SPAR APPLICATION
09/08/2023

SPAR - INDEX OF DRAWINGS

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SPAR-1.5	SITE LANDSCAPE PLAN - LEVEL 01	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-4.2	ARCHITECTURAL - HOTEL ENTRY	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-4.4	ARCHITECTURAL - ENTRY CANOPY DETAILS	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-5.2	ARCHITECTURAL - RENDERINGS	08 SEPTEMBER 2023	24 JUNE 2022
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SPAR-3.11	ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 01	08 SEPTEMBER 2023	24 JUNE 2022
SPAR-6.0	PHOTOMETRIC PLAN - SITE	08 SEPTEMBER 2023	24 JUNE 2022
SPAR-6.1	PHOTOMETRIC PLAN - ROOF	08 SEPTEMBER 2023	24 JUNE 2022
Grand total: 39			

PROJECT INFORMATION

PROJECT ADDRESS: 2 PETALUMA BLVD NORTH
PETALUMA, CALIFORNIA

OCCUPANCY TYPE: A-2 RESTAURANTS
R-1 HOTEL GUESTROOMS
S-2 PARKING

APN:

CONSTRUCTION TYPE: I-A

NUMBER OF STORIES: FIVE STORIES ABOVE GRADE, ONE ROOFTOP, ONE STORY BELOW GRADE.

BUILDING HEIGHT ABOVE GRADE: 55' 5" (TOP OF ROOF PAVER)

SITE AREA: 14,256.54 SF

FAR: 4.78

PROJECT AREA:

	Gross	Net
Basement	13,100	
Parking		9174
Storage		1286
MEP		1082
Ground Floor	12,727	
Restaurant		2308
outdoor seating		901
Kitchen		1832
MEP		1142
trash		176
Hotel		1460
boh		3213
Level 2	12,117	
Guest		6860
Fitness		1283
Balc		508
Terrace		898
Admin		1050
Level 3	12,117	
Guest		9323
Balc		508
Level 4	12,117	
Guest		9323
Balc		508
Level 5	11,502	
Guest		8700
Balc		988
Level 6	4,220	
Event		1372
Pantry		967
Terrace		5514

Total Above Grade Gross (shafts not removed)	64,800
Land area	14,256
FAR	4.55
Site coverage	100%
Keys	93
Building Height (max to top of event roof from ave grade)	67'-10"

EKN Appellation Hotel

2 Petaluma Blvd South
Petaluma, California

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949 238 4900

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20109
703 520 1885

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213 694 3408

CIVIL
N CONSULTENG
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Irvine, CA
92614
949 396 1161

INTERIOR
SIXTEEN-FIFTY
7509 Girard Ave.
La Jolla, CA
92037
858 454 6909

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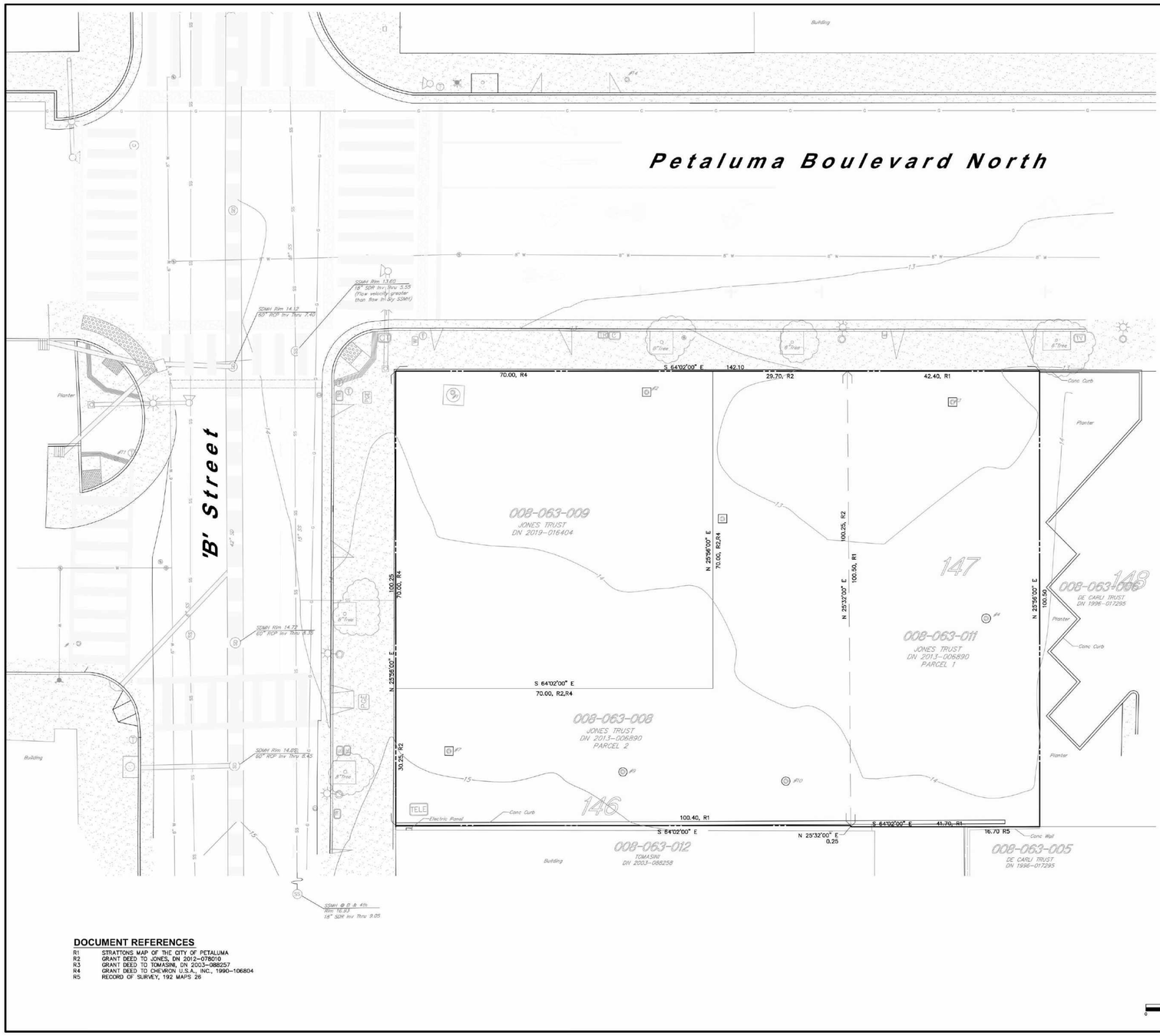

NOTES

1. TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY STEVEN J. LAFRANCHI & ASSOCIATES, INC. IN JANUARY 2013 AND FEBRUARY 2022..
2. VERTICAL DATUM: FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932". ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A COVERSION FACTOR OF −2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.
3. HORIZONTAL DATUM: 192 MAPS 26, SCR.
4. TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS. BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
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6. BOUNDARY INFORMATION SHOWN IS BASED UPON FIELD TIES AND RECORD INFORMATION. IT IS NOT THE INTENT OF THIS MAP TO PROVIDE A BOUNDARY RESOLUTION FOR THE SUBJECT PROPERTY. SAID RESOLUTION WOULD REQUIRE A RECORD OF SURVEY UNDER STATE LAW. BOUNDARY INFORMATION SHOWN IS FOR PLANNING PURPOSES ONLY.
7. NO TITLE REPORT WAS REVIEWED IN CONJUNCTION WITH THIS MAPPING. IT IS RECOMMENDED THAT A TITLE REPORT BE RECEIVED FROM THE OWNER TO VERIFY THE EXISTENCE OF ANY ADDITIONAL EASEMENTS OF RECORD OR LOT LINE ADJUSTMENTS THAT MAY HAVE ALTERED THE INFORMATION SHOWN HEREON PRIOR TO ANY DESIGN AND/OR CONSTRUCTION.
8. UNDERGROUND UTILITIES WERE PLOTTED USING SURFACE EVIDENCE AND RECORD INFORMATION. RECORD INFORMATION WAS DERIVED FROM CITY OF PETALUMA UTILITY MAPPING AS SHOWN ON PAGE G-09. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES MAY NOT BE LOCATED AS SHOWN HEREON. IT IS RECOMMENDED THAT AN UNDERGROUND UTILITY LOCATION COMPANY MARKS THE UTILITIES PRIOR TO ANY CONSTRUCTION. ONLY BY POTHOLING FOR EXISTING UTILITIES CAN THEIR LOCATION BE KNOWN.
9. THIS MAP IS PROVIDED IN AN DIGITAL FORMAT (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE DIGITAL FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS DIGITAL FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE DIGITAL FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE DIGITAL FILE, OR FOR ANY PRODUCTS DERIVED FROM THE DIGITAL FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.
10. MONITORING WELL INFORMATION PER FIELD TIES AND DRAWING BY CONESTOGA-ROVERS AND ASSOCIATES, DATED JANUARY 4, 2013

LEGEND

- PROPERTY BOUNDARY
- FENCE, WOOD
- STORM DRAIN
- SS — SANITARY SEWER
- 6" — 6" WATER SERVICE
- 8" — 8" WATER SERVICE
- DRIPLINE, APPROXIMATE
- R1 — DOCUMENT REFERENCE
- N XX°XX'XX" E XXX.XX' R1 — HELD RECORD BEARING OR DISTANCE
- CONCRETE
- MONITORING WELL, WITH NUMBER, SEE NOTE 10
- UTILITY BOX, AS NOTED, SEE ABBREVIATIONS
- TRASH RECEPTACLE
- STREET LIGHT
- TRAFFIC SIGNAL

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
C	COMMUNICATIONS
CONC	CONCRETE
CT	CALTRANS COMMUNICATION
D	DETECTOR
E/ELEC	ELECTRIC
EV	ELECTRICAL VAULT
SCR	SONOMA COUNTY RECORDS
SD	STORM DRAIN
SL	STREET LIGHT
SS	SANITARY SEWER
TR	TRAFFIC
W	WATER

DOCUMENT REFERENCES

R1	STRATTONS MAP OF THE CITY OF PETALUMA
R2	GRANT DEED TO JONES, DN 2012-078010
R3	GRANT DEED TO TOMASINI, DN 2003-088257
R4	GRANT DEED TO CHEVRON U.S.A., INC., 1990-106804
R5	RECORD OF SURVEY, 192 MAPS 26

REVISIONS	BY

TOPOGRAPHIC MAP

LANDS OF JONES TRUST AND CHEVRON USA, INC.
2 PETALUMA BOULEVARD NORTH APN 008-063-008, -009
PETALUMA CALIFORNIA

STEVEN J. LAFRANCHI & ASSOCIATES, INC.
CIVIL ENGINEERS ~ LAND SURVEYORS ~ LAND PLANNERS
PETALUMA THEATRE SQUARE
140 SECOND STREET, SUITE 312
PETALUMA, CALIFORNIA 94952
(707) 762-3122 FAX (707) 762-3239

DATE: 2022.05.25
SCALE: 1"=10'
DESIGN:
DRAWN: EJM DJB
CHECK: SJL
JOB: EKN Dev
JOB No: 222288
SHEET 1 OF 1 SHEETS

PROFESSIONAL LAND SURVEYOR STEVEN J. LAFRANCHI 5368 STATE OF CALIFORNIA

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858 454 6909

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N CONSULTING ENGINEERS
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Irvine, CA
92614
949 369 1161

EKN Petaluma LLC

EKN APPELLATION HOTEL

2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE

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ARCHITECTURAL - SURVEY

DRAWN BY: Author	CHECKED BY: Checker
PROJECT NUMBER: 621010	PROJECT ABBREVIATION: PH
ORIGINAL ISSUE: SPAR APPLICATION	DATE: 08 SEPTEMBER 2023

SPAR-1.0

SHEET NUMBER

FILE PATH:
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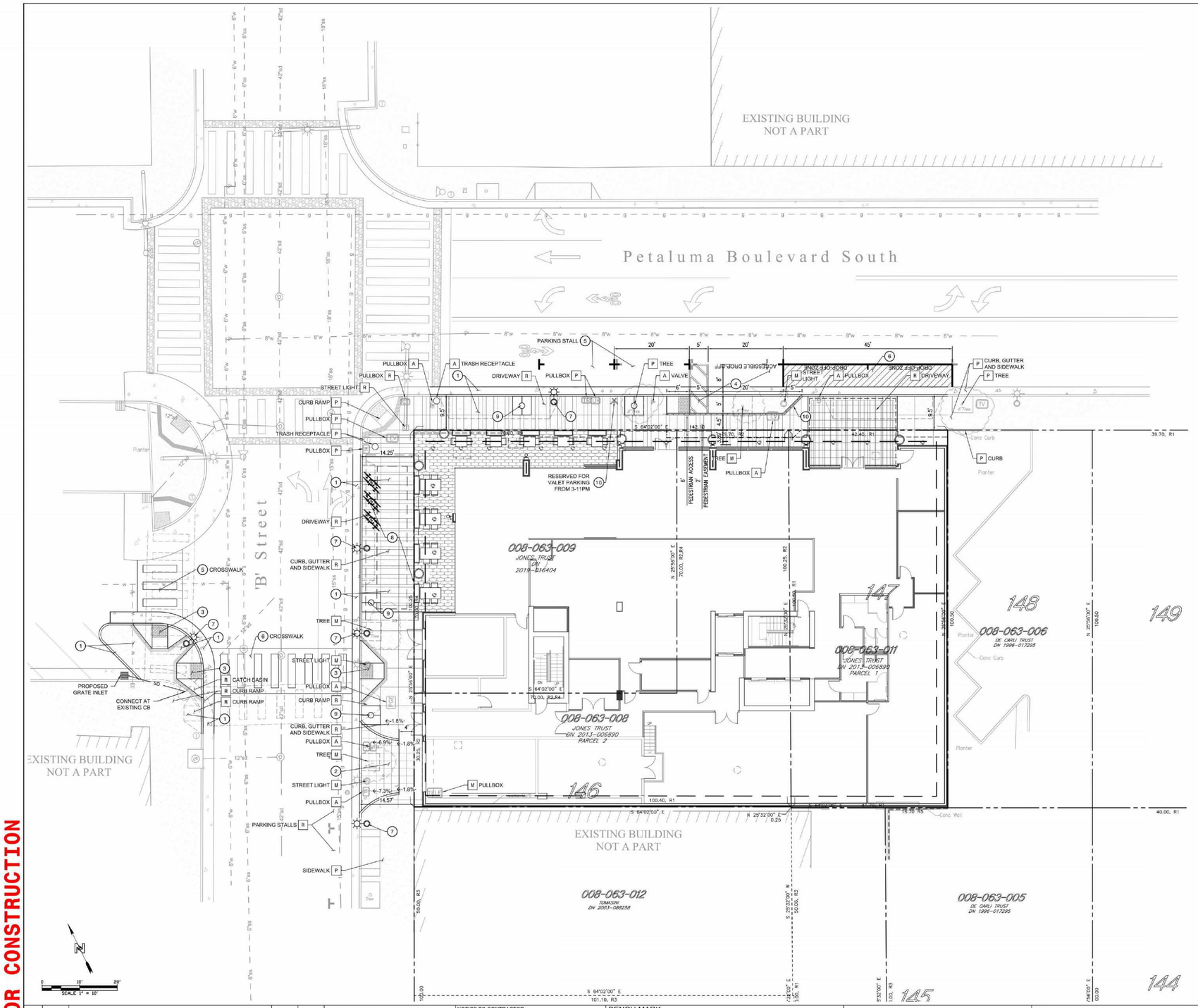

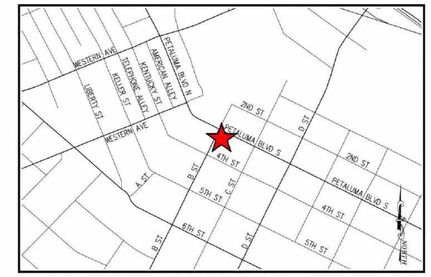

VICINITY MAP

SCALE: 1" = 500'

