

PETALUMA RETAIL REDEVELOPMENT

2 (E) BLDGS., (1) PROPOSED RETAIL, & PROPOSED CHICK-FIL-A

5002 N. PETALUMA BLVD.
PETALUMA, CA

ABBREVIATIONS

&Z

Angle

At

Centerline

~

Diameter or Round

#

Pound or Number

(E)

Existing

ACOUS

Acoustical

ADD

Area Drain

ADJ

Adjustable

AGGR

Aggregate

AL

Aluminum

APPROX

Approximate

ARCH

Architectural

ASB

Asbestos

ASPH

Asphalt

BD

Board

BLUM

Bluminaire

BLDG

Building

BLK

Block

BLKG

Blocking

BM

Beam

B.O.C

Bottom of Concrete

S.O.M

Bottom of Mullion

B.O.P

Bottom of Panel

B.O.R

Bottom of Reveal

BOT

Bottom

CAB

Cabinet

C.B

Catch Basin

CEM

Cement

CER

Ceramic

CI

Cast Iron

C.G

Corner Guard

CLG

Ceiling

CLG

Caulking

CLO

Close

CLR

Clear

C.O

Closed Opening

COL

Column

C.O.M

Center of Mullion

CONC

Concrete

CONN

Connection

CONSTR

Construction

CONT

Continuous

C.O.R

Center of Reveal

CORR

Corridor

CTSK

Countersunk

CNTR

Counter

CTR

Center

DBL

Double

DEPT

Department

D.F

Drinking Fountain

DET

Detail

DIA

Diameter

DM

Dimension

DISP

Dispenser

DN

Down

D.O

Door Opening

DR

Door

DWR

Drawer

DS

Downspout

D.S.P

Dry Standpipe

DWG

Drawing

E

East

EA

Expansion Joint

E.V

Elevation

ELEC

Electrical

ELEV

Elevator

EMER

Emergency

ENCL

Enclosure

E.P

Electrical Panelboard

EQ

Equal

EQPT

Equipment

E.W.C

Electric Water Cooler

EXST

Existing

EXPD

Exposed

EXP

Expansion

EXT

Exterior

F.A

Fire Alarm

F.B

Flat Bar

F.D

Floor Drain

F.F

Fire Extinguisher

F.E.C

Fire Extinguisher Cab

F.H.C

Fire Hose Cabinet

FIN

Finish

FL

Floor

FLASH

Flashing

FLUOR

Fluorescent

F.O.C

Face of Concrete

F.O.F

Face of Finish

F.O.M

Face of Mullion

F.O.S.H

Face of Sheathing

FRFR

Fireproof

FT

Full Size

FT

Foot or Feet

FTG

Footing

FLUR

Furring

FUT

Future

GA

Gauge

GALV

Galvanized

G.B

Grab Bar

GL

Glass

GR

Ground

GR

Grade

GYP

Gypsum

H.B

Hose Bibb

H.C

Hollow Core

HDWD

Hardwood

HDWE

Hardware

H.M

Hollow Metal

HORIZ

Horizontal

HR

Hour

HGT

Height

I.D

Inside Diameter (Dim.)

INSUL

Insulation

INT

Interior

J

Joint

JT

Joint

KIT

Kitchen

K.O

Knock Out

LAB

Laboratory

LAM

Laminate

LAV

Lavatory

LOCK

Locker

LT

Light

MAX

Maximum

M.C

Medicine

MECH

Mechanical

MEMB

Membrane

MET

Metal

MFR

Manufacturer

MH

Manhole

MIN

Minimum

MIR

Mirror

MISC

Miscellaneous

M.O

Masonry Opening

MTD

Mounted

MUL

Mullion

N

North

N.I.C

Not In Contract

NO

Number

NOM

Nominal

N.T.S

Not To Scale

O.A

Overall

Obs

Obscure

O.C

On Center

O.D

Outside Diameter (Dim.)

OFF

Office

OPNG

Opening

OPP

Opposite

P

Part

P.I.C

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Part

P.I.C

Part In Contract

NO



SITE PLAN KEYNOTES	
1	PROPERTY LINE
2	PROPOSED ASPHALT PAVING UPGRADE THROUGHOUT SITE
3	PROPOSED STANDARD PARKING STALLS
4	PROPOSED TRASH ENCLOSURE
5	PROPOSED ACCESSIBLE PARKING STALL
6	PROPOSED ACCESSIBLE ACCESS AISLE
7	PROPOSED ACCESSIBLE PARKING SIGNAGE
8	PROPOSED BUILDING
9	EXISTING BUILDING TO BE PAINTED TO MATCH NEW BUILDING SCHEME. REFER TO ELEVATIONS.
10	PROPOSED GREASE INTERCEPTOR
11	PROPOSED SITE LIGHTING
12	PROPOSED LANDSCAPE. REFER TO LANDSCAPE DRAWINGS
13	ACCESSIBLE PATH OF TRAVEL TO PUBLIC ROW. PEDESTRIAN PATH FINISH TO BE CONCRETE.
14	PROPOSED TRANSFORMER
15	PROPOSED LONG-TERM BIKE RACK
16	PROPOSED SHORT-TERM BIKE RACK
17	PROPOSED PATIO SEATING
18	PROPOSED CONCRETE SIDEWALK AND LANDSCAPE
19	EXISTING PG&E EASEMENT
20	PROPOSED TRANSFORMER. REFER TO CIVIL
21	FLAG POLE

PROJECT DATA: PARCEL A

TOTAL SITE AREA:	3.09 AC
	134,514 SF
GROSS SITE AREA:	1.36 AC
	59,452 SF

BUILDING FOOTPRINT:

EXISTING BUILDING 1	5,400 SF
EXISTING BUILDING 2	1,800 SF
PROPOSED BUILDING-3	4,500 SF

BUILDING USE:

RETAIL/ RESTAURANT

TOTAL F.A.R.: 20%

REQUIRED PARKING:

RETAIL:	1/300 SF	29 STALLS
RESTAURANT:	1/2.5 SEATS	21 STALLS
		50 STALLS

PROPOSED PARKING:

RETAIL (COMPACT)	2 STALLS
RETAIL (STANDARD)	27STALLS
RESTAURANT:	21STALLS
TOTAL:	50 STALLS

ACCESSIBLE PARKING

REQUIRED:	2 STALLS
PROVIDED:	4 STALLS

EV AND CLEAN AIR PARKING:

REQUIRED EV:	8 STALLS
PROVIDED EV:	8 STALLS

LONG-TERM BICYCLE STORAGE:

REQUIRED:	4 RACKS
PROVIDED:	4 RACKS

SHORT-TERM BICYCLE STORAGE:

REQUIRED:	2 RACKS
PROVIDED:	2-RACKS

DEVELOPMENT STANDARDS:

ZONING: C2

MAX F.A.R.:

MAXIMUM:	1.20
PROPOSED:	.20

MAX BLDG HT.:

PROPOSED:	40'-0"
	36'-7"

LANDSCAPE:

REQUIRED:	10% (5,945)
PROVIDED:	22% (13,302 SF)

OFF-STREET PARKING:

STANDARD:	9' X 19'
COMPACT:	8' X 16'
COMPACT %:	30%
DRIVE AISLE:	22'-0"
OVERHANG:	2'-0"

REQUIRED PARKING RATIO BY USE:

RESTAURANT:	1/2.5 SEATS
RETAIL:	1/300 SF
OFFICE:	1/300 SF

¹Up to thirty (30) percent of the minimum required parking spaces may be reduced in size to accommodate compact cars.

PROJECT DATA: PARCEL B

TOTAL SITE AREA:	3.09 AC
	134,514 SF
GROSS SITE AREA:	1.73 AC
	75,202 SF

BUILDING FOOTPRINT:

CHICK-FIL-A BUILDING	5,112 SF
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BUILDING USE:

RETAIL/ RESTAURANT

TOTAL F.A.R.: 07%

REQUIRED PARKING:

RESTAURANT:	1/2.5 SEATS	27 STALLS
-------------	-------------	-----------

PROPOSED PARKING:

RESTAURANT(COMPACT):	8 STALLS
RESTAURANT(STANDARD):	122 STALLS
RETAIL:	130 STALLS

ACCESSIBLE PARKING

REQUIRED:	5 STALLS
PROVIDED:	7 STALLS

EV AND CLEAN AIR PARKING:

REQUIRED EV:	25 STALLS
PROVIDED EV:	25 STALLS

LONG-TERM BICYCLE STORAGE:

REQUIRED:	1 RACK
PROVIDED:	6 RACKS

SHORT-TERM BICYCLE STORAGE:

REQUIRED:	6 RACKS
-----------	---------

DEVELOPMENT STANDARDS:

ZONING: C2

MAX F.A.R.:

MAXIMUM:	1.20
PROPOSED:	.07

MAX BLDG HT.:

PROPOSED HT:	40'-0"
	20'-4"

LANDSCAPE:

REQUIRED:	10% (7,520)
PROVIDED:	15% (11,618 SF)

OFF-STREET PARKING:

STANDARD:	9' X 19'
COMPACT:	8' X 16'
COMPACT %:	30%
DRIVE AISLE:	22'-0"
OVERHANG:	2'-0"

REQUIRED PARKING RATIO BY USE:

RESTAURANT:	1/2.5 SEATS
RETAIL:	1/300 SF
OFFICE:	1/300 SF

architecture
planning
civil engineering
graphics
civil engineering
10 delman
ave. california 92618
petaluma
949.863.1381

WARE MALCOMB
Leading Design for Commercial Real Estate

PETALUMA RETAIL
5002 PETALUMA BLVD.
PETALUMA CALIFORNIA

OVERALL SITE PLAN

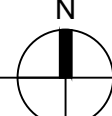
DATE	REMARKS	DATE	REMARKS
1 10/20/2022	SPAR SUBMITTAL		
2 03/27/2023	SPAR SUBMITTAL		
3 4/21/2023	SPAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

SHEET
A1.0



AERIAL CONTEXT MAP
SCALE: 1"=30'-0"



AERIAL CONTEXT MAP			
DATE	REMARKS	DATE	REMARKS
1 10/27/2022	SPAR SUBMITTAL		
2 03/27/2023	SPAR SUBMITTAL		
3 4/21/2023	SPAR SUBMITTAL		

PA / PM:	M.D.
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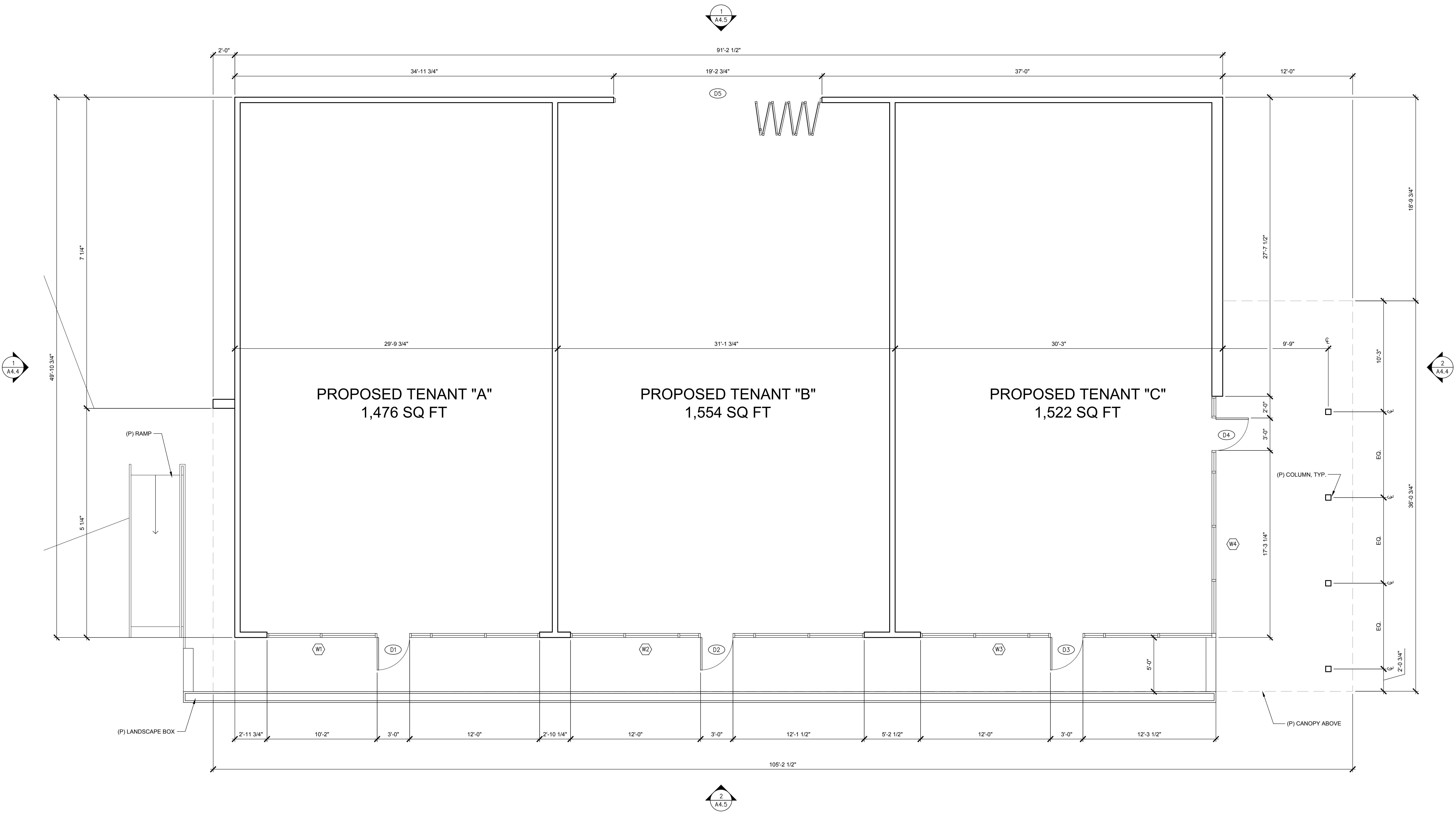
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PROPOSED BUILDING 3 FLOOR PLAN
SCALE: 1/4"=1'-0"

PROPOSED BUILDING 3 FLOOR PLAN			
DATE	REMARKS	DATE	REMARKS
1 10/27/2022	SPAR SUBMITTAL		
2 03/27/2023	SPAR SUBMITTAL		
3 4/21/2023	SPAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

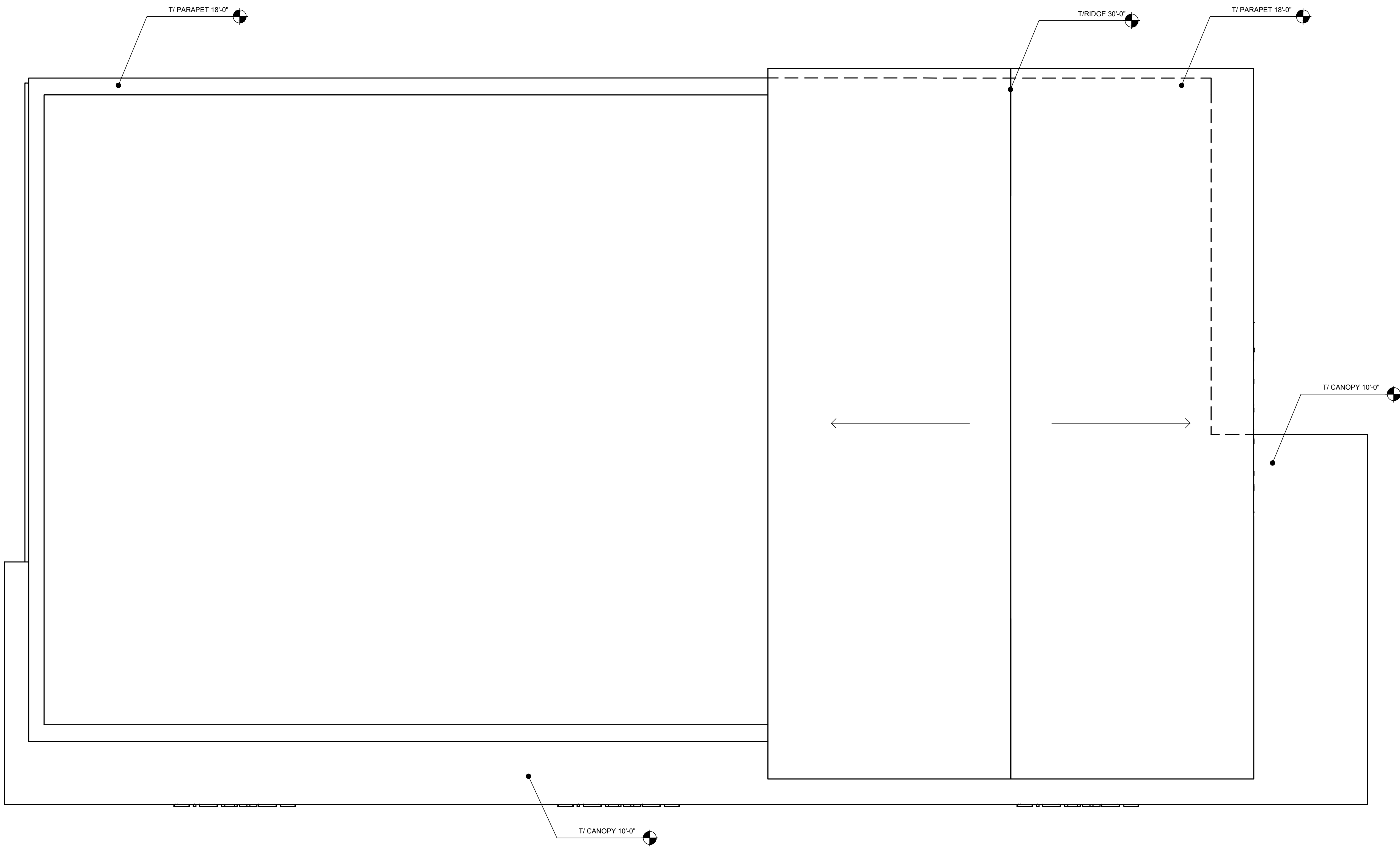
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PROPOSED BUILDING 3 ROOF PLAN
SCALE: 1/4"= 1'-0"

PROPOSED BUILDING 3 ROOF PLAN				
DATE	REMARKS	DATE	REMARKS	
1. 10/1/2022	SPAR SUBMITTAL			
2. 03/27/2023	SPAR SUBMITTAL			
3. 4/21/2023	SPAR SUBMITTAL			

