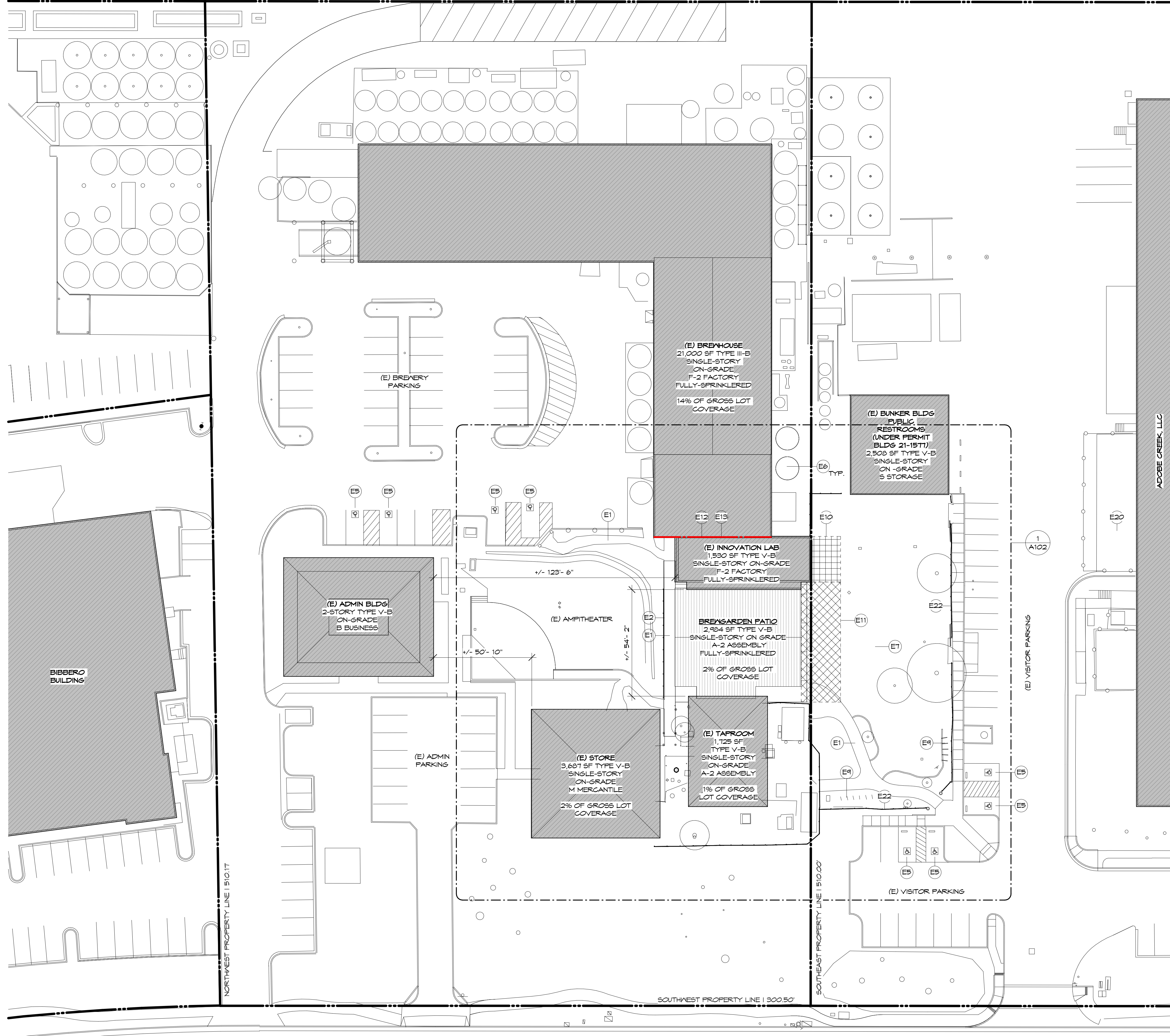


NORTHEAST PROPERTY LINE | 308.17



PROJECT AND SITE DATA

SITE INFORMATION:
 SITE ADDRESS: 1280 NORTH McDOWELL BLVD
 COUNTY: SONOMA COUNTY
 APN: 007-582-008
 ZONING: BP - BUSINESS PARK
 USE CODE: 0310 LIGHT MANUFACTURING & INDUSTRIAL
 LOT SIZE: 1/4 - 9.56 ACRES
 AREA OF WORK: 2,984 SF
 PARKING: EXISTING (VEHICULAR) - NO CHANGE
 TOTAL SPACES: 445 FOR OVERALL CAMPUS
 TOTAL ACCESSIBLE SPACES: 19 (6 VAN, 13 CAR)

SETBACKS: (PER TABLE 4.12)
 FRONT: 0'
 SIDE (INTERIOR): 0'
 SIDE (STREET): 0'
 REAR: 20' (ADJACENT TO NON-BP USE)

BUILDING CODE ANALYSIS:

NARRATIVE:
 GIVEN THE PROXIMITY OF THE BRENGARDEN TO BOTH THE EXISTING INNOVATION LAB AND THE EXISTING TAPROOM, THE FOLLOWING CODE ANALYSIS WILL TREAT ALL THREE BUILDINGS (INNOVATION LAB, BRENGARDEN AND TAPROOM) AS PORTIONS OF ONE AGGREGATE BUILDING (PER CBC 501.2).

THIS ANALYSIS IS BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION (A-2) FOR THE TYPE OF CONSTRUCTION (V-B) OF THE BUILDING(S).

