

RESOLUTION 2020-17

CITY OF PETALUMA PLANNING COMMISSION

RECOMMENDING THE CITY COUNCIL APPROVE A ZONING TEXT AMENDMENT OF THE IMPLEMENTING ZONING ORDINANCE, ORDINANCE 2300 N.C.S., TO ALLOW THE CASA GRANDE PLANNED UNIT DISTRICT LAND USE CONTROLS AND DEVELOPMENT STANDARDS FOR THE PROPERTY LOCATED AT 240 AND 250 CASA GRANDE ROAD, APN 017-040-020 AND -059

WHEREAS, Doyle Heaton of Falcon Point Associates, LLC submitted an application for the Casa Grande Project, including a Zoning Map Amendment, Zoning Text Amendment, Vesting Tentative Subdivision Map, and Site Plan and Architectural Review for a 36-unit residential project within the Residential 4 (R4) and Flood Plain Combining (FP-C) zones, located on a 45-acre site at 240 and 250 Casa Grande Road (APN 017-040-020 and 017-040-059) (the "Project"); and

WHEREAS, City of Petaluma Implementing Zoning Ordinance (IZO) §25.010 provides in pertinent part that no amendment that regulates matters listed in Government Code §65850 shall be made to the IZO unless the Planning Commission and City Council find the amendment to be in conformity with the General Plan; and

WHEREAS, recently adopted citywide goals include efforts to create diverse housing opportunities for all Petalumans; and

WHEREAS, a duly noticed public hearing to consider the Project was advertised for October 27, 2020; and

WHEREAS, pursuant to IZO §25.050, the Planning Commission held a duly noticed public hearing to consider the Zoning Text Amendment on October 27, 2020, at which time all interested parties had the opportunity to be heard; and

WHEREAS, the Planning Commission considered the staff report dated October 27, 2020, including the California Environmental Quality Act (CEQA) determination included therein; and

WHEREAS, The Planning Commission considered a recommendation for the associated Zoning Map Amendment proposing to change the zoning district of the project site from Residential 4 (R4) to the Casa Grande Planned Unit District, and

WHEREAS, IZO §25.010 provides for Zoning Text Amendments which in this case has been initiated by the project applicant.

NOW THEREFORE BE IT RESOLVED by the Petaluma Planning Commission as follows:

1. The proposed amendments to adopt the text of the Casa Grande Planned Unit Development, attached hereto as Exhibit 1 are in general conformity with the Petaluma General Plan 2025 with recommended changes by staff in that the amendments implement the policies of both of the plans as described in the October 27, 2020 Planning Commission staff report.
2. The public necessity, convenience, and general welfare permit the adoption of the proposed Zoning Map Amendment and Zoning Text Amendment. The amendments will allow a small-lot development and will allow the project to cluster development on a portion of the property that will, in-turn, allow for the construction of a bioretention basin that will control flood waters for the existing site, as well as

improve flooding conditions for nearby streets in the Del Oro Subdivision. The project will provide needed housing and will provide five units of affordable housing at the low- and moderate-income levels.

3. The proposed ordinance, attached hereto as Exhibit 1, is hereby referred to the Petaluma City Council with recommended changes for consideration and findings in accordance with IZO §25.010 and 25.050.
4. An Initial Study was prepared in compliance with the California Environmental Quality Act for the proposed project, inclusive of the proposed zoning text amendments. The proposed project has been determined that it could result in potentially significant impacts related to Air Quality, Biological Resources, Cultural Resources, Geology/Soils, Hazards, Hydrology, Land Use/Planning, Noise, Transportation, and Tribal Cultural Resources. However, the Initial Study found that project impacts would be mitigated to a less-than-significant level through implementation of recommended mitigation measures or through compliance with existing Municipal Code requirements or City standards. The Planning Commission approved Resolution No. 2020-15 on October 27, 2020, recommending City Council adoption of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the project.

