING 1

DATE	REMARKS
10/07/2022	SPAK SUBMITTAL

PA / PM: M.D.  
 DRAWN BY: M.P.  
 JOB NO.: LAX22-0095-00

SHEET  
**A4.2**

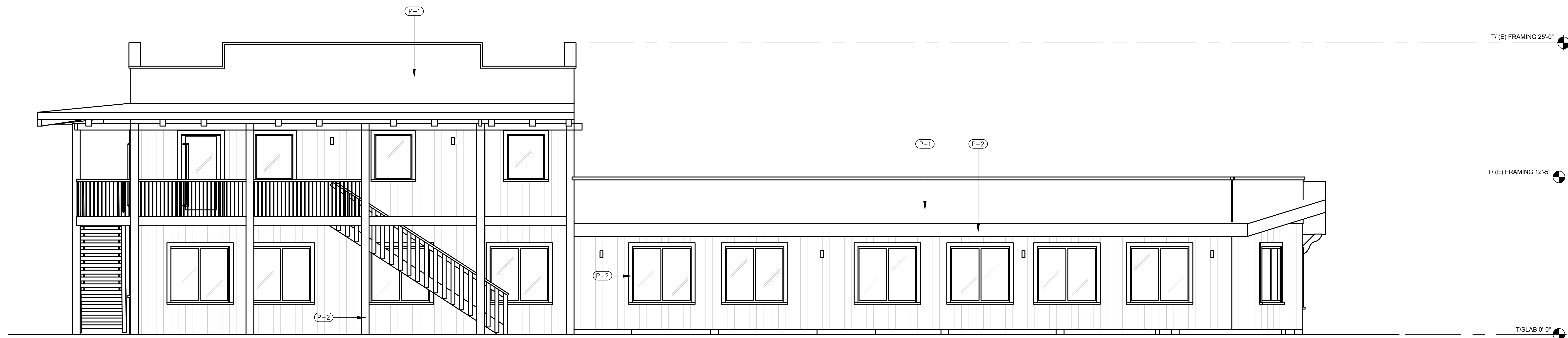
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**BUILDING 1- EAST EXTERIOR ELEVATION**

SCALE: 1/4"=1'-0"

(B)



**BUILDING 1- WEST EXTERIOR ELEVATION**

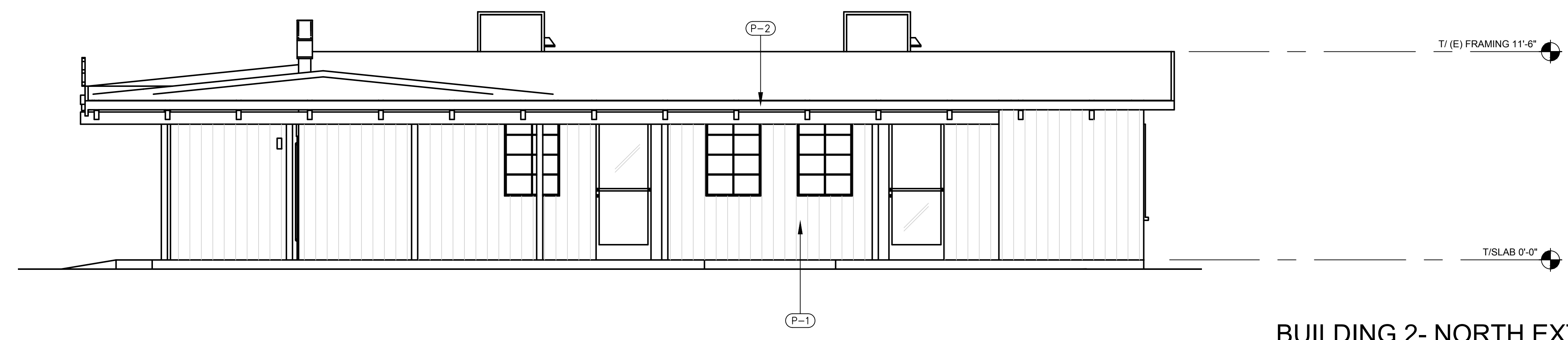
SCALE: 1/4"=1'-0"

(A)

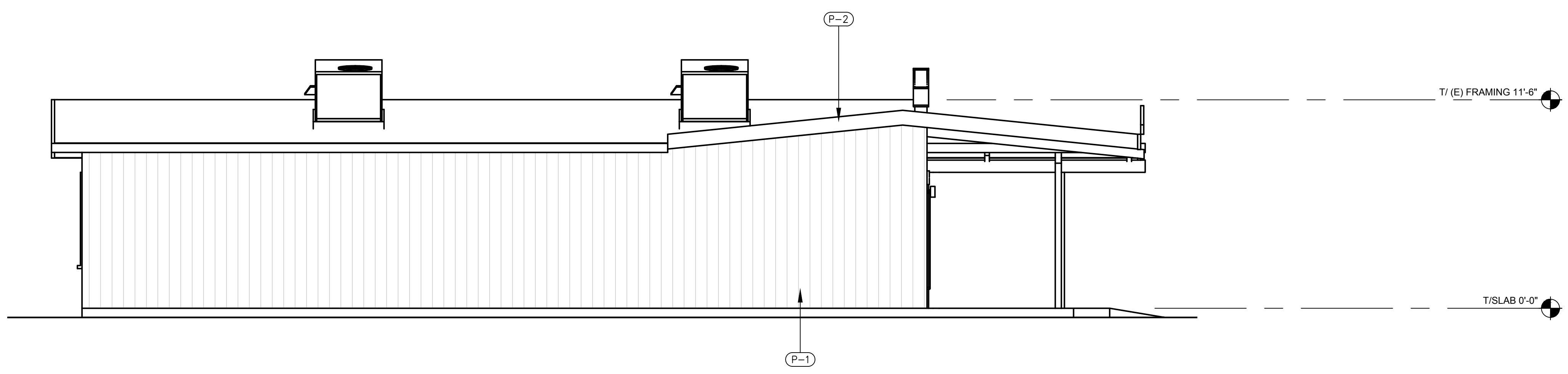
**FINISH SCHEDULE- EXTERIOR**

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

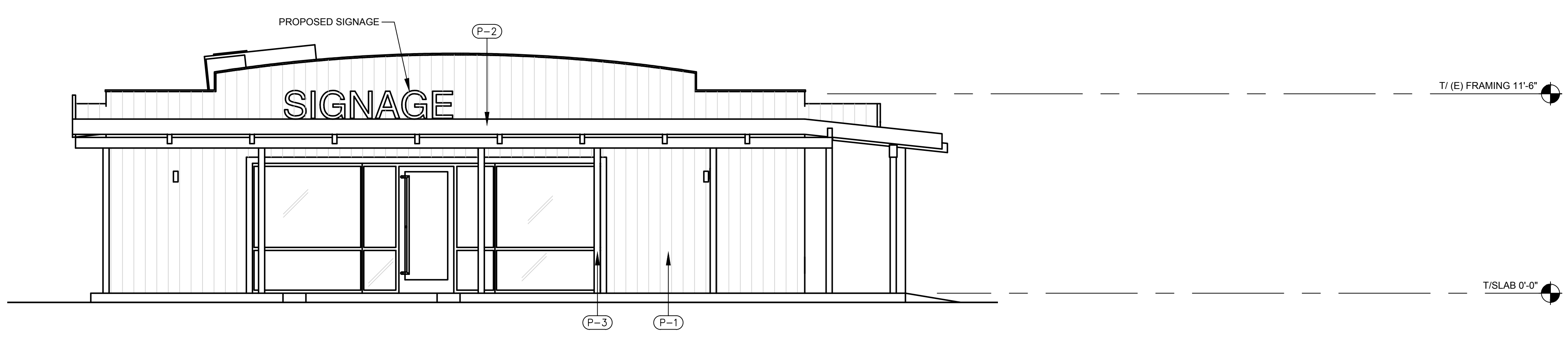




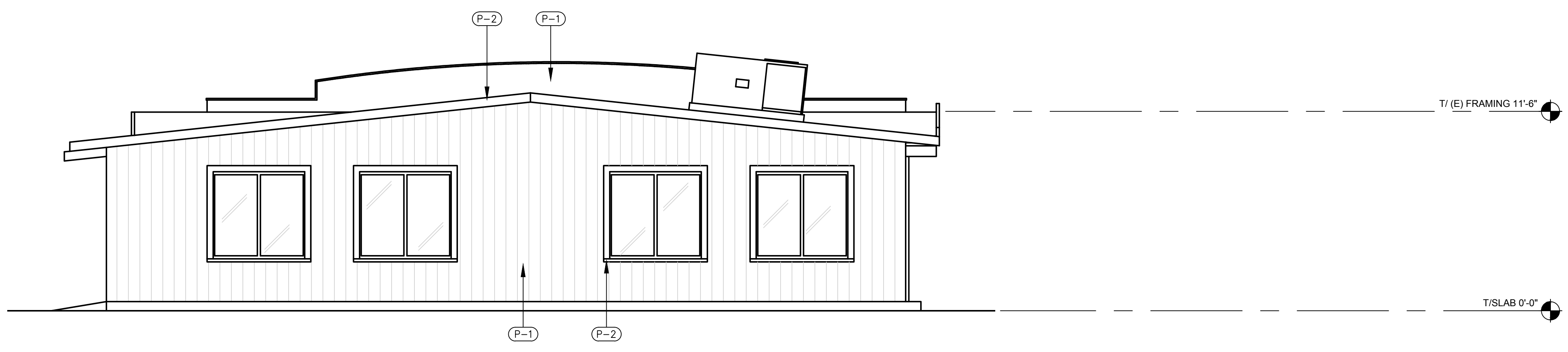
**BUILDING 2- NORTH EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (D)



**BUILDING 2- SOUTH EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (C)



**BUILDING 2- EAST EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (B)



**BUILDING 2- WEST EXTERIOR ELEVATION**  
SCALE: 1/4"=1'-0" (A)

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-		
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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PETALUMA CALIFORNIA

EXTERIOR ELEVATIONS- BUILDING 2		REMARKS
DATE	REVISION	DATE
10/07/2022	SPAR SUBMITTAL	

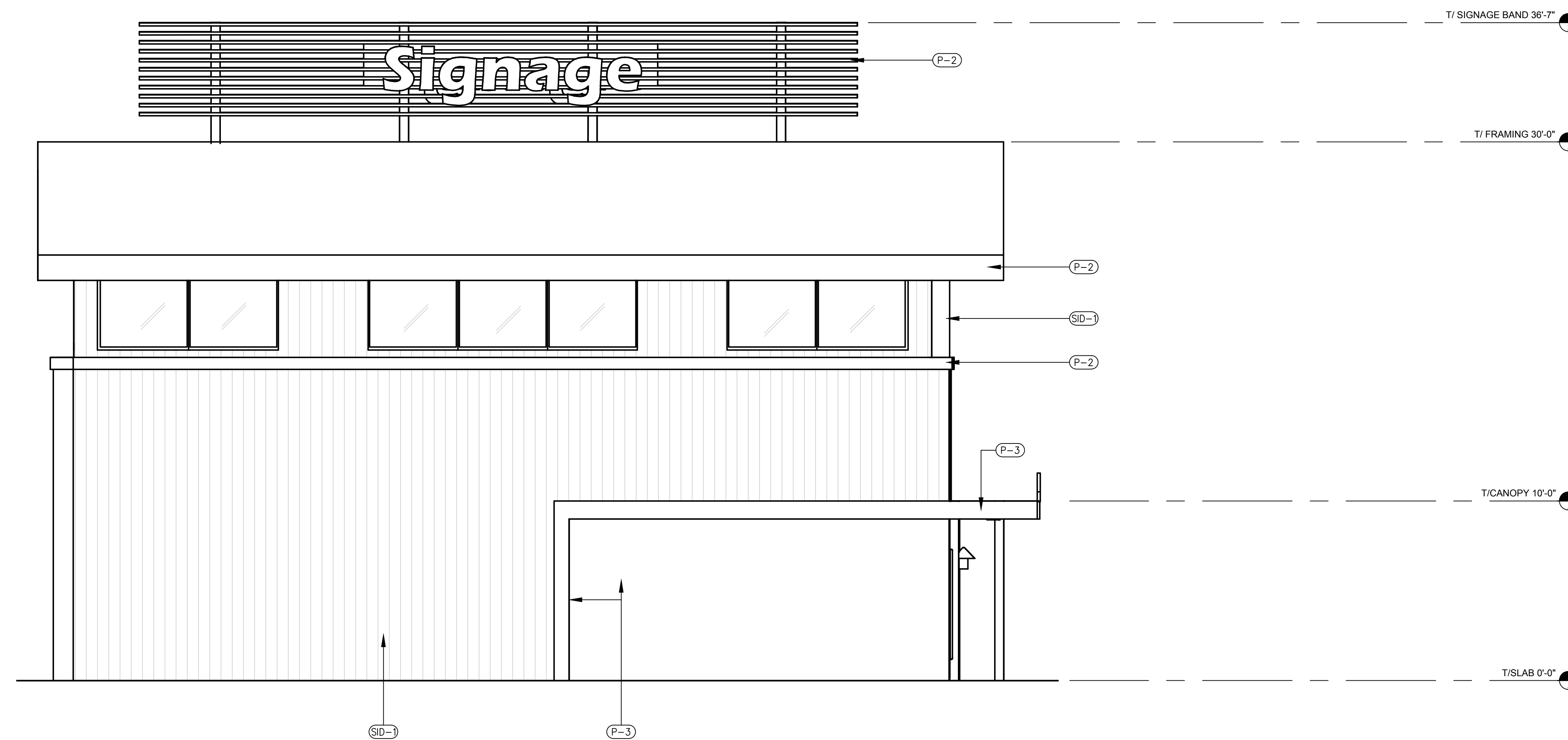
PA / PM: M.D.  
DRAWN BY: M.P.  
JOB NO.: LAX22-0095-00

SHEET  
**A4.3**

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BUILDING 3- NORTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0" (B)



BUILDING 3- SOUTH EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0" (A)

