

# SPAR APPLICATION

## 09/08/2023

SPAR - INDEX OF DRAWINGS			
SHEET NO	SHEET TITLE	ISSUE DATE	REVISED DATE
SPAR			
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SPAR-3.2	ARCHITECTURAL - FLOOR PLAN - BASEMENT	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-3.5	ARCHITECTURAL - FLOOR PLAN - LEVEL 03	08 SEPTEMBER 2023	24 JUNE 2022
SPAR-3.6	ARCHITECTURAL - FLOOR PLAN - LEVEL 04	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-3.8	ARCHITECTURAL - FLOOR PLAN - ROOFTOP LEVEL	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-3.11	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 01	08 SEPTEMBER 2023	24 JUNE 2022
SPAR-6.0	PHOTOMETRIC PLAN - SITE	08 SEPTEMBER 2023	24 JUNE 2022
SPAR-6.1	PHOTOMETRIC PLAN - ROOF	08 SEPTEMBER 2023	24 JUNE 2022
Grand total: 39			

PROJECT INFORMATION			
PROJECT ADDRESS:	2 PETALUMA BLVD NORTH PETALUMA, CALIFORNIA		
OCCUPANCY TYPE:	A-2 RESTAURANTS R-1 HOTEL GUESTROOMS S-2 PARKING		
APN:			
CONSTRUCTION TYPE:	IA		
NUMBER OF STORIES:	FIVE STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE		
BUILDING HEIGHT ABOVE GRADE:	55' 9" (TOP OF ROOF PAVER)		
SITE AREA:	14,256.54 SF		
FAR:	4.78		
PROJECT AREA:		Gross	Net
	Basement	13,100	
	Parking		9174
	Storage		1256
	MEP		1082
	Ground Floor	12,727	
	Restaurant		2308
	outdoor seating		901
	Kitchen		1832
	MEP		1142
	trash		176
	Hotel		1460
	boh		3213
	Level 2	12,117	
	Guest		6860
	Fitness		1283
	Balc		508
	Terrace		898
	Admin		1050
	Level 3	12,117	
	Guest		9323
	Balc		508
	Level 4	12,117	
	Guest		9323
	Balc		508
	Level 5	11,502	
	Guest		8700
	Balc		988
	Level 6	4,220	
	Event		1372
	Pantry		967
	Terrace		5514
Total Above Grade Gross (shafts not removed)		64,800	
Land area		14,256	
FAR		4.55	
Site coverage		100%	
Keys		93	
Building Height (max to top of event roof from ave grade)		67'-10"	



## EKN Appellation Hotel

2 Petaluma Blvd South  
Petaluma, California



**Page Southernland Page, Inc.**  
414 Jackson Street, 4th Floor  
San Francisco, CA 94111  
pagethink.com

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FAX 415.249.0132

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444 Flower St 3800  
Los Angeles, CA  
90071  
323 536 2362

**MEP**  
INTERACE ENGINEERING  
601 South Figueroa St  
Suite 2750  
Los Angeles, CA 90017  
213 694 3408

**LANDSCAPE**  
BRIGHTVIEW  
8 Hughes  
Ste. 150  
Irvine, CA, 4900  
949 238 4900

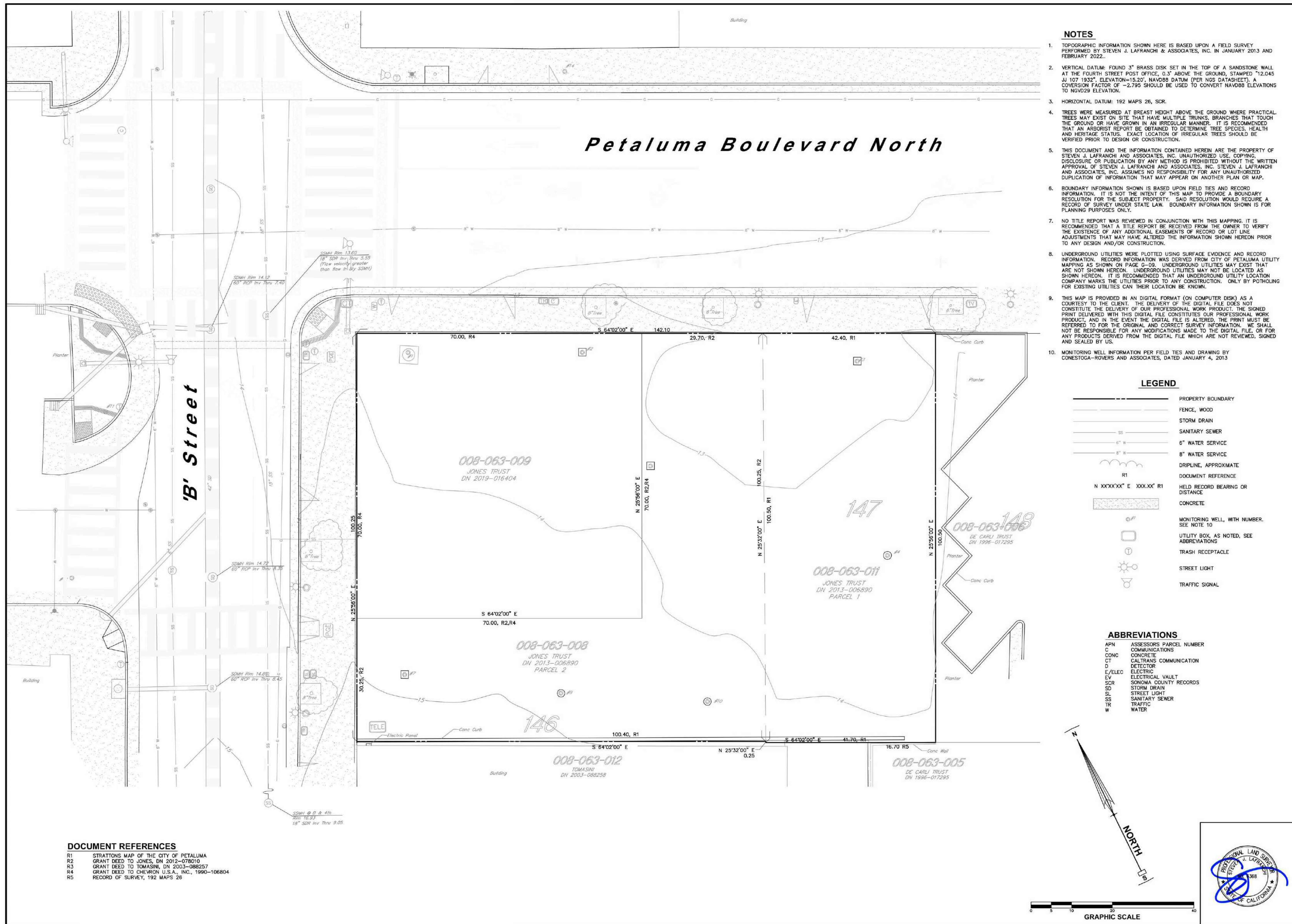
**CIVIL**  
N CONSULTENG  
4 Park Plz  
Irvine, CA  
92614  
949 396 1161

**FF&E**  
DH-COMPANIES  
7591 Coppermine Drive  
Manassas, VA  
20109  
703 520 1885

**INTERIOR**  
SIXTEEN-FIFTY  
7509 Girard Ave.  
La Jolla, CA  
92037  
858 454 6909

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  - VERTICAL DATUM: FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932" ELEVATION=15.20', NAVD88 DATUM (PER NOS DATASHEET), A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.
  - HORIZONTAL DATUM: 192 MAPS 26, SCR.
  - TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
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  - NO TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
  - UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM CITY OF PETALUMA UTILITY MAPPING AS SHOWN ON PAGE C-05. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARKS THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POTHOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
  - THIS MAP IS PROVIDED IN AN ANTI-CORRUPTION (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE DIGITAL FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS DIGITAL FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE DIGITAL FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE DIGITAL FILE, OR FOR ANY PRODUCTS DERIVED FROM THE DIGITAL FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.
  - MONITORING WELL INFORMATION PER FIELD TIES AND DRAWING BY CONESTOGA-ROVERS AND ASSOCIATES, DATED JANUARY 4, 2013

**LEGEND**

- PROPERTY BOUNDARY
- FENCE, WOOD
- STORM DRAIN
- SANITARY SEWER
- 6" WATER SERVICE
- 8" WATER SERVICE
- DRIPLINE, APPROXIMATE
- DOCUMENT REFERENCE
- HOLD RECORD BEARING OR DISTANCE
- CONCRETE
- MONITORING WELL, WITH NUMBER. SEE NOTE 10.
- UTILITY BOX, AS NOTED, SEE ABBREVIATIONS
- TRASH RECEPTACLE
- STREET LIGHT
- TRAFFIC SIGNAL

**ABBREVIATIONS**

- APN ASSESSORS PARCEL NUMBER
- C COMMUNICATIONS
- CONC CONCRETE
- CT CALTRANS COMMUNICATION
- D DETECTOR
- E/ELEC ELECTRICAL
- EV ELECTRICAL VAULT
- SCR SONOMA COUNTY RECORDS
- SD STORM DRAIN
- SL STREET LIGHT
- SS SANITARY SEWER
- TR TRAFFIC
- W WATER

**DOCUMENT REFERENCES**

R1	STRATTONS MAP OF THE CITY OF PETALUMA
R2	GRANT DEED TO JONES, DN 2010-078010
R3	GRANT DEED TO TOMASINI, DN 2003-088257
R4	GRANT DEED TO CHEVRON U.S.A., INC., 1990-106804
R5	RECORD OF SURVEY, 192 MAPS 26

REVISIONS	BY

**TOPOGRAPHIC MAP**

**LANDS OF JONES TRUST AND CHEVRON USA, INC.,  
 2 PETALUMA BOULEVARD NORTH APN 008-063-008, -009  
 PETALUMA CALIFORNIA**

**STEVEN J. LAFRANCHI & ASSOCIATES, INC.**  
 CIVIL ENGINEERS - LAND SURVEYORS - LAND PLANNERS  
 PETALUMA THEATRE SQUARE  
 148 JEFFERSON STREET PETALUMA, CA 94955  
 (707) 762-5122 FAX (707) 762-2829

DATE	DESCRIPTION	DATE
2022.05.25	INTERIM REVIEW	

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ARCHITECTURAL - SURVEY

DRAWN BY: Author      CHECKED BY: Checker  
 PROJECT NUMBER: 621010      PROJECT ABBREVIATION: PH  
 ORIGINAL ISSUE: SPAR APPLICATION      DATE: 08 SEPTEMBER 2023

**SPAR-1.0**  
SHEET NUMBER

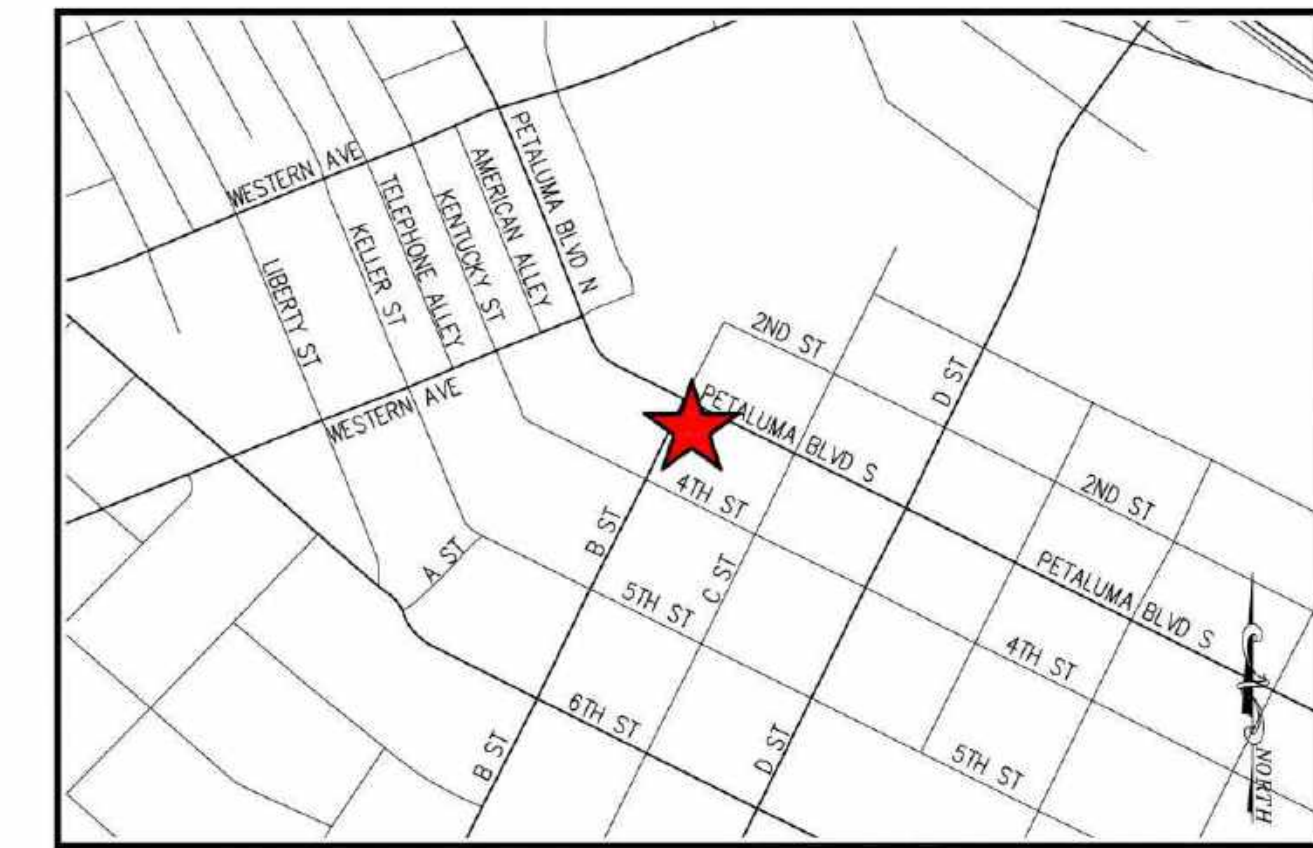
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Los Angeles CA 90017 Address Line 3  
323 536 2362 949 238 4900

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BUEHLER ENGINEERING DH-COMPANIES  
5 Third Street 7591 Coppermine Drive  
Suite 1125 San Francisco, CA 94103  
213 694 3408 Manassas, VA, 20109

INTERIORS CIVIL  
SIXTEEN FIFTY N CONSULTING ENGINEERS  
7509 Girard Ave 4 Park Plz  
La Jolla, CA Irvine, CA  
92037 92034  
858 454 6909 949 369 1161



VICINITY MAP  
SCALE: 1" = 500'

**PROJECT TEAM**  
**OWNER / DEVELOPER**  
EKN DEVELOPMENT GROUP  
222 NEWPORT CENTER DRIVE, SUITE 11-262  
NEWPORT BEACH, CA 92660  
CONTACT: MIKE JOLLY  
PHONE: 310.776.0821

**ARCHITECT**  
PAGE SOUTHERLAND PAGE, INC.  
414 JACKSON STREET, 4TH FLOOR  
SAN FRANCISCO, CA 94111  
CONTACT: SAM GELFAND  
PHONE: 415.249.0130

**CIVIL ENGINEER**  
N CONSULTING ENGINEERS, INC.  
4 PARK PLAZA, SUITE 1750  
IRVINE, CA 92614  
CONTACT: DEREK KARIMOTO P.E., QSD  
PHONE: 714.514.8858

**LANDSCAPE ARCHITECT**  
BRIGHTVIEW  
8 HUGHES, STE. 150  
IRVINE, CA 92614  
CONTACT: MATT DUNCAN  
PHONE: 949.396.1161

**STRUCTURAL**  
BUEHLER  
444 FLOWER ST 3000  
LOS ANGELES, CA 90017  
CONTACT:  
PHONE: 323.536.2362

**MEP**  
INTERFACE ENGINEERING, INC.  
601 SOUTH FIGUEROA STREET, SUITE 2750  
LOS ANGELES, CA 90017  
CONTACT: EUGENE DE SOUZA  
PHONE: 213.694.3408

PROJECT DATA	
APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94962
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COACHING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,296 SF 0.327 ACRES

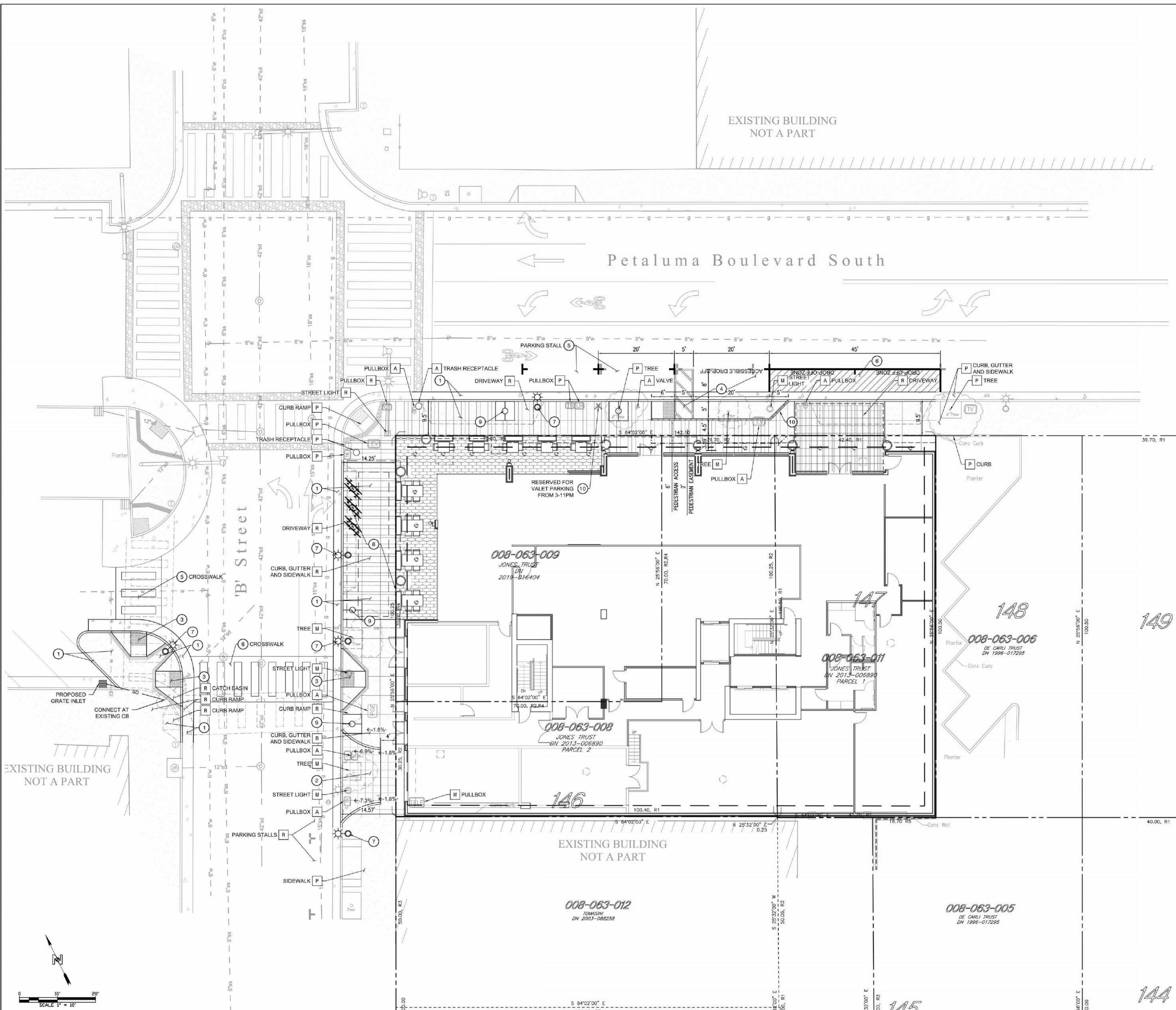
DEMOLITION NOTES	
[A] ADJUST TO GRADE.	EA
[M] MOVE OR RELOCATE.	EA
[P] PROTECT IN PLACE.	EA
[R] REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES	
1) CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2) CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3) CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4) CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5) STRIPE IN-KIND.	LF
6) PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45° @ 3" O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF
7) INSTALL RELOCATED STREET LIGHT PER CITY OF PETALUMA STANDARD DETAIL 611.	EA
8) INSTALL STORM WATER DETENTION SYSTEM.	EA
9) CONSTRUCT TREE WELL PER LANDSCAPE PLANS.	EA
10) INSTALL HANDRAIL.	LF
11) INSTALL SIGN POST AND SIGNAGE.	EA

LEGEND	
---	PROPERTY LINE
---	EXCAVATION LIMITS
---	SAWCUT LINE
---	EXISTING GAS
---	EXISTING STORM DRAIN
---	EXISTING SANITARY SEWER
---	EXISTING WATER
---	PEDESTRIAN EASEMENT

EARTHWORK:	
CUT:	7138 C.Y.
FILL:	0 C.Y.
IMPORT:	0 C.Y.
EXPORT:	7138 C.Y.

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.



NOT FOR CONSTRUCTION

EKN Petaluma LLC  
EKN APPELLATION HOTEL  
2 Petaluma Blvd South  
Petaluma, California

REVISION HISTORY	

REVISION DESCRIPTION DATE

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CIVIL - CONCEPTUAL SITE PLAN

DRAWN BY Author CHECKED BY Checker

PROJECT NUMBER 621010 PROJECT ABBREVIATION PH

ORIGINAL ISSUE DATE 08 SEPTEMBER 2023

SPAR-1.1

SHEET NUMBER

Autodesk Docs://621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt  
DATE/TIME: 9/8/2023 5:11:21 PM

NO.	DATE	REVISION DESCRIPTION	BY	DATE

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DIAL TOLL FREE 811  
AT LEAST TWO DAYS BEFORE YOU DIG  
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

**NOTICE TO CONTRACTOR:**

- THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. N CONSULTING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF N CONSULTING.

**BENCH MARK**  
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12 246.51 103 1985" ELEVATION=15.20', NAVD83 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD83 ELEVATIONS TO NGVD29 ELEVATION.

**BASIS OF BEARINGS**  
192 MAPS 26, SCR.

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4 Park Plaza, Suite 1750  
Irvine, CA 92614  
PHONE: 949.396.1161  
www.nconsulting.com

DEREK H. KARIMOTO

**Derek H. Karimoto**  
Professional Engineer  
No. 4226  
Feb 2019  
CIVIL  
STATE OF CALIFORNIA

PROJECT ADDRESS: 2 PETALUMA BLVD, PETALUMA, CA 94952

PROJECT NO: 214-002

DATE: 8/28/2022

DATE: 2022-08-26

DATE: 2022-08-26

PROJECT NAME: EKN PETALUMA HOTEL

TITLE: CONCEPTUAL SITE PLAN

SCALE AT D: 1" = 10'

CHECKED: D.H.K.

DATE: 08 SEPTEMBER 2023

P:\21-02-002 EKN Petaluma Hotel\Drawings\PH\021010\_CSP\_Aug\_28\_2022\_218.rvt

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414 Jackson Street, 4th Floor  
San Francisco, CA 94111  
page@psp.com

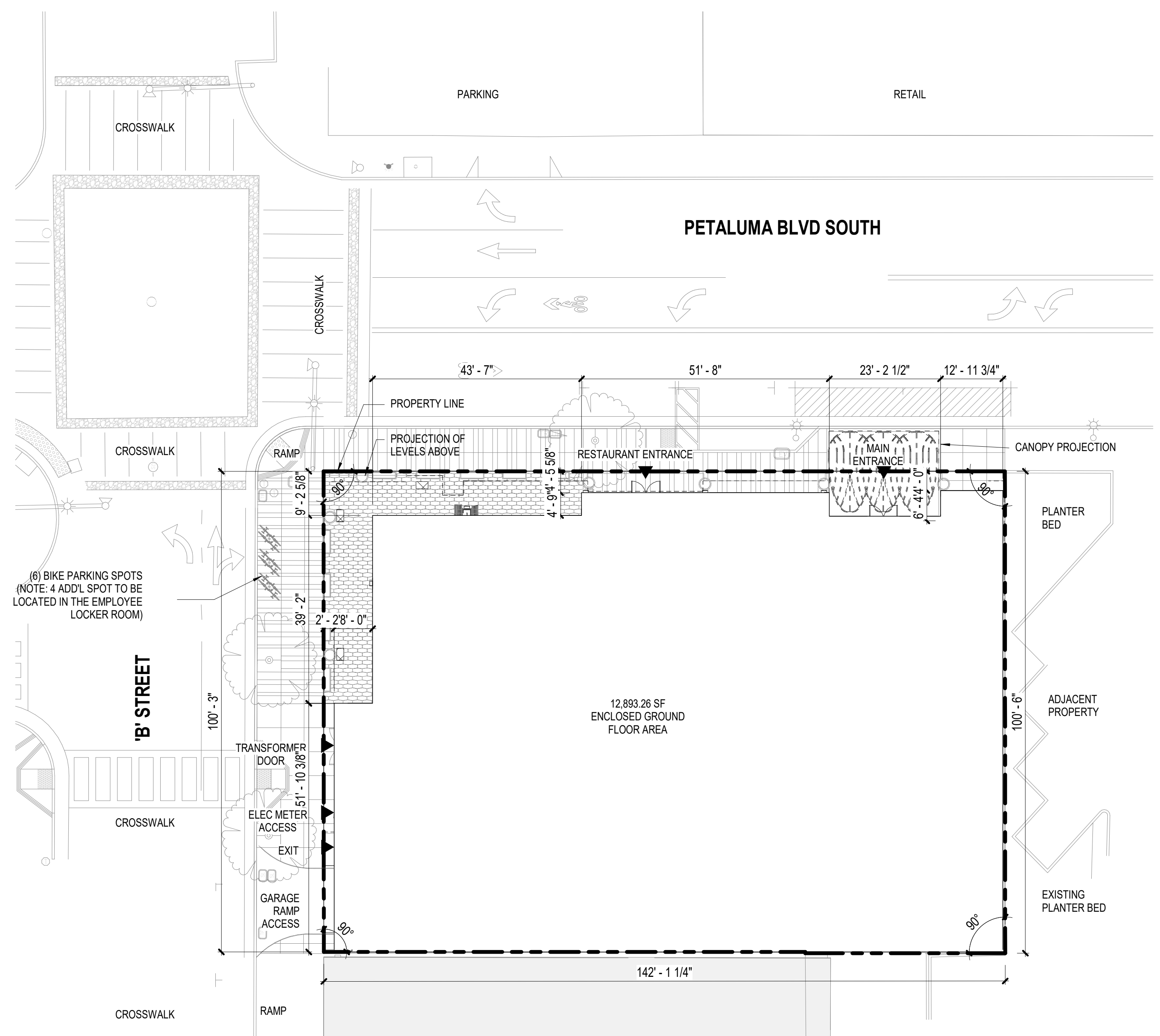
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MEP LANDSCAPE  
INTERFACE ENGINEERING BRIGHTVIEW DESIGN GROUP  
601 South Figueroa Street 1645 Grant Street  
Suite 2750 Denver, Colorado 80203  
Los Angeles CA 90017 Address Line 3  
323 536 2362 949 238 4900

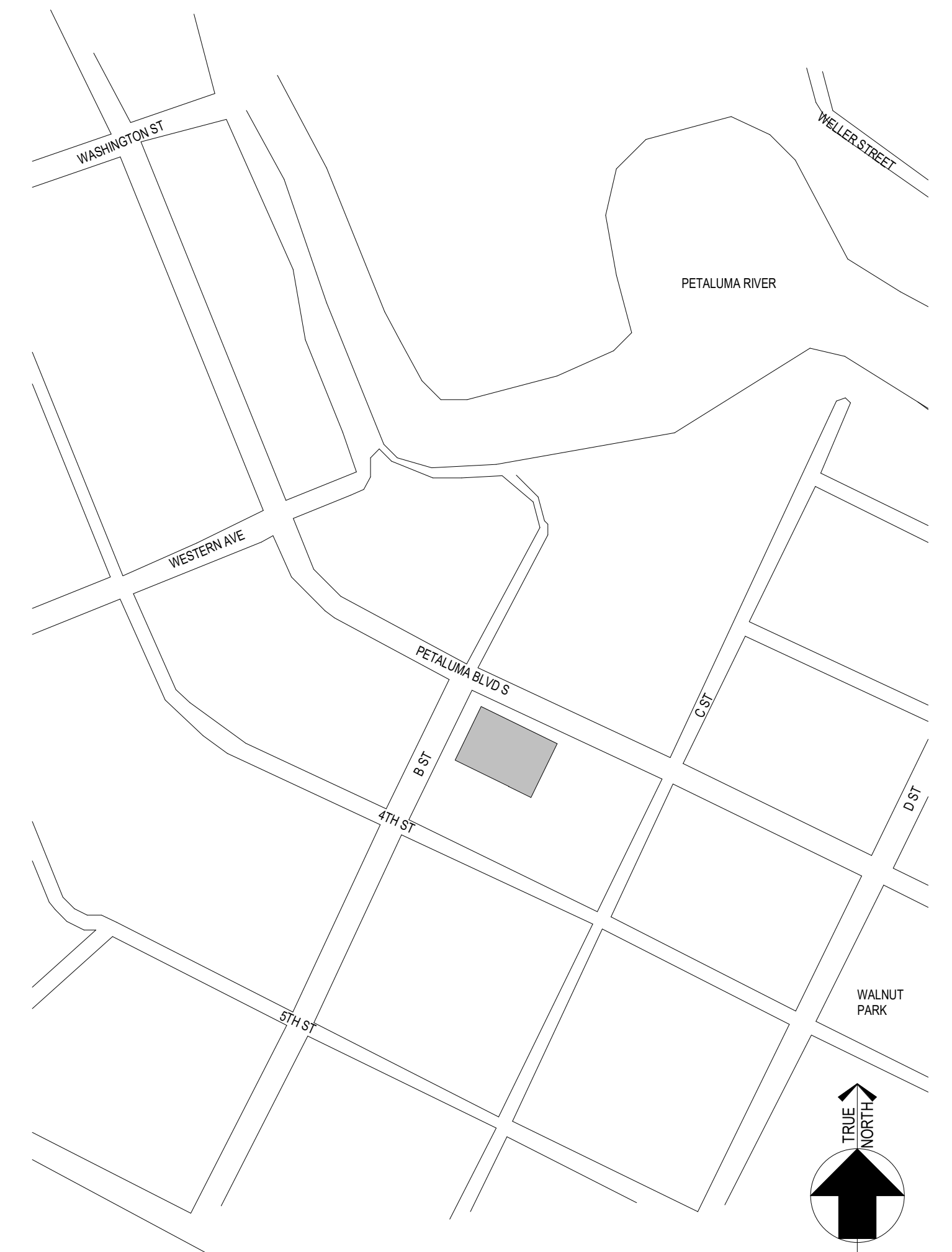
STRUCTURE FF&E  
BUHLER ENGINEERING D4-COMPANIES  
5 Third Street 7591 Coppermine Drive  
Suite 1125 San Francisco, CA 94103  
San Francisco, CA 94103 213 694 3408

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858 454 6909 949 369 1161

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EKN APPELLATION HOTEL  
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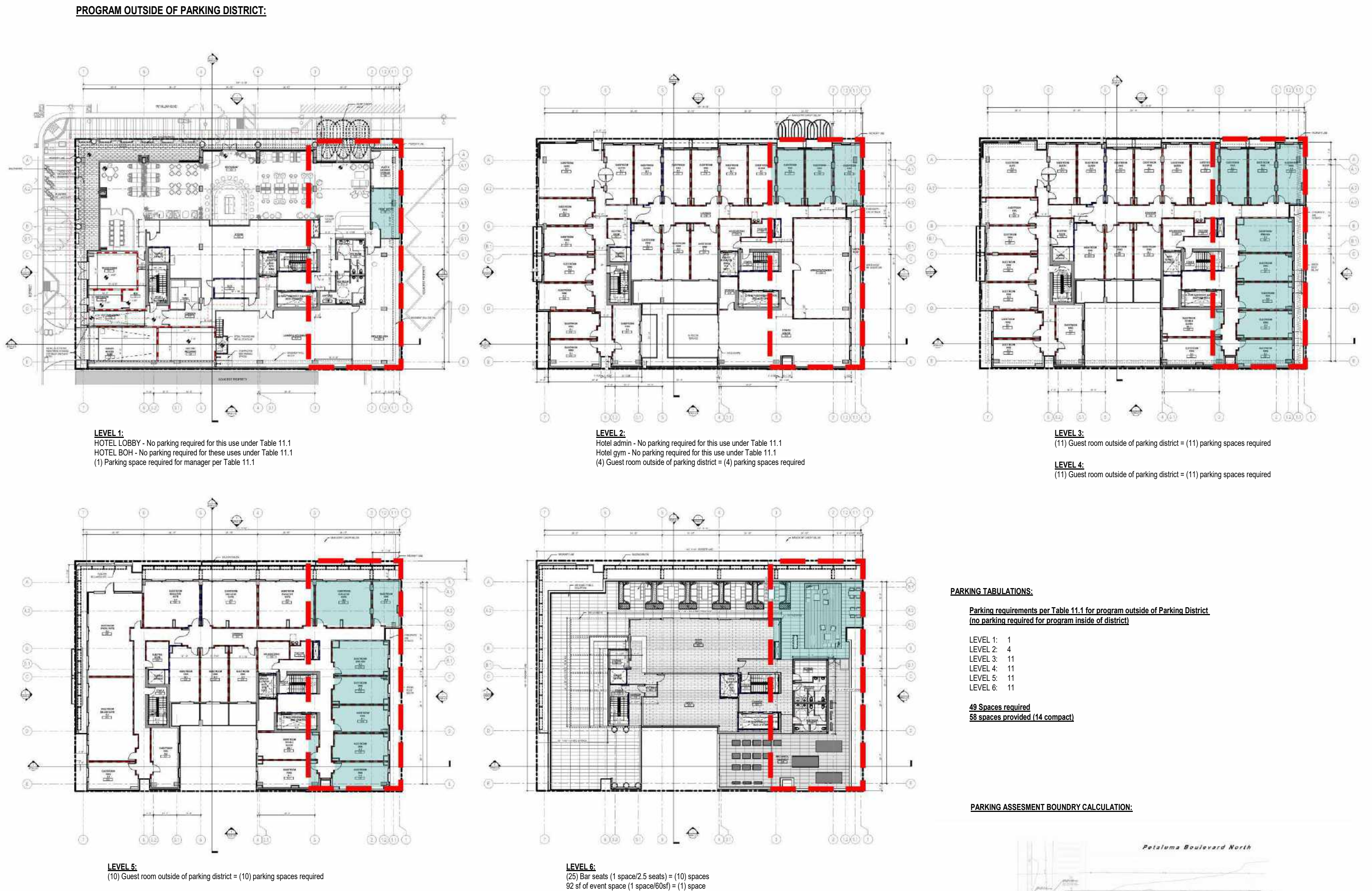
2 ARCHITECTURAL - SITE  
SCALE: 1/16" = 1'-0"



5 VICINITY MAP  
SCALE: 1" = 200'-0"



3 SITE - PHOTOS  
SCALE: 1" = 160'-0"



PARKING TABULATIONS  
Parking requirements per Table 11.1 for program outside of Parking District.  
(10 spaces required for program inside of district)

LEVEL 1	4
LEVEL 2	4
LEVEL 3	11
LEVEL 4	11
LEVEL 5	11
LEVEL 6	11
<b>8 spaces required</b>	
<b>88 spaces provided (14 compact)</b>	

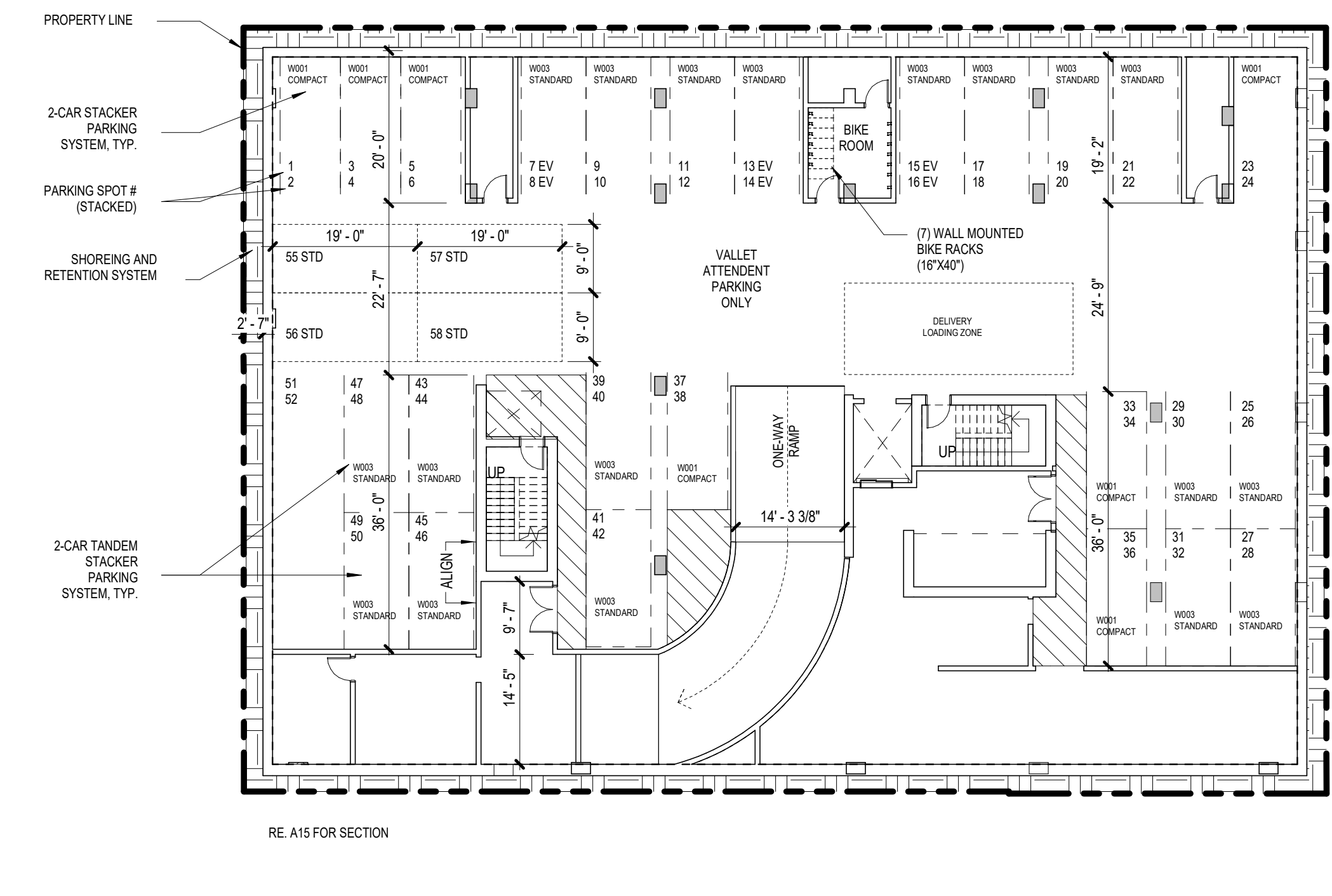
PARKING ASSESSMENT BOUNDARY CALCULATION



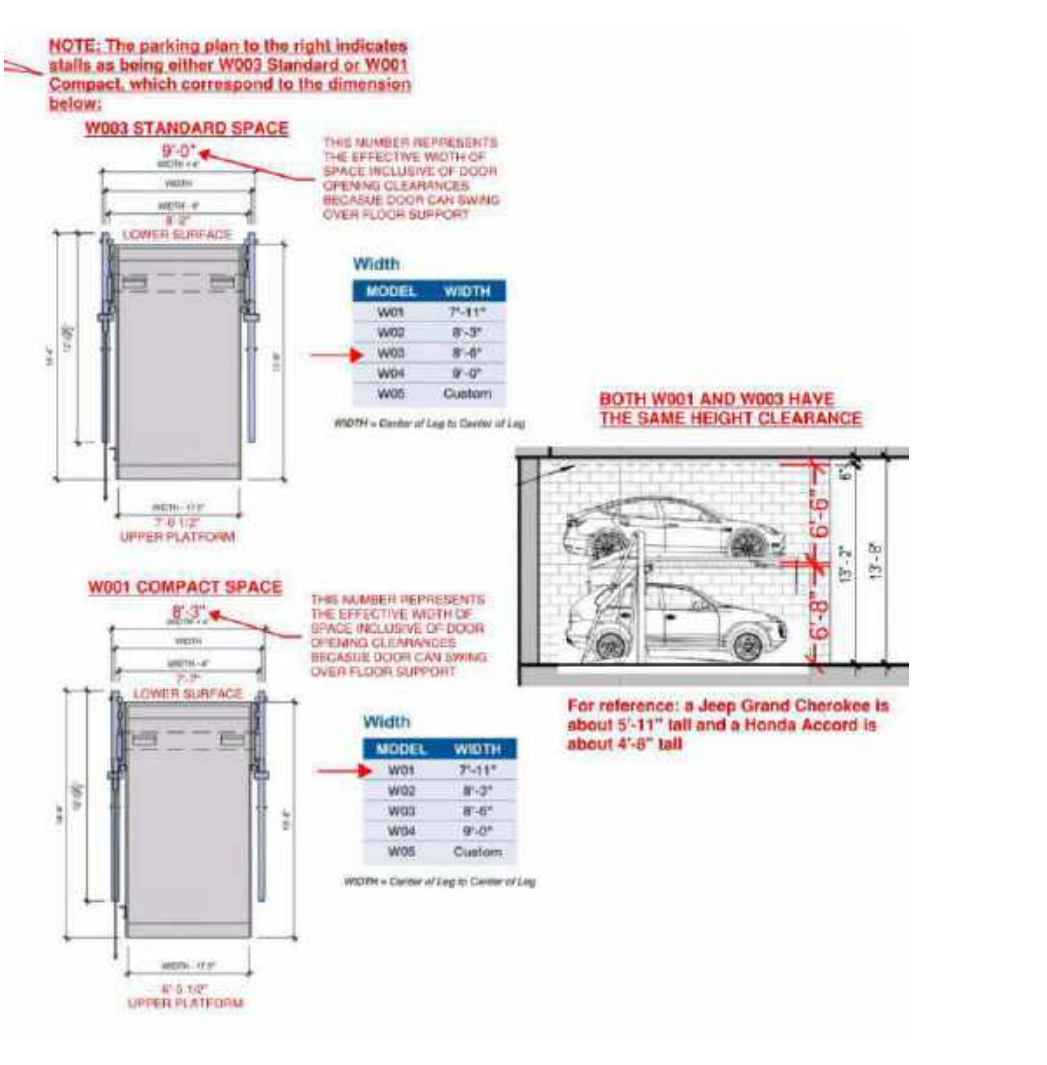
**SPEC SHEET PARKPLUS DP003 DOUBLE STACKER**

8-444-PARKPLUS

PARKPLUS INC.