PROJECT TEAM

OWNER / DEVELOPER

EKN DEVELOPMENT GROUP
220 NEWPORT CENTER DRIVE, SUITE 11-262
NEWPORT BEACH, CA 92660
CONTACT: MIKE JOLLY
PHONE: 310.776.0921

ARCHITECT

PAGE SOUTHERLAND PAGE, INC
414 JACKSON STREET, 4TH FLOOR
SAN FRANCISCO, CA 94111
CONTACT: SAM GELFAND
PHONE: 415.249.0130

CIVIL ENGINEER

N CONSULTING ENGINEERS, INC.
4 PARK PLAZA, SUITE 1750
IRVINE, CA 92614
CONTACT: DEREK KARIMOTO P.E., QSD
PHONE: 714.514.8858

LANDSCAPE ARCHITECT

BRIGHTVIEW
8 HUGHES, STE. 150
IRVINE, CA 92614
CONTACT: MATT DUNCAN
PHONE: 949.396.1161

STRUCTURAL

BUEHLER
444 FLOWER ST 3600
LOS ANGELES, CA 90071
CONTACT:
PHONE: 323.536.2362

MEP

INTERFACE ENGINEERING, INC
601 SOUTH FIGUEROA STREET, SUITE 2750
LOS ANGELES, CA 90017
CONTACT: EUGENE DE SOUZA
PHONE: 213.694.3408

PROJECT DATA

APN(S)	008-063-008, 008-063-009, 008-063-011
ADDRESS	2 PETALUMA BLVD S, PETALUMA, CA 94952
ZONING DESIGNATION	MIXED USE 2 (MU2)
OVERLAY DISTRICT(S)	PARKING ASSESSMENT DISTRICT, THEATER DISTRICT, HISTORIC COMBINING DISTRICT
EXISTING LAND USE	ROUGH GRADED SITE - VACANT LOT
AREA	14,256 SF 0.327 ACRES

DEMOLITION NOTES

A	ADJUST TO GRADE.	EA
M	MOVE OR RELOCATE.	EA
P	PROTECT IN PLACE.	EA
R	REMOVE AND DISPOSE OF OFF-SITE.	EA

CONSTRUCTION NOTES

1	CONSTRUCT CURB, GUTTER AND SIDEWALK PER CITY OF PETALUMA STANDARD DETAILS 202 AND 203. SEE LANDSCAPE PLAN FOR PATTERN AND COLOR.	LF
2	CONSTRUCT DRIVEWAY PER CITY OF PETALUMA STANDARD DETAIL 203.	EA
3	CONSTRUCT CURB RAMP "CASE A" PER CALTRANS STANDARD PLAN A88A.	EA
4	CONSTRUCT ACCESSIBLE DROP-OFF PER CALTRANS STANDARD PLAN A90B.	EA
5	STRIPE IN-KIND.	LF
6	PAINT 4" WIDE WHITE PAINTED STRIPE (TWO COATS) 45° @ 3' O.C., TYP. STENCIL "DROP-OFF ZONE" IN 12" HIGH LETTERING.	LF
7	INSTALL RELOCATED STREET LIGHT PER CITY OF PETALUMA STANDARD DETAIL 611.	EA
8	INSTALL STORM WATER DETENTION SYSTEM.	EA
9	CONSTRUCT TREE WELL PER LANDSCAPE PLANS.	EA
10	INSTALL HANDRAIL.	LF
11	INSTALL SIGN POST AND SIGNAGE.	EA

LEGEND

- PROPERTY LINE
- EXCAVATION LIMITS
- SAWCUT LINE
- EXISTING GAS
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING WATER
- PEDESTRIAN EASEMENT

EARTHWORK:

CUT:	7136	C.Y.
FILL:	0	C.Y.
IMPORT:	0	C.Y.
EXPORT:	7136	C.Y.

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR IS INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS.

NO.	DATE	REVISION DESCRIPTION	BY	DATE

DIGALERT
DIAL TOLL FREE 811 AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

NOTICE TO CONTRACTOR:

1. THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. N CONSULTING ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF N CONSULTING.

BENCH MARK
FOUND 3" BRASS DISK SET IN THE TOP OF A SANDSTONE WALL AT THE FOURTH STREET POST OFFICE, 0.3' ABOVE THE GROUND, STAMPED "12.045 JJ 107 1932", ELEVATION=15.20', NAVD88 DATUM (PER NGS DATASHEET). A CONVERSION FACTOR OF -2.795 SHOULD BE USED TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATION.

BASIS OF BEARINGS
192 MAPS 26, SCR.

N CONSULTING ENGINEERS
4 Park Plaza, Suite 1750
Irvine, CA 92614
PHONE: 949.396.1161
www.nconsulteng.com

REGISTERED PROFESSIONAL ENGINEER No. 42356 Exp. 3/31/24 CIVIL STATE OF CALIFORNIA
DEREK H. KARIMOTO 2022-08-26 DATE

PROJECT ADDRESS: 2 PETALUMA BLVD PETALUMA, CA 94952
CLIENT: EKN DEVELOPMENT GROUP 220 NEWPORT CENTER DRIVE, SUITE 11-262 NEWPORT BEACH, CA 92660
ISSUE: SPAR APPLICATION SUBMITTAL - 2022-08-26
SITE: EKN PETALUMA HOTEL
TITLE: CONCEPTUAL SITE PLAN

DRAWN:	SCALE AT D:	DATE:	PROJECT NO:
S.S.	1" = 10'	8/26/2022	21-002
CHECKED:	REV:	COUNT:	SHEET:
D.H.K.	----	1 OF 1 SHEETS	SPAR C1

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92614
949 369 1161

EKN Petaluma LLC

EKN APPELLATION HOTEL

2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE

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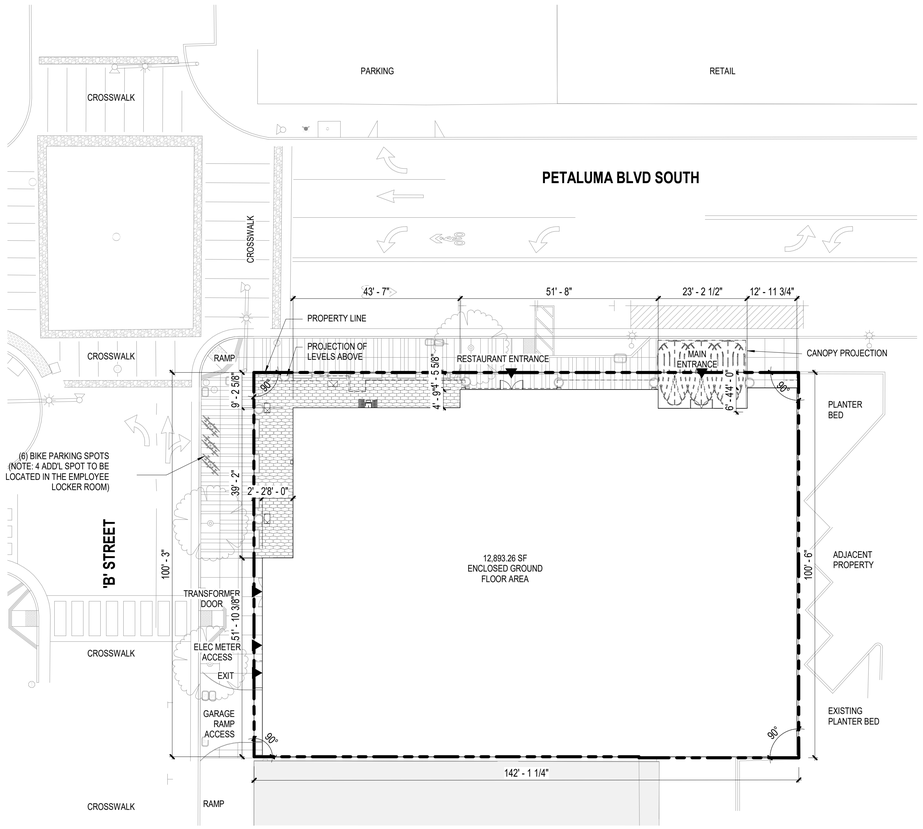
CIVIL - CONCEPTUAL SITE PLAN

DRAWN BY	CHECKED BY
Author	Checker
PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	08 SEPTEMBER 2023

SPAR-1.1

SHEET NUMBER



2 ARCHITECTURAL - SITE
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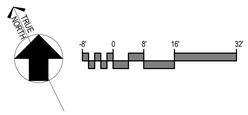
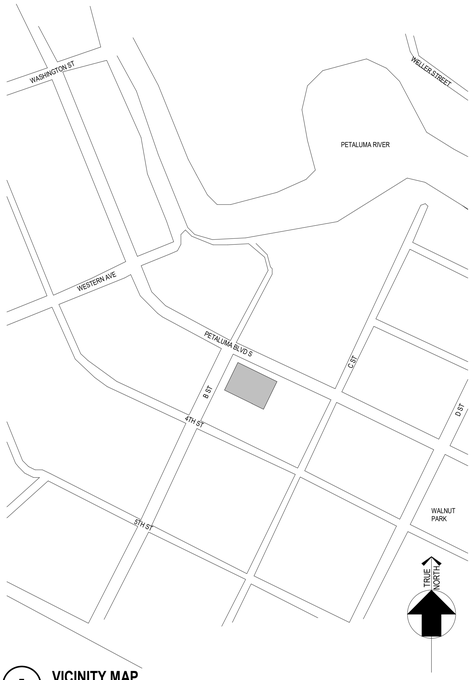
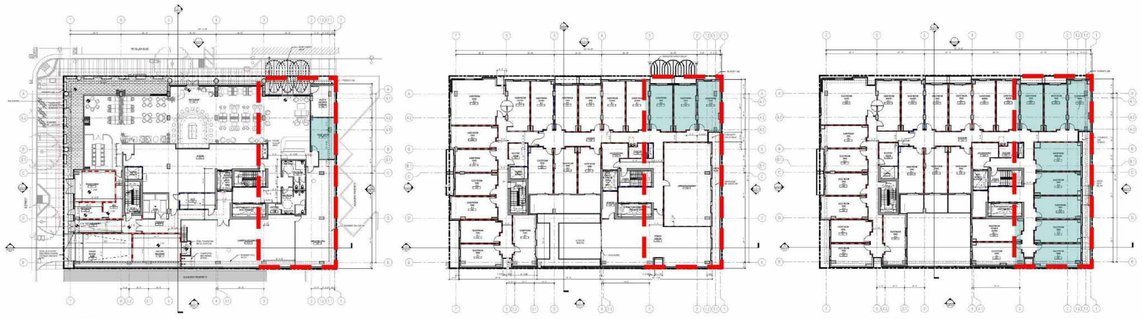




5 VICINITY MAP
SCALE: 1" = 200'-0"

3 SITE - PHOTOS
SCALE: 1" = 160'-0"

PROGRAM OUTSIDE OF PARKING DISTRICT:

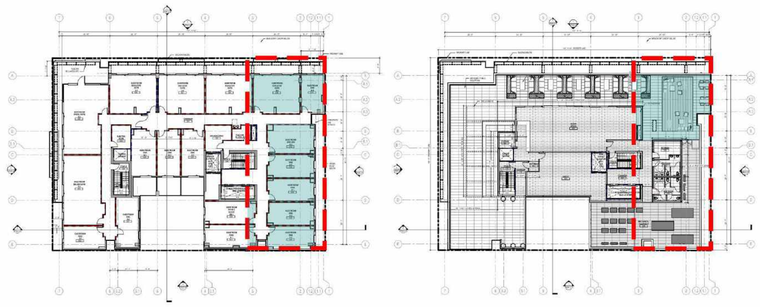


LEVEL 1:
HOTEL LOBBY - No parking required for this use under Table 11.1
HOTEL BOH - No parking required for these uses under Table 11.1
(1) Parking space required for manager per Table 11.1

LEVEL 2:
Hotel admin - No parking required for this use under Table 11.1
Hotel gym - No parking required for this use under Table 11.1
(4) Guest room outside of parking district = (4) parking spaces required

LEVEL 3:
(11) Guest room outside of parking district = (11) parking spaces required

LEVEL 4:
(11) Guest room outside of parking district = (11) parking spaces required



LEVEL 5:
(10) Guest room outside of parking district = (10) parking spaces required

LEVEL 6:
(25) Bar seats (1 space/2.5 seats) = (10) spaces
92 sf of event space (1 space/60sf) = (1) space

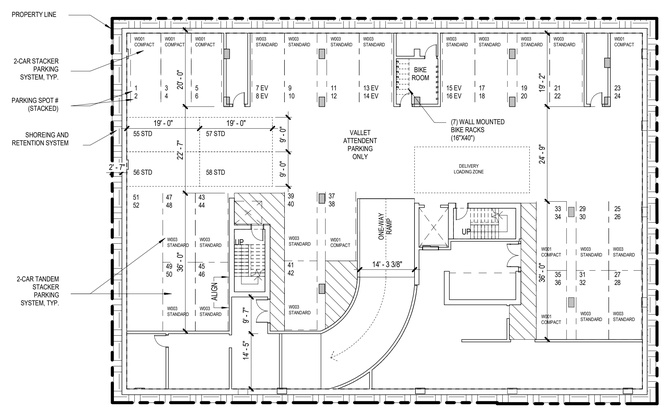
PARKING TABULATIONS:

Parking requirements per Table 11.1 for program outside of Parking District
(no parking required for program inside of district)

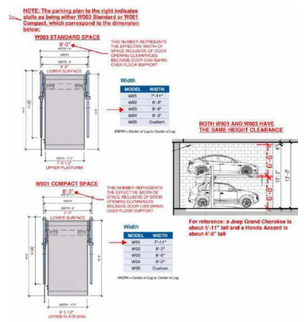
LEVEL 1: 1
LEVEL 2: 4
LEVEL 3: 11
LEVEL 4: 11
LEVEL 5: 11
LEVEL 6: 11

49 Spaces required
58 spaces provided (14 compact)

PARKING ASSESMENT BOUNDRY CALCULATION:



RE. A15 FOR SECTION



1 PARKING SUMMARY
SCALE: 1/16" = 1'-0"

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EKN APPELLATION HOTEL
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Petaluma, California