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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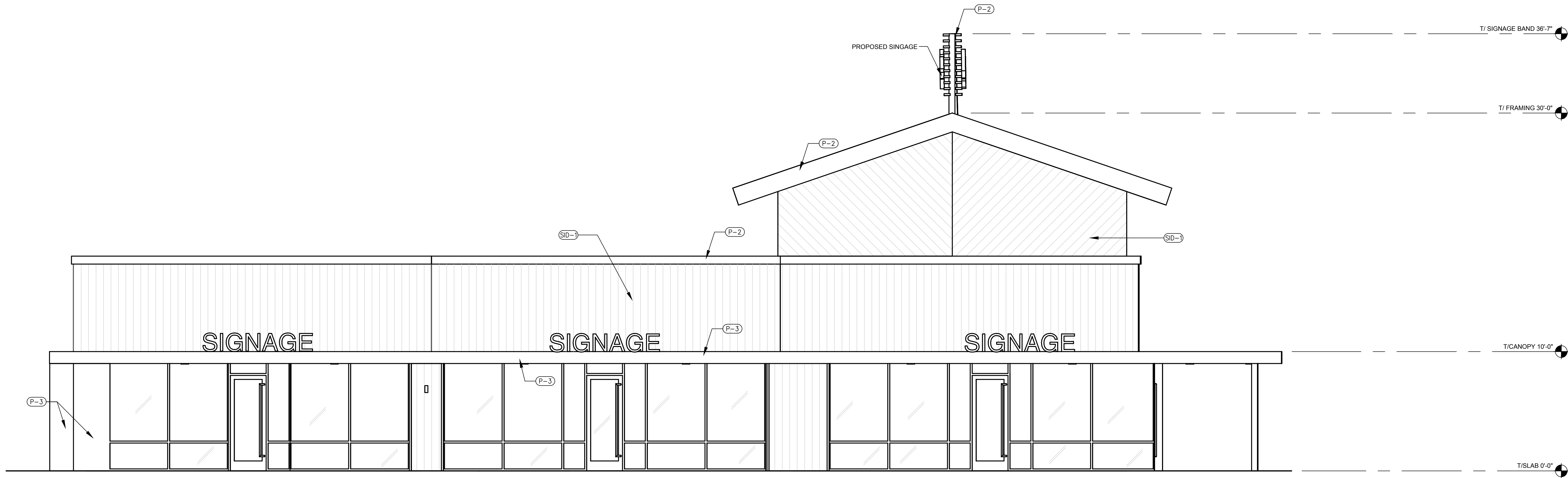
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PETALUMA CALIFORNIA

EXTERIOR ELEVATIONS- BUILDING 3	
DATE	REMARKS
1/10/07/2022	SPAR SUBMITTAL

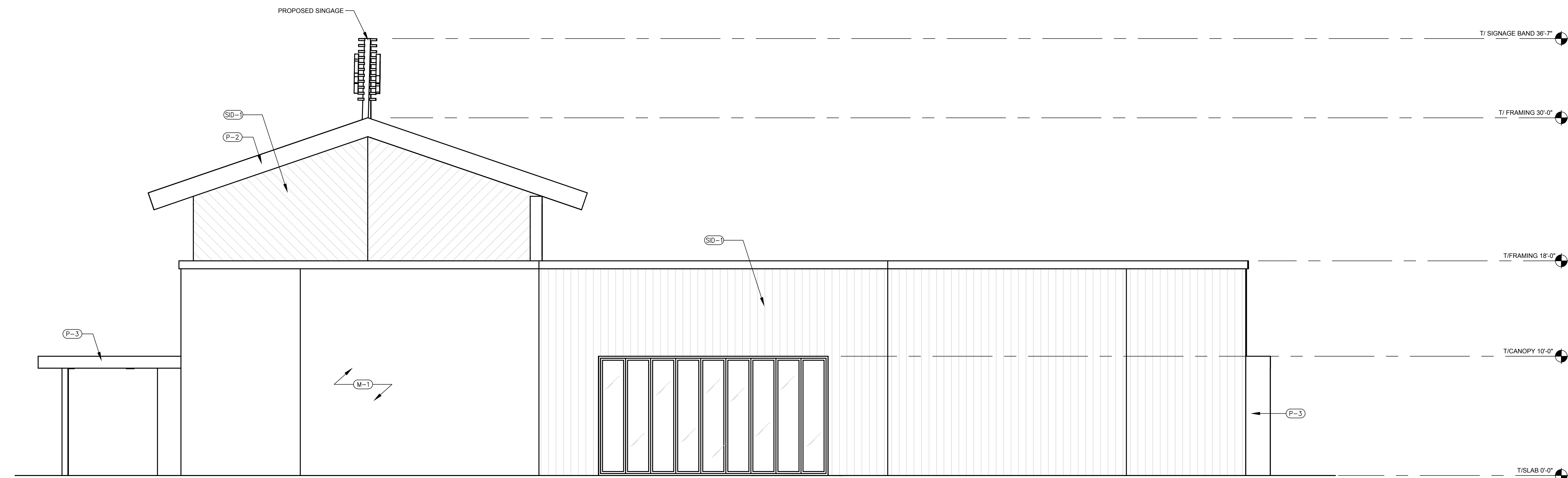
PA / PM: M.D.  
DRAWN BY: M.P.  
JOB NO.: LAX22-0095-00

SHEET  
**A4.4**

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BUILDING 3- EAST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0" (B)



BUILDING 3- WEST EXTERIOR ELEVATION  
SCALE: 1/4"=1'-0" (A)

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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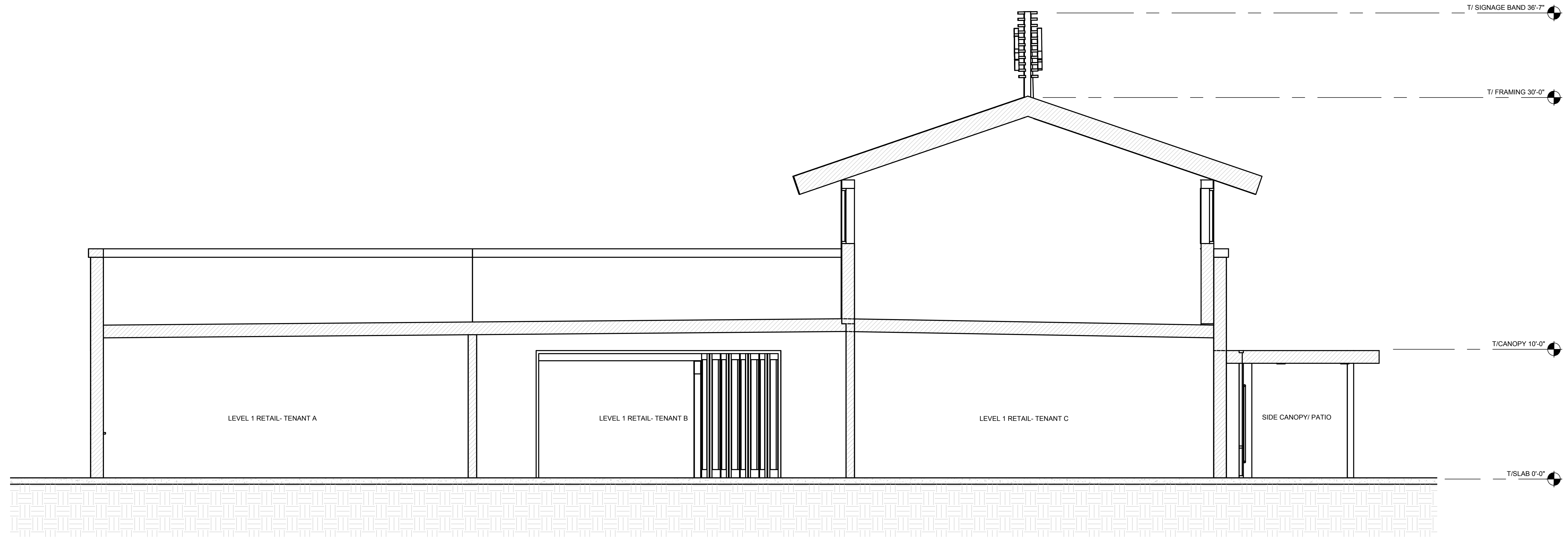
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civil engineering  
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ave. calistonia 92618  
tel: 951.252.2100  
fax: 951.252.1581

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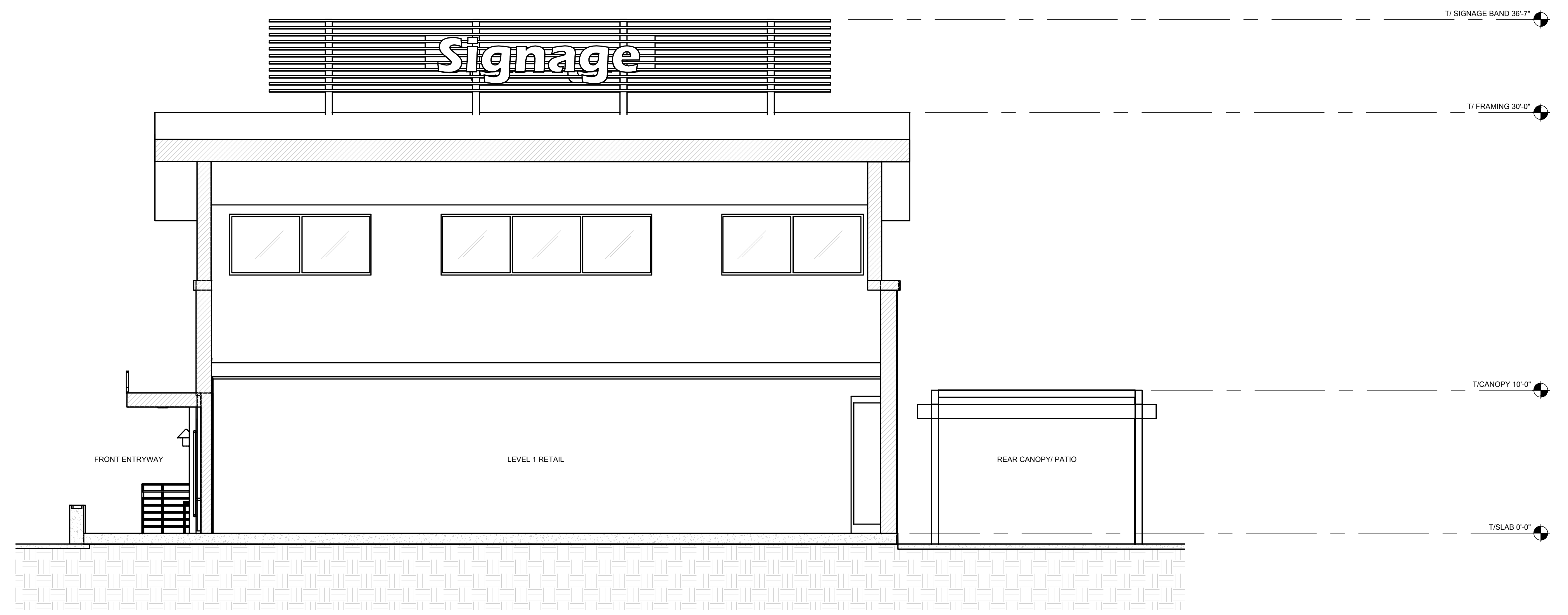
EXTERIOR ELEVATIONS- BUILDING 3		
DATE	REMARKS	DATE
10/27/2022	SPAR SUBMITTAL	

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

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BUILDING 3- BUILDING SECTION  
SCALE: 1/4"=1'-0" (B)



BUILDING 3- BUILDING SECTION  
SCALE: 1/4"=1'-0" (B)

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BUILDING SECTIONS- BUILDING 3		REMARKS
DATE	DATE	REMARKS
1	10/07/2022	SPAR SUBMITTAL

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

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**GOVERNMENTAL AGENCIES**

**BUILDING DEPARTMENT**  
 CITY OF PETALUMA  
 DEPARTMENT PETALUMA BUILDING  
 Street Address  
 City, State, Zip Code  
 Phone:  
 Fax:  
 Contact Name:  
 Contact Email:

**FIRE DEPARTMENT**  
 Name of Fire Department  
 Street Address  
 City, State, Zip Code  
 Phone:  
 Fax:  
 Contact Name:  
 Contact Email:

**HEALTH DEPARTMENT**  
 Name of Health Department  
 Street Address  
 City, State, Zip Code  
 Phone:  
 Fax:  
 Contact Name:  
 Contact Email:

**BUILDING DATA**  
 BUILDING CODE:  
 2019 CALIFORNIA BUILDING CODE

**PLUMBING CODE:**  
 2019 CALIFORNIA PLUMBING CODE

**MECHANICAL CODE:**  
 2019 CALIFORNIA MECHANICAL CODE

**ELECTRICAL CODE:**  
 2019 CALIFORNIA ELECTRICAL CODE

**FIRE CODE:**  
 2019 CALIFORNIA FIRE CODE

**ENERGY CODE:**  
 2019 ENERGY CODE

**ALTERNATE BID ITEMS**

1



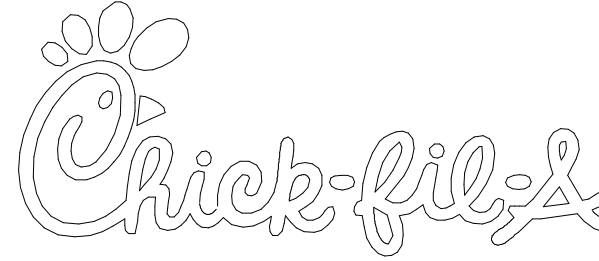
**05302**  
**P14 LS LRG**  
**PETALUMA**

**5012 PETALUMA BOULEVARD. N.,  
 PETALUMA, CALIFORNIA 94952**



**SHEET INDEX**

SHEET NUMBER	SHEET NAME	ISSUED FOR BID	ISSUED FOR PERMIT	ISSUED FOR CONSTRUCTION
G-000	COVER SHEET			
A-100	SITE PLAN			
A-201	FLOOR PLAN			
A-230	ROOF PLAN			
A-301	EXTERIOR ELEVATIONS			
A-302	PERSPECTIVES			
A-401	BUILDING SECTIONS			



**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia  
 30349-2998

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915 WILSHIRE BOULEVARD, SUITE  
 2150 LOS ANGELES, CA 90017  
 P 310.903.4000

