

TPC ROVINA LANE PETALUMA, CALIFORNIA PLANNING RESUBMITTAL 1 DECEMBER 18, 2023

PROJECT DIRECTORY

CLIENT
PACIFIC WEST COMMUNITIES, INC. DON SLATTERY
430 EAST STATE ST., SUITE 100 PH: (208) 461-0022
EAGLE, IDAHO 83616 LAUREN ALEXANDER
PH: (650) 465-8782

ARCHITECTURE
SDG ARCHITECTS, INC. LANCE CRANNELL, AIA
3361 WALNUT BLVD., SUITE 120 PH: (925) 634-7000
BRENTWOOD, CA 94513 lcrannell@sdgarchitectsinc.com

CIVIL
ATLAS CIVIL DESIGN A.J. WHITAKER, PE, PLS
871 HIGUERA ST. PH: (760) 718-8010
SAN LUIS OBISPO, CA 93401

LANDSCAPE
IDLA, INC. THOMAS H. PHELPS
P.O. BOX 170129 PH: (208) 906-1300
BOISE, ID 83717

PROJECT DATA SUMMARY

ADDRESS: 2 ROVINA LANE
PETALUMA, CA 94952

APN: 019-210-009
ZONING: R-4

PROPOSED DEVELOPMENT

TYPE OF CONSTRUCTION : TYPE VB
OCCUPANCY CLASSIFICATION: R-2
PROPOSED USE: RESIDENTIAL
PARKING SUMMARY : SEE SITE PLAN
BUILDING HEIGHT : SEE ELEVATIONS
SPRINKLERS : YES

SHEET INDEX

ARCHITECTURAL

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PHOTOMETRIC

1 of 1 PHOTOMETRIC PLAN

CIVIL

1 of 4 TITLE SHEET - EXISTING CONDITIONS
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LANDSCAPE

L1 LANDSCAPE PLAN
COLORED VERSION (PRESENTATION)
BLACK & WHITE VERSION (SYMBOL CLARITY)
L2 LANDSCAPE PLAN



AERIAL CONTEXT MAP



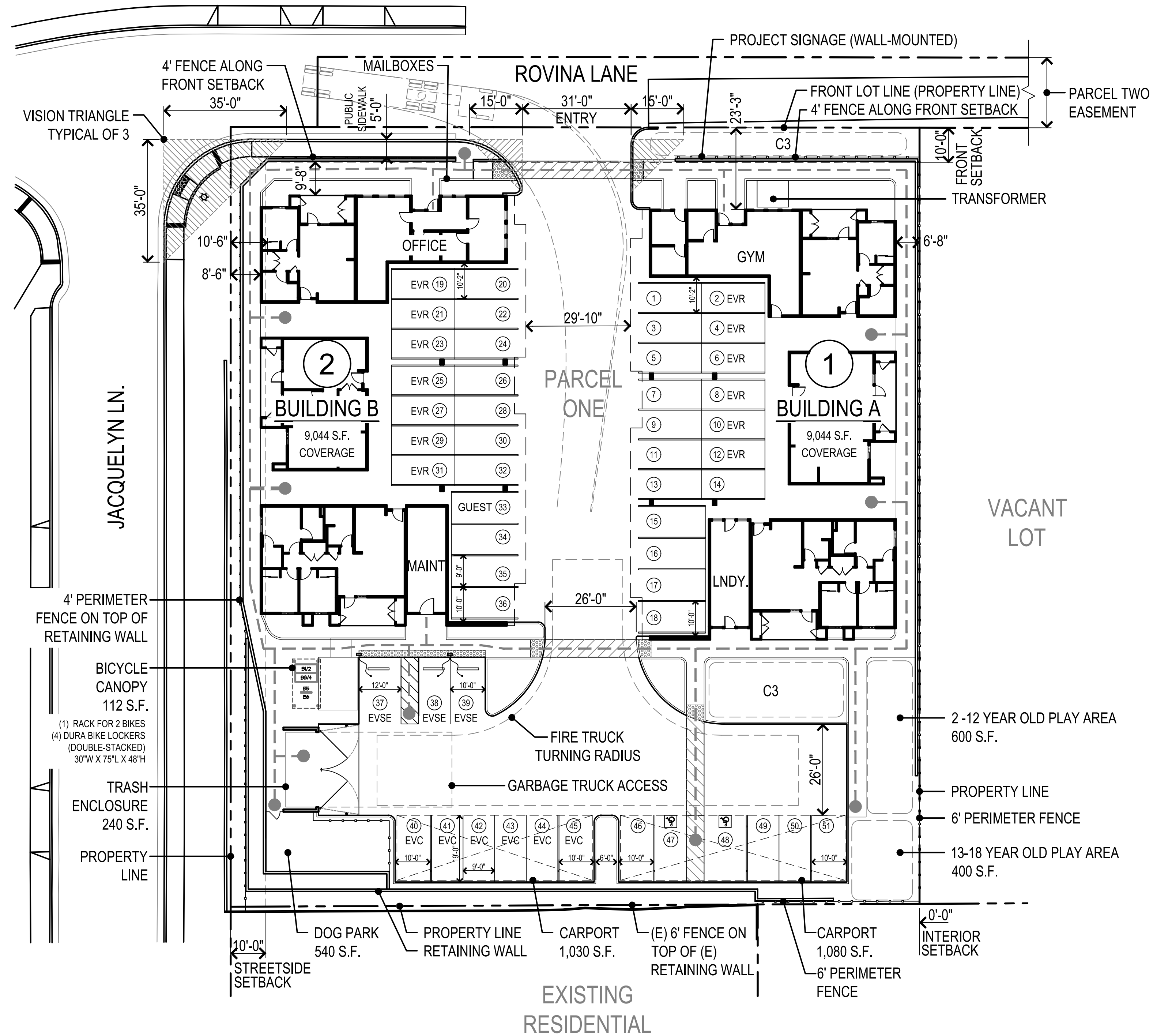
COMMERCIAL FACILITY:
PETALUMA PEOPLE SERVICE CENTER

MULTI-FAMILY
RESIDENTIAL TOWNHOMES

VACANT LOT

2 ROVINA LANE
PETALUMA, CA 94952

SINGLE-FAMILY
DETACHED RESIDENTIAL



PROJECT DATA		
Jurisdiction	Petaluma, CA	
Zoning	R4	
Gross Land Area (Including Easements and Dedications)	43,460 S.F.	1.00 ACRES
Total Units Proposed	34	
Density Proposed (DU/AC.)	34.08	

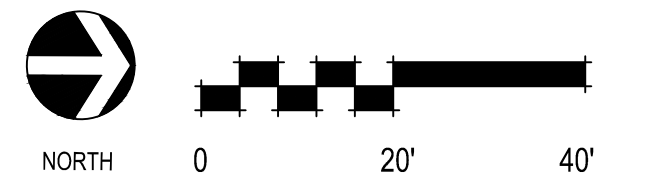
PARKING SUMMARY			
Required - 1 space per bedroom	60		
Proposed			
Uncovered Stalls (9'-0" x 19'-0")	3		
Covered Standard Stalls (9'-0" x 19'-0")	20		
Covered Tandem Stalls (8'-6" x 36'-0")	14	2	28
Covered Accessible Stalls (CBC 1109A.3)	2%	0.96	2
Total Proposed	51		
Minimum Required - 1.5 space per unit	1.5	34	51

ELECTRIC VEHICLE SPACES		
EV Parking (Calgreen 4.106.4.2.2)	Required	Provided
EV Capable (EVC)	10%	6
EV Ready (EVR)	25%	13
EVCS (Level 2)	5%	3
Total EV Parking Proposed	40%	22

SITE COVERAGE		
Building A Footprint (Includes Tandem Parking)	8,996 S.F.	
Building B Footprint (Includes Tandem Parking)	8,996 S.F.	
Trash Enclosure (T/E)	240 S.F.	
Carports	2,110 S.F.	
Bicycle Canopy	112 S.F.	
Total Proposed	47%	20,454 S.F.
Total Allowed (R4)	60%	26,076 S.F.

NOTE: LANDSCAPE AS SHOWN IS CONCEPTUAL FOR REFERENCE ONLY. SEE LANDSCAPE PLAN BY OTHERS FOR MORE INFORMATION.

LEGEND	
---	PROPERTY LINE
●---	ACCESSIBLE PATH OF TRAVEL



BUILDING SUMMARY				
BUILDING TYPE	UNIT TYPE	UNIT	NUMBER OF UNITS	UNIT %
BLDG A 3 STORY 17 UNITS	1 BED	1	7	41%
	2 BED	2	5	29%
	3 BED	3	5	29%
	TOTALS		17	100%
BLDG B 3 STORY 17 UNITS	1 BED	1	7	41%
	2 BED	2	5	29%
	3 BED	3	5	29%
	TOTALS		17	100%

PROJECT SUMMARY UNIT MIX			
1 BED	694 S.F.	14	41.18%
2 BED	934 S.F.	10	29.41%
3 BED	1,223 S.F.	10	29.41%
TOTAL UNITS		34	100%

RENTABLE UNIT MIX TOTAL			
1 BED	694 S.F.	14	42.42%
2 BED	934 S.F.	9	27.27%
3 BED	1,223 S.F.	10	30.30%
TOTAL RENTAL UNITS		33	100%

MANAGERS UNIT			
2 BED	934	1	3%
TOTAL MANAGER UNITS		1	3%

BEDROOMS		
	No. of Units	Bedrooms
1 Bedroom	14	14
2 Bedroom	10	20
3 Bedroom	10	30
Total	34	64

UNIT ACCESSIBILITY		
Total Units		34
Required	15%	5
Provided*		6

*All ground floor units are accessible. No additional adaptable or accessible units required.

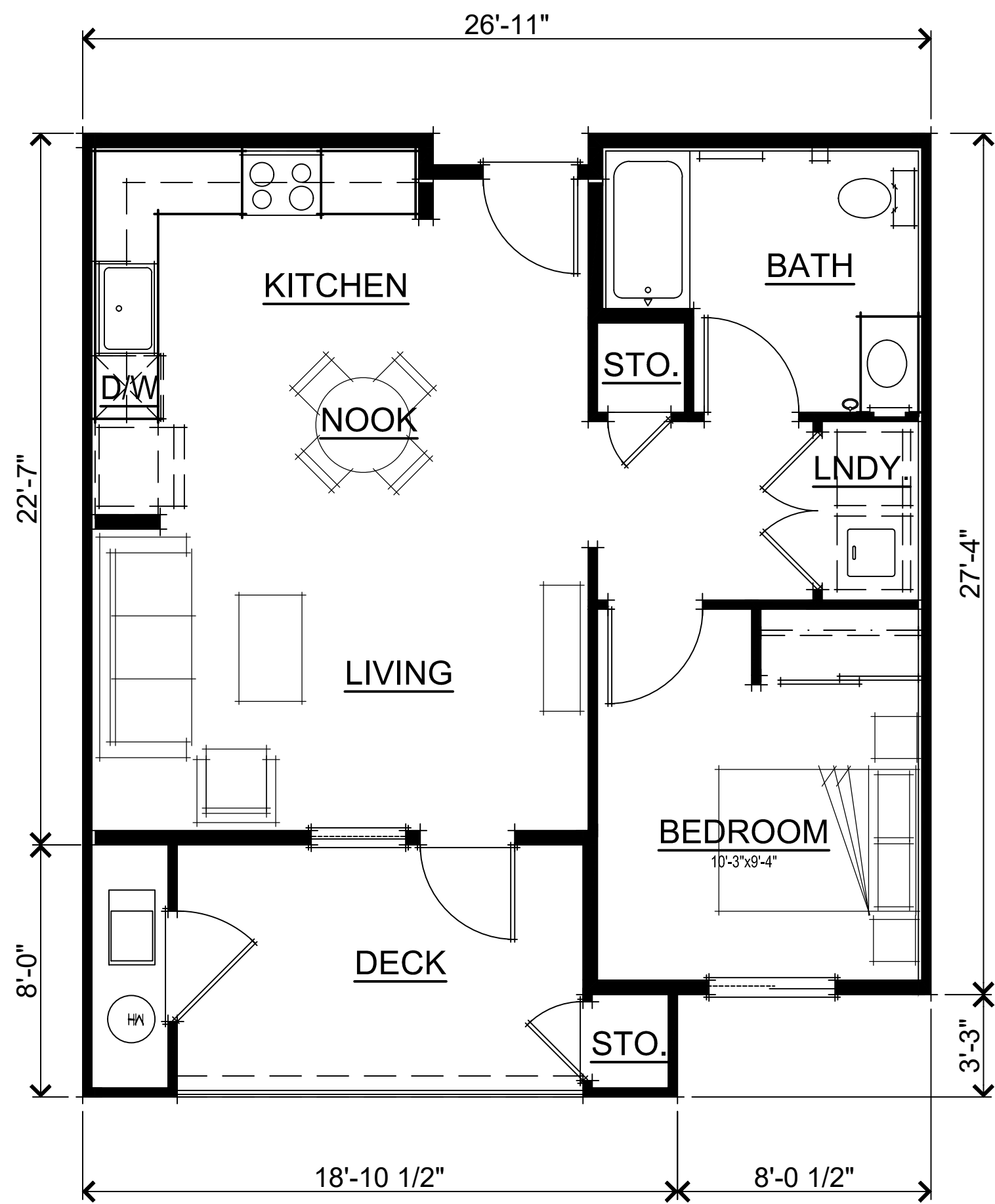
OPEN SPACE	
Required Open Space Per Unit (IZO Table 4.9)	300 S.F.
Usable Open Space	
Porches & Decks	3,882 S.F.
Dog Park	540 S.F.
2-12 Year Old Play Area	600 S.F.
13-18 Year Old Play Area	400 S.F.
Total Usable Open Space Per Unit Provided	5,422 S.F.
Open Space Per Unit	159 S.F.

SETBACKS AND HEIGHTS	
Zoning Setbacks	R4
FRONT	10'-0"
SIDE - INTERIOR	0'-0"
SIDE - STREET	10'-0"
REAR	10'-0"
Building Height Limit	35'-0"

LOT COVERAGE				
BUILDING FOOTPRINT PROPOSED				
	BLDG A 3 STORY 17 Units	BLDG B 3 STORY 17 Units		Total
Footprint (sf)	8,996	8,996		
Count	1	1		2
Total	8,996	8,996		17,992
Lot Area				43,460 S.F.
Lot Coverage Proposed (Including Easements and Dedications)				41%

FLOOR AREA PROPOSED (Private Balcony area & Garages Excluded)					
	BLDG A 3 STORY 17 Units	BLDG A CIRCULATION	BLDG B 3 STORY 17 Units	BLDG B CIRCULATION	
Level 1	4,032	1,015	4,136	1,015	
Level 2	6,717	1,147	6,717	1,147	
Level 3	6,717	905	6,717	905	
Building Floor Area	17,466	3,067	17,570	3,067	
Total Gross Floor Area Proposed					41,170

PORCHES & DECKS				
	AREA	BLDG A	BLDG B	
UNIT 1	103 S.F.	721 S.F.	721 S.F.	
UNIT 2	118 S.F.	590 S.F.	590 S.F.	
UNIT 3	126 S.F.	630 S.F.	630 S.F.	
TOTAL		1,941 S.F.	1,941 S.F.	3,882 S.F.



FLOOR PLAN - UNIT 1

UNIT 1 SQUARE FOOTAGES	
LIVING AREA - GROSS	694 SQ. FT.
DECK	103 SQ. FT.
TOTAL	797 SQ. FT.



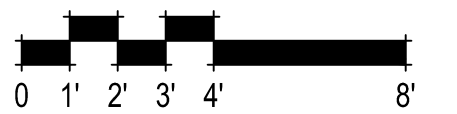
FLOOR PLAN - UNIT 2

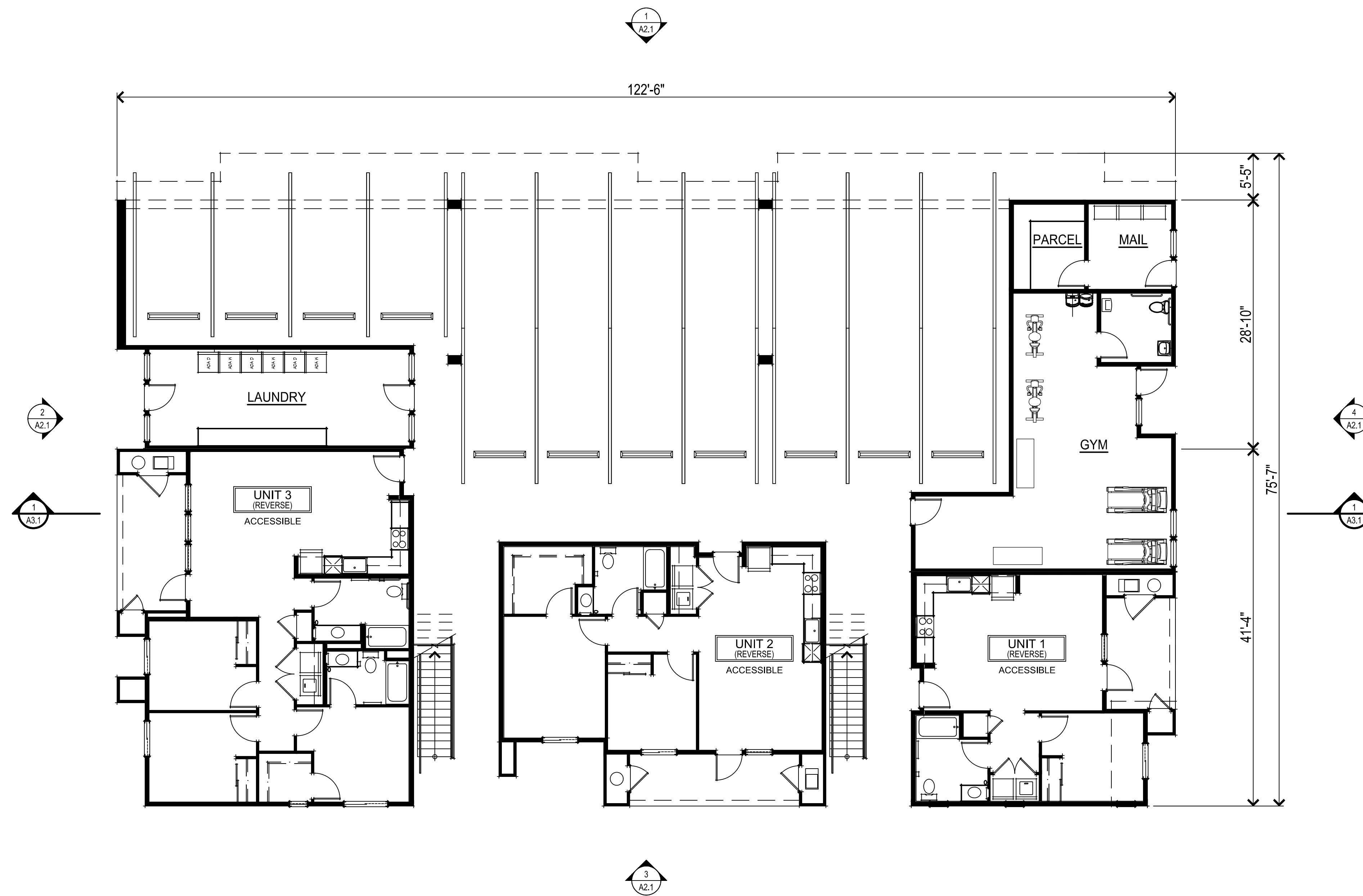
UNIT 2 SQUARE FOOTAGES	
LIVING AREA - GROSS	934 SQ. FT.
DECK	118 SQ. FT.
TOTAL	1052 SQ. FT.



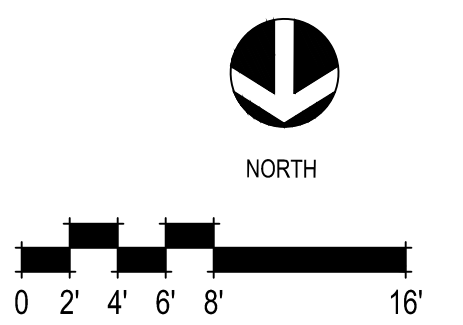
FLOOR PLAN - UNIT 3

UNIT 3 SQUARE FOOTAGES	
LIVING AREA - GROSS	1223 SQ. FT.
DECK	126 SQ. FT.
TOTAL	1349 SQ. FT.