ADOPTED this 27th day of October, 2020, by the following vote:

Commission Member	Aye	No	Absent	Abstain
Councilmember McDonnell			X	
Chair Streeter	X			
Vice Chair Bauer	X			
Alonso	X			
Hooper	X			
Marzo		X		
Potter	X			

DocuSigned by:

Patrick Streeter

Patrick Streeter, Chair
65E7BC97E2014AC...

ATTEST:

APPROVED AS TO FORM:

DocuSigned by:

Heather Hines

Heather Hines, Secretary
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Eric D...

Eric D...
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**ORDINANCE OF THE CITY COUNCIL OF THE CITY OF PETALUMA
AMENDING THE TEXT OF THE IMPLEMENTING ZONING ORDINANCE, ORDINANCE 2300 N.C.S., TO ALLOW
THE CASA GRANDE PLANNED UNIT DISTRICT LAND USE CONTROLS AND DEVELOPMENT STANDARDS FOR THE
PROPERTY LOCATED AT 240 AND 250 CASA GRANDE ROAD, APN 017-040-020 AND -059**

WHEREAS, City of Petaluma Implementing Zoning Ordinance (IZO) §25.010 provides in pertinent part that no amendment that regulates matters listed in Government Code §65850 shall be made to the IZO unless the Planning Commission and City Council find the amendment to be in conformity with the General Plan; and

WHEREAS, recently adopted citywide goals include efforts to create diverse housing opportunities for all Petalumans; and

WHEREAS, a duly noticed public hearing to consider the Project was advertised for the October 27, 2020 Planning Commission meeting; and

WHEREAS, pursuant to IZO §25.050, the Planning Commission held a duly noticed public hearing to consider the Zoning Text Amendment on October 27, 2020, at which time all interested parties had the opportunity to be heard; and

WHEREAS, the Planning Commission considered the staff report dated October 27, 2020, including the California Environmental Quality Act (CEQA) determination included therein; and

WHEREAS, IZO §25.010 provides for Zoning Text Amendments which in this case has been initiated by the applicant; and

WHEREAS, on XXXX XX, 2020, a public notice of the XXXX public hearing before the City Council to consider the amendments was published in the *Argus-Courier*; and,

WHEREAS, IZO §25.010 provides for Zoning Text Amendments which in this case has been initiated by the project applicant.

WHEREAS, on XXXX, the City Council of the City of Petaluma held a duly noticed public hearing to consider the amendments; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF PETALUMA AS FOLLOWS:

Section 1: Findings. The City Council of the City of Petaluma hereby finds:

5. The proposed amendments to adopt the text of the Casa Grande Planned Unit Development, attached hereto as Exhibit 1 are in general conformity with the Petaluma General Plan 2025 with recommended changes by staff in that the amendments implement the policies of both of the plans as described in the October 27, 2020 Planning Commission staff report.
6. The public necessity, convenience, and general welfare permit the adoption of the proposed Zoning Map Amendment and Zoning Text Amendment. The amendments will allow a small-lot development and will allow the project to cluster development on a portion of the property that will, in-turn, allow for the construction of a bioretention basin that will control flood waters for the existing site, as well as improve flooding conditions for nearby streets in the Del Oro Subdivision. The project will provide needed housing and will provide five units of affordable housing at the low- and moderate-income levels.
7. An Initial Study was prepared in compliance with the California Environmental Quality Act for the proposed project, inclusive of the proposed zoning text amendments. The proposed project has been determined that it could result in potentially significant impacts related to Air Quality, Biological Resources, Cultural Resources, Geology/Soils, Hazards, Hydrology, Land Use/Planning, Noise,

Transportation, and Tribal Cultural Resources. However, the Initial Study found that project impacts would be mitigated to a less-than-significant level through implementation of recommended mitigation measures or through compliance with existing Municipal Code requirements or City standards. The Planning Commission approved Resolution No. XX on October 27, 2020, recommending City Council adoption of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the project.

Section 2: City of Petaluma Implementing Zoning Ordinance, Ordinance No. 2300 N.C.S. is hereby amended to incorporate the land use controls and development standards of the Implementing Zoning Ordinance attached hereto as Exhibit 1.