**CHICK-FIL-A**  
**PETALUMA**  
 5012 PETALUMA BOULEVARD. N.,  
 PETALUMA, CALIFORNIA 94952

**FSR#05302**

BUILDING TYPE / SIZE: P14 LS LRG

RELEASE: 22-08

PRINTED FOR: ENTITLEMENT PACKAGE

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

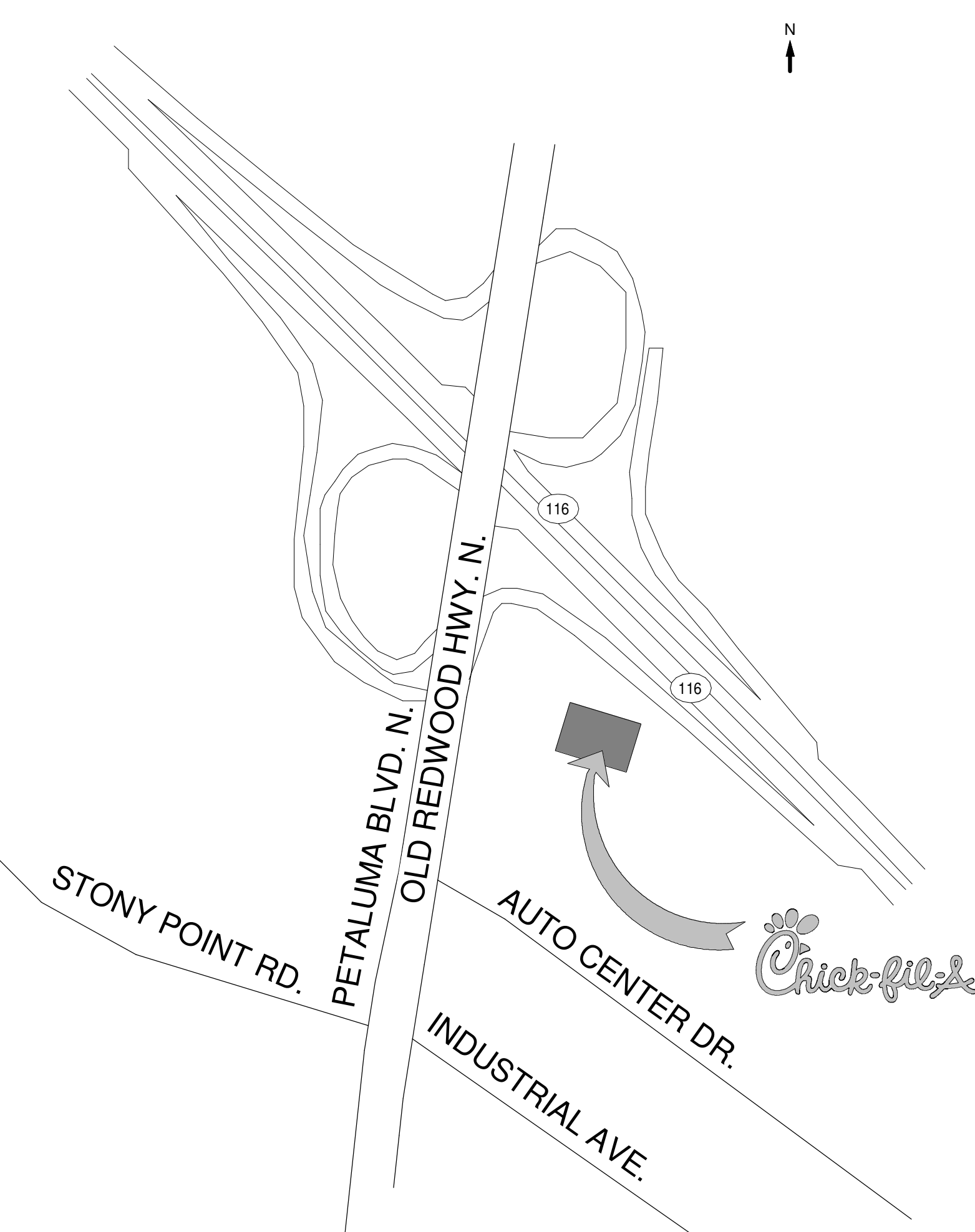
**ENTITLEMENT PACKAGE**

CONSULTANT PROJECT # LAX22-0029-01  
 DATE: 10/07/2022  
 DRAWN BY: M.O. / J.M.  
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**COVER SHEET**  
 SHEET NUMBER

**G-000**

**VICINITY MAP**

**REGION: WEST**



**DESIGNNOTES APPLIED IN CURRENT PROJECT**

DESIGNNOTE #	REV #	DESCRIPTION
2022-014	0	SRI A - BUILDING LIGHTING
2022-015	0	EXPANDED DIGITAL COCKPIT
2022-016	0	DRIVE - THRU COCKPIT CLEARANCE
2022-017	0	SRI EXTERIOR PAINT
2022-018	0	PROJECT DESIGN WORKFLOW
2022-019	0	ACT CEILING RISER ROOM
2022-020	0	ADD CHEROKEE BRICK AS PREFERRED SUPPLIER & BRICK REGIONAL STRATEGY MAP
2022-021	0	UPDATES TO SOIL PRE-TREATMENT PROGRAM AND CONTACT INFO
2022-022	0	DRIVE-THRU DUMP SINK AND HAND SINK

**ITEMS OF IMPORTANCE**

INCLUDED IN PROJECT	ITEM NUMBER	ITEM DESCRIPTION
Yes	1	ITEMS OF IMPORTANCE

\*NOTE: REVISION SCHEDULE ABOVE MAY NOT LIST REVISIONS TO ALL DISCIPLINES. REFER TO REVISED DRAWINGS FOR CHANGES TO SHEETS NOT LISTED HERE.

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 90017  
 P 310.903.4000  
 DIANE GUO  
 dguo@waremalcomb.com

**STRUCTURAL**  
 Street Address  
 City, State, Zip Code  
 Phone:  
 Fax:  
 Contact Name:  
 Contact Email:

**MECHANICAL**  
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 SANTA ROSA, CA. 95401  
 Phone: 707.527.0775 x 168  
 707.636.9168  
 707.494.6258  
 Contact Name: TANIA SCHRAM  
 www.summit-sr.com

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**KITCHEN**  
 FOOD SERVICE CONSULTANT  
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 DESIGN  
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 BUILDING 1800 SUITE 114  
 ATLANTA, GA 30331  
 PHONE: (470) 225-5025  
 MICHELLE SCHNOONOVER  
 michelle.schnoonover@trimarkusa.com



**SITE PLAN LEGEND**

- LANDSCAPE
- PROPERTY LINE
- BUILDING LINE
- EXISTING 6" CURB
- EXISTING SIDEWALK
- EXISTING CURBS AND SIDEWALKS
- OUTDOOR SEATING
- ACCESSIBLE ROUTE 2% MAX SLOPE
- 4" WIDE DIAGONAL STRIPPING
- PARKING LIGHT FIXTURE (SEE ELECTRICAL DRAWING)
- EASEMENT LINE

**SITE PLAN KEYNOTES**

- |   |                                     |
|---|-------------------------------------|
| 1 | SIGNAGE PER SIGNAGE PACKAGE, TYP.   |
| 2 | ADA PARKING.                        |
| 3 | SHORT-TERM BIKE PARKING.            |
| 4 | LOCATION OF LONG-TERM BIKE STORAGE. |
| 5 | FLAG POLE.                          |

**GENERAL NOTES:**

FOR ACCESSIBLE ROUTE MAX SLOPE 3% AND CROSS SLOPE 0% ALONG PATH AND 2% SLOPE IN ANY DIRECTION AT EACH TURN AND INTERSECTION OF THE PATH OF TRAVEL.

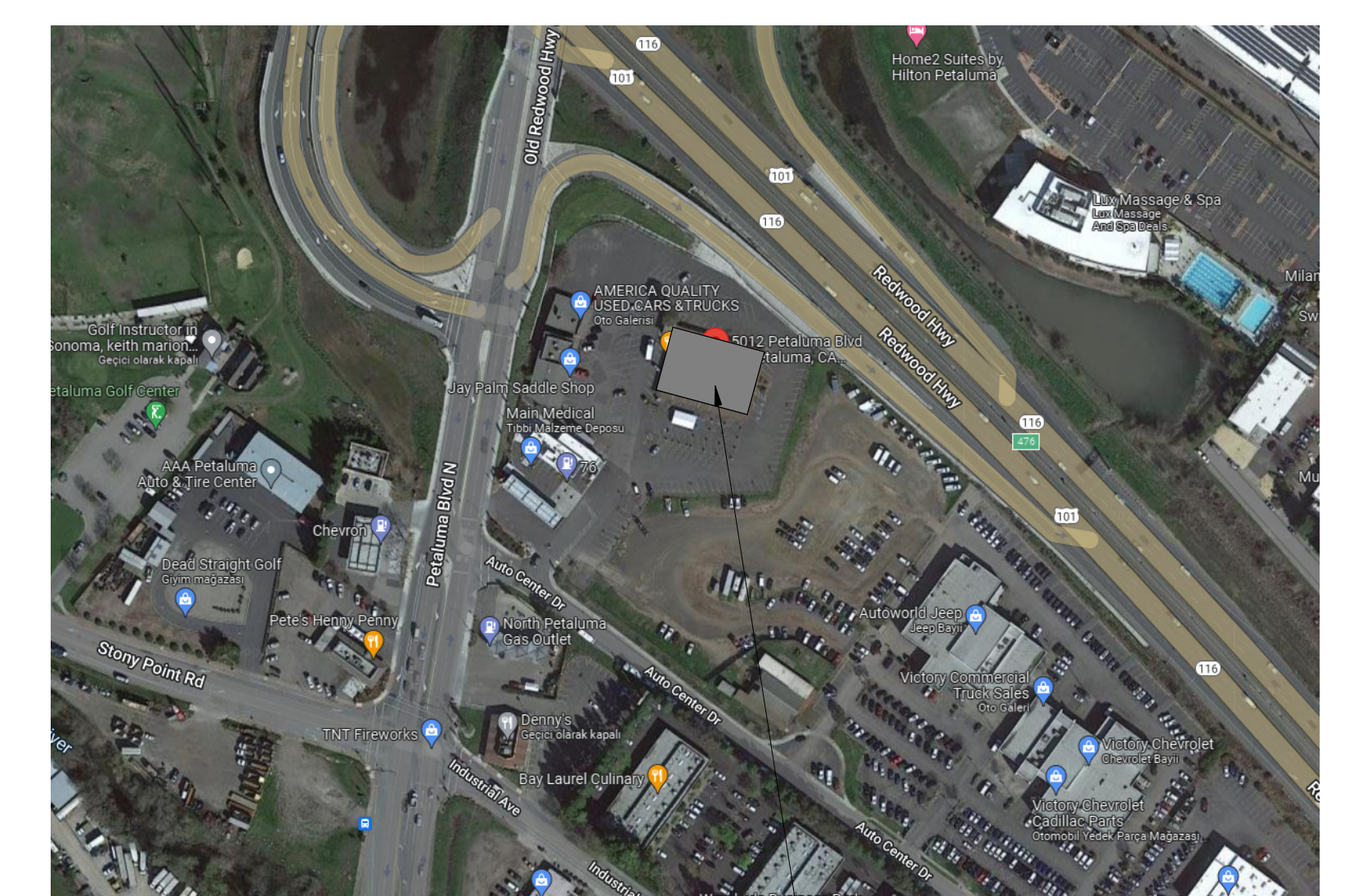
PROJECT DATA:	
SITE AREA	1.73 AC
GROSS	75,200 SF
BUILDING FOOTPRINT: CHICK-FIL-A	5,112 SF
TOTAL FOOTPRINT:	5,112 SF
COVERAGE:	7%
PARKING REQUIRED:	
RESTAURANT	12.5 SEATS 27 STALLS
PARKING PROVIDED:	
STANDARD:	122 STALLS
COMPACT:	8 STALLS
REG. ACCESSIBLE:	5 STALLS
DEVELOPMENT STANDARDS:	
ZONING:	C2
MAX HEIGHT:	40'-0" FT
BUILDING SETBACKS:	
FRONT:	0'-0" FT
SIDE:	0'-0" FT
REAR:	0'-0" FT
LANDSCAPE SETBACKS:	
FRONT:	NA
SIDE:	NA
REAR:	NA
LANDSCAPE REQ:	TBO
OFF-STREET PARKING:	
STANDARD:	6X19 FT
COMPACT:	8X16 FT
COMPACT%:	30%
DRIVE AISLE:	22 FT
OVERHANG:	2 FT
REG. PARKING RATIO BY USE:	
RESTAURANT:	12.5 SEATS
RETAIL:	1,000 SF
OFFICE:	1,000 SF
NOTES:	
1 TYPE A FOR PARKING AREAS LESS THAN 50,000 SF-5% OTHERWISE 8%	
PARKING CALCULATION:	
ACCESSIBLE STALL REQUIRED	
PER CBC	5
ACCESSIBLE STALLS PROVIDED	5
SHORT TERM BIKE STORAGE REQUIRED	7
SHORT TERM PARKING REQUIRED	8
LONG TERM BIKE STORAGE PROVIDED	1
LONG TERM PARKING PROVIDED	1



**Chick-fil-A**  
 Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia  
 30349-2998

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PROJECT SITE



PROJECT SITE

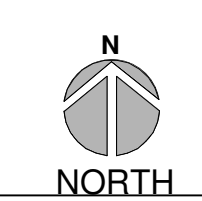
**CHICK-FIL-A**  
**PETALUMA**  
 5012 PETALUMA BOULEVARD, N.,  
 PETALUMA, CALIFORNIA 94952

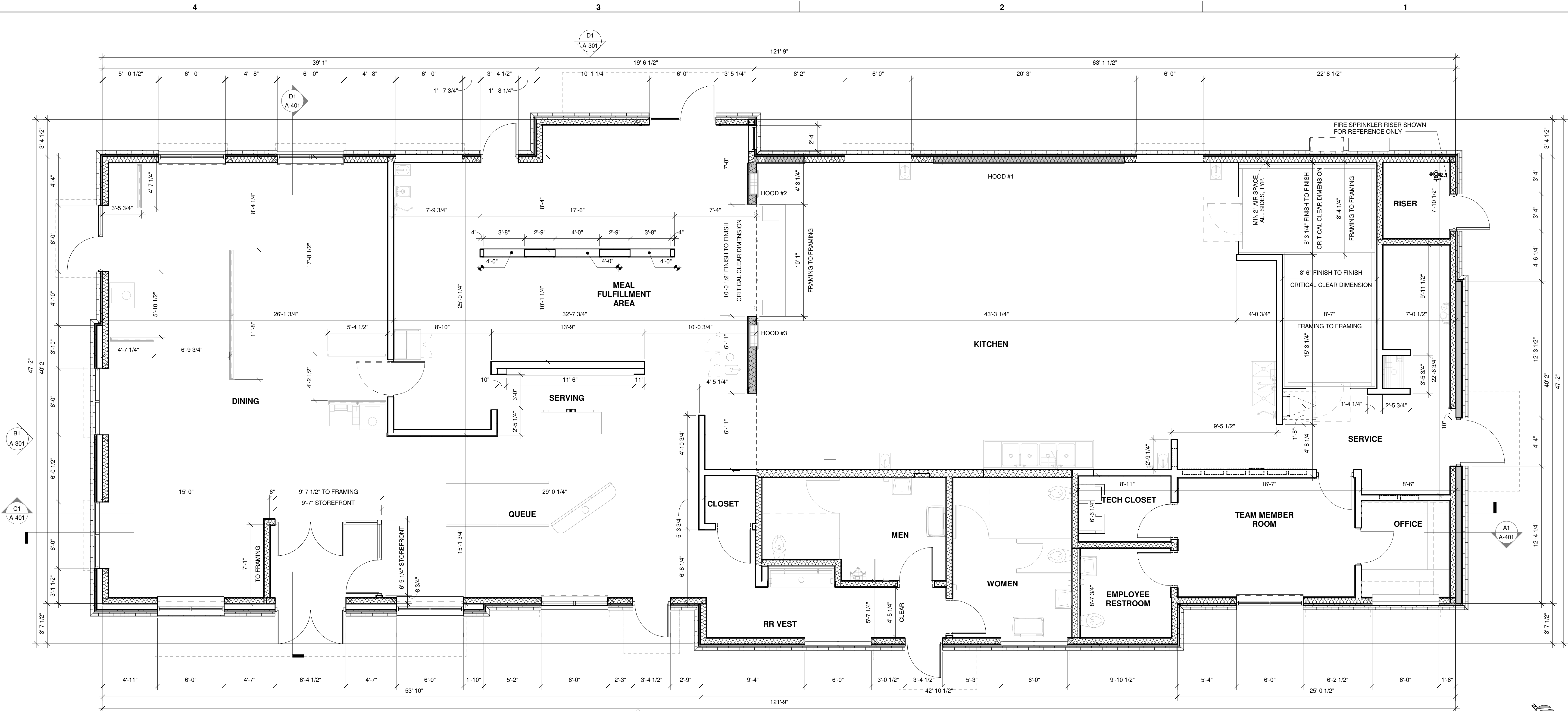
**FSR#05302**  
 BUILDING TYPE / SIZE: P14 LS LRG  
 RELEASE: 22-08  
 PRINTED FOR:  
**ENTITLEMENT PACKAGE**  
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**ENTITLEMENT PACKAGE**  
 SHEET NUMBER  
**A-100**