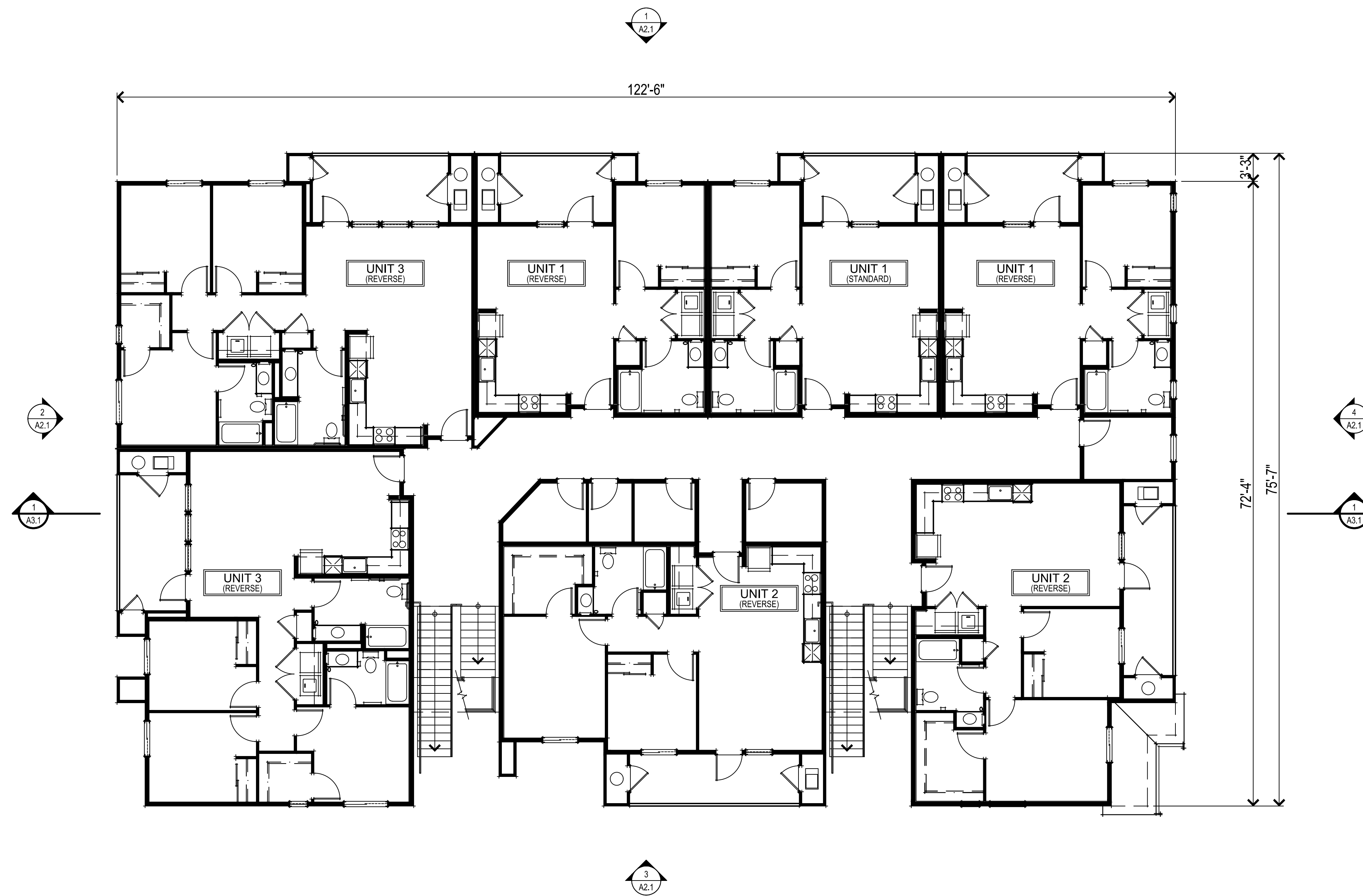




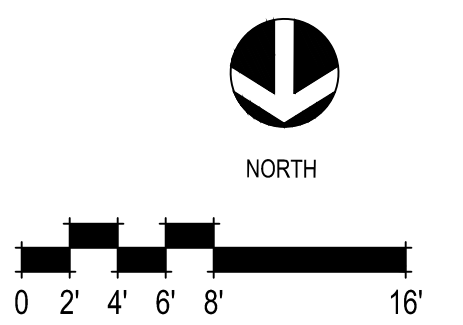
BUILDING TYPE A (17 UNIT BLDG) - FIRST FLOOR PLAN

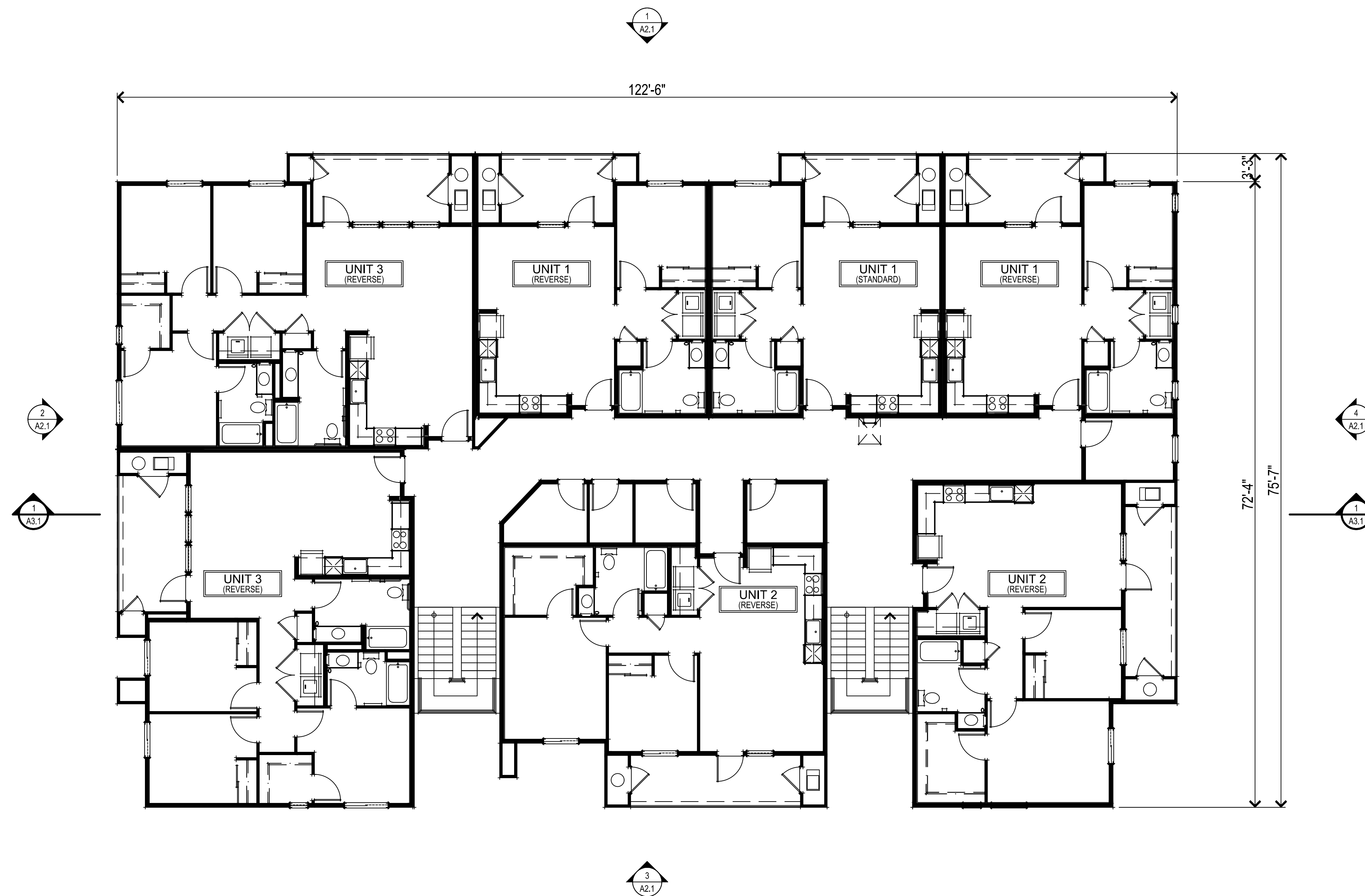


BUILDING A - FIRST FLOOR PLAN
A1.1

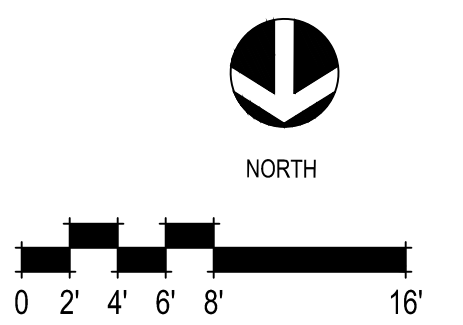


BUILDING TYPE A (17 UNIT BLDG) - SECOND FLOOR PLAN



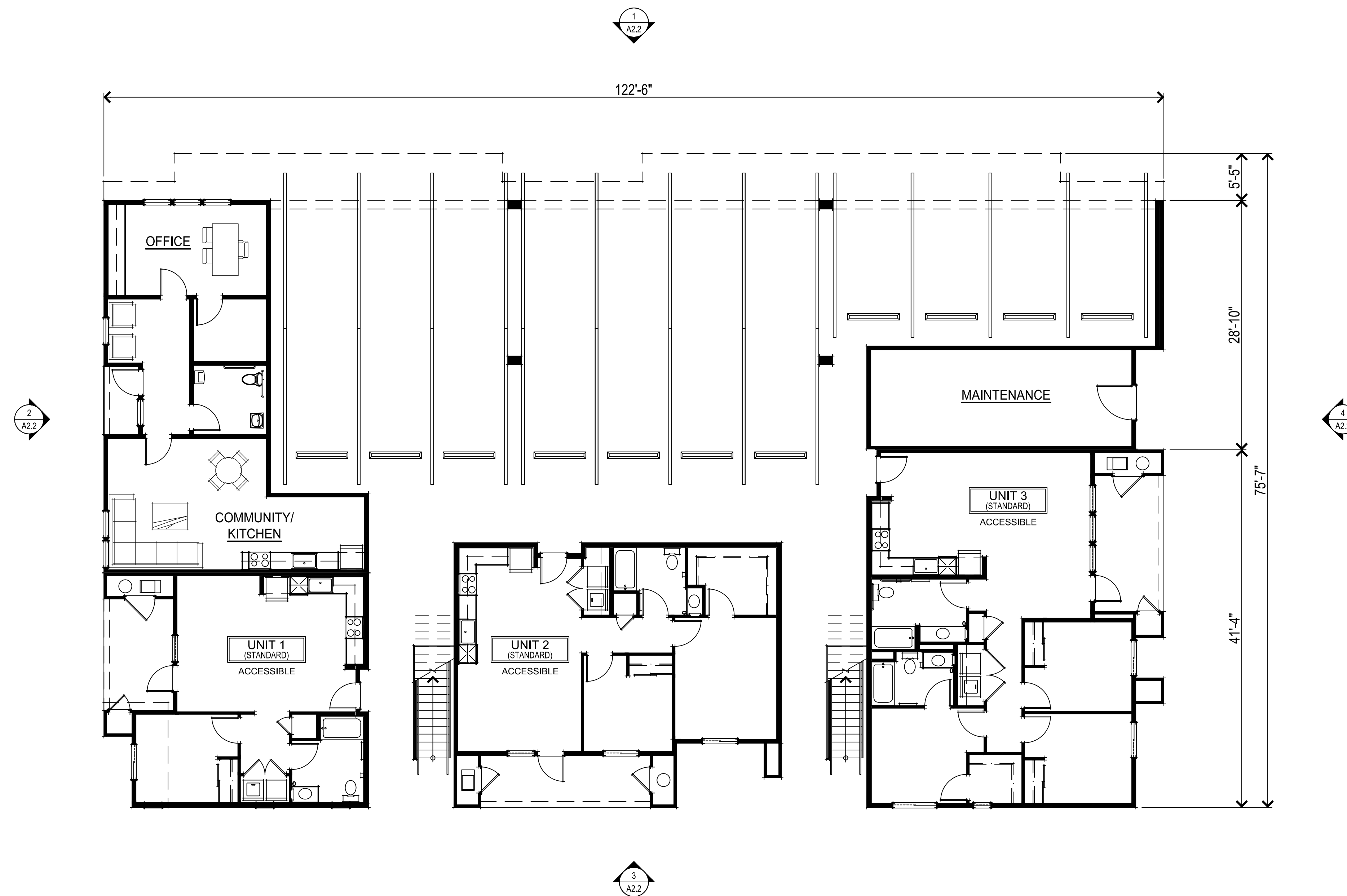


BUILDING TYPE A (17 UNIT BLDG) - THIRD FLOOR PLAN

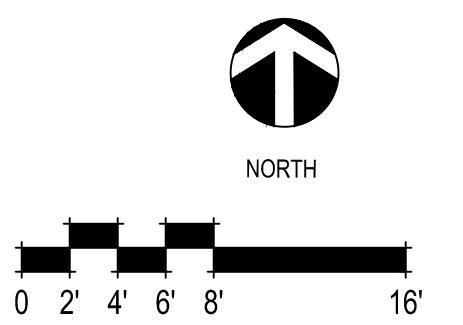


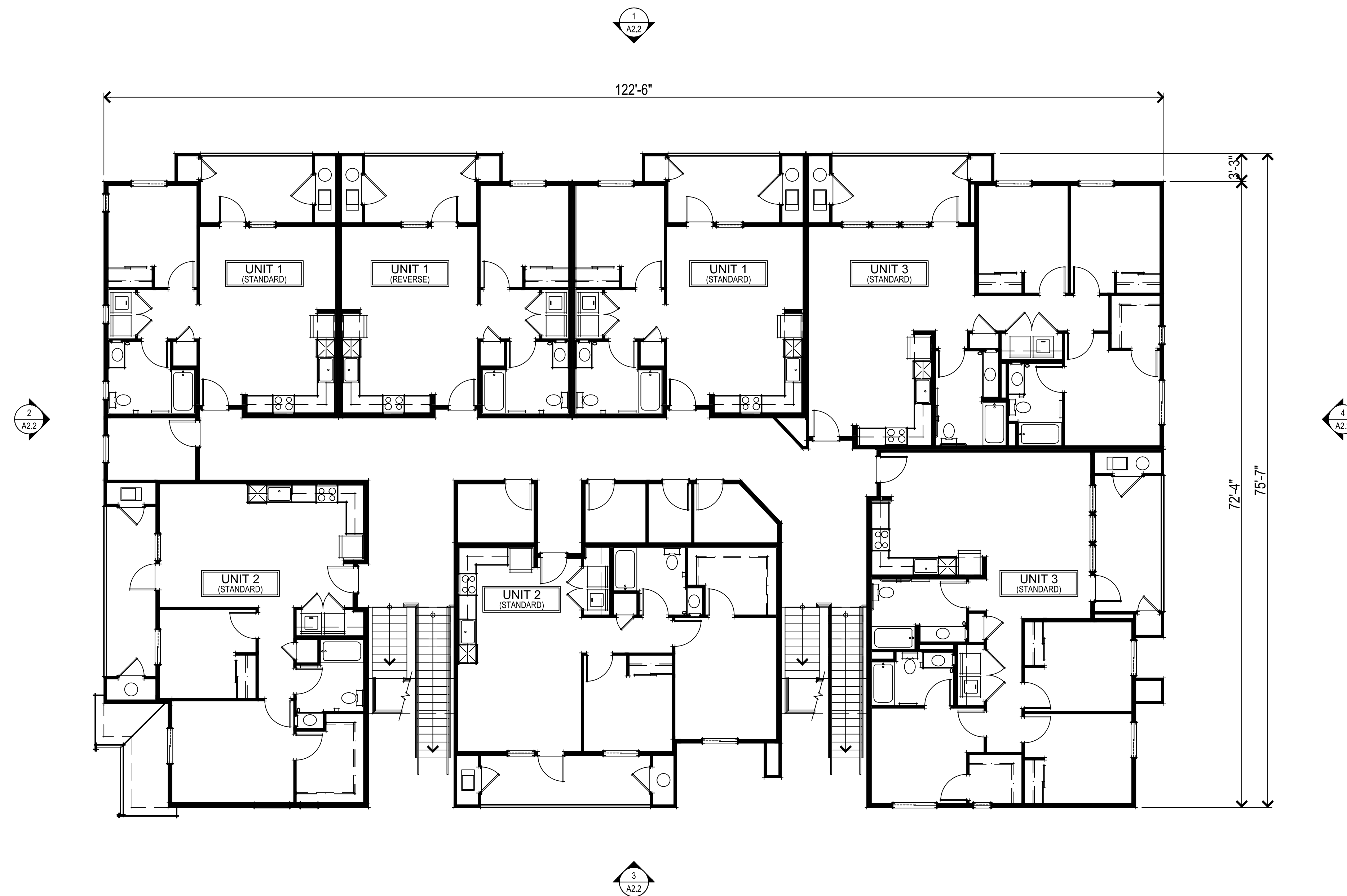
BUILDING A - THIRD FLOOR PLAN
A1.3



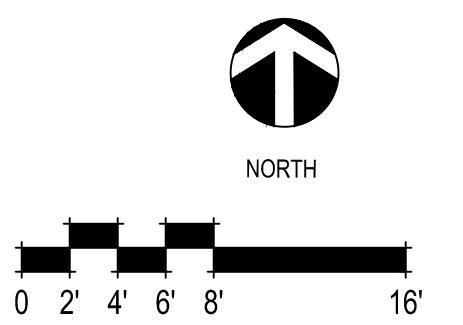


BUILDING TYPE B (17 UNIT BLDG) - FIRST FLOOR PLAN

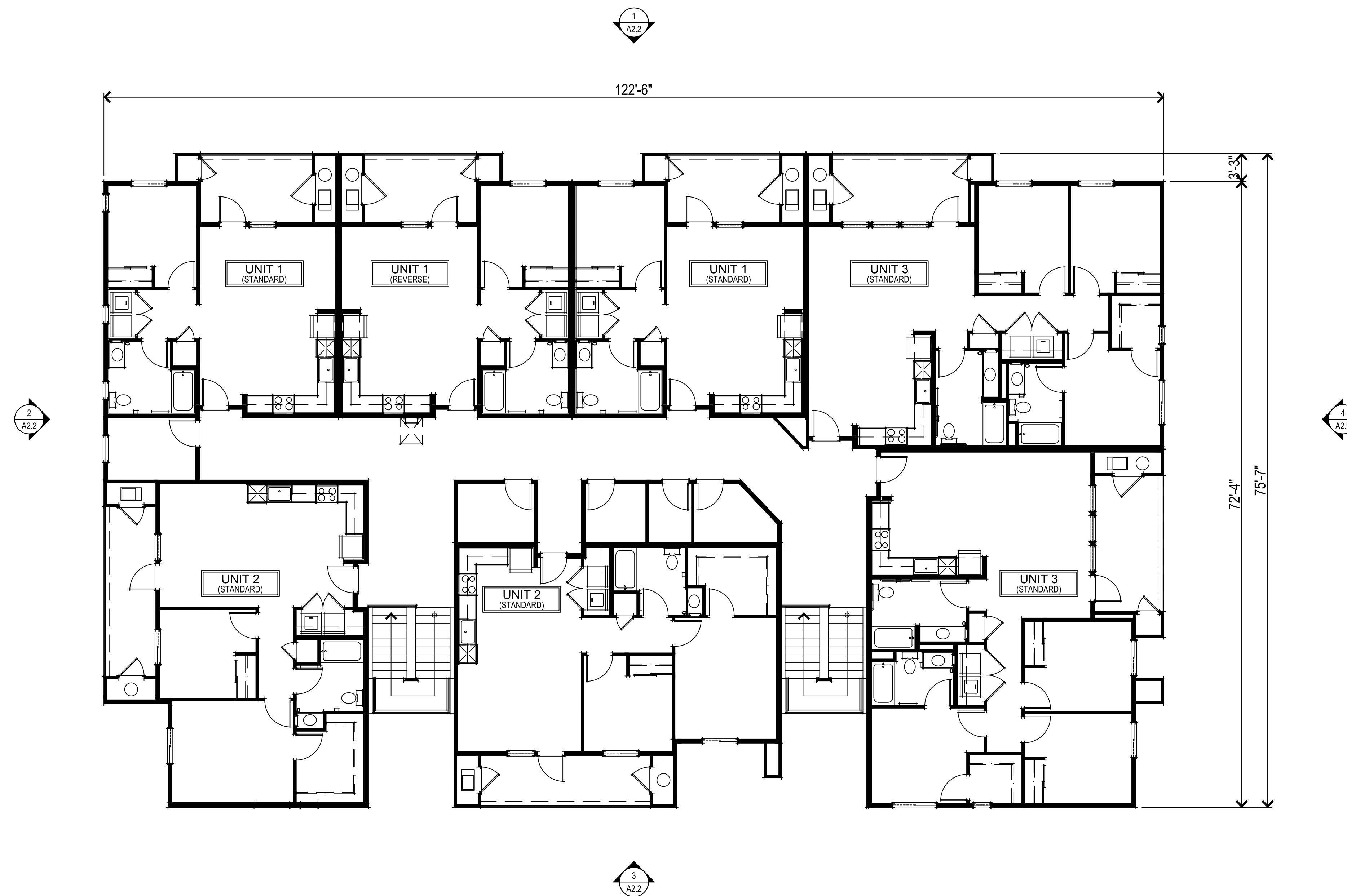




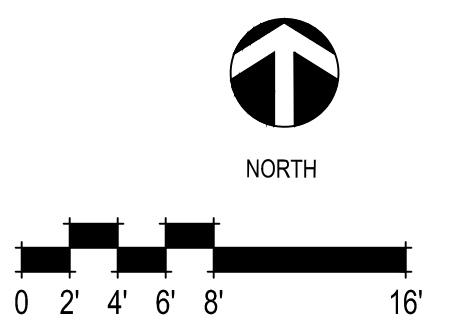
BUILDING TYPE B (17 UNIT BLDG) - SECOND FLOOR PLAN