1 PARKING SUMMARY  
SCALE: 1/16" = 1'-0"



REVISION HISTORY

NO.	DESCRIPTION	DATE

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ARCHITECTURAL - SITE PLAN

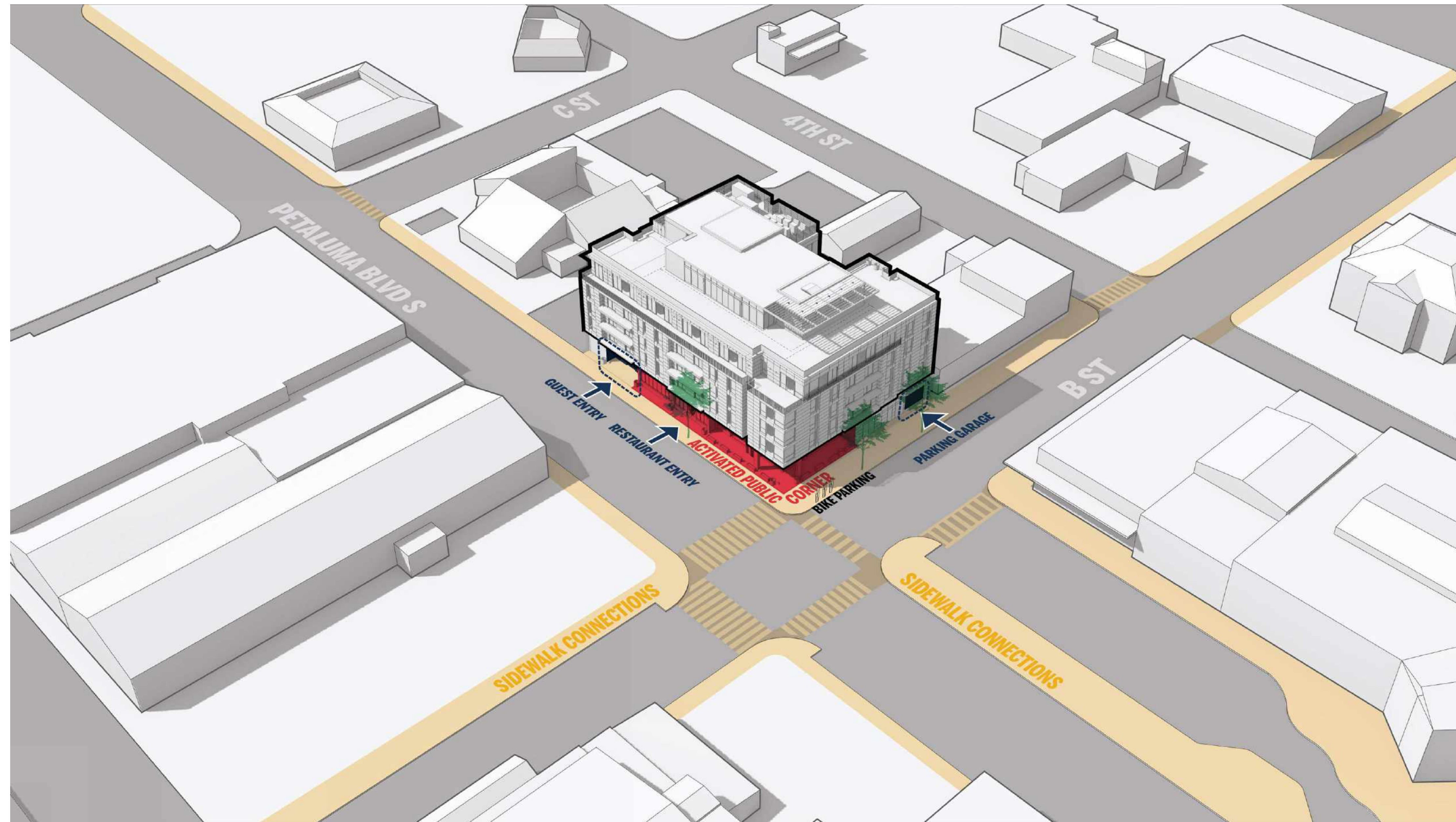
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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-1.2  
SHEET NUMBER

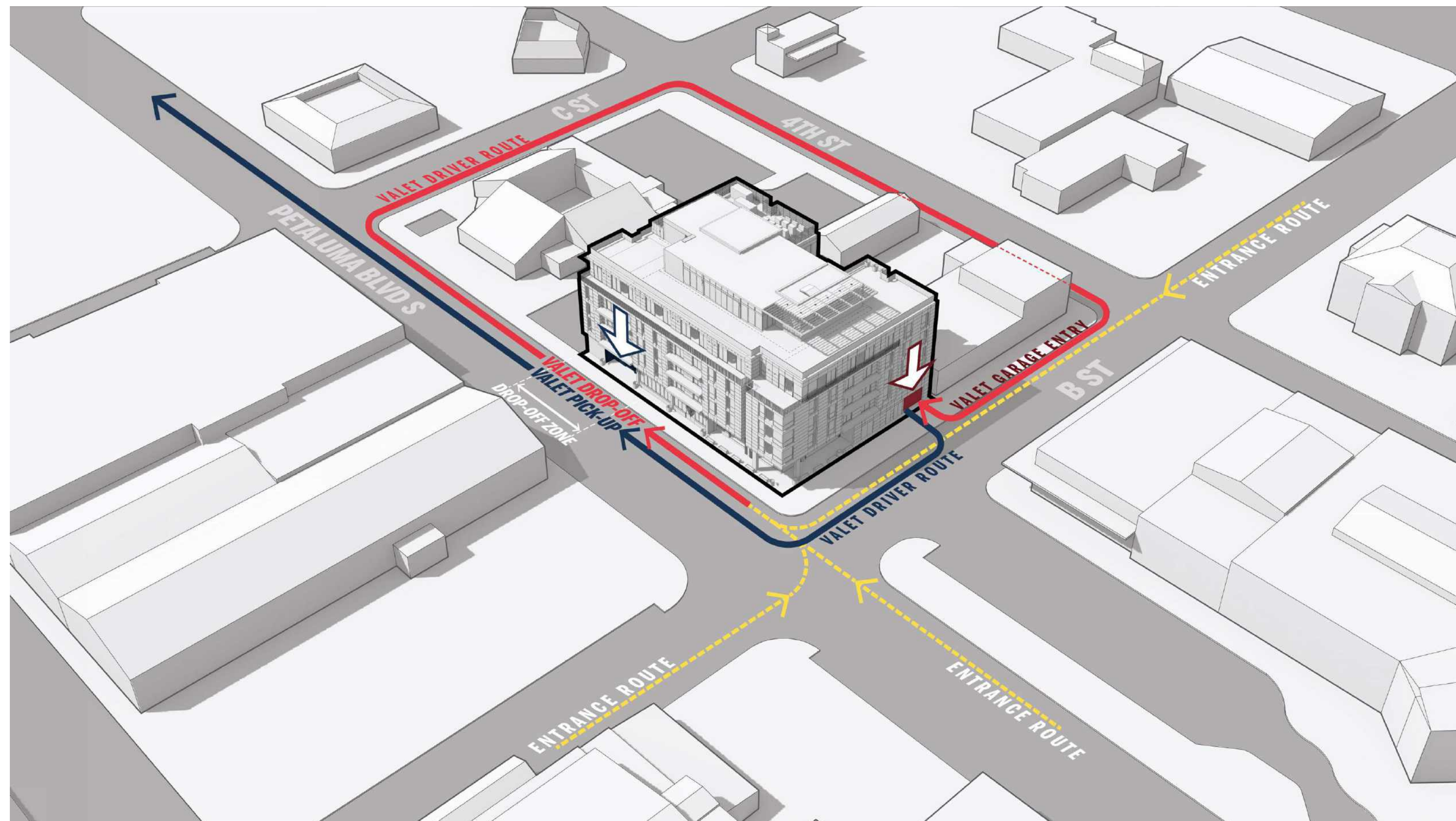
## EKN Petaluma LLC

### EKN APPELLATION HOTEL

2 Petaluma Blvd South  
 Petaluma, California



PUBLIC ENTRY



PARKING VALET CIRCULATION

REVISION HISTORY

REVISION	DESCRIPTION	DATE

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SITE DIAGRAMS

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SPAR-1.3

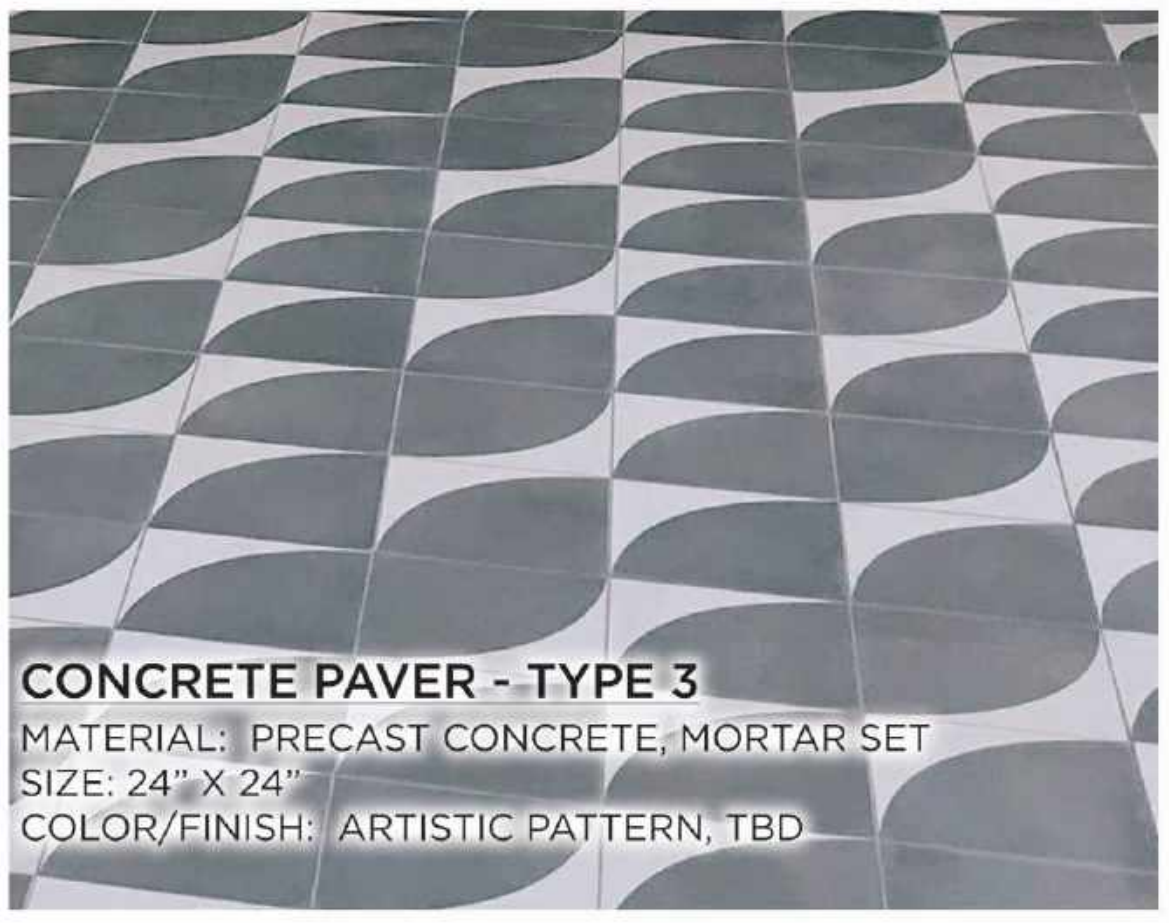
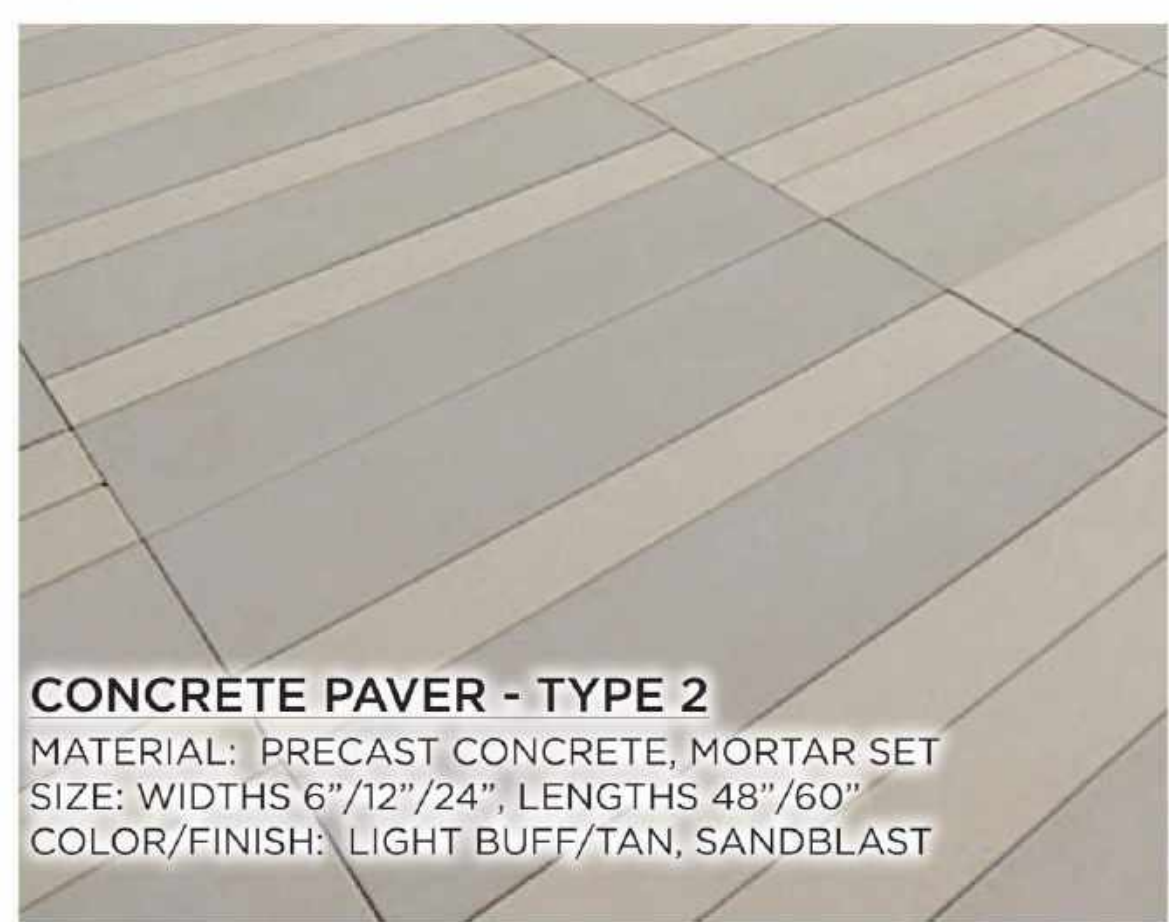
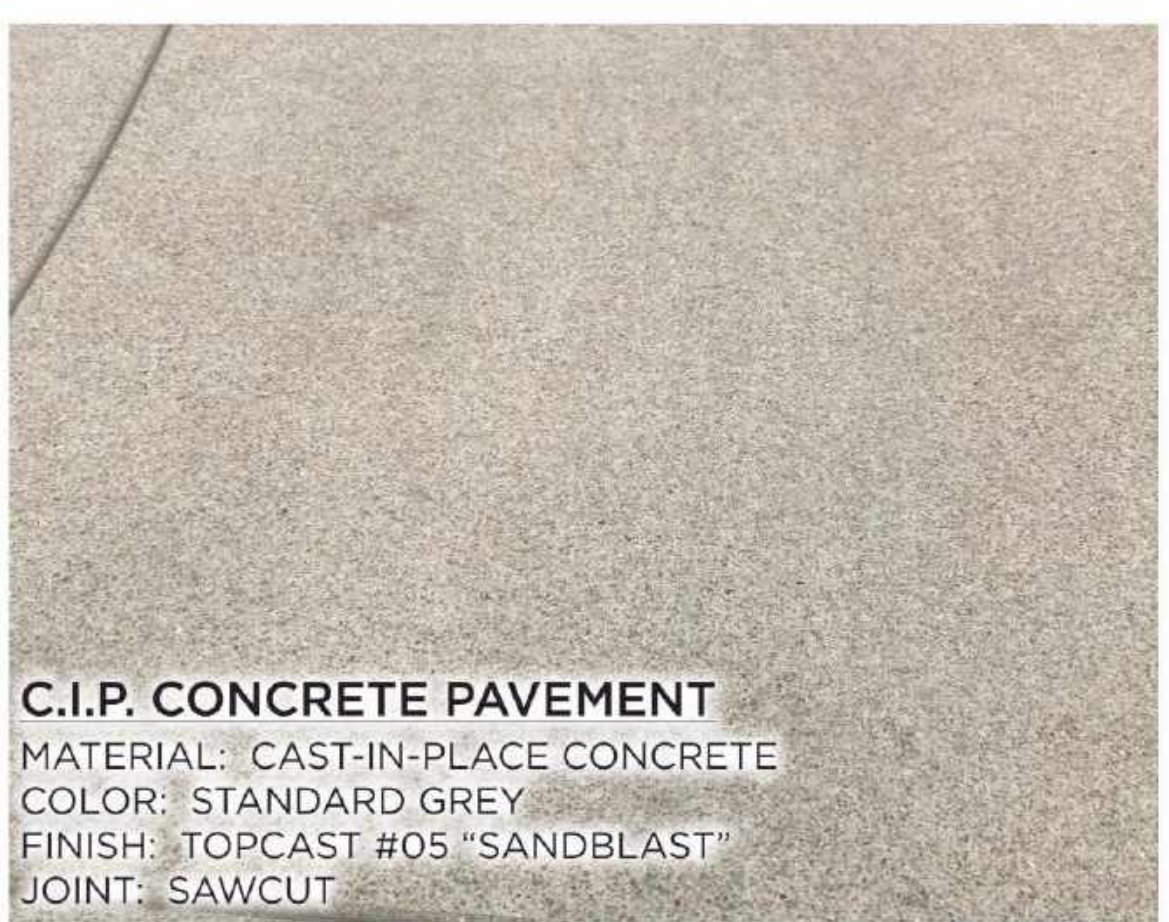
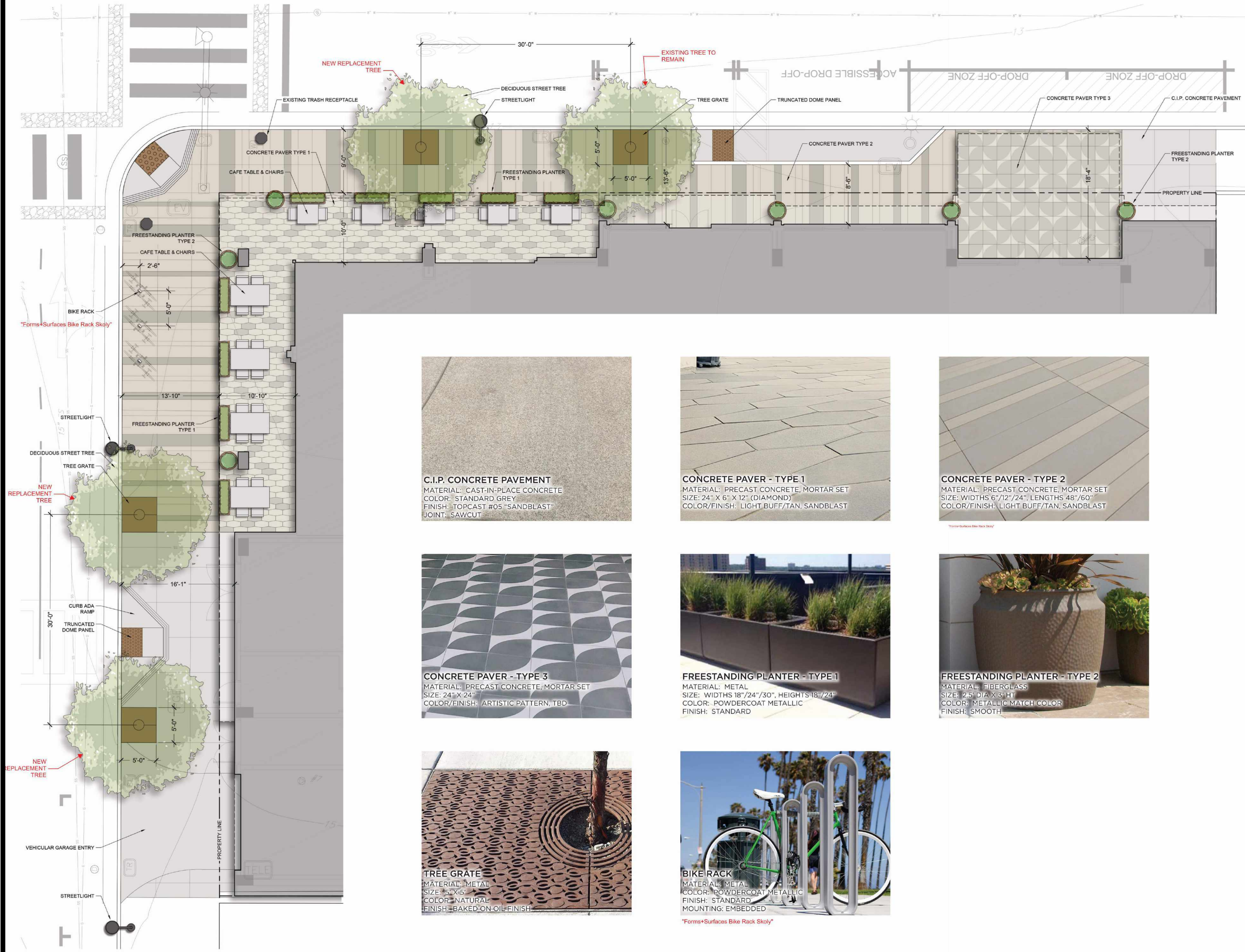
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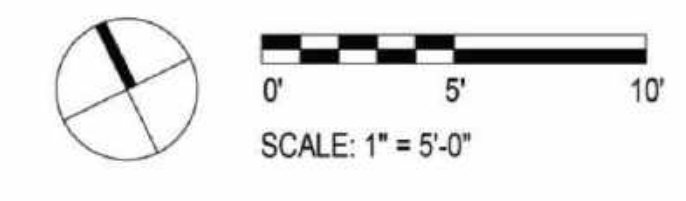
**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

REVISION	DESCRIPTION	DATE

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STREET PLAN

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023



**SPAR-1.4**  
 SHEET NUMBER

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE: PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.  
1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND  
2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTING AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
<b>PAVING</b>	
P1	C.I.P. CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND, MORTAR SET)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR, MORTAR SET)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, MORTAR SET)
<b>PLANTERS</b>	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
<b>SITE FURNISHINGS</b>	
SF1	BIKE RACK (FORMAL/COMBINATION "Bike Rack Study" (METAL, 2 BICYCLES))
SF2	TREE GRATE (METAL, 5' X 5')
<b>SITE LIGHTING</b>	
L3	STREET/PEDESTRIAN LIGHT
L4	DOWNLIGHT
L5	WALL SCONCE

PRELIMINARY WATER CALCULATIONS

Reference	Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PFIE)	ETAF x Area
LOW	0.3	Drip: 0.81	0.37	505
MEDIUM	0.5	Drip: 0.81	0.62	160
HIGH	0.7	Drip: 0.81	0.86	99
Regular Landscape Area Totals:				764
Special Landscape Area				
Special Landscape Area Totals:				0
ETWU Total:				14,819
Maximum Allowed Water Allowance (MAWA)				
Over All Landscape Area Totals:				1,523
MAWA Total:				16,827

*\*Hydrozone # Planting Description*  
Eg 1) front lawn  
2) low water use plantings  
3) medium water use planting

*\*Irrigation Method*  
overhead spray or drip

*\*Irrigation Efficiency*  
0.75 for spray  
0.81 for drip

*\*ETWU (Annual Gallons Required) = Eto x 0.62 x ETAF x Area*  
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.

*\*MAWA (Annual Gallons Allowed) = (Eto) x 0.62 [(ETAF x LA) + ((1-ETAF) x SLA)]*  
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet, and ETAF is .25 or residential areas and 0.45

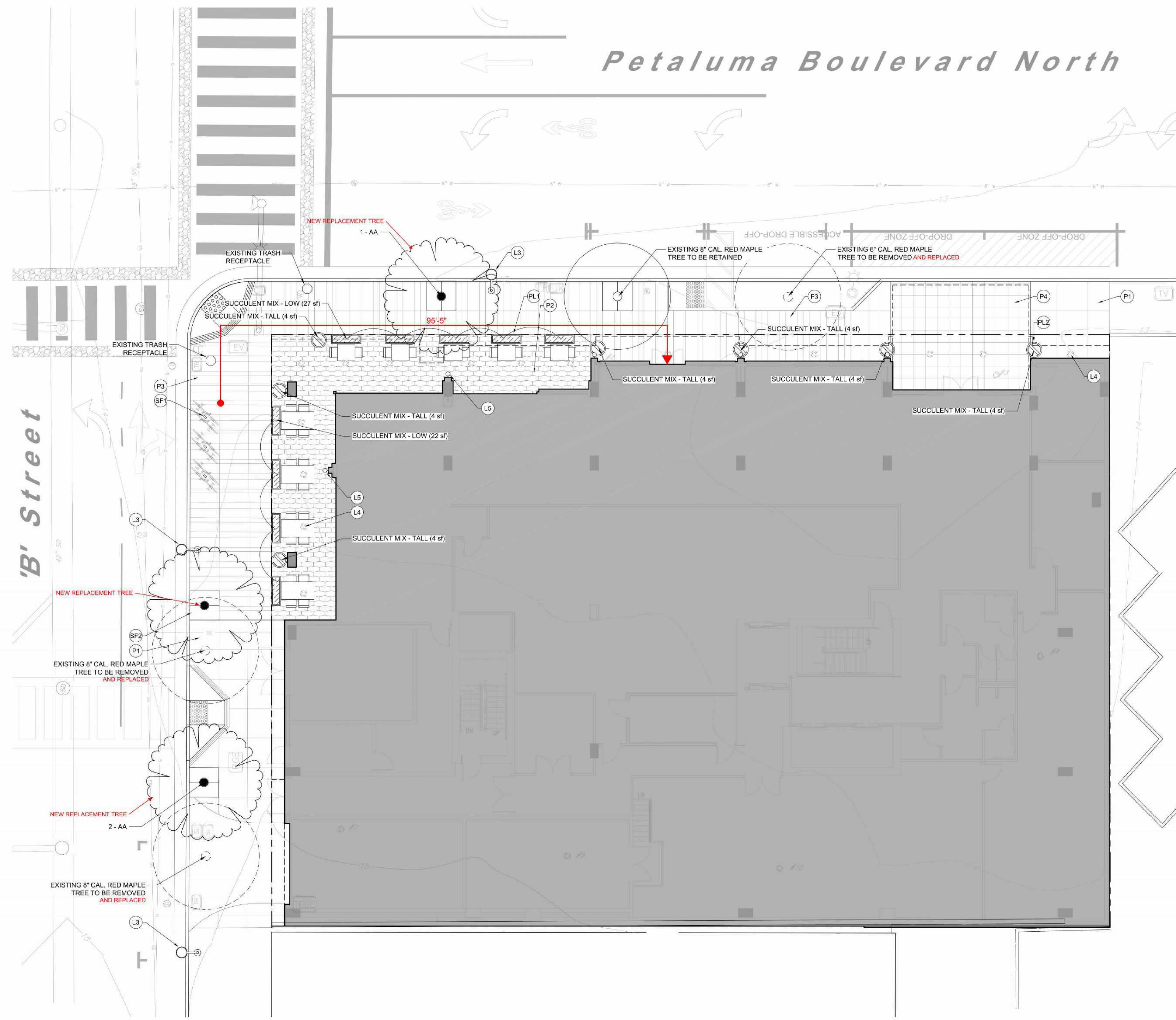
**ETAF Calculations**

Regular Landscape Area	All Landscape Area (including special landscape area)
Total ETAF x Area: 604	Total ETAF x Area: 604
Total Area: 1,523	Total Area: 1,523
Average ETAF: 0.40	Site-wide ETAF: 0.40

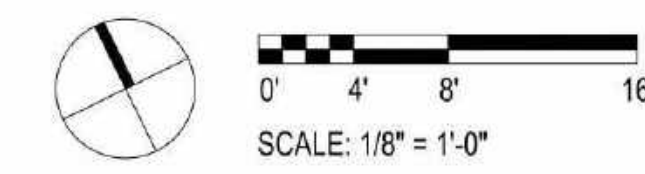
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
	ADE	45 SF	SUCCULENT MIX - LOW			
	ADE	8	AEONIUM DECORUM PINK WHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	10	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	10	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	38	SEMPERIVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	5	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	8	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
	ABG	28 SF	SUCCULENT MIX - TALL			
	ABG	6	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	21	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	21	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.