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 10-LS-05302-A-100-SITE PLAN

**A1 SITE PLAN**  
 1" = 20'-0"



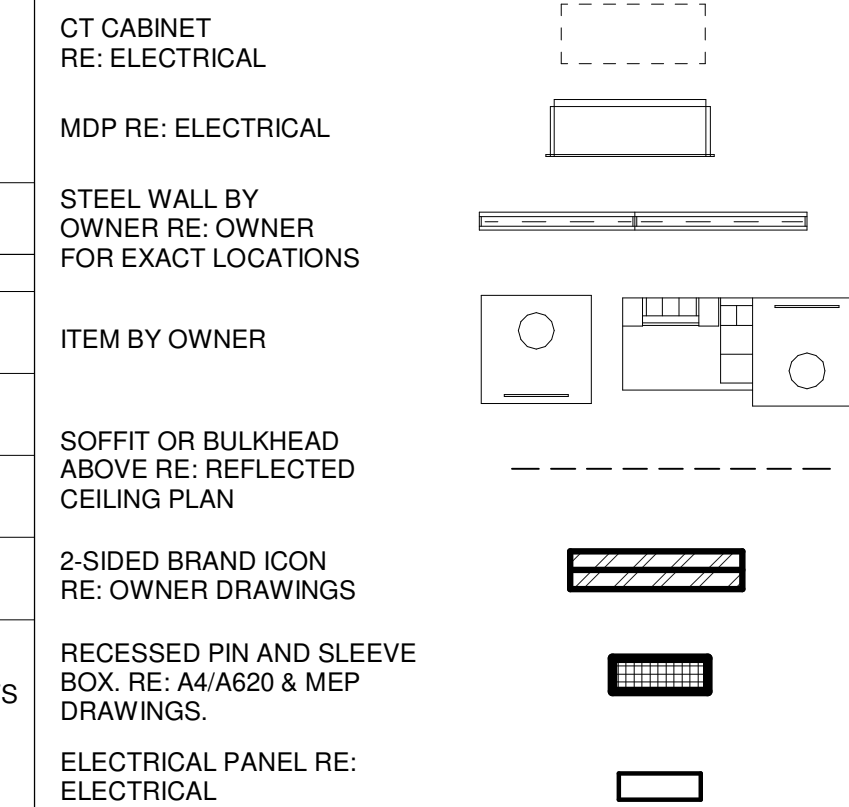


**C1 FLOOR PLAN**  
1/4" = 1'-0"

INSULATION SCHEDULE		
LOCATION	R-VALUE	THICKNESS
ROOF	R-17.4	3" RIGID
WALL (CONTINUOUS)	R-5	1" RIGID
WALL (CAVITY)	R-19	6" BATT
SLAB	R-10	2" RIGID

NOTES:  
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.  
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.

**FLOOR PLAN LEGEND:**



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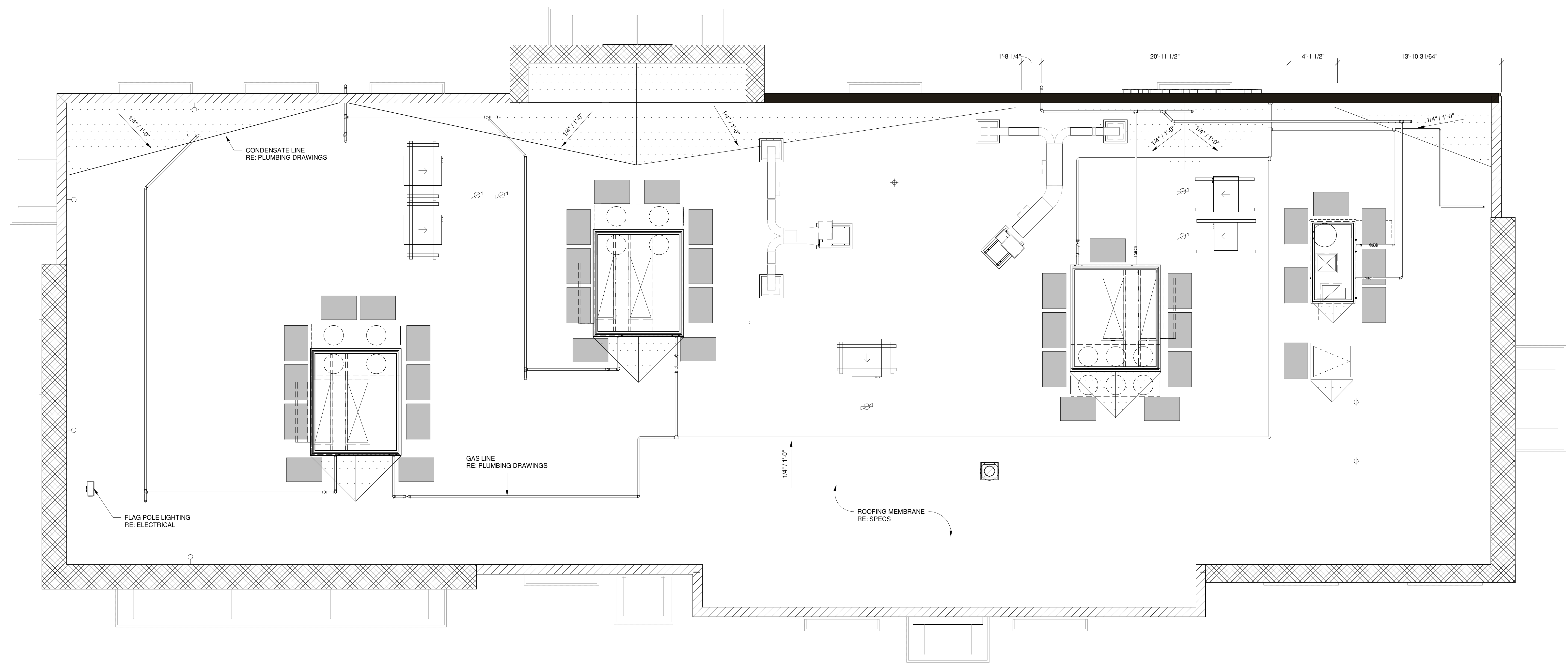
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**FLOOR PLAN**  
SHEET NUMBER

**A-201**

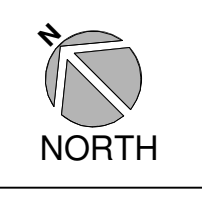
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10-LS-05302-A-230-ROOF PLAN

E  
D  
C  
B  
A

4 3 2 1



A1 ROOF PLAN  
1/4" = 1'-0"



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SHEET: ROOF PLAN  
SHEET NUMBER: **A-230**





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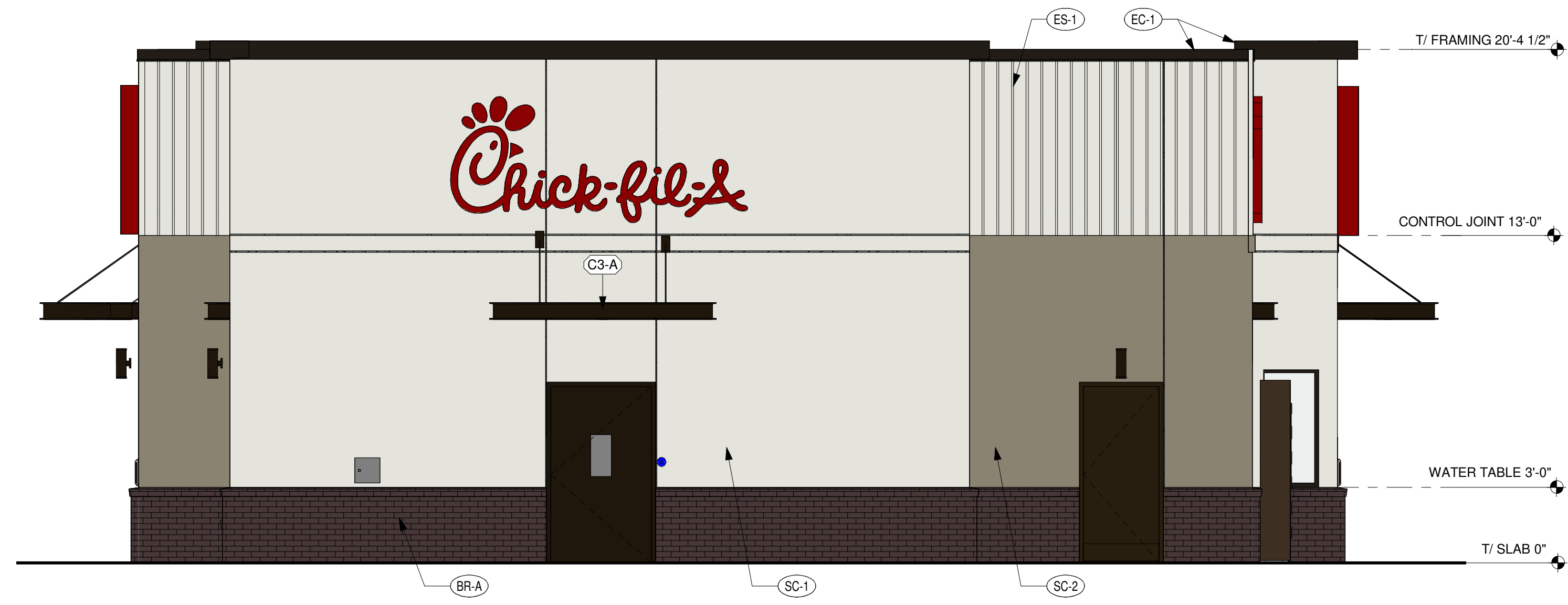
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**EXTERIOR ELEVATIONS**  
 SHEET NUMBER  
**A-301**



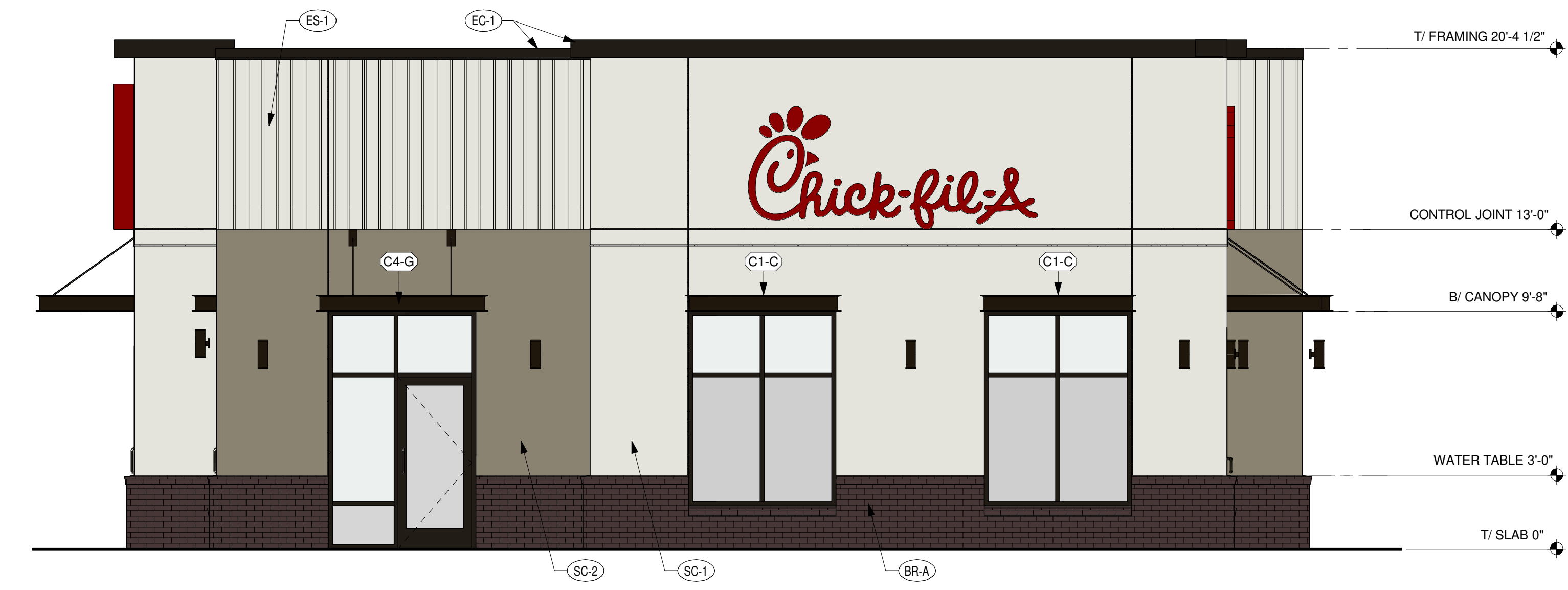
**D1 EXTERIOR ELEVATION**  
 1/4" = 1'-0"



**C1 EXTERIOR ELEVATION**  
 1/4" = 1'-0"



**B2 EXTERIOR ELEVATION**  
 1/4" = 1'-0"



**B1 EXTERIOR ELEVATION**  
 1/4" = 1'-0"

**APPROVED BRICK ALTERNATES**  
 (SEE NATIONAL ACCOUNTS LIST FOR CONTACT INFORMATION)

FINISH	MANUFACTURER	MODEL	MORTAR	PLANT LOCATION	PREFERRED REGION(S)
<b>BR-A (PRIMARY BRICK)</b>					
BR-02	ACME BRICK	PALOMA GRAY	ARGOS, SAN TAN	ELGIN, TX	SOUTHWEST
BR-18	MUTUAL MATERIALS	IMPERIAL GRAY	ARGOS, SAN TAN	MICA, WA	WEST
BR-20	GLEN GERY	KHAKI MATT	ARGOS, SAN TAN	CHESWICK, PA	ATLANTIC, NORTHEAST, MIDWEST
BR-30	CHEROKEE BRICK	LIGHT GRAY SMOOTH	ARGOS, SAN TAN	MACON, GA	SOUTHEAST
<b>BR-B (ACCENT BRICK)</b>					
BR-03	ACME BRICK	RUSTIC WHITE	ARGOS, SAN TAN	MALVERN, AR	SOUTHWEST
BR-19	MUTUAL MATERIALS	DESERT WHITE	ARGOS, SAN TAN	MICA, WA	WEST
BR-26	GLEN GERY	WHITEHALL	ARGOS, SAN TAN	CHESWICK, PA	ATLANTIC, NORTHEAST, MIDWEST
BR-31	CHEROKEE BRICK	OATMEAL SMOOTH	ARGOS, SAN TAN	MACON, GA	SOUTHEAST