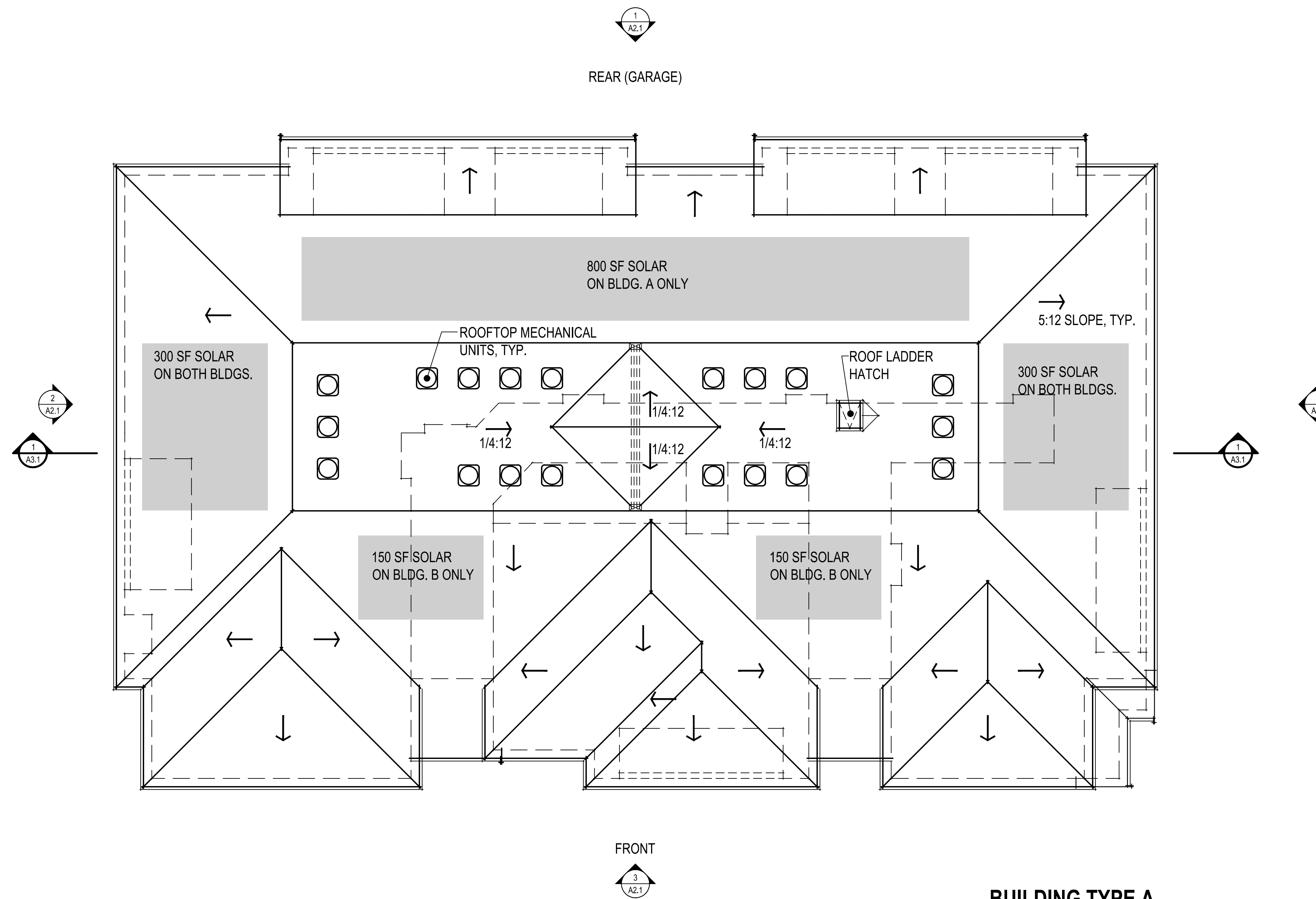
BUILDING B - SECOND FLOOR PLAN
A1.5



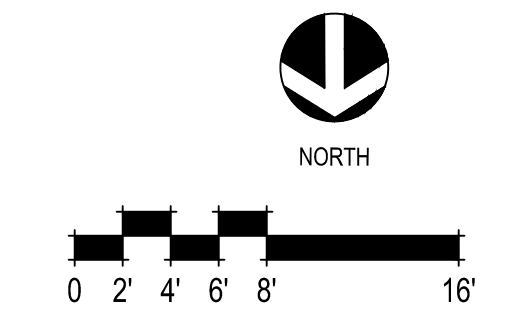
BUILDING TYPE B (17 UNIT BLDG) - THIRD FLOOR PLAN



BUILDING B - THIRD FLOOR PLAN
A1.6



BUILDING TYPE A
(BUILDING TYPE B MIRRORED)



EXTERIOR COLOR KEY NOTES

- H1** HORIZONTAL SIDING - FIBER CEMENT
COLOR: SHERWIN WILLIAMS - SW 6203 SPARE WHITE
 - V1** VERTICAL SIDING / RAILING - FIBER CEMENT BOARD & BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 0011 CREWEL TAN
 - F1** FASCIA / TRIM
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY
 - A1** ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY
 - R1** ROOFING - CERTAINTEED COMPOSITION SHINGLE
COLOR: WEATHERED WOOD
- ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES.
SEE SHEET A8.1 FOR EXTERIOR COLORS & MATERIALS.



① SOUTH ELEVATION



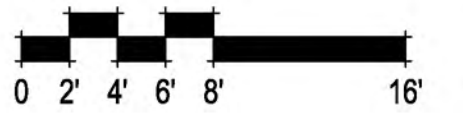
② WEST ELEVATION



③ NORTH ELEVATION



④ EAST ELEVATION



EXTERIOR COLOR KEY NOTES

- H1** HORIZONTAL SIDING - FIBER CEMENT
COLOR: SHERWIN WILLIAMS - SW 6203 SPARE WHITE
 - V1** VERTICAL SIDING / RAILING - FIBER CEMENT BOARD & BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 0011 CREWEL TAN
 - F1** FASCIA / TRIM
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY
 - A1** ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY
 - R1** ROOFING - CERTAINTEED COMPOSITION SHINGLE
COLOR: WEATHERED WOOD
- ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES. SEE SHEET A8.1 FOR EXTERIOR COLORS & MATERIALS.



① NORTH ELEVATION



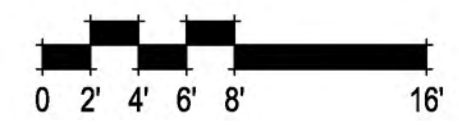
② WEST ELEVATION



③ SOUTH ELEVATION



④ EAST ELEVATION



TYPICAL ROOFTOP CONDENSER UNIT

GH5S
Single-Stage Heat Pump
with Puron® Refrigerant
1-1/2 To 5 Tons



Product Data



Industry leading Features / Benefits

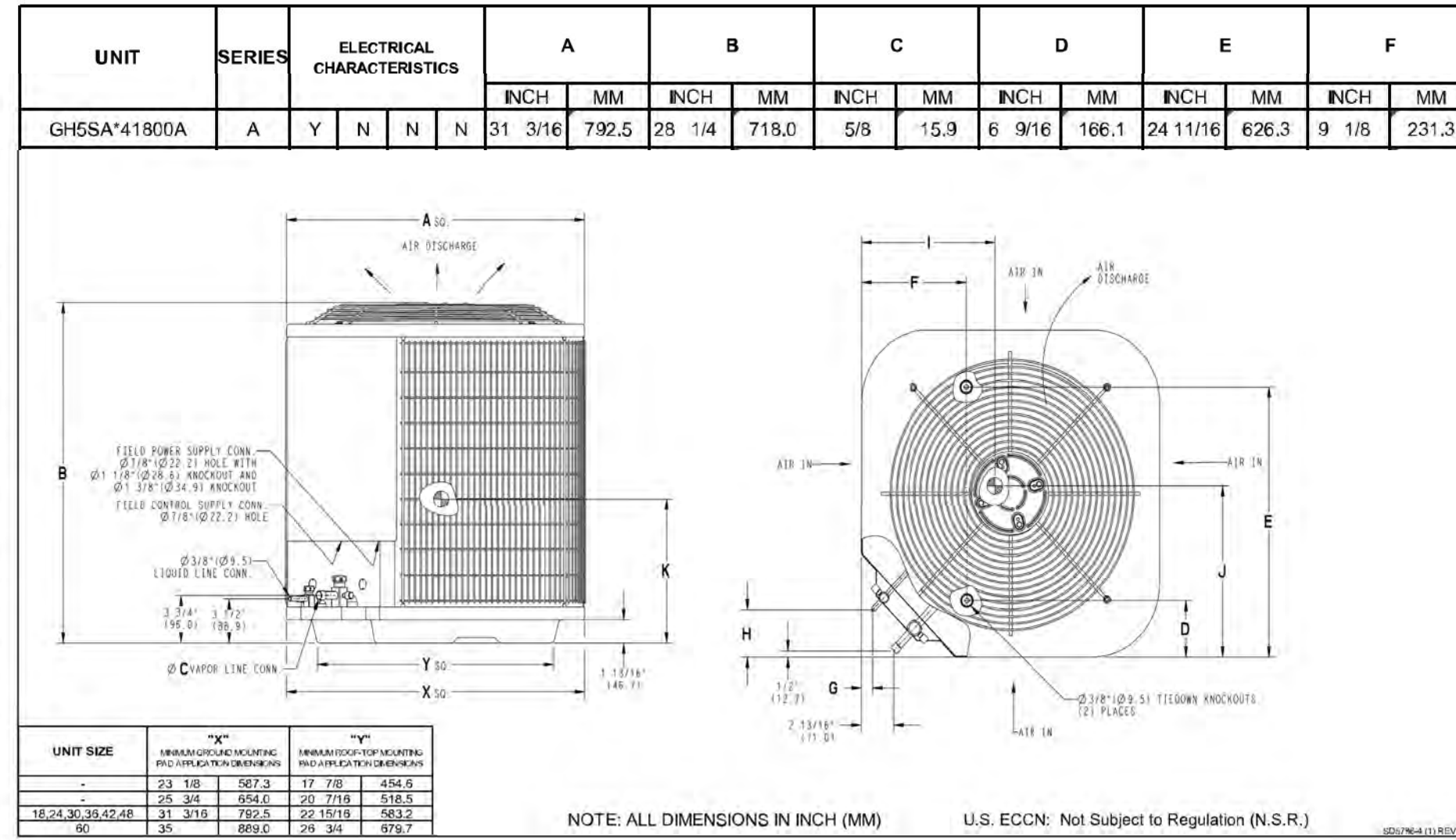
- Efficiency**
- 14.3 - 15.2 SEER2 / 11.0 - 12.5 EER2 / 7.5 - 8.1 HSPF2 (depending on unit size and indoor combination installed)
 - Microtube technology refrigeration system
 - Indoor air quality accessories available
- Sound**
- Sound levels as low as 69 dBA with accessory sound blanket
- Comfort**
- System supports programmable or standard thermostat controls
- Reliability**
- Non-ozone depleting Puron® refrigerant
 - Scroll compressor
 - Internal pressure relief valve
 - Internal thermal overload
 - Loss of charge switch
 - Filter drier
 - Balanced refrigeration system for maximum reliability
- Durability**

This unit has been designed utilizing Bryant's non-ozone depleting Puron® refrigerant. Heat pumps with Puron® refrigerant provide a collection of features unmatched by any other family of equipment.

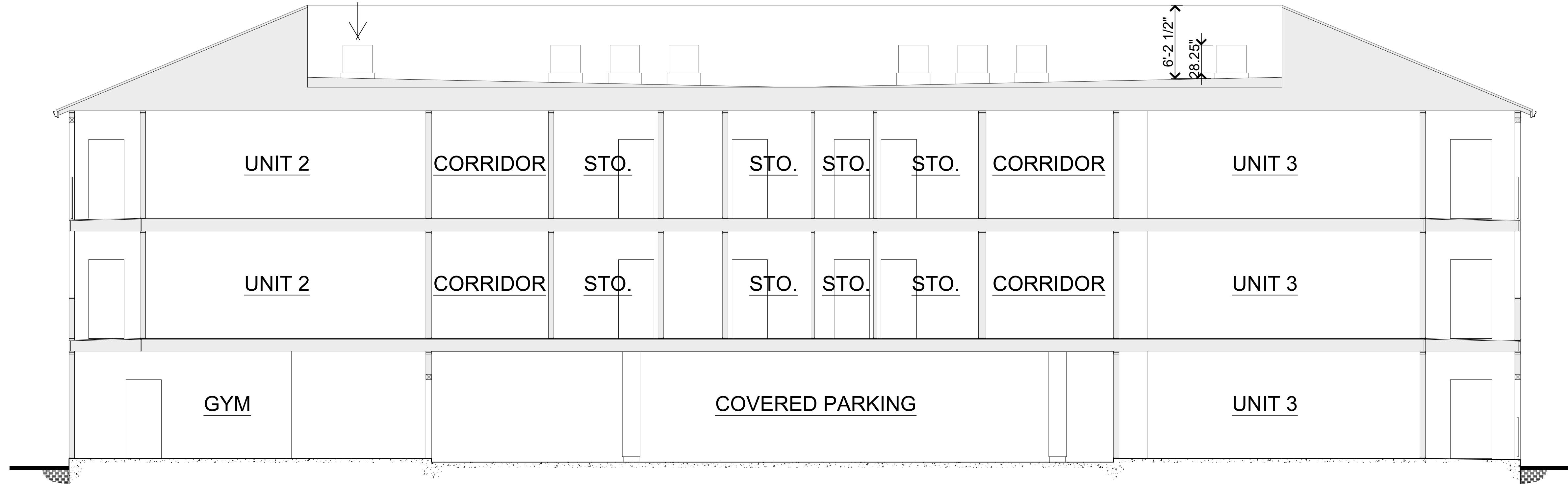
NOTE: Ratings contained in this document are subject to change at any time. Always refer to the AHRI directory (www.ahridirectory.org) for the most up-to-date ratings information.

- Protection Package:**
- Solid, durable sheet metal construction
 - Dense wire coil guard
- Applications**
- Long-line - up to 250 feet (76.20 m) total equivalent length, up to 200 feet (60.96 m) condenser above evaporator, or up to 80 ft. (24.38 m) evaporator above condenser (See Longline Guide for more information.)
 - Low ambient cooling (down to 0°F/-17.8°C) with approved low ambient accessory kits

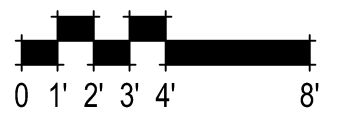
Dimensions

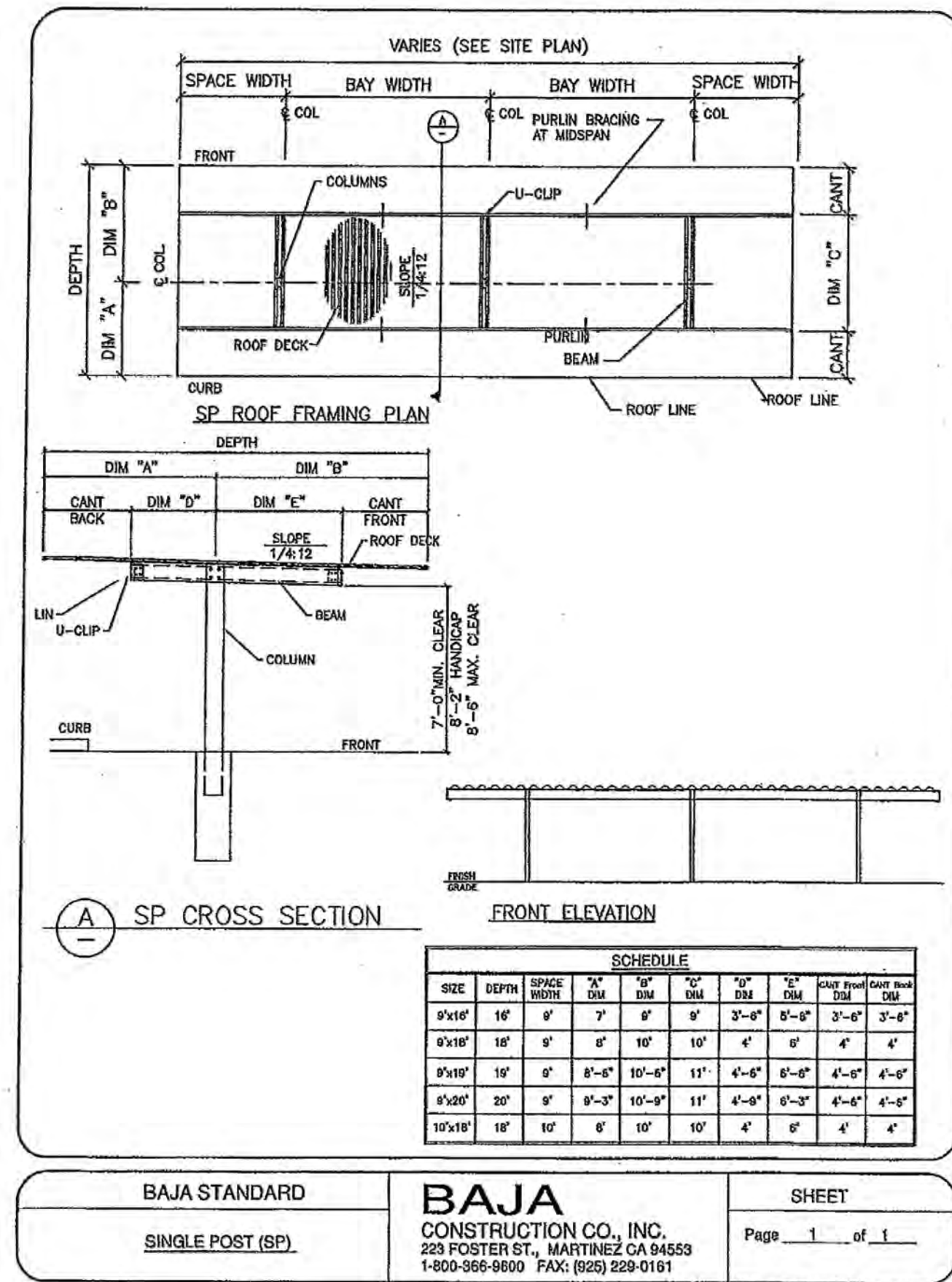


ROOFTOP AIR CONDITIONING UNIT CUT SHEET



1 CONCEPTUAL BUILDING SECTION



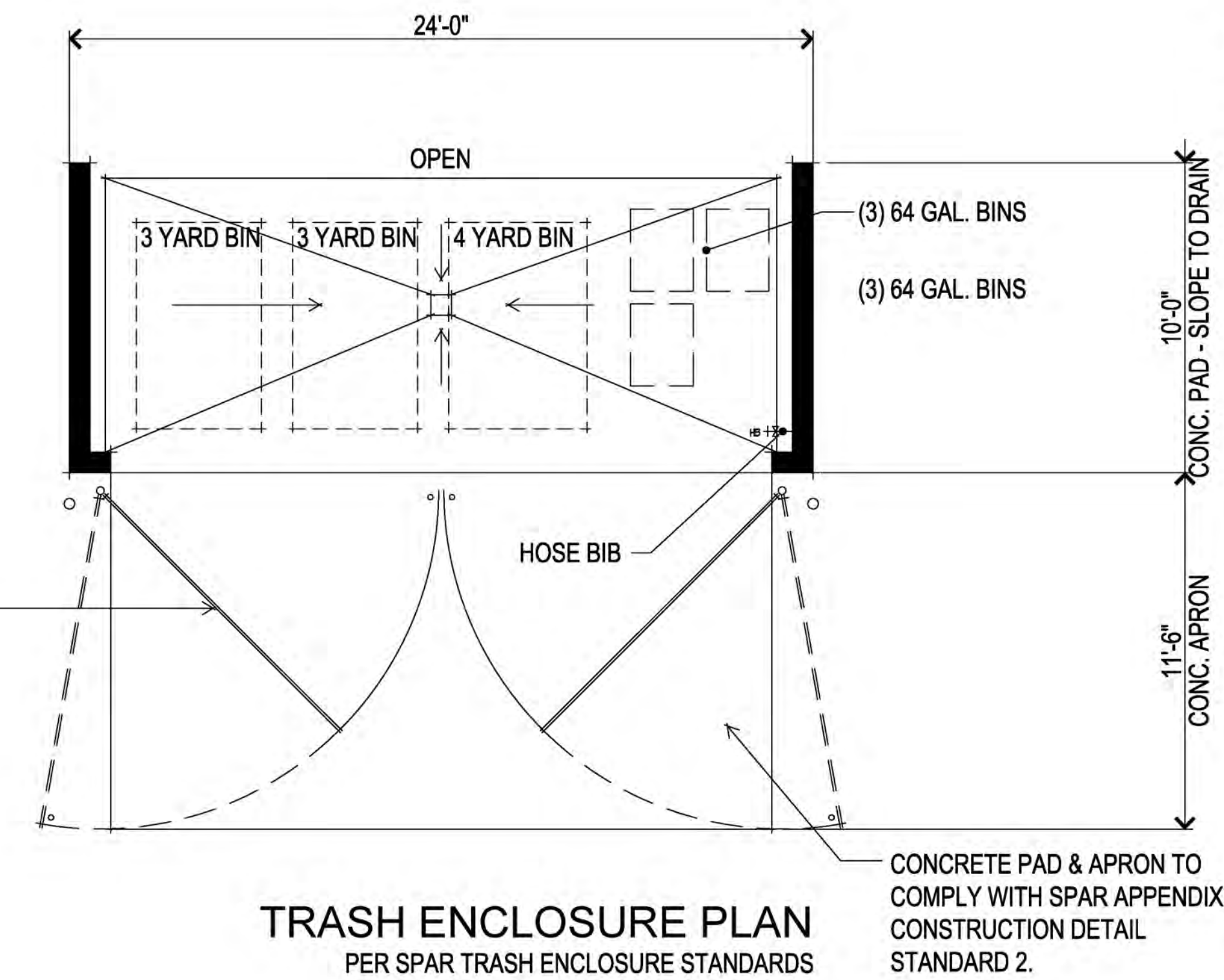


CARPORT & BICYCLE TYPICAL DETAIL



CARPORT EXAMPLE PHOTO
PAINT ALL SURFACES TO MATCH ACCENT COLOR (F1) - SEE SHEET A5.1

PAIR OF TRASH ENCLOSURE METAL GATES TO BE HEAVY GAUGE METAL PER SPAR APPENDIX B, CONSTRUCTION DETAIL STANDARD 6



TRASH ENCLOSURE PLAN
PER SPAR TRASH ENCLOSURE STANDARDS

EXTERIOR COLOR KEY NOTES

- A1 DOORS / METAL ACCENTS COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY METAL
- B1 SPLIT-FACE CMU TAN, TO MATCH VERTICAL SIDING (V1)
- R1 ROOFING PAINT TO MATCH FASCIA

ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES. SEE SHEET A8.1 FOR EXTERIOR COLORS & MATERIALS.