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JOB NO.:	LAX22-0095-00

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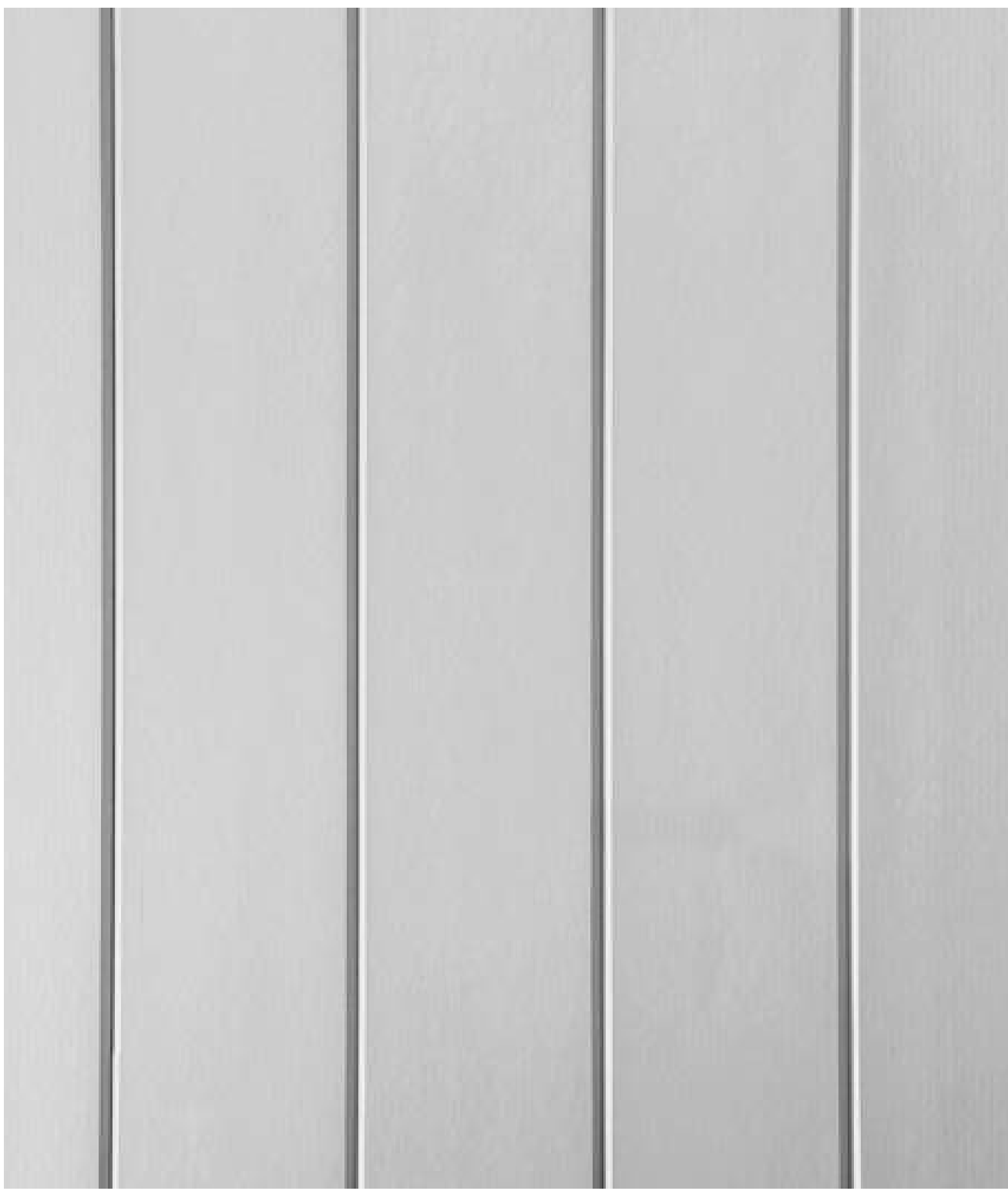
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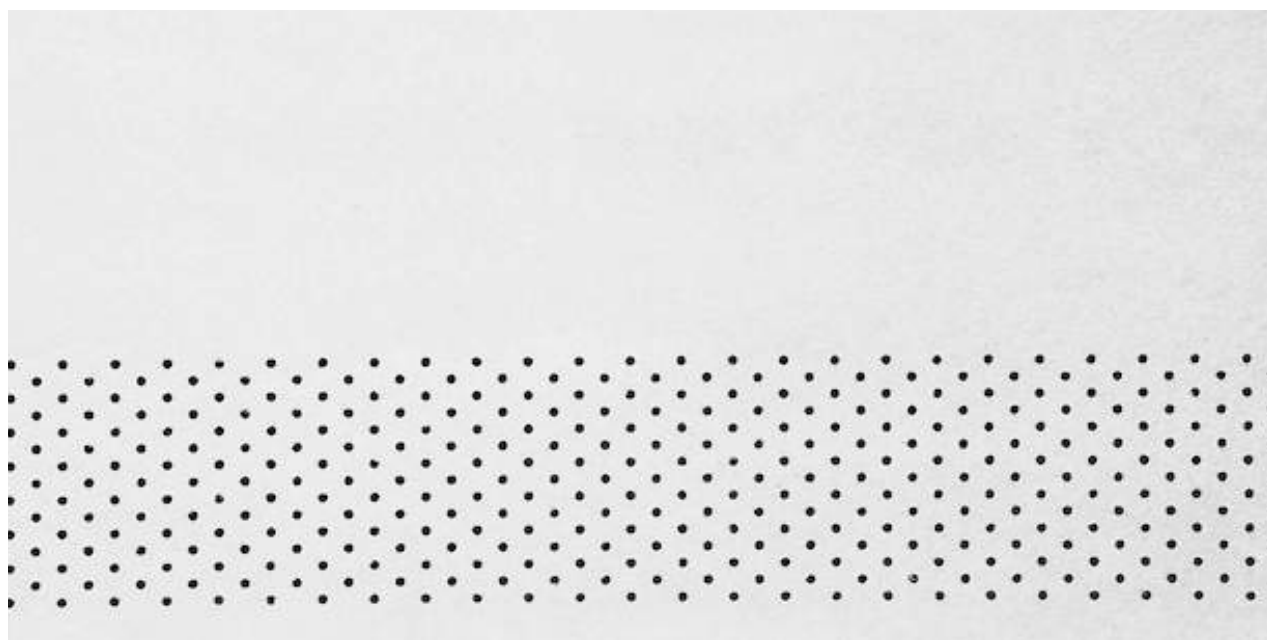
1 VISION GLASS
VITRO - SOLARBAN 60 (2) CLEAR + CLEAR



2 EXTERIOR SIDING
HARDIE - VERTICAL SIDING (SMOOTH)



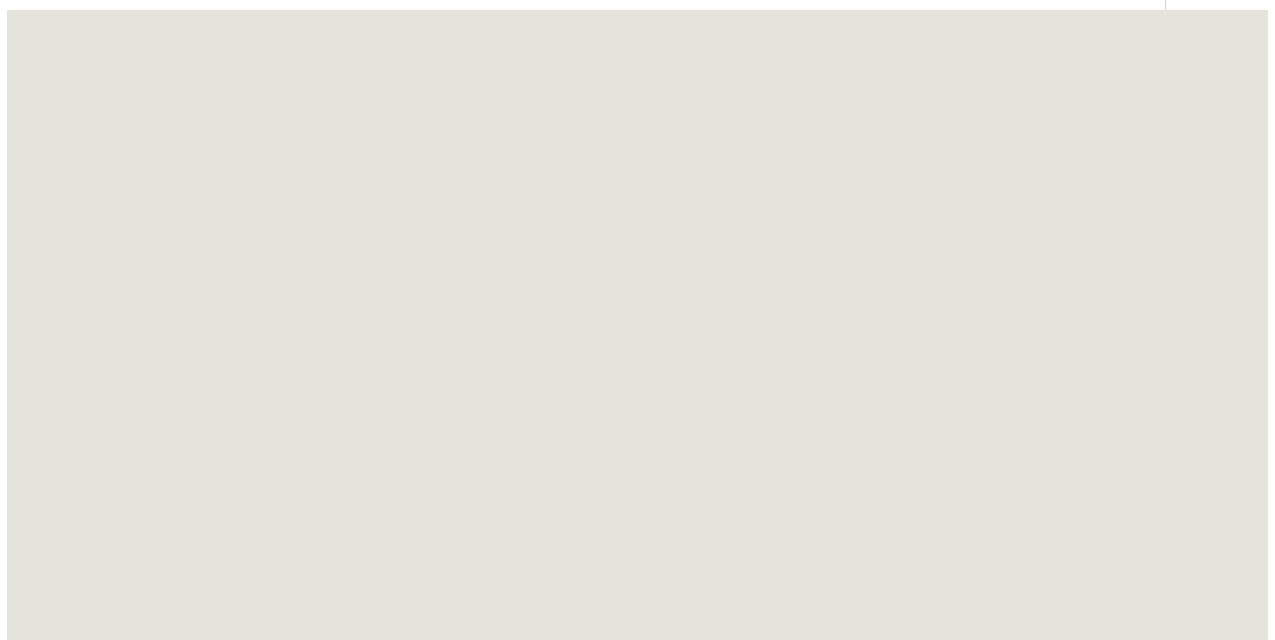
3 EXTERIOR SIDING
HARDIE - ARTISAN V-GROOVE SERIES



4 EXTERIOR SOFFIT
HARDIE - SOFFIT PANELS (SMOOTH)



6 EXTERIOR PAINT
SW 7069 IRON ORE



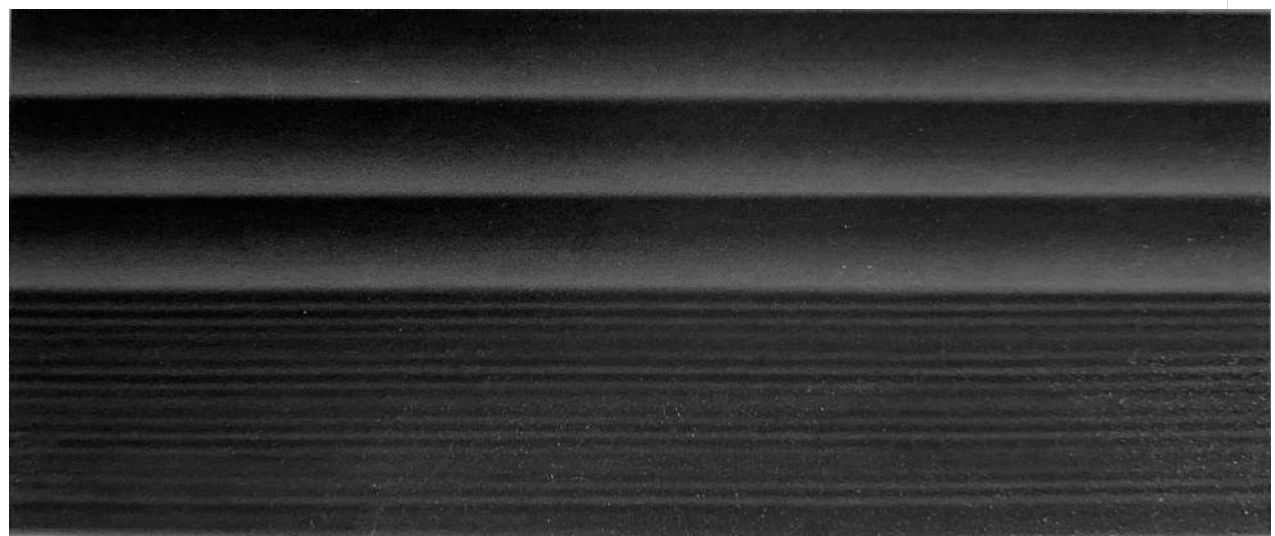
5 EXTERIOR PAINT
SW 6203 SPARE WHITE



7 EXTERIOR PAINT
PPG CAFE NOIR PEARL



8 CONCRETE
SAND BLAST FINISH



9 MULLION
ANODIZED ALUMINIUM WITH PPG CAFE NOIR PEARL



CONCEPTUAL RENDERING

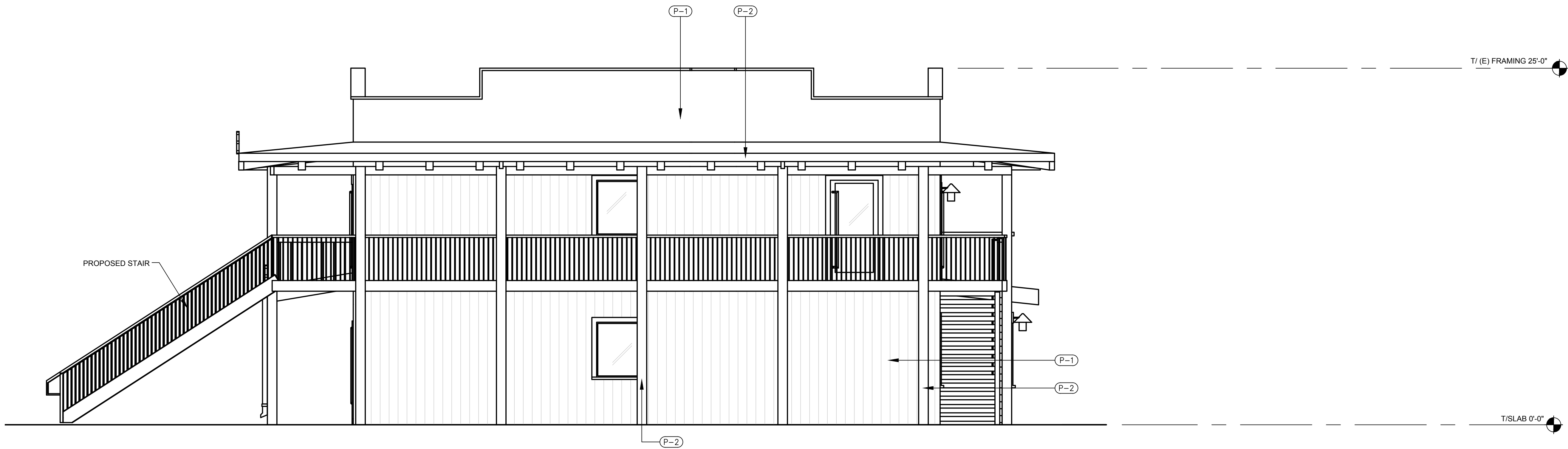
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1	10/07/2023	SPAR SUBMITTAL	51055.6	0 \$7 (5, \$ / %2 \$5'
2	03/27/2023	SPAR SUBMITTAL	51055.6	
3	04/21/2023	SPAR SUBMITTAL	51055.6	
4				
5				
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8				
9				

3 \$ 30.	M.D.
5 \$: 1 % <	M.P.
2 % 12	LAX22-0095-00

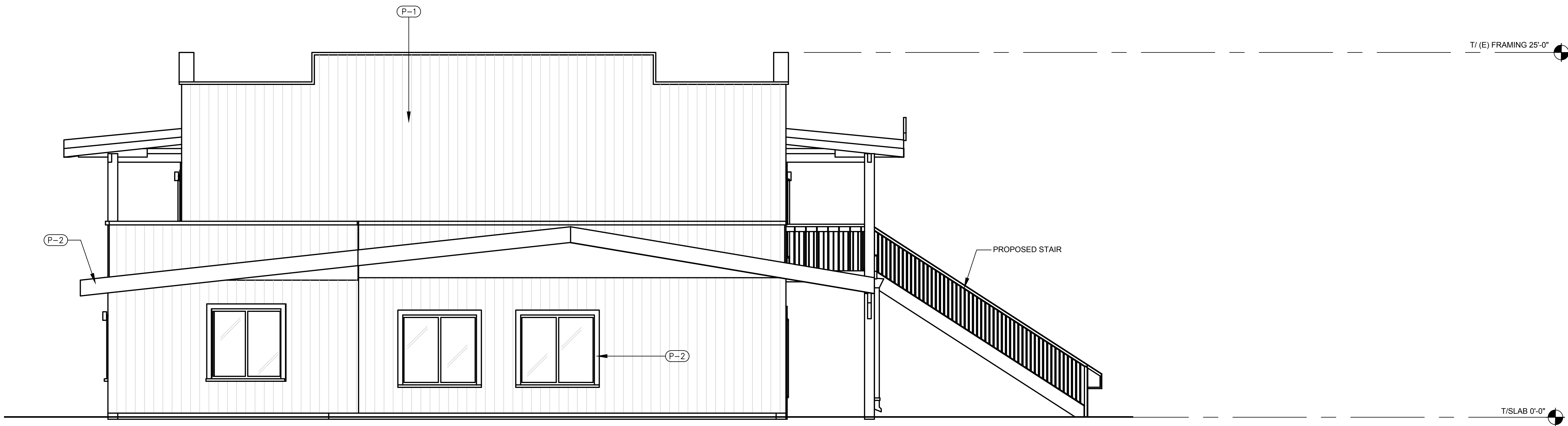
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\$



BUILDING 1- NORTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

B



BUILDING 1- SOUTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

A

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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EXTERIOR ELEVATIONS- BUILDING 1

DATE	REVISIONS	DATE	REMARKS
10/27/2023	SPAR SUBMITTAL		
01/27/2023	SPAR SUBMITTAL		
4/27/2023	SPAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

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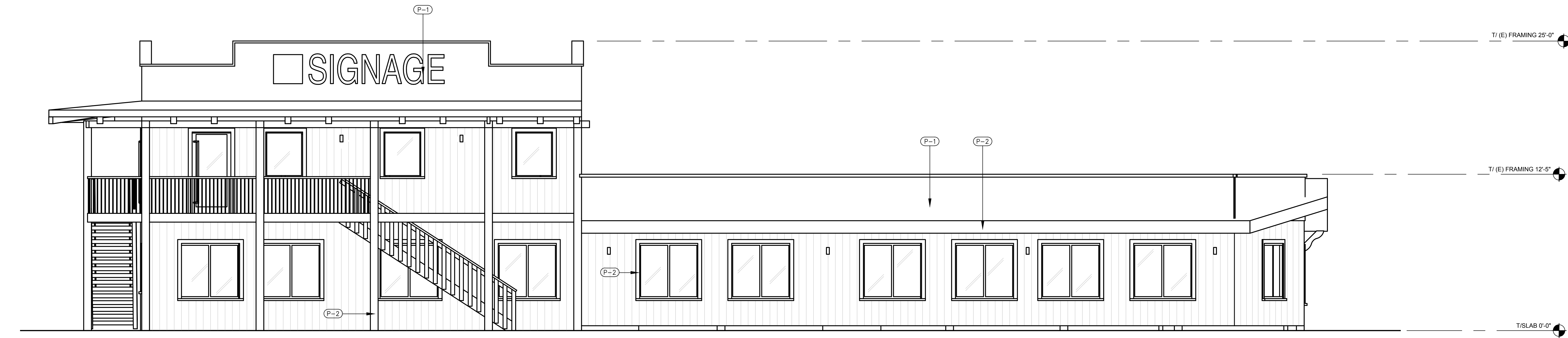
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BUILDING 1- EAST EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