Casa Grande

Planned Unit District (PUD) Development Standards

August 2020

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Casa Grande

Planned Unit District

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- Exhibit A:** PUD Location Map
- Exhibit B:** PUD Zoning Map
- Exhibit C:** PUD Unit Plan
- Exhibit D:** Building Setback Table
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1.0 Casa Grande PUD

1.1 Purpose: The purpose of the Casa Grande Planned Unit District (“Casa Grande PUD”) is to allow flexibility on lot geometry in order to provide a higher density of market and inclusionary single-family residential dwellings than would be possible under the base R4 Zone District due to environmental constraints.

2.0 Definitions

2.1 Purpose: To establish the definitions of terms and phrases that are technical, specialized or that may not reflect common usage.

2.2 Definitions of Specialized Terms and Phrases: All specialized terms and phrases used in the Casa Grande PUD are defined at City of Petaluma Implementing Zoning Ordinance (“IZO”) Chapter 27 (Glossary), excepted as noted herein.

3.0 Applicability

3.1 Terms: These regulations apply to all land uses, subdivisions, and development within the Casa Grande PUD in the same manner provided at IZO §1.040 (Applicability of the Zoning Ordinance).

3.2 Location: These regulations are applicable to the property within the PUD as shown on Exhibits A through D.

3.3 Relationship to IZO: Except as noted herein, when the Casa Grande PUD is silent on a matter, the IZO shall apply. The Casa Grande PUD shall apply in all other cases.

4.0 Land Use District Maps and PUD Unit Plan

4.1 Purpose: To precisely indicate the areas to be used for each land use within the Casa Grande PUD.

4.2 Land Use Districts Established: The Casa Grande PUD is divided into two land use districts:

- a) Single Household Dwellings
- b) Private Open Space

4.3 Land Use District Maps: The location and boundary of the land use district is shown on Exhibits A and B.

4.4 PUD Unit Plan: The unit types are shown on Exhibit C.

5.0 Allowed Land Uses and Permit Requirements

Table 5.1 Land Uses	
Use	Land Use Control
Lodging - Short Term Vacation Rentals	Permitted
Dwelling, Single House	Permitted
Dwelling, Accessory	Accessory
Dwelling, Junior Accessory	Accessory
Home Occupation	Accessory
Residential, Accessory Structure	Accessory
Residential Care, Six or Fewer Clients in a Home	Permitted
Swimming Pool, Hot Tub, Spa	Accessory
Day Care - Small Family	Accessory

6.0 Development Standards

DEVELOPMENT FEATURE	TABLE 6.1 REQUIREMENT BY DISTRICT	
	SINGLE HOUSEHOLD DWELLINGS	OPEN SPACE
LOT SIZE	<i>Minimum area and width required for each lot in a new subdivision</i>	
Minimum Area	2002 sf	NA
Minimum Width	25.5 ft Interior 35 ft corner	NA
Minimum Depth	78 ft	NA
SETBACKS	<i>Minimum setbacks required.</i>	
Primary structure		
Front	See Building Setback Table and Exceptions Exhibit "D"	Not Permitted
Side – Interior		
Side – Street side		
Rear		
Accessory Structure	<i>Minimum setbacks required.</i>	
Front	Not Permitted	Not Permitted
Side – Interior		
Side – Street		
Rear		
	See Building Setback Table and Exceptions Exhibit "D"	
Site Coverage	<i>The percent of the total site area covered by structures, open or enclosed, excluding uncovered steps, patios and terraces.</i>	
Maximum Coverage		
Primary Structure	60%	NA
Accessory Structure	10% of the required setback area or 500 sf, whichever is greater	NA
Attached Cover Patio		
Height Limit	<i>Maximum allowable height of structures. See Glossary (Chapter 27) for height measurement requirements, and Chapter 12 for height limit modifications.</i>	
Maximum Height		
Principal Building	30 ft	Not Permitted
Accessory Structure	15 ft	
USABLE OPEN SPACE	300 sf/unit	NA
FENCING, LANDSCAPING & TREE PRESERVATION	See Section 9.0	
PARKING	See Section 7.0	Not Permitted
SIGNS	See IZO Chapter 20	

7.0 Access & Parking

7.1 Purpose: To provide on-street parking spaces for the public and residents within the public right of way and off-street parking on private lots within the Casa Grande PUD.