TRASH BIN CALCULATION

1.5 CUBIC YARDS OF WASTE CONTAINER PER 5 UNITS x 32 UNITS = 9.6 CUBIC YARDS

9.6 CUBIC YARDS REQUIRED



FRONT ELEVATION

COLOR SCHEME

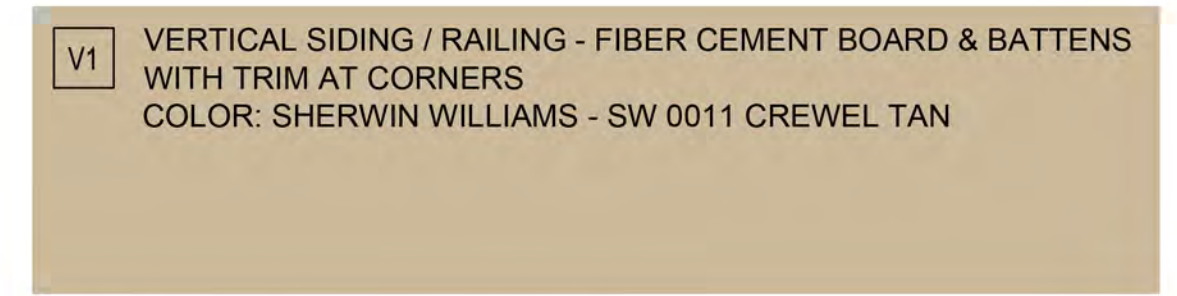


R1 ROOFING
CERTAINTEEED
COLOR: WEATHERED WOOD

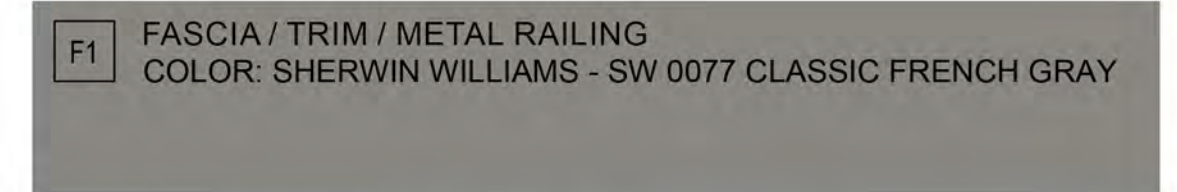
ALL COLORS TO HAVE OWNER APPROVAL BEFORE BEING APPLIED TO BUILDING SURFACES. SEE SHEET A8.1 FOR EXTERIOR COLORS & MATERIALS.



H1 HORIZONTAL SIDING
COLOR: SHERWIN WILLIAMS - SW 6203 SPARE WHITE



V1 VERTICAL SIDING / RAILING - FIBER CEMENT BOARD & BATTENS WITH TRIM AT CORNERS
COLOR: SHERWIN WILLIAMS - SW 0011 CREWEL TAN



F1 FASCIA / TRIM / METAL RAILING
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY



A1 ENTRY DOORS / ACCENTS
COLOR: SHERWIN WILLIAMS - SW 0077 CLASSIC FRENCH GRAY



RETAINING WALL FINISH
SPLIT FACE CMU - BEIGE



VIEW 1



VIEW 2



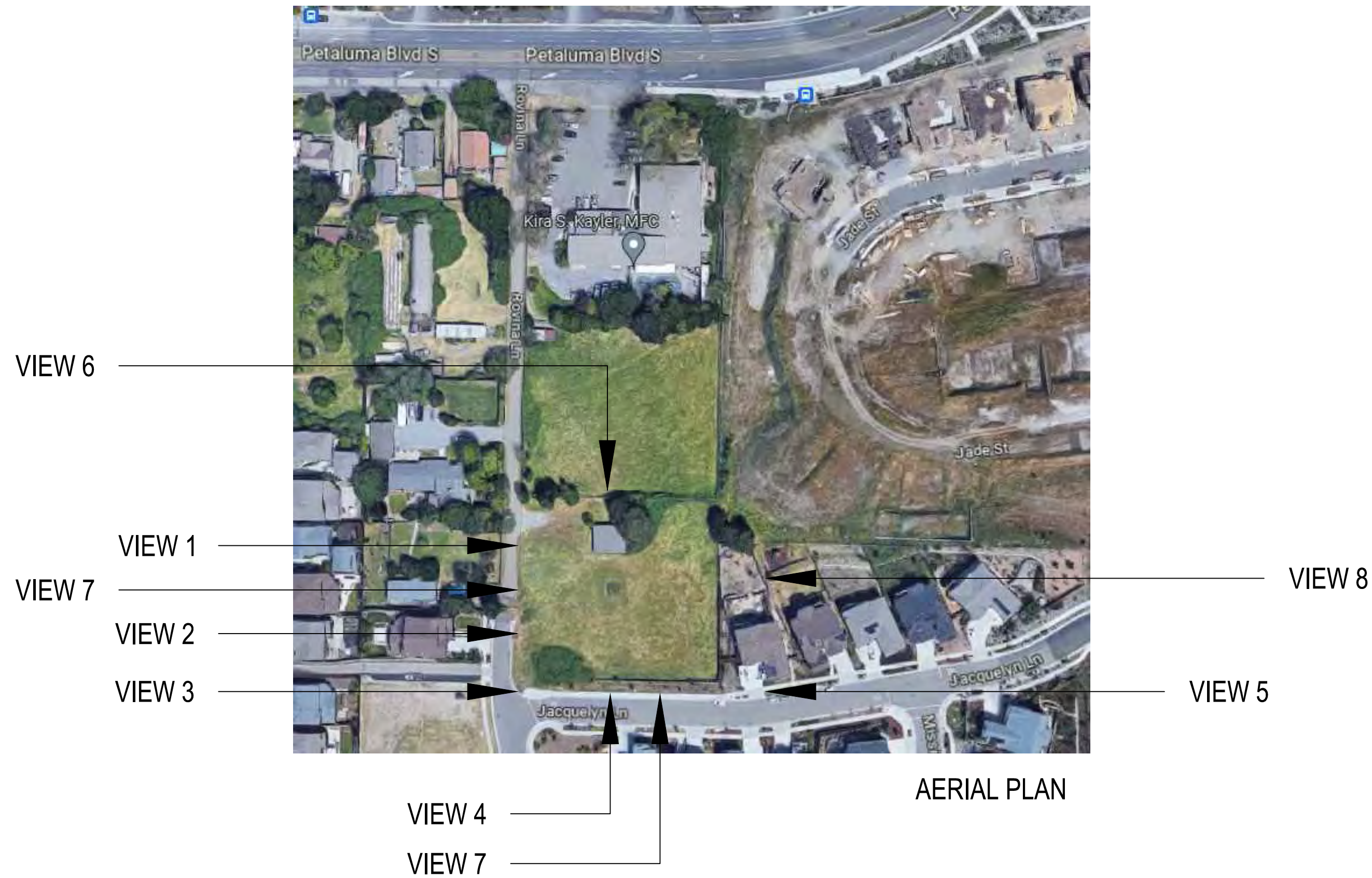
VIEW 3



VIEW 4



VIEW 5



VIEW 6



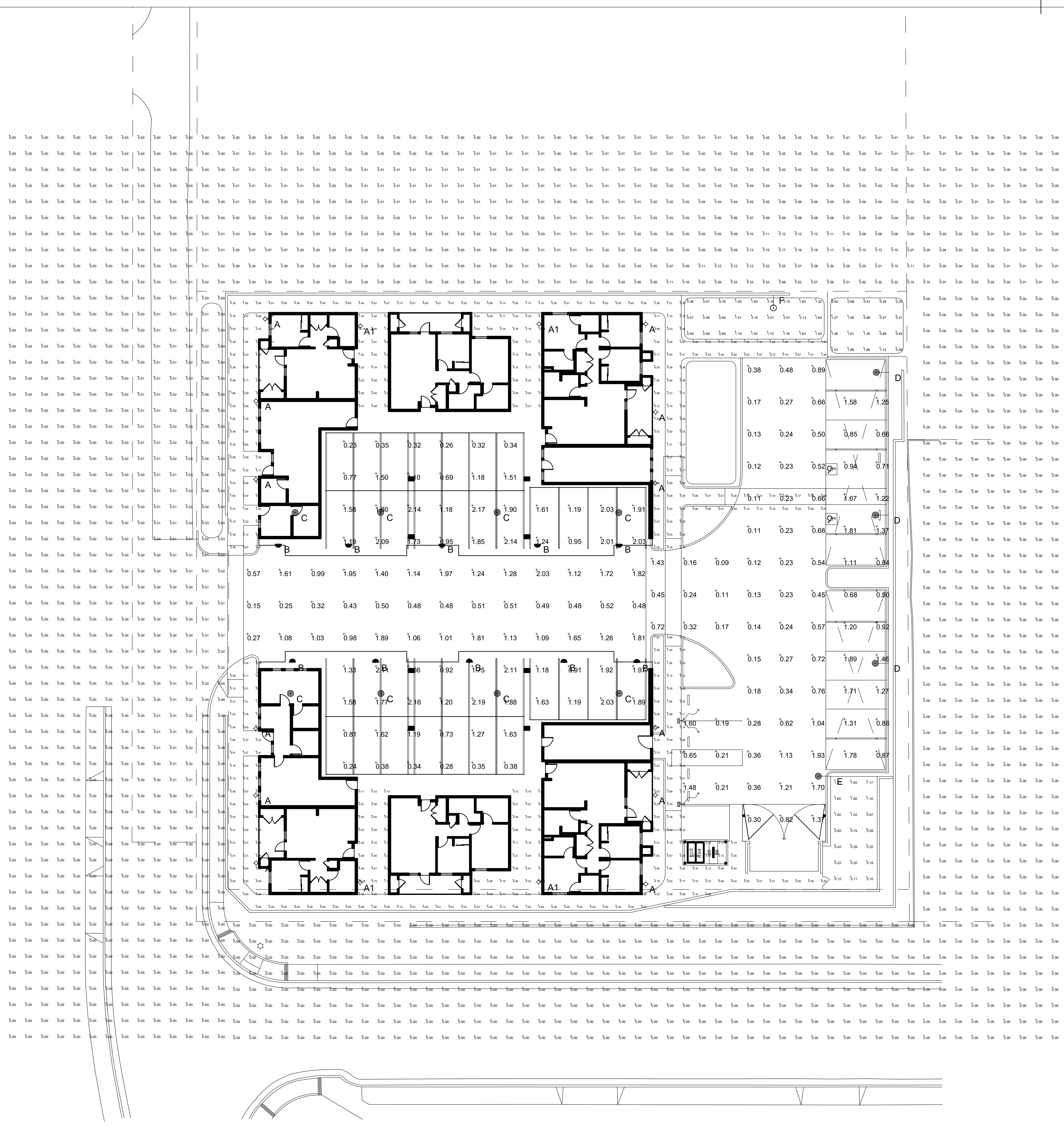
VIEW 7



VIEW 8



VIEW 9



Luminaire Schedule - LED
Project: TCP ROVINA - PETALUMA

Symbol	Qty	Label	Arrangement	LLF	Luminaire Lumens	Luminaire Watts	Description	Filename
⊙	12	A	Single	0.900	3017	45	FC LIGHTING F005025FCC4004K30LD25U25 @ 16'	F005025FCC4004K30LD25U25.IES
⊙	4	A1	Single	0.900	3017	45	FC LIGHTING F005025FCC4004K30LD25U25 @ 11.5'	F005025FCC4004K30LD25U25.IES
⊙	10	B	Single	0.900	1024	20.5	BEGA 22 360 @ 10.5'	22360_BEGA_IES.ies
⊙	8	C	Single	0.900	2395	21	GAROCO SVPG-A01-840-G2-5RD @ 9'	SVPG-A01-840-5RD.ies
⊙	3	D	Single	0.900	1860	19.8	STERNBERG GL1960-12L40T4-MDL006-SV1-BLOC @ 14'	GL1960-12L40T4-MDL006-SV1-BLOC.IES
⊙	1	E	Single	0.900	2639	19.8	STERNBERG GL1960-12L40T5-MDL006-SV1 @ 14'	GL1960-12L40T5-MDL006-SV1.IES
⊙	1	F	Single	0.900	1767	19.8	STERNBERG GL1960-12L40T3-MDL006-SV1-BLOC @ 14'	GL1960-12L40T3-MDL006-SV1-BLOC.IES

Calculation Summary
Project: TCP ROVINA - PETALUMA

Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
COVERED PARKING AND CENTER DRIVE AREAS	Illuminance	Fc	1.22	2.19	0.15	8.13	14.60
DOG PARK	Illuminance	Fc	0.77	1.65	0.10	7.70	16.50
EXTERIOR REAR PARKING AREAS	Illuminance	Fc	0.71	1.93	0.09	7.89	21.44
PATHWAYS	Illuminance	Fc	1.26	15.16	0.00	N.A.	N.A.
PLAY AREA	Illuminance	Fc	1.22	2.51	0.20	6.10	12.55
SPILL LIGHT EAST	Illuminance	Fc	0.00	0.00	0.00	N.A.	N.A.
SPILL LIGHT NORTH	Illuminance	Fc	0.04	0.57	0.00	N.A.	N.A.
SPILL LIGHT SOUTH	Illuminance	Fc	0.00	0.00	0.00	N.A.	N.A.
SPILL LIGHT WEST	Illuminance	Fc	0.00	0.08	0.00	N.A.	N.A.

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.



ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 PARDEE LANE
P.O. BOX 2265
OAKLAND, CA 94621
PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: SDG ARCHITECTS
BY: APPLICATIONS ENGINEERING; RAMON ZAPATA
SALES REPRESENTATIVE: ALR; KRISTIAN REYES



AGI32 VERSION 20.1
AGI (C) 2021 LIGHTING ANALYSTS, INC.
10268 W. CENTENNIAL ROAD, SUITE 202
LITTLETON, CO 80127

PROJECT DESCRIPTION

TCP ROVINA LANE
CITY OF PETALUMA

DRAWING NO. / INPUT FILE

22218REY-R2.DWG / 22218REY-R2.A32

SCALE
1" = 20'

SHEET
1 OF 1

DATE
12.07.2023

REV
2

RECORD LEGEND

- XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.
- R1 RECORD DATA PER RIVERVIEW SUBDIVISION BK 698 PGS 27-32.
- R2 RECORD DATA PER ROS 634/49-50.
- R3 RECORD DATA PER TITLE REPORT - LEGAL DESCRIPTION.

PRELIMINARY IMPROVEMENT PLANS

2 ROVINA LANE, PETALUMA, CA 94952

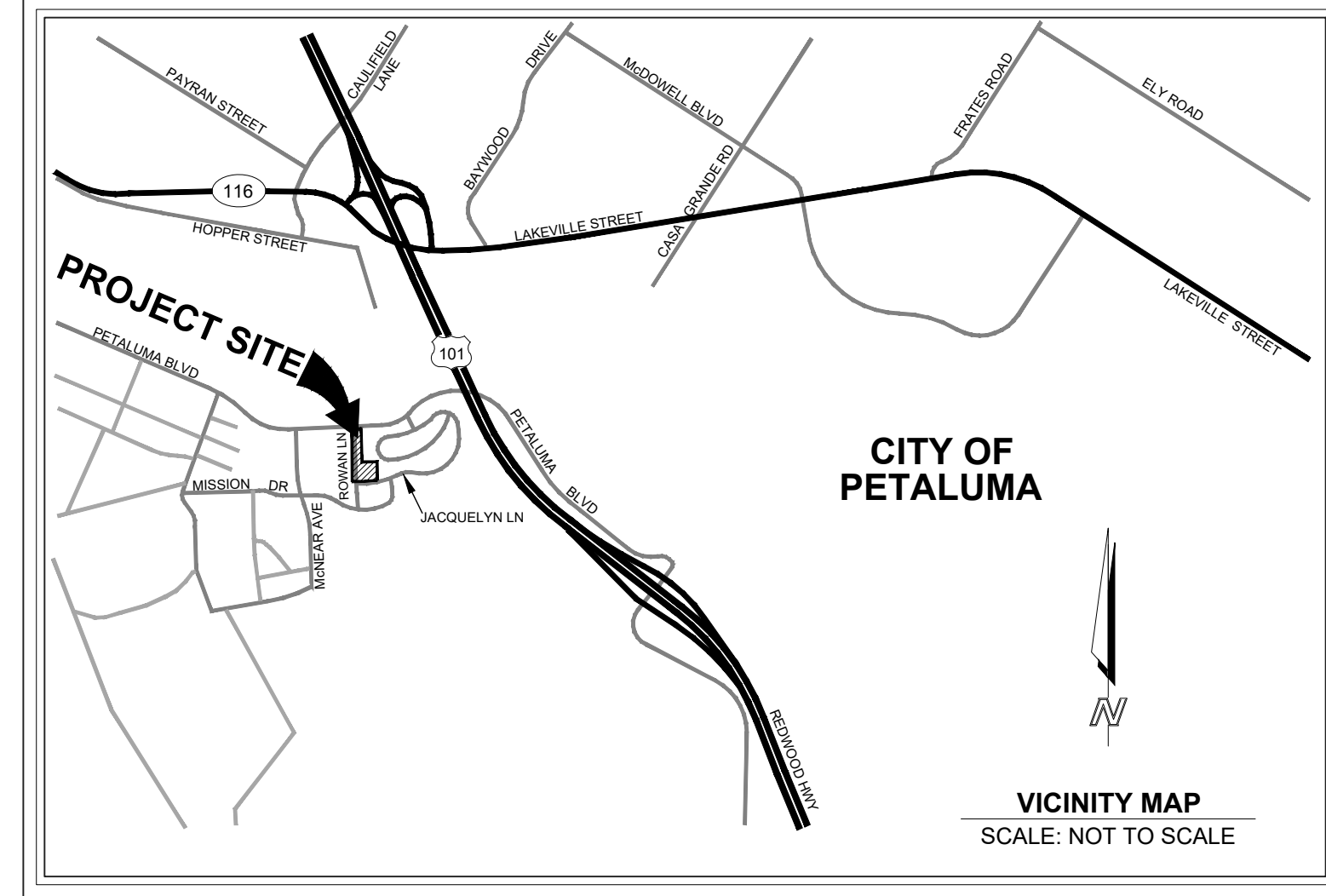
OF A PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 4 NORTH, RANGE 7 WEST, M.D.M., IN THE CITY OF PETALUMA, STATE OF CALIFORNIA.

TREE SPECIES LEGEND

ID	COMMON NAME	TRUNK DIA.	HEIGHT	RADIUS	ID	COMMON NAME	TRUNK DIA.	HEIGHT	RADIUS
T1	DECODAR CEDAR	24"	70'	24'	T14	COAST LIVE OAK	5.5"+6"	15'	13'
T2	MONTEREY PINE	11.5"	22'	17'	T15	VALLEY OAK	12"	32'	20'
T3	MONTEREY PINE	18"	23'	16'	T16	LOMBARDY POPLAR	15"+12"+5"+3"+4"+2"+12"+2"	54'	12'
T4	MONTEREY PINE	24"	22'	17'	T17	LOMBARDY POPLAR	8"+6"+6"+6"+3"	33'	10'
T5	VALLEY OAK	16" + 16"	30'	24'	T18	CANARY ISLAND DATE PALM	32"	17'	13'
T6	COAST LIVE OAK	8.5"+6"+5"+2"+2"	26'	15'	T24	VALLEY OAK	6"	14'	8'
T7	COAST LIVE OAK	7"+4"	22'	14'	T25	INTERIOR LIVE OAK	8"	16'	12'
T8	COAST LIVE OAK	14"	29'	26'	T26	INTERIOR LIVE OAK	8"	18'	12'
T9	COAST LIVE OAK	9"	16'	12'	T27	VALLEY OAK	8"	15'	12'
T10	COAST LIVE OAK	16"	29'	15'	T28	INTERIOR LIVE OAK	5"	10'	4'
T11	MONTEREY PINE	31"	33'	34'	T29	BUCKEYE	3"	8'	6'
T12	COAST LIVE OAK	13"+12"+10"+8"	31'	16'					

TOPOGRAPHY LEGEND NOTE: ALL SYMBOLS OR LINETYPES SHOWN BELOW MAY NOT BE INCORPORATED ON THIS DRAWING.

---	PROPERTY BOUNDARY LINE	APN	ASSESSORS PARCEL NUMBER	○	FIRE HYDRANT
---	PROPOSED LEASE AREA	R.O.W.	RIGHT OF WAY	○	LIGHT WITH CONCRETE BASE
---	CENTERLINE	PL	PROPERTY LINE	○	WATER VALVE
---	RIGHT OF WAY LINE	CL	CENTER LINE	○	GAS VALVE
---	INDETERMINATE BOUNDARY LINE	FC	FACE OF CURB	○	STORM DRAIN MANHOLE
---	EASEMENT LINE	WL	WALL	○	SANITARY SEWER MANHOLE
---	EXISTING CONTOURS	FN	FENCE	○	SEWER CLEANOUT
---	OVERHEAD ELECTRICAL LINE	INV	INVERT	○	GREASE INTERCEPTOR MANHOLE
---	EXISTING CHAIN LINK FENCE	ICV	IRRIGATION CONTROL VALVE	○	COMMUNICATION MANHOLE
---	EXISTING WROUGHT IRON FENCE	PBX	PULLBOX	○	SPOT ELEVATIONS
---	BLOCK WALL	FDC	FIRE DEPARTMENT CONNECTION	○	STREET SIGN
---	INDICATES RESTRICTED ACCESS	PIV	POST INDICATOR VALVE	○	UTILITY POLE
---	ZONING BOUNDARY	BFP	BACKFLOW PREVENTOR	○	EXISTING BOLLARD
---	EXISTING BUILDING WITH OVERHANG	ELEC	ELECTRIC	○	TRAFFIC SIGNAL/LIGHTPOLE
---	FOUND MONUMENT AS DESCRIBED	COMM	COMMUNICATION	○	FOUND BRASS DISC IN WELL PER R1 HELD TO ESTABLISH CL
---		X=BHL	BUILDING HEIGHT LOCATION		



PROJECT CONTACTS

OWNER/DEVELOPER PACIFIC WEST COMMUNITIES, INC. 430 E. STATE ST., SUITE 100 EAGLE, ID 83616 TEL: (208) 908-4873	ARCHITECT SDG ARCHITECTS, INC. 3361 WALNUT BLVD, SUITE 120 BRENTWOOD, CA 94513 LANCE CRANNELL TEL: (925) 634-7000	CIVIL ENGINEER ATLAS CIVIL DESIGN, INC. 872 FIGUERA STREET SAN LUIS OBISPO, CA 93401 TYLER JOHNSON TEL: (213) 810-8470
---	---	--

PROJECT STATISTICS

SUBJECT PARCEL SITE ADDRESS: 2 ROVINA LANE PETALUMA, CA 94952 TOTAL ACREAGE: 1.28 ACRES TOTAL IMPERVIOUS AREA: 35,701 SF TOTAL AREA OF DISTURBANCE: 1.28 AC / 55,549.57 SF	UTILITY PURVEYORS: ELECTRIC - PACIFIC GAS & ELECTRIC GAS - PACIFIC GAS & ELECTRIC TELEPHONE - AT&T SEWER - CITY OF PETALUMA WATER - CITY OF PETALUMA CABLE - AT&T
---	--

ZONING & SETBACKS

PARCEL ONE
FRONT: 10 FEET
REAR: 10 FEET
SIDES: 0 FEET / INTERIOR SIDE: 0 FEET / STREET SIDE: 10 FEET
MAX BUILDING HEIGHT:
PRINCIPAL BUILDING = 35 FEET
ACCESSORY STRUCTURE = 25 FEET
MAX SITE COVERAGE:
PRIMARY STRUCTURE = 60%
ACCESSORY STRUCTURE (DETACHED) = 10% OF REQUIRED SETBACK AREA OR 500 SF, WHICHEVER IS GREATER
ZONE: R4 (MEDIUM DENSITY RESIDENTIAL)

NOTES:

- NO ZONING REPORT OR LETTER WAS PROVIDED BY THE CLIENT TO THE SURVEYOR. ALL SETBACK INFORMATION WAS PROVIDED BY THE CITY OF PETALUMA PLANNING DEPARTMENT WEBSITE <HTTP://CITYOFPETALUMA.ORG>. ANY QUESTIONS OR DISCREPANCIES SHOULD BE DIRECTED TO THE CITY AT PHONE NUMBER 707-778-4470, OR AT THE COUNTER AT 11 ENGLISH STREET, PETALUMA, CA, 94952. IT IS NOT OUR POLICY TO MAKE CALCULATIONS TO DETERMINE REQUIREMENTS FOR THE SITE, BUT ONLY TO REPORT INFORMATION AS DISCOVERED.
- NO SUBDIVISION OR RE-PLAT IS REQUIRED TO CONVEY THE SURVEYED PROPERTY.
- THERE ARE NO DESIGNATED PARKING STALLS ON THE SURVEYED PROPERTY.