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ARCHITECTURAL - SITE PLAN

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-1.2
SHEET NUMBER

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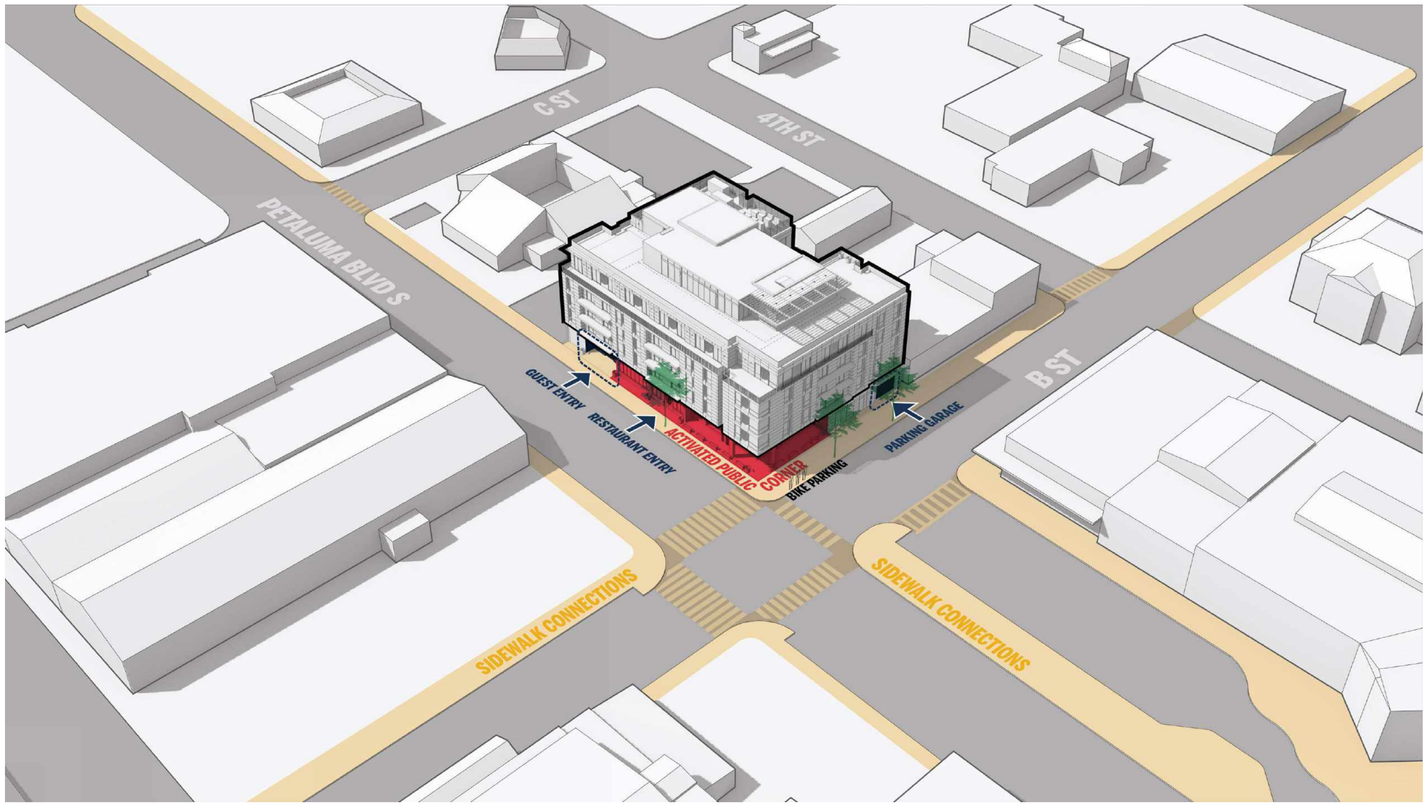
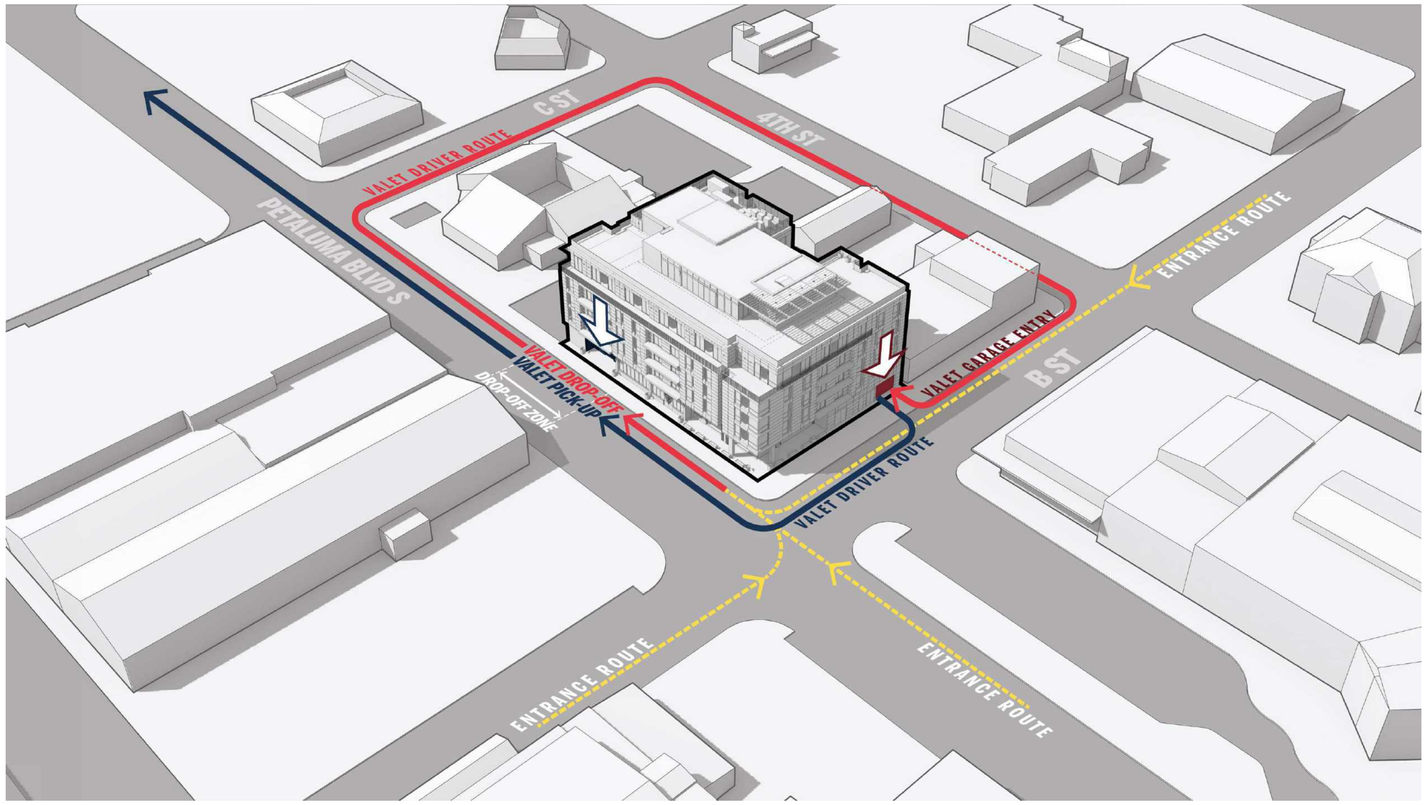


PUBLIC ENTRY



PARKING VALET CIRCULATION

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SITE DIAGRAMS

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C.I.P. CONCRETE PAVEMENT
MATERIAL: CAST-IN-PLACE CONCRETE
COLOR: STANDARD GREY
FINISH: TOPCAST #05 "SANDBLAST"
JOINT: SAWCUT

CONCRETE PAVER - TYPE 1
MATERIAL: PRECAST CONCRETE, MORTAR SET
SIZE: 24" X 6" X 12" (DIAMOND)
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST

CONCRETE PAVER - TYPE 2
MATERIAL: PRECAST CONCRETE, MORTAR SET
SIZE: WIDTHS 6"/12"/24", LENGTHS 48"/60"
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST

"Forms+Surfaces Bike Rack Skoly"

CONCRETE PAVER - TYPE 3
MATERIAL: PRECAST CONCRETE, MORTAR SET
SIZE: 24" X 24"
COLOR/FINISH: ARTISTIC PATTERN, TBD

FREESTANDING PLANTER - TYPE 1
MATERIAL: METAL
SIZE: WIDTHS 18"/24"/30", HEIGHTS 18"/24"
COLOR: POWDERCOAT METALLIC
FINISH: STANDARD

FREESTANDING PLANTER - TYPE 2
MATERIAL: FIBERGLASS
SIZE: 2.5' DIA X 3' HT
COLOR: METALLIC MATCH COLOR
FINISH: SMOOTH

TREE GRATE
MATERIAL: METAL
SIZE: 5' X 5'
COLOR: NATURAL
FINISH: BAKED ON OIL FINISH

BIKE RACK
MATERIAL: METAL
COLOR: POWDERCOAT METALLIC
FINISH: STANDARD
MOUNTING: EMBEDDED

"Forms+Surfaces Bike Rack Skoly"

0' 5' 10'
SCALE: 1" = 5'-0"

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ORIGINAL ISSUE: SPAR APPLICATION	DATE: 08 SEPTEMBER 2023

SPAR-1.4
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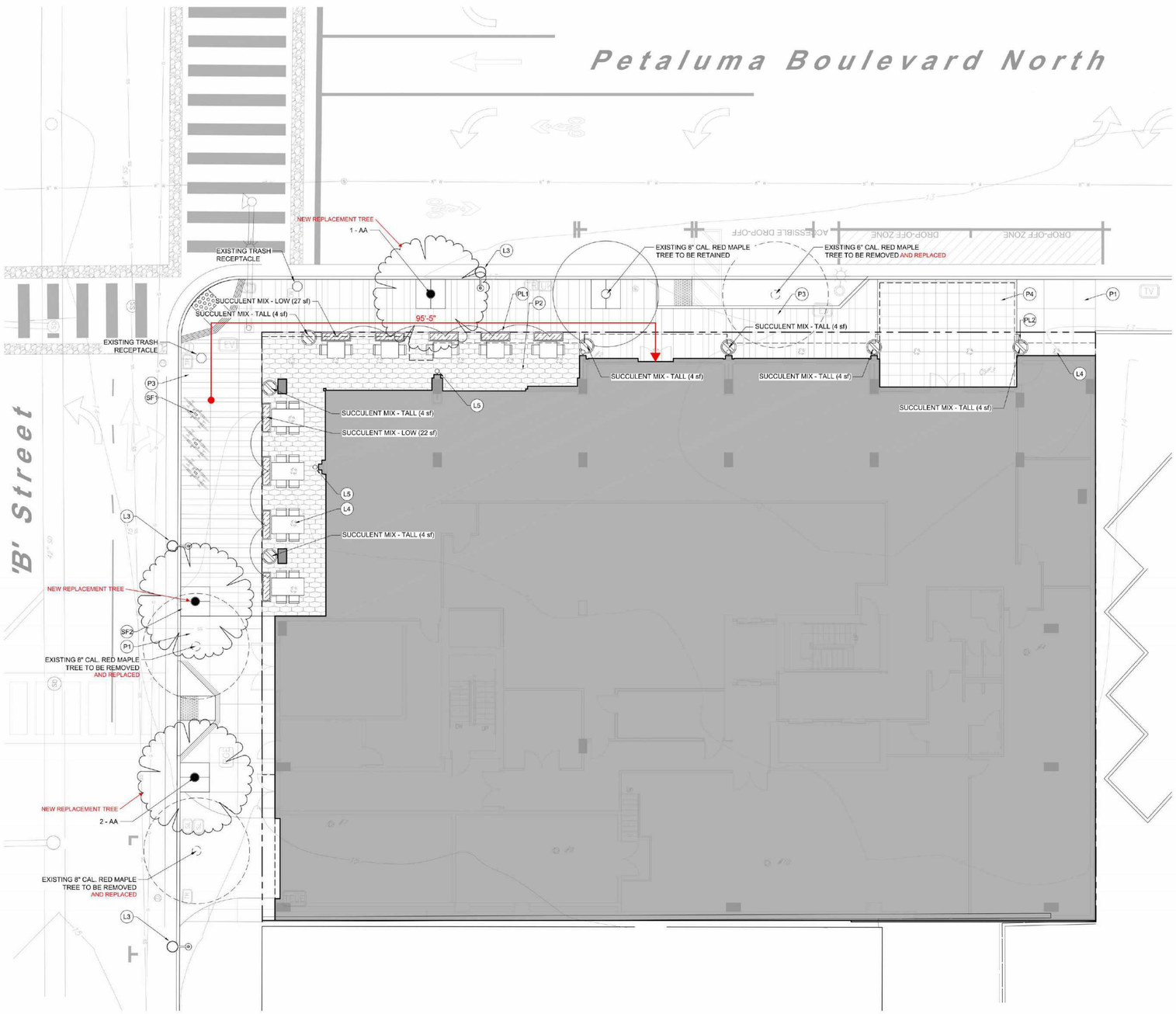


SITE LANDSCAPE PLAN - LEVEL 01

0' 4' 8' 16'
SCALE: 1/8" = 1'-0"

NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
5. ALL LANDSCAPED AREAS AND PLANT MATERIALS TO BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. IRRIGATION SYSTEM DESIGN, INSTALLATION, OPERATION AND MAINTENANCE TO CONFORM TO REQUIREMENTS FOUND IN THE MUNICIPAL CODE CHAPTER 15.17 - WATER CONSERVATION REGULATIONS.
6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 60 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP'S) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES. THE PLAN SET SHALL:
   1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
   2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE ISNTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTINGS AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM. IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P1	C.I.P. CONCRETE PAVEMENT
P2	PRECAST CONCRETE PAVER - TYPE 1 (ACCENT, DIAMOND, MORTAR SET)
P3	PRECAST CONCRETE PAVER - TYPE 2 (FIELD, RECTANGULAR, MORTAR SET)
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, MORTAR SET)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
SITE FURNISHINGS	
SF1	BIKE RACK "Form+Surface Bike Rack Study" (METAL, 2 BICYCLES)
SF2	TREE GRATE (METAL, 5' X 5')
SITE LIGHTING	
L3	STREET/PEDESTRIAN LIGHT
L4	DOWNLIGHT
L5	WALL SCONCE

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto) 39.60 — Private - POC 1 — Non-Residential

Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,394
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86		-	-
			1	0.00	-	-	-
Regular Landscape Area Totals:					1,523	604	
Special Landscape Area							
			1			-	-
			1			-	-
			1			-	-
Special Landscape Area Totals:					0	0	
						ETWU Total:	**14,819**
Maximum Allowed Water Allowance (MAWA)							
Over All Landscape Area Totals:					1,523	**MAWA Total:**	**16,827**

[2] *Hydrozone #/ Planting Description*
E.g
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[3] *Irrigation Method*
overhead spray
or drip

[4] *Irrigation Efficiency*
0.75 for spray
0.81 for drip

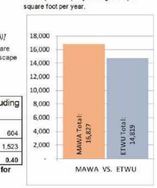
[5] MAWA (Annual Gallons Allowed) = *(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]*
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45

[6] ETWU (Annual Gallons Required) = *Eto x 0.62 x ETAF x Area*
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.

ETAF Calculations

Regular Landscape Area		All Landscape Area (Including special landscape area)	
Total ETAF x Area	604	Total ETAF x Area	604
Total Area	1,523	Total Area	1,523
Average ETAF	**0.40**	**Sitewide ETAF**	**0.40**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	AA	3	ACER RUBRUM 'ARMSTRONG' ARMSTRONG RED MAPLE	36" BOX	MED

SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		45 SF	SUCCULENT MIX - LOW			
	ADE	8	AEONIUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	10	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	10	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	38	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	5	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	8	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
		28 SF	SUCCULENT MIX - TALL			
	ABG	6	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	21	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	21	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.

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SITE LANDSCAPE PLAN - LEVEL 01

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Author	Checker
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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-1.5
SHEET NUMBER

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0' 4' 8' 16'
SCALE: 1/8" = 1'-0"

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6. ALL LANDSCAPING SHALL BE MAINTAINED IN HEALTHY GROWING CONDITION BY THE PERMIT HOLDER FOR A PERIOD OF 90 DAYS AFTER RECEIVING AN OCCUPANCY PERMIT. SUCH MAINTENANCE SHALL INCLUDE, WHERE APPROPRIATE, PRUNING, MOWING, WEEDING, CLEANING OF DEBRIS AND TRASH, FERTILIZING AND REGULAR WATERING. WHENEVER NECESSARY, PLANTING SHALL BE REPLACED WITH OTHER PLANT MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE LANDSCAPING REQUIREMENTS. REQUIRED IRRIGATION SYSTEMS SHALL BE FULLY MAINTAINED IN SOUND OPERATING CONDITION WITH HEADS PERIODICALLY CLEANED AND REPLACED WHEN MISSING TO ENSURE CONTINUED REGULAR WATERING OF LANDSCAPE AREAS, AND HEALTH AND VITALITY OF LANDSCAPE MATERIALS.
7. HERBICIDES/PESTICIDES SHALL NOT BE APPLIED IN AREAS USED BY PEDESTRIANS/BICYCLISTS WITHIN THE PROJECT WITHOUT FIRST PROVIDING APPROPRIATE SIGNS WARNING OF THE USE OF CHEMICALS. THE PROJECT SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMPS) REGARDING PESTICIDE/HERBICIDE USE AND AS WELL AS INTEGRATED PEST MANAGEMENT TECHNIQUES FOR THE PROTECTION OF BICYCLISTS AND PEDESTRIANS.
8. ALL TREE STAKES AND TIES SHALL BE REMOVED WITHIN ONE YEAR FOLLOWING INSTALLATION OR AS SOON AS TREES ARE ABLE TO STAND ERECT WITHOUT SUPPORT.
9. PRIOR TO PUBLIC IMPROVEMENT PLAN APPROVAL, REGARDING STREET TREES, THE PLAN SET SHALL:
   1) PROVIDE STRUCTURAL SOILS WITHIN ALL TREE WELLS, AND UNDER THE SIDEWALKS FOR A SIX-FOOT MINIMUM DISTANCE BEYOND ANY TREE WELL, FOR A 24-INCH MINIMUM DEPTH, AND FOR A LENGTH OF AT LEAST 8 FEET CENTERED ON EACH STREET TREE; AND
   2) NOTE IRRIGATION, WALK-ON MULCH, AND ROOT BARRIERS WHERE APPROPRIATE.