SITE LANDSCAPE PLAN - LEVEL 01



REVISION HISTORY

NO.	DESCRIPTION	DATE

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SITE LANDSCAPE PLAN - LEVEL 01

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

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EKN APPELLATION HOTEL  
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Petaluma, California

NOTES

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- ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
- PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
  - PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
  - NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST, WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

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- PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
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- FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
- ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 'LANDSCAPE' IRRIGATION SPRINKLER AND EMITTER STANDARD.
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- TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
<b>PAVING</b>	
(P5)	PRECAST CONCRETE PAVER - TYPE 4 (FIELD SQUARE, MORTAR SET)
(P6)	SYNTHETIC TURF OVER BASE TILE (MORTAR SET)
<b>PLANTERS</b>	
(PL1)	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
(PL3)	BUILT-IN PLANTER (METAL, RECTANGULAR)
<b>SITE LIGHTING</b>	
(L1)	BOLLARD

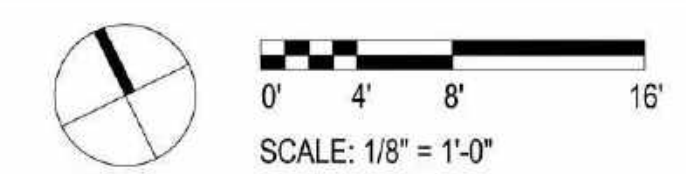
PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)		Private - POC 1		Non-Residential			
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF*IE)	Landscaping Area (SGLF)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Area</b>							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,384
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86	-	-	-
				1	0.00	-	-
<b>Regular Landscape Area Totals:</b>					<b>1,523</b>	<b>604</b>	
<b>Special Landscape Area</b>							
				1	-	-	-
				1	-	-	-
				1	-	-	-
<b>Special Landscape Area Totals:</b>					<b>0</b>	<b>0</b>	
						<b>ETWU Total:</b>	<b>14,819</b>
<b>Maximum Allowed Water Allowance (MAWA)</b>							
<b>Over All Landscape Area Totals:</b>						<b>1,523</b>	<b>MAWA Total: 16,627</b>



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW
<b>SHRUB AREAS</b>					
		372 SF	PLANTER MIX		
	AYG	20	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL.	LOW
	KUV	20	KNIPHOFIA UVARIA RED HOT POKER	1 GAL.	LOW
	PDD	9	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL.	LOW
	PTW	9	PITTOSPORUM 'TOBIRA' 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	5 GAL.	LOW
	WFR	9	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL.	LOW
		351 SF	GREEN ROOF - SEDUM MIX		



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SITE LANDSCAPE PLAN - LEVEL 02

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Author	Checker
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE	DATE 08 SEPTEMBER 2023

SPAR-1.6  
SHEET NUMBER



NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS/WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
  - 1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE, AND
  - 2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST, WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED. THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE INSTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802.2014 'LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD'.
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTING AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL, AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
<b>PAVING</b>	
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, ON PEDESTAL)
P7	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR, ON PEDESTAL)
P8	WOOD TILE PAVER (ACCENT, RECTANGULAR, ON PEDESTAL)
<b>PLANTERS</b>	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
PL3	BUILT-IN PLANTER (METAL, RECTANGULAR)
<b>SITE LIGHTING</b>	
L1	BOLLARD
L2	URLIGHT

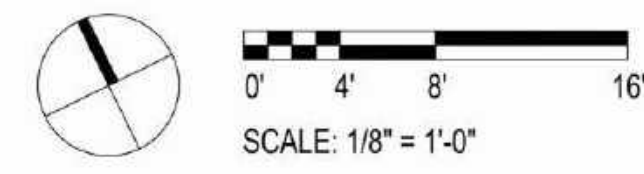
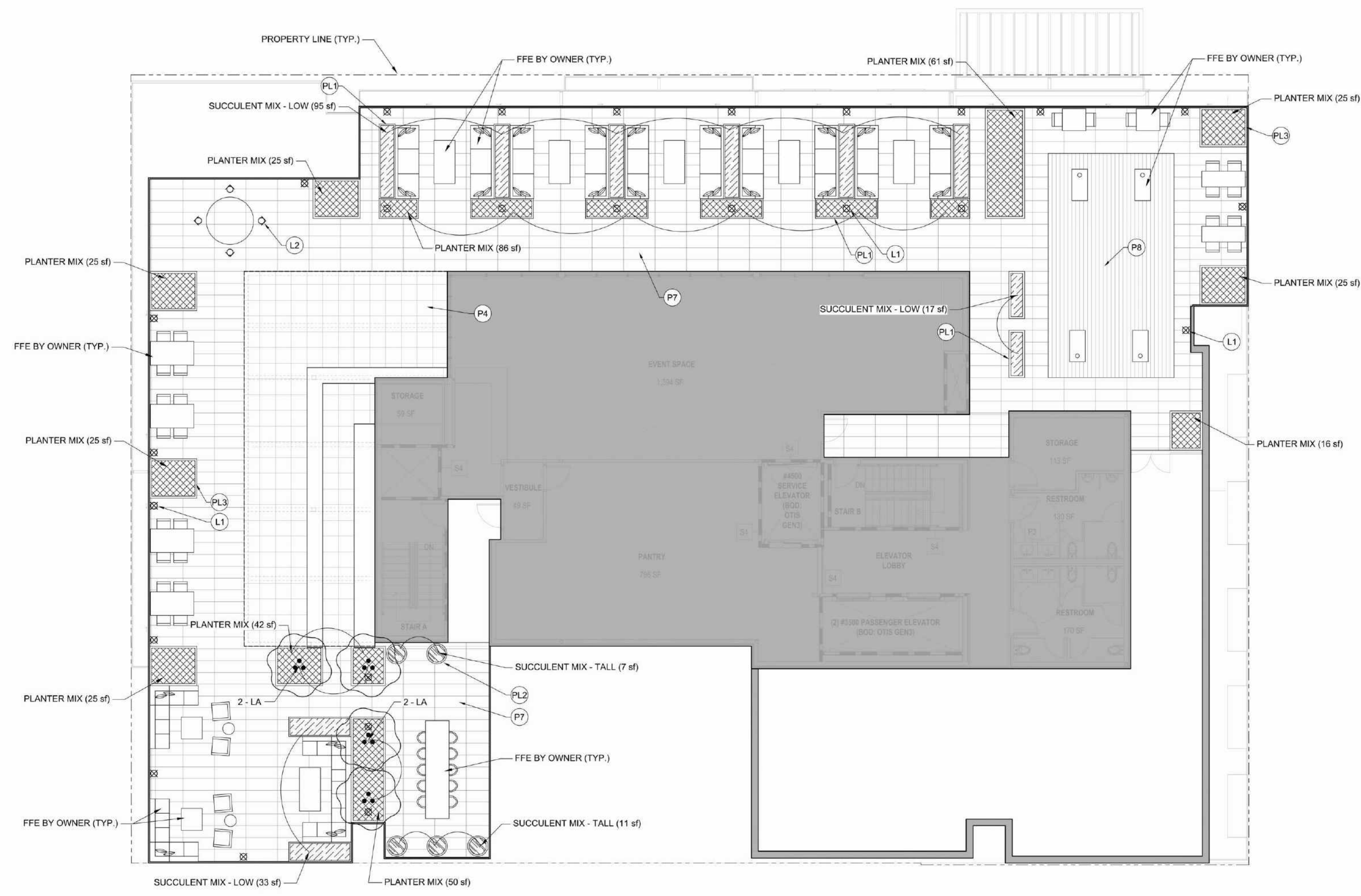
PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto)	39.60	Private - POC 1	Non-Residential				
Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PPFE)	Landscape Area (Sq Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
<b>Regular Landscape Area</b>							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,384
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86	-	-	-
					1	0.00	-
Regular Landscape Area Totals:					1,523	604	-
<b>Special Landscape Area</b>							
					0	0	-
Special Landscape Area Totals:					0	0	-
							14,819
Maximum Allowed Water Allowance (MAWA)							16,827
Over All Landscape Area Totals:					1,523	MAWA Total:	16,827



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	LA	4	LUMA APICULATA CHILEAN MYRTLE	15 GAL.	MED
<b>SHRUB AREAS</b>					
		144 SF	SUCCULENT MIX - LOW		
	ADE	23	AEONIU DECORUM PINWHEEL	1 GAL	LOW
	CPE	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW
	DPU	30	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW
	STE	120	SEMPERVIUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW
	SRO	15	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW
	SSE	23	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW
		20 SF	SUCCULENT MIX - TALL		
	ABG	5	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW
	SMA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW
	SRA	15	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW
		403 SF	PLANTER MIX		
	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW
	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW
	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW
	PTW	10	PITTOSPORIUM TOBIIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORIUM	5 GAL	LOW
	WFR	10	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW



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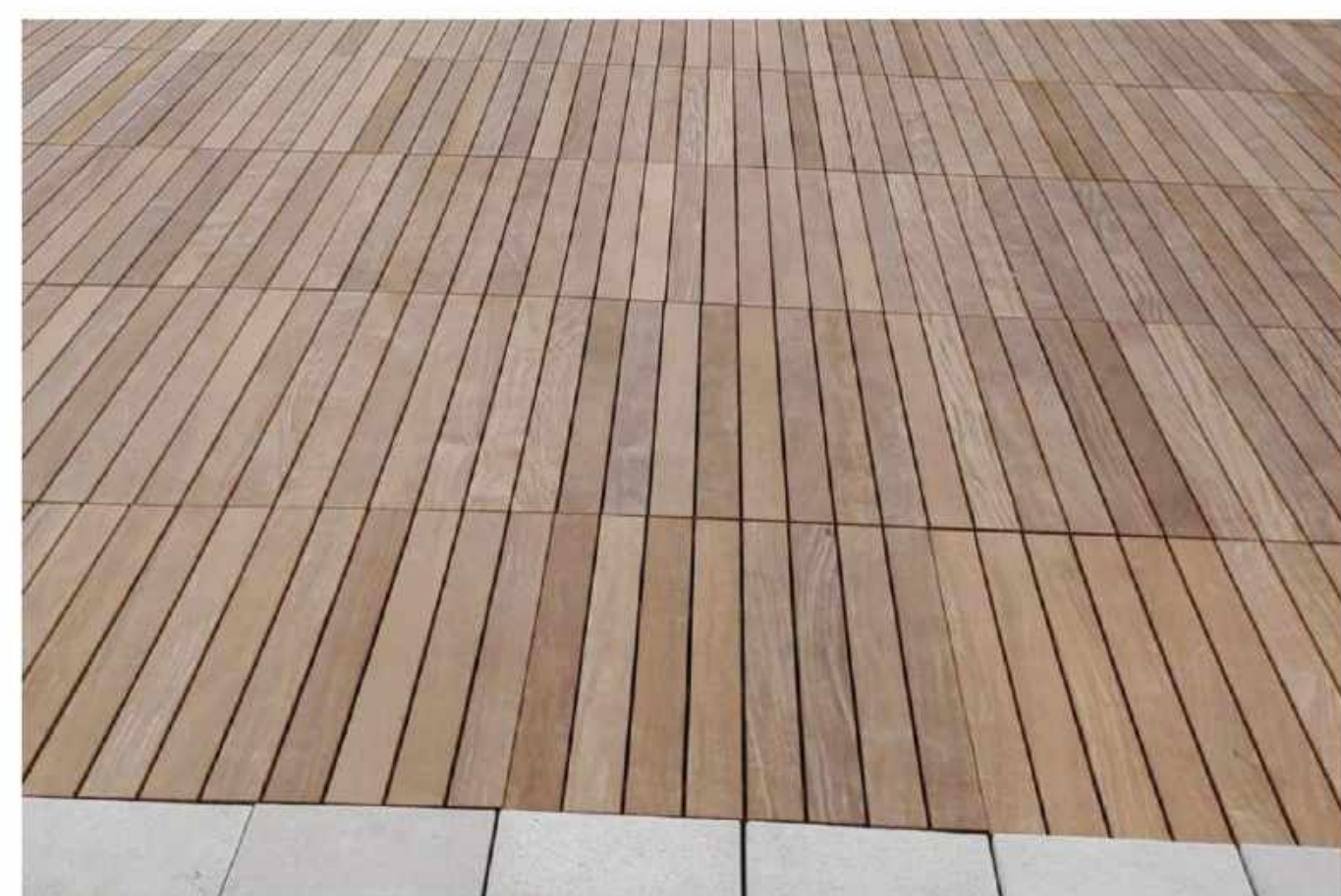
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SITE LANDSCAPE PLAN - LEVEL 06

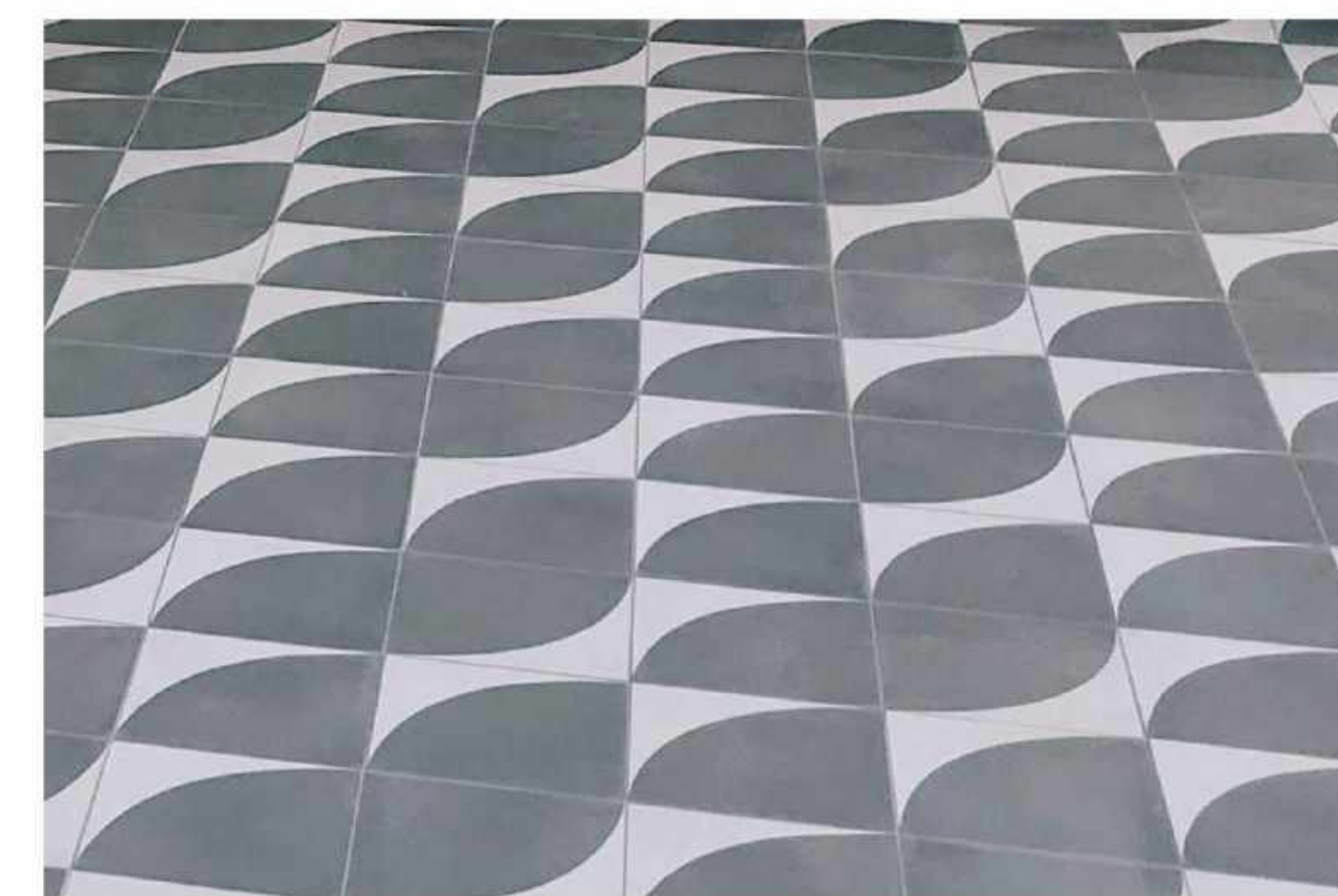
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**SF1 BIKE RACK**  
MATERIAL: METAL  
COLOR: POWDERCOAT METALLIC  
FINISH: STANDARD  
MOUNTING: EMBEDDED



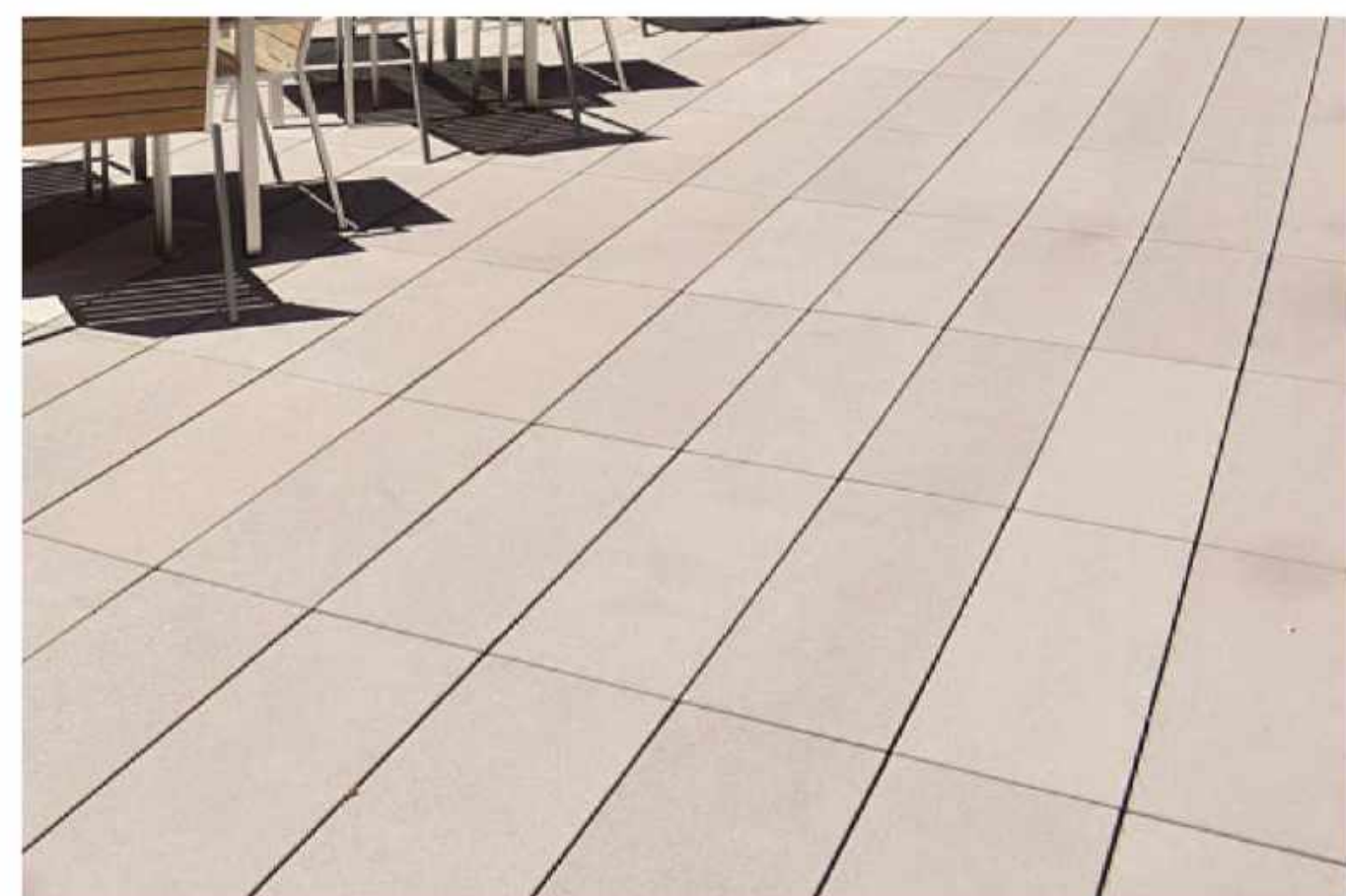
**P8 WOOD TILE PAVER**  
MATERIAL: WOOD, PEDESTAL SET  
SIZE: 24" X 96"  
COLOR/FINISH: STANDARD COLOR RANGE



**P4 CONCRETE PAVER - TYPE 3**  
MATERIAL: PRECAST CONCRETE, MORTAR/  
PEDESTAL SET  
SIZE: 24" X 24"  
COLOR/FINISH: ARTISTIC PATTERN, TBD



**PL3 BUILT-IN PLANTER**  
MATERIAL: METAL  
SIZE: 36" HT  
COLOR: POWDERCOAT METALLIC  
FINISH: STANDARD



**P7 CONCRETE PAVER - TYPE 5**  
MATERIAL: PRECAST CONCRETE, PEDESTAL SET  
SIZE: 18" X 48"  
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



**P3 CONCRETE PAVER - TYPE 2**  
MATERIAL: PRECAST CONCRETE, MORTAR SET  
SIZE: WIDTHS 6"/12"/24", LENGTHS 48"/60"  
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



**PL2 FREESTANDING PLANTER - TYPE 2**  
MATERIAL: FIBERGLASS  
SIZE: 2.5' DIA X 3' HT  
COLOR: METALLIC MATCH COLOR  
FINISH: SMOOTH



**P6 SYNTHETIC TURF OVER TILE**  
MATERIAL: SYN TURF, PEDESTAL SET  
SIZE: 24" X 24"  
COLOR/FINISH: STANDARD COLOR RANGE



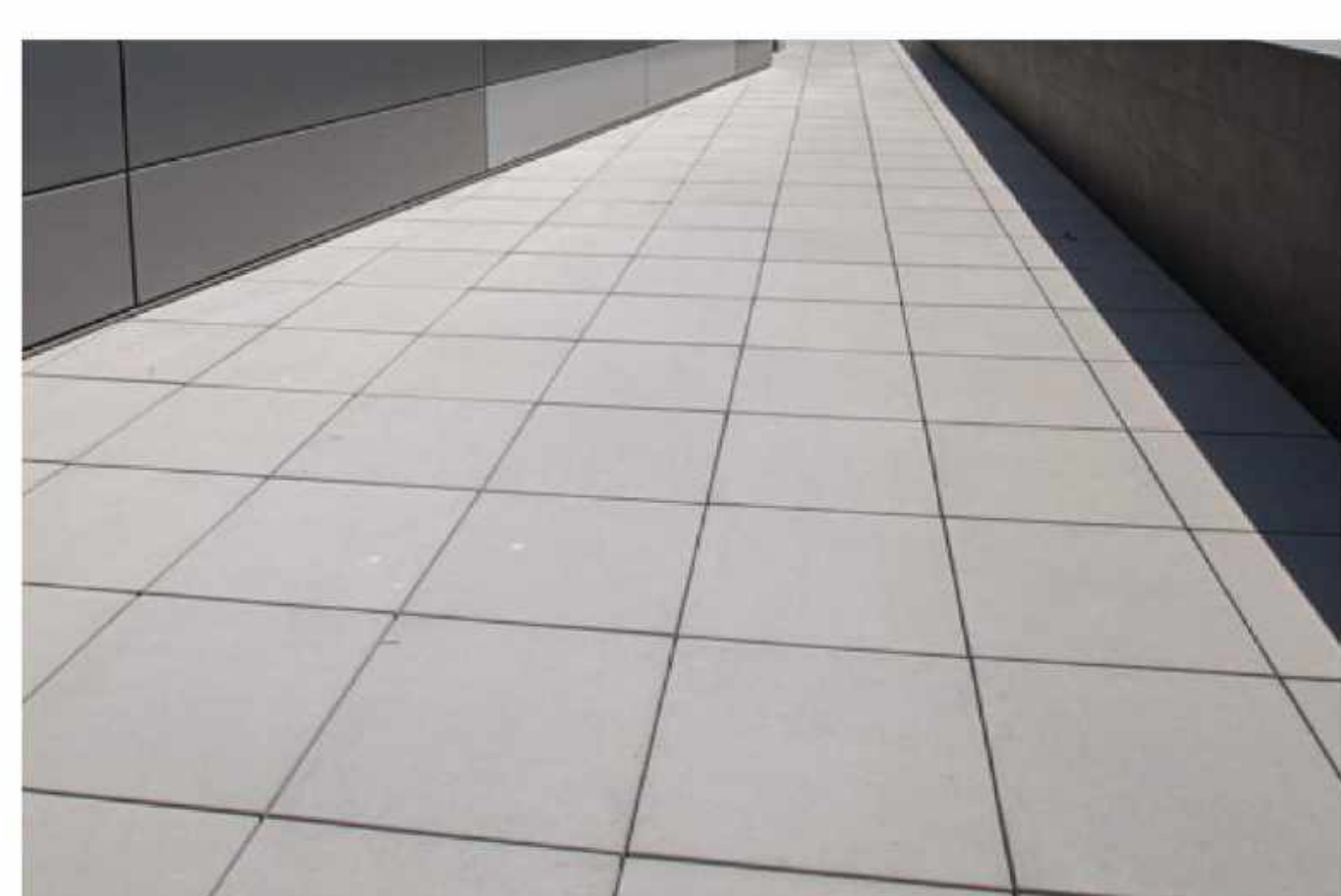
**P2 CONCRETE PAVER - TYPE 1**  
MATERIAL: PRECAST CONCRETE, MORTAR SET  
SIZE: 24" X 6" X 12" (DIAMOND)  
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



**SF2 TREE GRATE**  
MATERIAL: METAL  
SIZE: 5' X 5'  
COLOR: NATURAL  
FINISH: BAKED ON OIL FINISH



**PL1 FREESTANDING PLANTER - TYPE 1**  
MATERIAL: METAL  
SIZE: WIDTHS 18"/24"/30", HEIGHTS 18"/24"  
COLOR: POWDERCOAT METALLIC  
FINISH: STANDARD



**P5 CONCRETE PAVER - TYPE 4**  
MATERIAL: PRECAST CONCRETE, PEDESTAL SET  
SIZE: 24" X 24"  
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



**P1 C.I.P. CONCRETE PAVEMENT**  
MATERIAL: CAST-IN-PLACE CONCRETE  
COLOR: STANDARD GREY  
FINISH: TOPCAST #05 "SANDBLAST"  
JOINT: SAWCUT

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SITE LANDSCAPE MATERIALS

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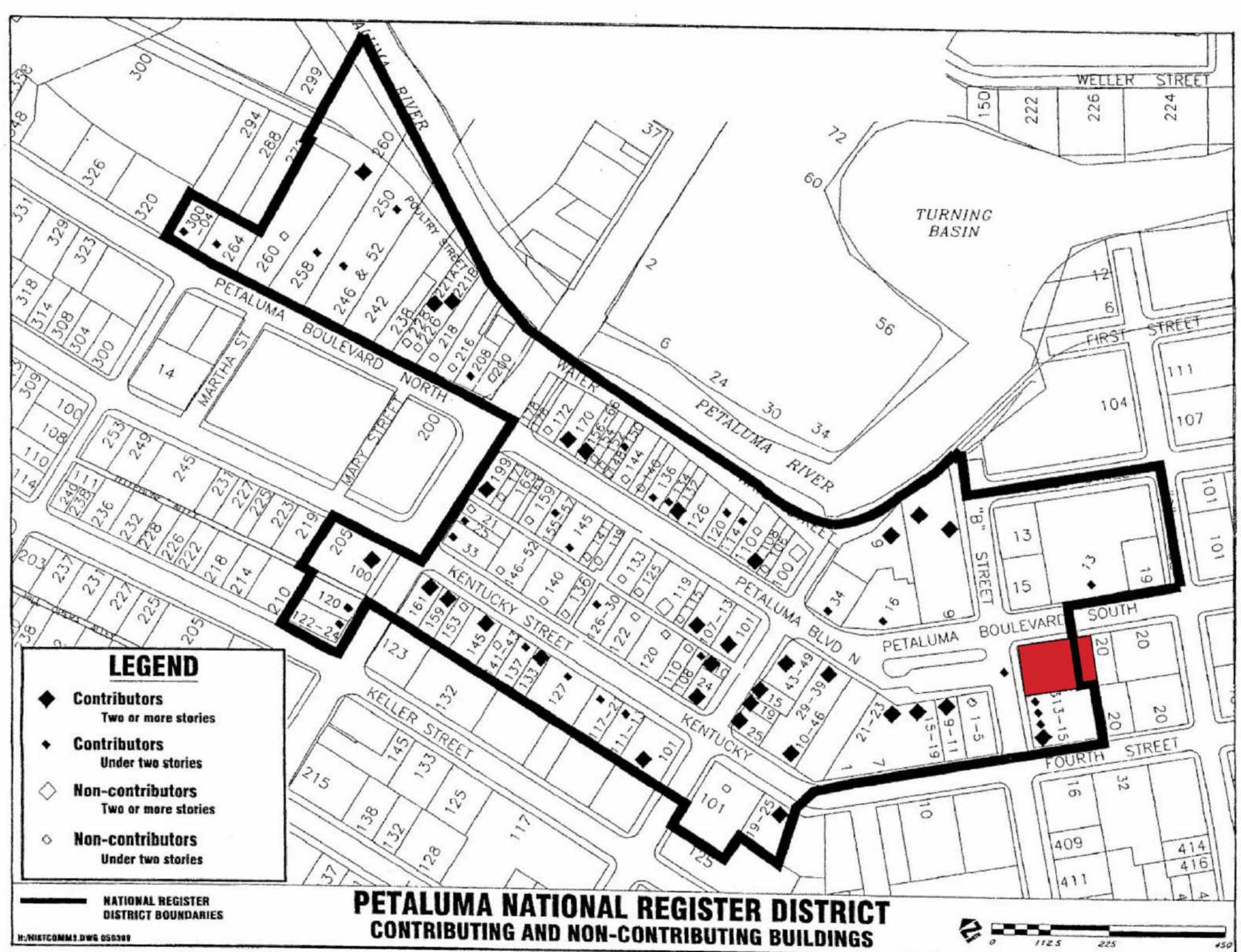
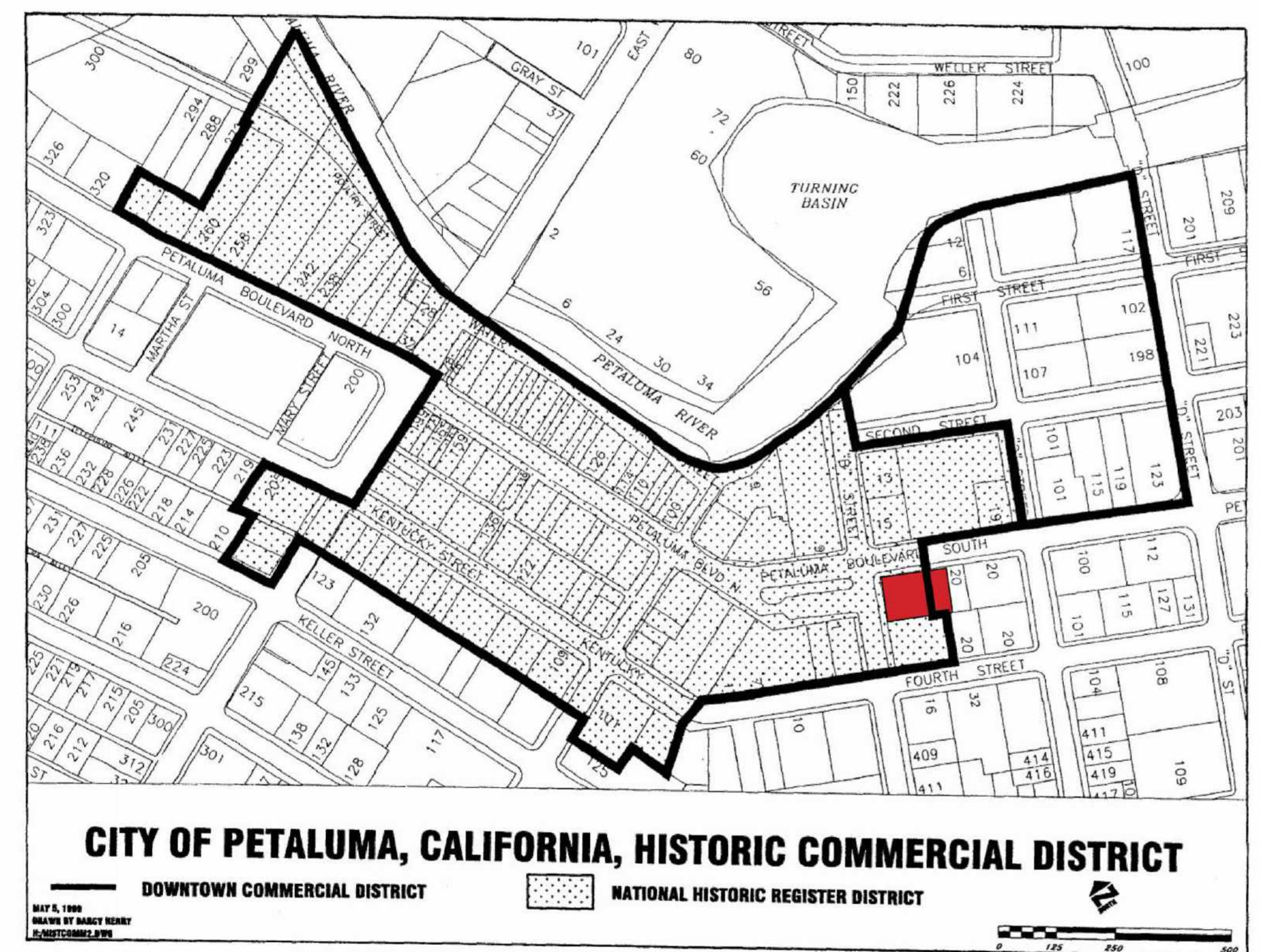
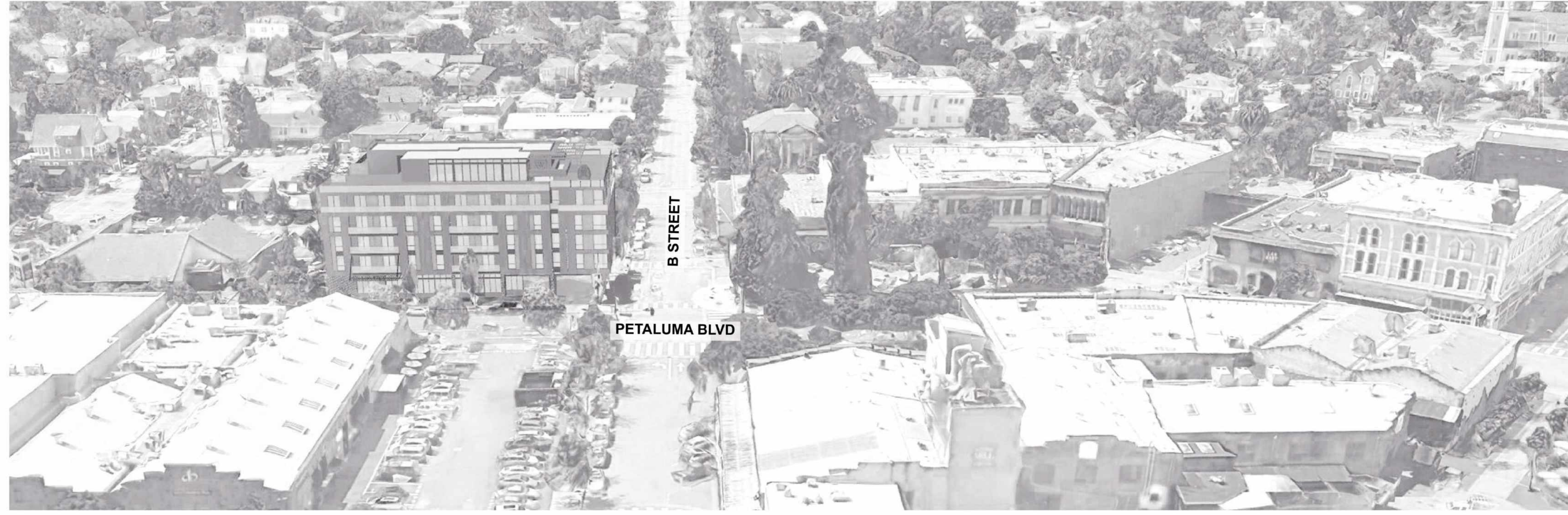
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EKN Petaluma LLC  
EKN APPELLATION HOTEL  
2 Petaluma Blvd South  
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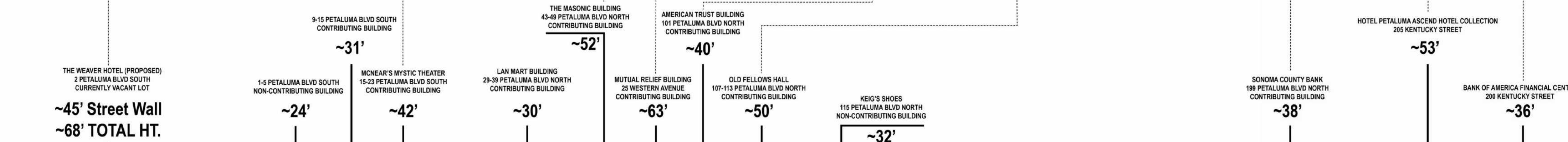
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STRUCTURE BUEHLER ENGINEERING 5 Third Street Suite 1125 San Francisco, CA 94103 213 694 3408	FF&E DH-COMPANIES 7591 Coppermine Drive Manassas, VA, 20109
INTERIORS SIXTEEN FIFTY 7509 Girard Ave La Jolla, CA 92037 858 454 6909	CIVIL N CONSULTING ENGINEERS 4 Park Plz Irvine, CA 92614 949 369 1161

### 15 WESTERN BUILDING



### MCNEAR'S MYSTIC THEATER



### THE WEAVER HOTEL (PROPOSED)



### 110 PETALUMA BLVD N 5 PETALUMA BLVD S



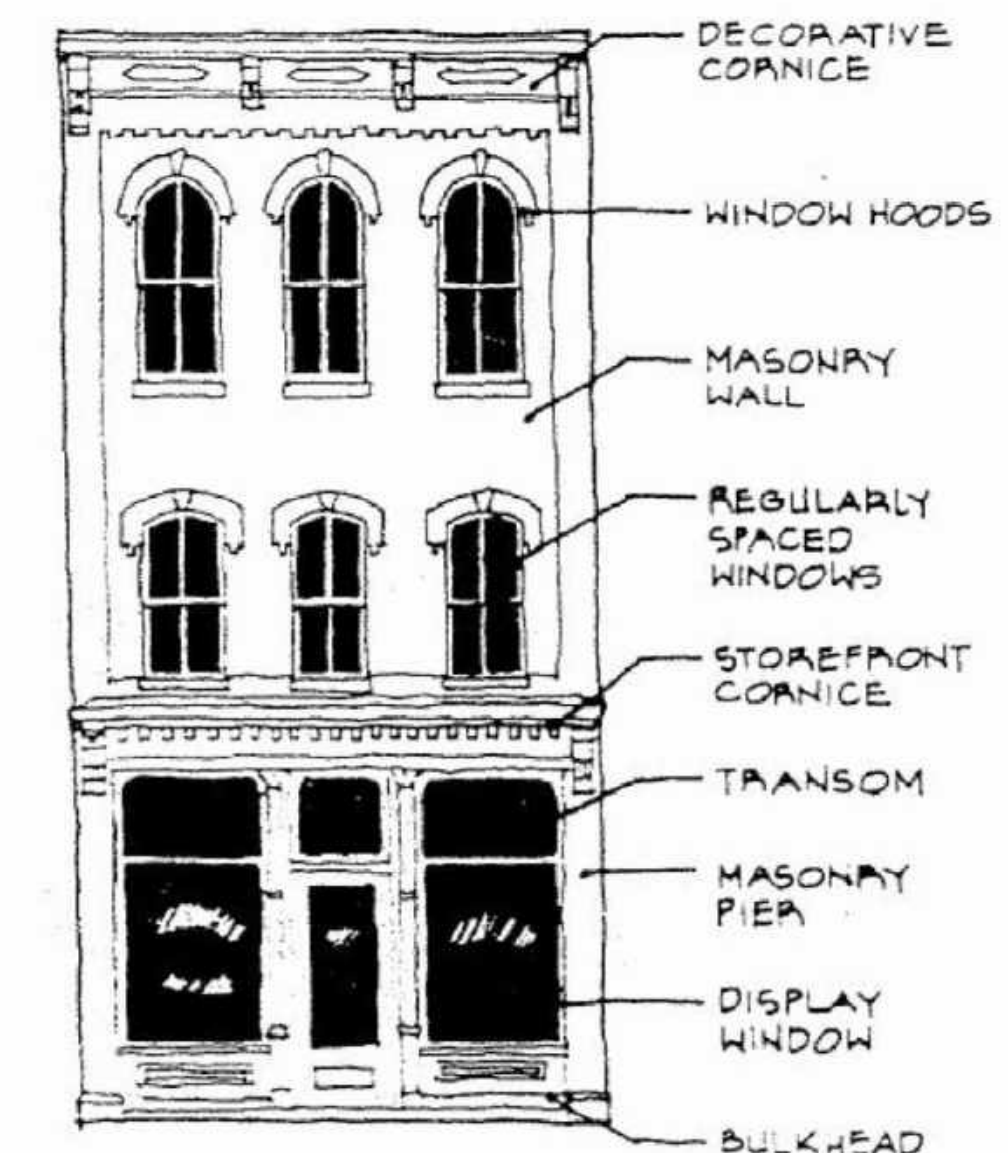
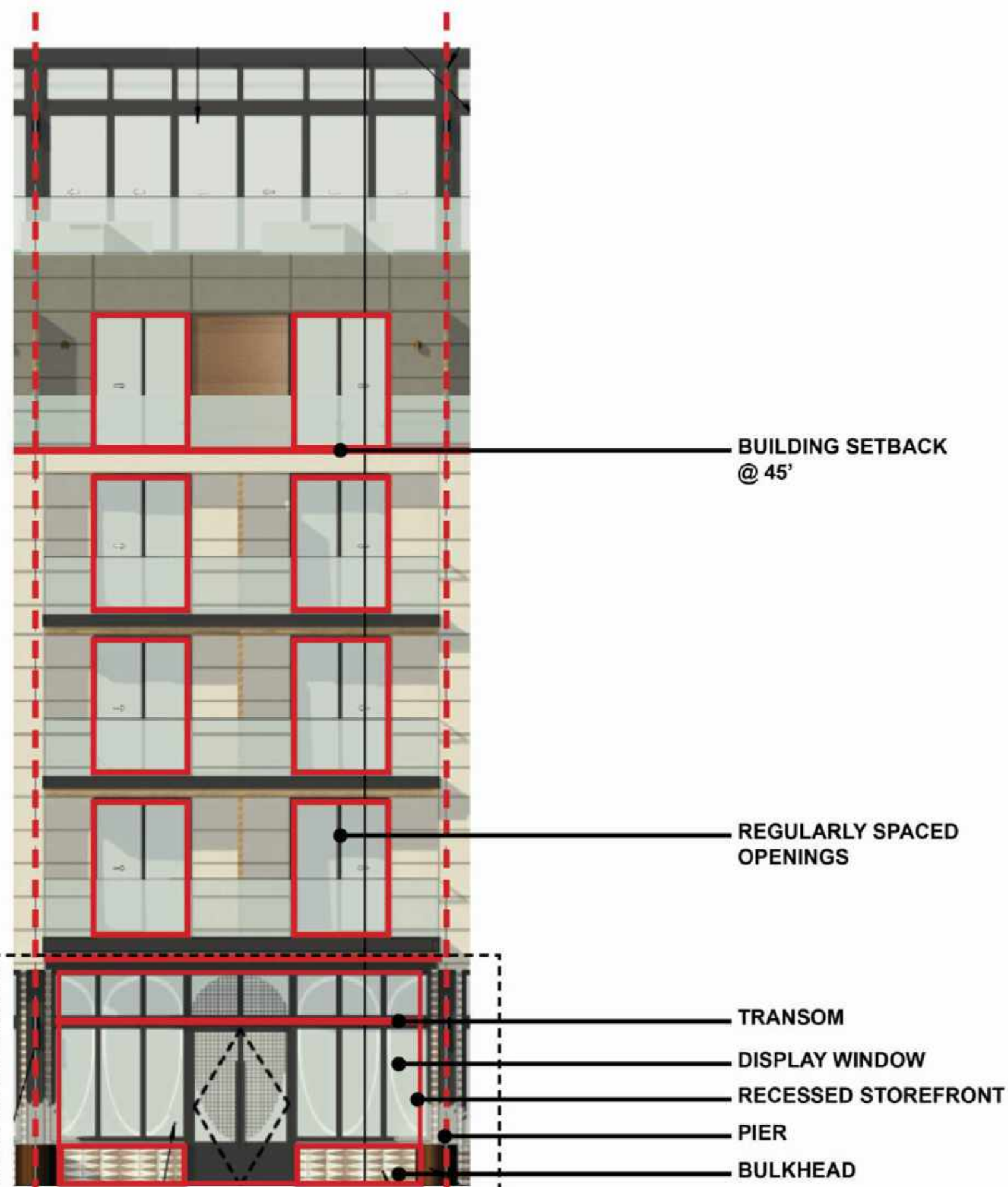
### MASONIC BUILDING