FLOOD DESIGNATION

PER FLOOD INSURANCE RATE MAP NO. 06097C1001G PROJECT SITE LIES IN FLOOD ZONE "X".
FLOOD "X" DESIGNATION IS DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN." PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

LEGAL DESCRIPTION

PARCEL ONE
BEING A PORTION OF THE NE 1/4 OF THE NW 1/4 OF SEC 3, T4N, R7W, M.D.M.
APN: 019-210-009-000
SQ. FT. = 43,460.47 / 1.0 ACRES
PARCEL TWO
SQ. FT. = 12,089.10 / 0.28 ACRES
BASIS OF BEARING
BEING THE EAST LINE OF A 20 FOOT EASEMENT FOR ROAD AND UTILITY PURPOSES PER BOOK 903, PAGE 98 AS SHOWN ON RECORD OF SURVEY 634/49-50, HAVING A BEARING OF N00°20'18"W.

BENCHMARK INFORMATION

THE OFF-SITE BENCHMARK IS BASED ON OPUS, POINT 1
ELEVATION = 39.73 FEET
ELEVATIONS SHOWN HEREON ARE DERIVED FROM AN OPUS RAPID STATIC PROCESSING, NAVD88.

EASEMENT NOTES

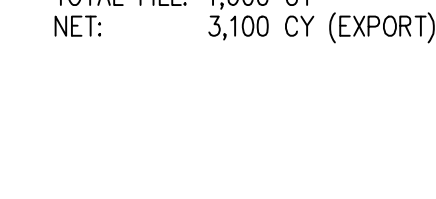
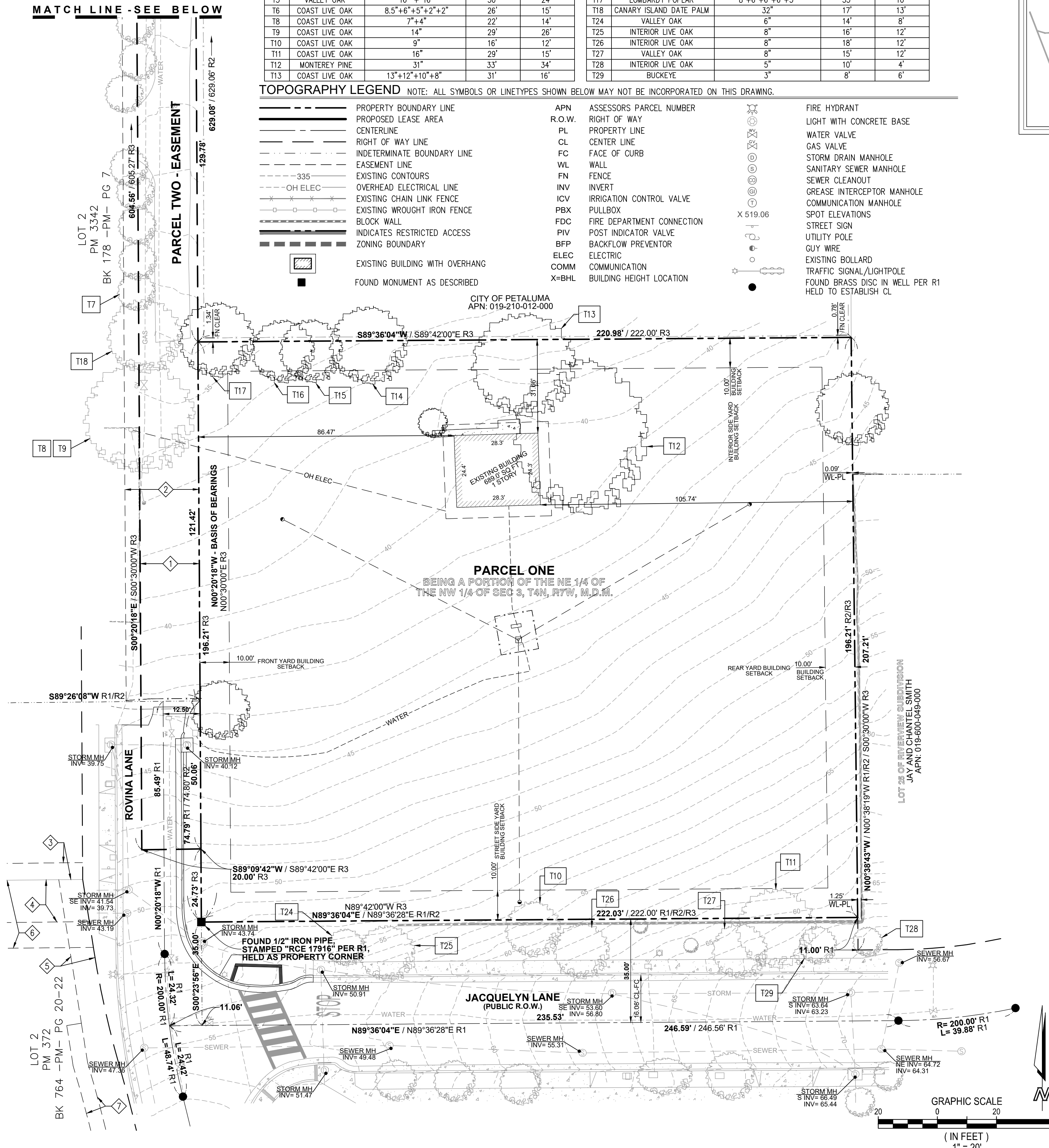
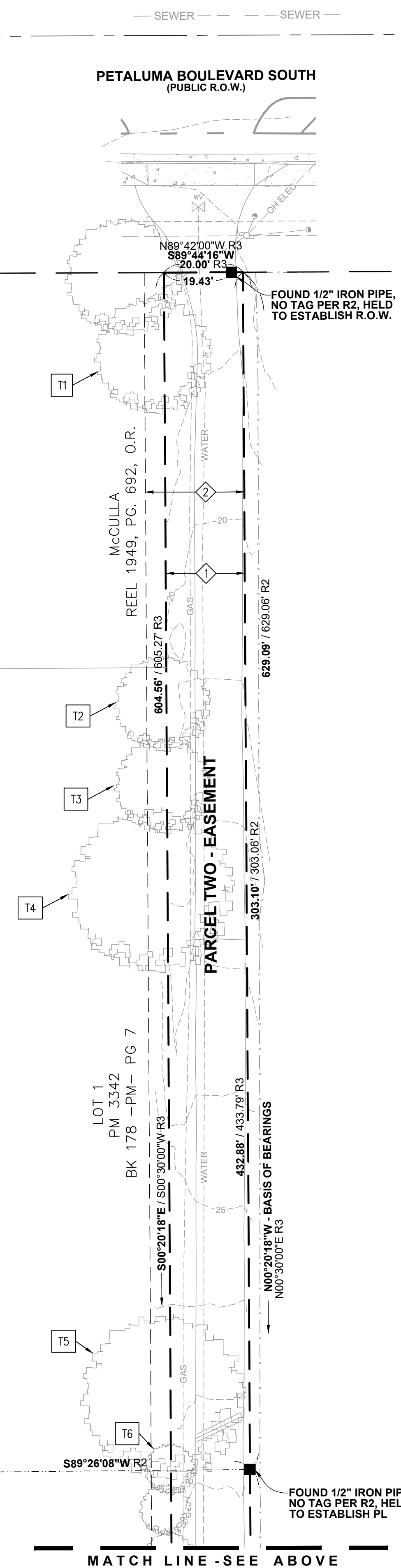
- 20' R/W EASEMENT FOR ROAD AND UTILITY PURPOSES PER BK. 903, O.R., PAGE 98, S.C.R.
- 25' R/W EASEMENT PER BK 178, PG. 7, O.R. S.C.R. APPURTENANT TO LOT 3, BK. 176, MAPS, PG. 7, S.C.R.
- 5.7' PUB. SEWER, DRAINAGE, STORM DRAIN, PEDESTRIAN, UTILITY, EMERGENCY ACCESS & MAINTENANCE PER BK. 698, MAPS, PG. 27-32, S.C.R.
- 14.30' PUB. SEWER, DRAINAGE, STORM DRAIN, PEDESTRIAN, UTILITY, EMERGENCY ACCESS & MAINTENANCE PER DOC. NO. 2006-92555.
- VARIABLE WIDTH PUBLIC UTILITY & SIDEWALK EASEMENT PER DOC. 2006-92554, S.C.R.
- 23' WIDE PRIVATE ACCESS EASEMENT PER PARCEL MAP 372, BK. 764, PG. 20-22, S.C.R.
- 5' WIDE PUBLIC UTILITY EASEMENT PER PARCEL MAP 372, BK. 764, PG. 20-22, S.C.R.

EARTHWORKS

TOTAL CUT: 4,700 CY
TOTAL FILL: 1,600 CY
NET: 3,100 CY (EXPORT)

SHEET INDEX

SHEET	TITLE
1	TITLE SHEET - EXISTING CONDITIONS
2	PRELIMINARY GRADING PLAN
3	PRELIMINARY UTILITY PLAN
4	PRELIMINARY CROSS-SECTIONS & DETAILS



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REGISTERED PROFESSIONAL ENGINEER
TYLER HILDENBRO
No. 5839
CIVIL
STATE OF CALIFORNIA

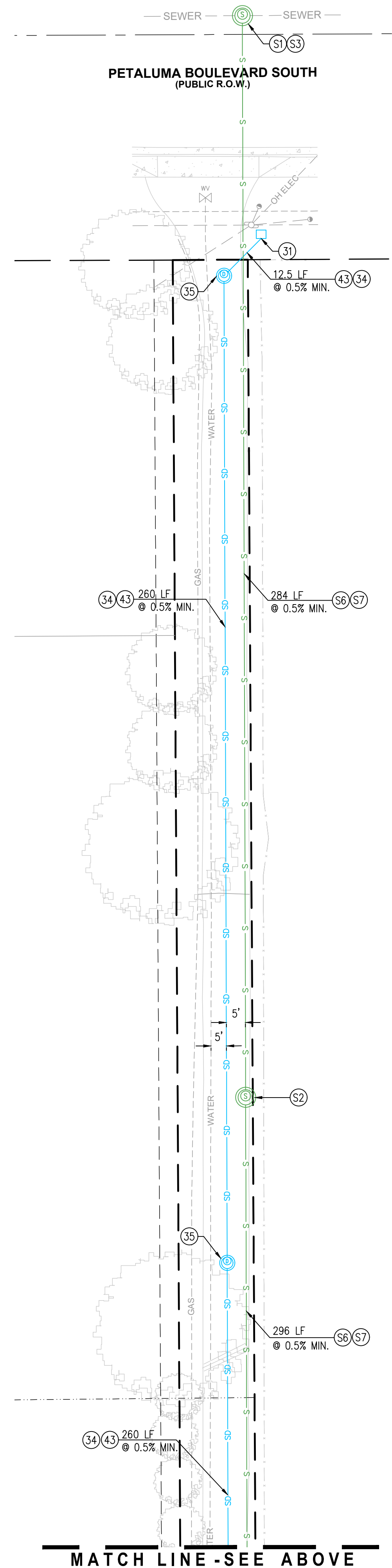
DATE	REVISIONS	BY

PRELIMINARY IMPROVEMENT PLANS
2 ROVINA LANE
PETALUMA, CA 94952
TITLE SHEET
EXISTING CONDITIONS

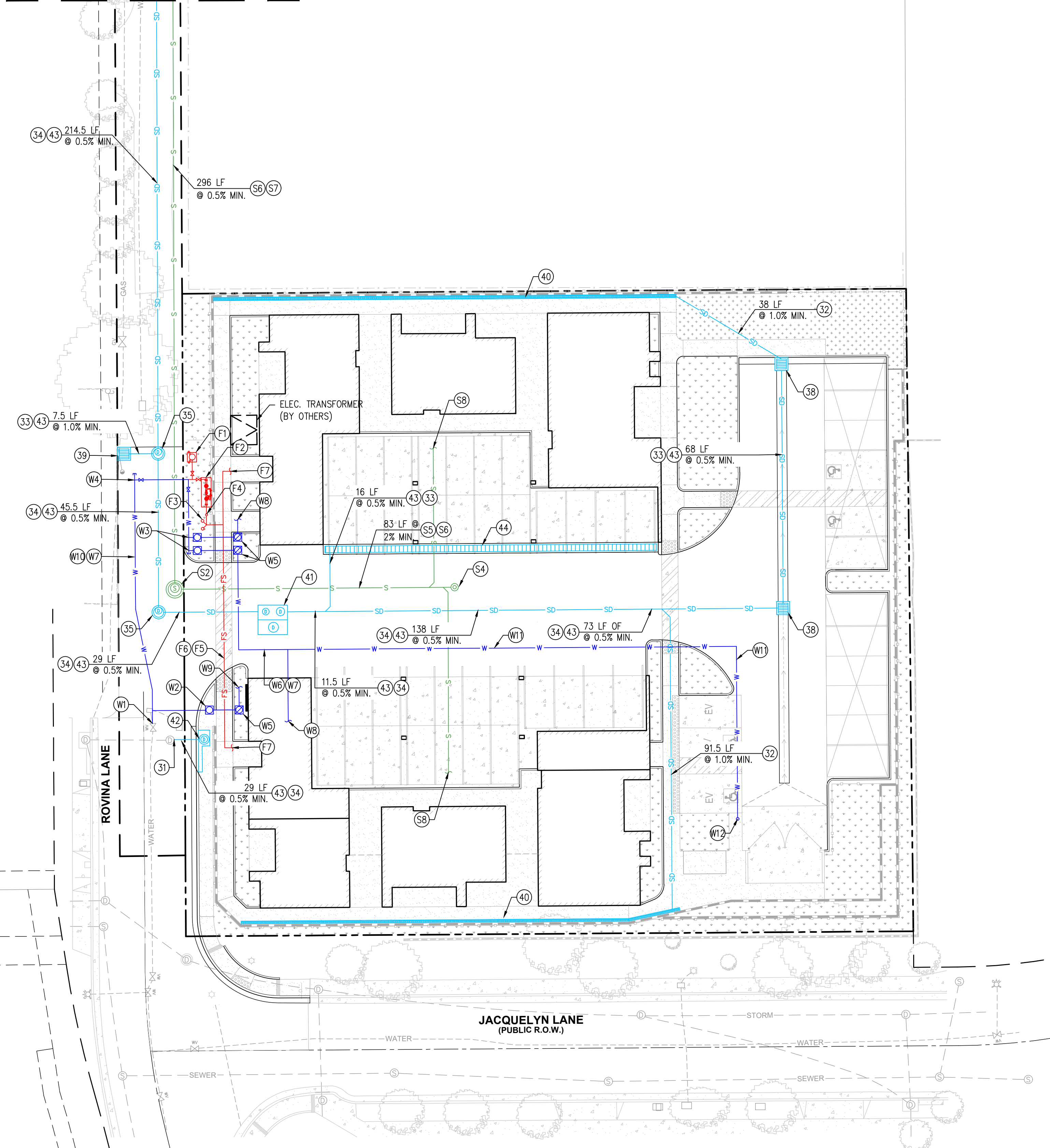
PROJECT NUMBER: 23-027
PREPARED ON: 9/6/23
REVISED ON: 12/6/23
PREPARED BY: C.Rogers
CHECKED BY: THJ
SHEET 1 OF 4

S:\2023\23-027 PETALUMA MULTIFAMILY CIVIL WORKS\PRELIMINARY IMPROVEMENT PLANS\23-027_R1P01 - TITLE SHEET.DWG - PLOT DATE: December 14, 2023

3:\2023\23-027 PETALUMA - MULTIFAMILY CIVIL WORKS\PRELIMINARY IMPROVEMENT PLANS\23-027_PIP03 - UTILITY.DWG - PLOT DATE: December 14, 2023



MATCH LINE -SEE BELOW



- LEGEND**
- FS FIRE WATER SERVICE LINE
 - S SANITARY SEWER LINE
 - IRR IRRIGATION WATER SERVICE LINE
 - W DOMESTIC WATER SERVICE LINE
 - SD STORM DRAIN LINE
 - SEWER STRUCTURE
 - WATER METER
 - RP BACKFLOW DEVICE
 - WATER VALVE
 - DCDA BACKFLOW DEVICE
 - POST INDICATOR VALVE
 - FIRE DEPARTMENT CONNECTION
 - FIRE HYDRANT
 - STORM STRUCTURE
 - TRENCH DRAIN

DRAINAGE CONSTRUCTION NOTES

- 31 CONNECT TO EXISTING STORM DRAIN STRUCTURE.
- 32 INSTALL 6" PVC STORM DRAIN PIPE.
- 33 INSTALL 12" PVC STORM DRAIN PIPE.
- 34 INSTALL 18" HDPE STORM DRAIN PIPE.
- 35 CONSTRUCT STANDARD PRECAST CONCRETE STORM DRAIN MANHOLE PER CITY STD. PLAN 401.1
- 36 NOT USED.
- 38 CONSTRUCT STANDARD TYPE "B" CAST IN PLACE DRAINAGE INLET PER CITY STD. PLAN 408.1
- 39 CONSTRUCT STANDARD TYPE "G1" DRAINAGE INLET PER CITY STD. PLAN 416.1 AND FILTER INSERT BY FLOWGARD OR APPROVED EQUAL.
- 40 INSTALL 6" WIDE TRENCH DRAIN WITH ADA RATED GRATE AND FILTER INSERT BY FLOWGARD OR APPROVED EQUAL.
- 41 INSTALL 8"x8"x4" DEEP MODULAR WETLAND STORMWATER BIOFILTRATION SYSTEM BY CONTECH (OR APPROVED EQUAL), SEE SHEET DETAIL 1, SHEET 4 FOR DETAIL.
- 42 CONSTRUCT TYPE "A" STANDARD PRECAST CONCRETE CURB INLET PER CITY STD. PLAN 407.1
- 43 TRENCHING AND BACKFILL PER CITY STD. PLANS 219.1-219.3
- 44 INSTALL 12" WIDE TRENCH DRAIN WITH TRAFFIC RATED GRATE AND FILTER INSERT BY FLOWGARD OR APPROVED EQUAL.

SEWER CONSTRUCTION NOTES

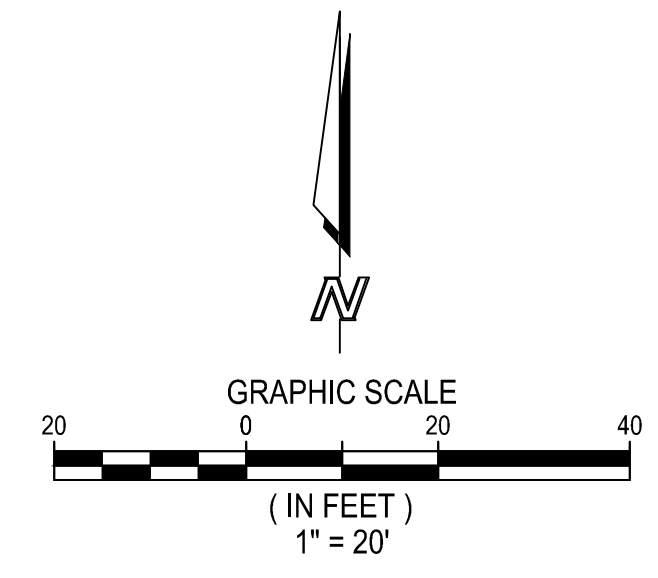
- 51 CONNECT TO EXISTING SEWER MAIN.
- 52 CONSTRUCT 48" PRECAST CONCENTRIC CONE CONCRETE MANHOLE PER CITY STD. PLAN 500.
- 53 CONSTRUCT 60" PRECAST ECCENTRIC CONE CONCRETE MANHOLE PER CITY STD. PLAN 501.
- 54 INSTALL SEWER CLEANOUT PER CITY STD. PLAN 506.0
- 55 INSTALL 6" SDR-35 PVC SEWER PIPE.
- 56 INSTALL 8" SDR-35 PVC SEWER PIPE.
- 57 TRENCH AND BACKFILL PER CITY STD. PLANS 219.1 - 219.3
- 58 CONTINUATION PER PLUMBING PLANS.