7.2 Vehicle Parking Spaces: Required private off-street and public on-street parking within the Casa Grande PUD shall be:

23 Single Household Detached Dwellings: 2 covered and 2 uncovered.

1 Single Household Detached Dwellings: 1 covered and 1 uncovered.

6 Single Household Attached Dwellings: 1 covered and 1 uncovered.

8.0 PUD Modifications

8.1 Modification Procedures: From time to time, it may be necessary and desirable to modify the Casa Grande PUD. Modifications shall be in accordance with IZO Chapter 19 (Planned Unit District and Planned Community District).

9.0 Landscaping and Fencing

9.1 Procedures and Methods

A. Private landscape areas within the interior fence boundaries of the single-family residential lots are not subject to the following PUD restrictions. Sheet L-1 Preliminary Landscape Plan (Exhibit E) that identifies the private areas.

B. Overall project landscaping and fencing maintenance shall follow an approved landscape maintenance manual. The governing HOA shall use the submitted manual as a guide for landscape maintenance requirements throughout areas designated to be maintained by the HOA per the approved improvement plans.

C. All landscaping to be maintained by appointed HOA shall maintain consistency with the approved landscape plans design and intent.

D. Other landscape areas not to be maintained by HOA will be maintained by the home owner. These areas include the side and back yards of each private lot.

E. Owners of single-family residences can make alterations to their front yard landscapes so long as they follow the PUD guidelines and receive approval by the appointed HOA.

F. Landscaping within the common area shall be consistent with the approved improvement plans. Any future modifications to this area will be subject to HOA oversight and approval.

G. All landscaping and irrigation shall comply with the City of Petaluma Water Conservation Ordinance or any other applicable landscape irrigation document that may be adopted in the future.

H. Future replacement of plants may be allowed if plants used are from the proposed plant lists as shown on said plan. The Planning Director must approve modifications to the approved plant list.

I. All fence replacement must match design and detail shown in the approved landscape construction plans. Modifications to the approved fence design may be approved in accordance with Section 19.040.E.4 of the Implementing Zoning Ordinance as well as the requirements of the CC&R's.

J. Fencing materials, height and location of all fencing facing the adjacent Casa Grande Road shall be 6' double sided wood with 2' privacy screening to ensure reduced noise impacts and privacy for proposed residential lots. All fencing shall comply with the City of Petaluma IZO and the approved landscape plans for fencing height and location restrictions.

K. Shared side yard access paths shall not be blocked and must be kept clear for accessibility. Homeowners shall be held responsible for keeping the pathways clear. HOA shall manage repairs and upkeep of side yard access pathways.

L. Landscape areas that serve to filter storm water runoff shall be planted with plant material approved for bio-retention areas where seasonal flooding may occur.

M. Bark mulch must be kept at a minimum 3" depth in all landscape areas.

N. Proposed street trees should be maintained in good health and be replaced if in poor health or condition and shall be replaced with species recommended in the approved landscape plans.

9.2 Preservation of Existing Landscape Elements

A. Any existing protected native and heritage tree or any tree or plant located within the delineated riparian tree canopy drip line, shall be preserved and maintained as recommended by a certified arborist. Encroachment of landscaping, grading or any other form of intrusion into the tree root zone or canopy drip line is not allowed, unless for maintenance purposes approved and overseen by a certified arborist. Tree mitigation requirements shall follow the City of Petaluma's Tree Preservation Section of the IZO as necessary to mitigate future removal of any protected trees shown on the approved landscape construction plans.

10.0 Exterior Lighting

10.1 Procedures and Methods: The exterior lighting standards shall be consistent with the performance standards as stipulate in IZO Chapter 21.

11.0 Inclusionary Housing

11.1 Modification and Procedures: The Casa Grande PUD is subject to the Inclusionary Housing IZO §3.040 (Applicability of the Zoning Ordinance).