### MUTUAL RELIEF BUILDING

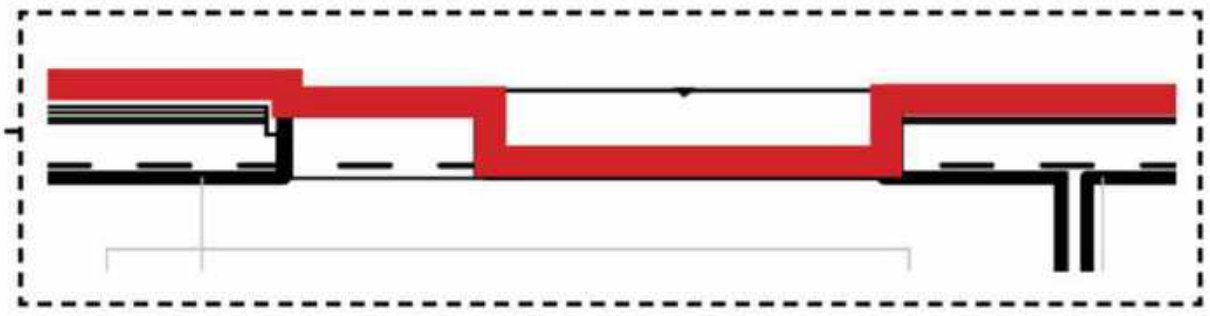
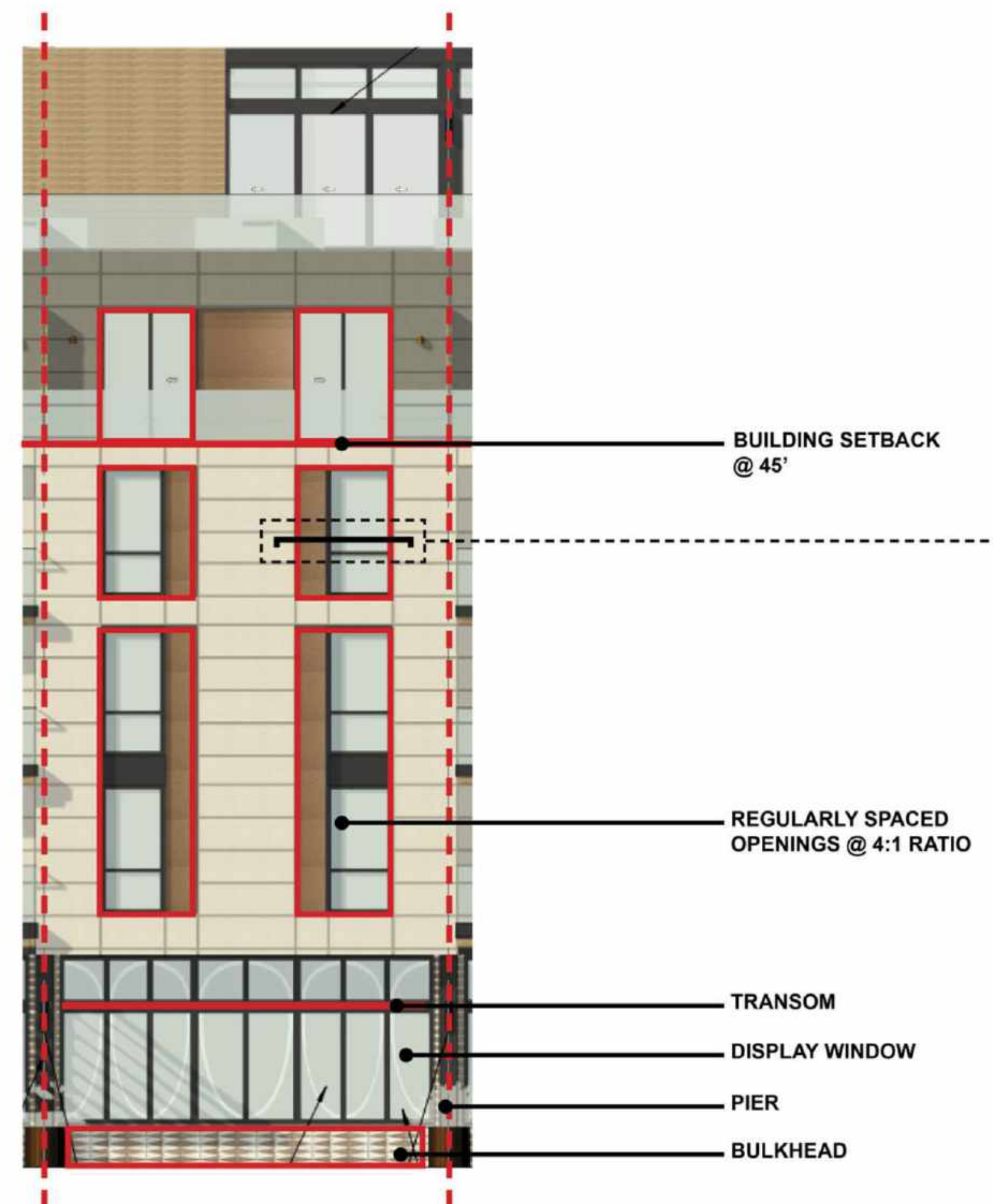


### MCNEAR'S MYSTIC THEATER



### PROPOSED WEAVER HOTEL PART ELEVATION

REF: COMMERCIAL HISTORIC DISTRICT DESIGN GUIDELINES



### ENLARGED PLAN OF RECESSED WINDOW

### PROPOSED WEAVER HOTEL

**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

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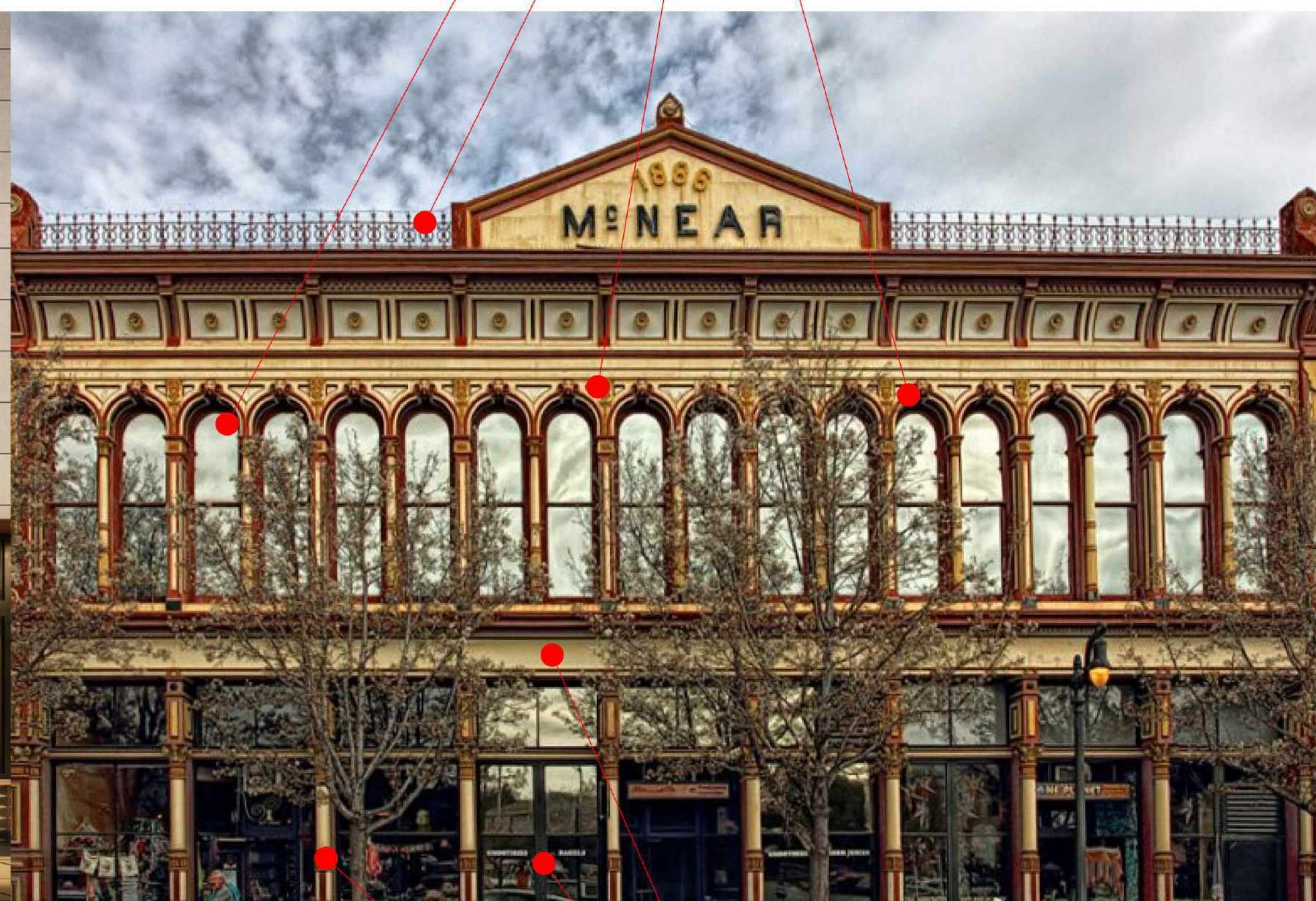
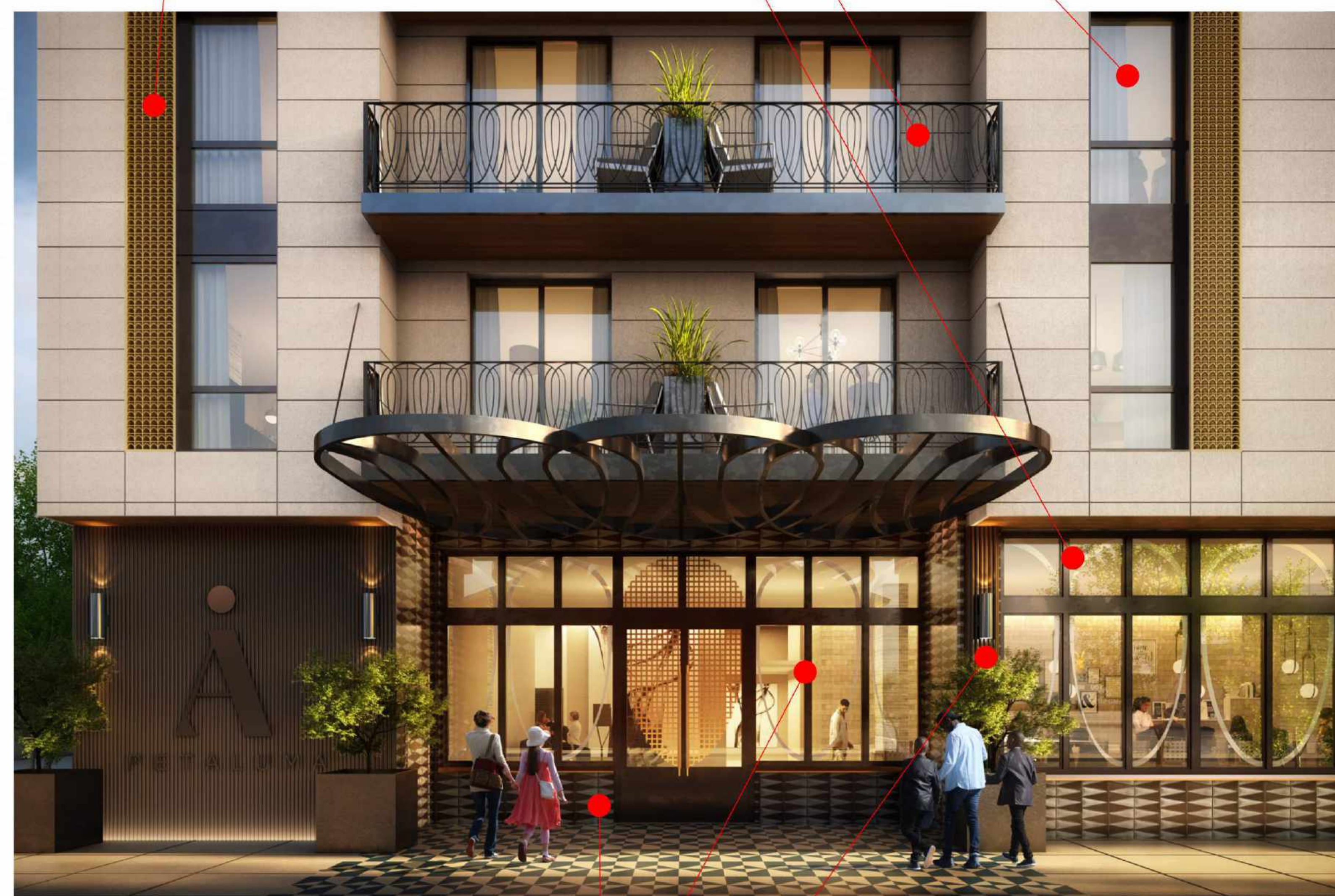
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La Jolla, CA      Irvine, CA  
92037      92614  
858.454.6909      949.369.1161

RECESSED 4:1 RATIO WINDOWS  
IRON WORK DETAILING  
ORNATE DETAILING  
ARCH MOTIF

RECESSED 4:1 RATIO WINDOWS  
IRON WORK DETAILING  
ORNATE DETAILING  
ARCH MOTIF



EARTH-TONE COLORS  
RHYTHMIC STOREFRONT  
w/ TRANSOM  
ENGAGED PILASTERS

EARTH-TONE COLORS  
RHYTHMIC STOREFRONT  
w/ TRANSOM  
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**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

REVISION HISTORY

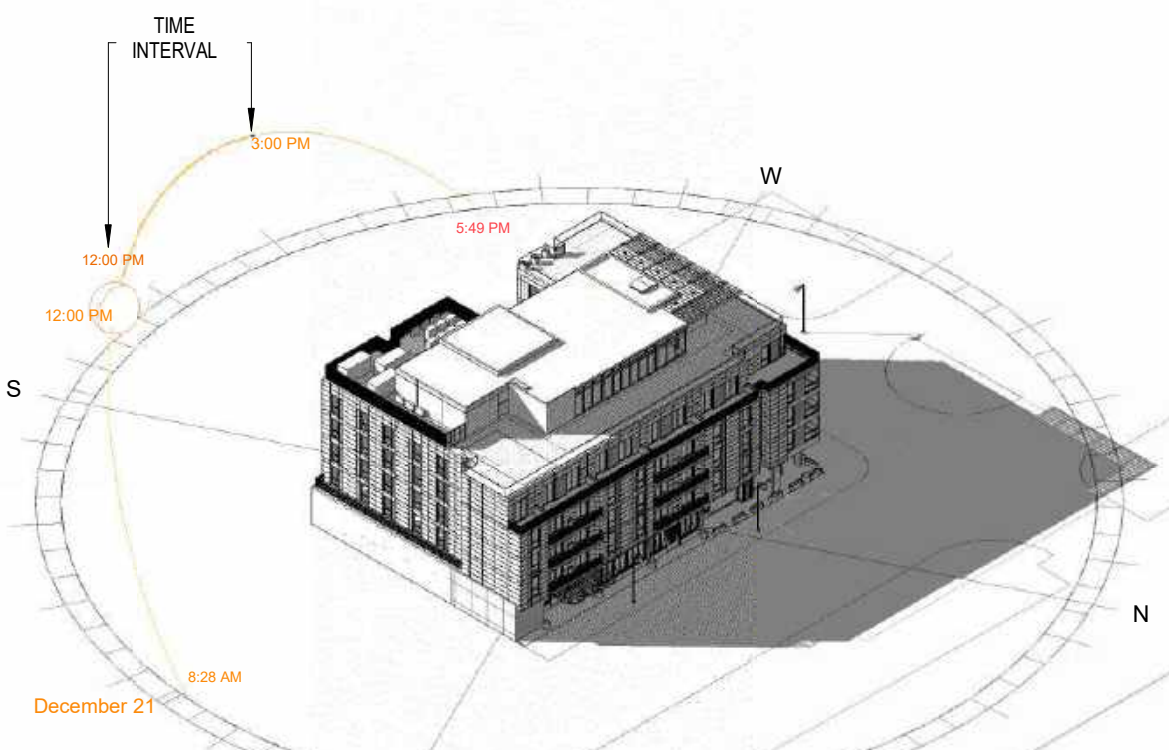
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SHADOW STUDY

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE	DATE 08 SEPTEMBER 2023

**SPAR-2.5**

SHEET NUMBER



SUN PATH - 21 DEC, 12:00 - 15:00 P.M.



4 SHADOW STUDY @ 15 HRS  
 SCALE: 3/64" = 1'-0"



2 SHADOW STUDY 13PM  
 SCALE: 3/64" = 1'-0"



3 SHADOW STUDY 14PM  
 SCALE: 3/64" = 1'-0"

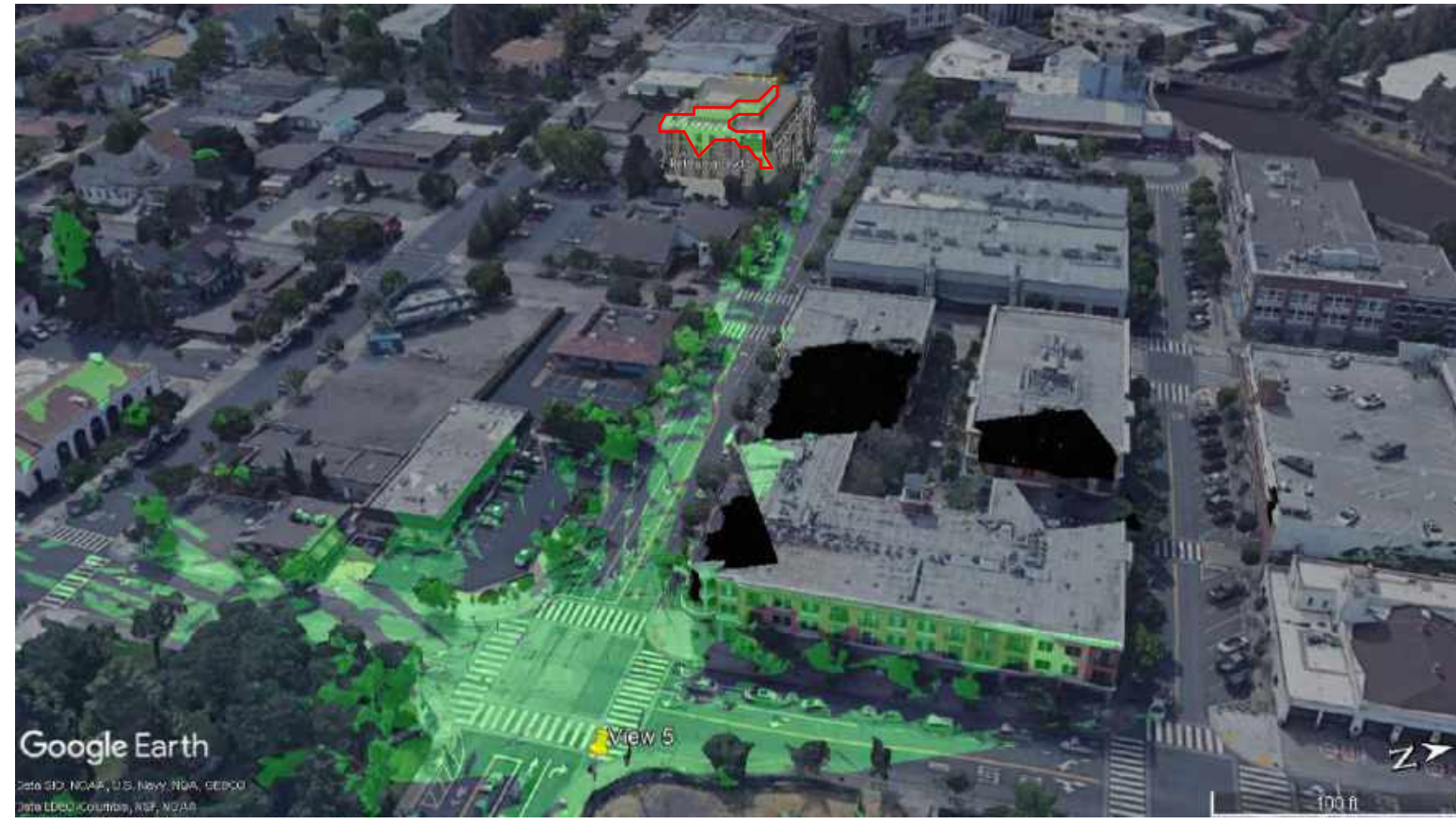


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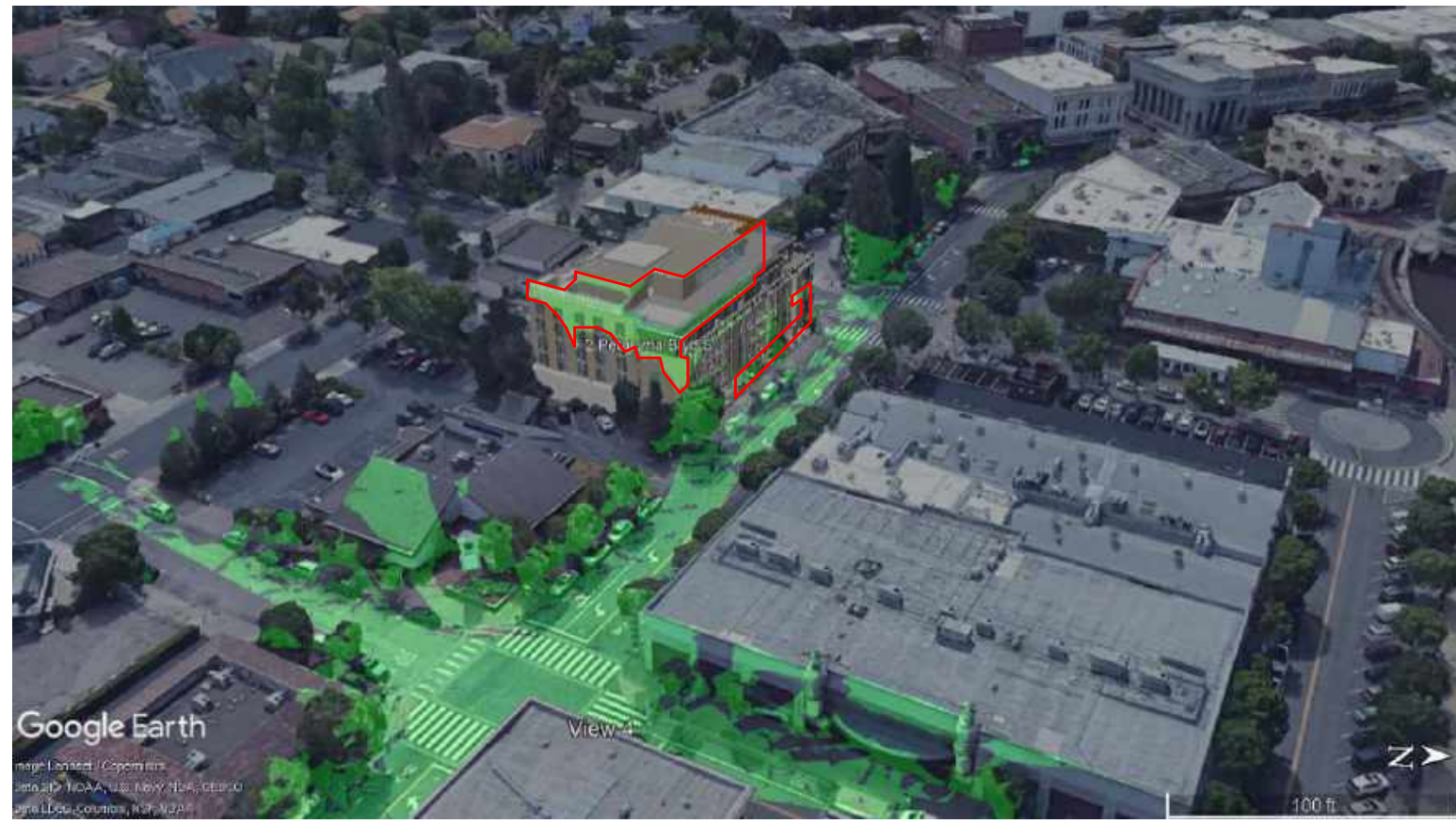
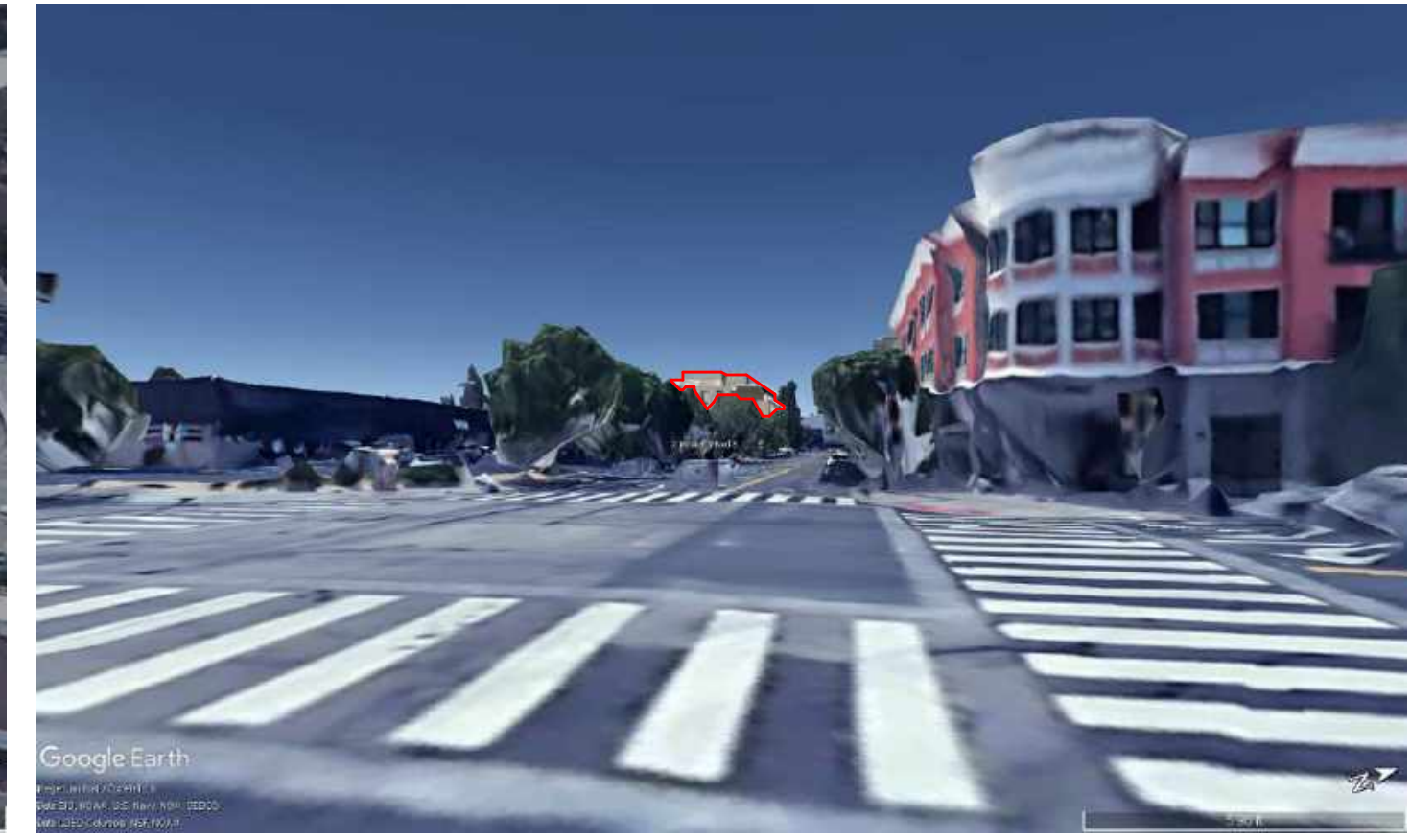
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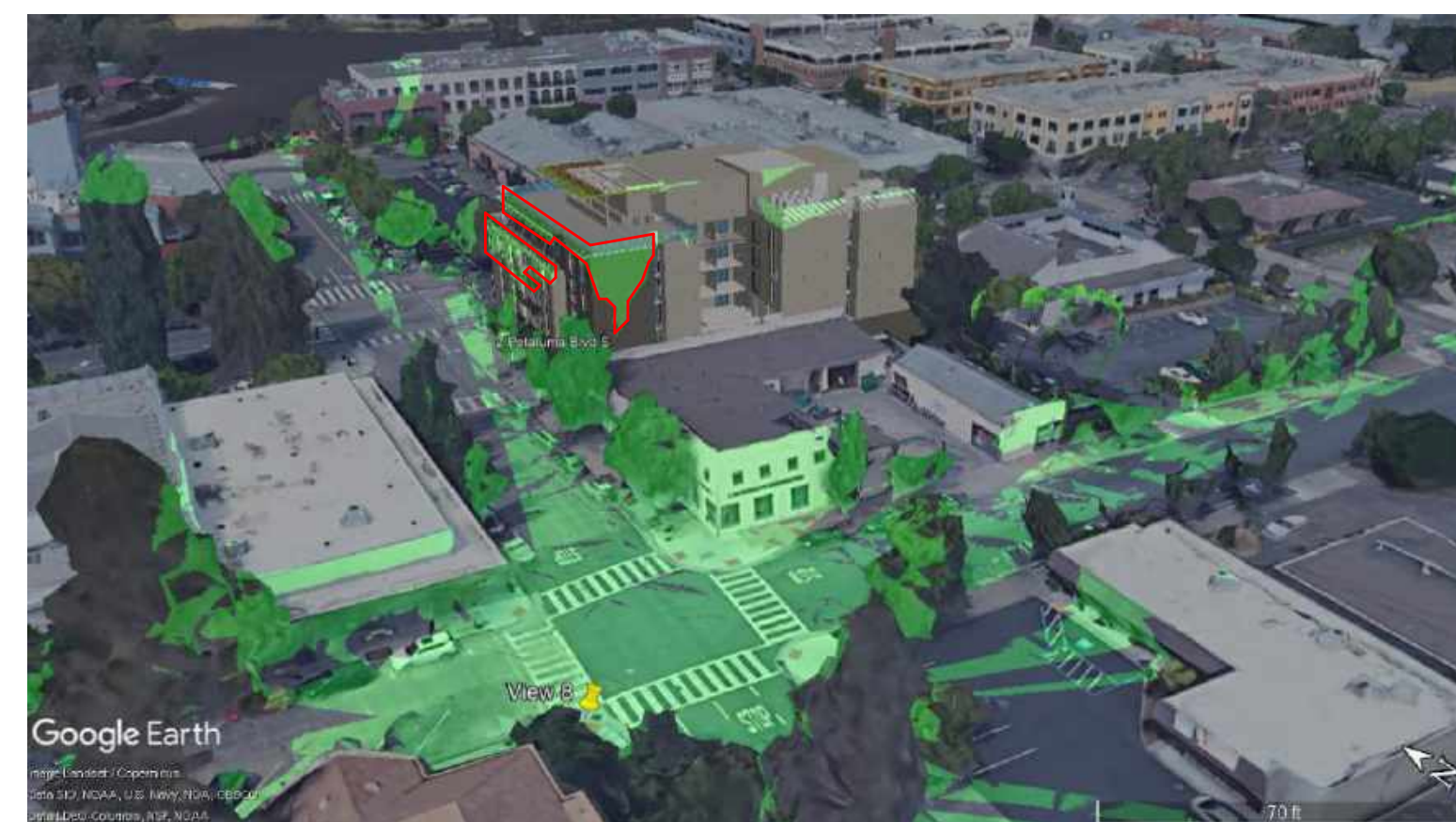
VIEW SHED KEY MAP