WATER CONSTRUCTION NOTES

- W1 CONNECT TO EXISTING WATER MAIN.
- W2 INSTALL 1-1/2" IRRIGATION WATER SERVICE AND 1-1/2" METER PER CITY STD. PLAN 864.
- W3 INSTALL 2" DOMESTIC WATER SERVICE & 2" METER PER CITY STD. PLAN 865.
- W4 INSTALL COMBINATION WATER SERVICE PER CITY STD. PLANS 870.01 - 870.02
- W5 INSTALL ABOVE GROUND REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY PER CITY STD. PLAN 876.
- W6 INSTALL 2" SCH. 80 PVC PIPE.
- W7 TRENCH AND BACKFILL PER CITY STD. PLANS 219.1 - 219.3
- W8 CONTINUATION PER PLUMBING PLAN.
- W9 CONTINUATION PER LANDSCAPE AND IRRIGATION PLANS.
- W10 INSTALL 8" PVC WATER MAIN.
- W11 INSTALL 1" PVC WATER LATERAL
- W12 INSTALL HOSE BIB PER SPAR APPENDIX B, CONSTRUCTION DETAIL 3

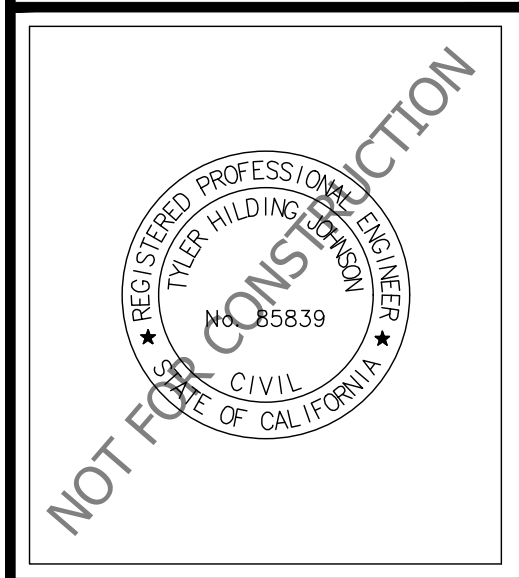
FIRE CONSTRUCTION NOTES

- F1 INSTALL FIRE HYDRANT PER CITY STD. PLAN 857.01
- F2 INSTALL 8" DOUBLE CHECK DETECTOR FIRE LINE BACKFLOW ASSEMBLY PER CITY STD. PLAN 880.01 - 880.02
- F3 FIRE DEPT. CONNECTION.
- F4 POST INDICATOR CHECK VALVE.
- F5 INSTALL 8" C-900 PVC FIRE WATER LINE.
- F6 TRENCH AND BACKFILL PER CITY STD. PLANS 219.1 - 219.3.
- F7 CONTINUATION PER FIRE SPRINKLER PLAN.



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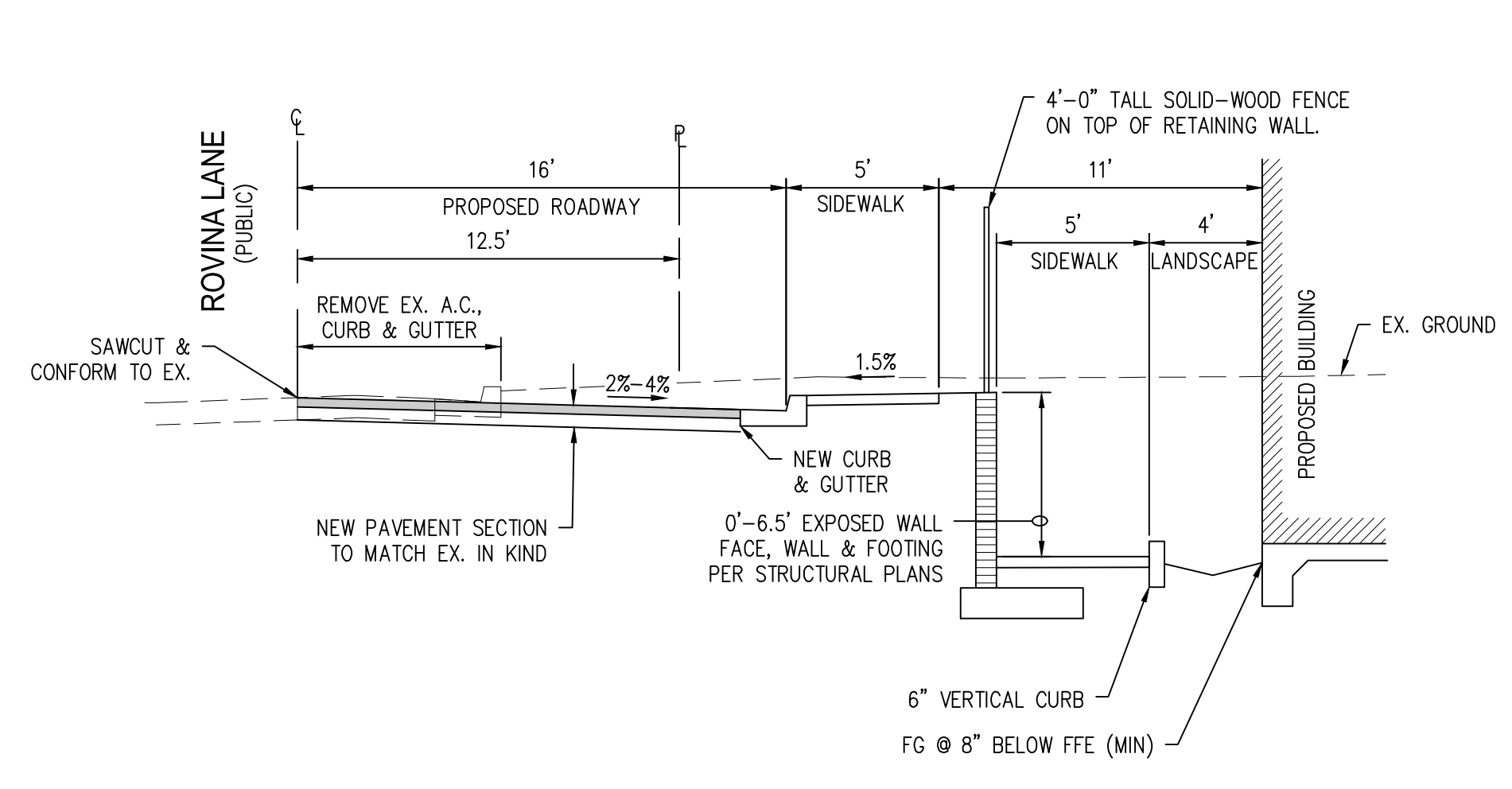
DATE	BY	REVISIONS

PRELIMINARY IMPROVEMENT PLANS
2 ROVINA LANE
PETALUMA, CA 94952
PRELIMINARY UTILITY PLAN

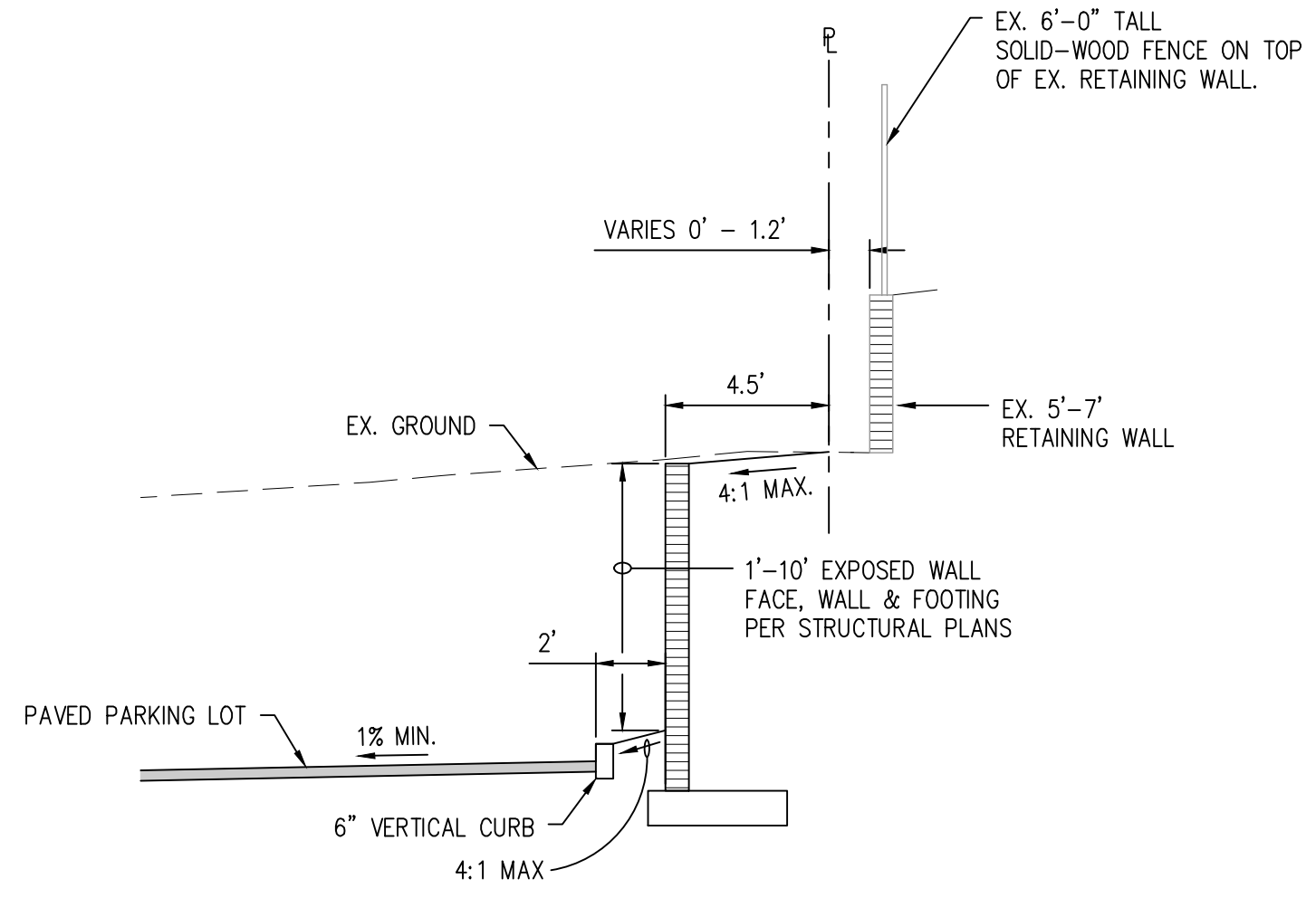
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3 OF 4

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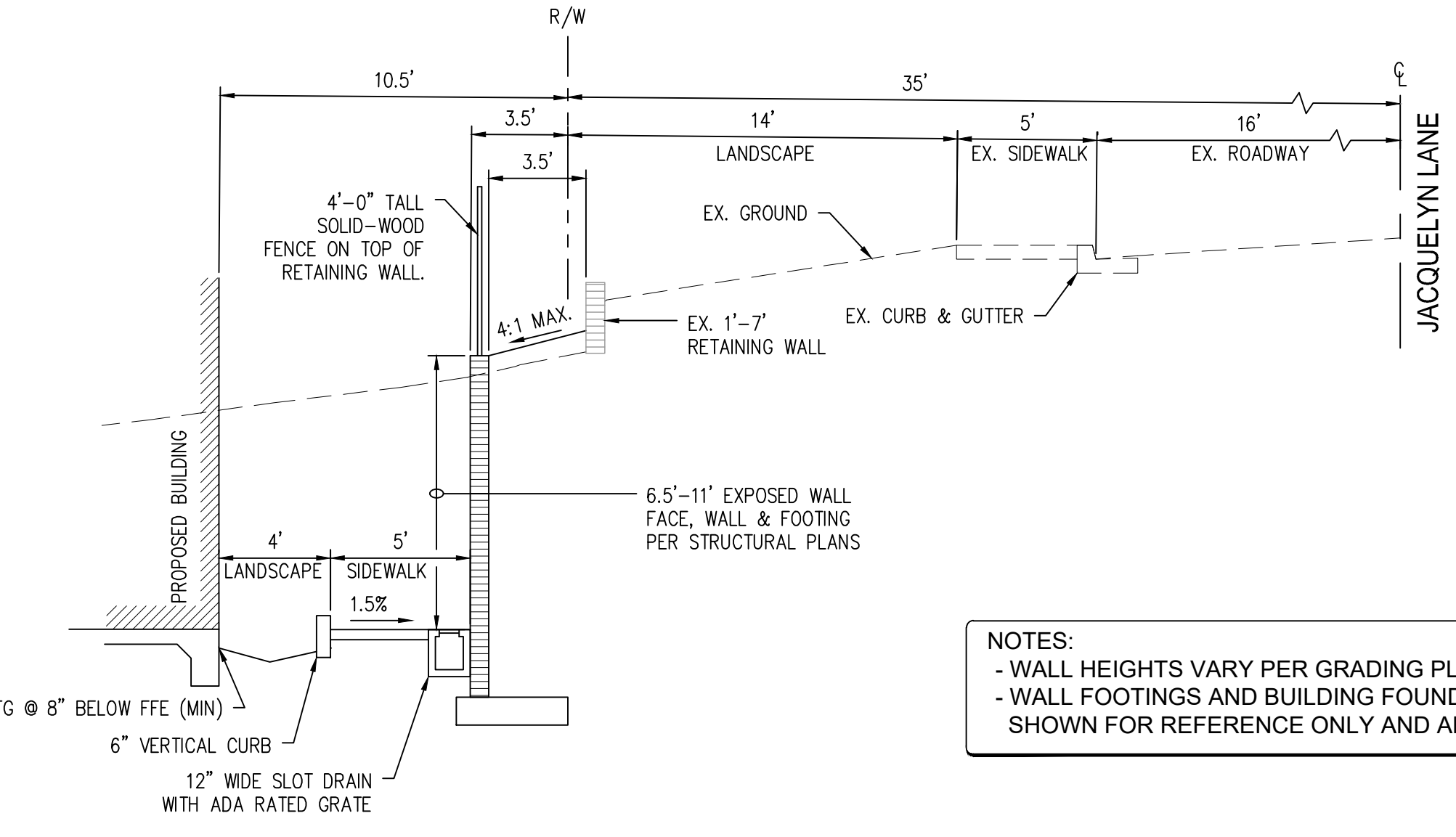
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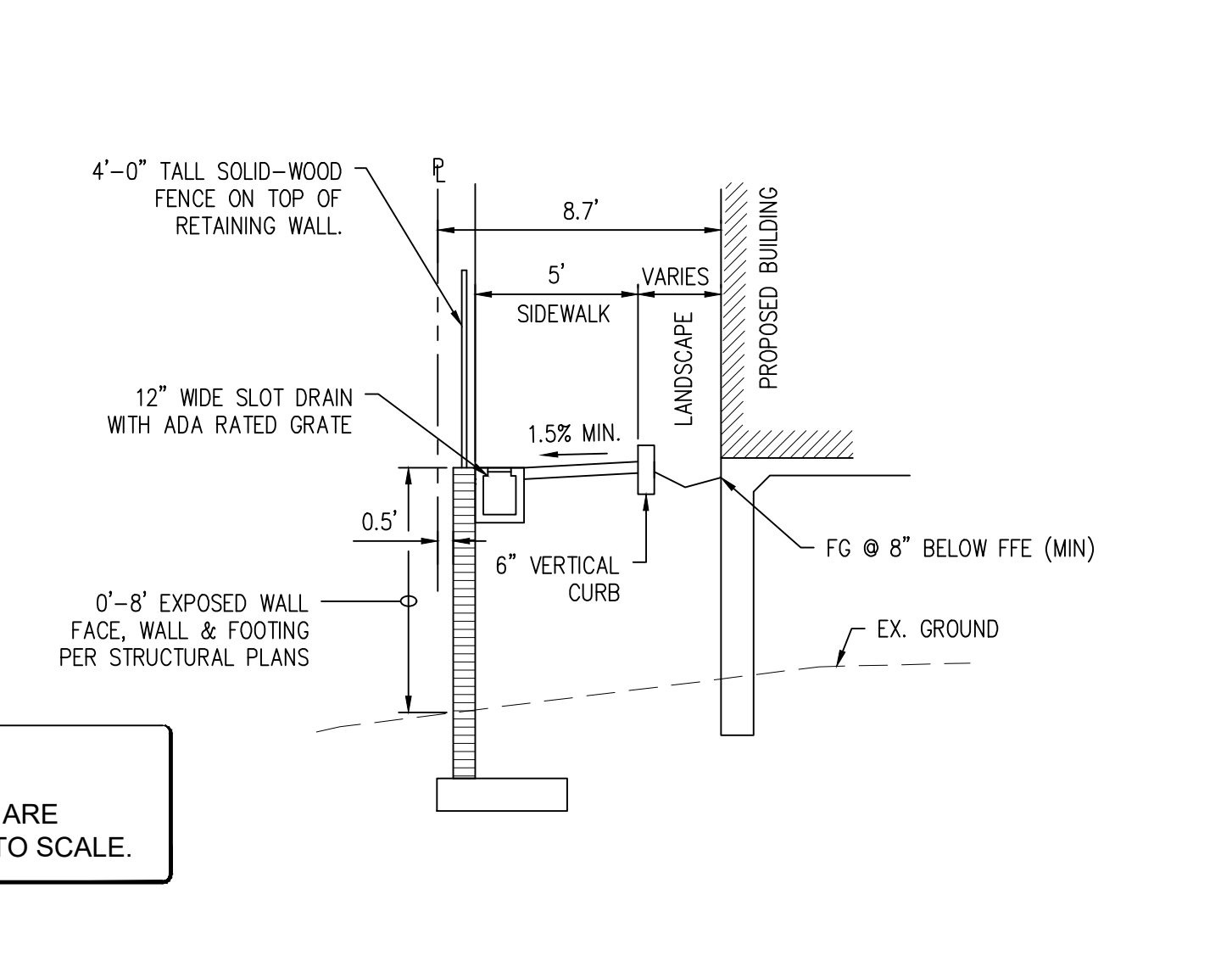
A SECTION VIEW - WESTERLY PROPERTY LINE (SOUTH)
SCALE: 1" = 5'



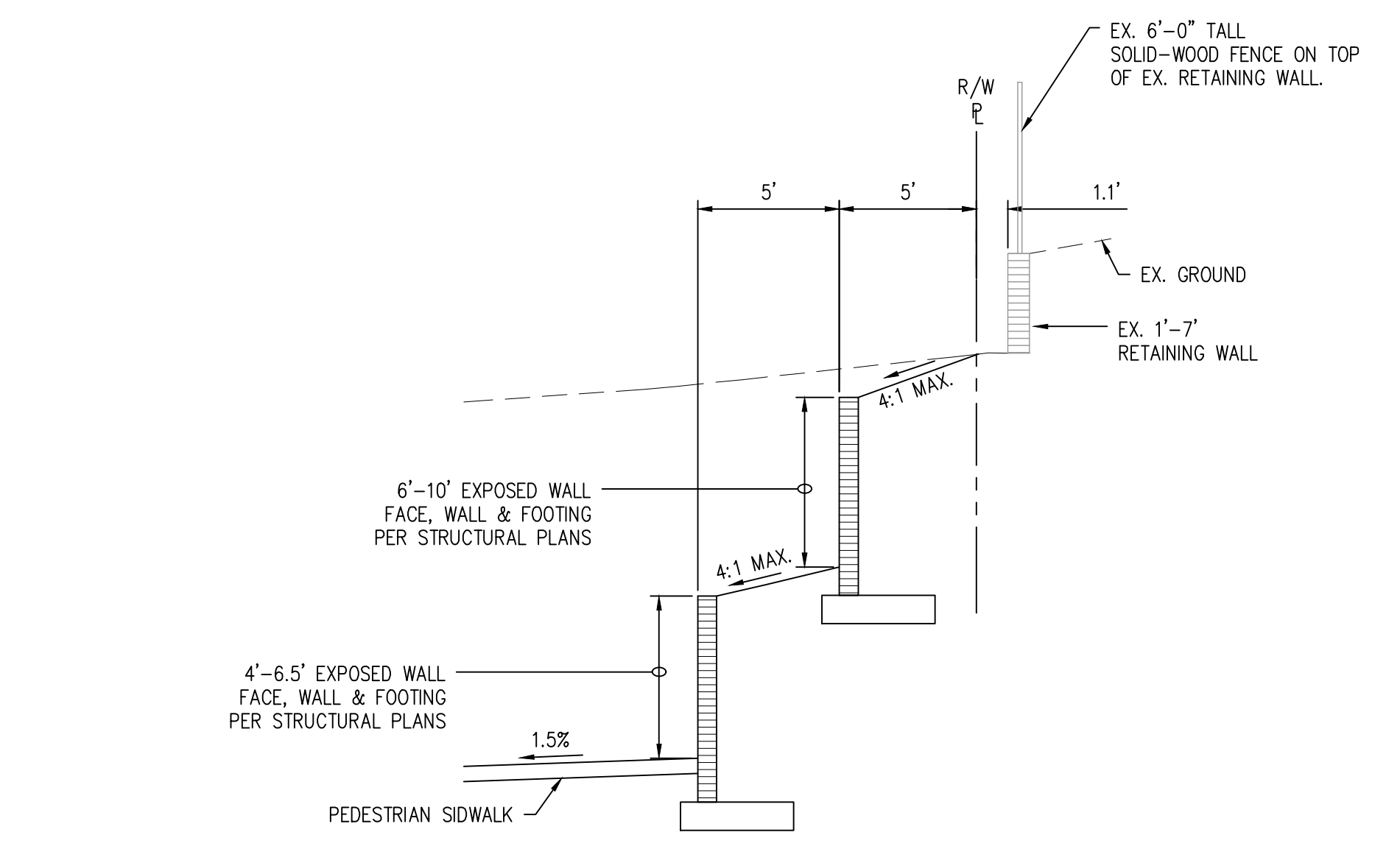
D SECTION VIEW - EASTERLY PROPERTY LINE
SCALE: 1" = 5'