12.0 Flood Way and Flood Plain

12.1 Applicability: The Casa Grande PUD is subject to the Flood Way and Flood Plain District, where applicable, IZO Chapter 6.

EXHIBIT "A" LOCATION MAP

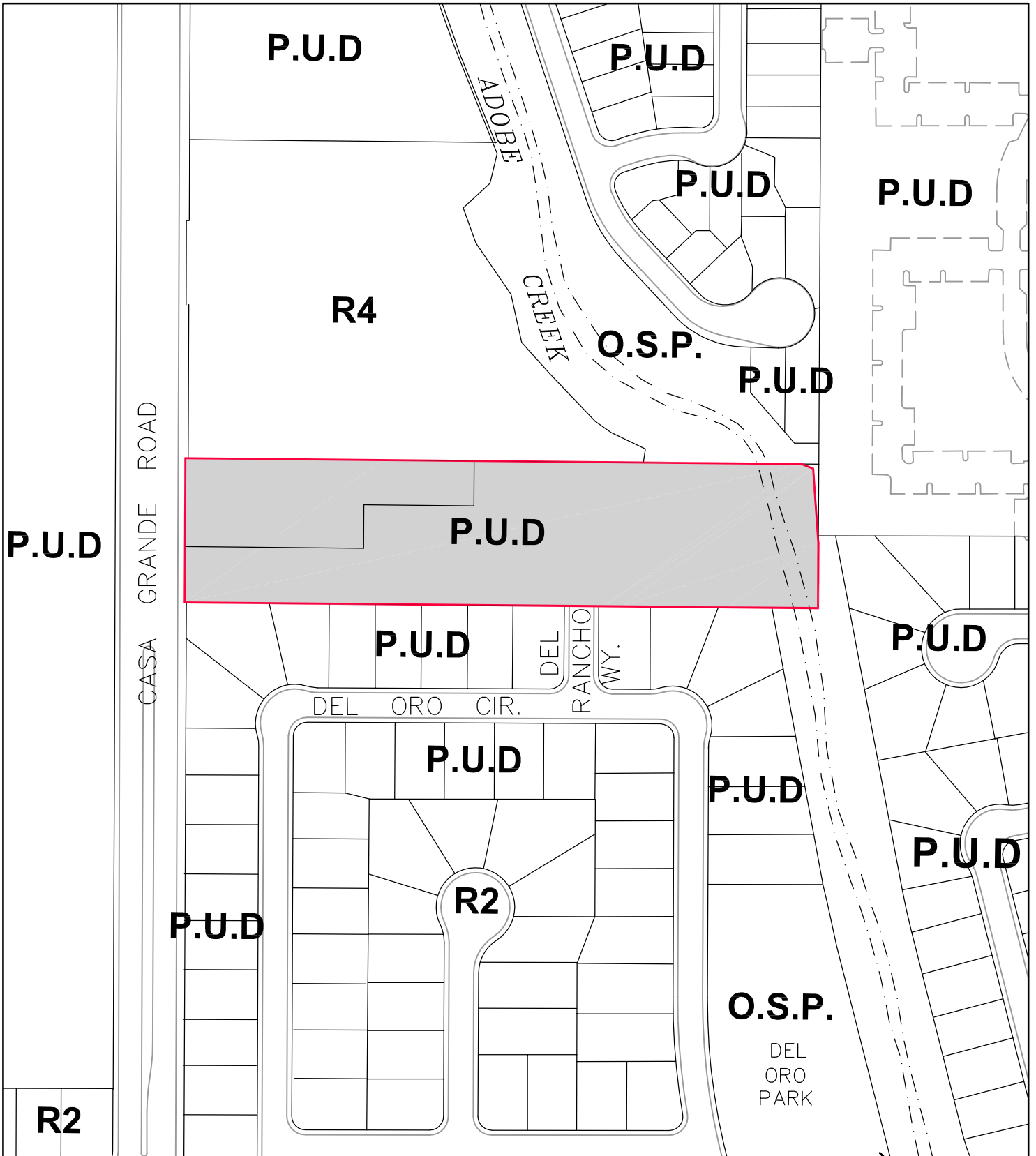


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LAND PLANNERS ~ LANDSCAPE ARCHITECTS