View 5



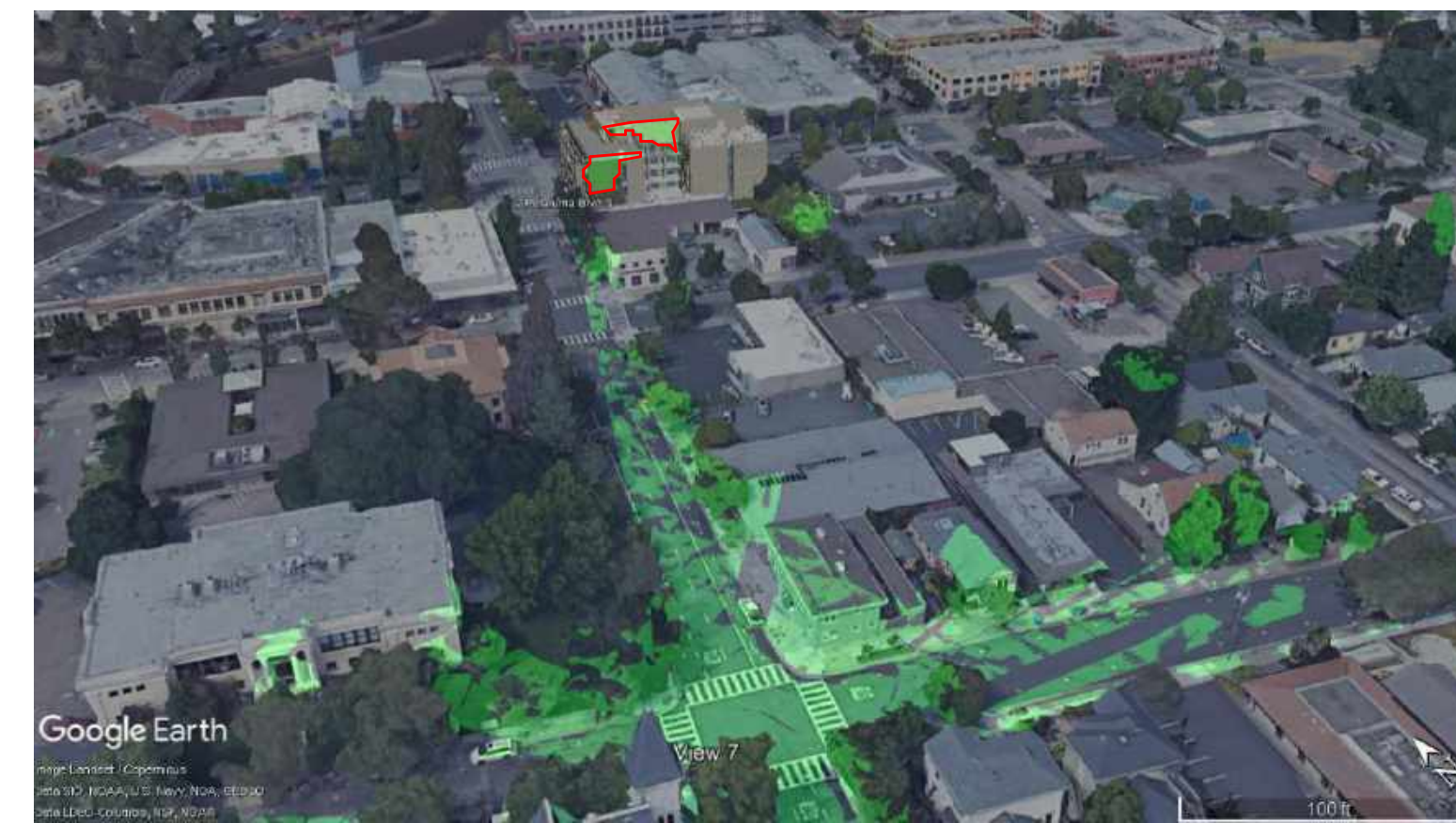
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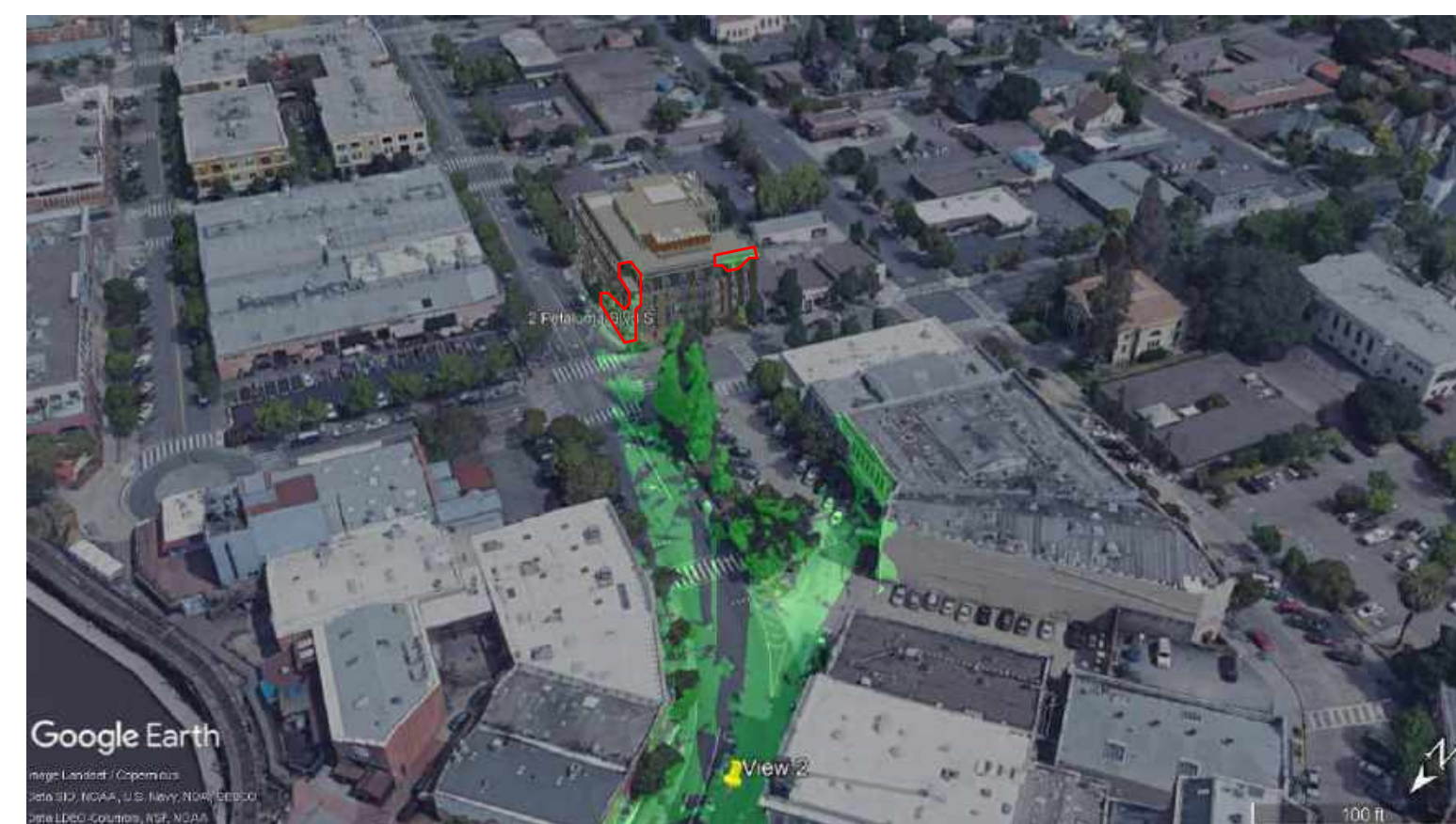
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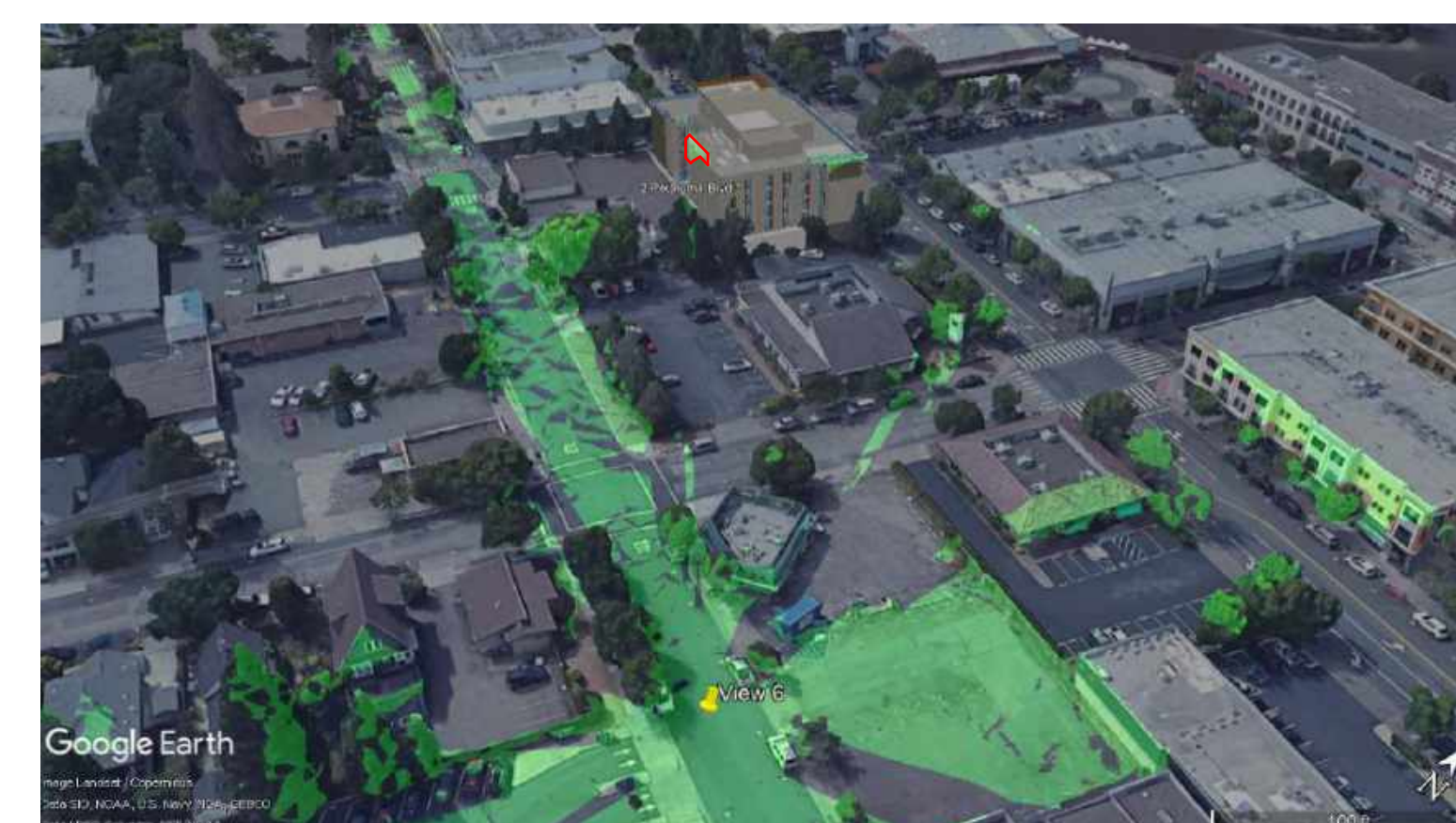
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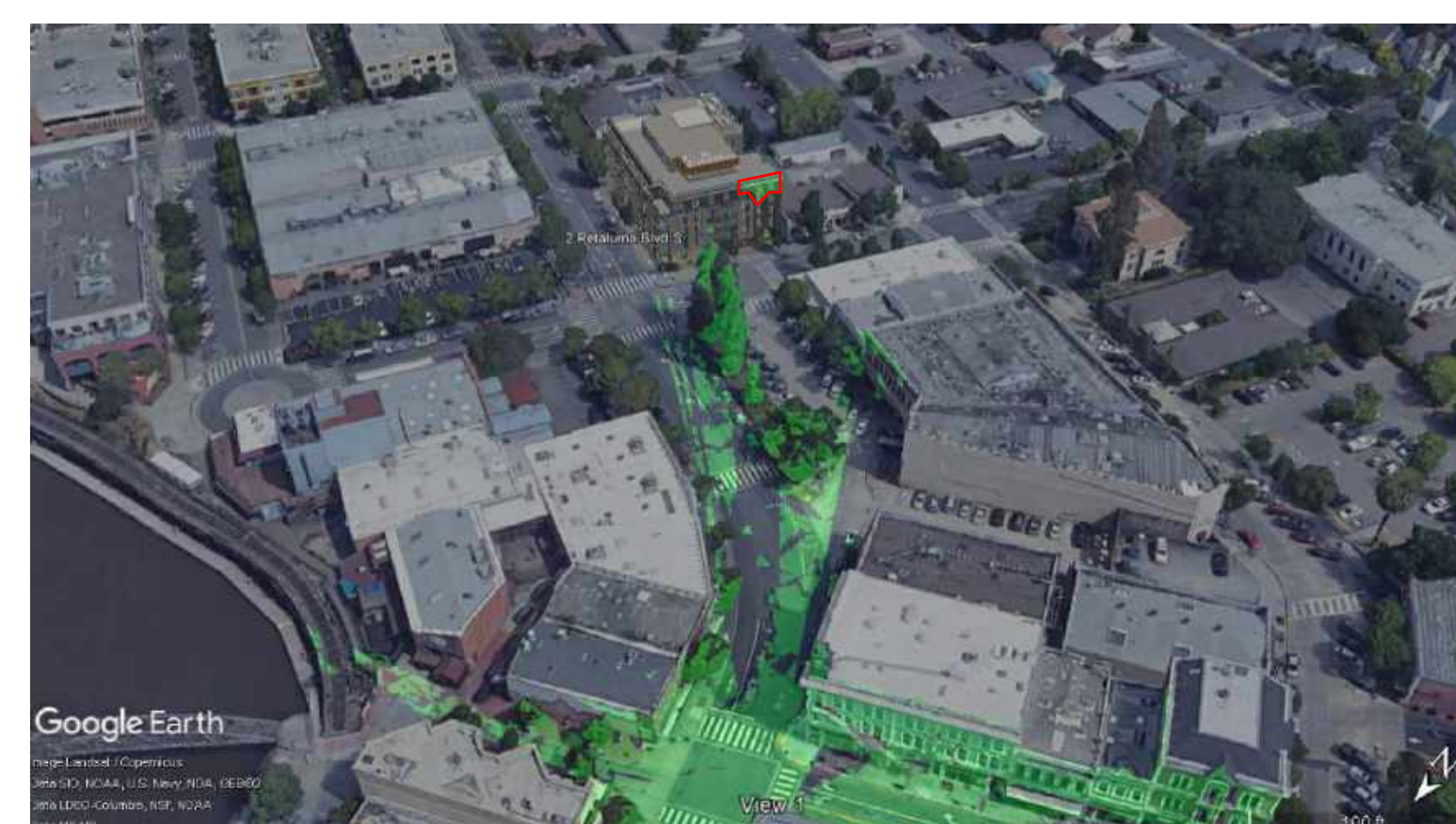
View 7



View 2



View 6



View 1



**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
2 Petaluma Blvd South  
Petaluma, California

REVISION HISTORY

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VIEW SHED ANALYSIS

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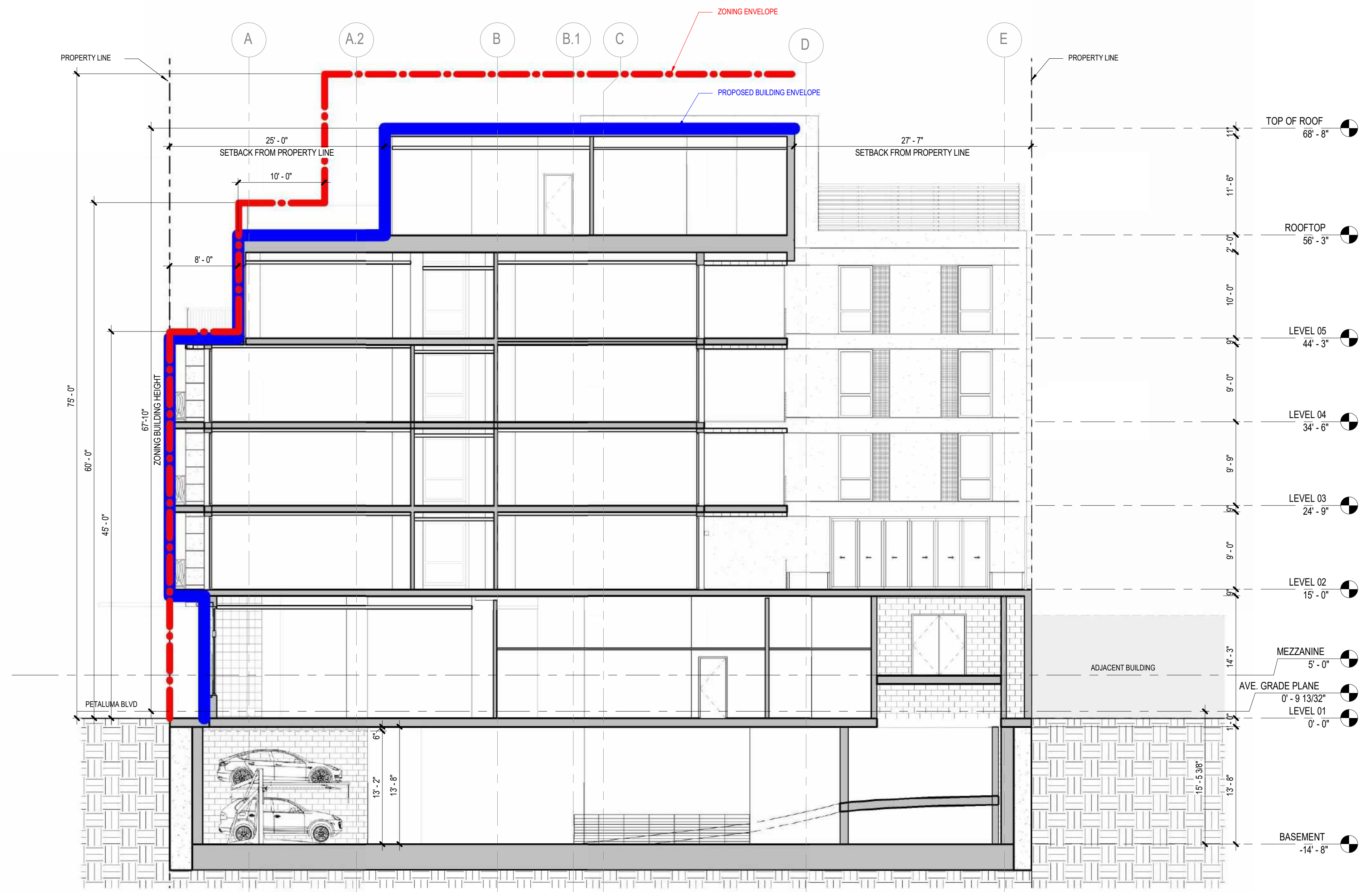
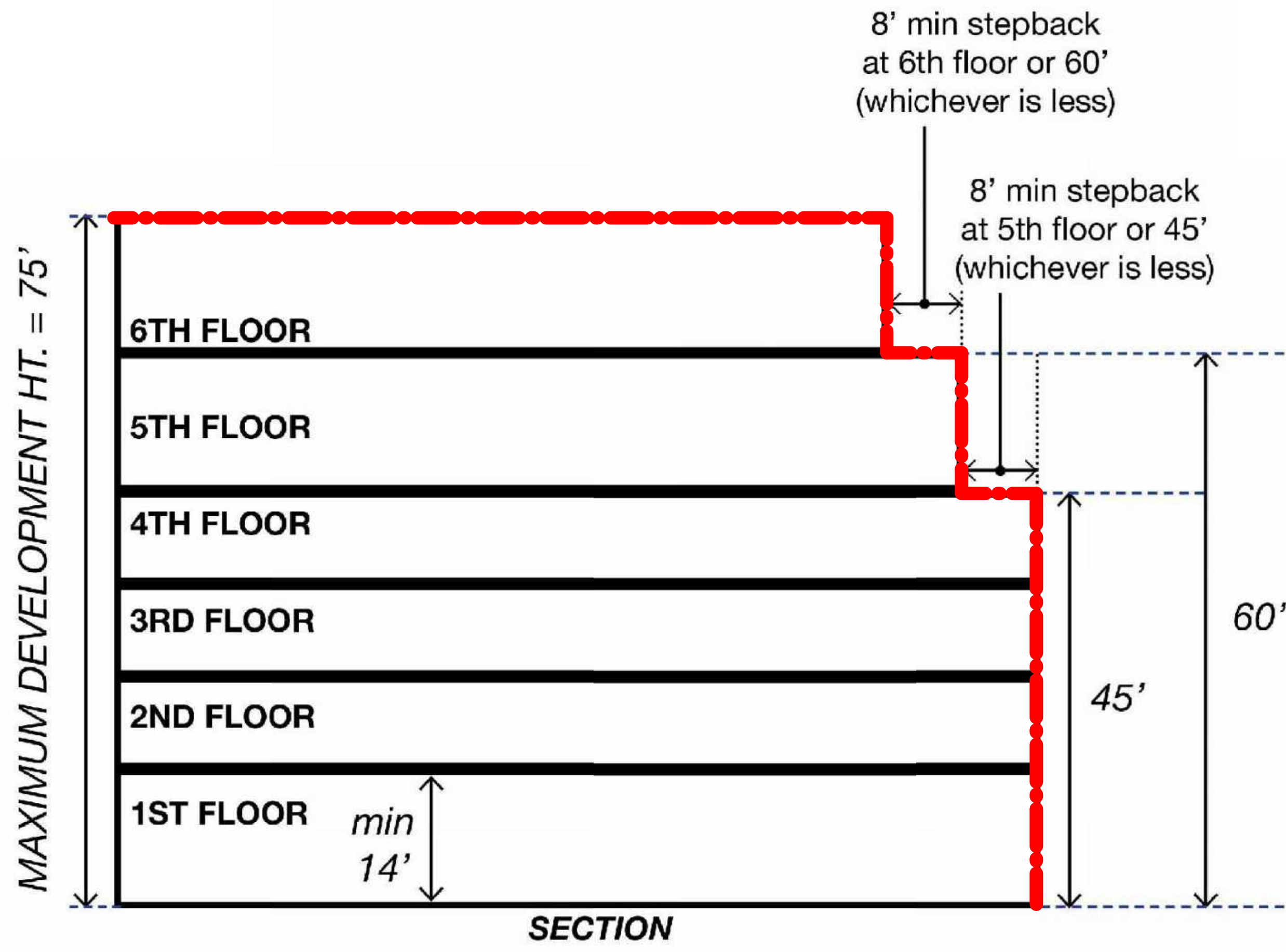
MEP: INTERFACE ENGINEERING BRIGHTVIEW DESIGN GROUP  
601 South Figueroa Street  
Suite 2750  
Los Angeles, CA 90017  
Address Line 3  
323 536 2362

STRUCTURE: BUEHLER ENGINEERING DH-COMPANIES  
5 Third Street  
Suite 1125  
San Francisco, CA 94103  
213 694 3408

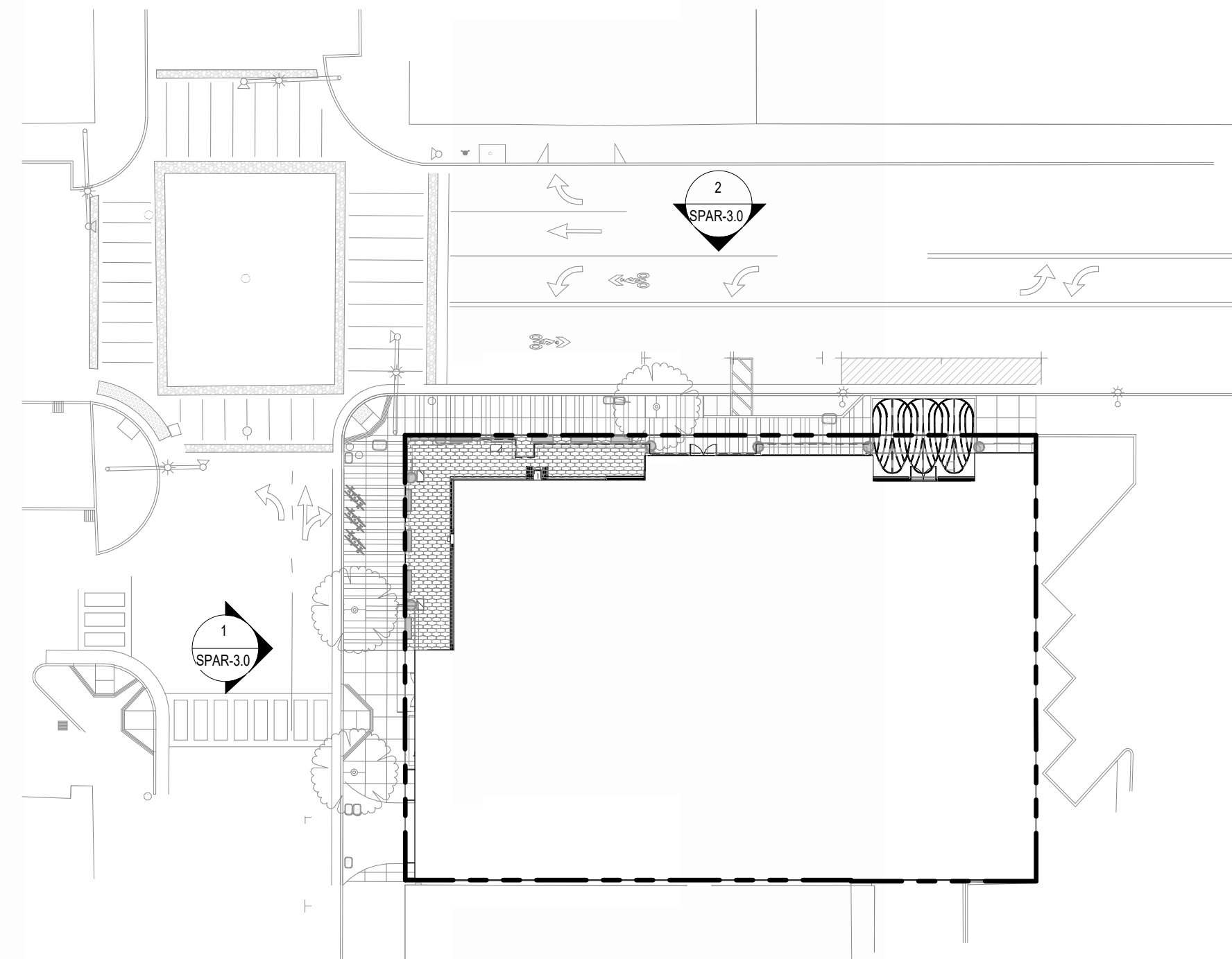
INTERIORS: SIXTEEN FIFTY  
7509 Girard Ave  
La Jolla, CA  
92037  
858 454 6909

CIVIL: N CONSULTING ENGINEERS  
4 Park Plz  
Irvine, CA  
92614  
949 369 1161

## EKN Petaluma LLC EKN APPELLATION HOTEL 2 Petaluma Blvd South Petaluma, California



4 ZONING DIAGRAM  
SCALE: 1/8" = 1'-0"



3 KEY PLAN - SITE  
SCALE: 1" = 30'-0"



2 ELEVATION - PETALUMA STREET MASSING  
SCALE: 1" = 20'-0"



1 ELEVATION - B STREET  
SCALE: 1" = 20'-0"

### REVISION HISTORY

REVISION	DESCRIPTION	DATE

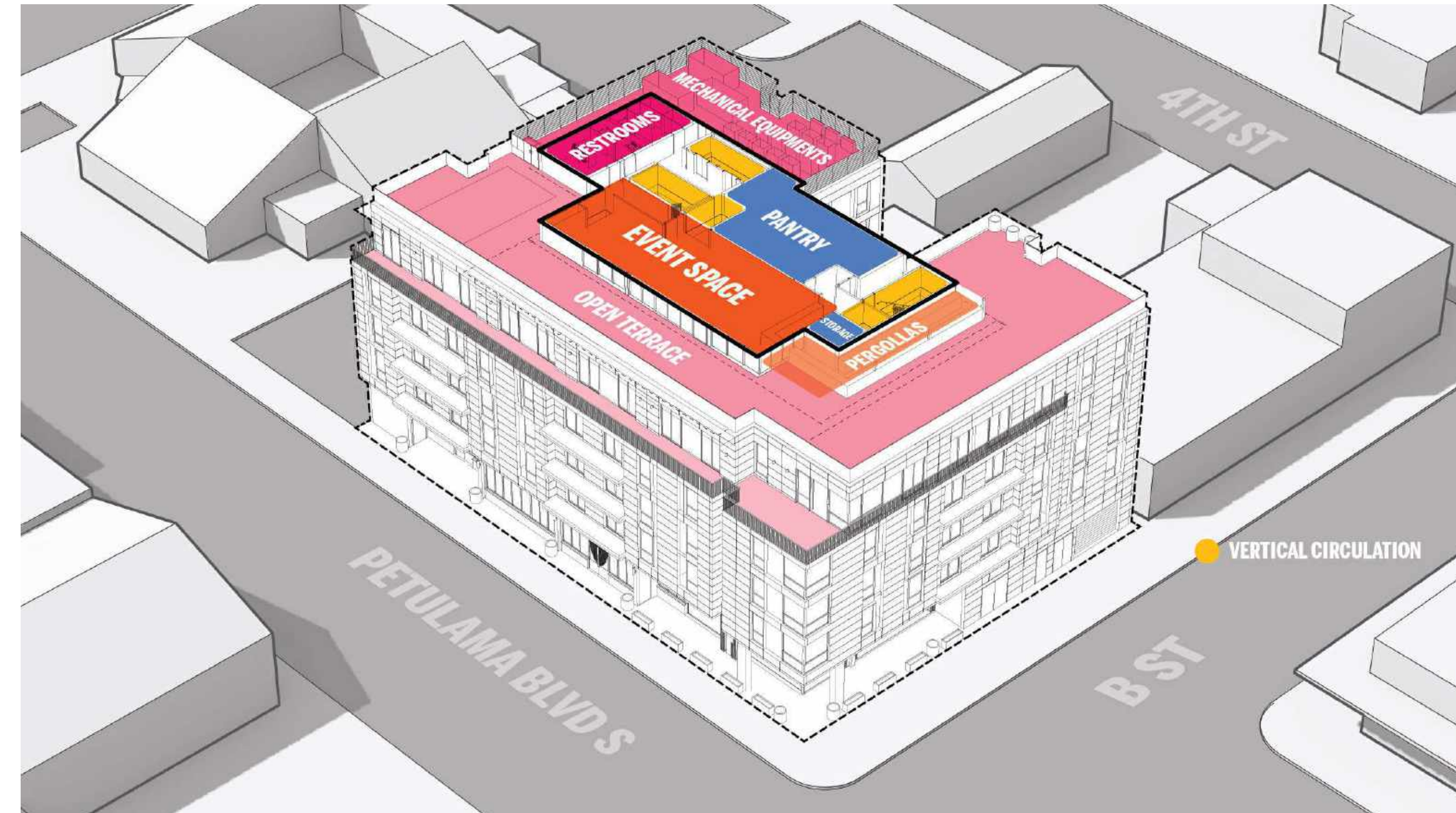
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### ARCHITECTURAL - SITE ELEVATIONS

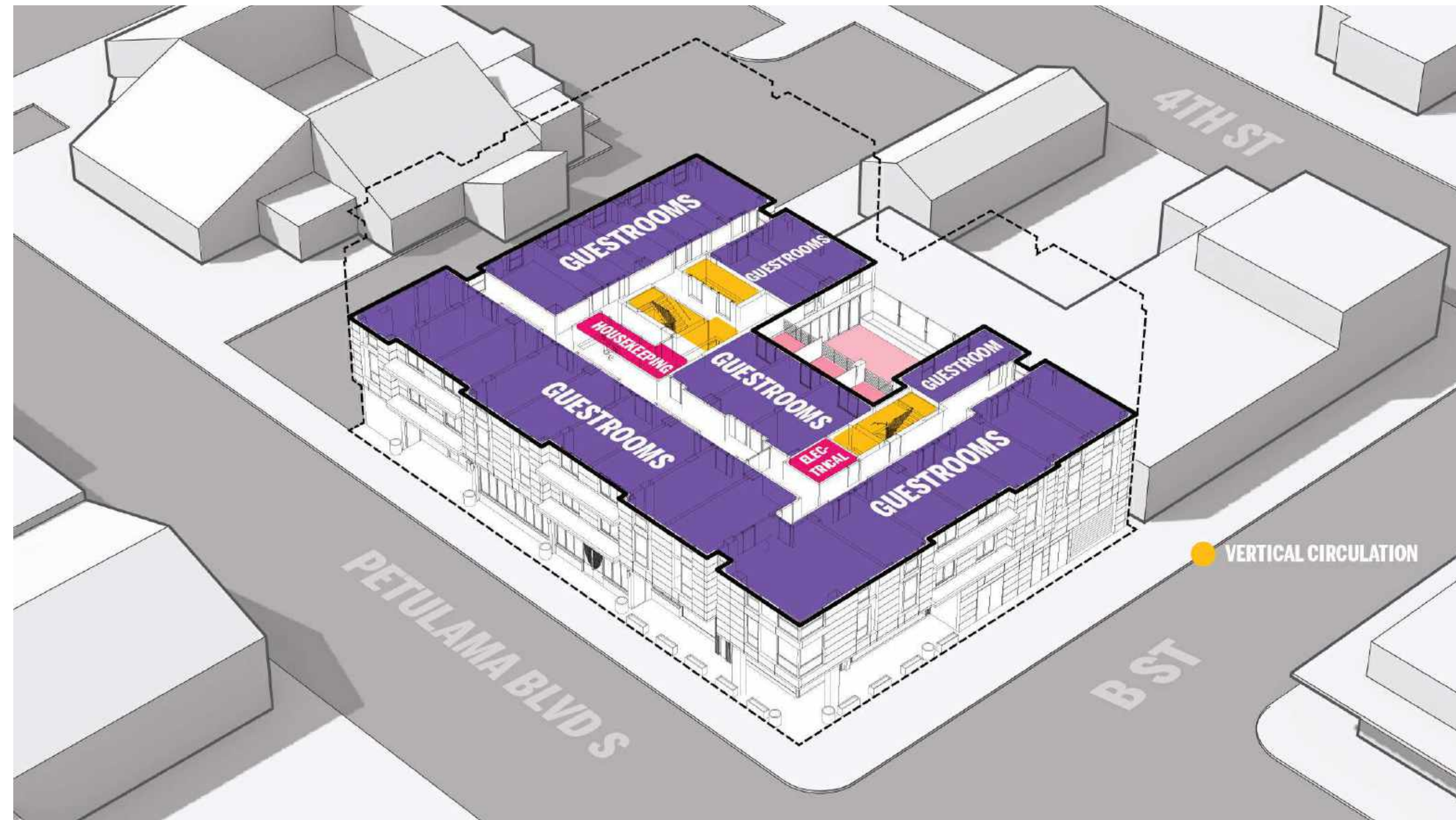
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Author	Checker
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

## SPAR-3.0

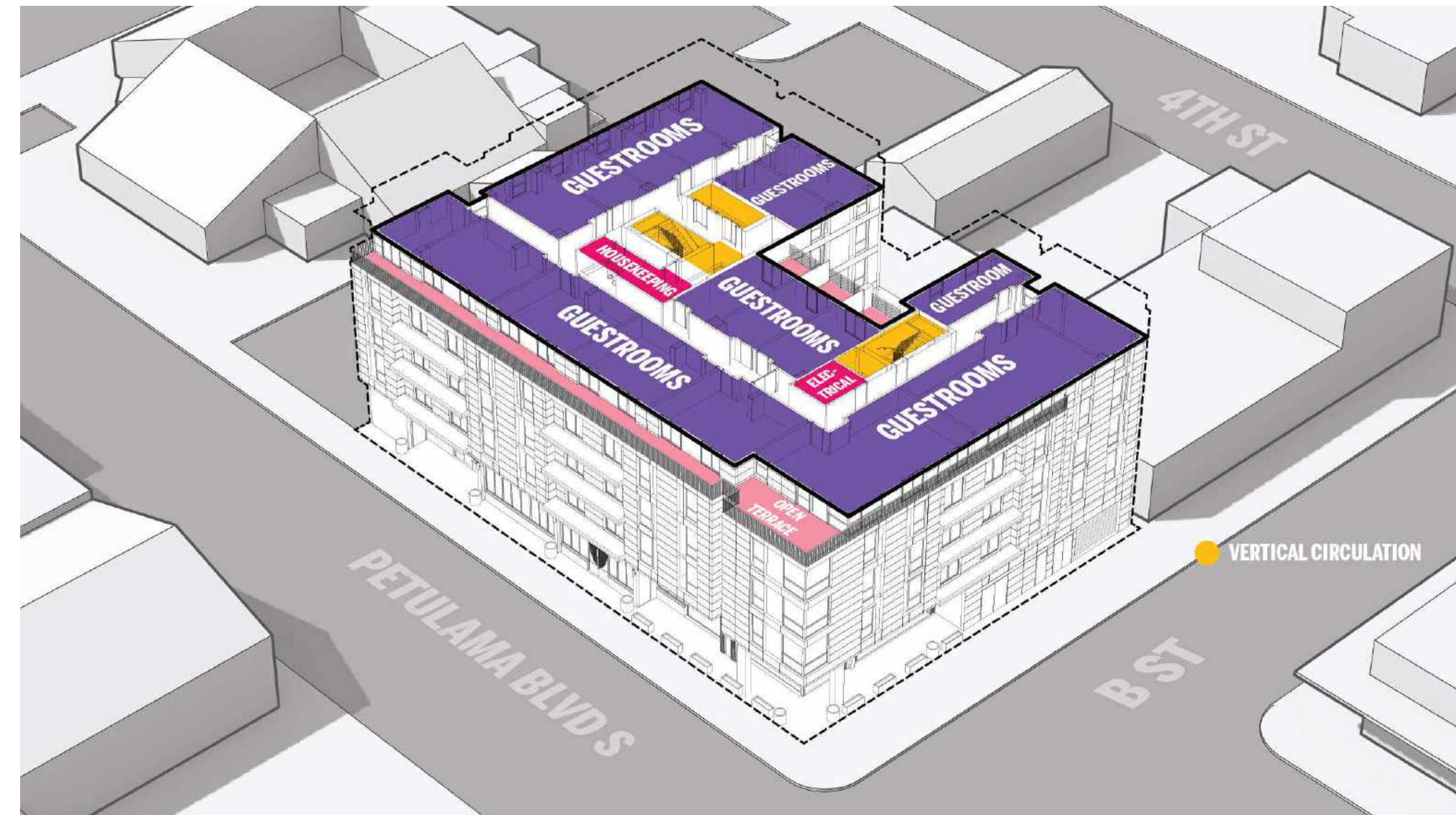
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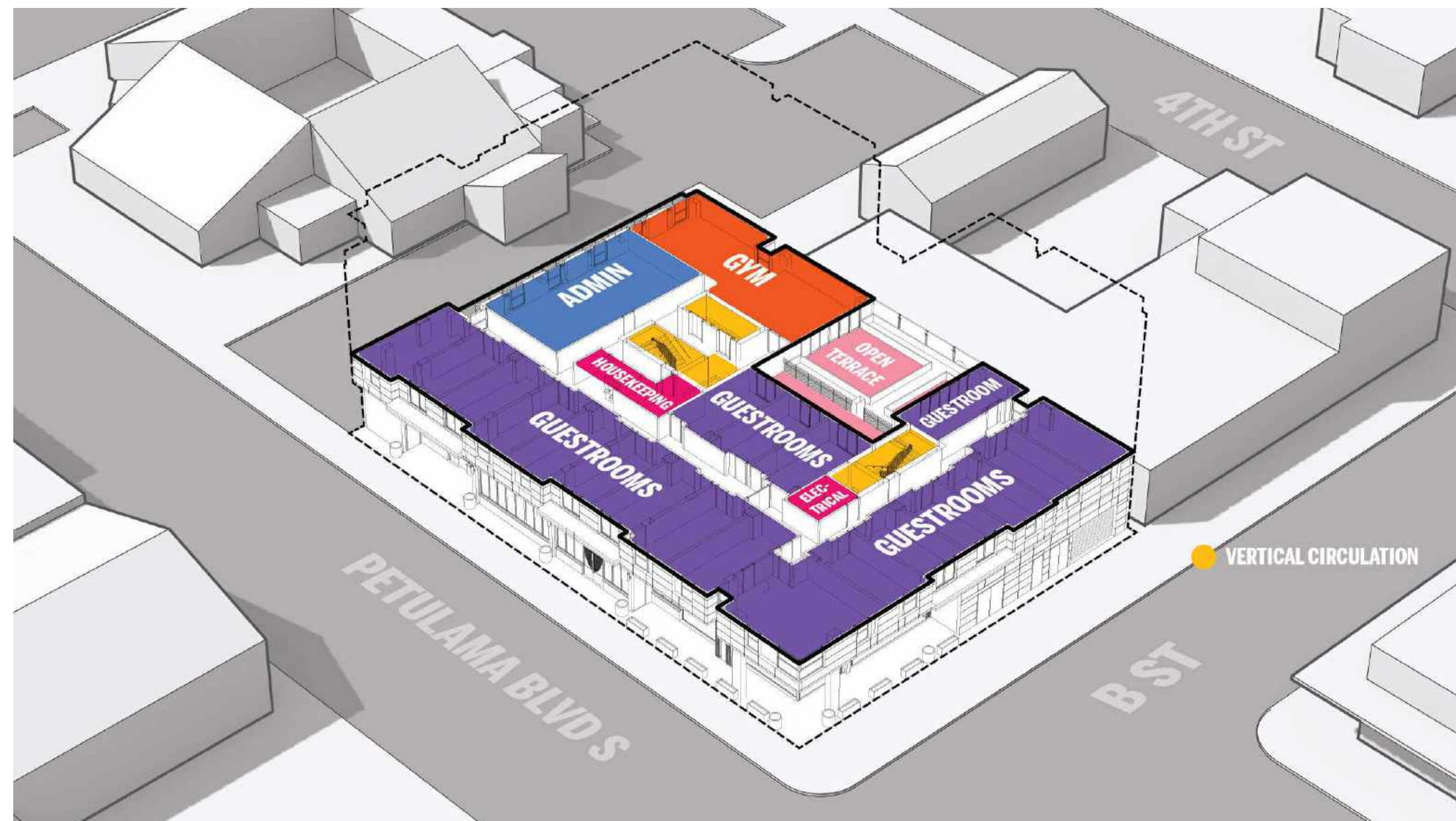
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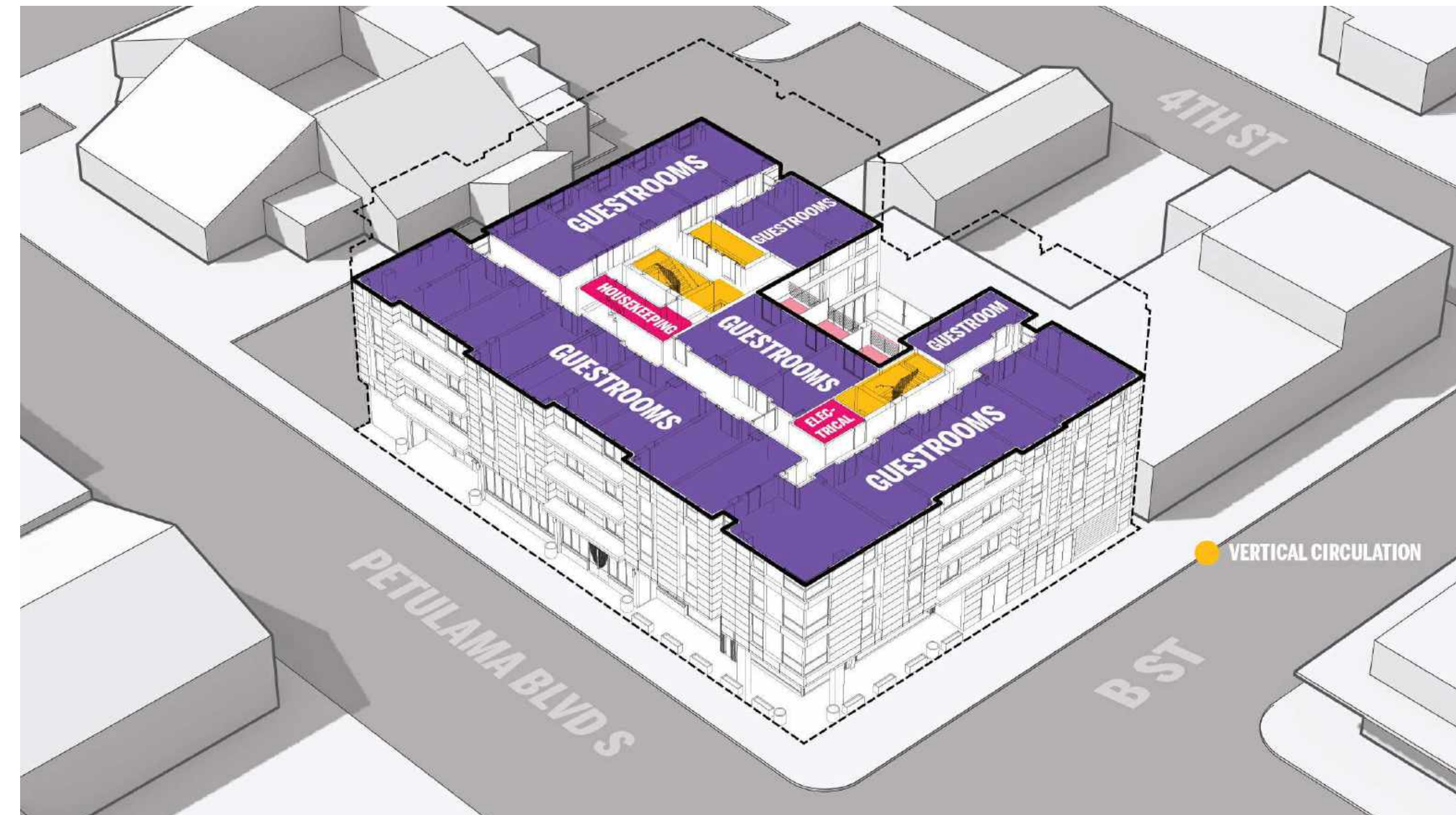
THIRD FLOOR