AN EXISTING 3HR RATED FIRE WALL MADE UP OF A 1" THICK REINFORCED CONCRETE WALL CURRENTLY EXISTS BETWEEN THE BREWERY BUILDING AND THE INNOVATION LAB. THIS WALL IS STRUCTURALLY INDEPENDENT OF THE INNOVATION LAB. THEREFORE THE ADJACENT BREWERY BUILDING WILL NOT BE INCLUDED AS PART OF THIS ANALYSIS.

THE EXISTING STORE BUILDING IS 18'-4" AWAY FROM THE TAPROOM AND BOTH THE TAPROOM AND THE STORE BUILDING HAVE LESS THAN 25% OPENINGS ON THESE ADJACENT FACADES. PER TABLE 105.5, THESE BUILDINGS MEET THE REQUIRED SEPARATION DISTANCE. IN ADDITION, BOTH BUILDING OVERHANGS ARE GREATER THAN THE MINIMUM DISTANCE REQUIRED FOR PROJECTIONS IN SECTIONS 105.2. THEREFORE THE STORE BUILDING WILL NOT BE INCLUDED AS PART OF THIS ANALYSIS.

PER 105.2, EXCEPTION: BUILDINGS ON THE SAME LOT AND CONSIDERED AS PORTIONS OF ONE BUILDING IN ACCORDANCE WITH SECTIONS 105.3 ARE NOT REQUIRED TO COMPLY WITH THIS SECTION FOR PROJECTIONS BETWEEN BUILDINGS. THEREFORE PROJECTIONS BETWEEN THE INNOVATION LAB, BRENGARDEN AND TAPROOM WILL NOT BE INCLUDED AS PART OF THIS ANALYSIS.

A DEED RESTRICTION WILL BE PUT INTO PLACE TO MAINTAIN 20' OF SEPARATION BETWEEN THE BRENGARDEN AND ANY POTENTIAL NEW BUILDINGS ON THE ADJACENT PROPERTY TO MAINTAIN COMPLIANCE WITH TABLE 105.5.

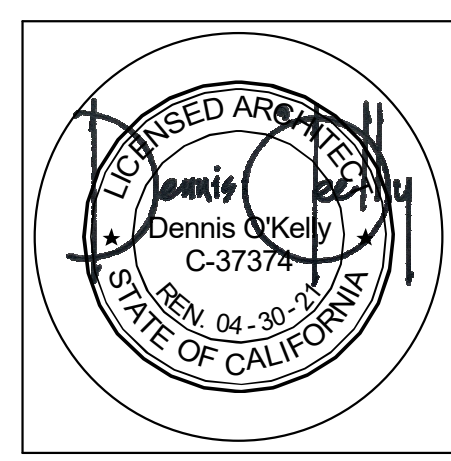
BUILDING CODE DATA:

INDIVIDUAL BUILDINGS: (SEE PARCEL PLAN AND CONTEXT PLAN)
AGGREGATE BUILDINGS: (BASED ON MOST RESTRICTIVE ALLOWANCES)
 OCCUPANCY: A-2 UNCONCENTRATED ASSEMBLY
 CONSTRUCTION TYPE: V-B
 FULLY-SPRINKLERED
 ACTUAL HEIGHT: 2 STORIES 60' (PER CBC, TABLE 504.3)
 ALLOWABLE AREA: 24,000 SF (PER CBC 506.2)
 AGGREGATE AREA: 6,294 SF

FIRE RESISTANCE RATINGS: (PER CBC TABLE 601 & 602)
 PRIMARY STRUCT. FRAME: 0-HR
 EXT. BEARING WALLS: 0-HR
 INT. BEARING WALLS: 0-HR
 FLOOR CONSTRUCTION: 0-HR
 ROOF CONSTRUCTION: 0-HR

KEY NOTES

- E1 (E) CONCRETE SIDEWALK TO REMAIN W/ MIN. WIDTH OF 48" AND MAX. SLOPE OF 5%
- E2 (E) TRELLIS TO REMAIN
- E3 (E) ACCESSIBLE PARKING SPACES. SEE SHEET G104 FOR SITE ACCESS DETAILS
- E6 (E) STORAGE TANKS TO REMAIN
- E7 (E) DECOMPOSED GRANITE PAVING W/ A MAX SLOPE OF 5%
- E9 (E) BIKE RACKS
- E10 OUTLINE OF (E) 15'-0" "NO BUILD ZONE" PER DEED RESTRICTION AT INNOVATION LAB
- E11 OUTLINE OF 20'-0" "NO BUILD ZONE" PER DEED RESTRICTION AT BRENGARDEN
- E12 (E) 3-HR FIRE WALL. CONFIRM ALL PENETRATIONS MEET REQ'S OF SECTION 114 OF THE CBC. REPAIR AND UPGRADE AS NEEDED
- E13 (E) 1" THICK, REINFORCED CONCRETE WALL, STRUCTURALLY INDEPENDENT FROM THE INNOVATION LAB BUILDING.
- E20 (E) TRASH ENCLOSURE
- E22 (E) WOOD FENCE TO REMAIN



BRENGARDEN PATIO
 LAGUNITAS BREWING CO.
 1280 North McDowell Blvd, Petaluma, CA

NO.	TEXT

PARCEL PLAN

THIS SHEET IS SHOWN FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT REPRESENT APPROVED CONSTRUCTION.

A101
 PROJECT: Project Number

3/22/2023 5:02:39 PM

1 PARCEL PLAN
 1:300

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