B



BUILDING 1- WEST EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

A

FINISH SCHEDULE- EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

EXTERIOR ELEVATIONS- BUILDING 1

DATE	REMARKS	DATE	REMARKS
1. 10/07/2022	SPAR SUBMITTAL		
2. 07/27/2023	SPAR SUBMITTAL		
3. 07/27/2023	SPAR SUBMITTAL		

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PROPOSER



- SIGNAGE**
NEW SIGNAGE LOCATION
- STOREFRONT SYSTEM**
INCREASE OPENING SIZE AND REPLACE
STOREFRONT SYSTEM WITH HIGH PERFORMANCE
GLAZING WITH BLACK TRIM
- DOOR AND TRIM**
REPLACE WITH HIGH PERFORMANCE GLAZING
WITH BLACK TRIM

- 4 WINDOW GLAZING AND TRIM**
INCREASE OPENING AND REPLACE WITH HIGH PERFORMANCE GLAZING WITH BLACK TRIM
- 5 LIGHTING**
NEW COVE LIGHTING TO MATCH EXISTING ARCHITECTURAL AESTHETICS
- 6 PARAPET**
NEW PARAPET WALL TO OBSCURE BUILDING SYSTEMS ON THE ROOF

- 8** **STAIR**
NEW STAIR LOCATION WITH THE INCREASE
OF CONCRETE PAD IN FRONT OF MERCANTILE
FRONTAGE

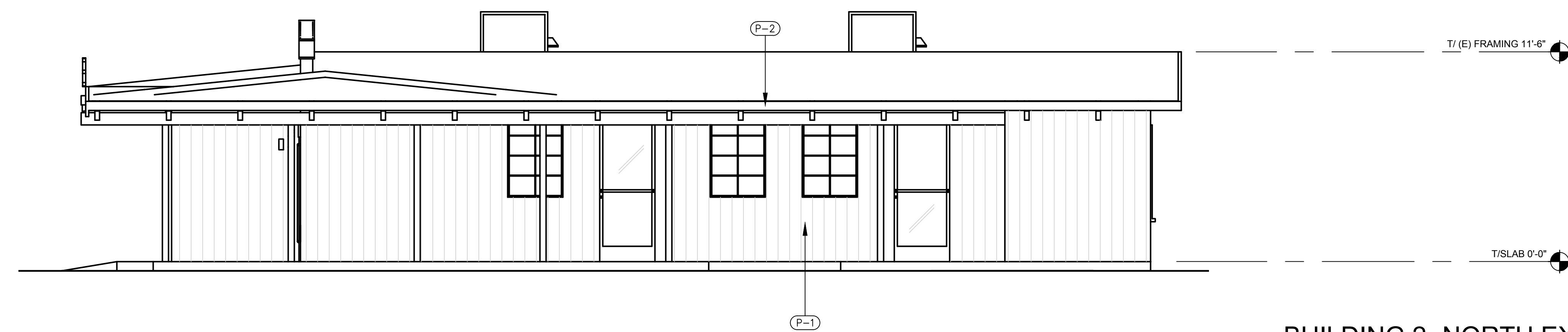
9 **HANDRAIL + GUARDRAIL**
REPAINT EXISTING HANDRAIL/GUARDRAIL WITH
NEW PAINT (PAINT 02 - SW 7069 IRONE ORE)
REPAIR/ REPLACE PART OF THE RAILING AS
NECESSARY

- 10 PAINT 01 (SW 6203 SPARE WHITE)
PAINT WITH SW 6203 SPARE WHITE
 - 11 PAINT 02 (SW7069 IRON ORE)
PAINT WITH SW 7069 IRON ORE
 - 12 PAINT 03 (PPG CAFE NOIR PEARL)
PAINT WITH PPG CAFE NOIR PEARL

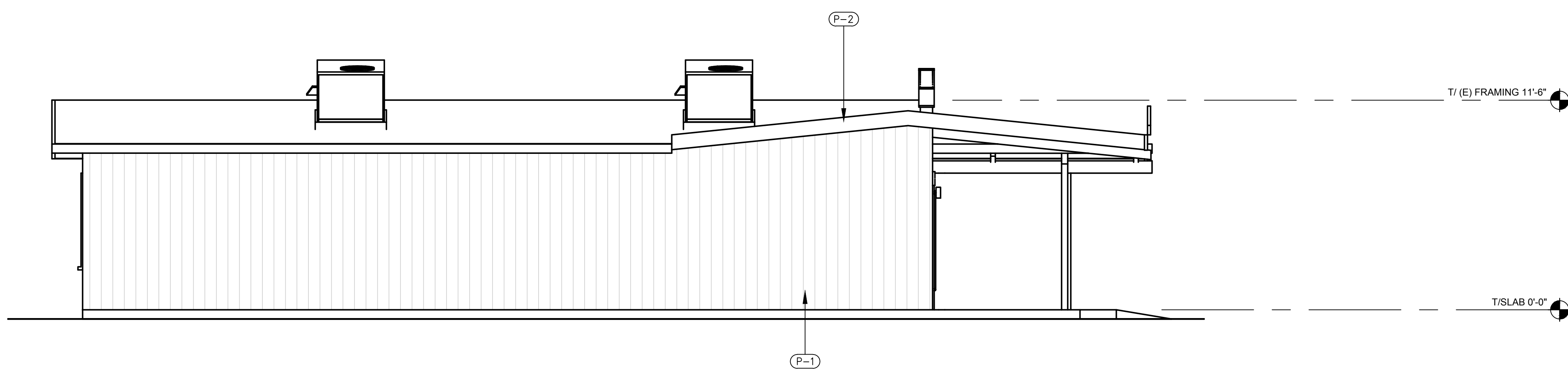
- 13 **VEGETATION**
NEW VEGETATION AND RELIEF ZONES TO
ENCOURAGE SOCIALIZATION
- 14 **CONCRETE PAD**
EXTEND CONCRETE PAD TO GENERATE FLEXIBLE
GATHERING SPACES
- 15 **PARKING**
RESTRIP PARKING LINES

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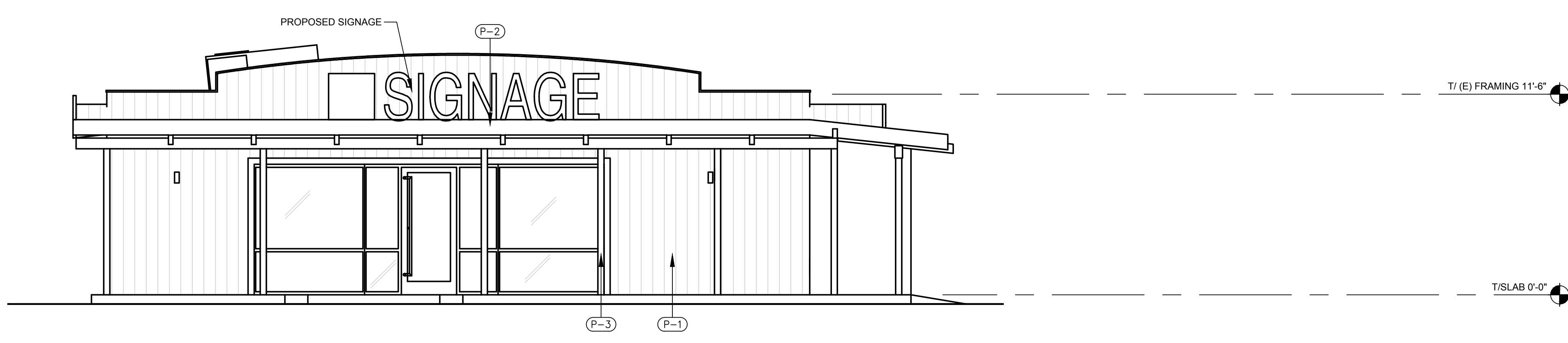
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DRAWN BY:	M.P.
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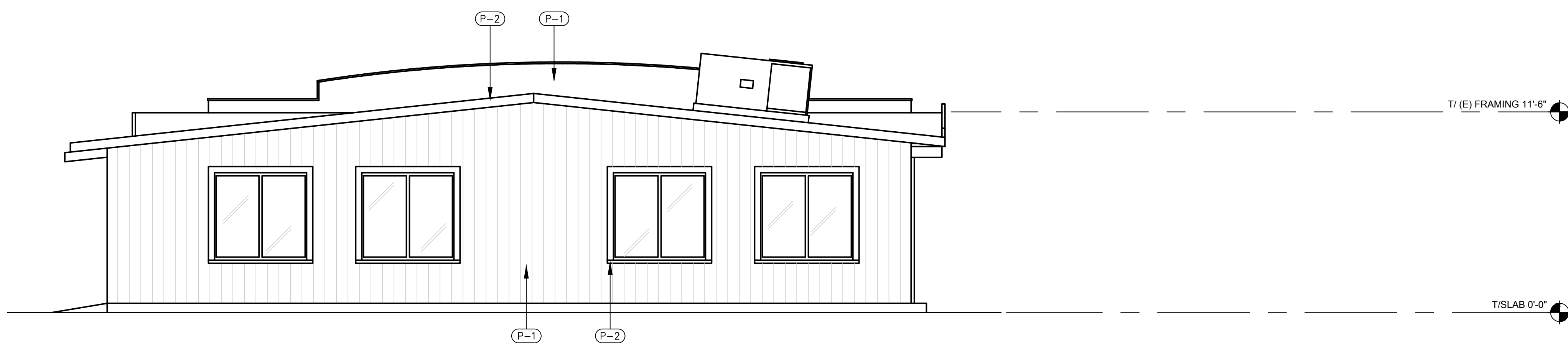
BUILDING 2- NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (D)



BUILDING 2- SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (C)



BUILDING 2- EAST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (B)



BUILDING 2- WEST EXTERIOR ELEVATION
SCALE: 1/4"=1'-0" (A)

FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

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EXTERIOR ELEVATIONS- BUILDING 2

DATE	REVISIONS	REMARKS	DATE	REMARKS
10/07/2023	SPAR SUBMITTAL			
01/27/2023	SPAR SUBMITTAL			
4/27/2023	SPAR SUBMITTAL			

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EXISTING



PROPOSED



KEYNOTES

- 1

SIGNAGE
NEW SIGNAGE LOCATION
- 2

STOREFRONT SYSTEM
INCREASE OPENING SIZE AND REPLACE
STOREFRONT SYSTEM WITH HIGH PERFORMANCE
GLAZING WITH BLACK TRIM
- 3

DOOR AND TRIM
REPLACE WITH HIGH PERFORMANCE GLAZING
WITH BLACK TRIM

- 4

WINDOW GLAZING AND TRIM
INCREASE OPENING AND REPLACE WITH HIGH
PERFORMANCE GLAZING WITH BLACK TRIM
- 5

LIGHTING
NEW COVE LIGHTING TO MATCH EXISTING
ARCHITECTURAL AESTHTICS
- 6

PARAPET
NEW PARAPET WALL TO OBSCURE BUILDING
SYSTEMS ON THE ROOF

- 8

STAIR
NEW STAIR LOCATION WITH THE INCREASE
OF CONCRETE PAD IN FRONT OF MERCANTILE
FRONTAGE
- 9

HANDRAIL + GUARDRAIL
REPAINT EXISTING HANDRAIL/GUARDRAIL WITH
NEW PAINT (PAINT 02 - SW 7069 IRONE ORE)
REPAIR/ REPLACE PART OF THE RAILING AS
NECESSARY

- 10

PAINT 01 (SW 6203 SPARE WHITE)
PAINT WITH SW 6203 SPARE WHITE
- 11

PAINT 02 (SW7069 IRON ORE)
PAINT WITH SW 7069 IRON ORE
- 12

PAINT 03 (PPG CAFE NOIR PEARL)
PAINT WITH PPG CAFE NOIR PEARL

- 13

VEGETATION
NEW VEGETATION AND RELIEF ZONES TO
ENCOURAGE SOCIALIZATION
- 14

CONCRETE PAD
EXTEND CONCRETE PAD TO GENERATE FLEXIBLE
GATHERING SPACES
- 15

PARKING
RESTRIP PARKING LINES

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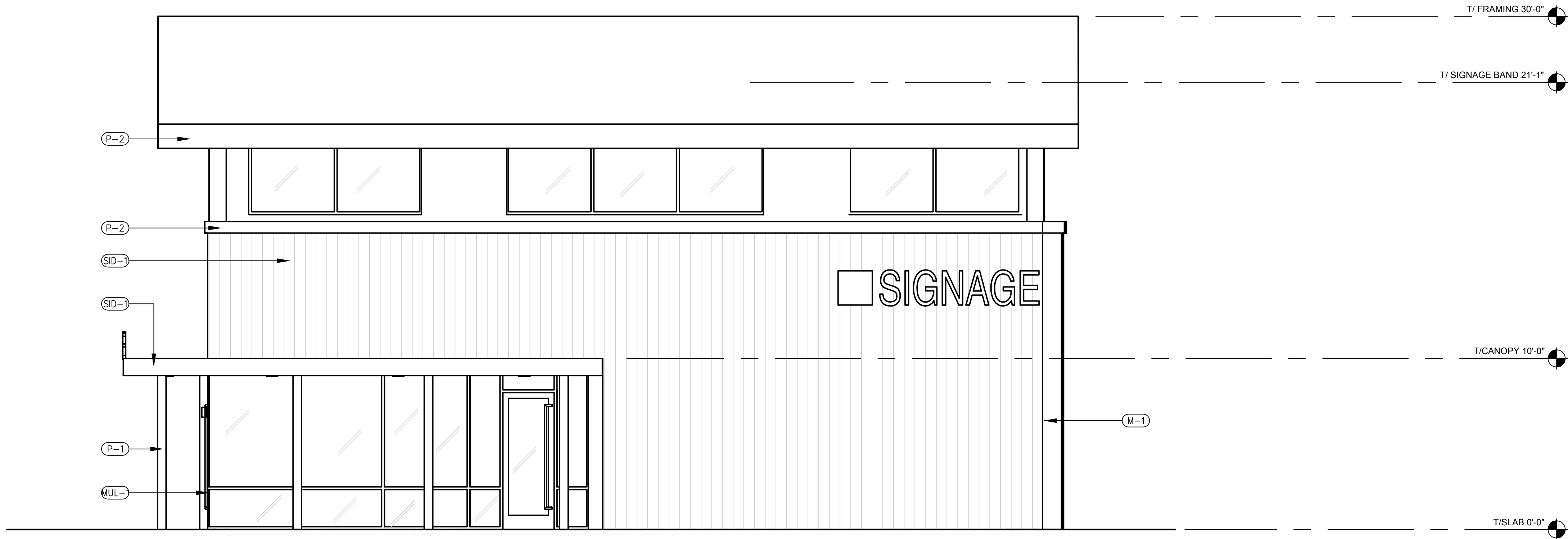
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DATE	REMARKS	DATE	REMARKS
1 10/07/2022	SPAR SUBMITTAL		
2 01/27/2023	SPAR SUBMITTAL		
3 4/21/2023	SPAR SUBMITTAL		

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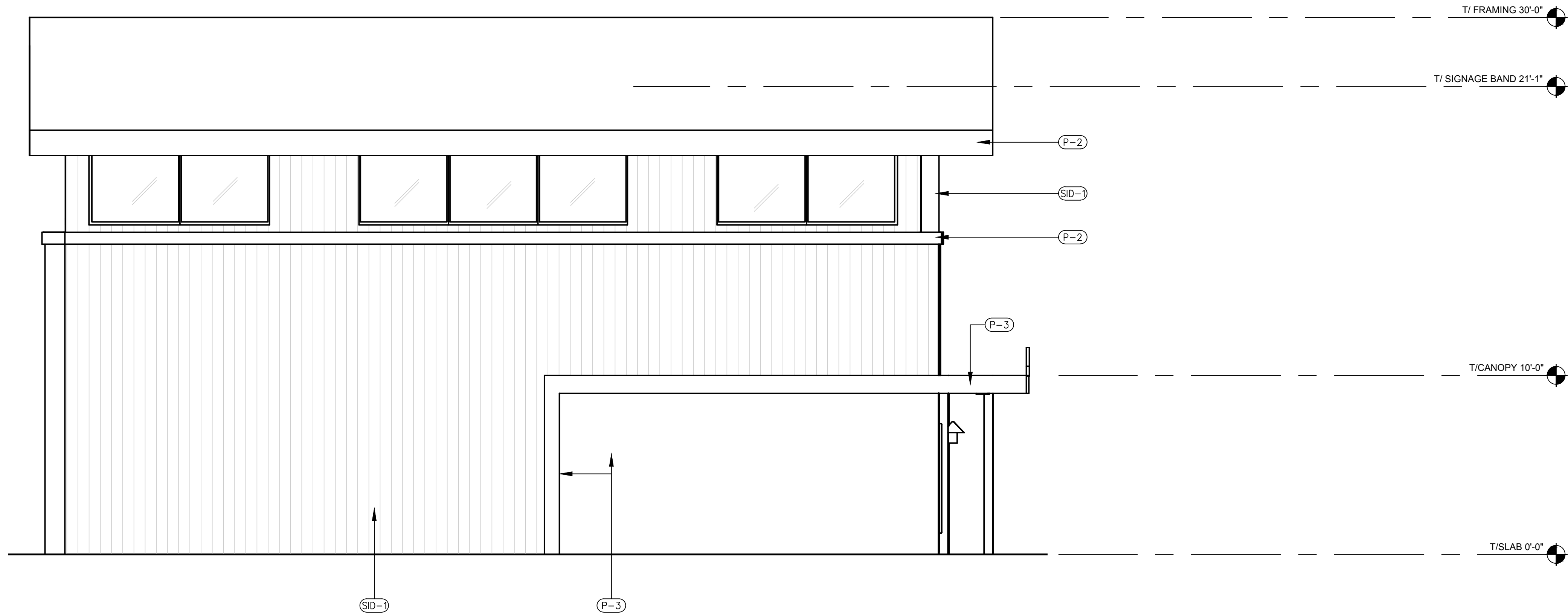
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BUILDING 3- NORTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

B



BUILDING 3- SOUTH EXTERIOR ELEVATION

SCALE: 1/4"=1'-0"