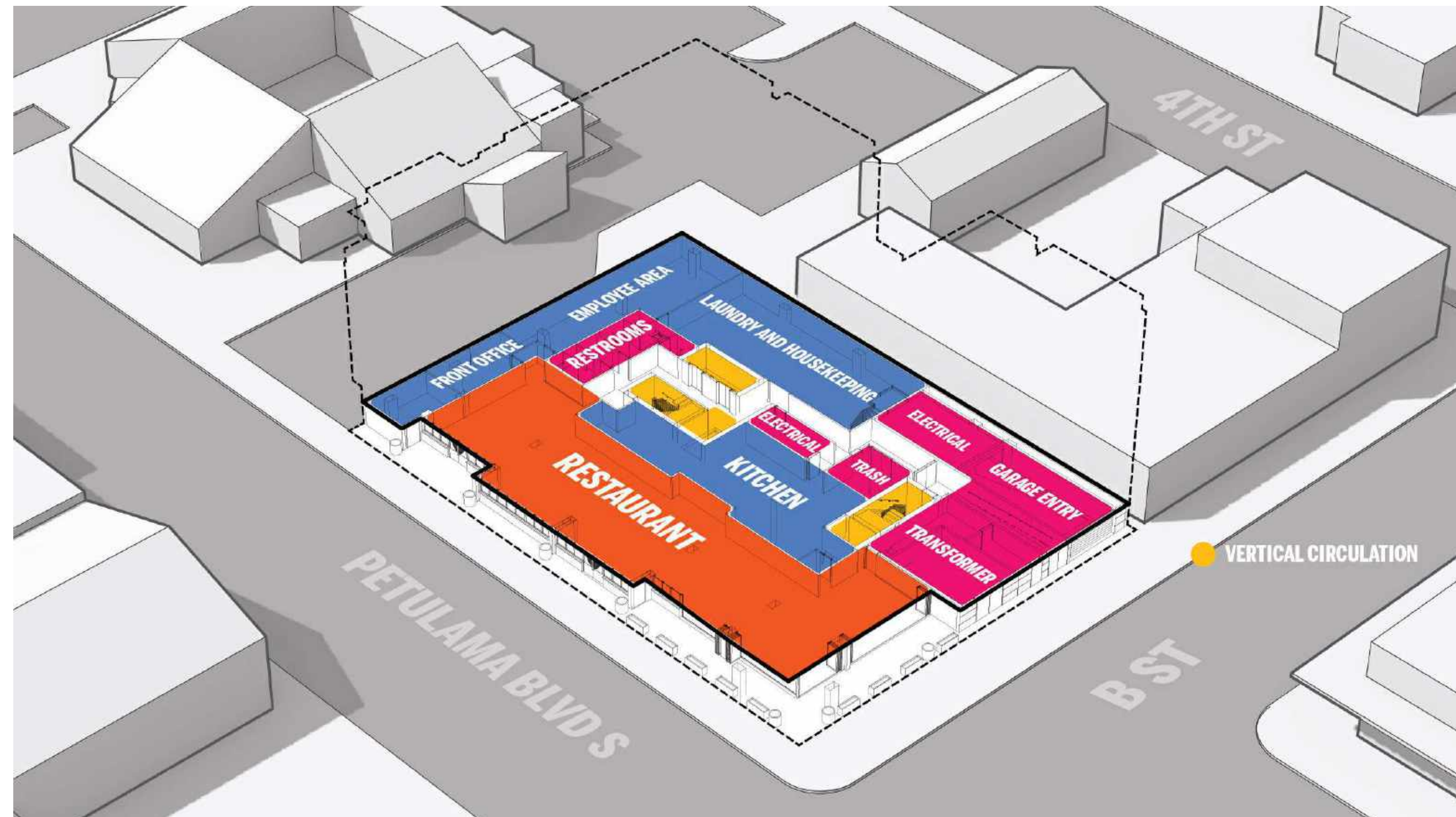
FIFTH FLOOR



SECOND FLOOR



FOURTH FLOOR



GROUND FLOOR

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PROGRAM DIAGRAMS

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ORIGINAL ISSUE	DATE
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SPAR-3.1

SHEET NUMBER

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DATE/TIME: 9/8/2023 5:13:06 PM

EKN Petaluma LLC  
EKN APPELLATION HOTEL  
2 Petaluma Blvd South  
Petaluma, California

FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-S1 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES); CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION
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FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE. STRUCT.
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

REVISION HISTORY

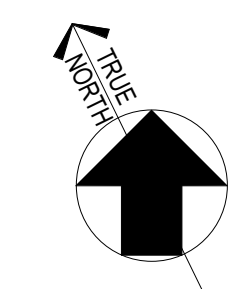
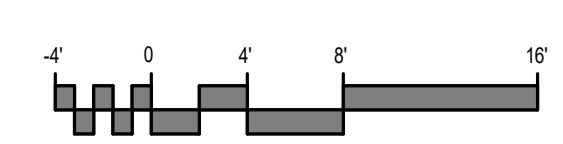
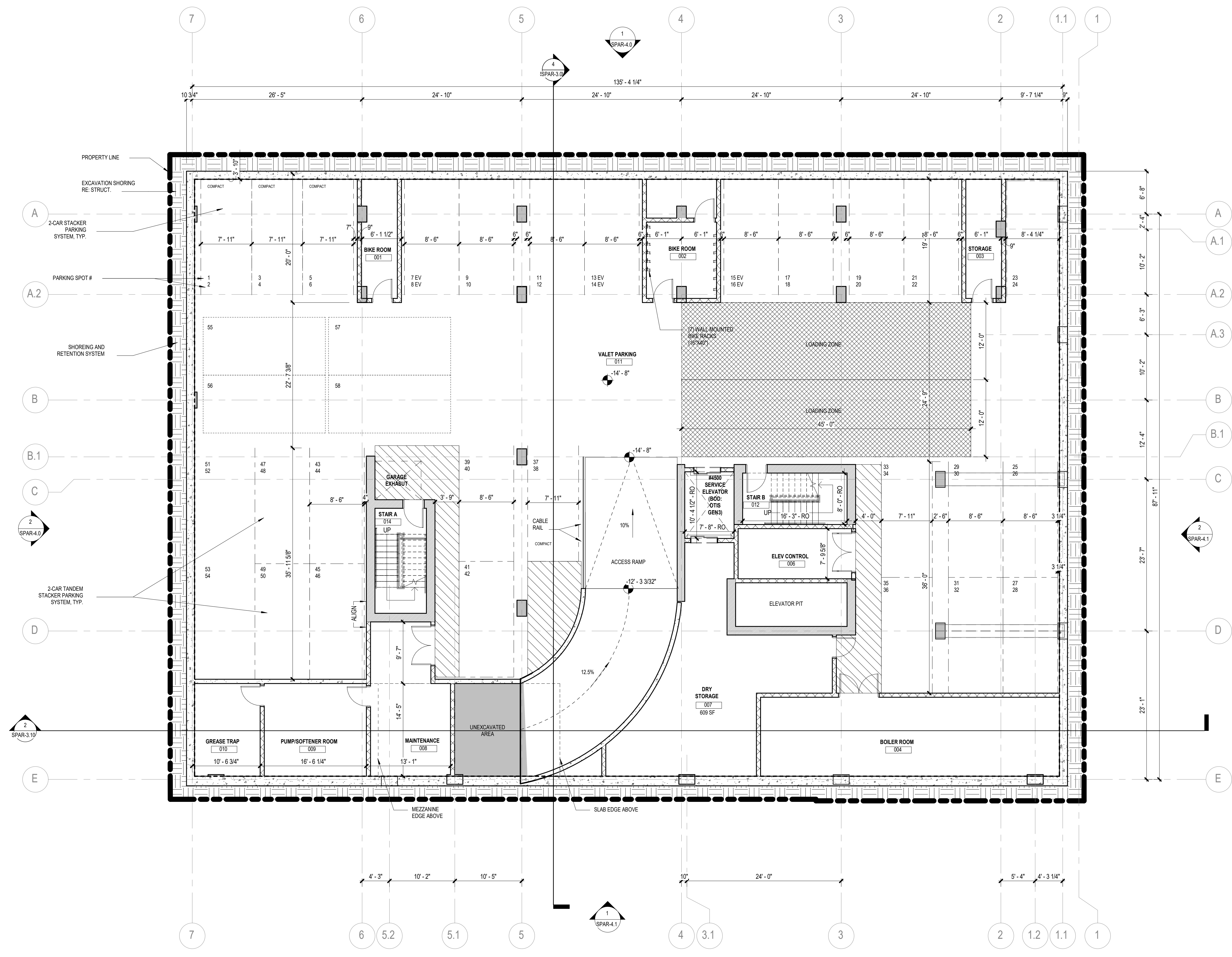
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ARCHITECTURAL - FLOOR PLAN - BASEMENT

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-3.2  
SHEET NUMBER



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DATE STAMP:

1 FLOOR PLAN - BASEMENT LEVEL  
SCALE: 1/8" = 1'-0"

### FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE \_\_ UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-S1 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

### KEYED NOTES

NUMBER	DESCRIPTION
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### FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE-RATED SMOKE BARRIER
	SHEAR WALL - RE-STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

### REVISION HISTORY

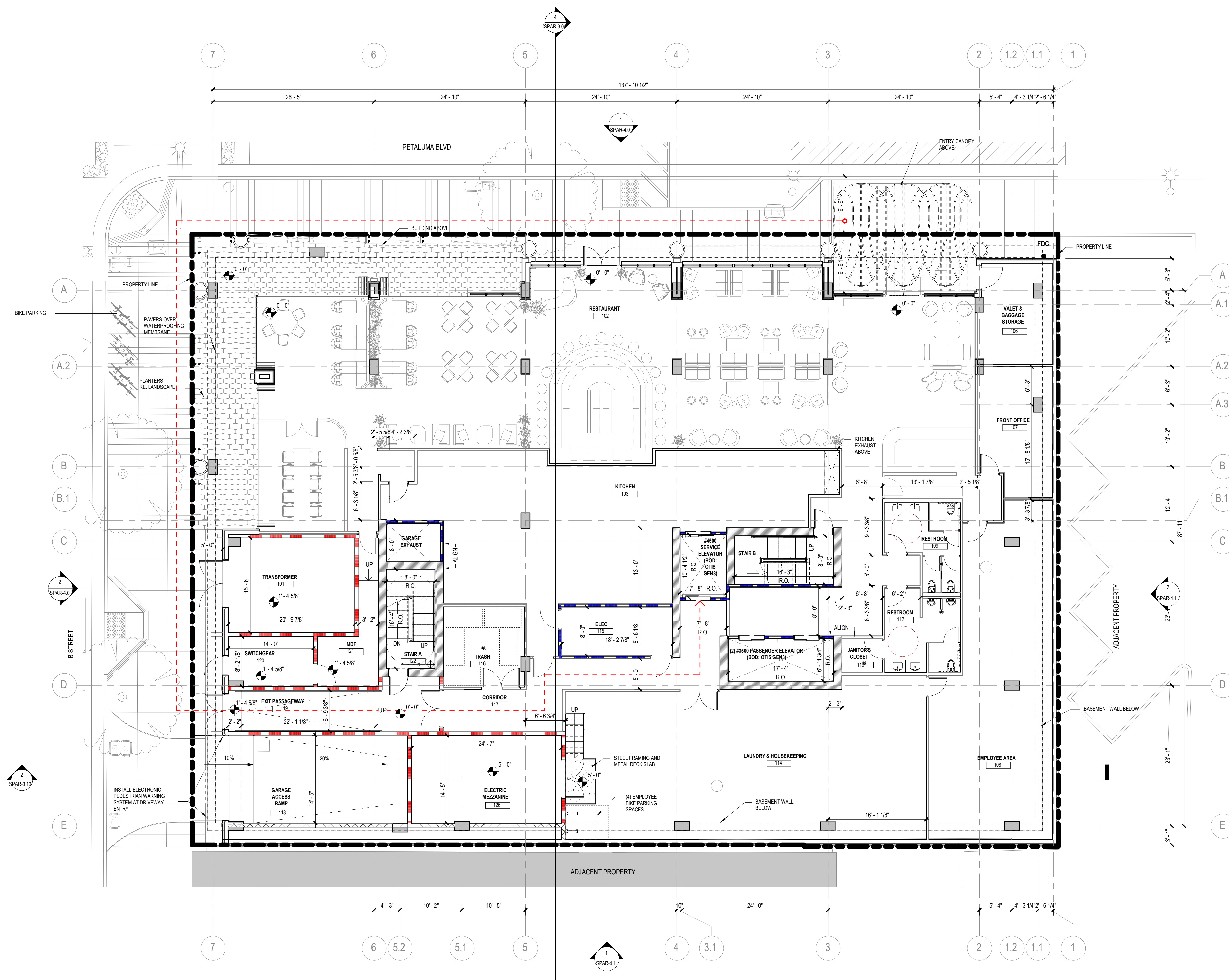
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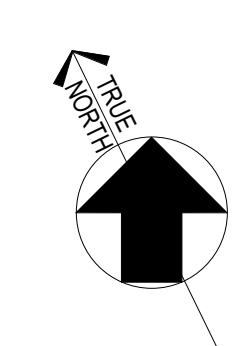
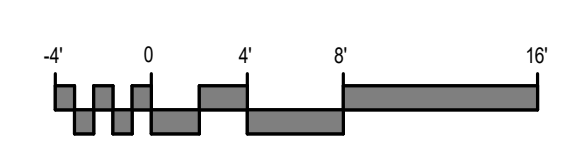
ARCHITECTURAL - FLOOR PLAN - LEVEL 01

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**SPAR-3.3**  
 SHEET NUMBER



**1 FLOOR PLAN - LEVEL 01**  
 SCALE: 1/8" = 1'-0"



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EKN APPELLATION HOTEL  
2 Petaluma Blvd South  
Petaluma, California

FLOOR PLAN GENERAL NOTES

- 1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLASSIFICATION REQUIRED.

KEYED NOTES

Table with 2 columns: NUMBER, DESCRIPTION

FLOOR PLAN LEGEND

Legend table with columns: SYMBOL, DESCRIPTION. Includes symbols for matchlines, sheet references, keynotes, partition tags, building section tags, exterior elevation tags, interior elevation tags, plan reference tags, room names, smoke partitions, fire-rated smoke barriers, fire-rated fire barriers, fire-rated fire partitions, fire-rated fire walls, fire-rated fire walls with window marks, shear walls, new doors, new windows, and column grid designations.

REVISION HISTORY

Table with columns: REVISION, DESCRIPTION, DATE

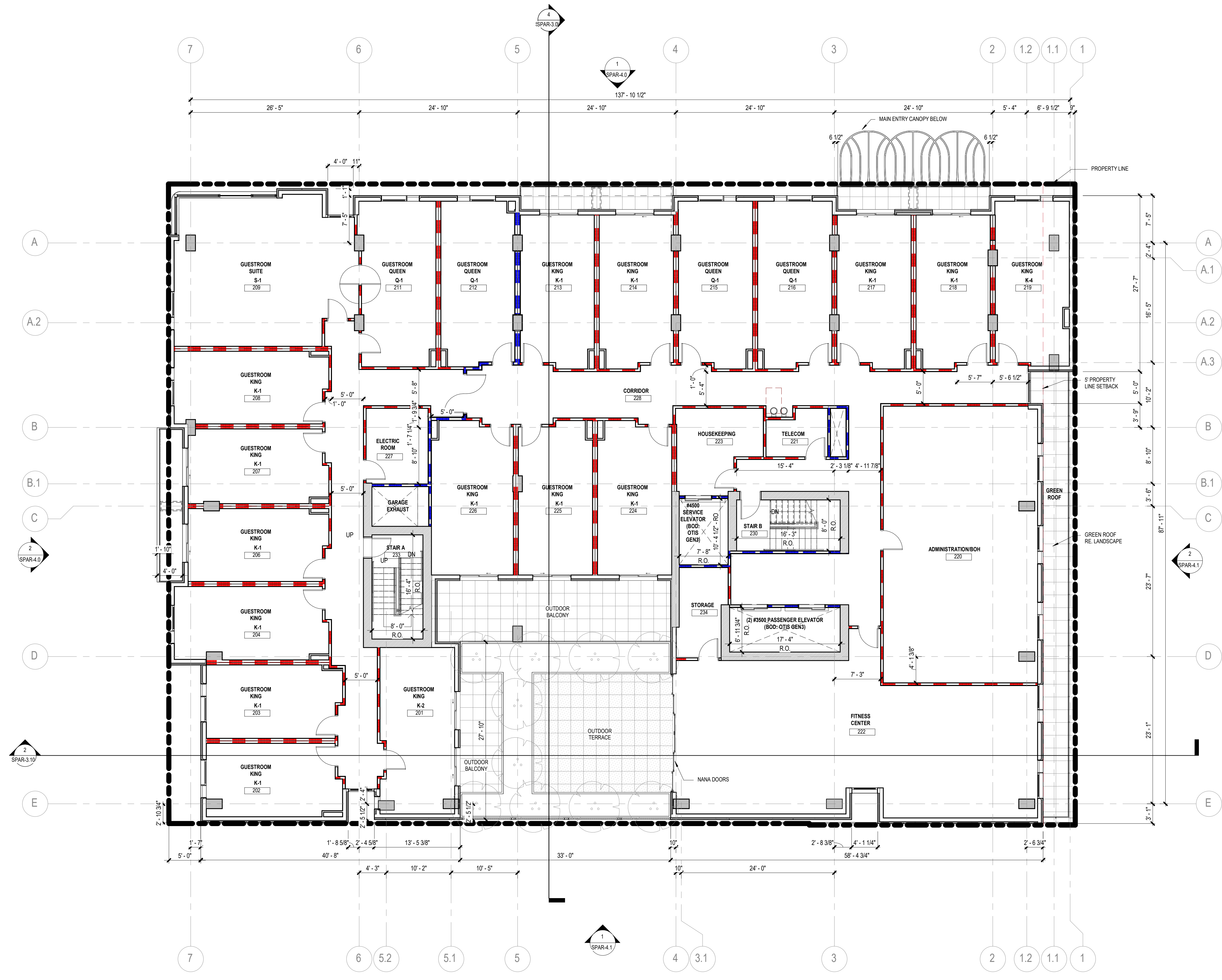
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ARCHITECTURAL - FLOOR PLAN - LEVEL 02

Table with columns: DRAWN BY, CHECKED BY, PROJECT NUMBER, PROJECT ABBREVIATION, ORIGINAL ISSUE, DATE

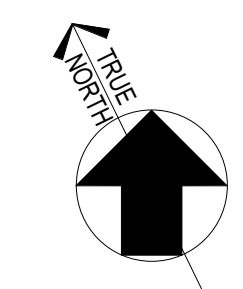
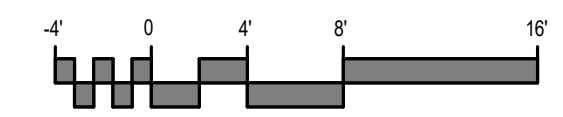
SPAR-3.4

SHEET NUMBER



1 FLOOR PLAN - LEVEL 02  
SCALE: 1/8" = 1'-0"

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USER NAME: 9/8/2023 5:13:18 PM  
DATE STAMP:



**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
2 Petaluma Blvd South  
Petaluma, California

**FLOOR PLAN GENERAL NOTES**

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE \_\_ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-S01 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION
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**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE
	PARTITION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE-STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

**REVISION HISTORY**

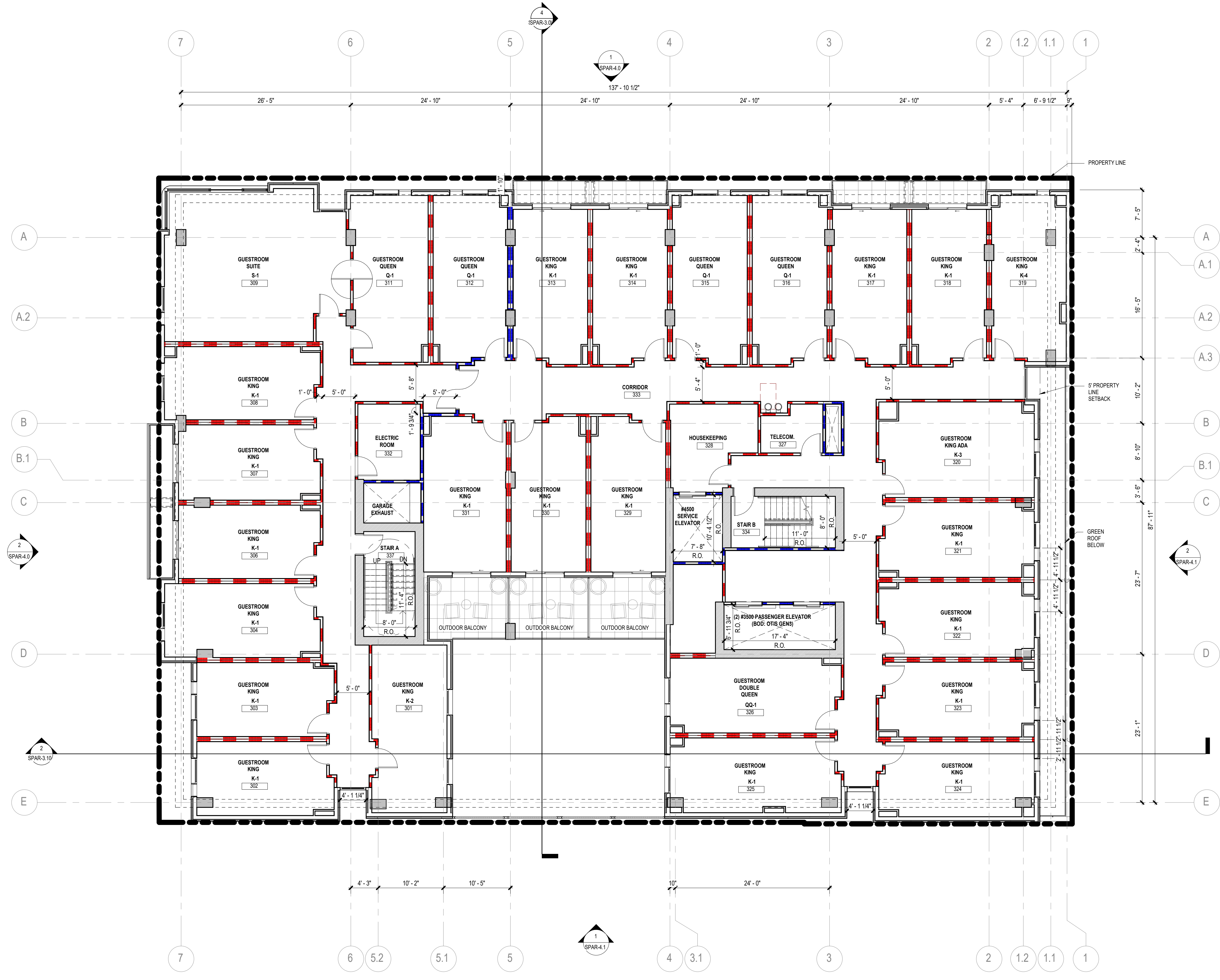
REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	

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**ARCHITECTURAL - FLOOR PLAN - LEVEL 03**

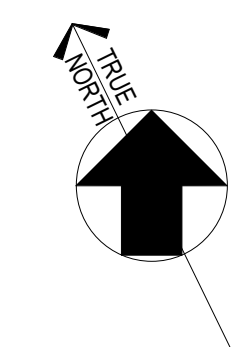
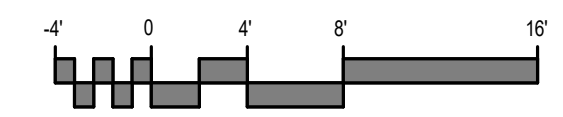
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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

**SPAR-3.5**  
SHEET NUMBER



**1 FLOOR PLAN - LEVEL 03**  
SCALE: 1/8" = 1'-0"

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DATE STAMP:



**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

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ARCHITECTURAL - FLOOR PLAN -  
 LEVEL 04

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621010	PH
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SPAR APPLICATION	08 SEPTEMBER 2023

**SPAR-3.6**  
 SHEET NUMBER

**FLOOR PLAN GENERAL NOTES**

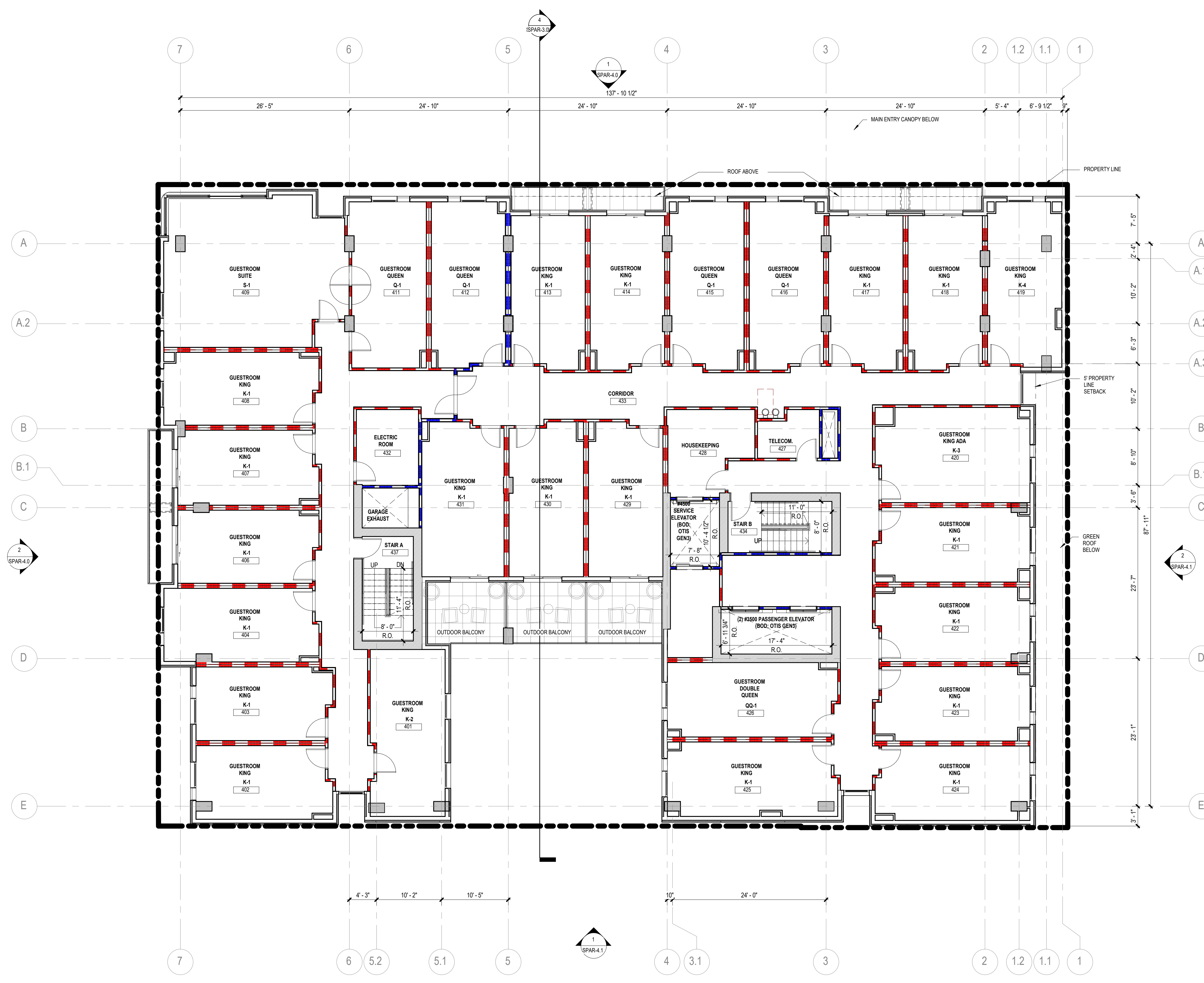
1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE \_\_ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-501 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION

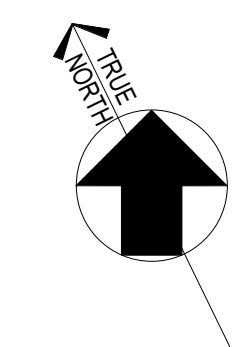
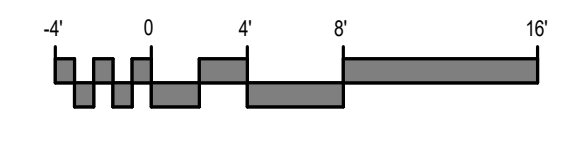
**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE
	KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG
	REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE-STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS



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 USER NAME: 9/8/2023 5:13:24 PM  
 DATE STAMP:

**1 FLOOR PLAN - LEVEL 04**  
 SCALE: 1/8" = 1'-0"



**FLOOR PLAN GENERAL NOTES**

- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
- REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

**KEYED NOTES**

NUMBER	DESCRIPTION
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**FLOOR PLAN LEGEND**

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYPAD NOTE
	KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG
	REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG
	WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME
	ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE-STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

REVISION	DESCRIPTION	DATE
1	INTERIM REVIEW	

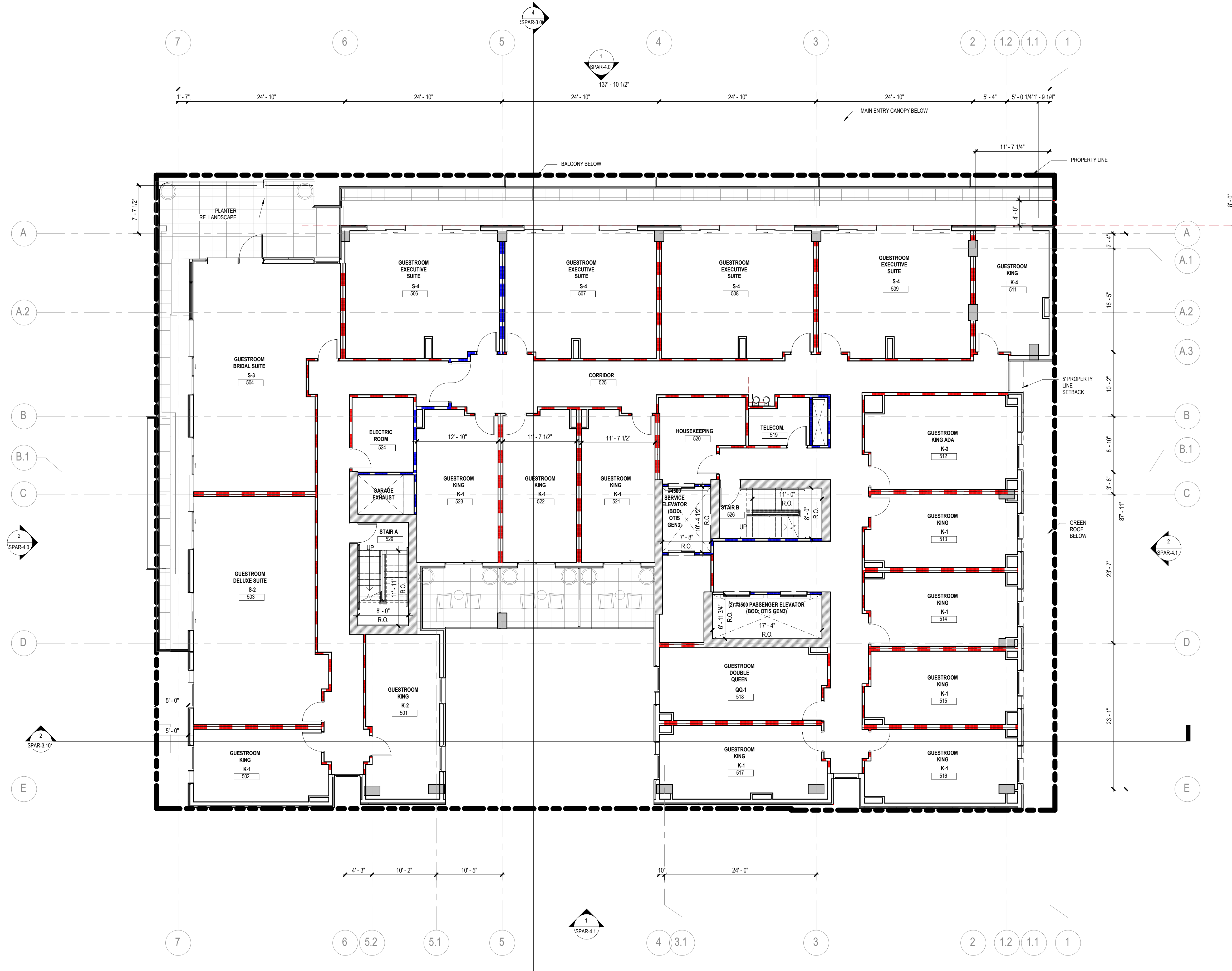
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**ARCHITECTURAL - FLOOR PLAN - LEVEL 05**