PETALUMA THEATRE SQUARE
140 SECOND STREET, SUITE 312
Petaluma, CA 94952
Planning Commission Resolution No. 2020-17
707-762-3122 FAX 707-762-3239



EXHIBIT "B" ZONING MAP

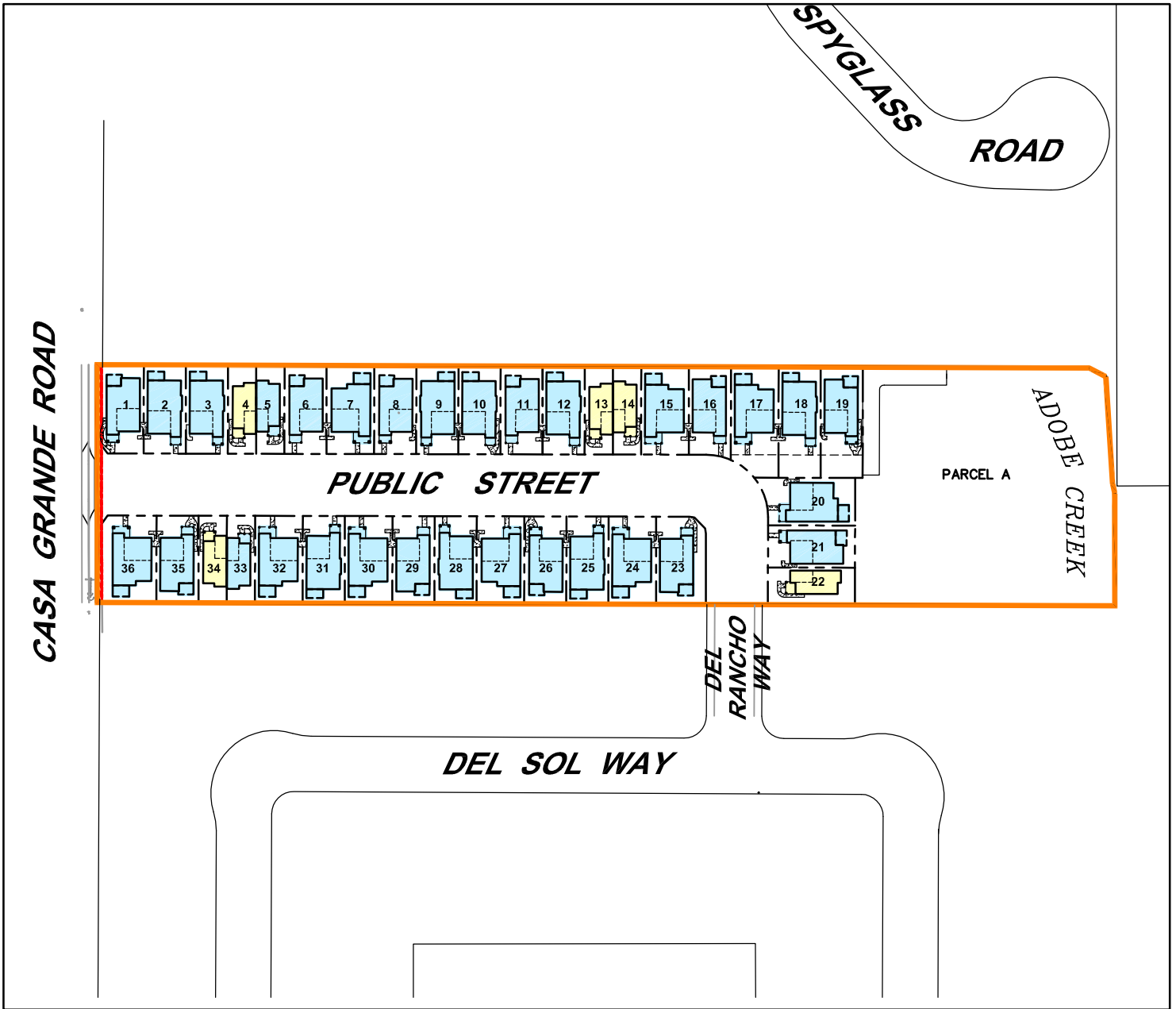


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EXHIBIT "C" PUD UNIT PLAN

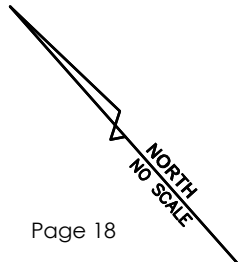


LEGEND

-  SITE BOUNDARY
-  INCLUSIONARY UNITS
-  MARKET RATE UNITS


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BUILDING SETBACK TABLE-No.2

LOT	FRONT	BACK	SIDE LOT *LEFT FACING	SIDE LOT *RIGHT FACING	CORNER SIDE
LOT 1	17'	12'		3.5'	4.6'
LOT 2	15'	14'	3.5'	3.5'	
LOT 3	15'	14'	3.5'	3.5'	
LOT 4	18'	15'	4.3'		
LOT 5	20'	13'		4.3'	
LOT 6	17'	11'	4.5'	3.5'	
LOT 7	16'	16'	4.5'	3.5'	
LOT 8	17'	11'	3.5'	3.5'	
LOT 9	15'	13'	3.5'	3.5'	
LOT 10	17'	13'	3.5'	3.5'	
LOT 11	17'	11'	4.5'	3.5'	
LOT 12	15'	13'	3.5'	3.5'	
LOT 13	18'	15'	4.3'		
LOT 14	20'	13'		4.3'	
LOT 15	16'	16'	3.5'	4.5'	
LOT 16	17'	11'	3.5'	4.5'	
LOT 17	29'	16'	3.5'	4.5'	
LOT 18	35'	13'	3.5'	3.5'	
LOT 19	37'	11'	3.5'		4.5'
LOT 20	16'	15'	4.5'	3.5'	