A

FINISH SCHEDULE- EXTERIOR

MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

EXTERIOR ELEVATIONS- BUILDING 3

DATE	REMARKS	DATE	REMARKS
1. 10/07/2022	SPAR SUBMITTAL		
2. 07/27/2023	SPAR SUBMITTAL		
3. 07/27/2023	SPAR SUBMITTAL		

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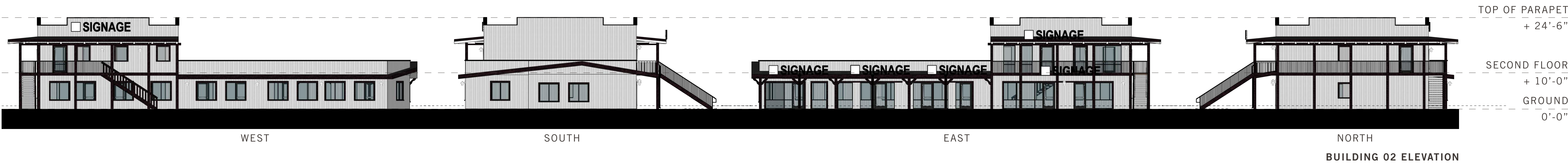
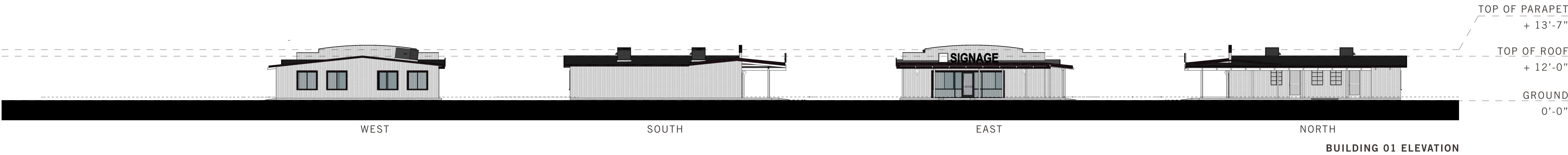
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FINISH SCHEDULE- EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	COLOR	NOTES
P-1	EXTERIOR PAINT	SHERWIN-WILLIAMS		SPARE WHITE	
P-2	EXTERIOR PAINT	SHERWIN-WILLIAMS		IRON ORE	
P-3	EXTERIOR PAINT	PPG	CAFE NOIR PEARL	CAFE NOIR PEARL	
MUL-1	STOREFRONT MULLION		ANODIZED ALUMINUM-	CAFE NOIR PEARL	
CONC-1	SAND BLAST FINISH				
SID-1	EXTERIOR SIDING	HARDIE	ARTISAN V-GROOVE SERIES	SPARE WHITE (P-1)	
SOFF-1	EXTERIOR SOFFIT	HARDIE	SOFFIT PANELS (SMOOTH)	SPARE WHITE (P-1)	
M-1	CUSTOM MURAL				

[illegible]

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DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00



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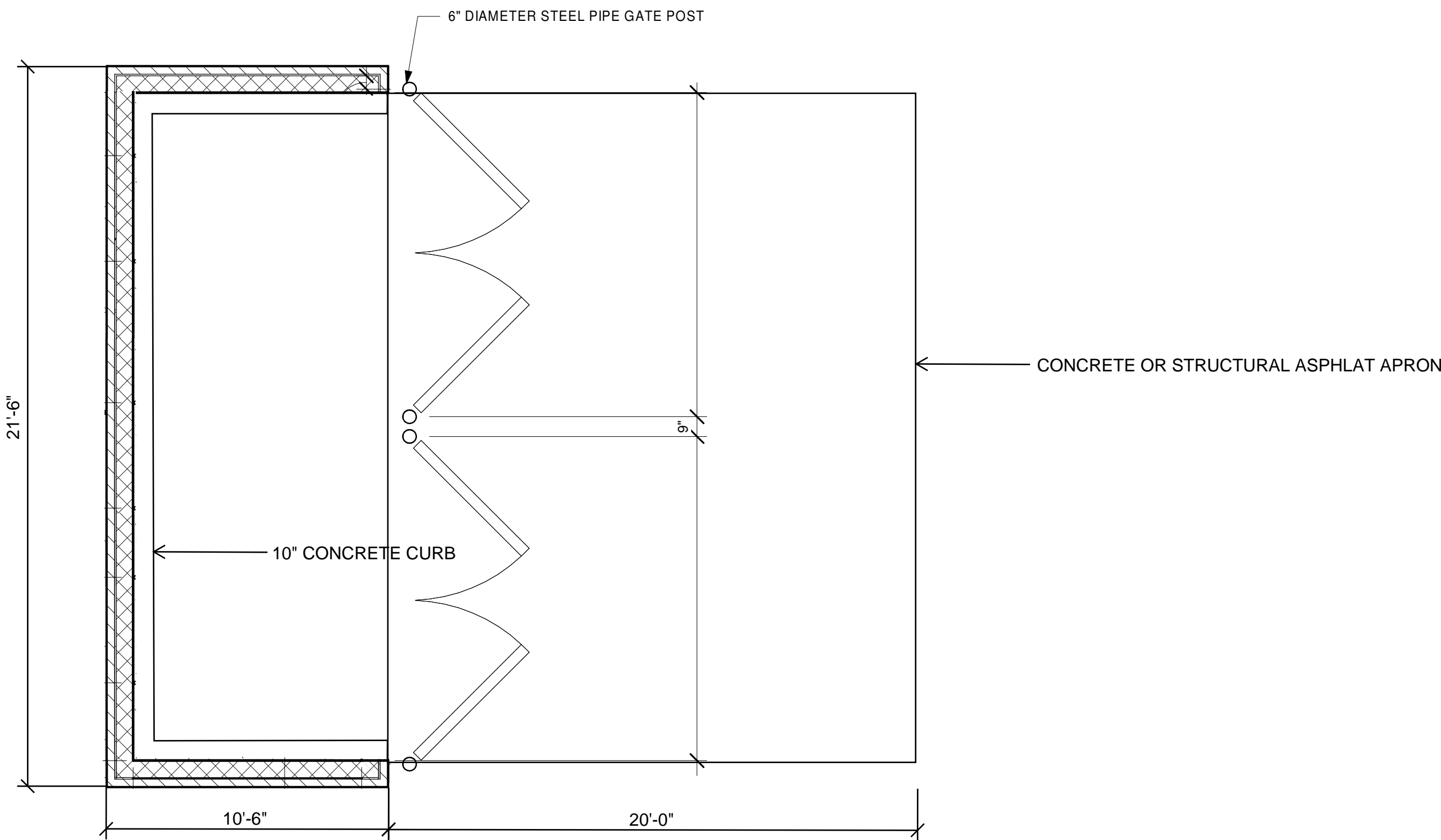
PROPOSED ELEVATIONS

DATE	REMARKS	DATE	REMARKS
1. 10/07/2022	SPAR SUBMITTAL		
2. 07/27/2023	SPAR SUBMITTAL		
3. 12/27/2023	SPAR SUBMITTAL		

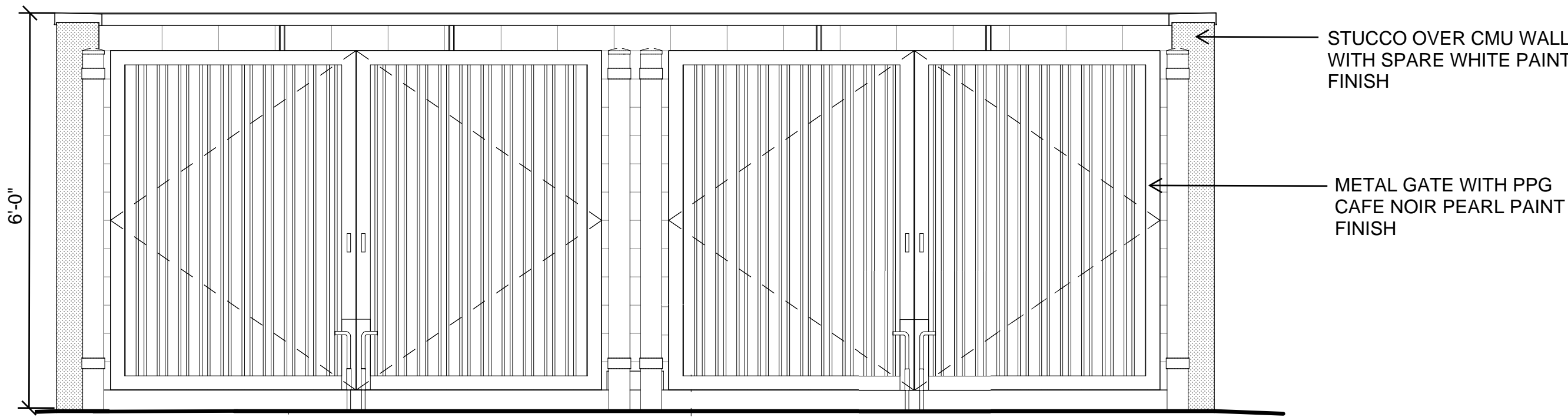
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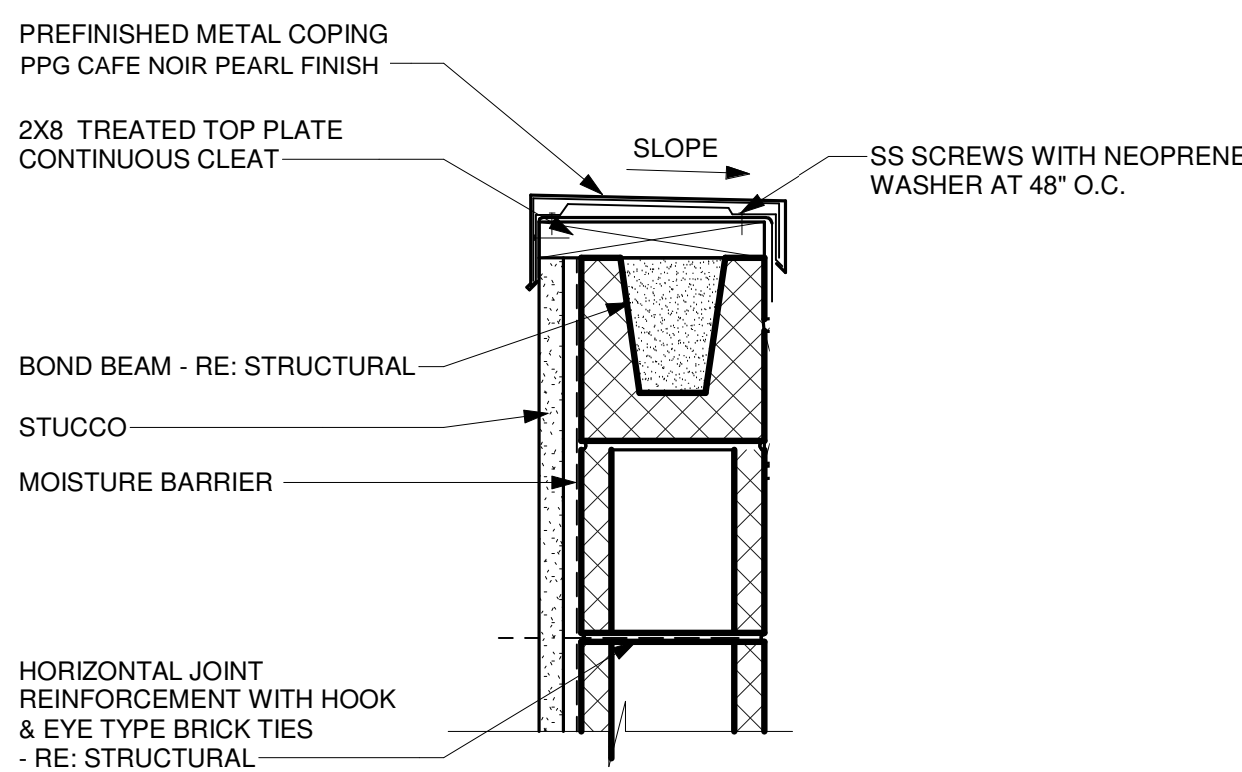
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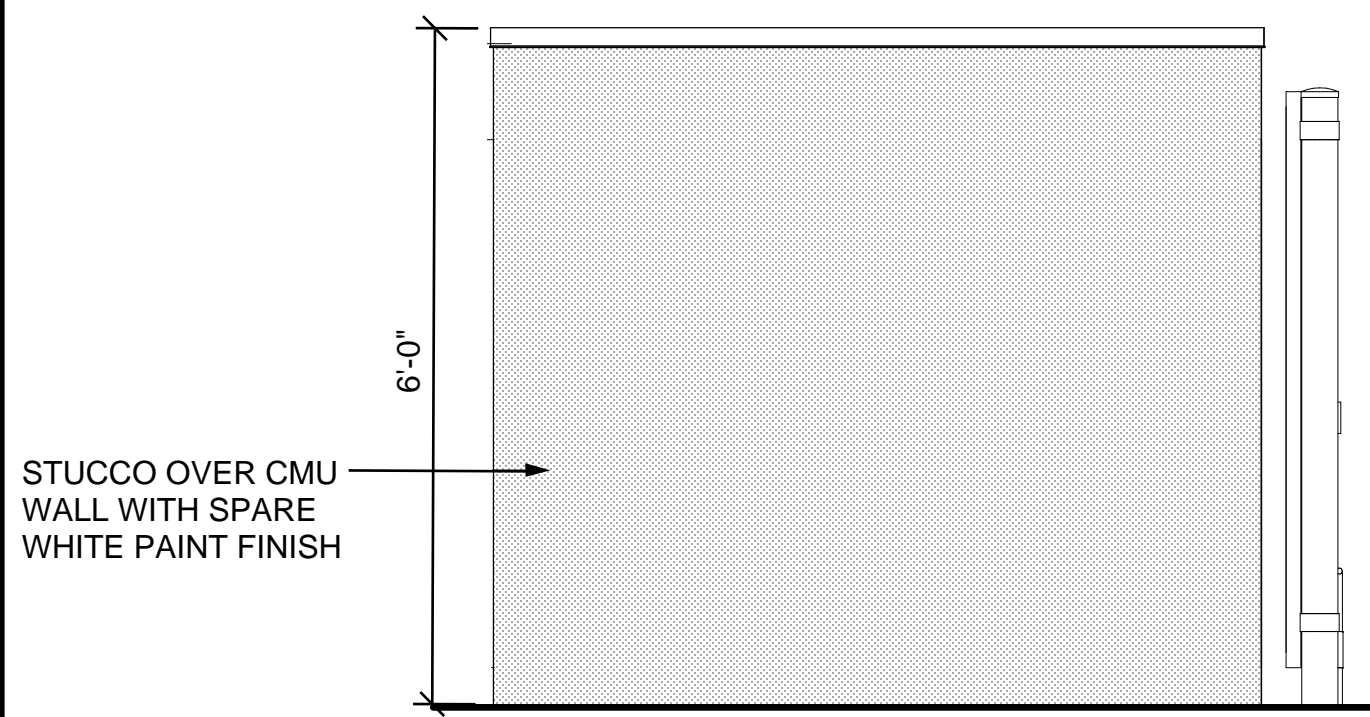
TRASH ENCLOSURE PLAN ①



TRASH ENCLOSURE ELEV ②



TRASH ENCLOSURE DETAIL ④



TRASH ENCLOSURE ELEV ③

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SITE DETAILS

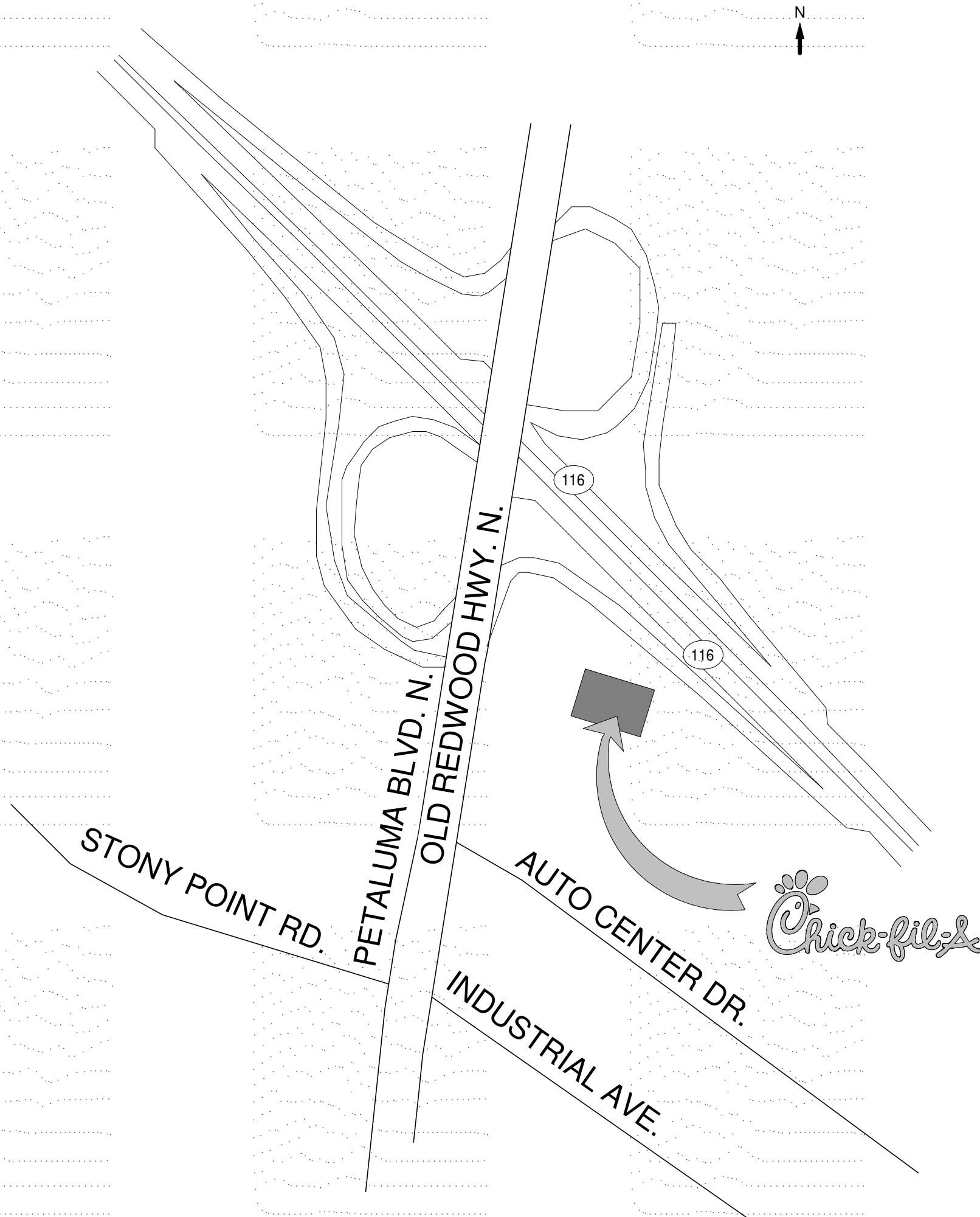
DATE	REMARKS	DATE	REMARKS
1 10/07/2022	SPAR SUBMITTAL		
2 01/27/2023	SPAR SUBMITTAL		
3 4/21/2023	SPAR SUBMITTAL		

PA / PM:	M.D.
DRAWN BY:	M.P.
JOB NO.:	LAX22-0095-00

SHEET
A7.1

VICINITY MAP

REGION: WEST



GOVERNMENTAL AGENCIES

BUILDING DEPARTMENT
CITY OF PETALUMA
DEPARTMENT PETALUMA BUILDING
Street Address
City, State, Zip Code
Phone:
Fax:
Contact Name:
Contact Email:

FIRE DEPARTMENT
Name of Fire Department
Street Address
City, State, Zip Code
Phone:
Fax:
Contact Name:
Contact Email:

HEALTH DEPARTMENT
Name of Health Department
Street Address
City, State, Zip Code
Phone:
Fax:
Contact Name:
Contact Email:

BUILDING DATA

BUILDING CODE:
2019 CALIFORNIA BUILDING CODE

PLUMBING CODE:
2019 CALIFORNIA PLUMBING CODE

MECHANICAL CODE:
2019 CALIFORNIA MECHANICAL CODE

ELECTRICAL CODE:
2019 CALIFORNIA ELECTRICAL CODE

FIRE CODE:
2019 CALIFORNIA FIRE CODE

ENERGY CODE:
2019 ENERGY CODE



05302
P14 LS LRG
CFA HWY 101 & PETALUMA

**5012 PETALUMA BOULEVARD. N.,
PETALUMA, CALIFORNIA 94952**



DESIGNNOTES APPLIED IN CURRENT PROJECT

DESIGNNOTE #	REV #	DESCRIPTION
2022-014	0	SRI A - BUILDING LIGHTING
2022-015	0	EXPANDED DIGITAL COCKPIT
2022-016	0	DRIVE - THRU COCKPIT CLEARANCE
2022-017	0	SRI EXTERIOR PAINT
2022-018	0	PROJECT DESIGN WORKFLOW
2022-019	0	ACT CEILING RISER ROOM
2022-020	0	ADD CHEROKEE BRICK AS PREFERRED SUPPLIER & BRICK REGIONAL STRATEGY MAP
2022-021	0	UPDATES TO SOIL-PRETREATMENT PROGRAM AND CONTACT INFO
2022-022	0	DRIVE-THRU DUMP SINK AND HAND SINK

ITEMS OF IMPORTANCE

INCLUDED IN PROJECT	ITEM NUMBER	ITEM DESCRIPTION
Yes	1	ITEMS OF IMPORTANCE

*NOTE: REVISION SCHEDULE ABOVE MAY NOT LIST REVISIONS TO ALL DISCIPLINES. REFER TO REVISED DRAWINGS FOR CHANGES TO SHEETS NOT LISTED HERE.