**FINISH SCHEDULE - EXTERIOR**

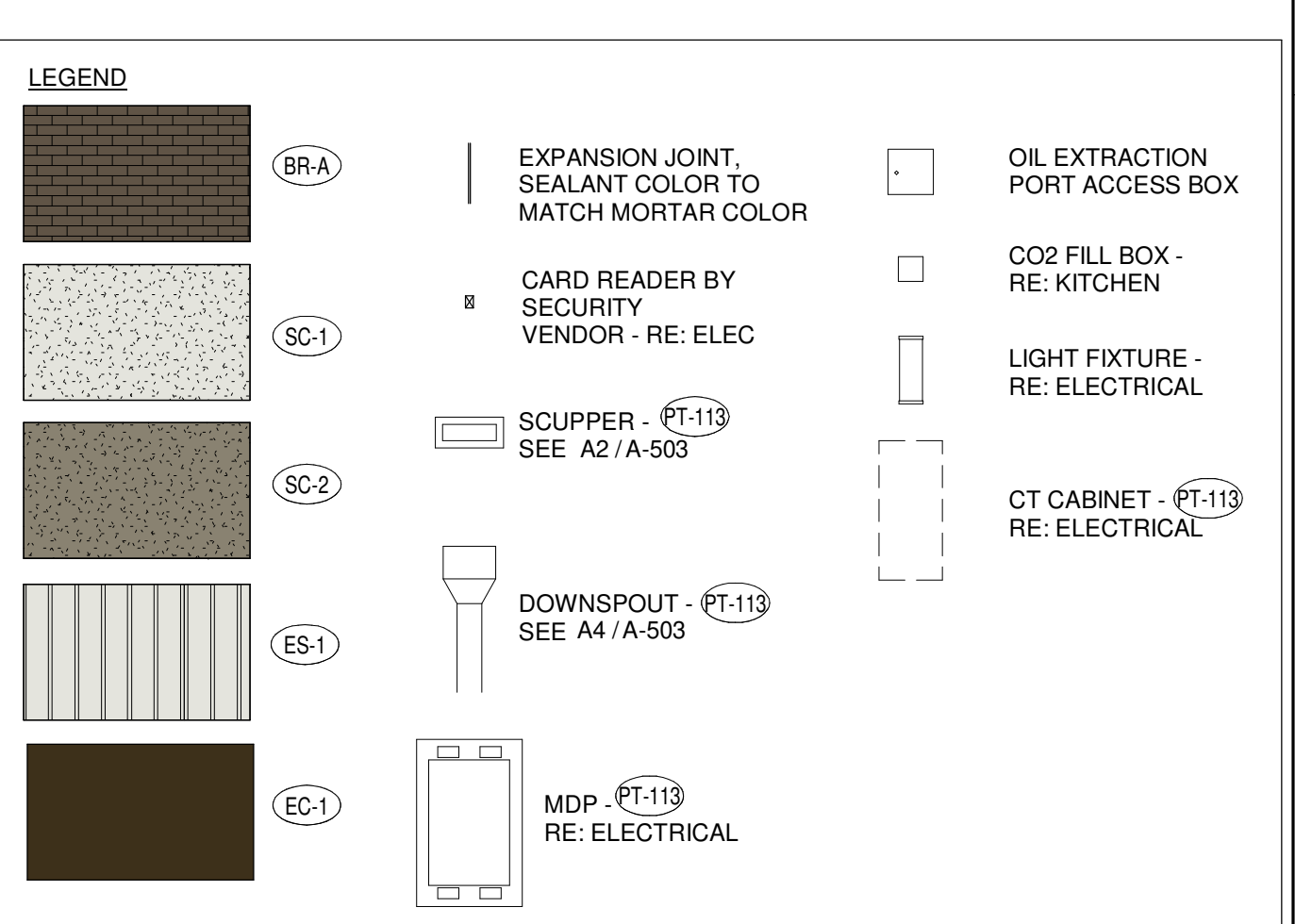
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
BR-A	BRICK VENEER (PRIMARY)	-	MODULAR	-	MIDNIGHT SKY	*SEE APPROVED BRICK ALTERNATES
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS	-	-	MIDNIGHT BRONZE	-
ES-1	EXTERIOR SIDING	JAMES HARDIE BUILDING PRODUCTS, INC.	VERTICAL SIDING (SMOOTH)	-	SW 6203 SPARE WHITE	...
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER. CRYL HIGH PERFORMANCE ACRYLIC #866-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER. CRYL HIGH PERFORMANCE ACRYLIC #866-350	-	DARK BRONZE	FINISH: SEMI-GLOSS
SC-1	STUCCO	STO	POWERWALL	-	SW 6203 SPARE WHITE	FINISH: SAND MEDIUM
SC-2	STUCCO	STO	POWERWALL	-	SPARE WHITE	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45	-	DARK BRONZE (MATTE)	FINISH: SAND MEDIUM

**ATTACHED CANOPY SCHEDULE**

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	12	6'-4"	1'-0"	0"	No
C3-A	Exterior Canopy	1	9'-0"	5'-0"	2'-6"	Yes
C3-C	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	Yes
C4-A	Exterior Canopy	1	5'-0"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	2	7'-0"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
Grand total		18				

**GENERAL NOTES**  
 1. ALL SIGNAGE PROVIDED BY OTHERS  
 2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION

**CANOPY NOTES:**  
 BUILDING MOUNTED CANOPIES  
 - 8" THICK CANOPY  
 - KYNAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)  
 COLUMN MOUNTED CANOPIES  
 - 10" THICK CANOPY  
 - FINISH OF STRUCTURE TO BE (CP-1)  
 - FINISH OF DECKING TO BE (CP-2)



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 10-LS-05302-A-301-EXTERIOR ELEVATIONS



C3 PERSPECTIVE

C1 PERSPECTIVE



A3 PERSPECTIVE

A1 PERSPECTIVE



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PROTOTYPICAL SET

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**PETALUMA**  
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 PETALUMA, CALIFORNIA 94952

**FSR#05302**

BUILDING TYPE / SIZE: P14 LS LRG

RELEASE: 22.08

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REVISION SCHEDULE

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SHEET PERSPECTIVES

SHEET NUMBER

**A-302**

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LS-05302-A-401-BUILDING SECTIONS



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BUILDING TYPE / SIZE: P14 LS LRG  
RELEASE: 22.08

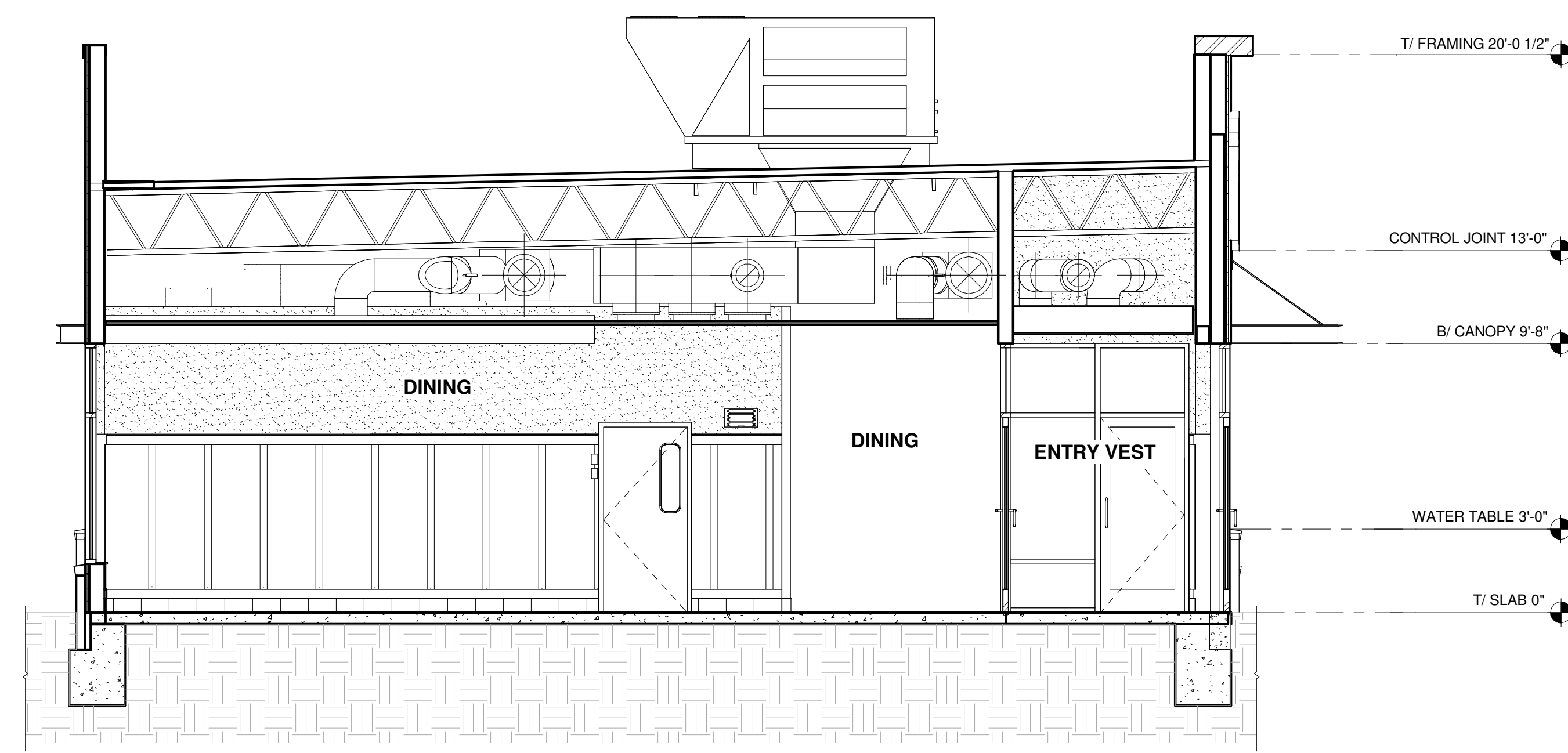
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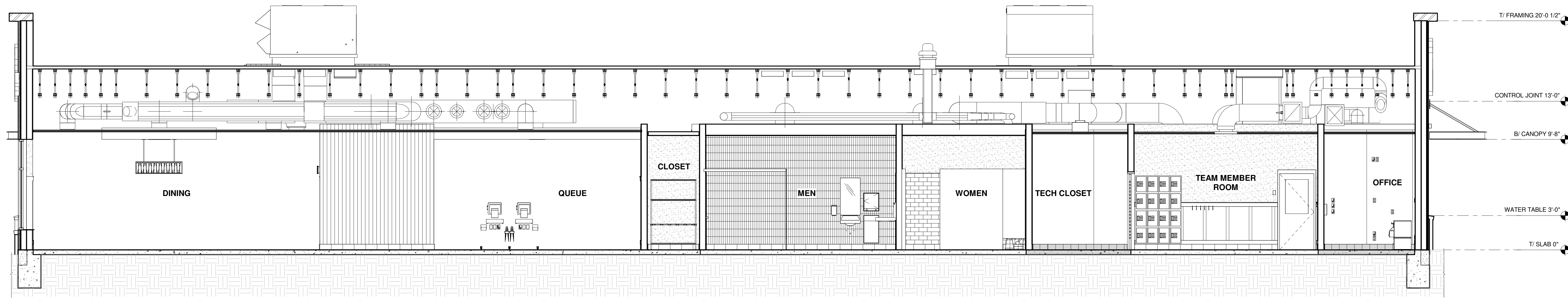
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**BUILDING SECTIONS**  
SHEET NUMBER