IRRIGATION SYSTEM INTENT

THE PRIMARY GOAL OF THE DESIGN OF THE IRRIGATION SYSTEM IS FOR A SYSTEM THAT WILL IRRIGATE THE PLANT MATERIALS WITH FOCUS ON WATER CONSERVATION TECHNOLOGIES AND SYSTEM EFFICIENCY TO GIVE THE OWNER A SYSTEM THAT MINIMIZES WATER CONSUMPTION AND MINIMAL MAINTENANCE COST. WHILE STILL PRELIMINARY IN NATURE AND AS YET NOT DESIGNED, THE SYSTEM WILL BE DESIGNED PER CITY OF PETALUMA STANDARDS AND REGULATIONS AND WILL FEATURE THE FOLLOWING:

1. POINT OF CONNECTION IS EXPECTED TO BE FROM A CITY WATER MAINLINE LOCATED IN EITHER PETALUMA BOULEVARD OR B STREET, WITH A PIPING INFRASTRUCTURE THAT WILL BE DESIGNED TO SUPPLY WATER TO ALL PLANTING AREAS THAT WILL REQUIRE IRRIGATION.
2. THE AUTOMATIC IRRIGATION CONTROLLER WILL BE AN ET BASED CENTRAL CONTROL SYSTEM THAT WILL UTILIZE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
3. PRESSURE REGULATORS WILL BE INSTALLED TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE ISNTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
6. FLOW SENSORS WILL BE INSTALLED, TO ALLOW DETECTION OF HIGH FLOW CONDITIONS CREATED BY SYSTEM DAMAGE OR MALFUNCTIONS.
7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
9. ALL PLANTINGS AREAS LOCATED WITHIN ABOVE GRADE PLANTERS AT BOTH THE STREET LEVEL AND THE AMENITY DECKS WILL BE IRRIGATED WITH A SUB-SURFACE DRIP SYSTEM. TREES LOCATED WITHIN THESE PLANTERS MAY ALSO FEATURE A BUBBLE OR DRIP TREE-RING SYSTEM, IF NECESSARY TO SUPPLEMENT WATER TO THE TREES.
10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P5	PRECAST CONCRETE PAVER - TYPE 4 (FIELD, SQUARE, MORTAR SET)
P6	SYNTHETIC TURF OVER BASE TILE (MORTAR SET)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL3	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
L1	BOLLARD

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto) 39.60 — Private - POC 1 — Non-Residential

Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,394
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86		-	-
			1	0.00	-	-	-
Regular Landscape Area Totals:					1,523	604	
Special Landscape Area							
				1		-	-
				1		-	-
				1		-	-
Special Landscape Area Totals:					0	0	
						ETWU Total:	**14,819**
Maximum Allowed Water Allowance (MAWA)							
Over All Landscape Area Totals:					1,523	**MAWA Total:**	**16,827**

[a] Hydrozone # / Planting Description
E.g.
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[b] Irrigation Method
overhead spray
or drip

[c] Irrigation Efficiency
0.75 for spray
0.81 for drip

[d] ETWU (Annual Gallons Required) =
Eto x 0.62 x ETAF x Area
where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.

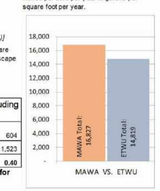
[e] MAWA (Annual Gallons Allowed) = *(Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]*

where 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45

ETAF Calculations

Regular Landscape Area		All Landscape Area (Including special landscape area)	
Total ETAF x Area	604	Total ETAF x Area	604
Total Area	1,523	Total Area	1,523
Average ETAF	**0.40**	**Sitewide ETAF**	**0.40**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	CO	10	CERCIS OCCIDENTALIS WESTERN REDBUD	15 GAL.	V LOW

SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		372 SF	PLANTER MIX			
	AYG	20	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW	20% @ 24" o.c.
	KUV	20	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW	20% @ 24" o.c.
	PDD	9	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW	20% @ 36" o.c.
	PTW	9	PITTOSPORUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	5 GAL	LOW	20% @ 36" o.c.
	WFR	9	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW	20% @ 36" o.c.
		351 SF	GREEN ROOF - SEDUM MIX			

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N CONSULTING ENGINEERS
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Irvine, CA
92614
949 369 1161

EKN Petaluma LLC

EKN APPELLATION HOTEL

2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE

PROFESSIONAL SEALS

INTERIM REVIEW

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF * choose ARCHITECT or ENGINEER *** from list in Family Types IT IS NOT TO BE USED FOR REGULATORY APPROVAL, BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.**

SITE LANDSCAPE PLAN - LEVEL 02

DRAWN BY	CHECKED BY
Author	Checker
PROJECT NUMBER 621010	PROJECT ABBREVIATION PH
ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-1.6

SHEET NUMBER

FILE PATH: Autodesk Docs://621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt
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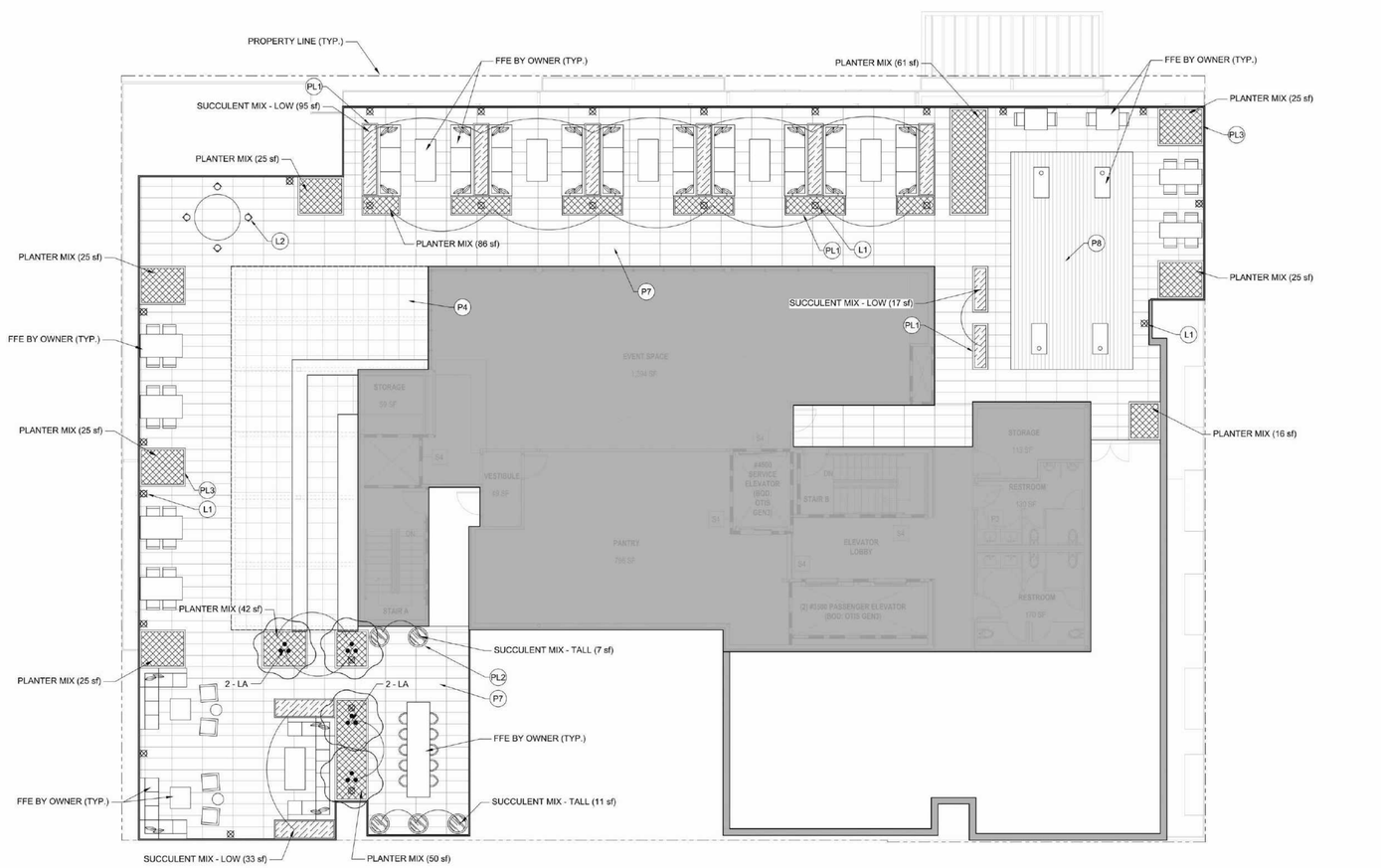
DATE STAMP: 9/8/2023 5:11:40 PM



NOTES

1. ALL PLANT MATERIALS TO BE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
2. ALL PLANT SIZES NOTED ON THE PLANT SCHEDULE ARE MINIMUM SPECIFICATIONS, AND ARE TO BE INCREASED IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
3. ALL LANDSCAPED AREAS TO RECEIVE ORGANIC SOIL PREPARATION WITH COMPOST AT THE RATE OF 4 CU. YD. / 1,000 SF AND INCORPORATED TO A DEPTH OF SIX INCHES. SOIL AMENDMENTS TO BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE REQUIRED SOILS REPORT AND AS APPROPRIATE FOR THE SPECIFIC PLANTS SPECIFIED.
4. A MINIMUM THREE-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR AS NOTED ON PLANS.
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4. MANUAL SHUT-OFF VALVES WILL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION, TO MINIMIZE WATER LOSS IN CASE OF AN EMERGENCY, SUCH AS A MAINLINE BREAK, OR ROUTINE REPAIR.
5. A BACKFLOW PREVENTION DEVICE WILL BE ISNTALLED TO PROTECT THE WATER SUPPLY FROM CONTAMINATION BY THE IRRIGATION SYSTEM.
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7. ALL IRRIGATION EMISSION DEVICES WILL MEET THE REQUIREMENTS PER ANSI STANDARD ASABE/ICC 802-2014 "LANDSCAPE IRRIGATION SPRINKLER AND EMITTER STANDARD".
8. THE DESIGN OF THE IRRIGATION SYSTEM WILL UTILIZE HYDROZONES PER THE LANDSCAPE PLAN.
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10. TREES LOCATED AT THE STREET EDGE WITHIN TREE GRATES WILL BE IRRIGATED WITH EITHER A BUBBLE OR DRIP TREE-RING SYSTEM.

SITE LEGEND (THIS SHEET)

CODE	DESCRIPTION
PAVING	
P4	PRECAST CONCRETE PAVER - TYPE 3 (ACCENT, SQUARE, ON PEDESTAL)
P7	PRECAST CONCRETE PAVER - TYPE 5 (FIELD, RECTANGULAR, ON PEDESTAL)
P8	WOOD TILE PAVER (ACCENT, RECTANGULAR, ON PEDESTAL)
PLANTERS	
PL1	FREESTANDING PLANTER - TYPE 1 (METAL, RECTANGULAR)
PL2	FREESTANDING PLANTER - TYPE 2 (FIBERGLASS, ROUND)
PL3	BUILT-IN PLANTER (METAL, RECTANGULAR)
SITE LIGHTING	
L1	BOLLARD
L2	UPLIGHT

PRELIMINARY WATER CALCULATIONS

Reference Evapotranspiration (Eto) 39.60 — Private - POC 1 — Non-Residential

Hydrozone # / Planting descriptions	Plant Factor (PF)	Irrigation Methhod	Irrigation Efficency (IE)	ETAF (PF/IE)	Landscape Area (Sq.Ft.)	ETAF x Area	Estimated Total Water Use (ETWU)
Regular Landscape Area							
LOW	0.3	Drip	0.81	0.37	1,363	505	12,394
MEDIUM	0.5	Drip	0.81	0.62	160	99	2,425
HIGH	0.7	Drip	0.81	0.86		-	-
			1	0.00	-	-	-
Regular Landscape Area Totals:					1,523	604	
Special Landscape Area							
			1			-	-
			1			-	-
			1			-	-
Special Landscape Area Totals:					0	0	
						ETWU Total:	**14,819**
Maximum Allowed Water Allowance (MAWA)							
Over All Landscape Area Totals:					1,523	**MAWA Total:**	**16,827**

[a] *Hydrozone # / Planting Description*
E.g
1.) front lawn
2.) low water use plantings
3.) medium water use planting

[b] *Irrigation Method*
overhead spray
or drip

[c] *Irrigation Efficiency*
0.75 for spray
0.81 for drip

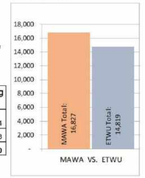
[d] ***MAWA (Annual Gallons Allowed)*** *= (Eto) x (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]*
w here 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year, LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 or residential areas and 0.45

[e] ***ETWU (Annual Gallons Required)*** *= Eto x 0.62 x ETAF x Area*
w here 0.62 is a conversion factor that acre-inches per acre per year to gallons per square foot per year.

ETAF Calculations

Regular Landscape Area		All Landscape Area (Including special landscape area)	
Total ETAF x Area	604	Total ETAF x Area	604
Total Area	1,523	Total Area	1,523
Average ETAF	**0.40**	**Sitewide ETAF**	**0.40**

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.



PLANT SCHEDULE (THIS SHEET)

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE
	LA	4	LUMA APICULATA CHILEAN MYRTLE	15 GAL.	MED

SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WATER USE	SPACING
		144 SF	SUCCULENT MIX - LOW			
	ADE	23	AEONIUM DECORUM PINWHEEL	1 GAL	LOW	15% @ 12" o.c.
	CPE	30	CRASSULA PERFORATA STRING-OF-BUTTONS	1 GAL	LOW	20% @ 12" o.c.
	DPU	30	DUDLEYA PULVERULENTA CHALK LETTUCE	1 GAL	LOW	20% @ 12" o.c.
	STE	120	SEMPERVIVUM TECTORUM HEN-AND-CHICKS	1 GAL	LOW	20% @ 6" o.c.
	SRO	15	SENECIO ROWLEYANUS STRING OF BEADS	1 GAL	LOW	10% @ 12" o.c.
	SSE	23	SENECIO SERPENS BLUE CHALKSTICKS	1 GAL	LOW	15% @ 12" o.c.
		20 SF	SUCCULENT MIX - TALL			
	ABG	5	AGAVE X 'BLUE GLOW' BLUE GLOW AGAVE	1 GAL	LOW	20% @ 12" o.c.
	SMA	15	SENECIO MANDRALISCAE BLUE FINGERS	1 GAL	LOW	40% @ 9" o.c.
	SRA	15	SENECIO RADICANS STRING OF BANANAS	1 GAL	LOW	40% @ 9" o.c.
		403 SF	PLANTER MIX			
	AYG	21	ANIGOZANTHOS X 'YELLOW GEM' YELLOW GEM KANGAROO PAW	1 GAL	LOW	20% @ 24" o.c.
	KUV	21	KNIPHOFIA UVARIA RED HOT POKER	1 GAL	LOW	20% @ 24" o.c.
	PDD	10	PHORMIUM X 'DARK DELIGHT' DARK DELIGHT PURPLE FLAX	5 GAL	LOW	20% @ 36" o.c.
	PTW	10	PITTOSPORUM TOBIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	5 GAL	LOW	20% @ 36" o.c.
	WFR	10	WESTRINGIA FRUTICOSA 'WES05' TM MUNDI COAST ROSEMARY	5 GAL	LOW	20% @ 36" o.c.