ARCHITECT

915 WILSHIRE
BOULEVARD, SUITE
2150 LOS ANGELES, CA
90017
P 310.903.4000
DIANE GUO
dguo@waremalcomb.com

STRUCTURAL

Street Address
City, State, Zip Code
Phone:
Fax:
Contact Name:
Contact Email:

MECHANICAL

575 W COLLEGE AVE. STE 201
SANTA ROSA, CA. 95401
Phone: 707.527.0775 x 168
707.636.9168
707.494.6258
Contact Name: TANIA SCHRAM
www.summit-sr.com

PLUMBING

575 W COLLEGE AVE. STE 201
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ELECTRICAL

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CIVIL

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KITCHEN

FOOD SERVICE CONSULTANT
TRIMARK FOODSERVICE
EQUIPMENT, SUPPLIES AND
DESIGN
3800 CAMP CREEK PARKWAY SW
BUILDING 1800 SUITE 114
ATLANTA, GA 30331
PHONE: (470) 225-5025
MICHELLE SCHNOONOVER
michelle.schnoonover@trimarkusa.com

SHEET INDEX

SHEET NUMBER	SHEET NAME	ISSUED FOR BID	ISSUED FOR PERMIT	ISSUED FOR CONSTRUCTION
G-000	COVER SHEET			
A-100	SITE PLAN			
A-201	FLOOR PLAN			
A-230	ROOF PLAN			
A-301	EXTERIOR ELEVATIONS			
A-801	MATERIAL BOARD			
A-302	PERSPECTIVES			
A-303	PERSPECTIVES			
A-401	BUILDING SECTIONS			



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Atlanta, Georgia
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PETALUMA, CALIFORNIA 94952**

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG
RELEASE: 22-08
PRINTED FOR:
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REVISION SCHEDULE
NO. DATE DESCRIPTION

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CONSULTANT PROJECT # LAX22-0029-01
DATE: 01/24/2023
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COVER SHEET

SHEET NUMBER

G-000



A1 SITE PLAN
1" = 20'-0"

SITE PLAN KEYNOTES

1	PROPERTY LINE.
2	PROPOSED ASPHALT PAVING UPGRADE THROUGHOUT SITE.
3	PROPOSED STANDARD PARKING STALLS.
4	PROPOSED TRASH ENCLOSURE.
5	PROPOSED ACCESSIBLE PARKING STALL.
6	PROPOSED ACCESSIBLE ACCESS AISLE.
7	PROPOSED ACCESSIBLE PARKING SIGNAGE.
8	PROPOSED BUILDING.
9	EXISTING BUILDING TO BE PAINTED TO MATCH NEW BUILDING SCHEME. REFER TO ELEVATIONS.
10	PROPOSED GREASE INTERCEPTOR.
11	PROPOSED SITE LIGHTING.
12	PROPOSED LANDSCAPE. REFER TO LANDSCAPE DRAWINGS.
13	ACCESSIBLE PATH OF TRAVEL TO PUBLIC ROW.
14	PROPOSED TRANSFORMER.
15	PROPOSED LONG-TERM BIKE RACK.
16	PROPOSED SHORT-TERM BIKE RACK.
17	PROPOSED PATIO SEATING.
18	PROPOSED CONCRETE SIDEWALK AND LANDSCAPE.
19	EXISTING PG&E EASEMENT.
20	PROPOSED TRANSFORMER. REFER TO CIVIL.
21	FLAG POLE.

PROJECT DATA: PARCEL A

TOTAL SITE AREA:	3.09 AC 134,514 SF
GROSS SITE AREA:	1.36 AC 59,452 SF
BUILDING FOOTPRINT:	
EXISTING BUILDING 1	5,400 SF
EXISTING BUILDING 2	1,800 SF
PROPOSED BUILDING-3	4,500 SF
BUILDING USE:	
RETAIL/ RESTAURANT	
TOTAL F.A.R.:	20%
REQUIRED PARKING:	
RETAIL: 1/300 SF	29 STALLS
RESTAURANT: 1/2.5 SEATS	21 STALLS
	50 STALLS
PROPOSED PARKING:	
RETAIL (COMPACT)	2 STALLS
RETAIL (STANDARD)	27 STALLS
RESTAURANT:	21 STALLS
TOTAL:	50 STALLS
ACCESSIBLE PARKING	
REQUIRED:	2 STALLS
PROVIDED:	4 STALLS
EV AND CLEAN AIR PARKING:	
REQUIRED EV:	8 STALLS
PROVIDED EV:	8 STALLS
LONG-TERM BICYCLE STORAGE:	
REQUIRED:	4 RACKS
PROVIDED:	4 RACKS
SHORT-TERM BICYCLE STORAGE:	
REQUIRED:	2 RACKS
PROVIDED:	2-RACKS
DEVELOPMENT STANDARDS:	
ZONING:	C2
MAX F.A.R.:	
MAXIMUM:	1.20
PROPOSED:	.20
MAX BLDG HT.:	40'-0"
PROPOSED:	36'-7"
LANDSCAPE:	
REQUIRED:	10% (5,945)
PROVIDED:	22% (13,302 SF)
OFF-STREET PARKING:	
STANDARD:	9' X 19'
COMPACT:	8' X 16'
COMPACT %:	30% ¹
DRIVE AISLE:	22'-0"
OVERHANG:	2'-0"
REQUIRED PARKING RATIO BY USE:	
RESTAURANT:	1/2.5 SEATS
RETAIL:	1/300 SF
OFFICE:	1/300 SF

¹Up to thirty (30) percent of the minimum required parking spaces may be reduced in size to accommodate compact cars.

PROJECT DATA: PARCEL B

TOTAL SITE AREA	3.09 AC 134,514 SF
GROSS SITE AREA:	1.73 AC 75,202 SF
BUILDING FOOTPRINT:	CHICK-FIL-A BUILDING 5,112 SF
BUILDING USE:	RETAIL/ RESTAURANT
TOTAL F.A.R.:	07%
REQUIRED PARKING:	
RESTAURANT: 1/2.5 SEATS	27 STALLS
PROPOSED PARKING:	
RESTAURANT(COMPACT):	8 STALLS
RESTAURANT(STANDARD):	122 STALLS
RETAIL:	130 STALLS
ACCESSIBLE PARKING	
REQUIRED:	5 STALLS
PROVIDED:	7 STALLS
EV AND CLEAN AIR PARKING:	
REQUIRED EV:	25 STALLS
PROVIDED EV:	25 STALLS
LONG-TERM BICYCLE STORAGE:	
REQUIRED:	1 RACK
PROVIDED:	6 RACKS
SHORT-TERM BICYCLE STORAGE:	
REQUIRED:	6 RACKS
DEVELOPMENT STANDARDS:	
ZONING:	C2
MAX F.A.R.:	
MAXIMUM:	1.20
PROPOSED:	.07
MAX BLDG HT.:	40'-0"
PROPOSED HT:	20'-4"
LANDSCAPE:	
REQUIRED:	10% (7,520)
PROVIDED:	15% (11,618 SF)
OFF-STREET PARKING:	
STANDARD:	9' X 19'
COMPACT:	8' X 16'
COMPACT %:	30% ¹
DRIVE AISLE:	22'-0"
OVERHANG:	2'-0"
REQUIRED PARKING RATIO BY USE:	
RESTAURANT:	1/2.5 SEATS
RETAIL:	1/300 SF
OFFICE:	1/300 SF



Chick-fil-A

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CFA HWY 101 & PETALUMA
5012 PETALUMA BOULEVARD, N.,
PETALUMA, CALIFORNIA 94952

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG
RELEASE: 22-08

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NO. DATE DESCRIPTION

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CONSULTANT PROJECT # LAX22-0029-01
DATE 01/24/2023

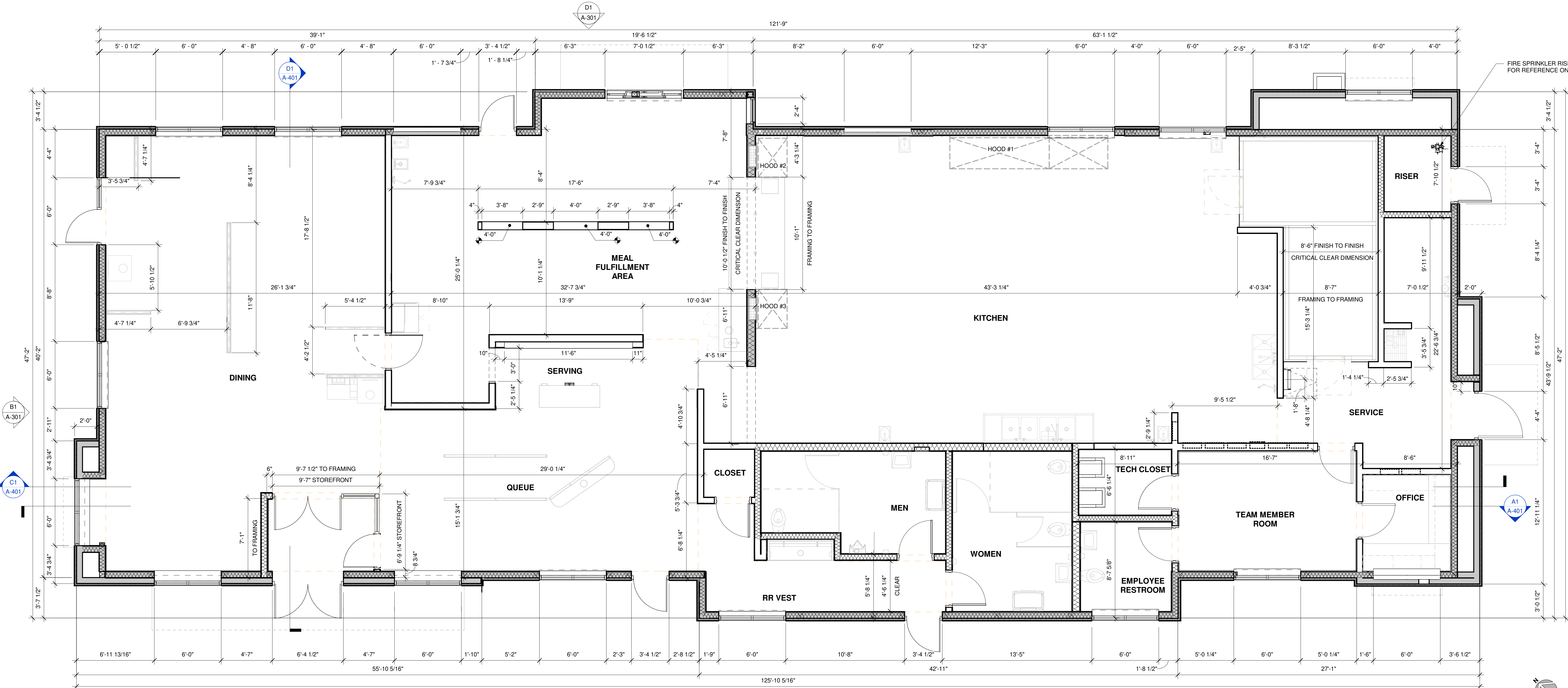
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SHEET
SITE PLAN

SHEET NUMBER

A-100

C1 FLOOR PLAN
1/4" = 1'-0"

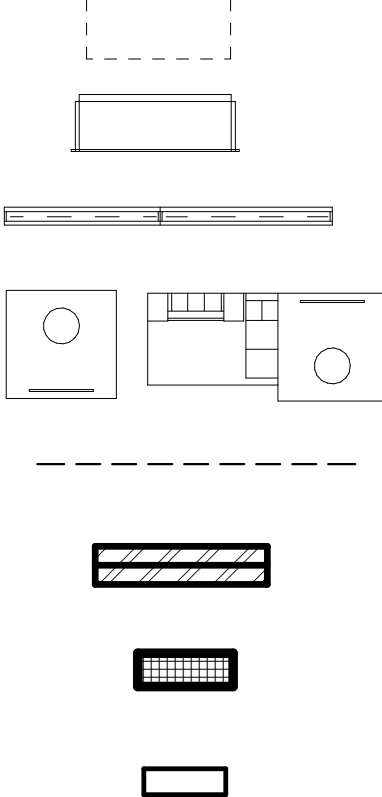


INSULATION SCHEDULE		
LOCATION	R-VALUE	THICKNESS
ROOF	R-17.4	3" RIGID
WALL (CONTINUOUS)	R-5	1" RIGID
WALL (CAVITY)	R-19	6" BATT
SLAB	R-10	2" RIGID

NOTES:
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.

FLOOR PLAN LEGEND:

CT CABINET
RE: ELECTRICAL
MDP RE: ELECTRICAL
STEEL WALL BY OWNER RE: OWNER FOR EXACT LOCATIONS
ITEM BY OWNER
SOFFIT OR BULKHEAD ABOVE RE: REFLECTED CEILING PLAN
2-SIDED BRAND ICON RE: OWNER DRAWINGS
RECESSED PIN AND SLEEVE BOX RE: A4/A820 & MEP DRAWINGS.
ELECTRICAL PANEL RE: ELECTRICAL



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DATE 01/24/2023
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FLOOR PLAN
SHEET NUMBER

A-201

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PETALUMA, CALIFORNIA 94952

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG
RELEASE: 22-08
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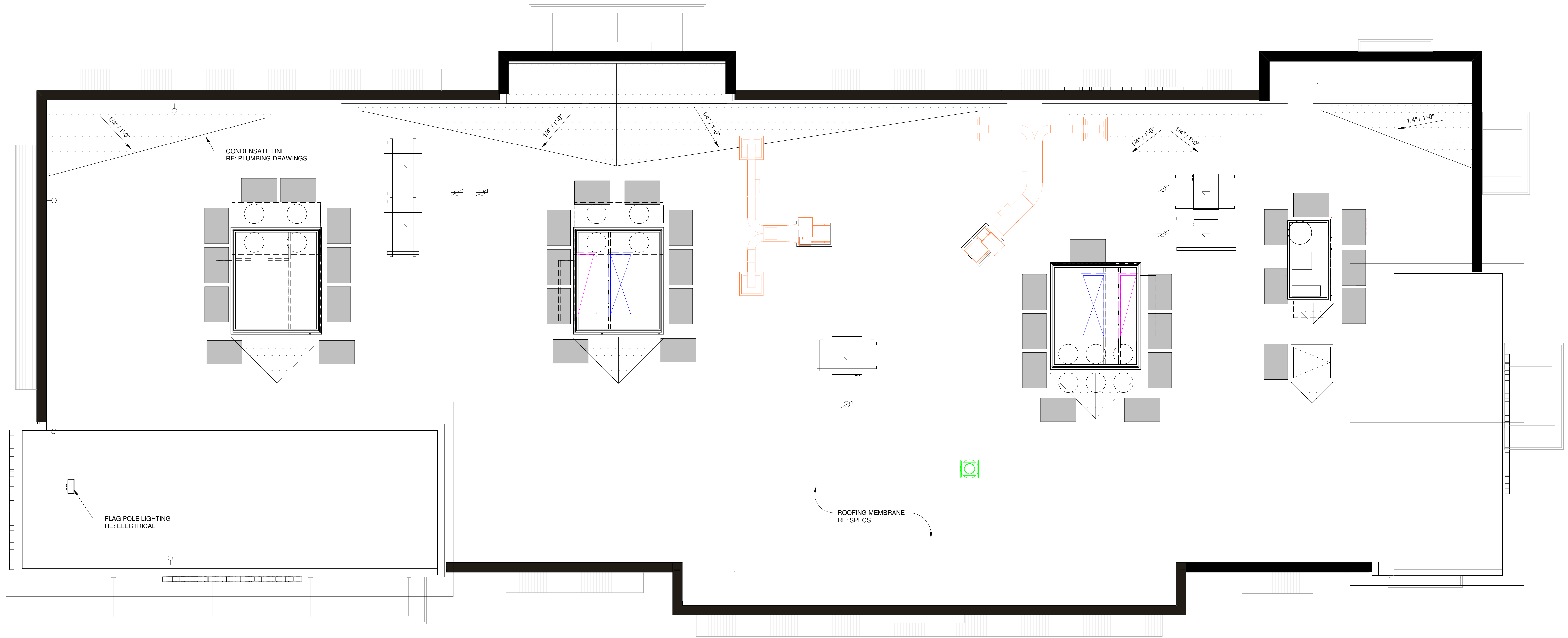


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Atlanta, Georgia
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3/9/2023 10:51:39 AM Autodesk Docs/CA_05302_Petaluma In-Line_2022.9_FSR/05302_Petaluma In-Line_ARC.rvt 10-LS-05302-A-230-ROOF PLAN