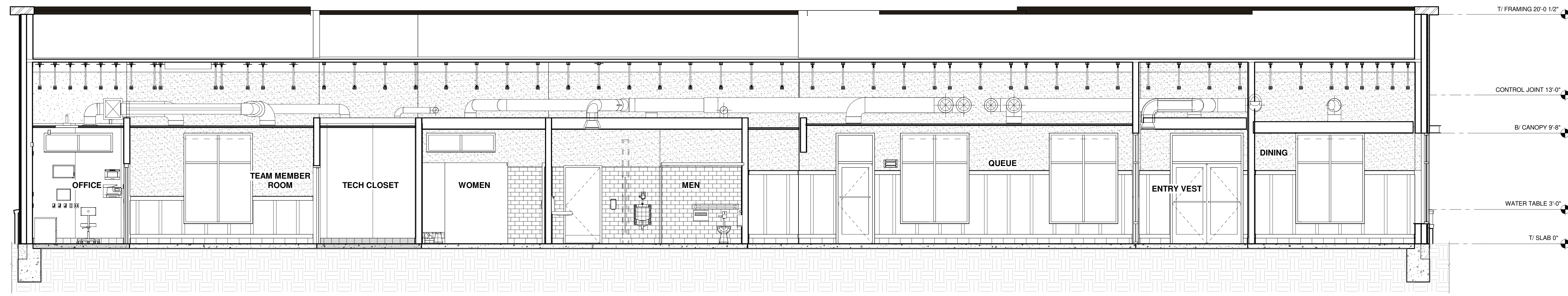
**A-401**



**D1 BUILDING SECTION**  
1/4" = 1'-0"



**C1 BUILDING SECTION**  
1/4" = 1'-0"

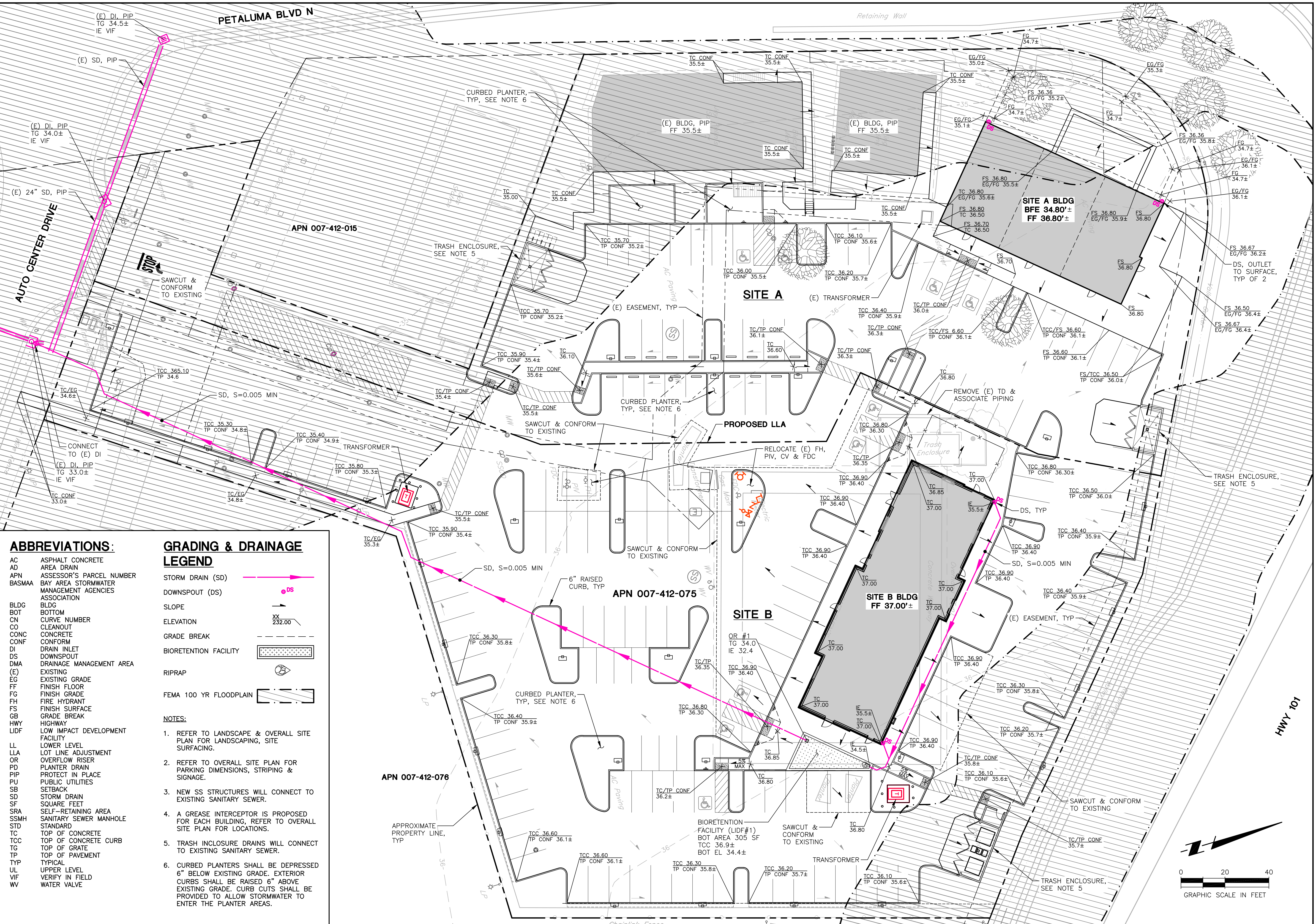


**A1 BUILDING SECTION**  
1/4" = 1'-0"

4 3 2 1

4 3 2 1

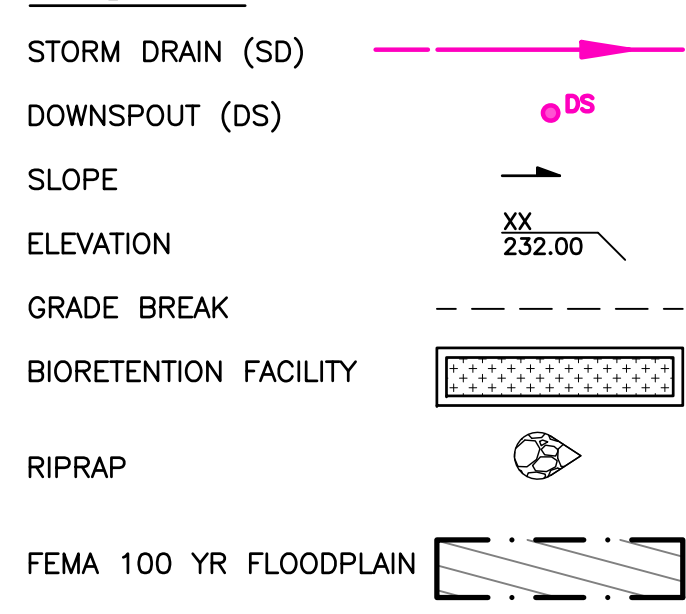
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**ABBREVIATIONS:**

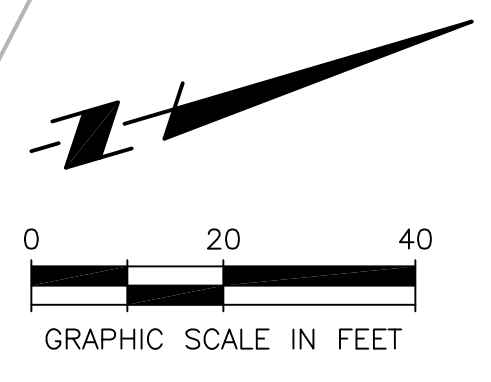
AC	ASPHALT CONCRETE
AD	AREA DRAIN
APN	ASSESSOR'S PARCEL NUMBER
BASMAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION
BLDG	BLDG
BOT	BOTTOM
CN	CURVE NUMBER
CO	CLEANOUT
CONC	CONCRETE
CONF	CONFORM
DI	DRAIN INLET
DS	DOWNSPOUT
DMA	DRAINAGE MANAGEMENT AREA
(E)	EXISTING
EG	EXISTING GRADE
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FS	FINISH SURFACE
GB	GRADE BREAK
HWY	HIGHWAY
LIDF	LOW IMPACT DEVELOPMENT FACILITY
LL	LOWER LEVEL
LLA	LOT LINE ADJUSTMENT
OR	OVERFLOW RISER
PD	PLANTER DRAIN
PIP	PROTECT IN PLACE
PU	PUBLIC UTILITIES
SB	SETBACK
SD	STORM DRAIN
SF	SQUARE FEET
SRA	SELF-RETAINING AREA
SSMH	SANITARY SEWER MANHOLE STANDARD
STD	STANDARD
TCC	TOP OF CONCRETE
TC	TOP OF CONCRETE CURB
TG	TOP OF GRADE
TP	TOP OF PAVEMENT
TYP	TYPICAL
UL	UPPER LEVEL
VIF	VERIFY IN FIELD
WV	WATER VALVE

**GRADING & DRAINAGE LEGEND**

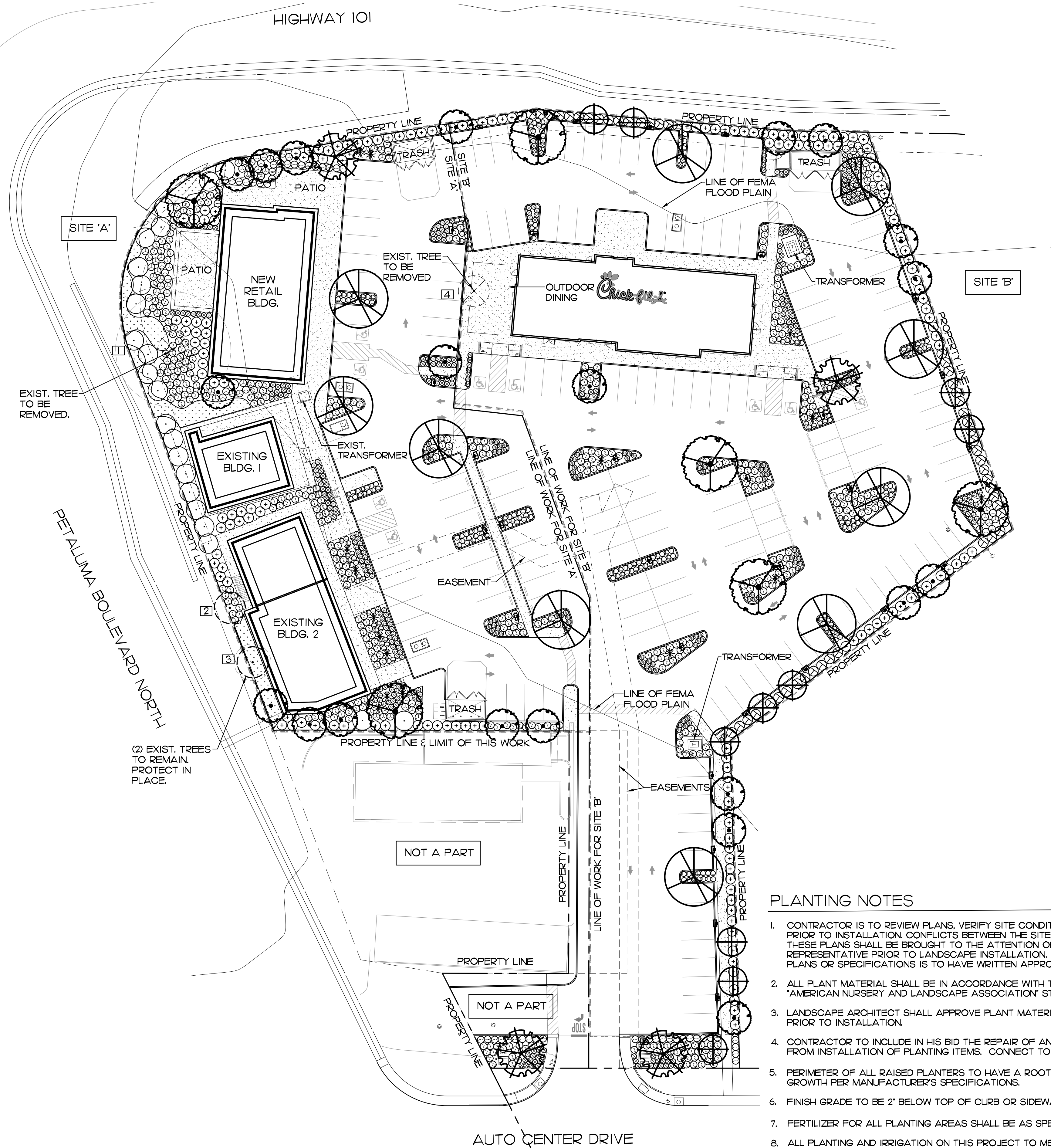


**NOTES:**

- REFER TO LANDSCAPE & OVERALL SITE PLAN FOR LANDSCAPING, SITE SURFACING.
- REFER TO OVERALL SITE PLAN FOR PARKING DIMENSIONS, STRIPING & SIGNAGE.
- NEW SS STRUCTURES WILL CONNECT TO EXISTING SANITARY SEWER.
- A GREASE INTERCEPTOR IS PROPOSED FOR EACH BUILDING, REFER TO OVERALL SITE PLAN FOR LOCATIONS.
- TRASH ENCLOSURE DRAINS WILL CONNECT TO EXISTING SANITARY SEWER.
- CURBED PLANTERS SHALL BE DEPRESSED 6" BELOW EXISTING GRADE. EXTERIOR CURBS SHALL BE RAISED 6" ABOVE EXISTING GRADE. CURB CUTS SHALL BE PROVIDED TO ALLOW STORMWATER TO ENTER THE PLANTER AREAS.



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**I PRELIMINARY LANDSCAPE PLAN**  
SCALE: 1" = 30'-0"

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS IV REGION I
<b>TREES</b>						
	ARBUTUS 'MARINA'	STRAWBERRY TREE CULTIVAR	24" BOX	6	STANDARD EVERGREEN	L
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX 15 GAL (15 GAL AT PARKING LOT PERIMETER)	11	MULTI-TRUNK DECIDUOUS	VL
	LAIUS NOBILIS 'SARATOGA'	SWEET BAY	15 GAL	10	STANDARD EVERGREEN	L
	PISTACIA 'RED PUSH'	CHINESE PISTACHE CULTIVAR	24" BOX	4	STANDARD DECIDUOUS	M
	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24" BOX	10	STANDARD DECIDUOUS	M
	TYP. EXISTING TREE TO BE REMOVED (2 TOTAL), SEE LISTING THIS SHEET.					
	TYP. EXISTING TREE TO REMAIN (2 TOTAL), SEE LISTING THIS SHEET.					

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS IV REGION I
<b>SHRUBS</b>						
	AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL.	18	AS SHOWN	VL
	ARISTIDA PURPUREA	PURPLE THREE-AWN	5 GAL.	117	2'-6" O.C.	L
	BERBERIS THUNBERGII 'LIMEGLOW'	JAPANESE BARBERRY	5 GAL.	65	5'-0" O.C.	M
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL.	100	3'-6" O.C.	M
	DIANELLA X 'COOL VISTA'	BLACK ANTHUR FLAX LILY HYBRID	5 GAL.	176	2'-6" O.C.	L
	EUCALYPTUS 'MOON LAGOON'	NCN	5 GAL.	22	8'-0" O.C.	L
	FRANGULA CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL.	173	5'-0" O.C.	L
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL.	87	2'-6" O.C.	L
	LEYMUS CONDENSATUS 'CANYON PRINCE'	WILD RYE	5 GAL.	230	2'-6" O.C.	L
	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE CHINESE PRIVET	5 GAL.	52	3'-6" O.C.	L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.	406	3'-6" O.C.	L
<b>GROUNDCOVERS</b>						
	CEANOTHUS G. H. 'YANKEE POINT'	NCN	5 GAL.	1,582 SF.	5'-0" O.C.	L

**PLANTING NOTES**

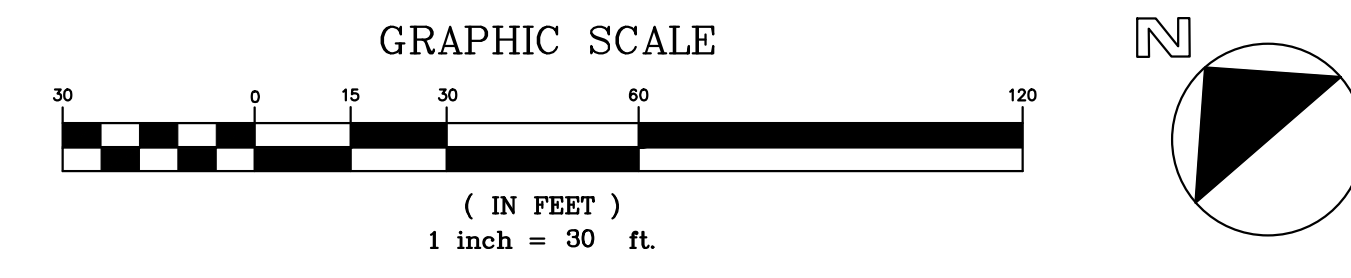
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF 'AMERICAN NURSERY AND LANDSCAPE ASSOCIATION' STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- PERIMETER OF ALL RAISED PLANTERS TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2' BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 2" MINIMUM MULCH COVER.
- ALL PLANTING AREAS SHALL BE IRRIGATED WITH SUB-GRADE BUBBLERS FOR TREES AND DRIPLINE OR DRIP EMITTERS FOR SHRUBS/GROUND COVERS. CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND TIED INTO AN AUTOMATIC IRRIGATION 'SMART' CONTROLLER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS ARE ALLOWED.