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949 369 1161

EKN Petaluma LLC

EKN APPELLATION HOTEL

2 Petaluma Blvd South
Petaluma, California

REVISION HISTORY

REVISION	DESCRIPTION	DATE

PROFESSIONAL SEALS

INTERIM REVIEW

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SITE LANDSCAPE PLAN - LEVEL 06

DRAWN BY	CHECKED BY
Author	Checker
PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	08 SEPTEMBER 2023

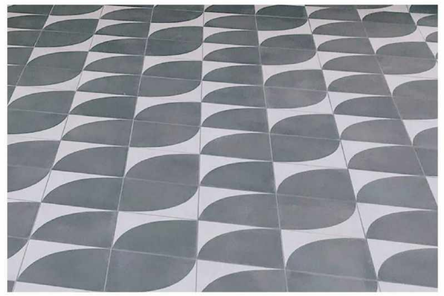
SPAR-1.7

SHEET NUMBER

FILE PATH: Autodesk Docs://621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt
USER NAME:
DATE STAMP: 9/8/2023 5:11:44 PM

SF1 BIKE RACK
MATERIAL: METAL
COLOR: POWDERCOAT METALLIC
FINISH: STANDARD
MOUNTING: EMBEDDED

P8 WOOD TILE PAVER
MATERIAL: WOOD, PEDESTAL SET
SIZE: 24" X 96"
COLOR/FINISH: STANDARD COLOR RANGE



P4 CONCRETE PAVER - TYPE 3
MATERIAL: PRECAST CONCRETE, MORTAR/ PEDESTAL SET
SIZE: 24" X 24"
COLOR/FINISH: ARTISTIC PATTERN, TBD

PL3 BUILT-IN PLANTER
MATERIAL: METAL
SIZE: 36" HT
COLOR: POWDERCOAT METALLIC
FINISH: STANDARD

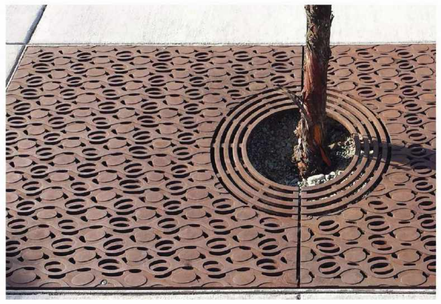
P7 CONCRETE PAVER - TYPE 5
MATERIAL: PRECAST CONCRETE, PEDESTAL SET
SIZE: 18" X 48"
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST

P3 CONCRETE PAVER - TYPE 2
MATERIAL: PRECAST CONCRETE, MORTAR SET
SIZE: WIDTHS 6"/12"/24", LENGTHS 48"/60"
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST

PL2 FREESTANDING PLANTER - TYPE 2
MATERIAL: FIBERGLASS
SIZE: 2.5' DIA X 3' HT
COLOR: METALLIC MATCH COLOR
FINISH: SMOOTH

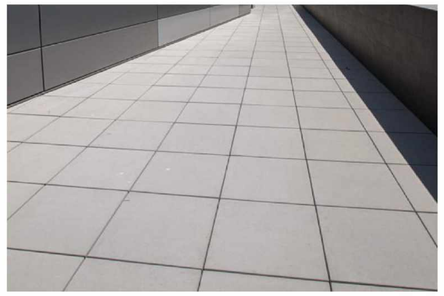
P6 SYNTHETIC TURF OVER TILE
MATERIAL: SYN TURF, PEDESTAL SET
SIZE: 24" X 24"
COLOR/FINISH: STANDARD COLOR RANGE

P2 CONCRETE PAVER - TYPE 1
MATERIAL: PRECAST CONCRETE, MORTAR SET
SIZE: 24" X 6" X 12" (DIAMOND)
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST



SF2 TREE GRATE
MATERIAL: METAL
SIZE: 5' X 5'
COLOR: NATURAL
FINISH: BAKED ON OIL FINISH

PL1 FREESTANDING PLANTER - TYPE 1
MATERIAL: METAL
SIZE: WIDTHS 18"/24"/30", HEIGHTS 18"/24"
COLOR: POWDERCOAT METALLIC
FINISH: STANDARD



P5 CONCRETE PAVER - TYPE 4
MATERIAL: PRECAST CONCRETE, PEDESTAL SET
SIZE: 24" X 24"
COLOR/FINISH: LIGHT BUFF/TAN, SANDBLAST

P1 C.I.P. CONCRETE PAVEMENT
MATERIAL: CAST-IN-PLACE CONCRETE
COLOR: STANDARD GREY
FINISH: TOPCAST #05 "SANDBLAST"
JOINT: SAWCUT

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SITE LANDSCAPE MATERIALS

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SPAR-1.8
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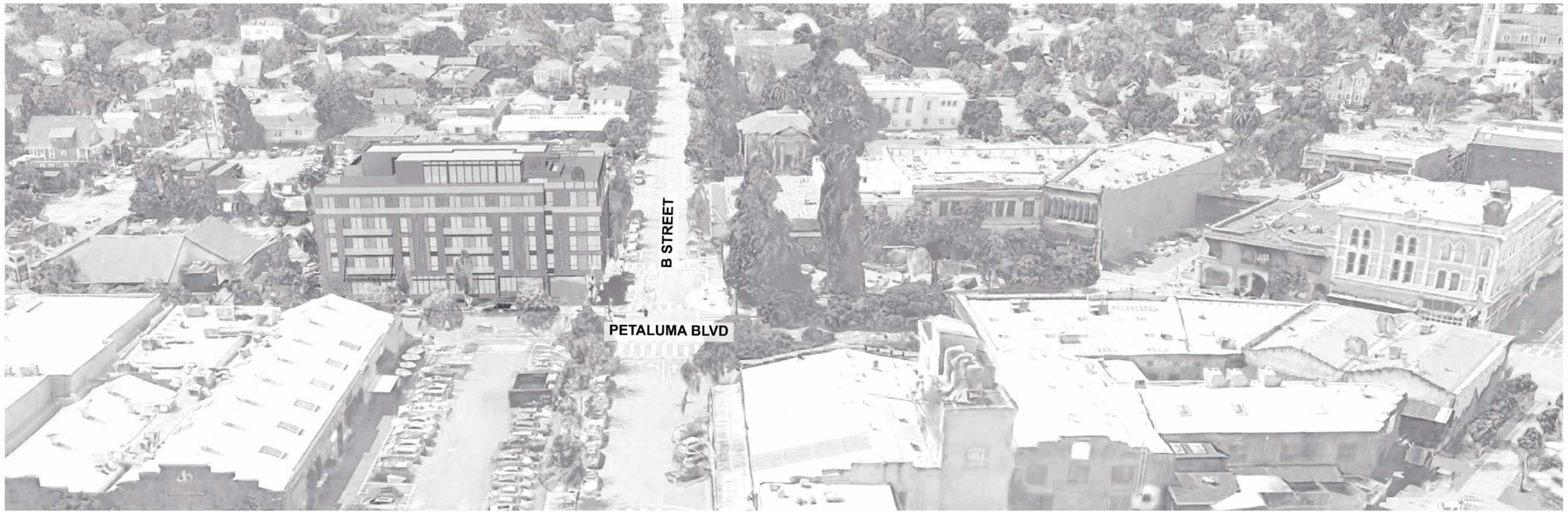

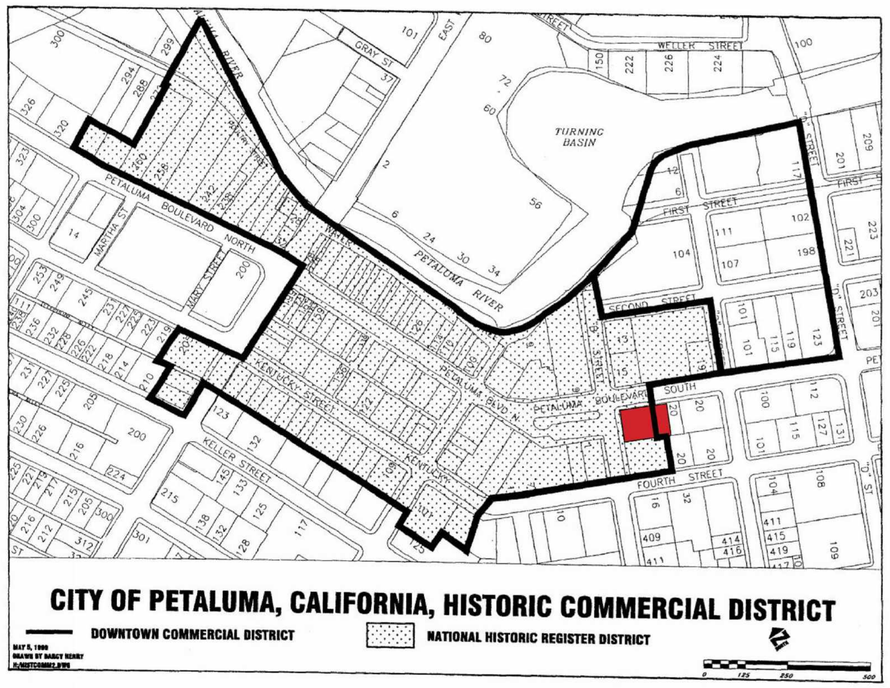

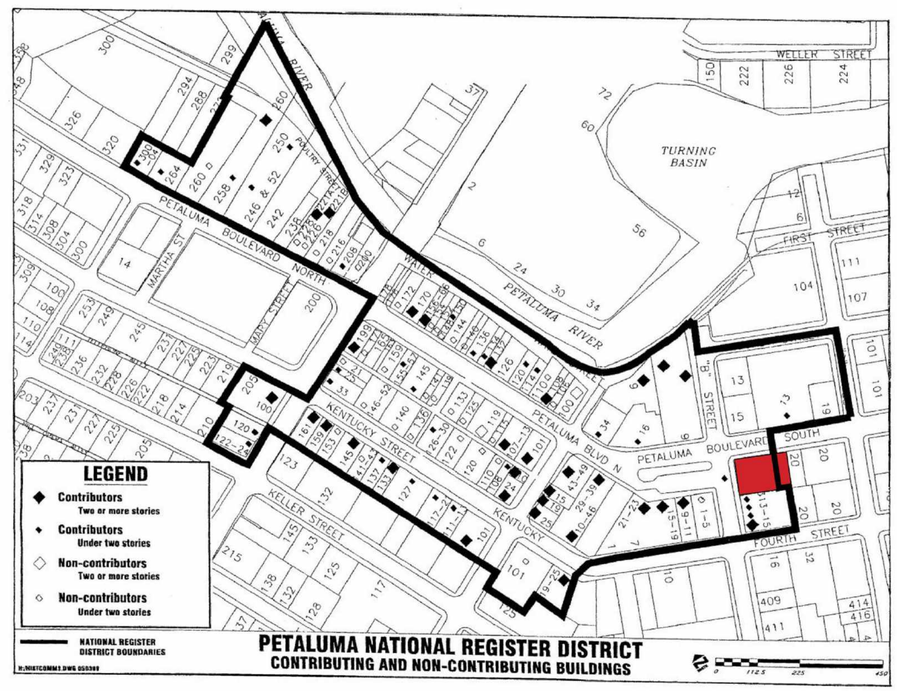

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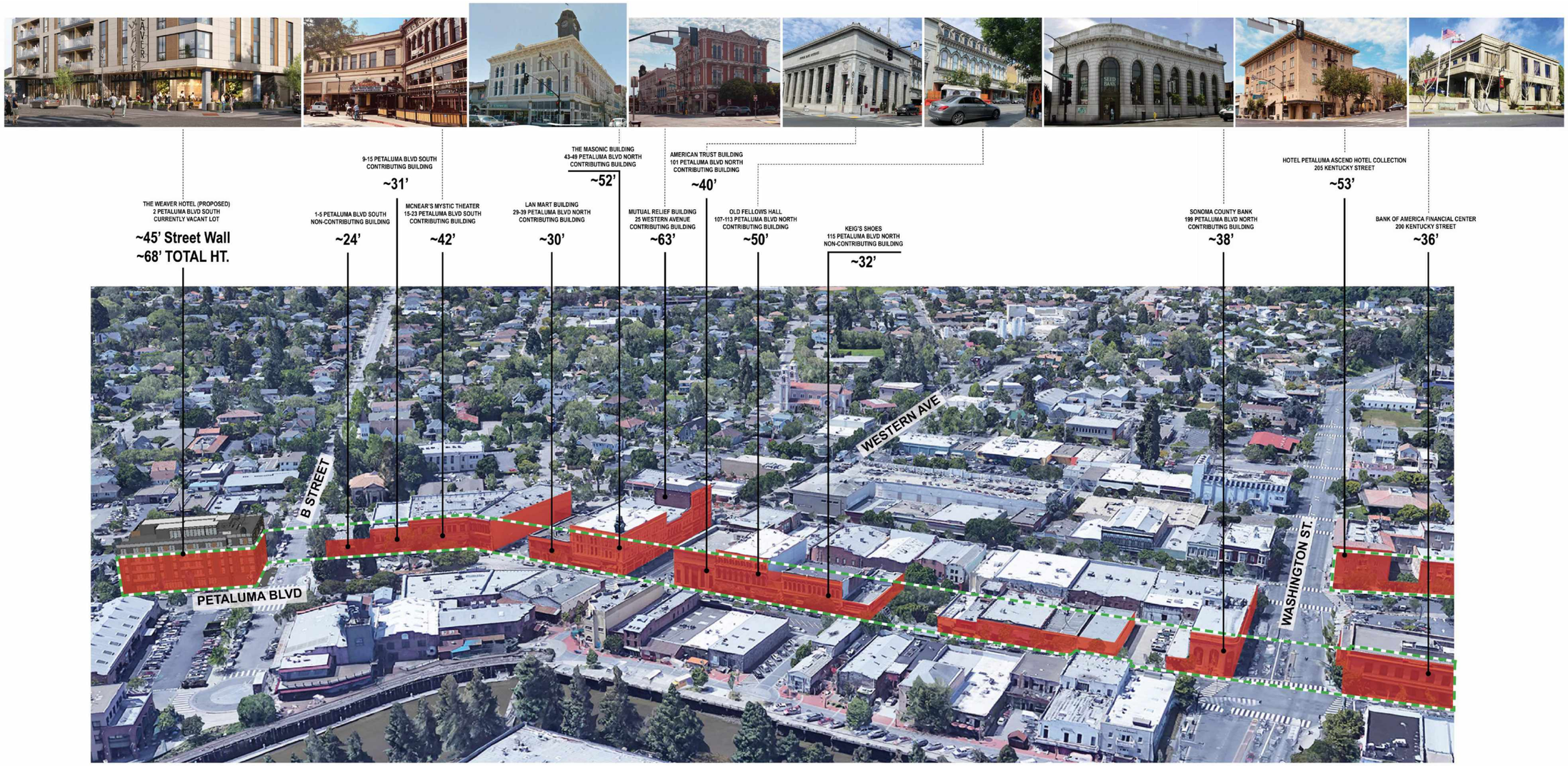

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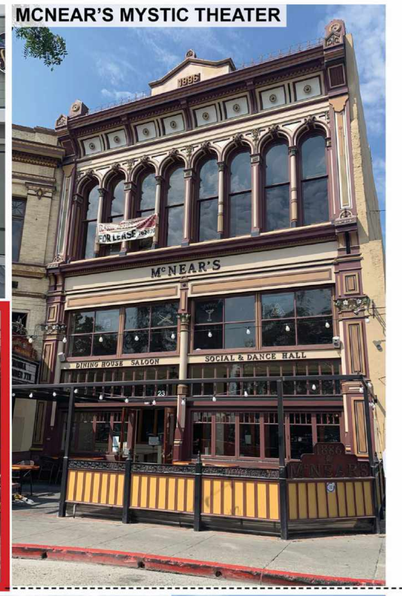
15 WESTERN BUILDING