A1 ROOF PLAN
1/4" = 1'-0"



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CHICK-FIL-A
CFA HWY 101 & PETALUMA
5012 PETALUMA BOULEVARD, N.,
PETALUMA, CALIFORNIA 94952

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG

RELEASE: 22-08

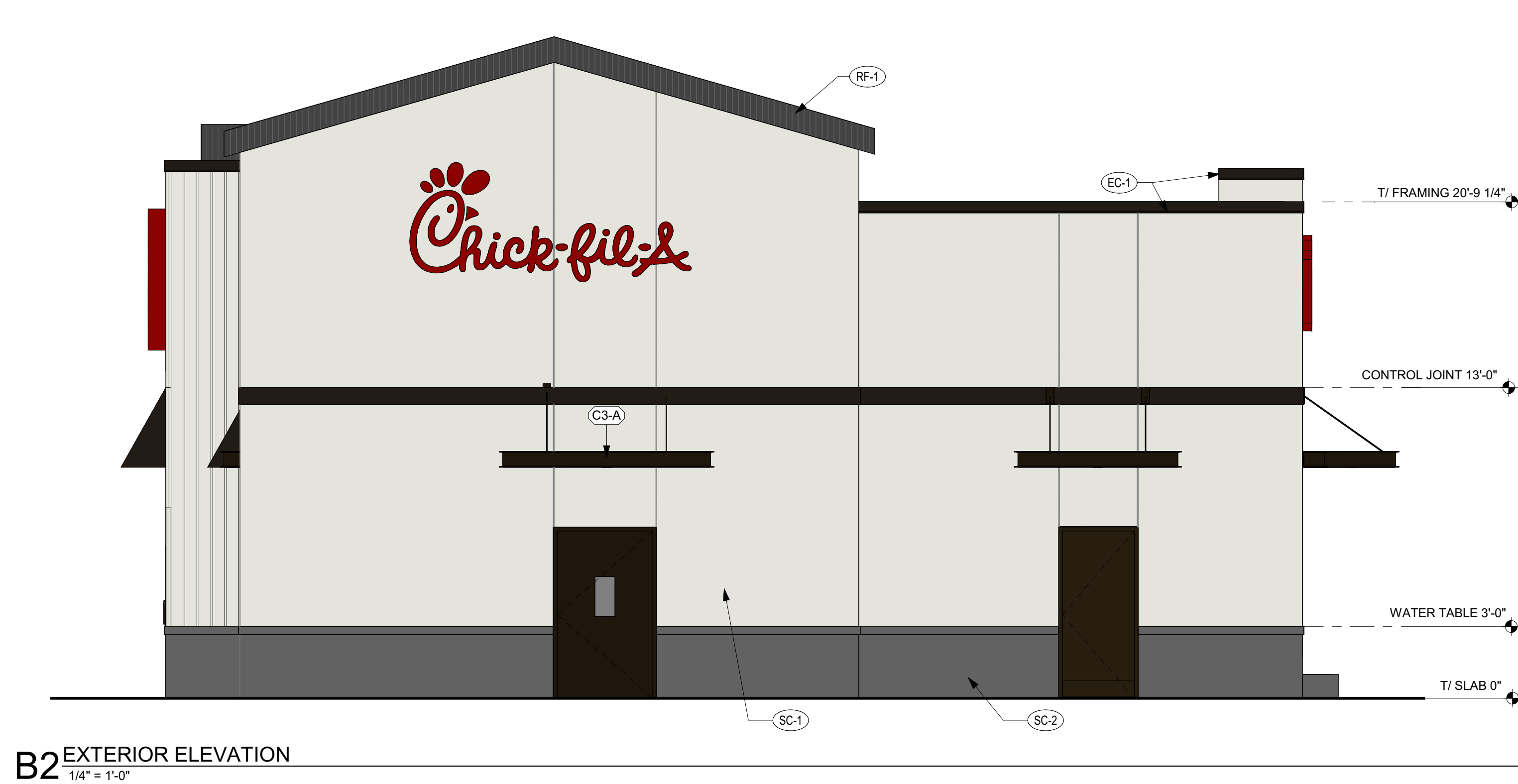
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REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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4/20/2023 11:42:13 AM Autodesk Docs//CA_05302_Petaluma In-Line_2022.9_FSR05302_Petaluma In-Line_ARC.rvt 10-LS-05302-A-301-COLOR EXTERIOR ELEVATIONS



FINISH SCHEDULE - EXTERIOR						
MARK	DESCRIPTION	MANUFACTURER	MODEL NAME	MODEL NUMBER	COLOR	NOTE
EC-1	PARAPET WALL COPING	DUROLAST / EXCEPTIONAL METALS			MIDNIGHT BRONZE	
ES-1	EXTERIOR SIDING	JAMES HARDIE BUILDING PRODUCTS, INC.	VERTICAL SIDING (SMOOTH)		SW 6203 SPARE WHITE	---
PT-100	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350	SW 2807	ROCKWOOD	REFUSE ENCLOSURE. FINISH: SEMI-GLOSS ON DOOR FRAMES, SATIN ON WALLS
PT-113	EXTERIOR PAINT	SHERWIN WILLIAMS	SHER-CRYL HIGH PERFORMANCE ACRYLIC #866-350		DARK BRONZE	FINISH: SEMI-GLOSS
RF-1	STANDING SEAM	BERRIDGE	CEE-LOCK PANEL		CHARCOAL GRAY	
SC-1	STUCCO	STO	POWERWALL		SW 6203 SPARE WHITE	FINISH: SAND MEDIUM
SC-2	STUCCO	STO	POWERWALL		URBAN NIGHT	FINISH: SAND MEDIUM
ST-1	STOREFRONT	YKK	YES 45		DARK BRONZE (MATTE)	

ATTACHED CANOPY SCHEDULE						
Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	3	6'-4"	1'-0"	0"	No
C3-A	Exterior Canopy	1	9'-0"	5'-0"	2'-6"	Yes
C3-C	Exterior Canopy	1	15'-0"	4'-0"	2'-4"	Yes
C4-G	Exterior Canopy	1	7'-0"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
Grand total		7				
GENERAL NOTES						
1. ALL SIGNAGE PROVIDED BY OTHERS						
2. REF FLOOR PLAN AND WINDOW LEGEND FOR STOREFRONT INFORMATION						
CANOPY NOTES:						
BUILDING MOUNTED CANOPIES						
- 8" THICK CANOPY						
- KYMAR FINISH OF STRUCTURE, FASCIA, & DECKING TO MATCH (CP-1)						
COLUMN MOUNTED CANOPIES						
- 10" THICK CANOPY						
- FINISH OF STRUCTURE TO BE (CP-1)						
- FINISH OF DECKING TO BE (CP-2)						

LEGEND			
	(SC-1)		EXPANSION JOINT. SEALANT COLOR TO MATCH MORTAR COLOR
	(SC-2)		CARD READER BY SECURITY VENDOR - RE: ELEC
	(ES-1)		SCUPPER - (PT-113) SEE A2 / A-503
	(EC-1)		DOWNSPOUT - (PT-113) SEE A4 / A-503
	(RF-1)		MDP - (PT-113) RE: ELECTRICAL
			OIL EXTRACTION PORT ACCESS BOX
			CO2 FILL BOX - RE: KITCHEN
			LIGHT FIXTURE - RE: ELECTRICAL
			CT CABINET - (PT-113) RE: ELECTRICAL



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PETALUMA, CALIFORNIA 94952

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG
RELEASE: 22.08

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COLOR EXTERIOR ELEVATIONS

SHEET NUMBER

A-301

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LS-05302-A-302-PERSPECTIVES



A2 PERSPECTIVE



C2 PERSPECTIVE



A1 PERSPECTIVE



C1 PERSPECTIVE



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FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG

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SHEET: PERSPECTIVES

SHEET NUMBER

A-302

1/27/2023 9:42:05 AM
LS-05302-A-401-BUILDING SECTIONS

Autodesk Docs:CA_05302_Petaluma In-Line_2022.9_FSR05302_Petaluma In-Line_ARC.rvt

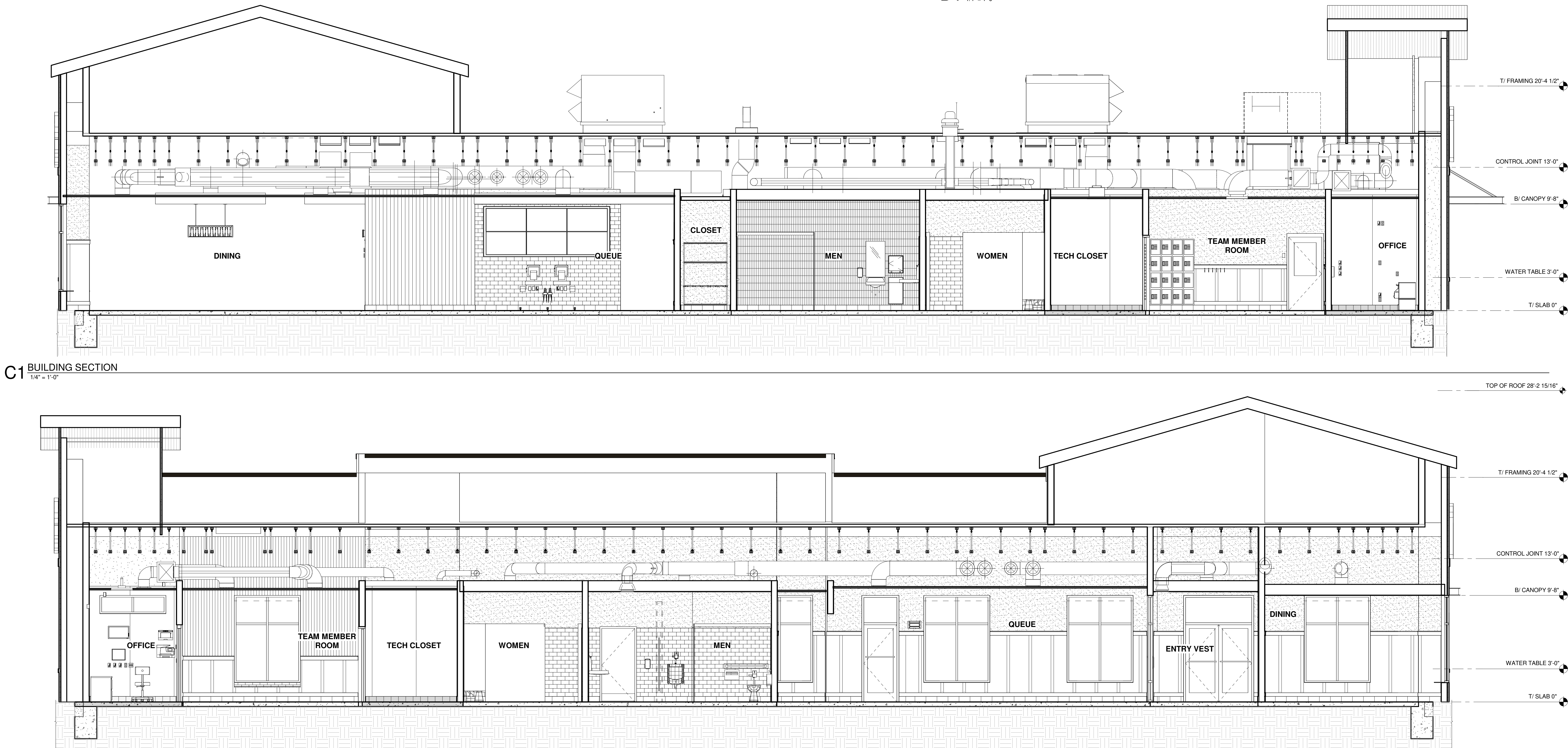
E

D

C

B

A



A1 BUILDING SECTION
1/4" = 1'-0"

C1 BUILDING SECTION
1/4" = 1'-0"

D1 BUILDING SECTION
1/4" = 1'-0"



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FSR#05302

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SHEET BUILDING SECTIONS

SHEET NUMBER

A-401



CONCEPTUAL RENDERING

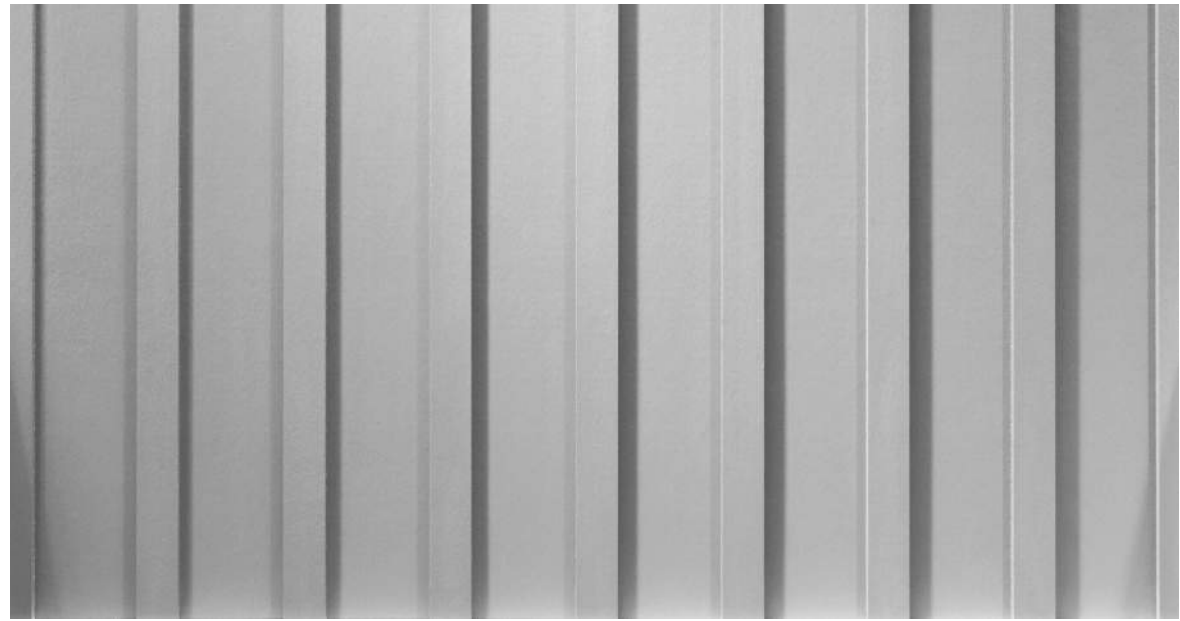
Specifications:

- Antique Bronze (-20) (powder coat paint)
- Die cast and extruded aluminum Construction
- Antique Bronze finish.
- Interior finish matches exterior finish.
- Die-cast aluminum construction with durable powder coated finish
- 1,050 lumens 29 lumens/watt (delivered)
- 3000K color temperature, 90+ CRI
- Dimmable to 10% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 6" of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

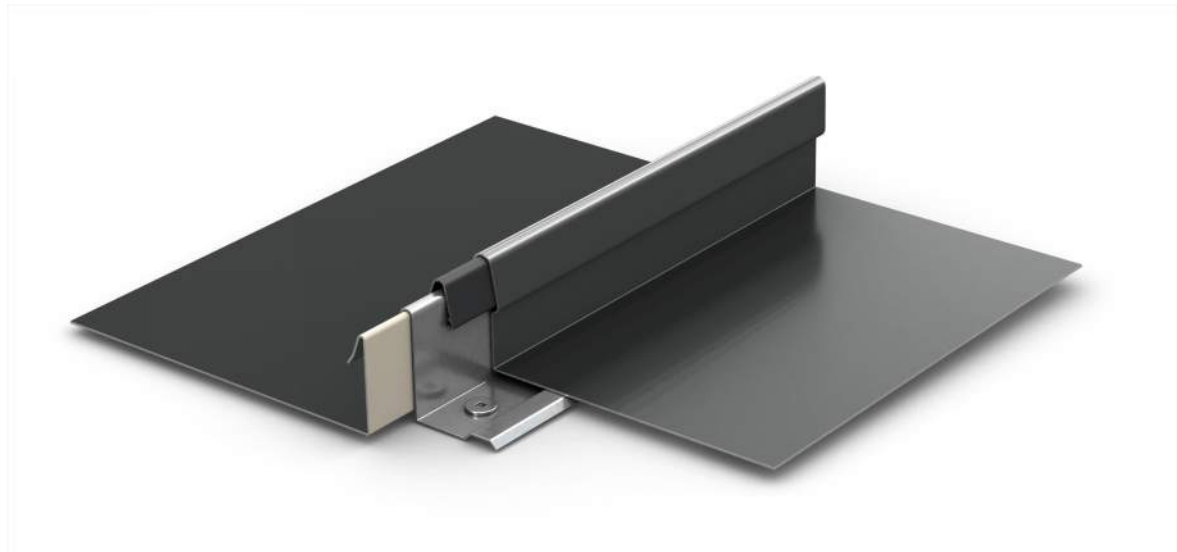


Dimensions:

Width: 6"
Depth: 8-7/8"
Height: 12"
H/CTR: 4-1/2"



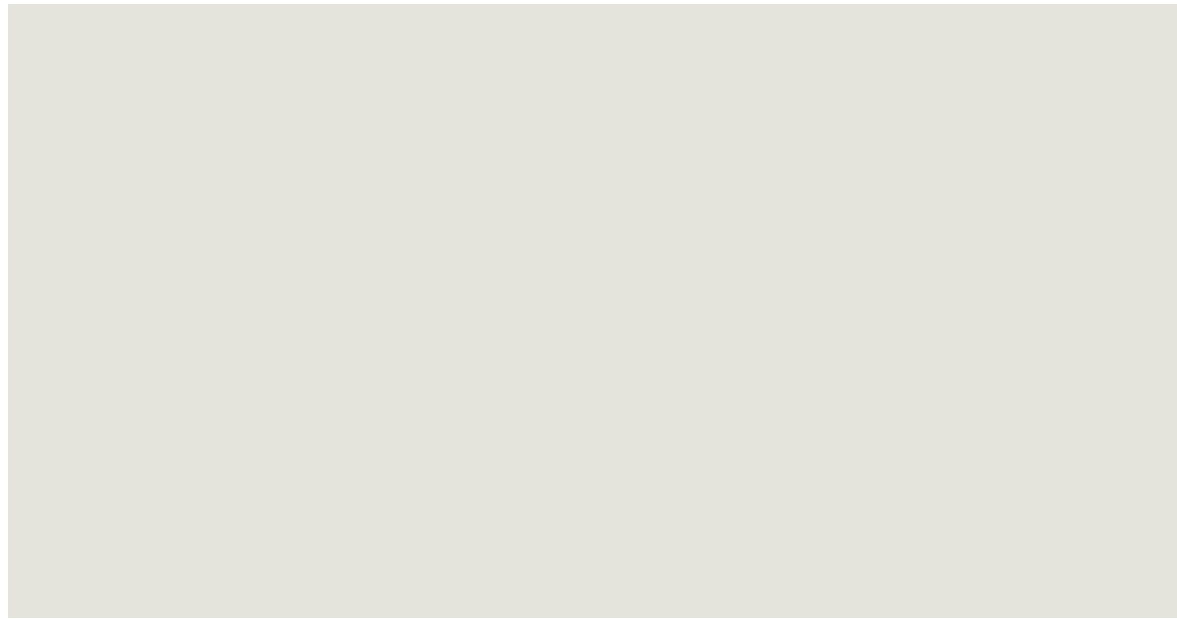
1 (ES-A) EXTERIOR SIDING
JAMES HARDIE - VERTICAL SIDING (SMOOTH)



2 CEE-LOCK PANEL
FINISH: MATTE BLACK



3 METAL BEAM
FINISH: PPG CAFÉ NOIR PEARL



4 (SC-1) EXTERIOR PAINT
SW 6203 SPARE WHITE



5 (STC-3) EXTERIOR PAINT
SW CFA CUSTOM "URBAN NIGHT"



6 EXTERIOR PAINT
PPG CAFÉ NOIR PEARL



7 (ST-1) STOREFRONT
YKK - DARK BRONZE (MATTE)



8 (EC-1) METAL COPING
FINISH: PPG CAFÉ NOIR PEARL



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PROTOTYPICAL SET

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REGULATORY
APPROVAL,
BIDDING, OR
CONSTRUCTION

CHICK-FIL-A
PETALUMA

1512 PETALUMA BOULEVARD, N.,
PETALUMA, CALIFORNIA 94952

FSR#05302

BUILDING TYPE / SIZE: P14 LS LRG

RELEASE: 22-08

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REVISION SCHEDULE

NO. DATE DESCRIPTION

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CONSULTANT PROJECT # LAX22-0029-01

DATE: 10/05/2022

DRAWN BY: M.O. / J.M.