**EXISTING TREE LEGEND**

BOTANICAL NAME	COMMON NAME	HGT./CALIPER	ACTION
1 ULMUS PUMILA	SIBERIAN ELM		REMOVE
2 LAGERSTROEMIA SP.	GRAPE MYRTLE		REMAIN
3 YUCCA SP.	YUCCA		REMAIN
4 EUCALYPTUS SP.	EUCALYPTUS		REMOVE

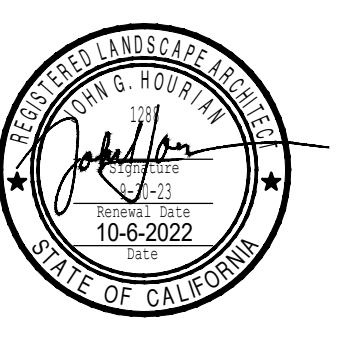
**LANDSCAPE CALCULATIONS**

AREA 'A' SHRUB & GROUNDCOVER AREA:	12,875 S.F.
AREA 'B' SHRUB & GROUNDCOVER AREA:	10,469 S.F.
TURF AREA:	0 S.F.
TOTAL LANDSCAPE AREA:	23,344 S.F.



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revisions:  
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5004 PETALUMA BLVD. NORTH  
PETALUMA, CA 94952

project:  
drawn by: VBUJH  
date: 10-6-2022

sheet name:  
PRELIMINARY  
LANDSCAPE PLAN

sheet no:  
**L1.0**

Appendix B – Sample Water Efficient Landscape Worksheet.

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) 39.6							
Hydrozone # Planting Description*	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Areas</b>							
TREES - MOD	0.40	BUBBLER	0.75	0.53	816	435.2	10,685
SHRUBS - LOW	0.30	DRIP	0.81	0.37	10,663	3,949.3	96,962
SHRUBS - MOD	0.40	DRIP	0.81	0.49	10,665	5,365.4	131,732
					Totals	(A)	(B)
					22,344	9,749.9	
<b>Special Landscape Areas</b>							
					1		
					1		
					1		
					Totals	(C)	(D)
					22,344	9,749.9	
ETWU Total							239,379
Maximum Allowed Water Allowance (MAWA) <sup>†</sup>							246,665

\*Hydrozone #/Planting Description  
 1) front lawn  
 2) low water use plantings  
 3) medium water use plantings

†Irrigation Method  
 overhead spray  
 or drip

‡Irrigation Efficiency  
 0.75 for spray head  
 0.81 for drip

§ETWU (Annual Gallons Required) =  
 Eto x 0.62 x ETAF x Area  
 where 0.62 is a conversion  
 factor that acre-inches per  
 acre per year to gallons per  
 square foot per year.

†MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA)  
 + ((1-ETAF) x SLA)]  
 where 0.62 is a conversion factor that acre-inches per  
 acre per year to gallons per square foot per year. LA is  
 the total landscape area in square feet. SLA is the total  
 special landscape area in square feet.  
 and ETAF is .55 for residential areas and 0.45 for non-  
 residential areas.

**ETAF Calculations**

**Regular Landscape Areas**

Total ETAF x Area	(B)	9,749.9
Total Area	(A)	22,344
Average ETAF	B ÷ A	0.436

Average ETAF for Regular Landscape Areas must  
 be 0.65 or below for residential areas, and 0.45 or  
 below for non-residential areas.

**All Landscape Areas**

Total ETAF x Area	(B+D)	9,749.9
Total Area	(A+C)	22,344
Sitewide ETAF	(B+D) ÷ (A+C)	0.436

**MAINTENANCE MANUAL**

THIS MANUAL TO BE KEPT AT THE CONTROLLER LOCATION  
 AT ALL TIMES.

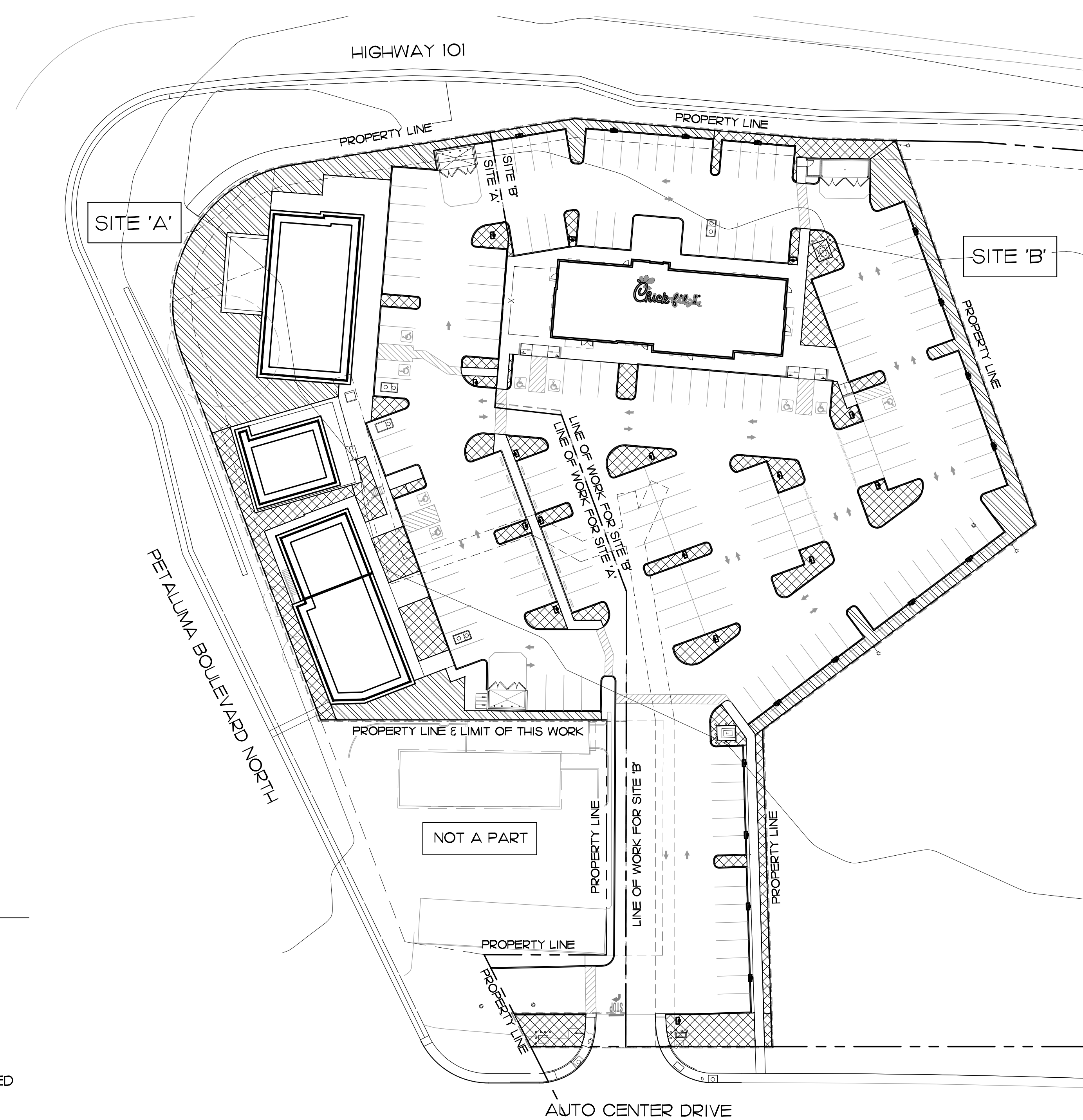
**IRRIGATION SYSTEMS:**

1. AUTOMATIC CONTROLLER TO BE CHECKED MONTHLY BY LANDSCAPE MAINTENANCE FOREMAN AND CHECKED WEEKLY BY MAINTENANCE CREW LEADER, TO PROVIDE OPTIMUM PLANT GROWTH AND WATER CONSERVATION. (IF SMART CONTROLLER IS IN USE, CHECK ELECTRICAL POWER ONLY)
2. LANDSCAPE MAINTENANCE CONTRACTOR TO CHECK ALL SYSTEMS ONCE PER MONTH BY TURNING ON EACH SYSTEM MANUALLY.
3. LANDSCAPE MAINTENANCE CONTRACTOR TO VISUALLY CHECK ALL SYSTEMS EVERY WEEK DURING MAINTENANCE OF LANDSCAPE.
4. ALL IRRIGATION FILTERS AT THE WYE STRAINER (AT THE BACKFLOW DEVICE) AND ALL FILTERS AT THE DRIP IRRIGATION VALVES TO BE CLEANED MONTHLY OR AS NEEDED.
5. CHECK RAIN SHUT OFF DEVICE AT THE BEGINNING OF THE RAINY SEASON AND RE-CALIBRATE AS NEEDED. MAKE SURE DEVICE IS CLEAN, FREE OF ANY DEBRIS, AND IN GOOD WORKING ORDER.
6. BACKFLOW DEVICE TO BE VISUALLY CHECKED ON A MONTHLY BASIS. TEST AND RE-CERTIFY ANNUALLY AS PER ALL CODES AND ORDINANCES.
7. SCHEDULE ALL SPRAY SYSTEMS TO RUN ONLY BETWEEN THE HOURS OF 2:00 AM AND 9:00 AM.
8. ON A MONTHLY BASIS, FLUSH ALL DRIP SYSTEM LINES AND CHECK VALVE BOXES TO SEE THAT THEY DRAIN PROPERLY. CLEAN OUT ANY DEBRIS, MUD OR PLANT GROWTH ANNUALLY.
9. TWICE A YEAR CHECK ALL QUICK COUPLERS AND MAKE ALL REPAIRS AS NECESSARY. REPLACE PEA GRAVEL IN VALVE BOXES AS NEEDED.
10. COVER OR PROTECT ALL BACKFLOW DEVICES DURING FREEZING WEATHER.
11. OWNER TO PROVIDE FOR A WATER AUDIT EVERY FIVE YEARS FROM OPENING OF STORE.

**WATER CONSERVATION STATEMENT**

WATER CONSERVATION IS ACHIEVED IN THIS LANDSCAPE CONSTRUCTION DOCUMENT AS DESCRIBED BELOW,

1. ALL PLANT MATERIALS SELECTED FOR THIS SITE ARE APPROPRIATE FOR THE GEOGRAPHICAL LOCATION AND LOCAL CLIMATE, AND THEIR ADAPTABILITY TO DROUGHT. DATA FROM WUCOLS III HAS BEEN USED FOR DETERMINING THE SPECIES' PLANT FACTOR FOR THE WATER USE CALCULATIONS.
2. PLANTS WITH SIMILAR WATER USE REQUIREMENTS ARE GROUPED TOGETHER.
3. THE MAJORITY OF LANDSCAPE AREAS ARE PLANTED WITH LOW WATER USE PLANTS, WITH THE BALANCE IN MODERATE WATER USE PLANTS. NO HIGH WATER USE PLANTS ARE USED.
4. IRRIGATION SECTIONS: HYDROZONES ARE SEPARATED BY CONSIDERING PLANT SPECIES FACTOR, PLANT DENSITY AND MICROCLIMATE. IF LOW WATER USE PLANTS ARE MIXED WITH MODERATE WATER USE PLANTS IN THE SAME HYDROZONE, THE MODERATE WATER USE FACTOR IS USED FOR WATER USE CALCULATIONS. SEE HYDROZONE EXHIBIT.
5. THE IRRIGATION SYSTEM UTILIZES A LOW-VOLUME DISTRIBUTION SYSTEM WITH A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLLERS WITH CYCLE PLUS SOAK AND WATER BUDGETING CAPABILITY, WEATHER STATION, AND RAIN SHUT-OFF.
6. THE USE OF TURF IS ELIMINATED. ALL TREE, SHRUB AND GROUND COVER AREAS WILL BE DRESSED WITH A 3" LAYER OF MULCH FOR MOISTURE RETENTION AND TO DISCOURAGE WEEDS.
7. THERE ARE NO SPECIAL LANDSCAPE AREAS IN THIS PROJECT.



**I HYDROZONE PLAN**  
 SCALE: 1" = 40'-0"

HYDROZONE MAP		
SYMBOL	DESCRIPTION	AREA
	LOW WATER USE PLANTING	10,663 S.F.
	MODERATE WATER USE PLANTING	11,681 S.F.

LANDSCAPE CALCULATIONS	
SHRUB GROUND COVER AREA:	22,344 S.F.
TURF AREA:	0 S.F.
TOTAL LANDSCAPE AREA:	22,344 S.F.

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- revisions:
- △
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project:  
**5004 PETALUMA BLVD. NORTH  
 PETALUMA, CA 94952**

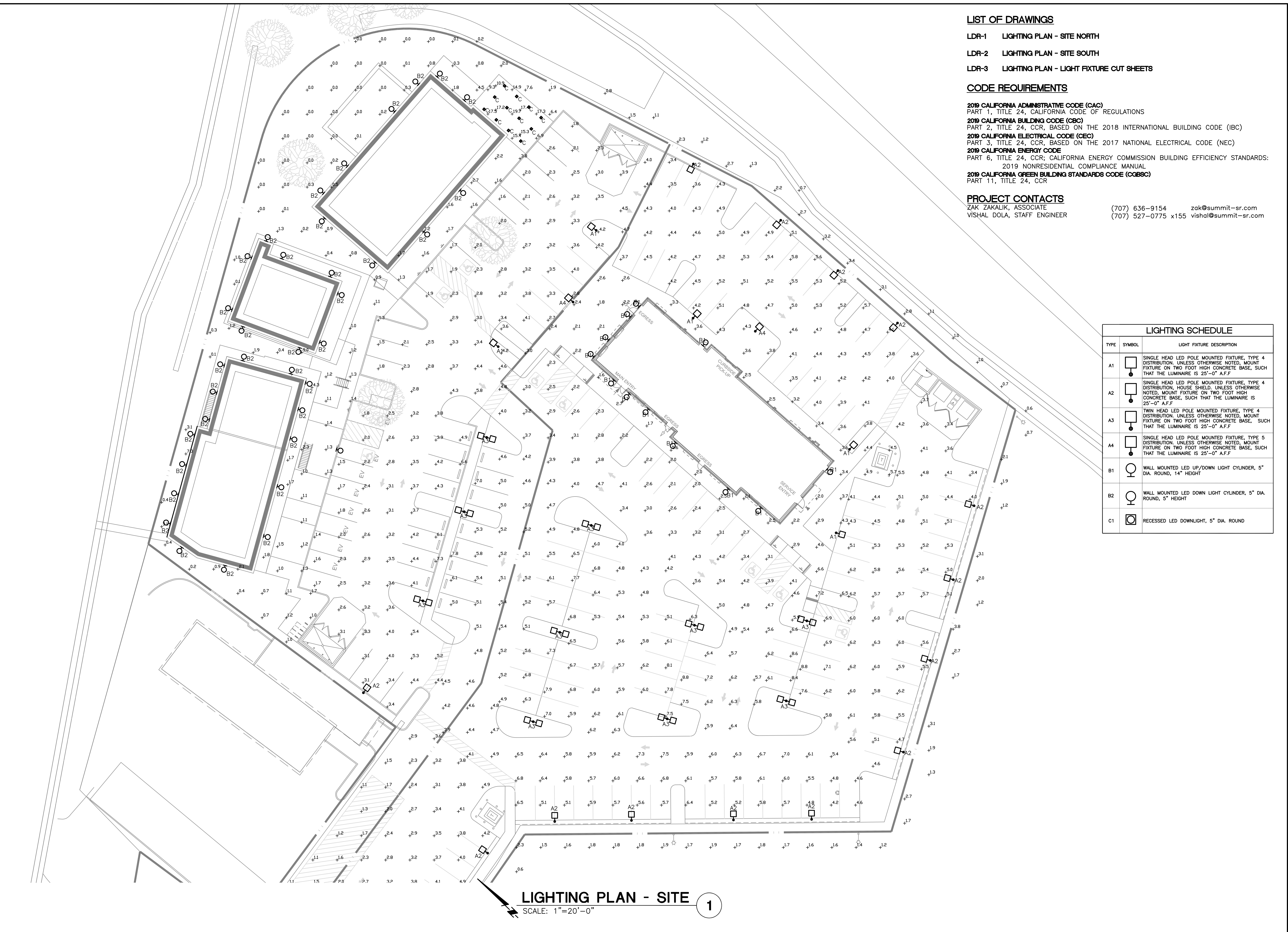
drawn by: mdm/JGH  
 date: 10-6-2022

sheet name:  
**PRELIMINARY WATER  
 CONSERVATION PLAN**

sheet no:

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**LIST OF DRAWINGS**

- LDR-1 LIGHTING PLAN - SITE NORTH
- LDR-2 LIGHTING PLAN - SITE SOUTH
- LDR-3 LIGHTING PLAN - LIGHT FIXTURE CUT SHEETS

**CODE REQUIREMENTS**

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)  
 PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS  
 2019 CALIFORNIA BUILDING CODE (CBC)  
 PART 2, TITLE 24, CCR, BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC)  
 2019 CALIFORNIA ELECTRICAL CODE (CEC)  
 PART 3, TITLE 24, CCR, BASED ON THE 2017 NATIONAL ELECTRICAL CODE (NEC)  
 2019 CALIFORNIA ENERGY CODE  
 PART 6, TITLE 24, CCR; CALIFORNIA ENERGY COMMISSION BUILDING EFFICIENCY STANDARDS:  
 2019 NONRESIDENTIAL COMPLIANCE MANUAL  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)  
 PART 11, TITLE 24, CCR

**PROJECT CONTACTS**

ZAK ZAKALIK, ASSOCIATE (707) 636-9154 zak@summit-sr.com  
 VISHAL DOLA, STAFF ENGINEER (707) 527-0775 x155 vishal@summit-sr.com

LIGHTING SCHEDULE		
TYPE	SYMBOL	LIGHT FIXTURE DESCRIPTION
A1		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A2		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, HOUSE SHIELD, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A3		TWIN HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A4		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 5 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
B1		WALL MOUNTED LED UP/DOWN LIGHT CYLINDER, 5" DIA. ROUND, 14" HEIGHT
B2		WALL MOUNTED LED DOWN LIGHT CYLINDER, 5" DIA. ROUND, 5" HEIGHT
C1		RECESSED LED DOWNLIGHT, 5" DIA. ROUND

**LIGHTING PLAN - SITE 1**  
 SCALE: 1"=20'-0"

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 707-527-0775 • www.summit-sr.com

**5002 PETALUMA BLVD  
 PETALUMA, CA 94952**

**LIGHTING DESIGN REVIEW**

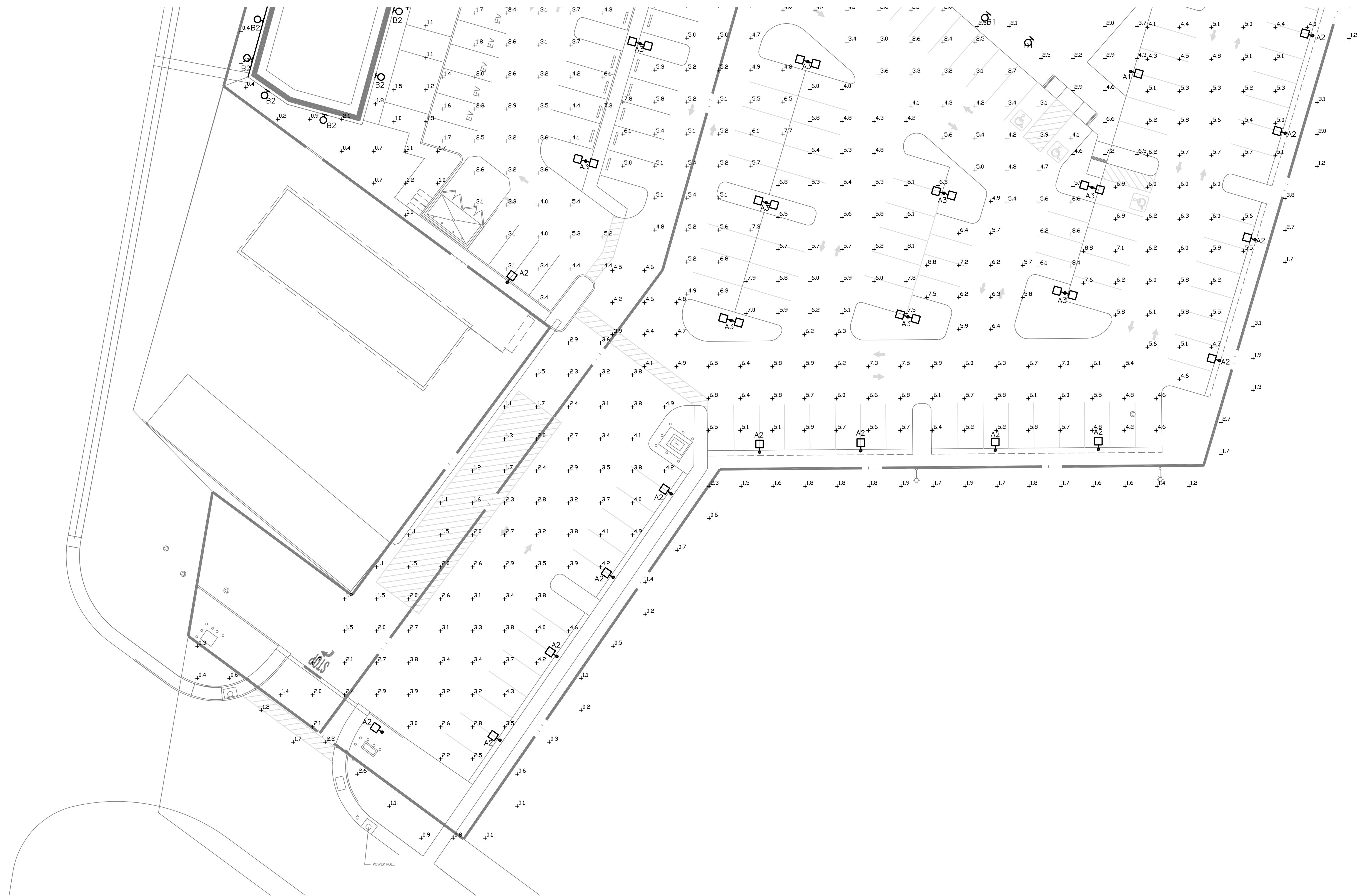
**LIGHTING PLAN -  
 SITE NORTH**

DESIGN REVIEW  
10/07/22

DATE: 10/07/2022  
 JOB NO: 2022086  
 SCALE: AS SHOWN  
 DRAWN: VD  
 CHECKED: ZZ  
 SHEET

**LDR-1**

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**SITE LIGHTING PLAN - SOUTH**

SCALE: 1"=20'-0"

1

**LIGHTING DESIGN REVIEW  
LIGHTING PLAN -  
SITE SOUTH**

DESIGN REVIEW  
10/07/22

DATE: 10/07/2022  
JOB NO: 2022086  
SCALE: AS SHOWN  
DRAWN: VD  
CHECKED: ZZ  
SHEET

**LDR-2**

**5002 PETALUMA BLVD  
PETALUMA, CA 94952**

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Summit Engineering, Inc  
4663 Aviation Blvd., Suite 200 • Santa Rosa, CA 95403  
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**PROGRESS LIGHTING** TYPE C Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

**Intrinsic** Recessed Housing Mounted - Wet Location Listed **PROGRESS LED**

**Description:**  
 Intrinsic Collection 5" - 6" 1000 lumen LED Recessed Trim

**Specifications:**

- Dimmable to 10% brightness (See Dimming Notes)
- 6 in of wire supplied
- Americans With Disabilities Act (ADA) compliant

**Performance:**


Input Power	11 W
Input Voltage	120VAC
Input Frequency	60 Hz
Lumens/LPW (Delivered)	1,354/107 (LM-F9)
CCT	3000 K
CRI	90 CRI
Life (hours)	50000 (L70/TM-21)
(LM/ft)	FCC Tab 47, Part 15, Class B
Warranty	5 Year Limited Warranty
Labels	cSAsus Wet Location Listed ENERGY STAR qualified

Meets California Title 24 (2019) 2019

Meets California Title 20

**Dimensions:**  
 Diameter: 7 7/8 in  
 Height: 3 3/8 in

**P800021-028-30**



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**PROGRESS LIGHTING** TYPE B1 Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

**P5675-31 Cylinder**

5" up/down cylinder/ outdoor luminaire in Black, with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with P800045 top cover lens.

- Black finish
- Powder coat finish
- Ideal for a wide variety of interior and exterior applications.
- Die cast aluminum wall brackets and heavy duty aluminum framing
- Wet location listed when used with P800045 top cover lens (sold separately)

**Category:** Outdoor  
**Finish:** Black (powder coat paint)  
**Construction:** cast aluminum Construction

Width: 5 in  
 Height: 14 in  
 Depth: 7 7/8 in  
 1/2" CTR: 7 in

**MOUNTING:** ELECTRICAL: LAMINAR: ADDITIONAL INFORMATION:

Wall mounted	Prewired	Quantity: two 75 W max. PAR-30 or BR-30 or LED equivalent	cSAsus Damp Location Listed
Mounting strap for outlet box included	6 inches of wire supplied	1-year Limited Warranty	

back plate covers a standard 4" recessed outlet box: 4.5" W"

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Project	_____	Catalog #	_____	Type	_____
Prepared by	_____	Notes	_____	Date	_____

**Lumark** TYPE A1, A2, A3, A4  
**Prevail Discrete LED**

Area / Site Luminaire

**Product Features**

- Luminaire Technology

**Product Certifications**



**Connected Systems**

- WaveLink

**Interactive Menu**

- Ordering Information page 2
- Mounting Details page 3
- Optical Configurations page 4
- Product Specifications page 4
- Energy and Performance Data page 5
- Control Options page 7

**Quick Facts**

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 41,000 nominal lumens (30W - 300W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 148 lumens per watt
- Standard universal quick mount arm with universal drill pattern

**Dimensional Details**



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**PROGRESS LIGHTING** TYPE B2 Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

**Cylinder** Wall Mounted - Wet Location Listed **PROGRESS LED**

**Description:**  
 5 downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum Cylinders offers a contemporary design with its sleek cylindrical form and elegant fade and chip resistant Antique Bronze finish, perfect for today's renewed exteriors. With over 700 lumens the LED Cylinders unite performance, energy savings and safety benefits.

**Specifications:**

- Antique Bronze finish
- Die cast aluminum construction with durable powder coated finish
- 4 1/2" lumens (4 lumens front delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficiency requirements for outdoor use only
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5" W
- 6 in of wire supplied

**Performance:**

Number of Modules	1
Input Power	14.9 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Delivered)	484/44 (LM-F9)
CCT	3000 K
CRI	90 CRI
Life (hours)	50000 (L70/TM-21)
(LM/ft)	FCC Tab 47, Part 15, Class B
Max. Operating Temp	30°C
Warranty	5 Year Limited Warranty
Labels	cSAsus Wet Location Listed

**Dimensions:**  
 Width: 5 in  
 Height: 2 1/2 in  
 Depth: 8 in  
 1/2" CTR: 2 1/2 in

**P5674-20/30K**



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**PROGRESS LIGHTING** TYPE B2 Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_  
 Location: \_\_\_\_\_  
 Contact: \_\_\_\_\_

**Cylinder** Wall Mounted - Wet Location Listed **PROGRESS LED**

**Description:**  
 5 downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum Cylinders offers a contemporary design with its sleek cylindrical form and elegant fade and chip resistant Antique Bronze finish, perfect for today's renewed exteriors. With over 700 lumens the LED Cylinders unite performance, energy savings and safety benefits.

**Specifications:**

- Antique Bronze finish
- Die cast aluminum construction with durable powder coated finish
- 4 1/2" lumens (4 lumens front delivered)
- 3000K color temperature, 90+ CRI
- Meets California Title 24 high efficiency requirements for outdoor use only
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" recessed outlet box: 4.5" W
- 6 in of wire supplied

**Performance:**

Number of Modules	1
Input Power	14.9 W
Input Voltage	120 V
Input Frequency	60 Hz
Lumens/LPW (Delivered)	484/44 (LM-F9)
CCT	3000 K
CRI	90 CRI
Life (hours)	50000 (L70/TM-21)
(LM/ft)	FCC Tab 47, Part 15, Class B
Max. Operating Temp	30°C
Warranty	5 Year Limited Warranty
Labels	cSAsus Wet Location Listed

**Dimensions:**  
 Width: 5 in  
 Height: 2 1/2 in  
 Depth: 8 in  
 1/2" CTR: 2 1/2 in

**P5674-20/30K**



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**Lumark** TYPE A1, A2, A3, A4  
**Prevail Discrete LED**

Area / Site Luminaire

**Ordering Information**

SAMPLE NUMBER: **PRV-XL-PA40-740-U-T4W-02**

Product Family 1	Configuration	Color Temperature	Voltage	Distribution	Mounting	Finish
PRV-XL-PA40-740-U-T4W-02	4-LED Round	4000K	120V/277V	150° Beam	1-1/2" Mounting Arm	Black
PRV-XL-PA40-740-U-T4W-02	4-LED Round	4000K	120V/277V	150° Beam	1-1/2" Mounting Arm	Black
PRV-XL-PA40-740-U-T4W-02	4-LED Round	4000K	120V/277V	150° Beam	1-1/2" Mounting Arm	Black

**Notes:**

1. Luminaire is not dimmable unless otherwise specified.
2. Luminaire is not dimmable unless otherwise specified.
3. Luminaire is not dimmable unless otherwise specified.
4. Luminaire is not dimmable unless otherwise specified.
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**LumenSafe Integrated Network Security Camera Technology Options (ASG as Suffix)**

Technology Option	Camera	Camera	Camera
LumenSafe Technology	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p
	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p
	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p	4-Channel Camera, 4MP 1080p

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