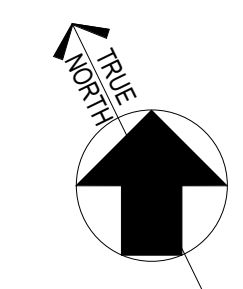
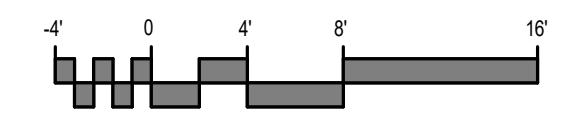
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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

**SPAR-3.7**

SHEET NUMBER



**1 FLOOR PLAN - LEVEL 05**  
SCALE: 1/8" = 1'-0"



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USER NAME: 9/8/2023 5:13:28 PM  
DATE STAMP:



## FLOOR PLAN GENERAL NOTES

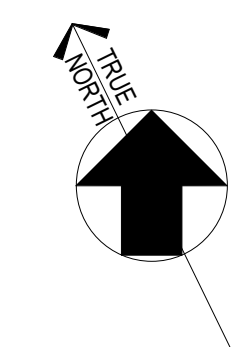
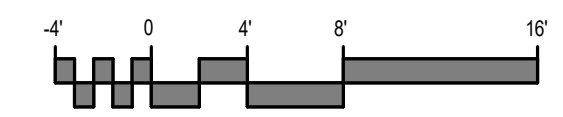
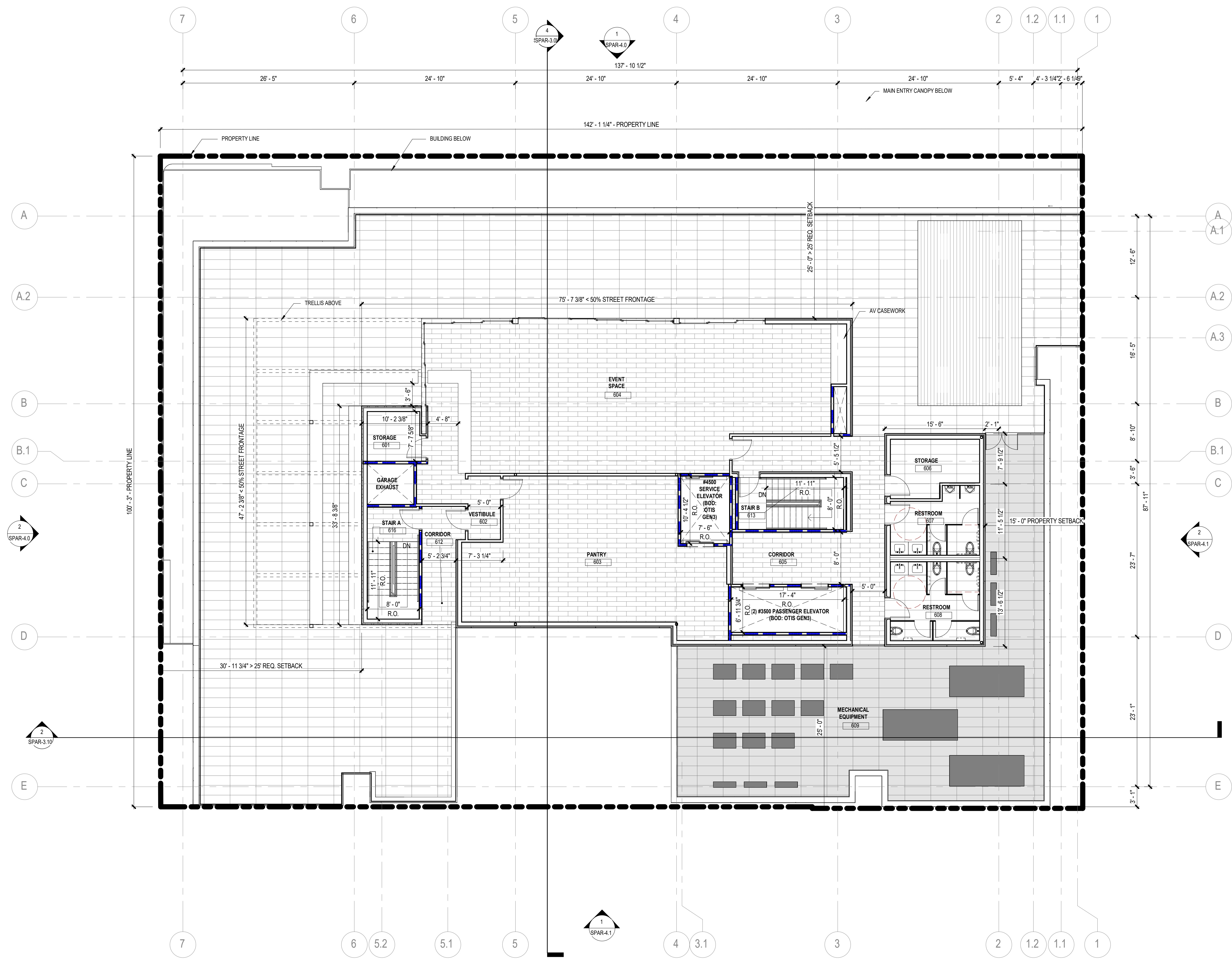
- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
- FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
- ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
- REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
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- INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
- ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-501 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLANS/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

## KEYED NOTES

NUMBER	DESCRIPTION

## FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
[Symbol]	MATCHLINE
[Symbol]	SHEET REFERENCE
[Symbol]	KEYED NOTE
[Symbol]	PARTITION TAG
[Symbol]	BUILDING SECTION TAG
[Symbol]	EXTERIOR ELEVATION TAG
[Symbol]	INTERIOR ELEVATION TAG
[Symbol]	PLAN REFERENCE TAG
[Symbol]	ROOM NAME
[Symbol]	ROOM NUMBER
[Symbol]	SMOKE PARTITION
[Symbol]	1-HOUR FIRE RATED WALL, FIRE BARRIER, OR FIRE PARTITION
[Symbol]	2-HOUR FIRE RATED SMOKE BARRIER
[Symbol]	2-HOUR FIRE RATED SMOKE BARRIER
[Symbol]	3-HOUR FIRE RATED SMOKE BARRIER
[Symbol]	SHEAR WALL - RE-STRUCT
[Symbol]	NEW DOOR WITH DOOR TAG REF DOOR SCHED
[Symbol]	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
[Symbol]	COLUMN GRID DESIGNATIONS



**1 FLOOR PLAN - ROOFTOP PLAN**  
 SCALE: 1/8" = 1'-0"

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**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

## REVISION HISTORY

NO.	DESCRIPTION	DATE

PROFESSIONAL SEAL  
**INTERIM REVIEW**  
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## ARCHITECTURAL - FLOOR PLAN - ROOFTOP LEVEL

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PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

**SPAR-3.8**  
 SHEET NUMBER

### FLOOR PLAN GENERAL NOTES

- ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE \_\_ UNLESS NOTED OTHERWISE.
- ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
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- INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
- AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
- REFER TO A-S1 FOR INTERIOR EXPANSION JOINT DETAILS.
- GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (AS SERIES SHEETS), AND WINDOW SCHEDULE DETAILS (AS SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLASSIFICATION REQUIRED.

### KEYED NOTES

NUMBER	DESCRIPTION
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### FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
	MATCHLINE
	SHEET REFERENCE
	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
	PARTITION TAG REFER TO PARTITION SCHEDULE
	BUILDING SECTION TAG WALL SECTION TAG
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	PLAN REFERENCE TAG
	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL - RE: STRUCT
	NEW DOOR WITH DOOR TAG REF DOOR SCHED
	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
	COLUMN GRID DESIGNATIONS

## EKN Petaluma LLC EKN APPELLATION HOTEL

2 Petaluma Blvd South  
Petaluma, California

### REVISION HISTORY

REVISION	DESCRIPTION	DATE
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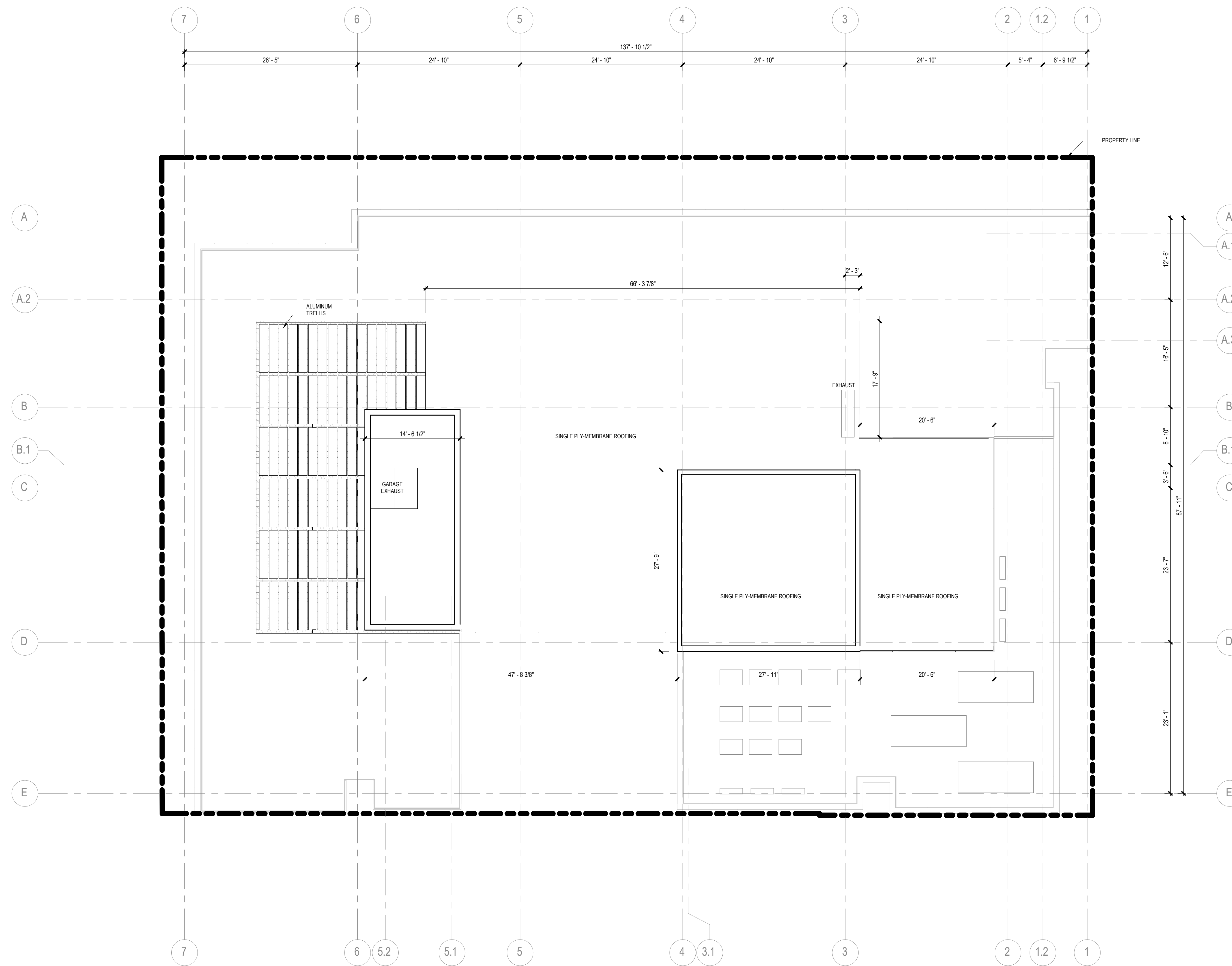
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### ARCHITECTURAL - ROOF PLAN

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<b>PROJECT NUMBER</b> 621010	<b>PROJECT ABBREVIATION</b> PH
<b>ORIGINAL ISSUE</b> SPAR APPLICATION	<b>DATE</b> 08 SEPTEMBER 2023

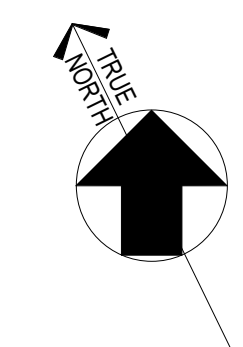
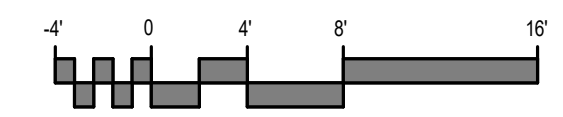
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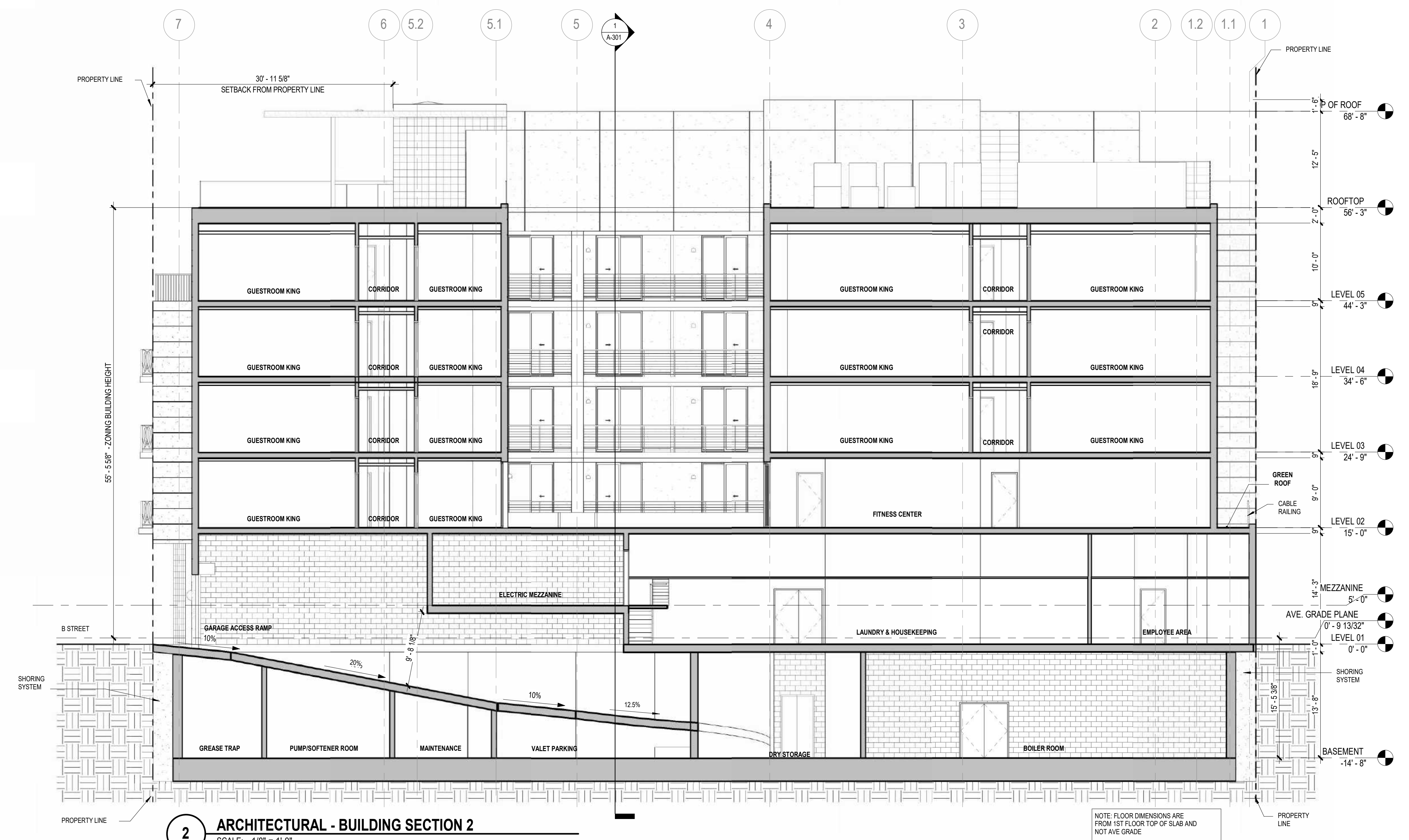
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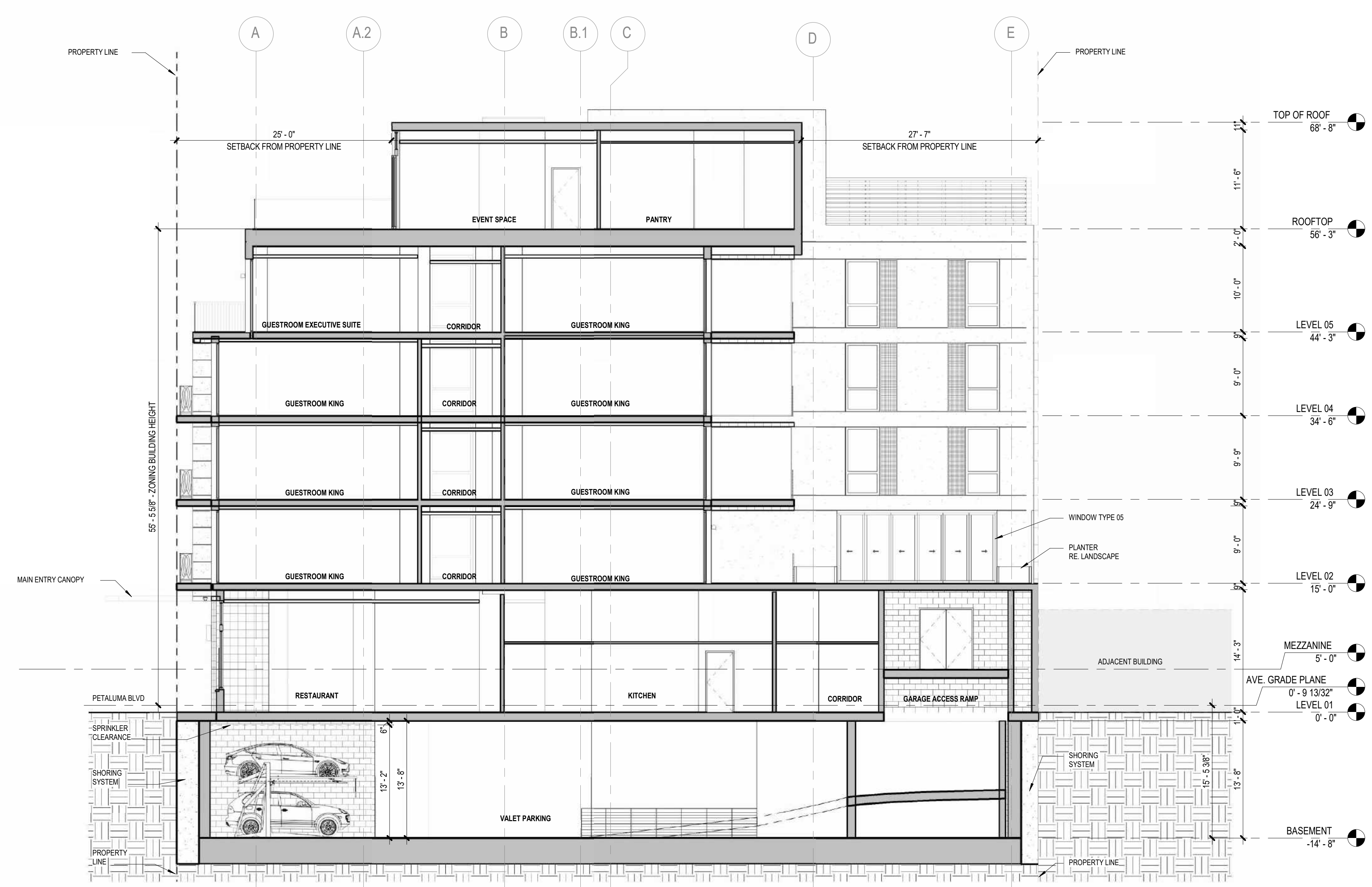
Autodesk Docs://621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt  
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 DATE STAMP:

**1** TOP OF ROOF  
 SCALE: 1/8" = 1'-0"





2 ARCHITECTURAL - BUILDING SECTION 2  
 SCALE: 1/8" = 1'-0"



1 ARCHITECTURAL - BUILDING SECTION 1  
 SCALE: 1/8" = 1'-0"

**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

REVISION	DESCRIPTION	DATE

PROFESSIONAL SEAL  
 INTERIM REVIEW  
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 PURPOSE OF INTERIM REVIEW UNDER THE  
 AUTHORITY OF  
 \*\*\* choose ARCHITECT or ENGINEER \*\*\*  
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 APPROVAL, BIDDING, PERMIT, OR  
 CONSTRUCTION PURPOSES.

ARCHITECTURAL - BUILDING SECTIONS	
DRAWN BY Author	CHECKED BY Checker
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

**SPAR-3.10**  
 SHEET NUMBER

**CEILING PLAN GENERAL NOTES**

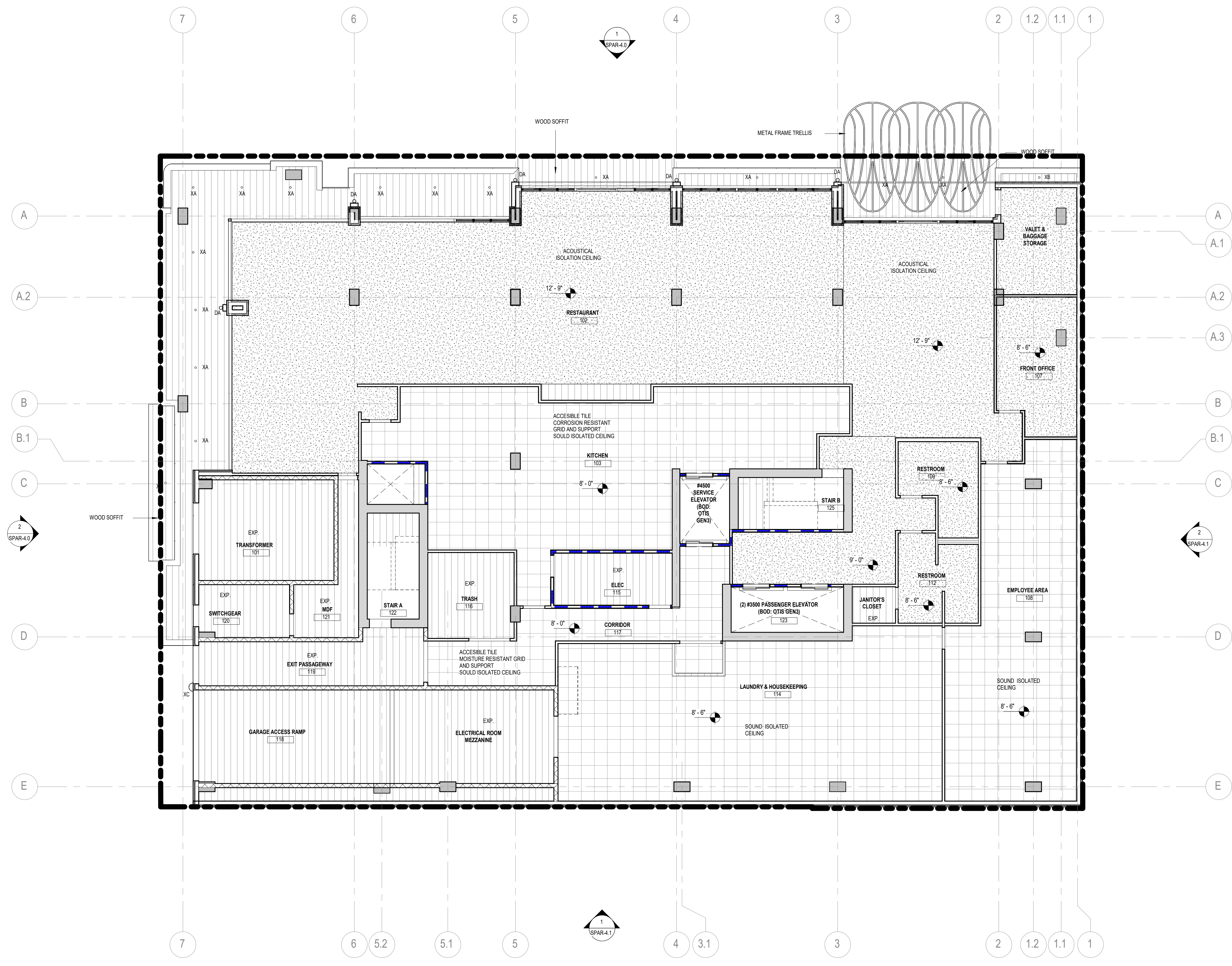
1. ALL CEILING HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
2. ALL ACoustICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
3. ALL CORRIDOR ACoustICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR UNLESS NOTED OTHERWISE.
4. ALL 'CAN' LIGHT FIXTURES TO BE CENTERED WITHIN ACoustICAL CEILING TILES.
5. ALL 'CAN' LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURRODOWN TO BE 7'-2" AFF. REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
8. ALL CEILING HEIGHTS IN "TOILET ROOMS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
9. ALL CEILING HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.N.O.

**KEYED NOTES**

NUMBER	DESCRIPTION
A.1	
A.2	
A.3	
B.1	
C	
D	
E	

**EXTERIOR CEILING PLAN LEGEND**

SYMBOL	DESCRIPTION
o	XA - EXTERIOR DOWNLIGHT
o	XB - EXTERIOR WALL WASHER
D	XC - EXTERIOR EGRESS SCENCE
o	DA - EXTERIOR SCENCE A
o	DB - EXTERIOR SCENCE B
---	DC - LINEAR LIGHTING



**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
2 Petaluma Blvd South  
Petaluma, California

**REVISION HISTORY**

NO.	DESCRIPTION	DATE

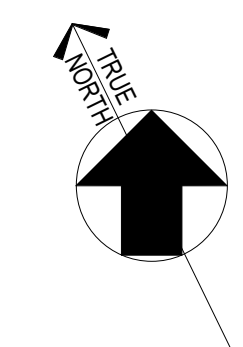
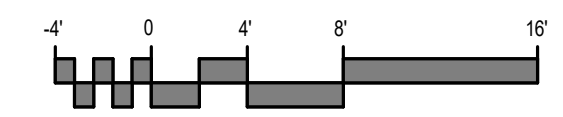
PROFESSIONAL SEALS  
**INTERIM REVIEW**  
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ARCHITECTURAL - REFLECTED  
CEILING PLAN - LEVEL 01  
DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUMBER: 621010  
PROJECT ABBREVIATION: PH  
ORIGINAL ISSUE: SPAR APPLICATION  
DATE: 08 SEPTEMBER 2023

**SPAR-3.11**  
SHEET NUMBER

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USER NAME: 9/8/2023 5:13:44 PM  
DATE STAMP:

**1 REFLECTED CEILING PLAN - LEVEL 01**  
SCALE: 1/8" = 1'-0"



EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERIALS SEE MATERIALS BOARD.  
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER DESCRIPTION

WINDOW TYPE LEYEND

TYPE 01: FIXED WINDOWS  
TYPE 02: STOREFRONT  
TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT.  
TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT.  
TYPE 05: FULL HEIGHT ONE SLIDING PANEL.  
TYPE 06: SLIDING OPERABLE WALL.  
\*ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.  
2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.  
3. CLADDING - PORCELANOSA - MAKER ROPE.  
4. CLADDING - PORCELANOSA - MAKER SMOKE.  
5. GLASS - CLEAR.  
6. CUSTOM CUT METAL PANEL - BRONZE.  
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.  
8. METAL - DARK BRONZE.  
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.  
10. BOARD FORMED CONCRETE COLUMNS.  
11. RAILING - STRUCTURAL GLASS.  
12. DA - LIGHTING FIXTURE SCENCE - BLUE RENZO  
13. DB - LIGHTING FIXTURE OUTDOOR SCENCE.  
14. CLADDING - ALUMINUM WOODGRAN.



2 ELEVATION - WEST SCALE: 1/8" = 1'-0"



1 ELEVATION - MAIN ENTRY - NORTH SCALE: 1/8" = 1'-0"

1 CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY  
LOCATION: LEVEL 1 EXTERIOR FINISH

2 CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE  
LOCATION: LEVEL 1 EXTERIOR FINISH - BELOW STOREFRONT

3 CLADDING - PORCELANOSA MAKER ROPE  
LOCATION: GENERAL MASS EXTERIOR FINISH

4 CLADDING - PORCELANOSA MAKER SMOKE  
LOCATION: TOP MASS (LEVEL 05) EXTERIOR FINISH

6 CUSTOM CUT METAL PANEL - BRONZE  
LOCATION: PANEL NEXT TO TYP. WINDOWS AND BALCONY DIVIDERS

7 CLADDING - PORCELANOSA MANHATTAN COGNAC  
LOCATION: BALCONY SOFFIT

8 METAL - DARK BRONZE FRAMES  
LOCATION: ALL METAL FRAMES

9 STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE  
LOCATION: SOUTH ELEVATION

10 BOARD FORMED CONCRETE COLUMNS  
LOCATION: LEVEL 01 EXPOSED COLUMNS

11 RAILING - STRUCTURAL GLASS  
LOCATION: ALL RAILINGS

13 - DB OUTDOOR SCENCE  
LOCATION: LEVELS 0 GUESTROOM BALCONIES

12 - DA OUTDOOR SCENCE  
LOCATION: LEVEL 1 RESTAURANT

14 CLADDING - ALUMINUM WOODGRAN KNOTWOOD DRIFTWOOD  
LOCATION: EXTERIOR ROOFTOP WALL FINISH

15 METAL  
LOCATION: FRONT CORNER OF BLDG.



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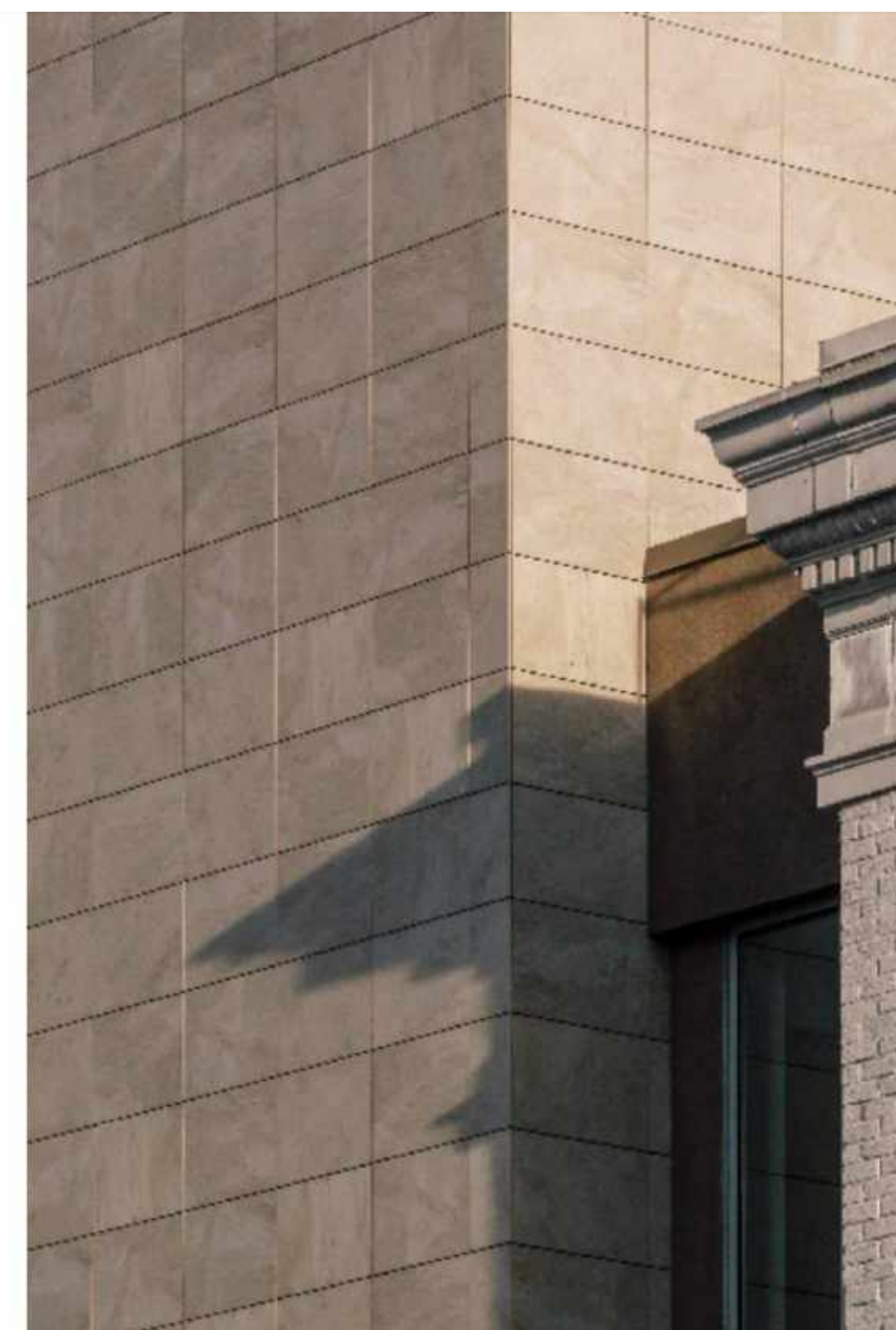
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FLUTED COLORED CONCRETE TILE