MCNEAR'S MYSTIC THEATER



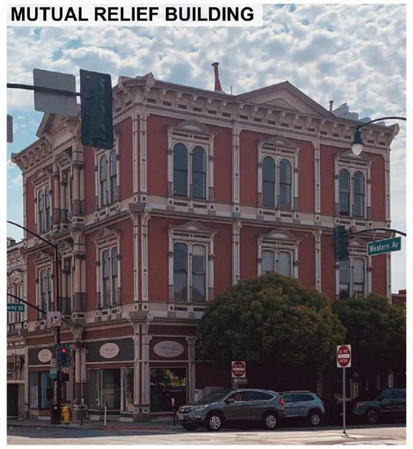
THE WEAVER HOTEL (PROPOSED)

110 PETALUMA BLVD N

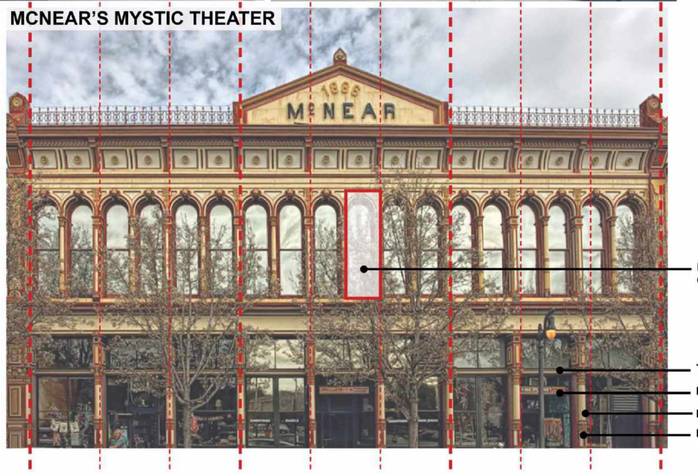
5 PETALUMA BLVD S

MASONIC BUILDING

MUTUAL RELIEF BUILDING



MCNEAR'S MYSTIC THEATER



REGULARLY SPACED OPENINGS @ 4:1 RATIO

TRANSOM

DISPLAY WINDOW

RECESSED STOREFRONT

PIER

BUILDING SETBACK @ 45'

REGULARLY SPACED OPENINGS

TRANSOM

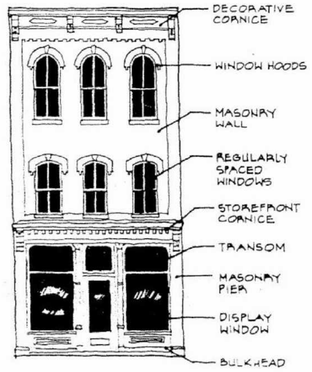
DISPLAY WINDOW

RECESSED STOREFRONT

PIER

BULKHEAD

PROPOSED WEAVER HOTEL PART ELEVATION



REF: COMMERCIAL HISTORIC DISTRICT DESIGN GUIDELINES

BUILDING SETBACK @ 45'

REGULARLY SPACED OPENINGS @ 4:1 RATIO

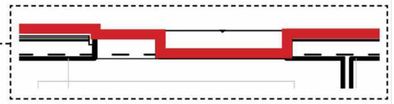
TRANSOM

DISPLAY WINDOW

PIER

BULKHEAD

PROPOSED WEAVER HOTEL



ENLARGED PLAN OF RECESSED WINDOW

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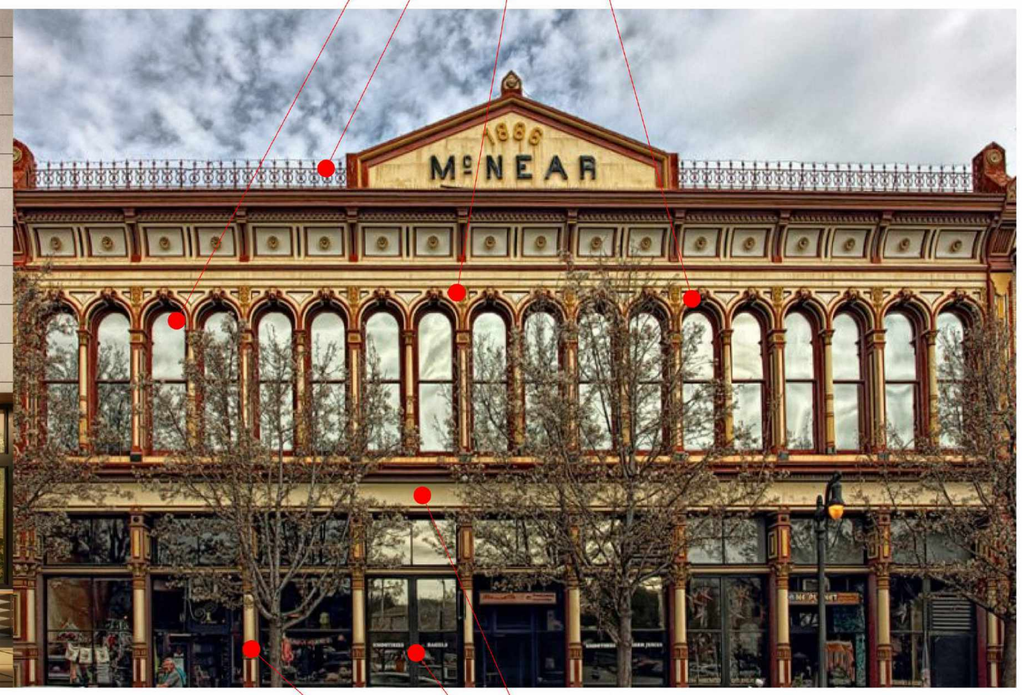
RECESSED 4:1 RATIO WINDOWS
IRON WORK DETAILING
ORNATE DETAILING
ARCH MOTIF



RECESSED 4:1 RATIO WINDOWS
IRON WORK DETAILING
ORNATE DETAILING
ARCH MOTIF

EARTH-TONE COLORS
RHYTHMIC STOREFRONT w/ TRANSOM
ENGAGED PILASTERS

EARTH-TONE COLORS
RHYTHMIC STOREFRONT w/ TRANSOM
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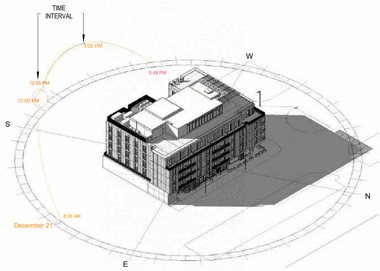

SUN PATH - 21 DEC, 12:00 - 15:00 P.M.

4 **SHADOW STUDY @ 15 HRS**
SCALE: 3/64" = 1'-0"

2 **SHADOW STUDY 13PM**
SCALE: 3/64" = 1'-0"

3 **SHADOW STUDY 14PM**
SCALE: 3/64" = 1'-0"

1 **SHADOW STUDY 12PM**
SCALE: 3/64" = 1'-0"

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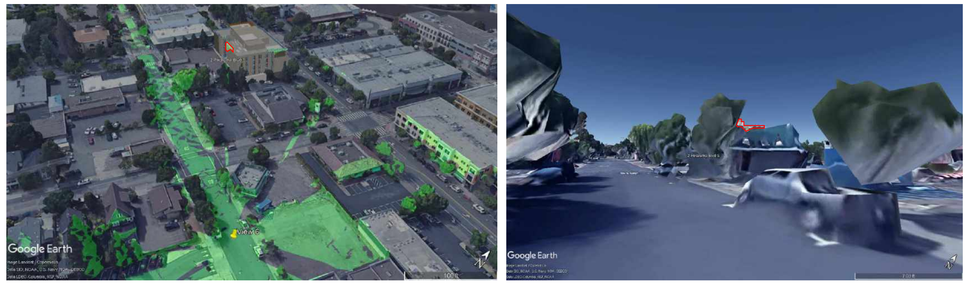
VIEW SHED KEY MAP

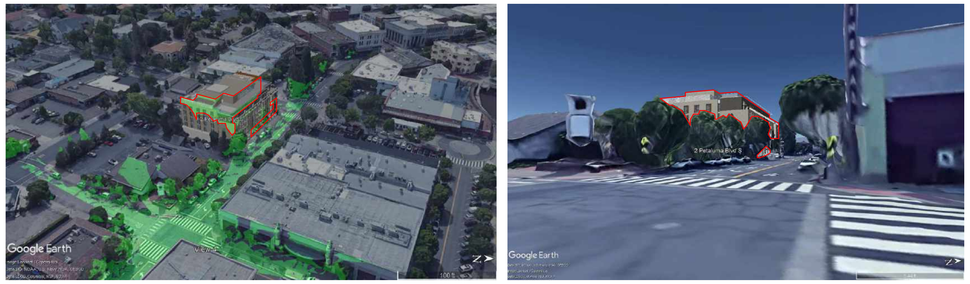
View 8

View 7



View 6

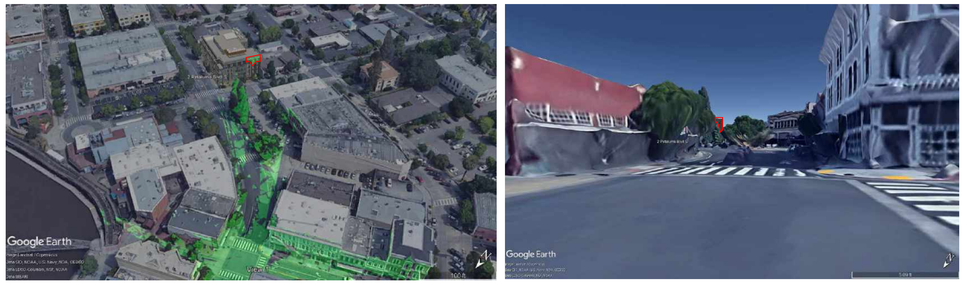
View 5



View 4

View 3

View 2



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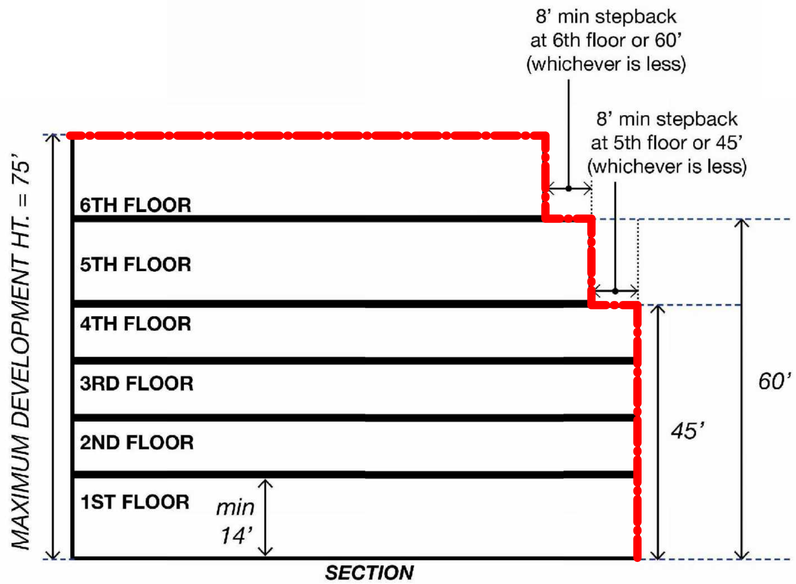

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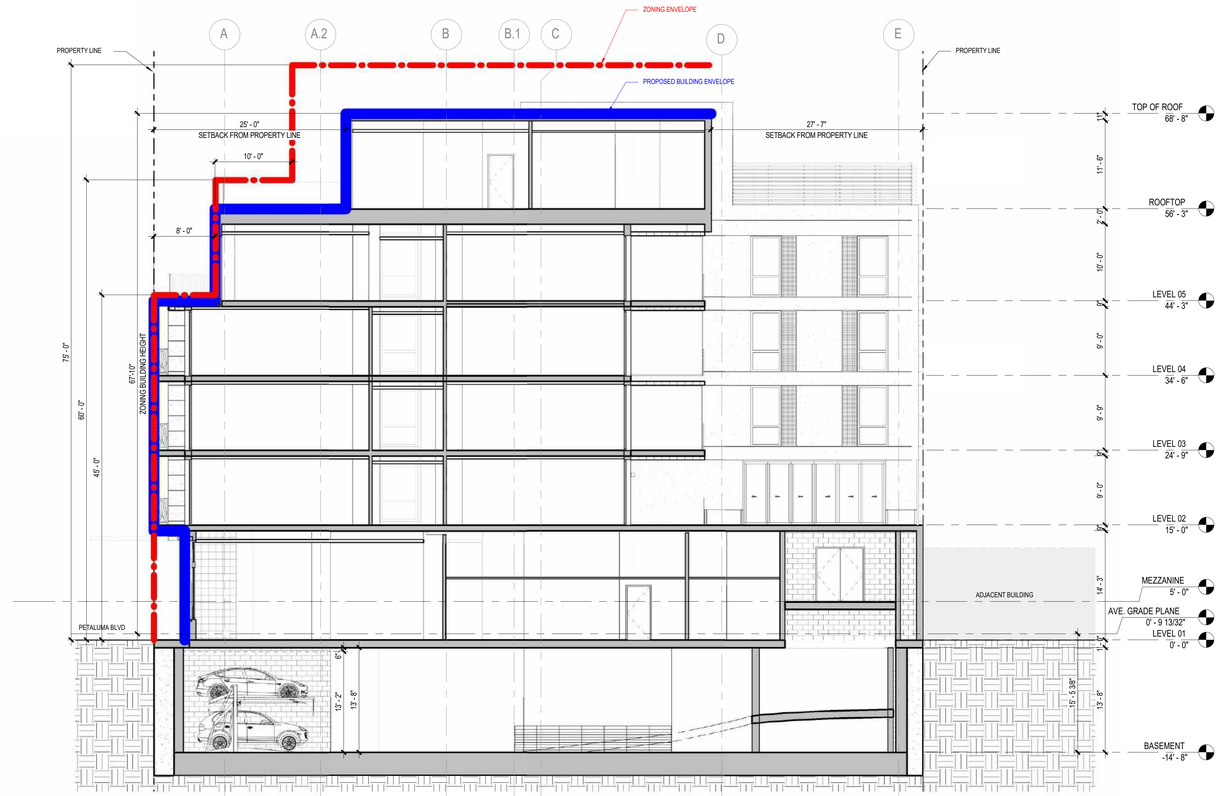

4 **ZONING DIAGRAM**
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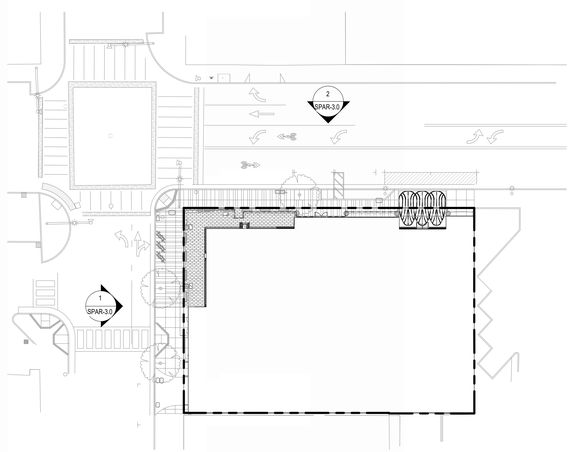

3 **KEY PLAN - SITE**
SCALE: 1" = 30'-0"

2 **ELEVATION - PETALUMA STREET MASSING**
SCALE: 1" = 20'-0"

1 **ELEVATION - B STREET**
SCALE: 1" = 20'-0"

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ARCHITECTURAL - SITE ELEVATIONS

DRAWN BY: Author	CHECKED BY: Checker
PROJECT NUMBER: 621010	PROJECT ABBREVIATION: PH
ORIGINAL ISSUE: SPAR APPLICATION	DATE: 08 SEPTEMBER 2023