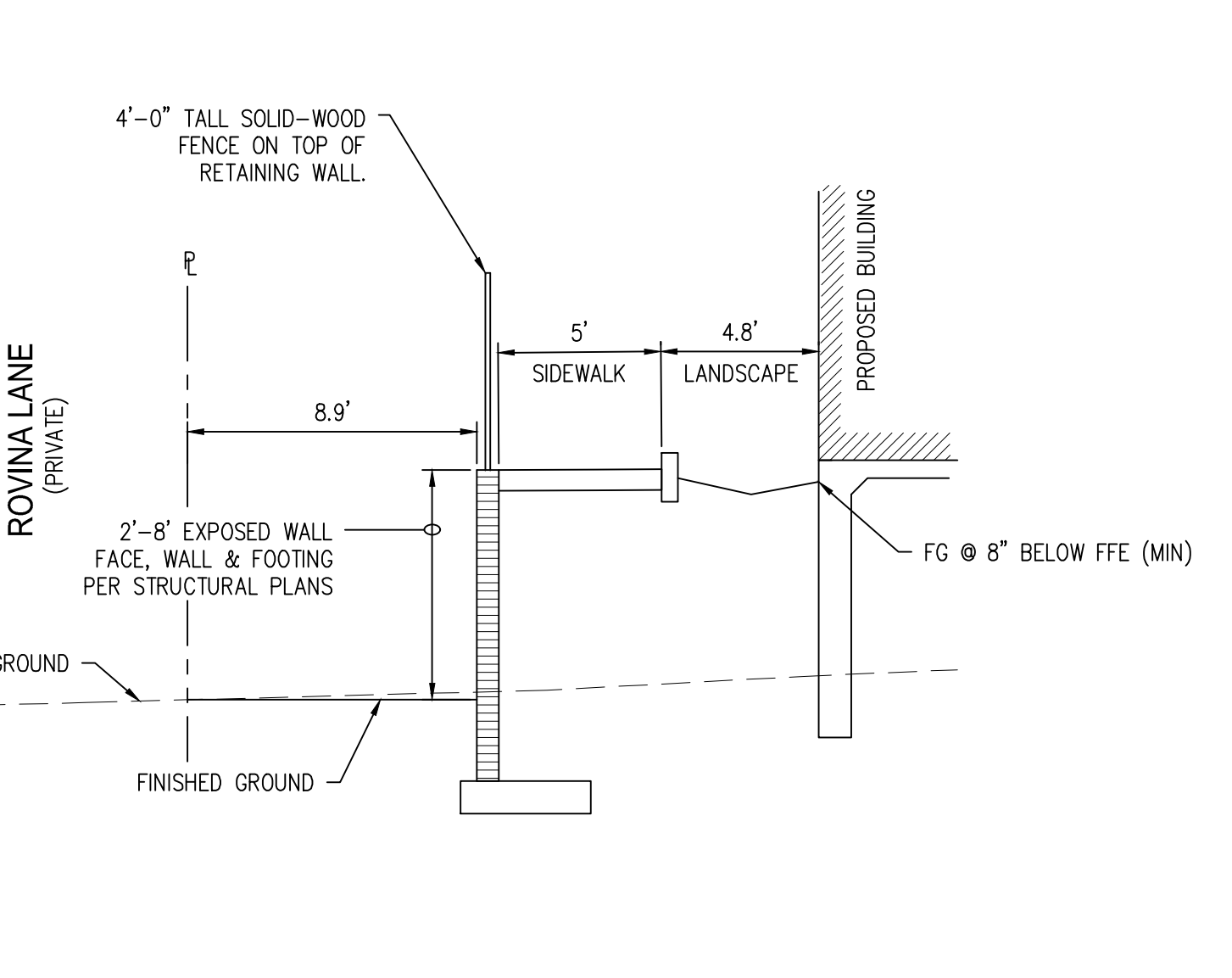
B SECTION VIEW - SOUTHERLY PROPERTY LINE
SCALE: 1" = 5'



E SECTION VIEW - NORTHERLY PROPERTY LINE
SCALE: 1" = 5'



C SECTION VIEW - SOUTHERLY & EASTERLY PROPERTY LINE
SCALE: 1" = 5'

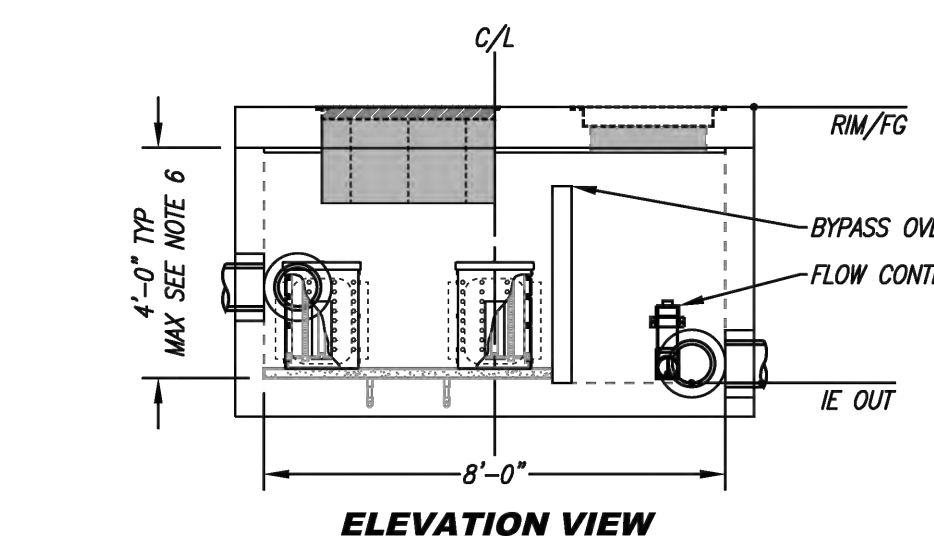
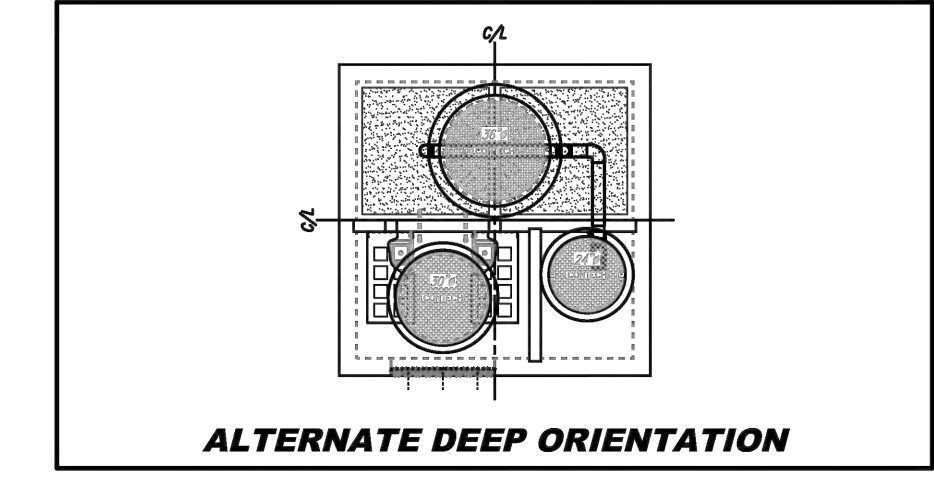
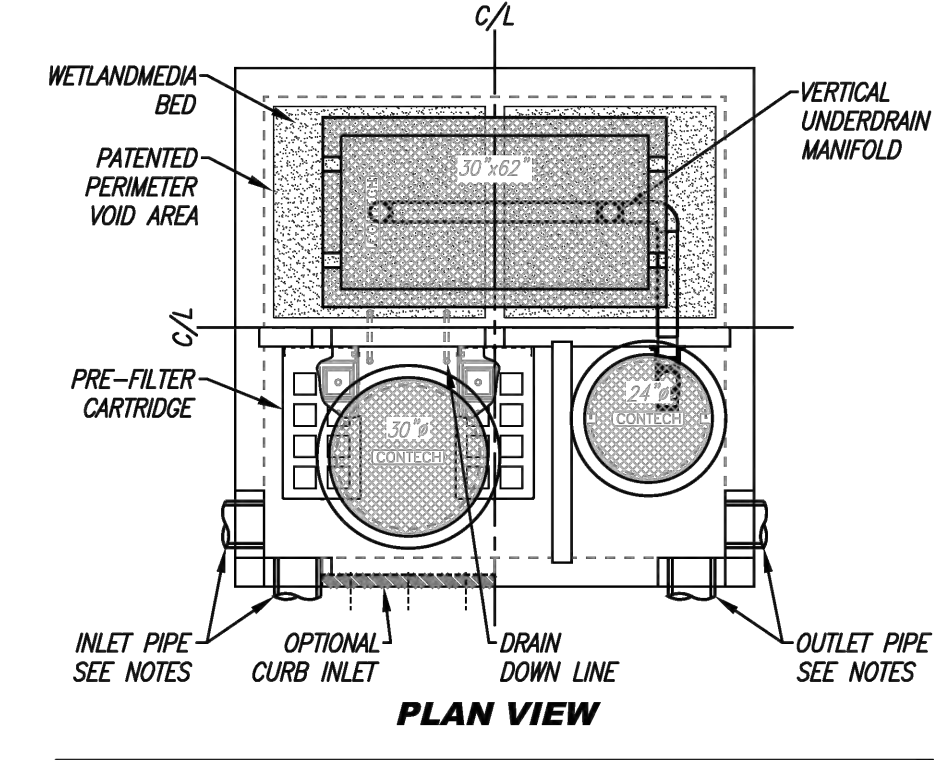


F SECTION VIEW - WESTERLY PROPERTY LINE (NORTH)
SCALE: 1" = 5'

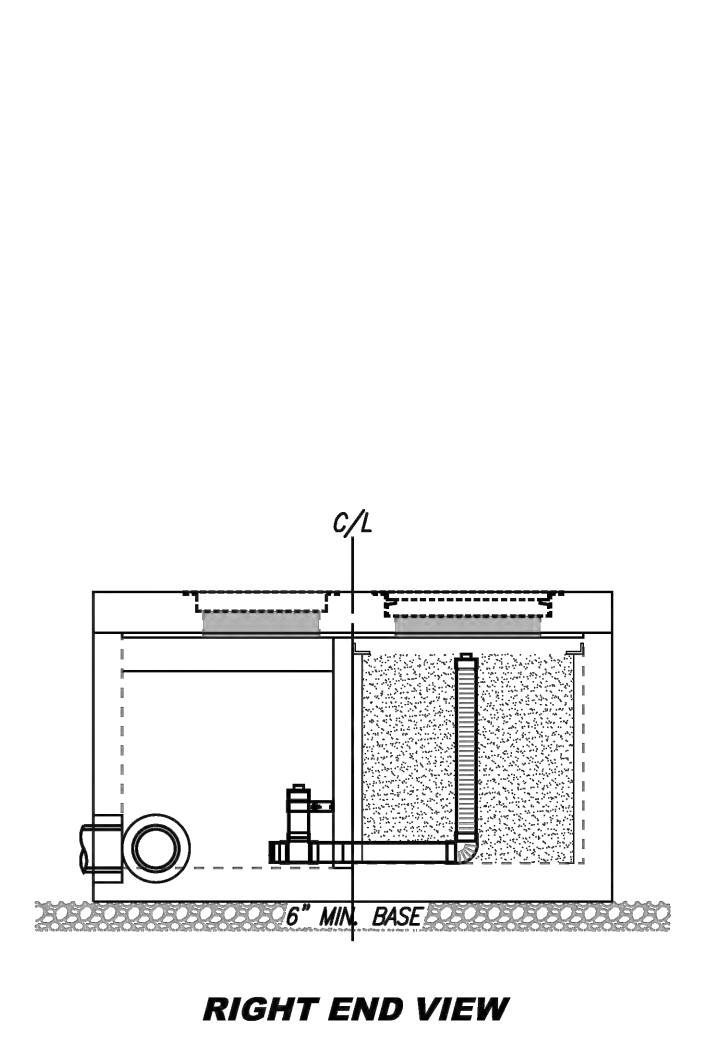
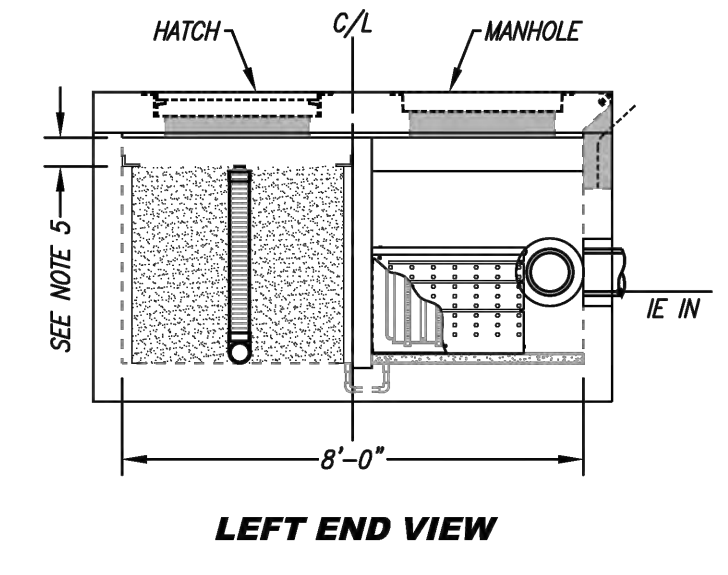
NOTES:
- WALL HEIGHTS VARY PER GRADING PLAN
- WALL FOOTINGS AND BUILDING FOUNDATIONS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT TO SCALE.

- INSTALLATION NOTES**
- CONTRACTOR TO PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND INCIDENTALS REQUIRED TO OFFLOAD AND INSTALL THE SYSTEM AND APPURTENANCES IN ACCORDANCE WITH THIS DRAWING AND THE MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE STATED IN MANUFACTURER'S CONTRACT.
 - UNIT MUST BE INSTALLED ON LEVEL BASE. MANUFACTURER RECOMMENDS A MINIMUM 6" LEVEL ROCK BASE UNLESS SPECIFIED BY THE PROJECT ENGINEER. CONTRACTOR IS RESPONSIBLE FOR VERIFYING PROJECT ENGINEER'S RECOMMENDED BASE SPECIFICATIONS.
 - CONTRACTOR TO SUPPLY AND INSTALL ALL EXTERNAL CONNECTING PIPES. ALL PIPES MUST BE FLUSH WITH INSIDE SURFACE OF CONCRETE (PIPES CANNOT INTRUDE BEYOND FLUSH). INVERT OF OUTFLOW PIPE MUST BE FLUSH WITH DISCHARGE CHAMBER FLOOR. ALL PIPES SHALL BE SEALED WATER TIGHT PER MANUFACTURER'S STANDARD CONNECTION DETAIL.
 - CONTRACTOR RESPONSIBLE FOR CONTACTING CONTECH FOR ACTIVATION OF UNIT. MANUFACTURER'S WARRANTY IS VOID WITHOUT PROPER ACTIVATION BY A CONTECH REPRESENTATIVE. ALTERNATE DEEP FRAME & COVER ORIENTATION USED WHEN CEILING TO MEDIA DISTANCE IS 2.5' OR GREATER.
 - VERTICAL HEIGHT VARIES BASED ON SITE SPECIFIC REQUIREMENTS.

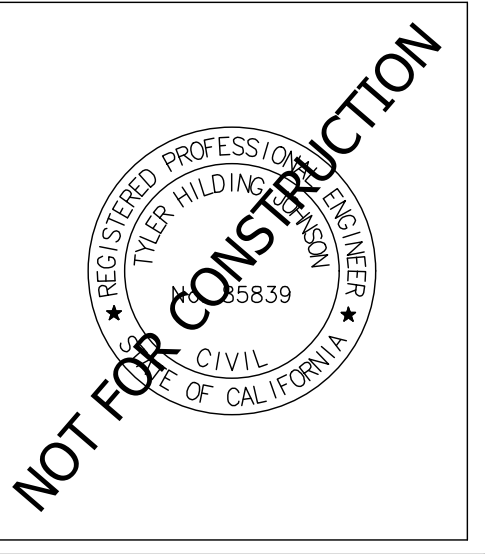
SITE SPECIFIC DATA			
PROJECT NUMBER	23-037		
PROJECT NAME	2 Rovina Lane		
PROJECT LOCATION	Petaluma, CA		
STRUCTURE ID	BMP-1		
TREATMENT REQUIRED			
TREATMENT FLOW (CFS)	0.190		
PRETREATMENT LOADING RATE (GPM/SF)	3.0 GPM/SF		
WETLAND MEDIA LOADING RATE (GPM/SF)	1.0		
PEAK BYPASS REQUIRED (CFS) - IF APPLICABLE	OFFLINE		
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	0.00	HDPE	18"
INLET PIPE 2			
OUTLET PIPE	-1.33'	HDPE	18"
	PRETREATMENT	BIOFILTRATION	DISCHARGE
RIM ELEVATION			
SURFACE LOAD	HS-20		
NOTES:			
* PRELIMINARY ONLY - NOT FOR CONSTRUCTION			



1/4 MODULAR WETLAND SYSTEM
NOT TO SCALE



REGIONAL ACCESSIBILITY MAP
NOT TO SCALE



DATE	REVISIONS	BY

PRELIMINARY IMPROVEMENT PLANS
2 ROVINA LANE
PETALUMA, CA 94952

PRELIMINARY CROSS-SECTIONS & DETAILS

PROJECT NUMBER:	23-027
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SHEET	4 OF 4

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REFERENCE NOTES SCHEDULE

2023-12-06 09:12

SYMBOL	DESCRIPTION
1	BENCH - 6' WITH BACK 'ULINE #H-2294' BEIGE COLOR
2	TRASH RECEPTACLE - 'ULINE TERRACE RECPATACLE #H-1234' BLACK COLOR
3	'U' BICYCLE RACK - 'ULINE I-LOOP #H-2892BL' 3 BIKE CAPACITY, GALVANIZED COLOR. DASHED LINES INDICATE THE 2'X6' ACCESS AREA PER CITY GUIDELINES
4	3-5 YR OLD USER PLAYGROUND EQUIPMENT. DEFERRED SUBMITTAL FOR OWNER APPROVAL
5	CMU RETAINING WALL, SEE CIVIL DWGS,
6	6' HIGH TUBULAR STEEL FENCE. BLACK. SEE ARCH PLANS
7	PICNIC TABLE - 6' RECTANGLE 'ULINE #H-2129' BEIGE COLOR
8	EXISTING TREE TO BE REMOVED, TYP. REFER TO THE ARBORIST REPORT AND CIVIL ENGINEER PLANS. TREE #'S AND SPECIES CORRESPOND TO THE ARBORIST REPORT
9	DOG WASTE SYSTEM DISPENSER - 'ULINE #H-2891' WITH DOG WASTE SYSTEM SIGN #H-5942
10	DECOMPOSED GRANITE DOG RUN AREA
11	PER SP AR APPENDIX C, LANDSCAPE DESIGN STANDARD 28, LANDSCAPING SHALL NOT BE LOCATED WHERE IT WILL BLOCK VISIBILITY AND CREATE TRAFFIC HAZARDS OR SIGHT DISTANCE PROBLEMS (IMPLEMENTING ZONING ORDINANCE CHAPTER 14.030) DEMONSTRATE STREET TREES ARE NOT IN THE 35-FOOT INTERSECTION VISION TRIANGLE PURSUANT TO LDS 28, IZO FIGURE 13.1, AND IZO 14.030.D.
12	4'-0" TALL GUARDRAIL FENCE ON TOP OF RETAINING WALL
13	EXISTING 6' WOOD FENCE ON TOP OF THE RETAINING WALL

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	WATER USE
TREES						
	JUNIPERUS SCOPULORUM 'SKYROCKET'	SKYROCKET JUNIPER	15 GAL		49	LOW
	LAGERSTROEMIA INDICA X FAURIEI 'TUSCARORA'	TUSCARORA CRAPE MYRTLE	15 GAL	STANDARD	6	LOW
	QUERCUS RUBRA	RED OAK	24" BOX		6	LOW
	QUERCUS SUBER	CORK OAK	24" BOX		5	LOW
SHRUBS						
	BERBERIS THUNBERGII 'CRIMSON PYGMY'	CRIMSON PYGMY BARBERRY	5 GAL		5	LOW
	CEANOTHUS X 'JULIA PHELPS'	JULIA PHELPS CALIFORNIA LILAC	5 GAL		1	LOW
	CISTUS X PURPUREUS	ORCHID ROCKROSE	5 GAL		62	LOW
	DODONAEA VISCOSEA 'PURPUREA'	PURPLE LEAFED HOPSEED BUSH	5 GAL		2	LOW
	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	1 GAL		15	LOW
	MAHONIA REPENS	CREEPING MAHONIA	1 GAL		50	LOW
	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	5 GAL		46	LOW
	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM	BRIGHT 'N TIGHT CAROLINA LAUREL	5 GAL		44	LOW
	RHAPHIOLEPIS INDICA 'BALLERINA'	BALLERINA INDIAN HAWTHORN	5 GAL		50	LOW
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	DWARF ROSEMARY	5 GAL		79	VERY LOW
PERENNIALS						
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL		17	LOW
	HEUCHERA SANGUINEA	CORAL BELLS	1 GAL		2	MEDIUM
	SALVIA GREGGII 'DEEP RED'	AUTUMN SAGE	1 GAL		13	LOW
	TULBAGHIA VIOLACEA 'VARIEGATA'	STRIPED CAPE GARLIC	1 GAL		19	LOW
VINES						
	FICUS PUMILA	CREEPING FIG	5 GAL	STAKED	21	MEDIUM
	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	5 GAL		1	MEDIUM

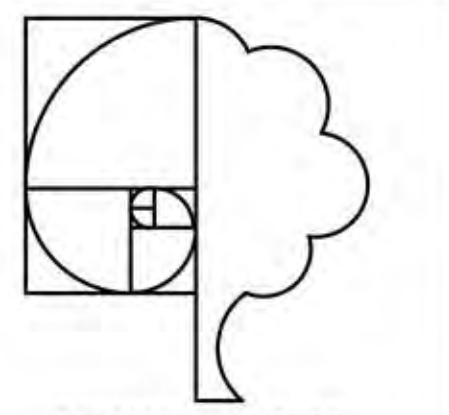
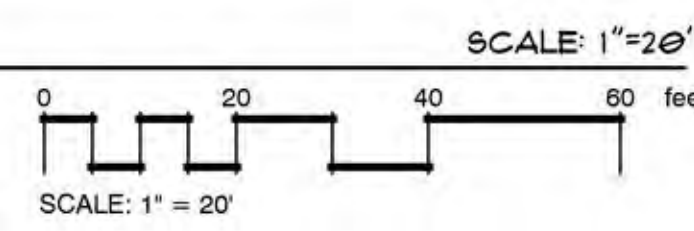
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	WATER USE
	DECOMPOSED GRANITE	4" DEPTH	---			593 SF	
	SHRUB & GROUND COVER	PLANTING AREA	5 GAL		48" O.C.	8,014 SF	
	TURF ARTIFICIAL SYNLAWN FALL ZONE	SYNTHETIC TURF FALL ZONE	---			525 SF	

PER SPAR APPENDIX C, LANDSCAPE DESIGN STANDARD 31, EACH PROJECT SHALL PROVIDE AT LEAST ONE ON-SITE TREE FOR EACH 500 SQUARE FEET OF OPEN SPACE AND AT LEAST ONE TREE FOR EACH 4 OFF STREET UNCOVERED PARKING STALLS. THOSE TREES REQUIRED, DUE TO THE AMOUNT OF OPEN SPACE, SHALL BE PLANTED IN THE REMAINDER OF THE SITE. OPEN SPACE, FOR THIS PURPOSE HAS BEEN DETERMINED TO INCLUDE ALL OPEN SPACE AREAS EXISTING ON-SITE, BUT EXCLUDES PARKING OR DRIVE AISLES. PROJECT TREE REQUIREMENT CALCULATION AND TABULATE THE NUMBER OF TREES PROPOSED TO DEMONSTRATE COMPLIANCE WITH THIS STANDARD.