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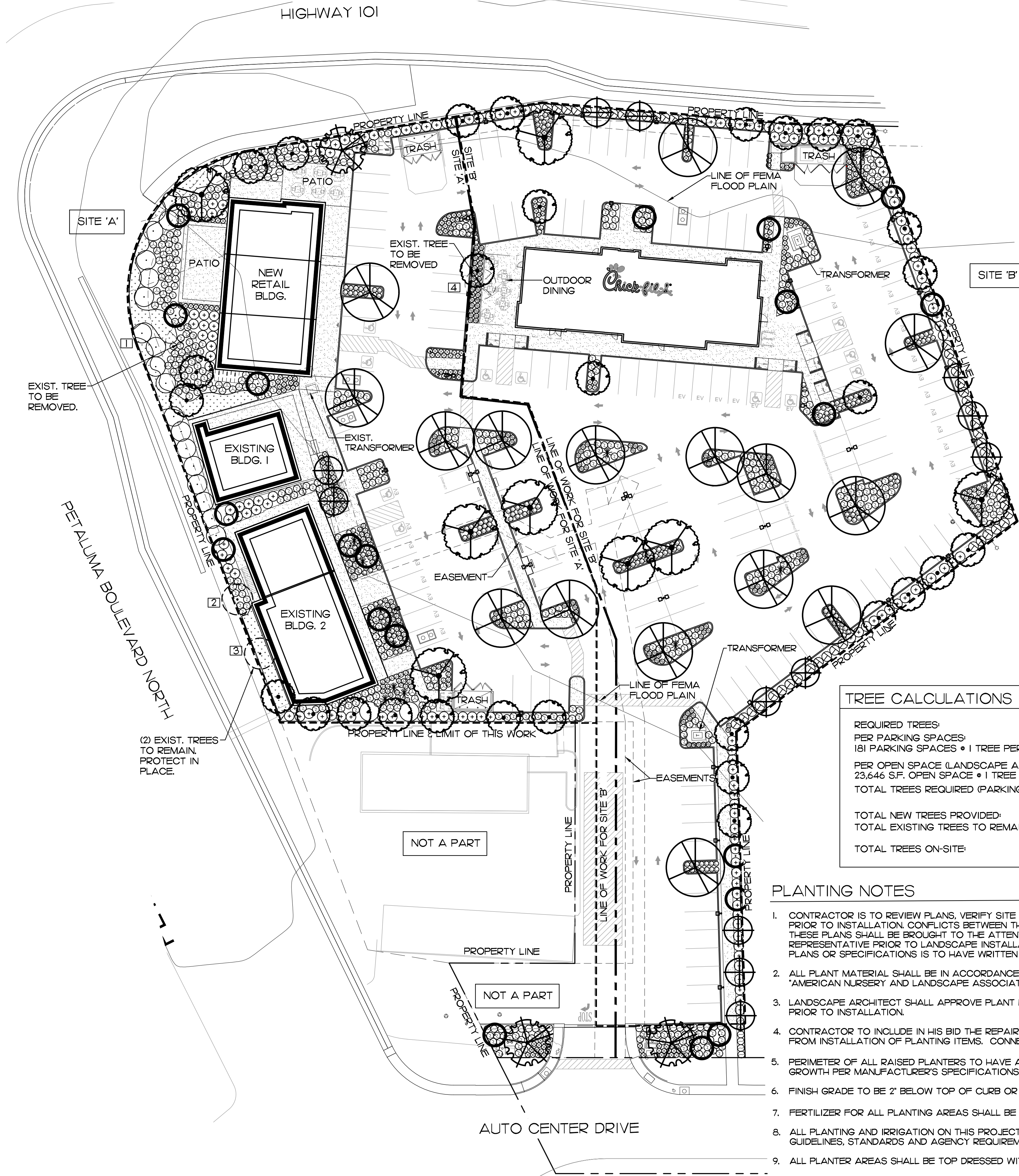
SHEET

MATERIAL BOARD

SHEET NUMBER

A-801

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PRELIMINARY LANDSCAPE PLAN SCALE: 1" = 30'-0"

TREE CALCULATIONS

REQUIRED TREES:	
PER PARKING SPACES:	45 TREES
181 PARKING SPACES • 1 TREE PER 4 SPACES	
PER OPEN SPACE (LANDSCAPE AREA)	47 TREES
23,646 S.F. OPEN SPACE • 1 TREE PER 500 S.F.	
TOTAL TREES REQUIRED (PARKING LOT & OPEN SPACE)	92 TREES
TOTAL NEW TREES PROVIDED:	90 TREES
TOTAL EXISTING TREES TO REMAIN:	2 TREES
TOTAL TREES ON-SITE:	92 TREES

PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS. WWW.ANLA.ORG
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
- PERIMETER OF ALL RAISED PLANTERS TO HAVE A ROOT BARRIER TO REDIRECT ROOT GROWTH PER MANUFACTURER'S SPECIFICATIONS.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
- FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
- ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
- ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 2" MINIMUM MULCH COVER.
- ALL PLANTING AREAS SHALL BE IRRIGATED WITH SUB-GRADE BUBBLERS FOR TREES AND DRIPLINE OR DRIP EMITTERS FOR SHRUBS/GROUND COVERS. CONNECTED TO AUTOMATIC REMOTE CONTROL VALVES AND TIED INTO AN AUTOMATIC IRRIGATION "SMART" CONTROLLER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
- ALL PLANTER BEDS TO BE AMENDED WITH SOIL PREPARATION PER SPECIFICATIONS. NO DEVIATIONS ARE ALLOWED.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS IV REGION I
TREES						
	ARBUTUS 'MARINA'	STRAWBERRY TREE CULTIVAR	24" BOX	8	STANDARD EVERGREEN	L
	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX 15 GAL	9 21	MULTI-TRUNK DECIDUOUS (15 GAL AT PARKING LOT PERIMETER)	VL
	LAGERSTROEMIA X 'NATCHEZ'	GRAPE MYRTLE	24" BOX 15 GAL	16 4	STANDARD DECIDUOUS (15 GAL AT PARKING LOT PERIMETER)	L
	LAURUS NOBILIS 'SARATOGA'	SWEET BAY	15 GAL	12	STANDARD EVERGREEN	L
	PISTACIA 'RED PUSH'	CHINESE PISTACHE CULTIVAR	24" BOX	3	STANDARD DECIDUOUS	M
	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24" BOX	17	STANDARD DECIDUOUS	M
	TYP. EXISTING TREE TO BE REMOVED (2 TOTAL), SEE LISTING THIS SHEET.					
	TYP. EXISTING TREE TO REMAIN (2 TOTAL), SEE LISTING THIS SHEET.					

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS IV REGION I
SHRUBS						
	AGAVE VILMORINIANA	OCTOPUS AGAVE	5 GAL	17	AS SHOWN	VL
	ARISTIDA PURPUREA	PURPLE THREE-AWN	5 GAL	131	2'-6" O.C.	L
	BERBERIS THUNBERGII 'LIMEGLOW'	JAPANESE BARBERRY	5 GAL	52	5'-0" O.C.	M
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	98	3'-6" O.C.	M
	DIANELLA X 'COOL VISTA'	BLACK ANTHUR FLAX LILY HYBRID	5 GAL	183	2'-6" O.C.	L
	EUCALYPTUS 'MOON LAGOON'	NON	5 GAL	22	8'-0" O.C.	L
	FRANGULA CALIFORNICA 'EVE CASE'	COFFEEBERRY	5 GAL	165	5'-0" O.C.	L
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA	5 GAL	120	2'-6" O.C.	L
	LEYMUS CONDENSATUS 'CANYON PRINCE'	WILD RYE	5 GAL	199	2'-6" O.C.	L
	LIGUSTRUM SINENSE 'SUNSHINE'	SUNSHINE CHINESE PRIVET	5 GAL	53	3'-6" O.C.	L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	423	3'-6" O.C.	L

GROUNDCOVERS

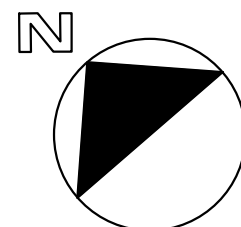
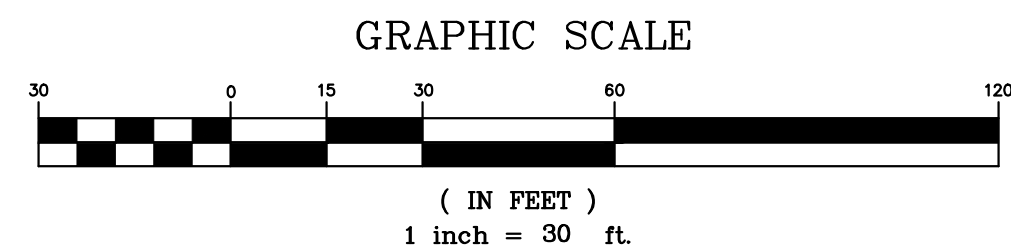
	CEANOTHUS G. H. 'YANKEE POINT'	NON	5 GAL	1,582 S.F.	5'-0" O.C.	L
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EXISTING TREE LEGEND

	BOTANICAL NAME	COMMON NAME	HGT./CALIPER	ACTION
1	ULMUS PUMILA	SIBERIAN ELM		REMOVE
2	LAGERSTROEMIA SP.	GRAPE MYRTLE		REMAIN
3	YUCCA SP.	YUCCA		REMAIN
4	EUCALYPTUS SP.	EUCALYPTUS		REMOVE

LANDSCAPE CALCULATIONS

AREA 'A'	
SHRUB & GROUNDCOVER AREA:	12,401 S.F.
AREA 'B'	
SHRUB & GROUNDCOVER AREA:	11,245 S.F.
TURF AREA:	0 S.F.
TOTAL LANDSCAPE AREA:	23,646 S.F.

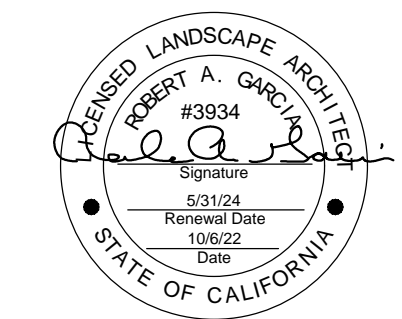


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e: team@houmanassociates.com



revisions:

- 1-23-2023 Revise Tree Quantities
- 1-30-2023 Revise Site Lights
-
-
-
-



PETALUMA RETAIL
5004 PETALUMA BLVD. NORTH
PETALUMA, CA 94952

project:

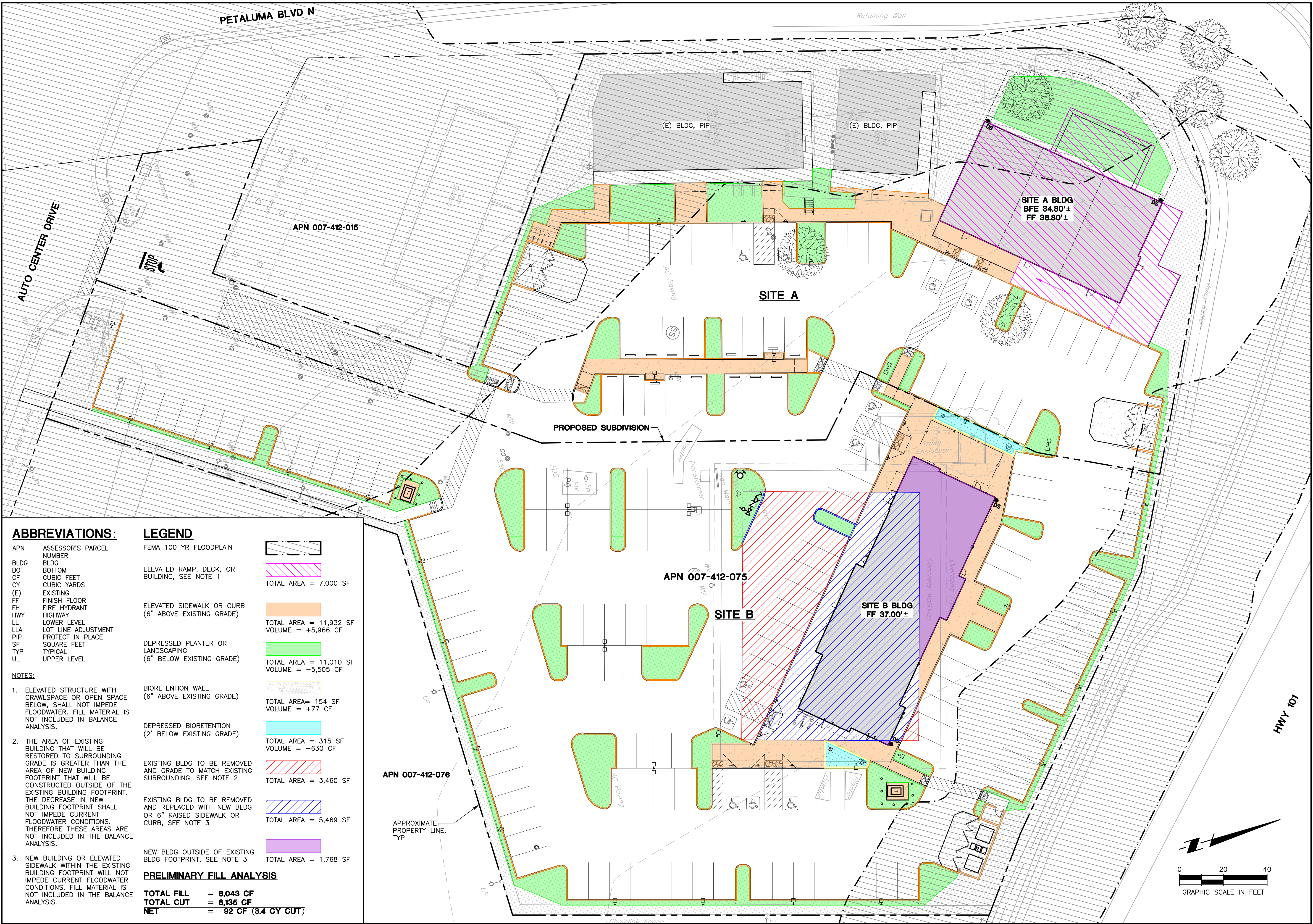
drawn by: VBNH
date: 10-6-2022

sheet name:
PRELIMINARY LANDSCAPE PLAN

sheet no:

L1.0

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PARTNERS, LLC
5002 PETALUMA BLVD N
PETALUMA, CA 94952
APN 007-412-075

5002 PETALUMA BLVD N
ZERO NET FILL EXHIBIT

1	2022-10-07 SPAR SUBMITTAL
2	2022-12-01 SPAR RESUBMITTAL
3	2023-01-30 SPAR RESUBMITTAL

DATE: 2022-10-07
JOB NO: 2022086
SCALE: AS SHOWN
DRAWN: TAF
CHECKED: TCS
SHEET

SHEET 1 OF 1

Appendix B – Sample Water Efficient Landscape Worksheet.

WATER EFFICIENT LANDSCAPE WORKSHEET							
This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.							
Reference Evapotranspiration (ET _o)			39.6				
Hydrozone # Planting Description ¹	Plant Factor (PF)	Irrigation Method ²	Irrigation Efficiency (IE) ³	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ⁴
Regular Landscape Areas							
TREES - MOD	0.40	BUBBLER	0.75	0.53	1,440	763.2	18,736
SHRUBS - LOW	0.30	DRIP	0.81	0.37	10,489	3,880.9	95,285
SHRUBS - MOD	0.40	DRIP	0.81	0.49	11,717	5,741.3	140,961
					23,646	10,385.4	
				Totals	(A)	(B)	
Special Landscape Areas							
				1			
				1			
				1	23,646	10,385.4	
				Totals	(C)	(D)	
						ETWU Total	254,982
						Maximum Allowed Water Allowance (MAWA) ⁵	261,250
¹ Hydrozone #/Planting Description E.g. 1) front lawn 2) low water use plantings 3) medium water use planting							
² Irrigation Method overhead spray or drip							
³ Irrigation Efficiency 0.75 for spray head 0.81 for drip							
⁴ ETWU (Annual Gallons Required) = Eto x 0.82 x ETAF x Area where 0.82 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.							
⁵ MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)] where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non- residential areas.							
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area	(B)	10,385.4					
Total Area	(A)	23,646					
Average ETAF	B ÷ A	0.44					
All Landscape Areas							
Total ETAF x Area	(B+D)	10,385.4					
Total Area	(A+C)	23,646					
Sitewide ETAF	(B+D) ÷ (A+C)	0.44					

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MAINTENANCE MANUAL

THIS MANUAL TO BE KEPT AT THE CONTROLLER LOCATION AT ALL TIMES.