SPAR-3.0
SHEET NUMBER

FILE PATH: Autodesk Docs://621010-Petaluma Hotel/621010-A-Petaluma-R23-CENTRAL.rvt
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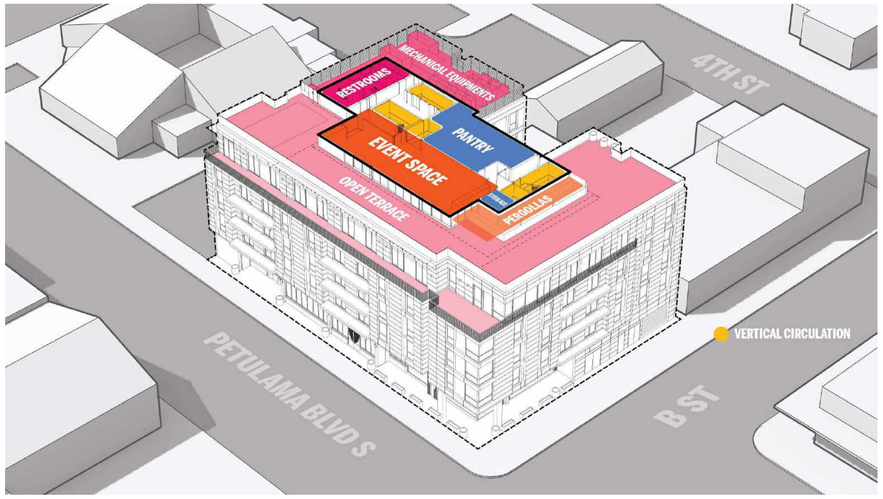

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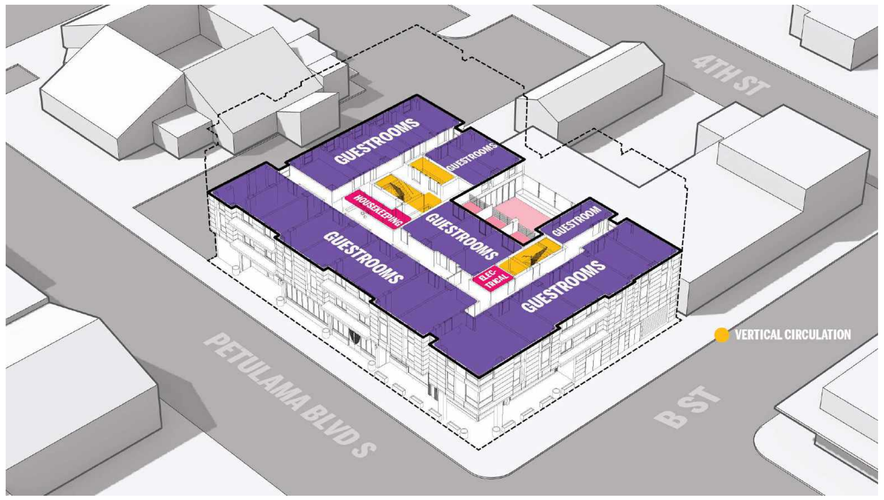
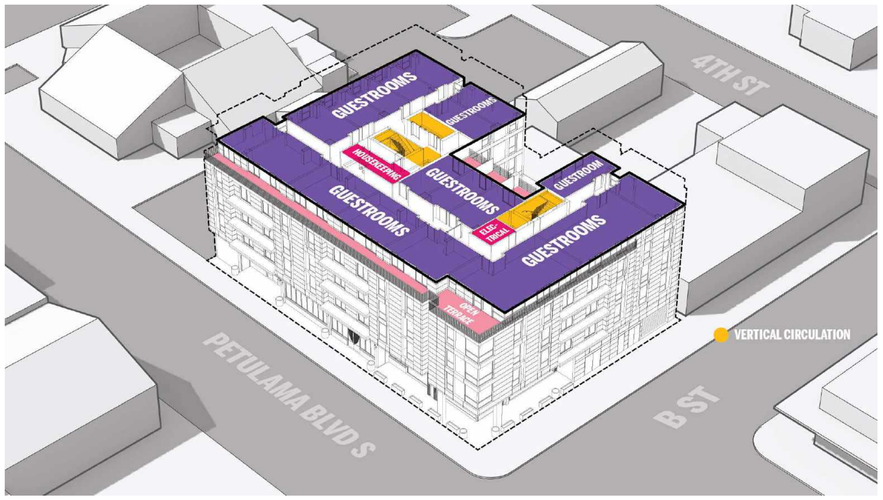


THIRD FLOOR



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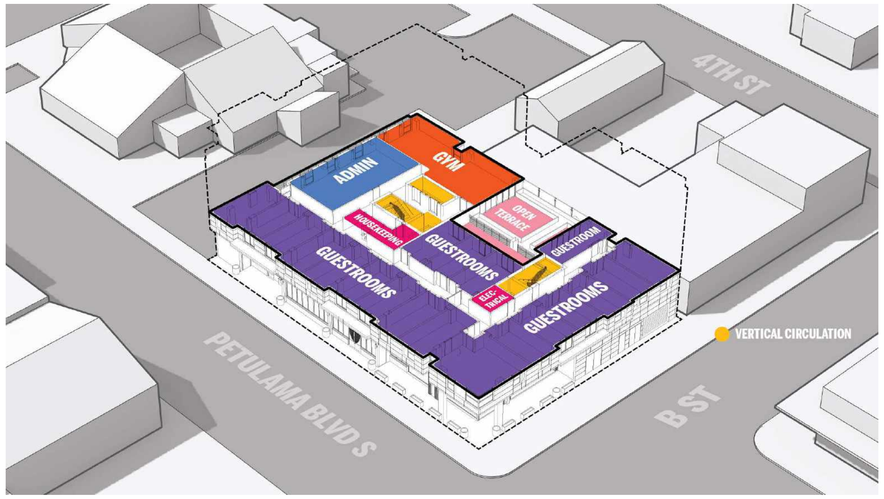

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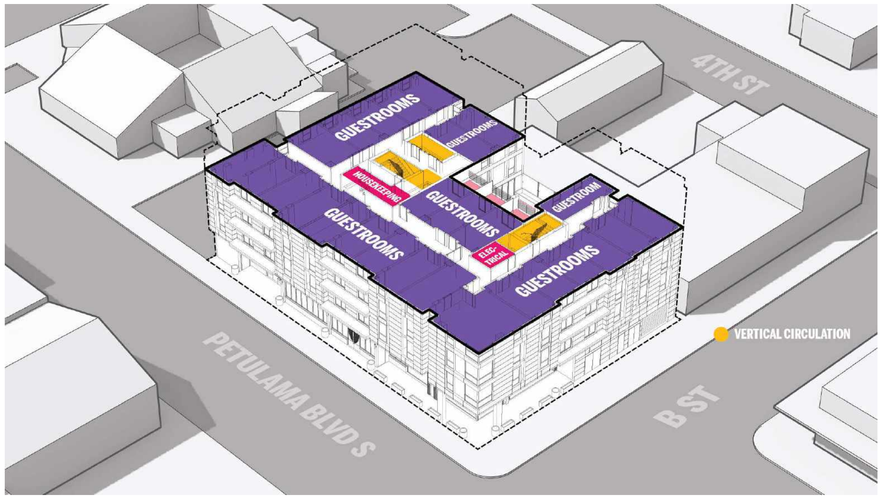

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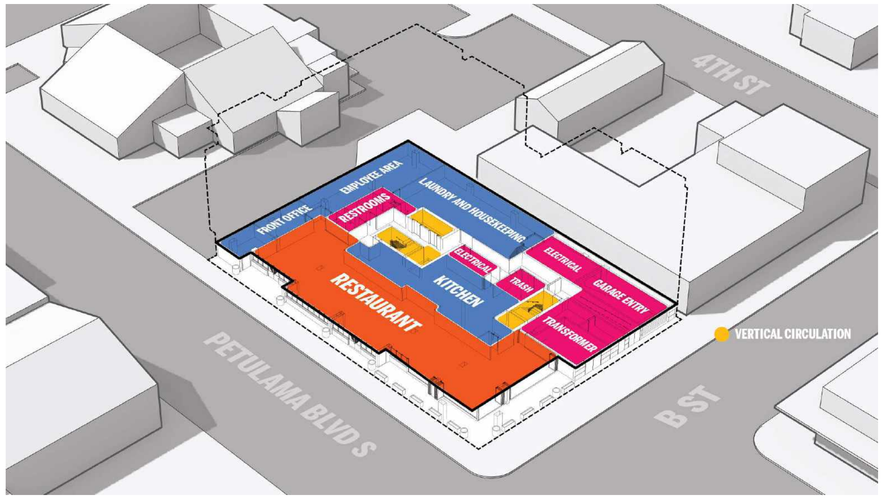

GROUND FLOOR

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PROGRAM DIAGRAMS

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621010	PH
ORIGINAL ISSUE	DATE
	08 SEPTEMBER 2023

SPAR-3.1

SHEET NUMBER

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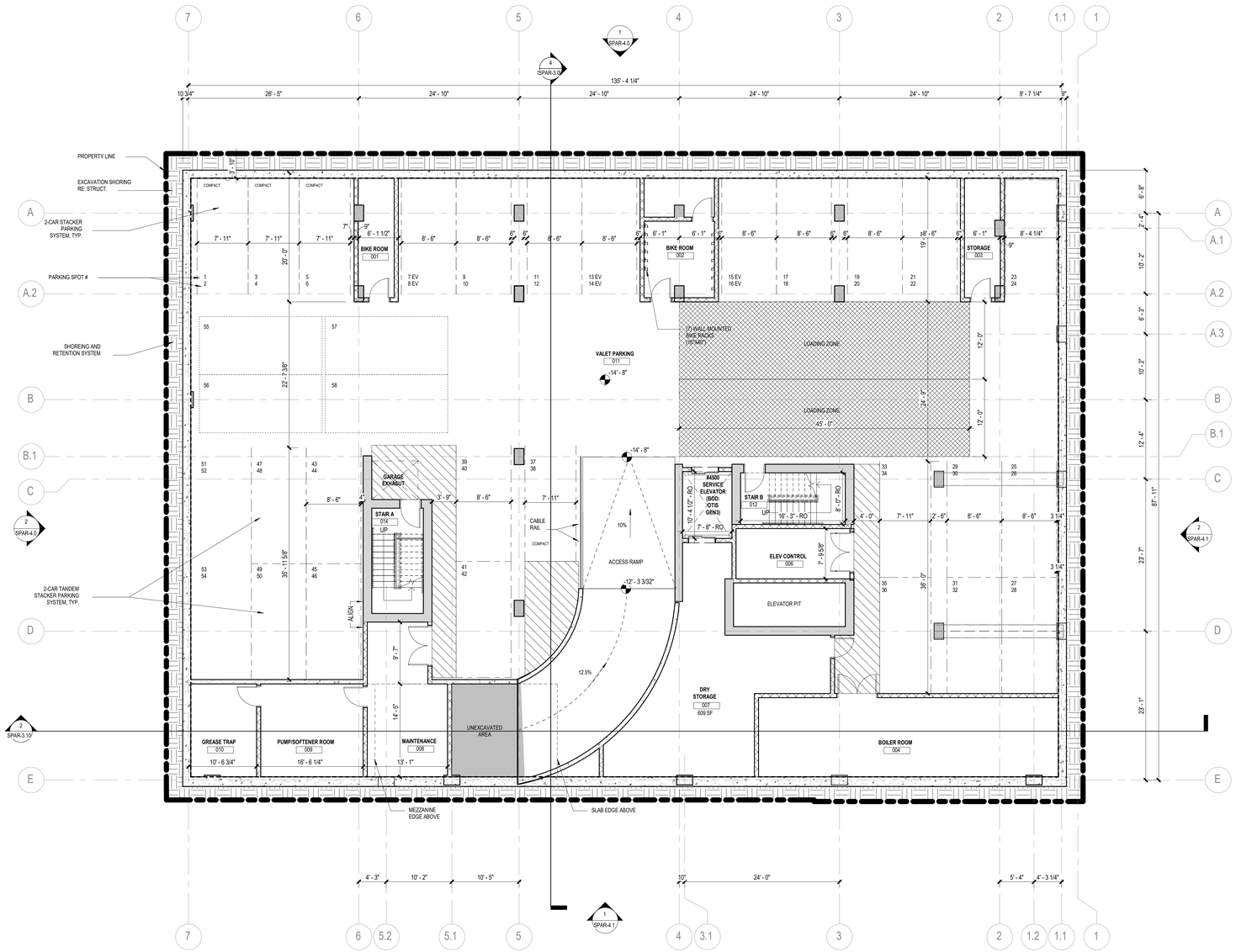

1 FLOOR PLAN - BASEMENT LEVEL

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A5 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE / REF 01 / A101	MATCH LINE / SHEET REFERENCE
04 21 13.13.A01	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
A1 X	PARTITION TAG REFER TO PARTITION SCHEDULE
1 / A-301	BUILDING SECTION TAG WALL SECTION TAG
1 / A-201	EXTERIOR ELEVATION TAG
1 / A-211	INTERIOR ELEVATION TAG
1 / A-431	PLAN REFERENCE TAG
ROOM NAME / 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
28	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
A	COLUMN GRID DESIGNATIONS

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ARCHITECTURAL - FLOOR PLAN - BASEMENT

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PROJECT NUMBER	PROJECT ABBREVIATION
621010	PH
ORIGINAL ISSUE	DATE
SPAR APPLICATION	08 SEPTEMBER 2023

SPAR-3.2
SHEET NUMBER

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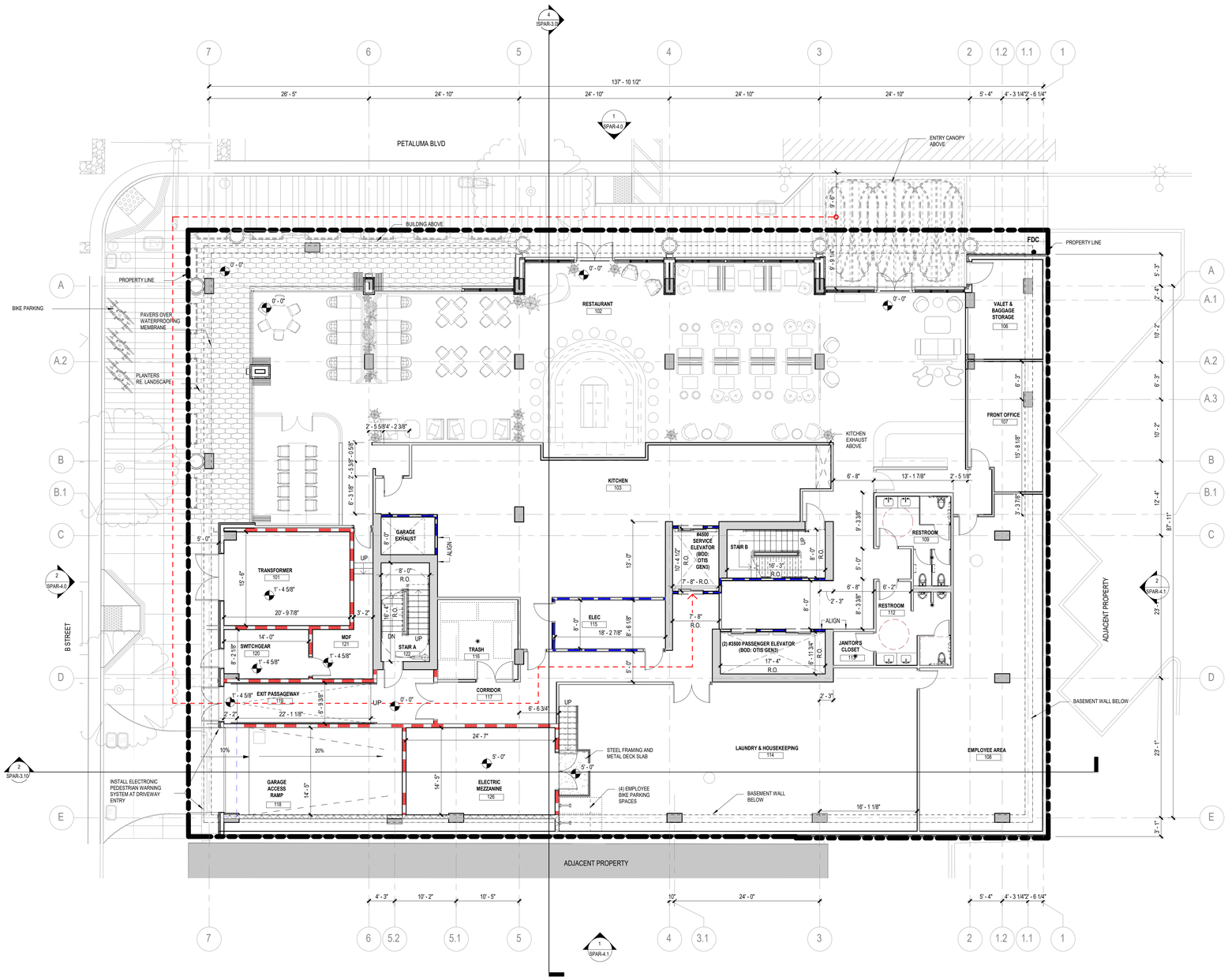