ARTINSINAL CERAMIC TILE



PORCELAIN FACADE SYSTEM



LASER CUT METAL PANELS



**EKN Petaluma LLC**  
**EKN APPELLATION HOTEL**  
 2 Petaluma Blvd South  
 Petaluma, California

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ARCHITECTURAL - HOTEL ENTRY

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621010	PH
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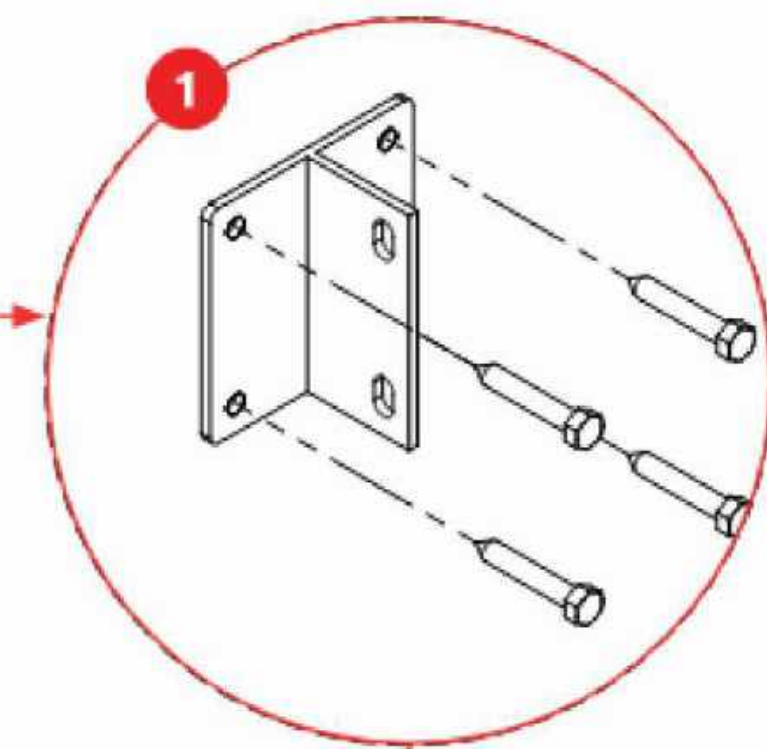
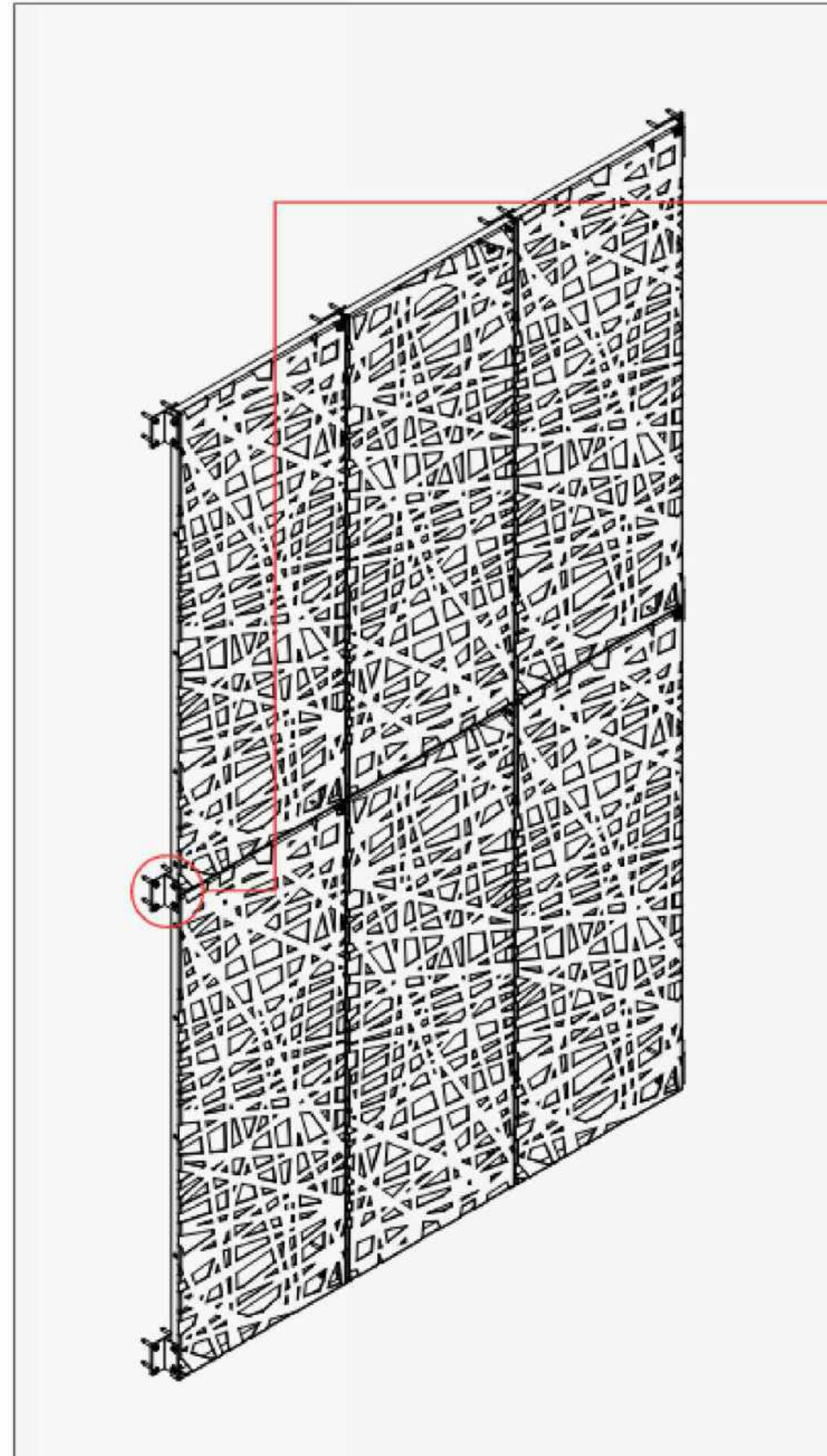
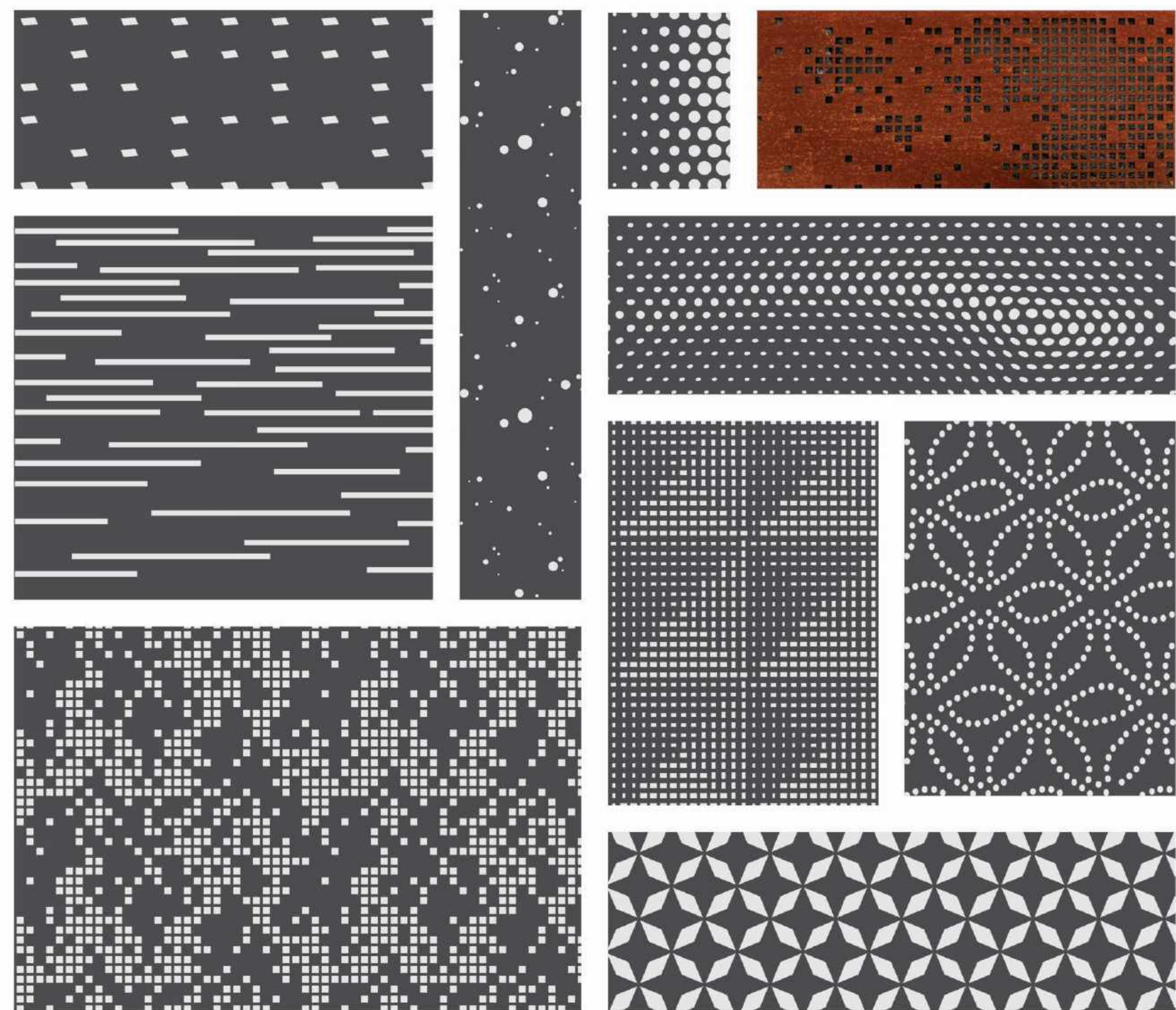
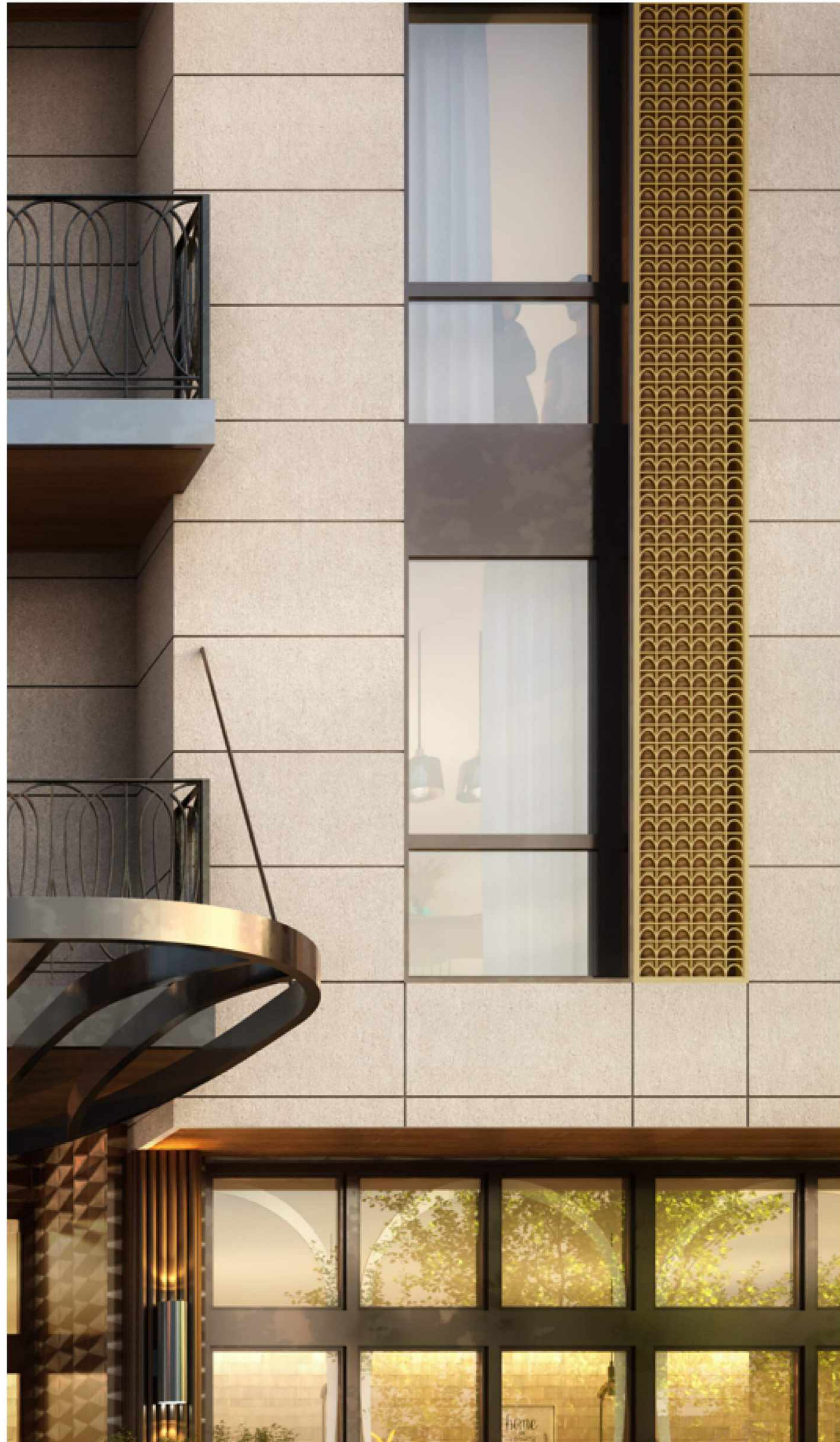
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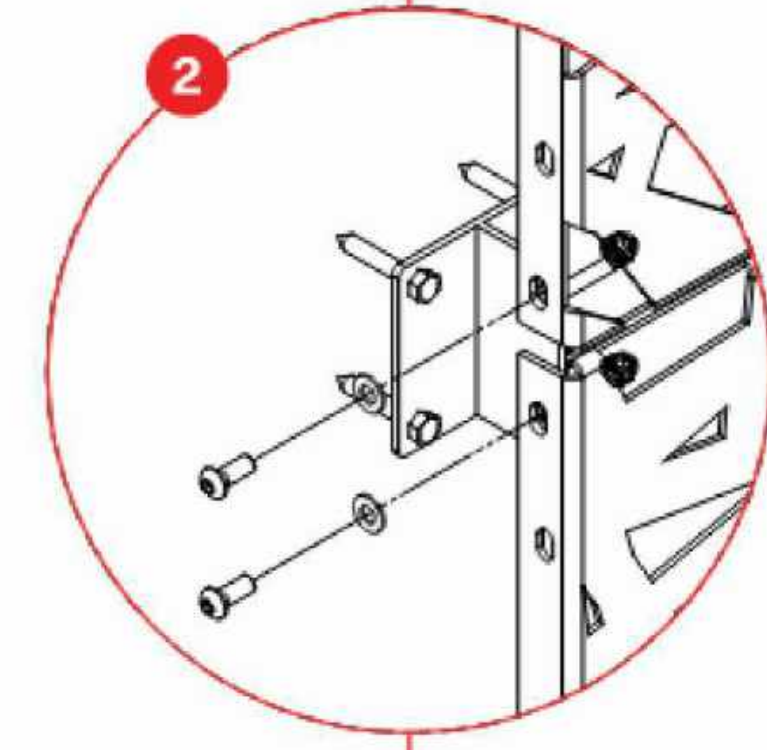
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DETAILS

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

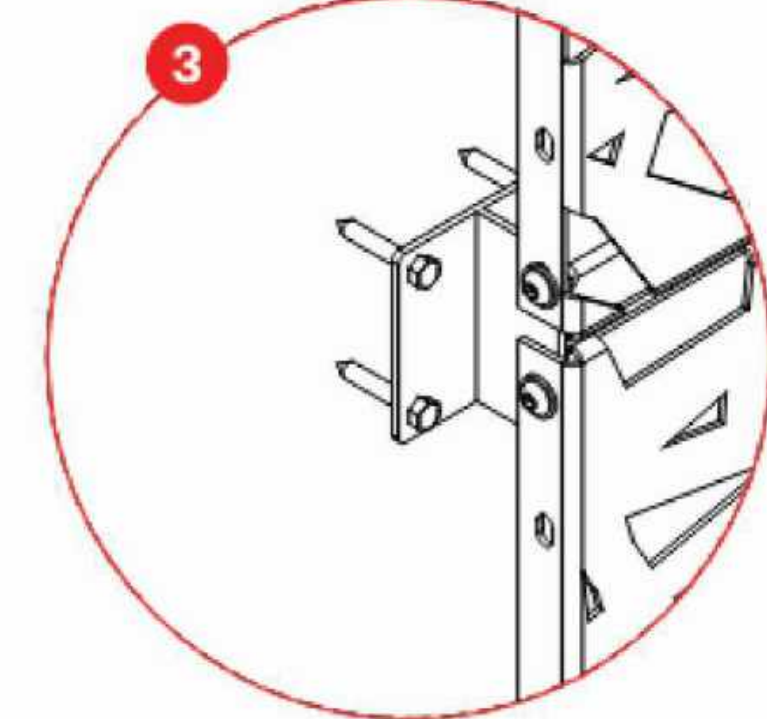
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STEP 1  
Bracket on to structure



STEP 2  
Panel to panel connection



STEP 3  
Finished condition



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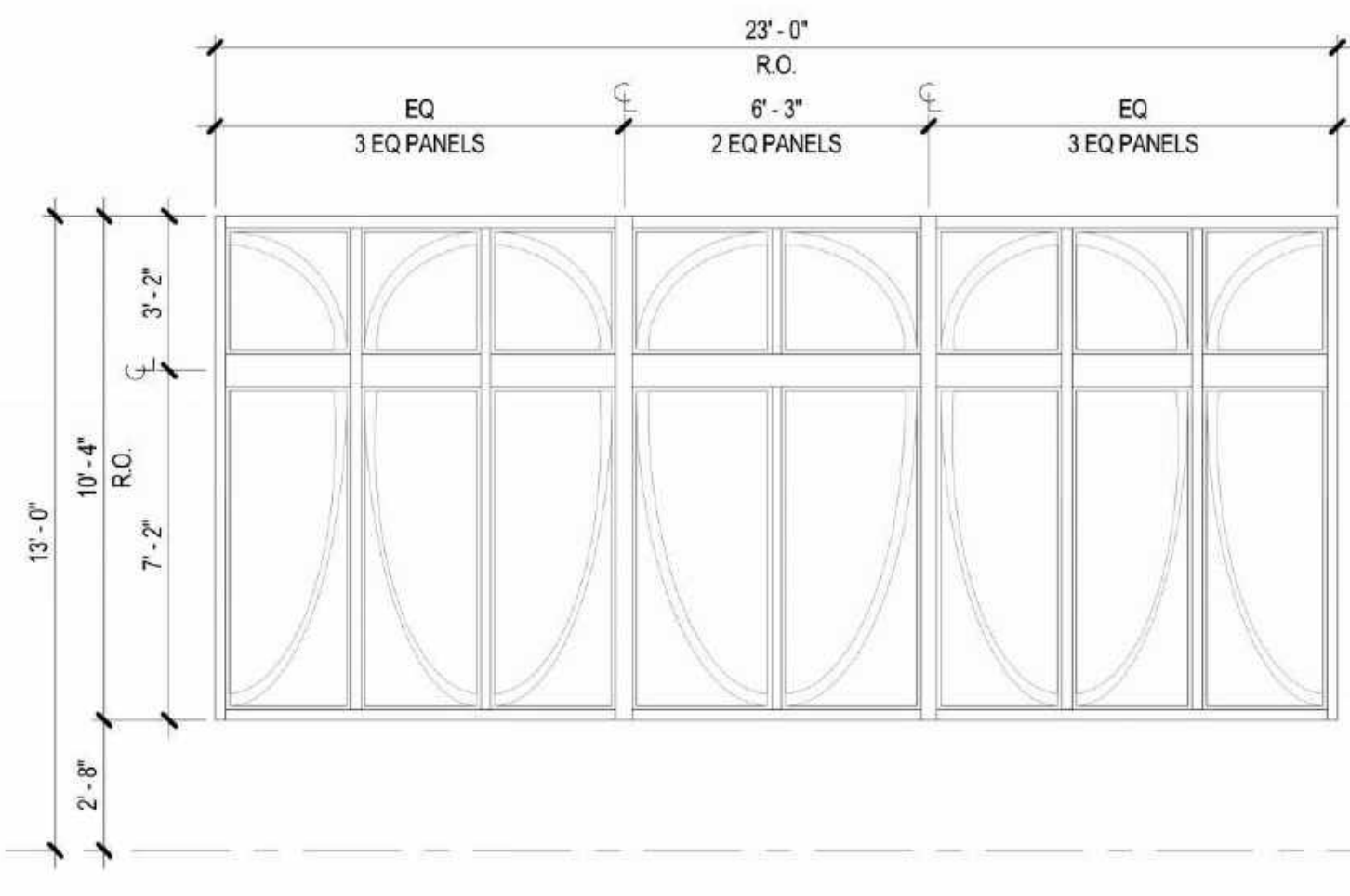
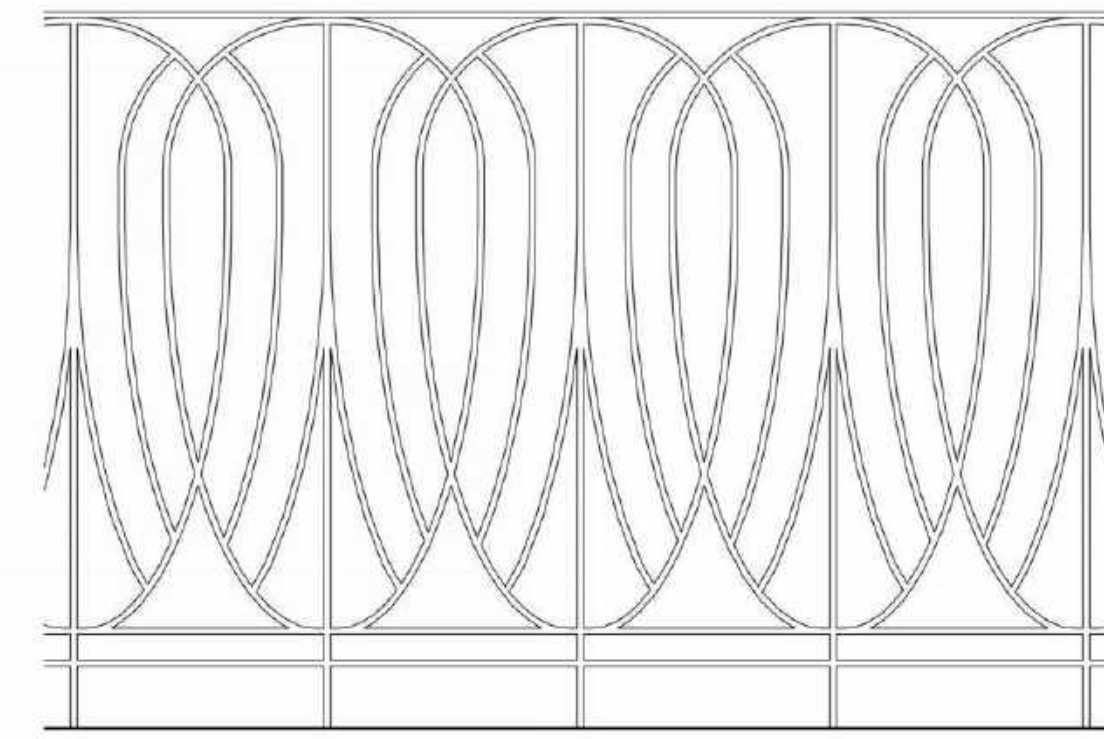
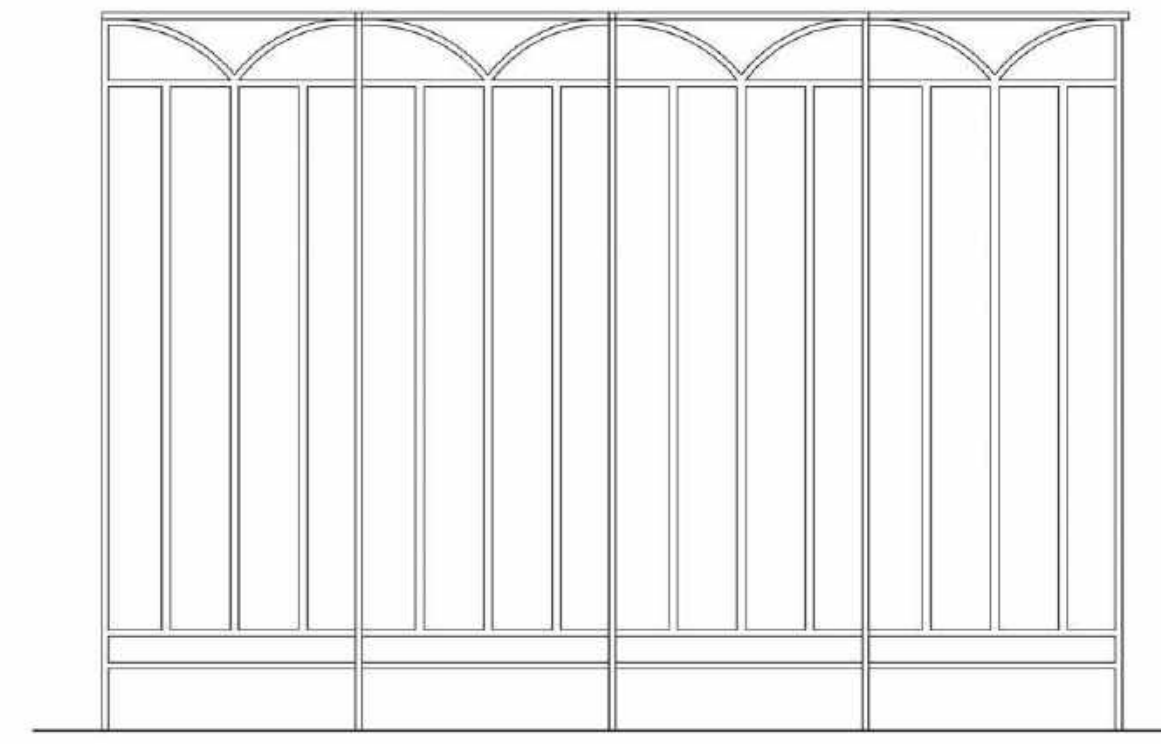
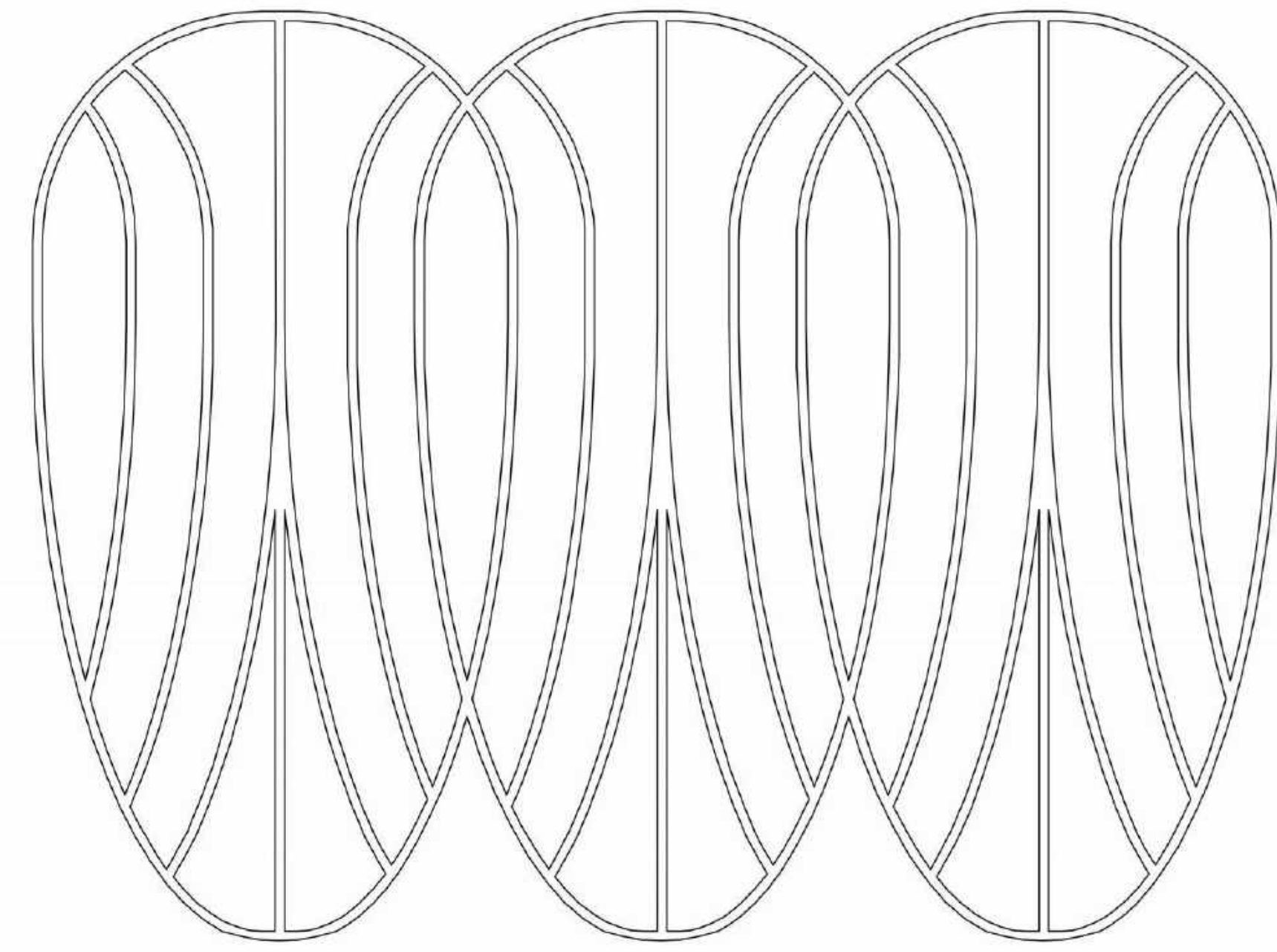
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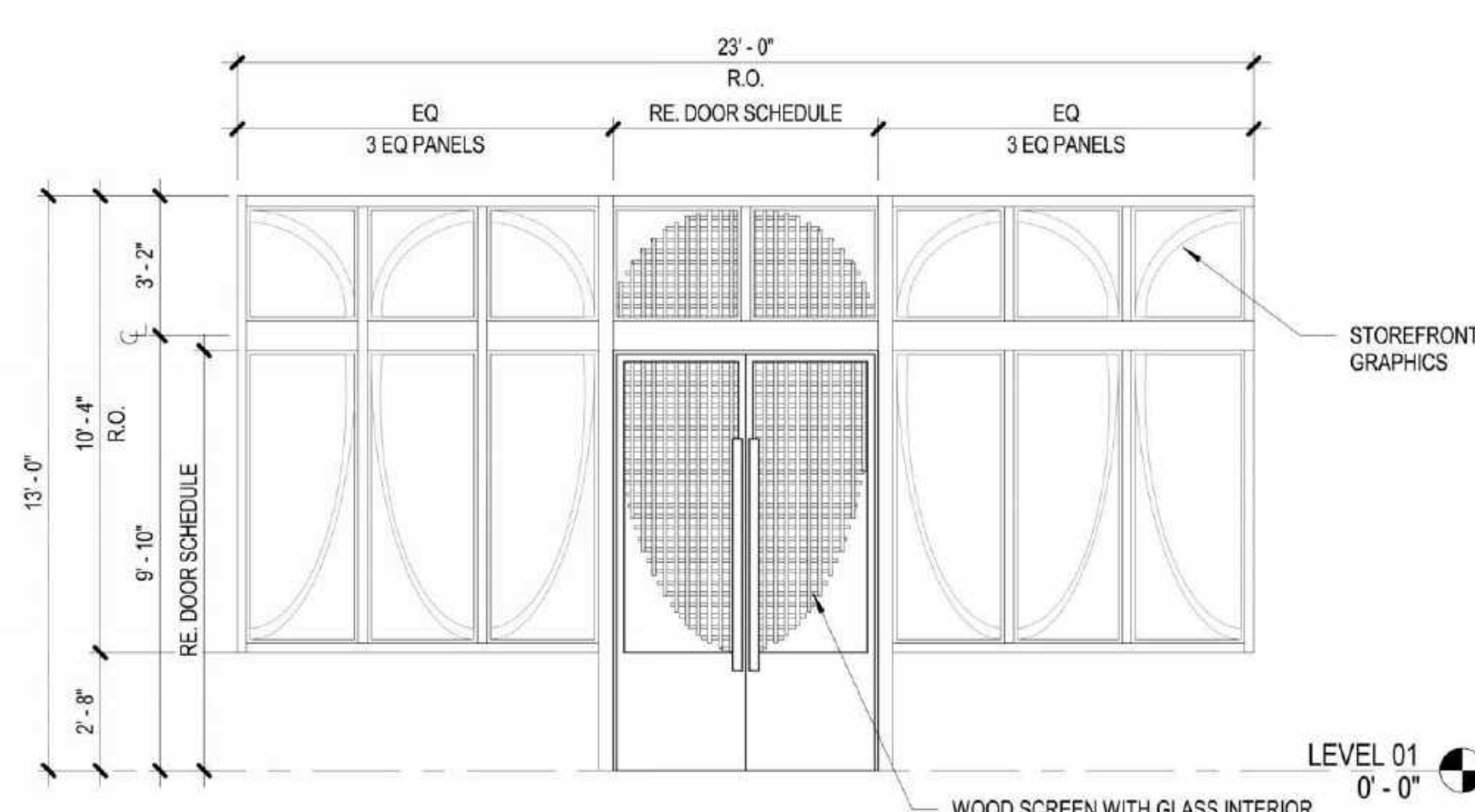
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**6 EXTERIOR GLAZING ELEVATION - TYPE 06**  
SCALE: 1/4" = 1'-0"



**5 TYPE 05**  
SCALE: 1/4" = 1'-0"



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## EKN Petaluma LLC EKN APPELLATION HOTEL 2 Petaluma Blvd South Petaluma, California

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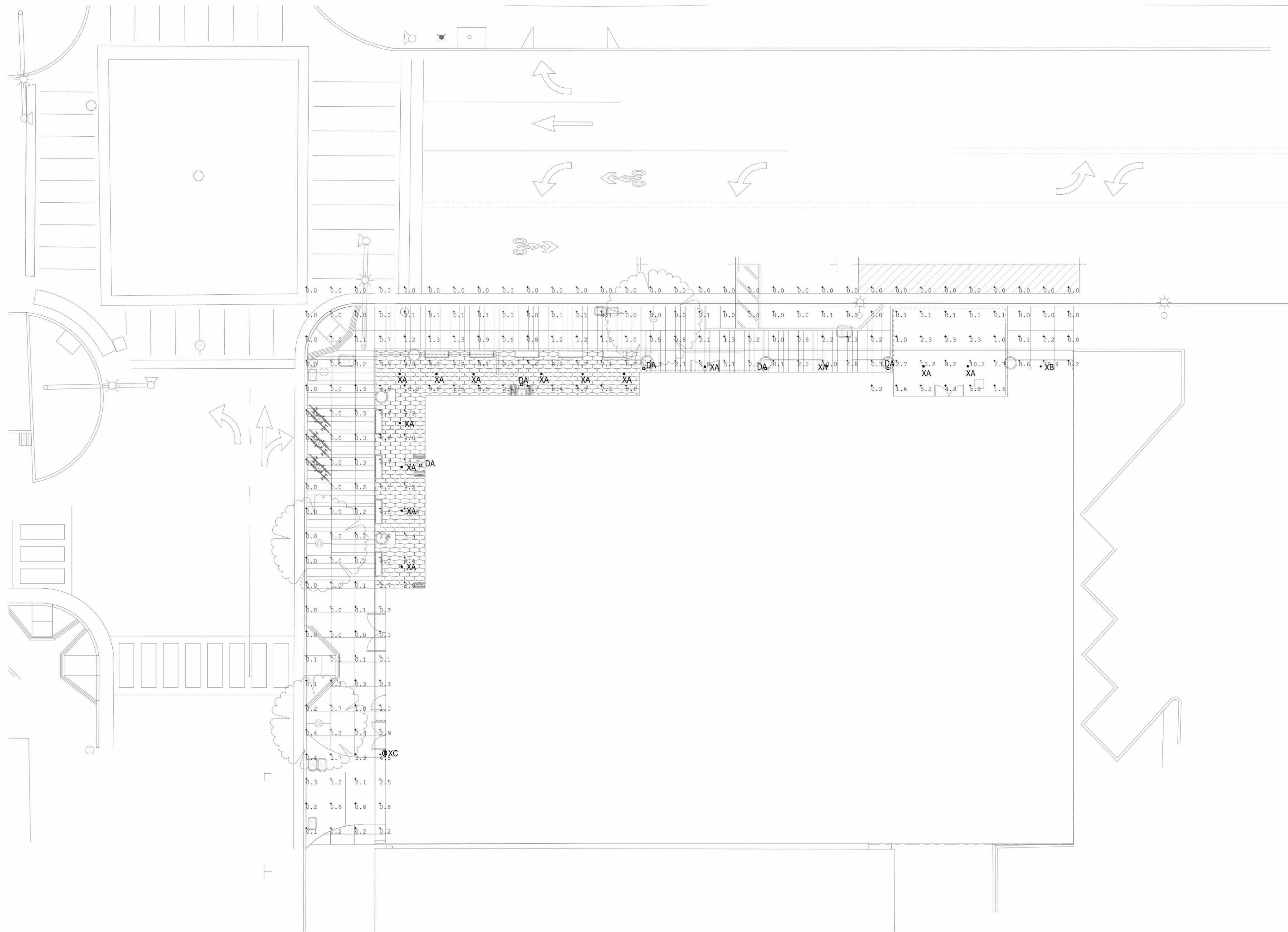
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Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Level 1 Site Photometrics	Illuminance	Fc	1.99	32.9	0.0	N.A.	N.A.	

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
☐	14	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	126
⊕	1	CLMDBSPLO30 101 1xLED-LBD20B0	Single	CLMDBSPLO30 101 1xLED-LBD20B00		0.850	616	9	9
☐	1	WDGE2_LED_P1_27K_90CRI_VW	Single	WDGE2_LED_P1_27K_90CRI_VW		0.850	1012	9.81	9.81

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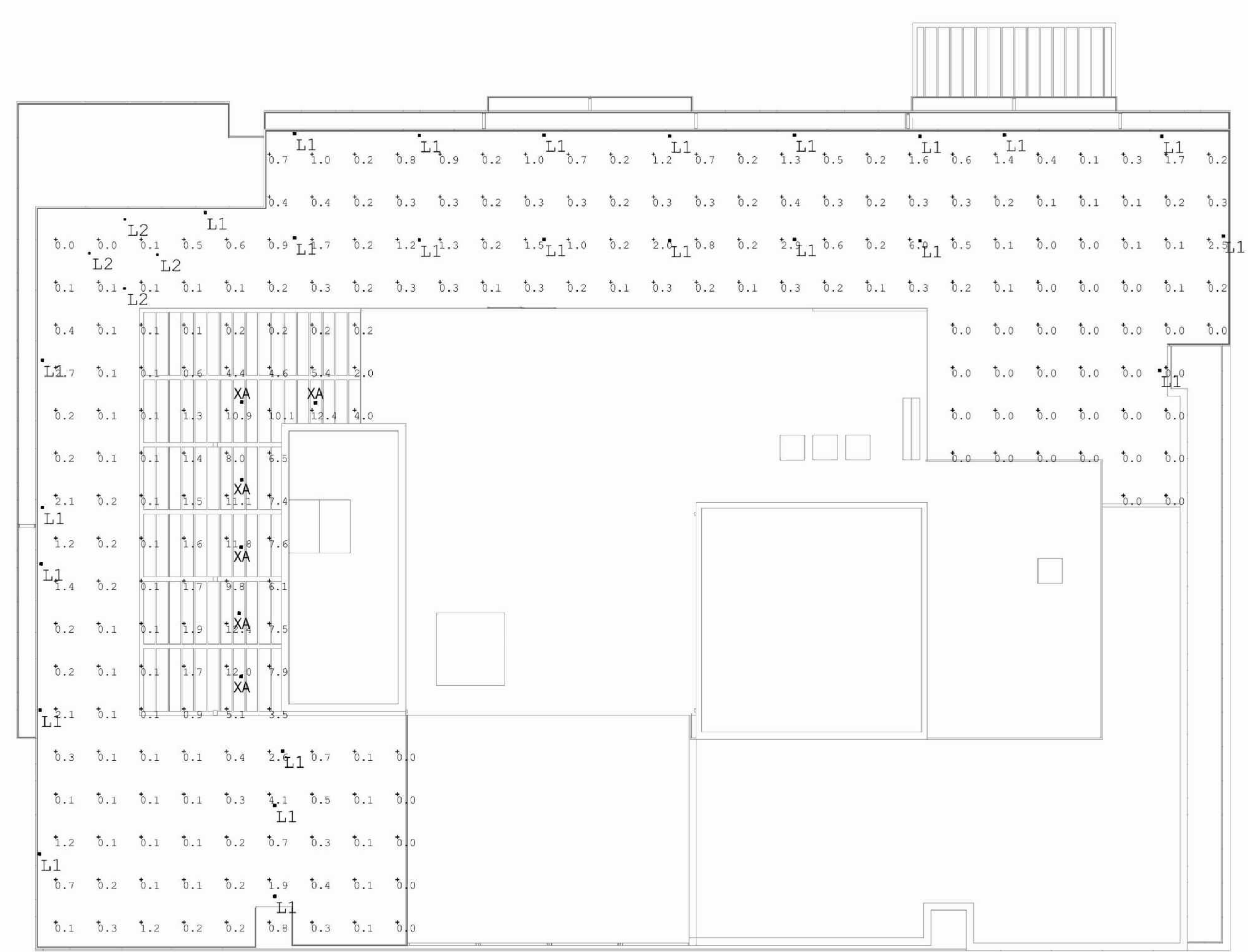
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92037 92034  
858 454 6909 949 369 1161



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
rooftop area	illumiance	Fc	1.12	12.4	0.0	N.A.	N.A.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	
L1	26	7380	Single	CRT2003060919-002, Model 7380	L1	0.850	630	13.3	345.8	
L2	4	2134x212	Single	213 4x 212		0.850	144	5	20	
XA	6	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	54	

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