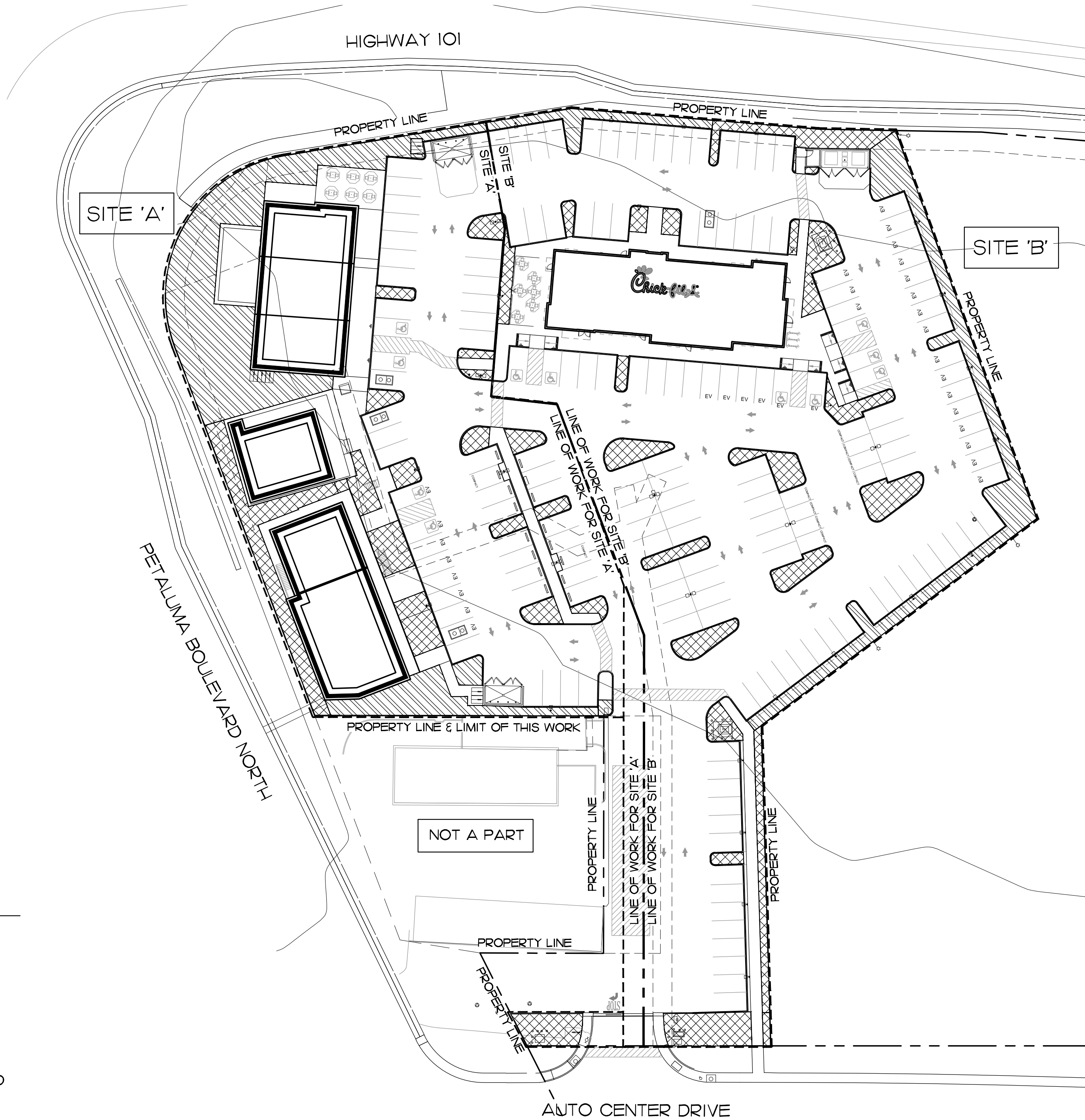
IRRIGATION SYSTEMS:

- AUTOMATIC CONTROLLER TO BE CHECKED MONTHLY BY LANDSCAPE MAINTENANCE FOREMAN AND CHECKED WEEKLY BY MAINTENANCE CREW LEADER, TO PROVIDE OPTIMUM PLANT GROWTH AND WATER CONSERVATION. (IF SMART CONTROLLER IS IN USE, CHECK ELECTRICAL POWER ONLY)
- LANDSCAPE MAINTENANCE CONTRACTOR TO CHECK ALL SYSTEMS ONCE PER MONTH BY TURNING ON EACH SYSTEM MANUALLY.
- LANDSCAPE MAINTENANCE CONTRACTOR TO VISUALLY CHECK ALL SYSTEMS EVERY WEEK DURING MAINTENANCE OF LANDSCAPE.
- ALL IRRIGATION FILTERS AT THE WYE STRAINER (AT THE BACKFLOW DEVICE) AND ALL FILTERS AT THE DRIP IRRIGATION VALVES TO BE CLEANED MONTHLY OR AS NEEDED.
- CHECK RAIN SHUT OFF DEVICE AT THE BEGINNING OF THE RAINY SEASON AND RE-CALIBRATE AS NEEDED. MAKE SURE DEVICE IS CLEAN, FREE OF ANY DEBRIS, AND IN GOOD WORKING ORDER.
- BACKFLOW DEVICE TO BE VISUALLY CHECKED ON A MONTHLY BASIS. TEST AND RE-CERTIFY ANNUALLY AS PER ALL CODES AND ORDINANCES.
- SCHEDULE ALL SPRAY SYSTEMS TO RUN ONLY BETWEEN THE HOURS OF 2:00 AM AND 9:00 AM.
- ON A MONTHLY BASIS, FLUSH ALL DRIP SYSTEM LINES AND CHECK VALVE BOXES TO SEE THAT THEY DRAIN PROPERLY. CLEAN OUT ANY DEBRIS, MUD OR PLANT GROWTH ANNUALLY.
- TWICE A YEAR CHECK ALL QUICK COUPLERS AND MAKE ALL REPAIRS AS NECESSARY. REPLACE PEA GRAVEL IN VALVE BOXES AS NEEDED.
- COVER OR PROTECT ALL BACKFLOW DEVICES DURING FREEZING WEATHER.
- OWNER TO PROVIDE FOR A WATER AUDIT EVERY FIVE YEARS FROM OPENING OF STORE.

WATER CONSERVATION STATEMENT

WATER CONSERVATION IS ACHIEVED IN THIS LANDSCAPE CONSTRUCTION DOCUMENT AS DESCRIBED BELOW,

- ALL PLANT MATERIALS SELECTED FOR THIS SITE ARE APPROPRIATE FOR THE GEOGRAPHICAL LOCATION AND LOCAL CLIMATE, AND THEIR ADAPTABILITY TO DROUGHT. DATA FROM WUCOLS III HAS BEEN USED FOR DETERMINING THE SPECIES' PLANT FACTOR FOR THE WATER USE CALCULATIONS.
- PLANTS WITH SIMILAR WATER USE REQUIREMENTS ARE GROUPED TOGETHER.
- THE MAJORITY OF LANDSCAPE AREAS ARE PLANTED WITH LOW WATER USE PLANTS, WITH THE BALANCE IN MODERATE WATER USE PLANTS. NO HIGH WATER USE PLANTS ARE USED.
- IRRIGATION SECTIONS: HYDROZONES ARE SEPARATED BY CONSIDERING PLANT SPECIES FACTOR, PLANT DENSITY AND MICROCLIMATE. IF LOW WATER USE PLANTS ARE MIXED WITH MODERATE WATER USE PLANTS IN THE SAME HYDROZONE, THE MODERATE WATER USE FACTOR IS USED FOR WATER USE CALCULATIONS. SEE HYDROZONE EXHIBIT.
- THE IRRIGATION SYSTEM UTILIZES A LOW-VOLUME DISTRIBUTION SYSTEM WITH A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLLERS WITH CYCLE PLUS SOAK AND WATER BUDGETING CAPABILITY, WEATHER STATION, AND RAIN SHUT-OFF.
- THE USE OF TURF IS ELIMINATED. ALL TREE, SHRUB AND GROUNDCOVER AREAS WILL BE DRESSED WITH A 3" LAYER OF MULCH FOR MOISTURE RETENTION AND TO DISCOURAGE WEEDS.
- THERE ARE NO SPECIAL LANDSCAPE AREAS IN THIS PROJECT.



I HYDROZONE PLAN

SCALE: 1" = 40'-0"

HYDROZONE MAP		
SYMBOL	DESCRIPTION	AREA
	LOW WATER USE PLANTING	11,929 S.F.
	MODERATE WATER USE PLANTING	11,717 S.F.

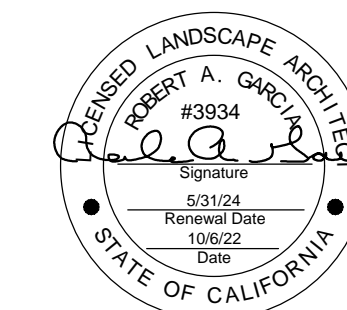
LANDSCAPE CALCULATIONS	
SHRUB GROUNDCOVER AREA:	23,646 S.F.
TURF AREA:	0 S.F.
TOTAL LANDSCAPE AREA:	23,646 S.F.

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revisions:

△ 1-23-2023 Revise Tree Quantities



PETALUMA RETAIL
5004 PETALUMA BLVD. NORTH
PETALUMA, CA 94952

project:

drawn by: mdm/NH
date: 10-6-2022

PRELIMINARY WATER
CONSERVATION PLAN

sheet name:

sheet no:

L1.1

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LIST OF DRAWINGS

- LDR-1 LIGHTING PLAN - SITE NORTH
LDR-2 LIGHTING PLAN - SITE SOUTH
LDR-3 LIGHTING PLAN - LIGHT FIXTURE CUT SHEETS

CODE REQUIREMENTS

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC)
PART 1, TITLE 24, CALIFORNIA CODE OF REGULATIONS
2019 CALIFORNIA BUILDING CODE (CBC)
PART 2, TITLE 24, CCR, BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
PART 3, TITLE 24, CCR, BASED ON THE 2017 NATIONAL ELECTRICAL CODE (NEC)
2019 CALIFORNIA ENERGY CODE
PART 6, TITLE 24, CCR; CALIFORNIA ENERGY COMMISSION BUILDING EFFICIENCY STANDARDS:
2019 NONRESIDENTIAL COMPLIANCE MANUAL
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBC)
PART 11, TITLE 24, CCR

PROJECT CONTACTS

ZAK ZAKALIK, ASSOCIATE (707) 636-9154 zak@summit-sr.com
VISHAL DOLA, STAFF ENGINEER (707) 527-0775 x155 vishal@summit-sr.com

LIGHTING SCHEDULE		
TYPE	SYMBOL	LIGHT FIXTURE DESCRIPTION
A1		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A2		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, HOUSE SHIELD, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A3		TWIN HEAD LED POLE MOUNTED FIXTURE, TYPE 4 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
A4		SINGLE HEAD LED POLE MOUNTED FIXTURE, TYPE 5 DISTRIBUTION, UNLESS OTHERWISE NOTED, MOUNT FIXTURE ON TWO FOOT HIGH CONCRETE BASE, SUCH THAT THE LUMINAIRE IS 25'-0" A.F.F.
B1		WALL MOUNTED LED UP/DOWN LIGHT CYLINDER, 5" DIA. ROUND, 14" HEIGHT
B2		WALL MOUNTED LED DOWN LIGHT CYLINDER, 5" DIA. ROUND, 5" HEIGHT
C1		RECESSED LED DOWNLIGHT, 5" DIA. ROUND

LIGHTING DESIGN REVIEW

LIGHTING PLAN -
SITE NORTH

DESIGN REVIEW
10/07/22
DESIGN REVIEW
01/20/23
DESIGN REVIEW
01/25/23
DESIGN REVIEW
01/26/23

PRELIMINARY
NOT FOR CONSTRUCTION
2023-01-26

DATE: 01/26/2023
JOB NO: 2022086
SCALE: AS SHOWN
DRAWN: VD
CHECKED: ZZ
SHEET

LDR-1

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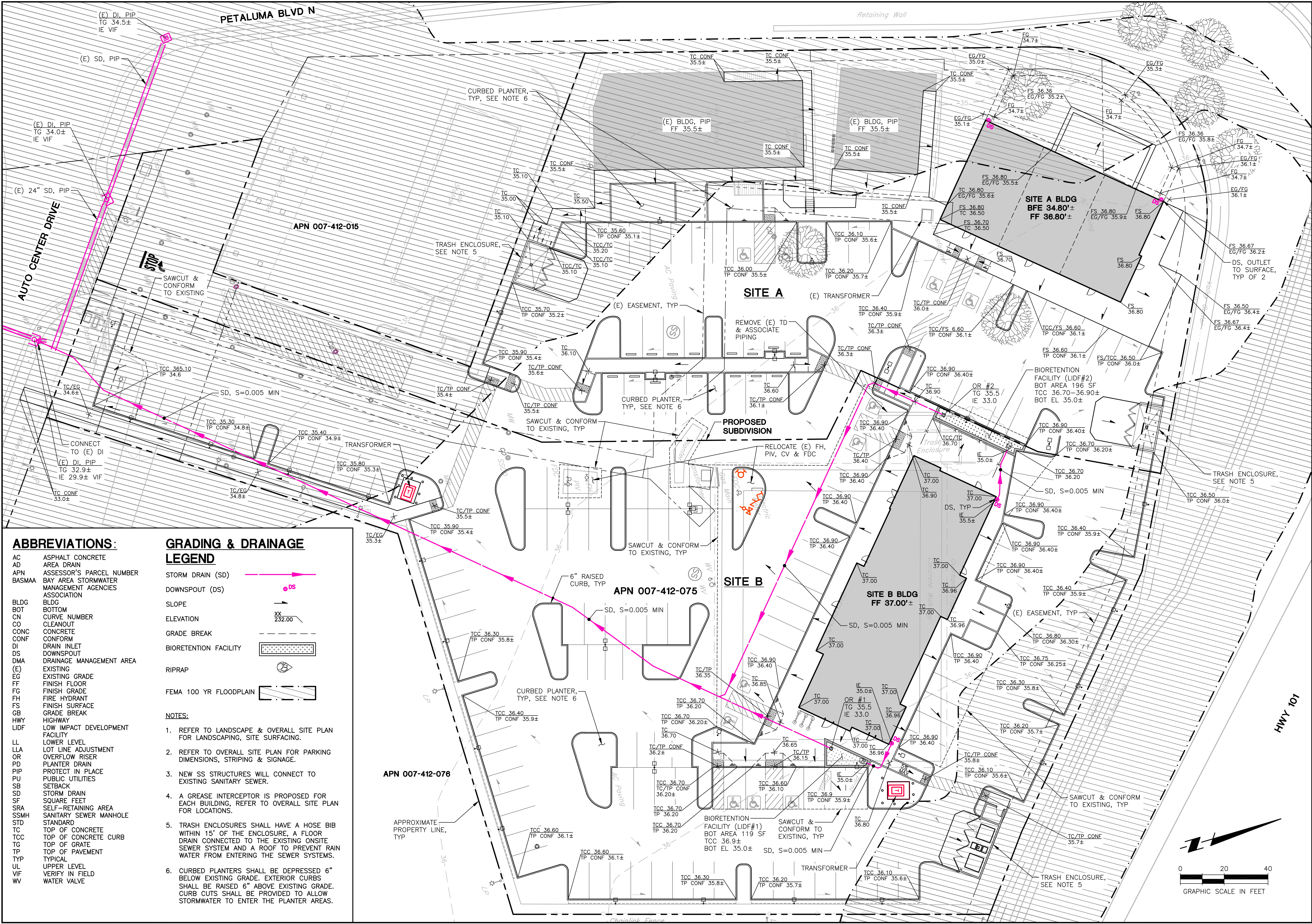
SITE LIGHTING PLAN - SOUTH
SCALE: 1"=20'-0" 1

DESIGN REVIEW 10/07/22
DESIGN REVIEW 01/20/23
DESIGN REVIEW 01/25/23
DESIGN REVIEW 01/26/23

PRELIMINARY
NOT FOR CONSTRUCTION
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ABBREVIATIONS:

AC ASPHALT CONCRETE
AD AREA DRAIN
APN ASSESSOR'S PARCEL NUMBER
BASMAA BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION
BLDG BUILDING
BOT BOTTOM
CN CURVE NUMBER
CO CLEANOUT
CONC CONCRETE
CONF CONFORM
DI DRAIN INLET
DS DOWNSPOUT
DMA DRAINAGE MANAGEMENT AREA
(E) EXISTING
EG EXISTING GRADE
FF FINISH FLOOR
FG FINISH GRADE
FH FIRE HYDRANT
FS FINISH SURFACE
GB GRADE BREAK
HWY HIGHWAY
LIDF LOW IMPACT DEVELOPMENT FACILITY
LL LOWER LEVEL
LLA LOT LINE ADJUSTMENT
OR OVERFLOW RISER
PD PLANTER DRAIN
PIP PROTECT IN PLACE
PU PUBLIC UTILITIES
SB SETBACK
SD STORM DRAIN
SF SQUARE FEET
SRA SELF-RETAINING AREA
SSMH SANITARY SEWER MANHOLE
STD STANDARD
TC TOP OF CONCRETE
TCC TOP OF CONCRETE CURB
TG TOP OF GRADE
TP TOP OF PAVEMENT
TYP TYPICAL
UL UPPER LEVEL
VIF VERIFY IN FIELD
WV WATER VALVE

GRADING & DRAINAGE LEGEND

STORM DRAIN (SD)
DOWNSPOUT (DS)
SLOPE
ELEVATION
GRADE BREAK
BIORETENTION FACILITY
RIPRAP
FEMA 100 YR FLOODPLAIN

NOTES:

- REFER TO LANDSCAPE & OVERALL SITE PLAN FOR LANDSCAPING, SITE SURFACING.
- REFER TO OVERALL SITE PLAN FOR PARKING DIMENSIONS, STRIPING & SIGNAGE.
- NEW SS STRUCTURES WILL CONNECT TO EXISTING SANITARY SEWER.
- A GREASE INTERCEPTOR IS PROPOSED FOR EACH BUILDING. REFER TO OVERALL SITE PLAN FOR LOCATIONS.
- TRASH ENCLOSURES SHALL HAVE A HOSE BIB WITHIN 15' OF THE ENCLOSURE, A FLOOR DRAIN CONNECTED TO THE EXISTING ONSITE SEWER SYSTEM AND A ROOF TO PREVENT RAIN WATER FROM ENTERING THE SEWER SYSTEMS.
- CURBED PLANTERS SHALL BE DEPRESSED 6" BELOW EXISTING GRADE. EXTERIOR CURBS SHALL BE RAISED 6" ABOVE EXISTING GRADE. CURB CUTS SHALL BE PROVIDED TO ALLOW STORMWATER TO ENTER THE PLANTER AREAS.

	2022-10-07	SPAR SUBMITTAL
1	2022-12-01	SPAR RESUBMITTAL
2	2023-01-30	SPAR RESUBMITTAL

DATE: 2022-10-07
JOB NO: 2022086
SCALE: AS SHOWN
DRAWN: TAF
CHECKED: TCS
SHEET