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LANDSCAPE MASTER PLAN



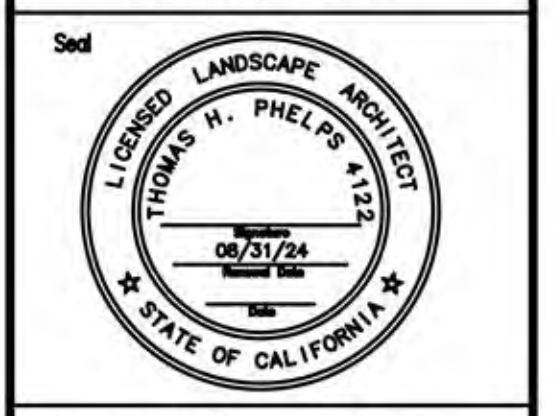
THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
AZ #76633

P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

THE PACIFIC COMPANIES
LANDSCAPE IMPROVEMENT PLANS
2 ROVINA LANE
PETALUMA, CALIFORNIA

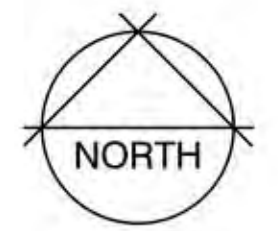
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Sheet Title
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No.	Date	Revision
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Drawn By: THP
Scale: 1"=20'
Date: 12/6/2023
File Name: 20-031_DL21 sheets



SHEET ISSUANCE

REFERENCE NOTES SCHEDULE

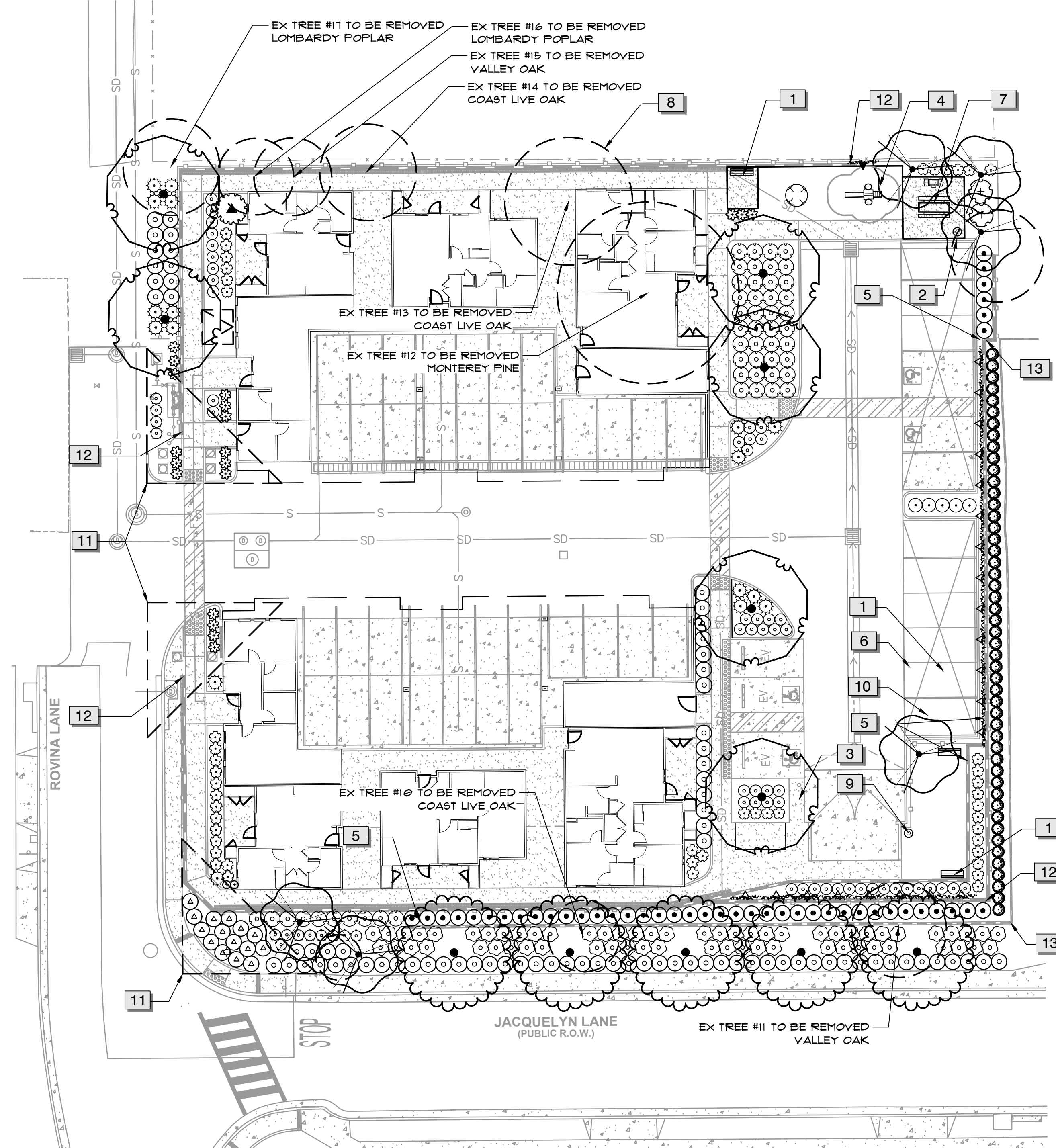
SYMBOL	DESCRIPTION
1	BENCH - 6' WITH BACK 'ULINE #H-2294' BEIGE COLOR
2	TRASH RECEPTACLE - 'ULINE TERRACE RECPATACLE #H-1234' BLACK COLOR
3	'U' BICYCLE RACK - 'ULINE I-LOOP #H-2892BL' 3 BIKE CAPACITY, GALVANIZED COLOR. DASHED LINES INDICATE THE 2'X6' ACCESS AREA PER CITY GUIDELINES
4	3-5 YR OLD USER PLAYGROUND EQUIPMENT. DEFERRED SUBMITTAL FOR OWNER APPROVAL
5	CMU RETAINING WALL, SEE CIVIL DWGS,
6	6' HIGH TUBULAR STEEL FENCE. BLACK. SEE ARCH PLANS
7	PICNIC TABLE - 6' RECTANGLE 'ULINE #H-2128' BEIGE COLOR
8	EXISTING TREE TO BE REMOVED, TYP. REFER TO THE ARBORIST REPORT AND CIVIL ENGINEER PLANS. TREE #'S AND SPECIES CORRESPOND TO THE ARBORIST REPORT
9	DOG WASTE SYSTEM DISPENSER - 'ULINE #H-2891' WITH DOG WASTE SYSTEM SIGN #H-5942
10	DECOMPOSED GRANITE DOG RUN AREA
11	PER SP AR APPENDIX C, LANDSCAPE DESIGN STANDARD 28, LANDSCAPING SHALL NOT BE LOCATED WHERE IT WILL BLOCK VISIBILITY AND CREATE TRAFFIC HAZARDS OR SIGHT DISTANCE PROBLEMS (IMPLEMENTING ZONING ORDINANCE CHAPTER 14.030) DEMONSTRATE STREET TREES ARE NOT IN THE 35-FOOT INTERSECTION VISION TRIANGLE PURSUANT TO LDC 28, IZO FIGURE 13.1, AND IZO 14.030.D.
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PLANT SCHEDULE

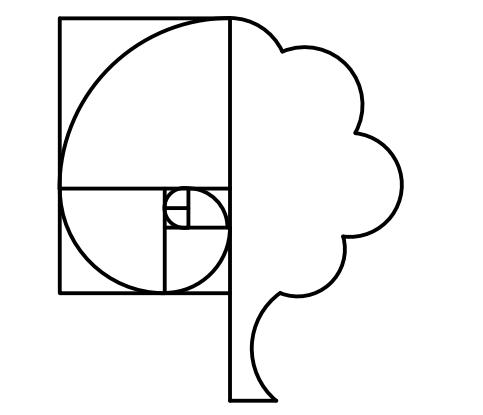
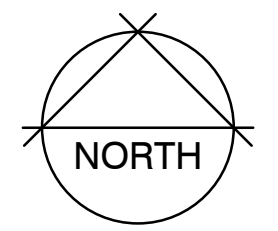
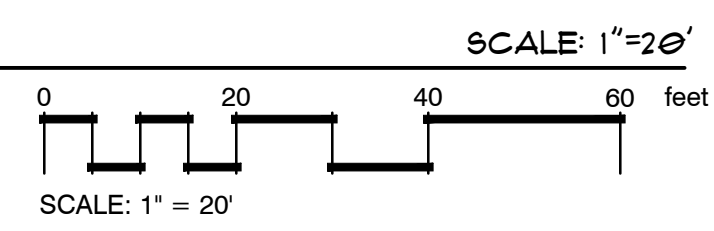
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PERENNIALS						
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL		11	LOW
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	SALVIA GREGGII 'DEEP RED'	AUTUMN SAGE	1 GAL		13	LOW
	TULBAGHIA VIOLACEA 'VARIEGATA'	STRIPED CAPE GARLIC	1 GAL		19	LOW
VINES						
	FICUS PUMILA	CREEPING FIG	5 GAL	STAKED	21	MEDIUM
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SHRUB AREAS						
	DECOMPOSED GRANITE	4" DEPTH	---		593 SF	
	SHRUB & GROUND COVER	PLANTING AREA	5 GAL	48" O.C.	8,014 SF	
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LANDSCAPE MASTER PLAN



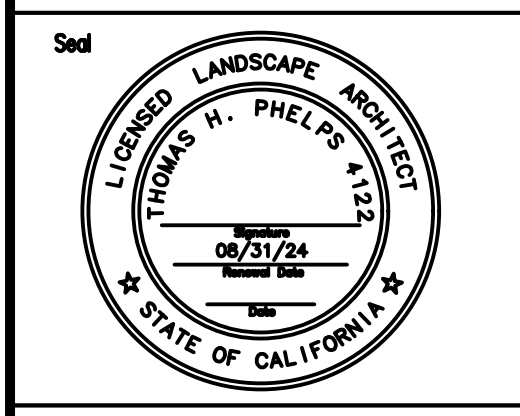
THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
ID #LA-16771 * HI #LA-16112
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P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

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PETALUMA, CALIFORNIA

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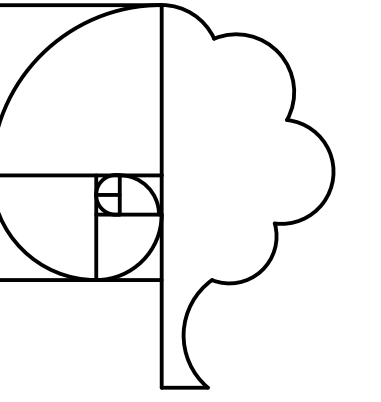


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Drawn By: THP
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Date: 12/6/2023

Sheet No.: 1
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LANDSCAPE ARCHITECTURE
IDLA, INC.
California Landscape Architect #4122
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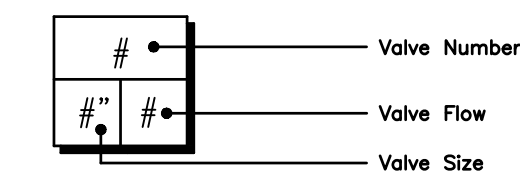
P.O. BOX 170129
Boise, Idaho 83717
thp@idlainc.net
(208) 906-1300

IRRIGATION:

THE LANDSCAPE WILL BE IRRIGATED WITH A FULLY AUTOMATIC SYSTEM THAT CONFORMS TO THE STATE WATER EFFICIENT LANDSCAPE ORDINANCE (WELO). POINT SOURCE IRRIGATION WILL BE THE PRIMARY MEANS TO IRRIGATE PLANT MATERIAL. CONTROL OF THE SYSTEM WILL BE WITH A 'SMART' WEATHER BASED SYSTEM UTILIZING WEATHER AND SITE SPECIFIC DATA TO CONSERVE WATER WITH STATE OF THE ART EFFICIENCY. A DEDICATED SUB METER WILL SEPARATE THE IRRIGATION WATER USE FROM THE POTABLE SUPPLY. A MASTER VALVE AND FLOW SENSOR WILL BE INCLUDED TO CONTROL WATER FLOW AND TO SHUT THE SYSTEM OFF DURING A HIGH OR LOW EVENT.

IRRIGATION SCHEDULE

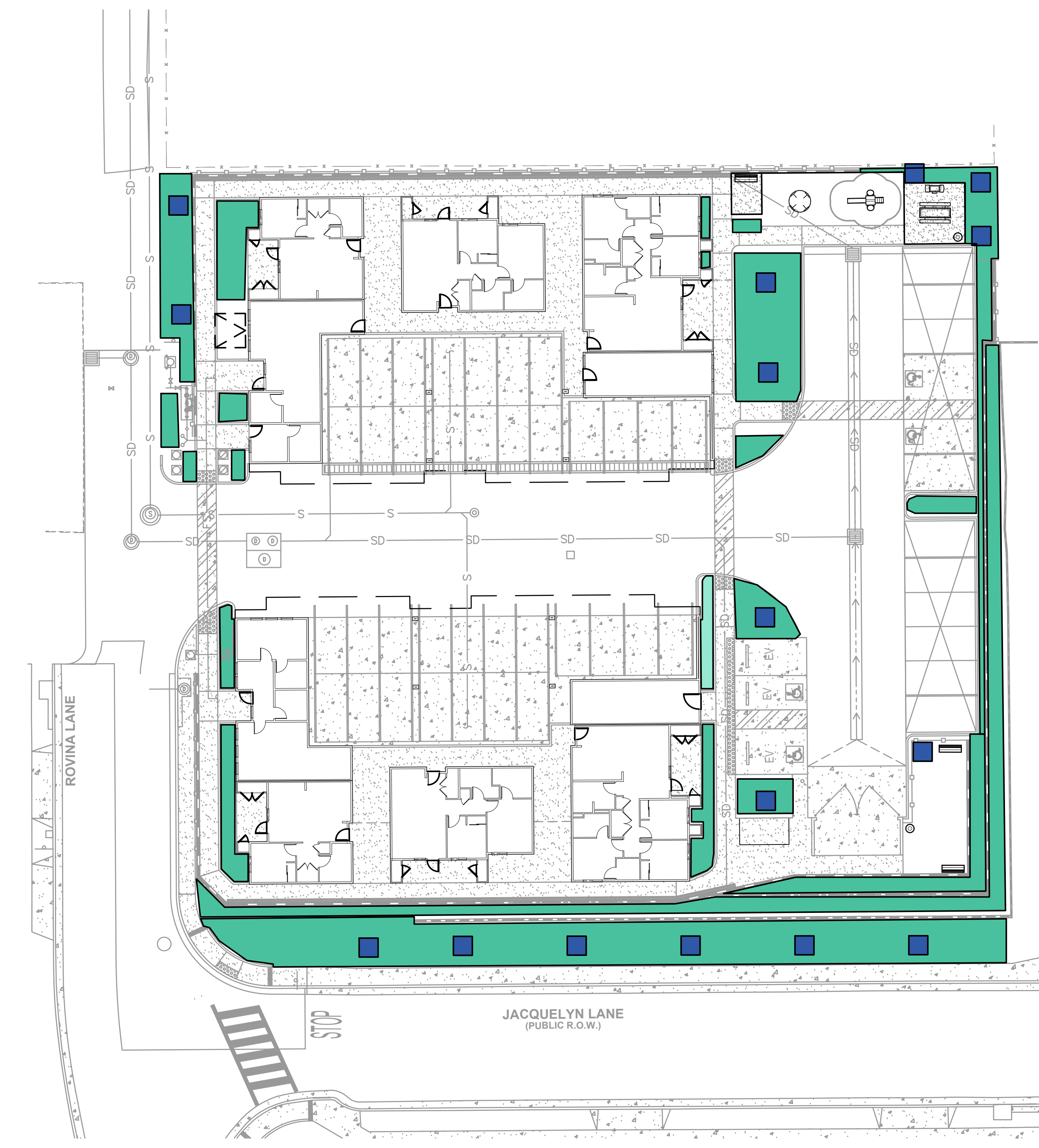
SYMBOL	DESCRIPTION	QTY	PRECIP	PSI	GPM	COST	TOTAL
	LOW - SHRUB DRIFLINE @ 3 GPH @ 18" O.C. DRIFLINE WITH @ 90 GPH EMITTERS AT 18" O.C., ROW SPACING AT 18" O.C. LOW WATER USE PLANTINGS	6,910 S.F.	0.64 IN/H	25	46		
	MED - SHRUB DRIFLINE @ 3 GPH @ 18" O.C. DRIFLINE WITH @ 90 GPH EMITTERS AT 18" O.C., ROW SPACING AT 18" O.C.	90.2 S.F.	0.64 IN/H	25	1		
	TREE BUBBLERS TWO ROOT WATERING ZONES DEEP ROOT IRRIGATION BUBBLERS AT EACH TREE. MEDIUM & LOW WATER USE	400 S.F.	1 IN/H	30	4		



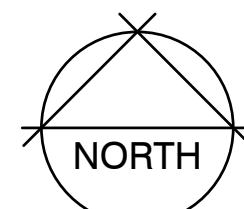
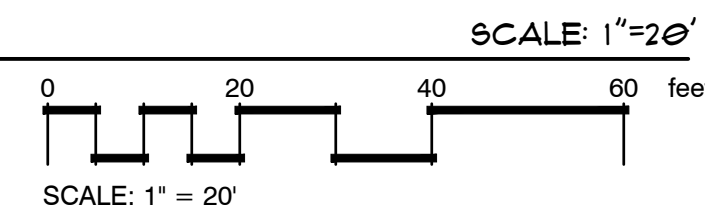
MWELo WATER USE CALCULATIONS

Job Name: Rovina Lane, Petaluma CA
Date: 09/1/23

California Water Efficient Landscape Worksheet											
Reference Evapotranspiration (ET _a)	39.6		Project Type	Residential		0.55					
Rain Fall (Inches)	0		Usable Rain Fall (Inches)	0							
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^c	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d	Gallons Per Minute GPM	% Landscape Area		
Zone# Regular Landscape Areas											
1 SHRUB-L	0.2	Drip	0.81	0.25	6,534	1613	39611	43.00	70.42%		
2 SHRUB-M	0.4	Drip	0.81	0.49	944	466	11445	6.00	10.17%		
3 TREE - M	0.4	Drip	0.81	0.49	1,800	889	21824	9.00	19.40%		
					Totals	9278	2968	72880	58.00	100.00%	
					Totals	0	0	0			
							ETWU Total	72880			
							Maximum Allowed Water Allowance (MAWA) ^e	125286			
ETAF Calculations											
Regular Landscape Areas					Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.		ETWU GALLONS		72880		
Total ETAF x Area					2968		MAWA GALLONS		125286		
Total Area					9278		% ETWU OF MAWA		0.58		
Average ETAF					0.30		PASS:		YES		
All Landscape Areas											
Total ETAF x Area					2968						
Total Area					9278						
Average ETAF					0.30						



SCHEMATIC IRRIGATION HYDROZONE PLAN

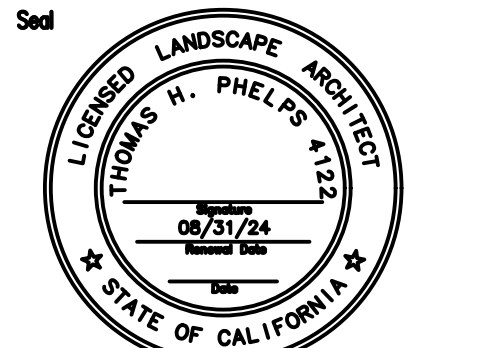


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Date: 12/6/2023
File Name: 20-031_D121 sheets

Sheet No.: L2

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