LOT 21	17'	10'	4.5'	3.5'	
LOT 22	20'	12'	2.7'		9.8'
LOT 23	17'	11'	3.5'		11.4'
LOT 24	16'	16'	4.5'	3.5'	
LOT 25	15'	13'	3.5'	3.5'	
LOT 26	17'	11'	4.5'	4.5'	
LOT 27	16'	15'	3.5'	4.5'	
LOT 28	15'	12'	3.5'	3.5'	
LOT 29	17'	10'	3.5'	3.5'	
LOT 30	16'	15'	4.5'	3.5'	
LOT 31	15'	12'	3.5'	3.5'	
LOT 32	16'	15'	4.5'	3.5'	
LOT 33	20'	12'	3.5'		
LOT 34	18'	14'		4.3'	
LOT 35	17'	10'	4.5'	3.5'	
LOT 36	16'	15'	4.5'		10'

* LEFT/RIGHT FACING SIDE DIMENSION IS BASED ON FACING THE UNIT.

BUILDING SETBACK EXCEPTIONS**FRONT SETBACK:**

- EXCEPTION 1. – ROOF EAVES MAY PROJECT INTO REQUIRED FRONT SETBACK 2'.
- EXCEPTION 2. – PORCHES MAY PROJECT INTO REQUIRED FRONT SETBACK 3'.

SIDE SETBACK:

- EXCEPTION 1. – ROOF EAVES MAY PROJECT INTO SIDE YARDS 1'.
- EXCEPTION 2. – THE SIDE SETBACK AT THE COMMON WALL OF DUET UNITS SHALL BE 0'.

CORNER LOT STREET SIDE SETBACK:

- EXCEPTION 1. – ROOF EAVES MAY PROJECT INTO SIDE YARDS 2'.

REAR SETBACK:

- EXCEPTION 1. – COVERED PATIOS MAY PROJECT INTO REAR YARDS 6'.
- EXCEPTION 2. – ROOF EAVES MAY PROJECT INTO REAR YARDS 2'.