1 FLOOR PLAN - LEVEL 01

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A5 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE / REF 01 / A101	MATCH LINE / SHEET REFERENCE
04 21 13.13.A01	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
A1 X	PARTITION TAG REFER TO PARTITION SCHEDULE
1 / A-301	BUILDING SECTION TAG WALL SECTION TAG
1 / A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 / A-431	PLAN REFERENCE TAG
ROOM NAME / 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
08	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
A	COLUMN GRID DESIGNATIONS

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ARCHITECTURAL - FLOOR PLAN - LEVEL 01

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SPAR APPLICATION	08 SEPTEMBER 2023

SPAR-3.3

SHEET NUMBER

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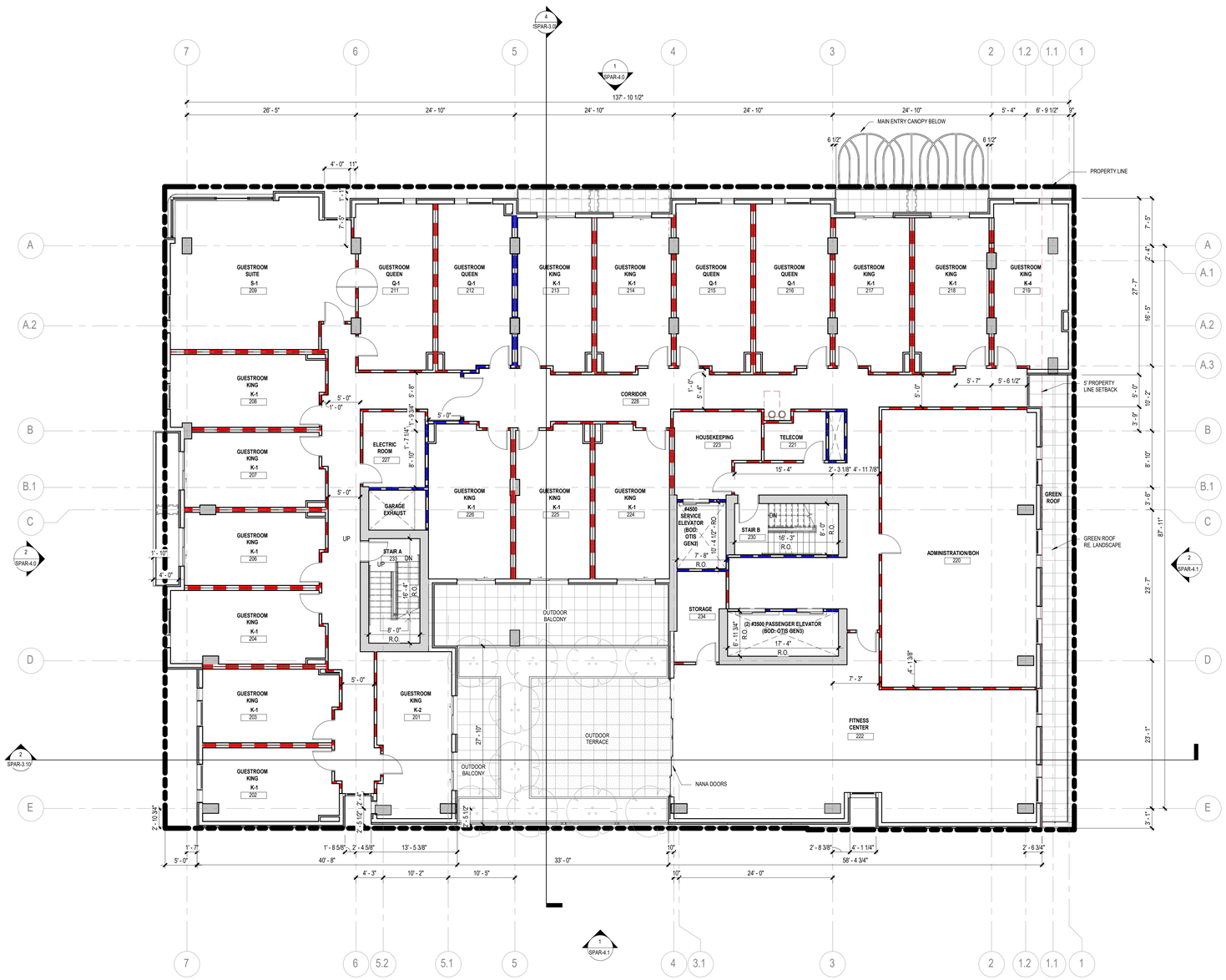

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
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8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A5 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE REF 01 / A101	MATCH LINE / SHEET REFERENCE
04 21 13.13.A01	KEYED NOTE / KEYED NOTES ONLY APPLY TO THIS SHEET
A1 X	PARTITION TAG / REFER TO PARTITION SCHEDULE
1 A-301	BUILDING SECTION TAG / WALL SECTION TAG
1 A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 A-431	PLAN REFERENCE TAG
ROOM NAME 101	ROOM NAME / ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002 NEW DOOR WITH DOOR TAG REF DOOR SCHED	
25 NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS	
A COLUMN GRID DESIGNATIONS	

1 FLOOR PLAN - LEVEL 02
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL - FLOOR PLAN - LEVEL 02

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ORIGINAL ISSUE	DATE
SPAR APPLICATION	08 SEPTEMBER 2023

SPAR-3.4
SHEET NUMBER

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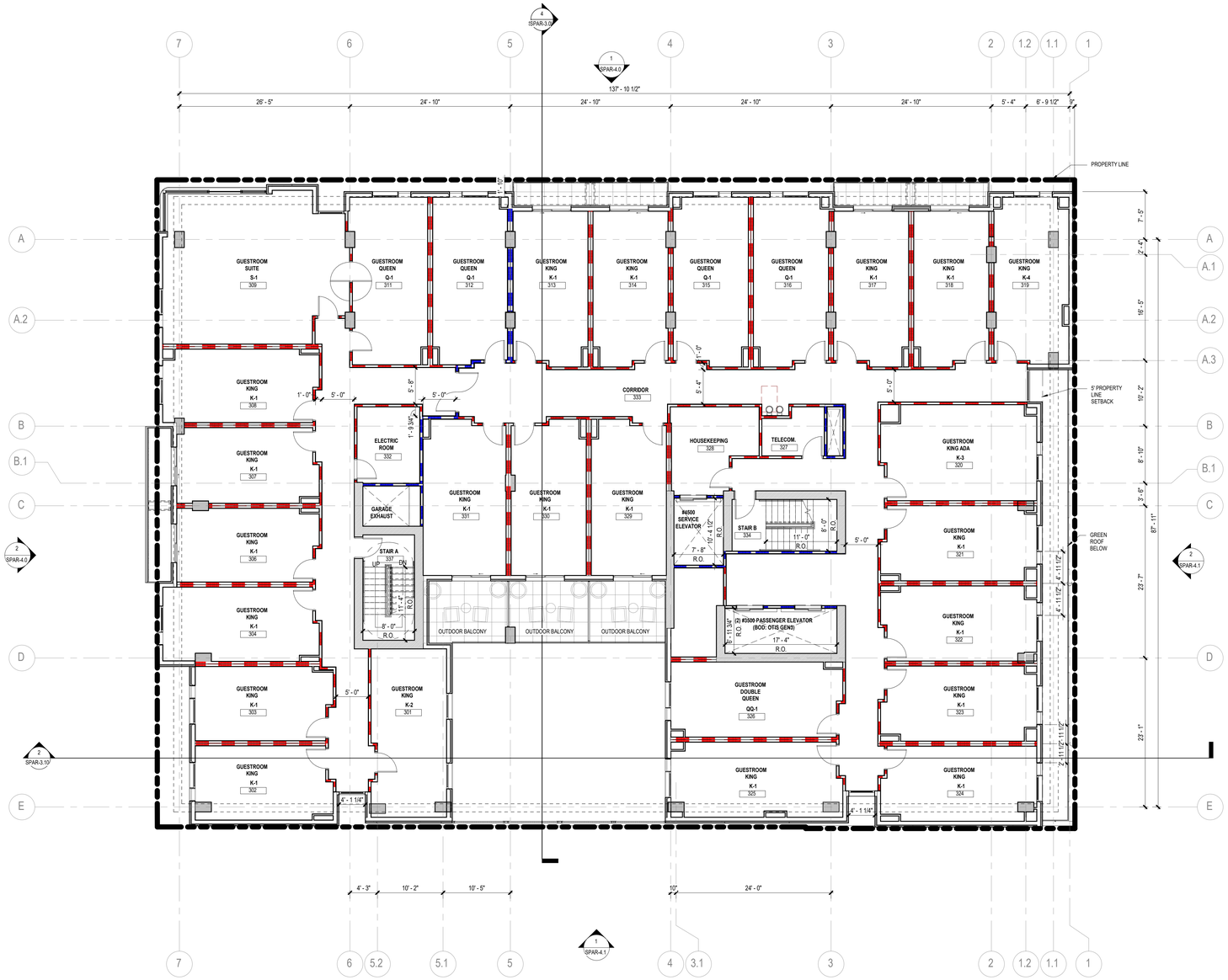

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
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8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
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KEYED NOTES

NUMBER	DESCRIPTION

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE REF 01 / A101	MATCH LINE SHEET REFERENCE
04 21 13.13.A01	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
A1 X	PARTITION TAG REFER TO PARTITION SCHEDULE
1 A-301	BUILDING SECTION TAG WALL SECTION TAG
1 A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 A-431	PLAN REFERENCE TAG
ROOM NAME 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
25	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
A	COLUMN GRID DESIGNATIONS

1 FLOOR PLAN - LEVEL 03
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL - FLOOR PLAN - LEVEL 03

DRAWN BY: Author	CHECKED BY: Checker
PROJECT NUMBER: 621010	PROJECT ABBREVIATION: PH
ORIGINAL ISSUE: SPAR APPLICATION	DATE: 08 SEPTEMBER 2023

SPAR-3.5
SHEET NUMBER

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USER NAME:
DATE STAMP: 9/8/2023 5:13:19 PM

1 FLOOR PLAN - LEVEL 04

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
5. REFER TO A2 SERIES DRAWINGS, EXTERIOR ELEVATIONS, A3 BUILDING AND WALL SECTIONS.
6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A5 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

KEYED NOTES

NUMBER	DESCRIPTION

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION
MATCHLINE REF 01 / A101	MATCH LINE SHEET REFERENCE
04 21 13.13.A01	KEYED NOTE KEYED NOTES ONLY APPLY TO THIS SHEET
A1 X	PARTITION TAG REFER TO PARTITION SCHEDULE
1 A-301	BUILDING SECTION TAG WALL SECTION TAG
1 A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 A-431	PLAN REFERENCE TAG
ROOM NAME 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002 NEW DOOR WITH DOOR TAG REF DOOR SCHED	
28 NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS	
A COLUMN GRID DESIGNATIONS	

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ARCHITECTURAL - FLOOR PLAN - LEVEL 04

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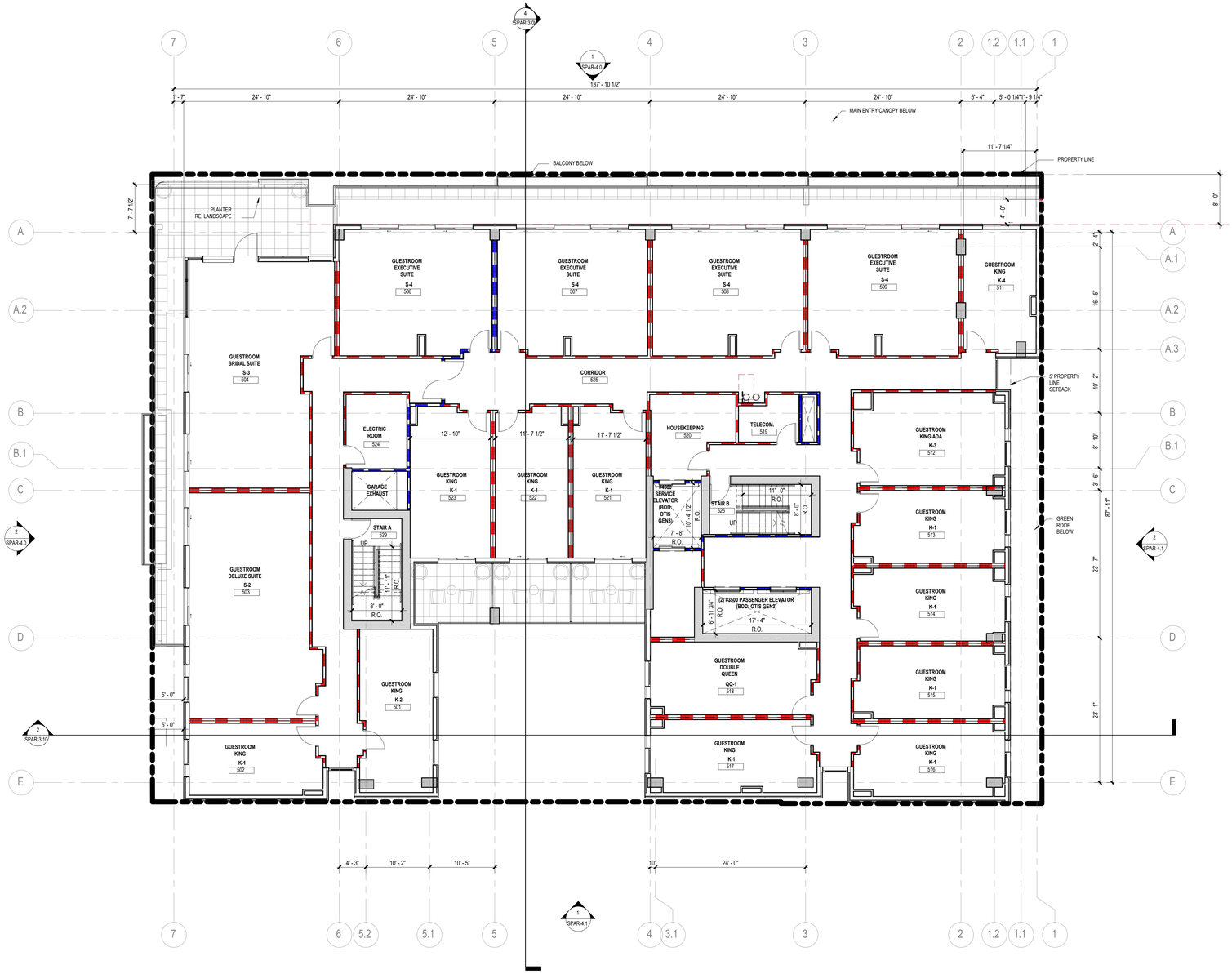

1 FLOOR PLAN - LEVEL 05

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
3. FOR FIRE AND LIFE SAFETY PLANS, REFER TO G1 DRAWINGS.
4. ROOF PLAN SHOWN FOR REFERENCE ONLY. REFER TO ROOF PLAN FOR NOTES AND DIMENSIONS.
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6. REFER TO A6 SERIES FOR ALL PARTITIONS, DOORS, WINDOWS, AND ACCESSORIES.
7. INSTALL APPROPRIATE MANUFACTURED EXPANSION JOINT COVERS AT ALL VISIBLE BUILDING EXPANSION JOINTS. TOP OF COVER OF FLOOR EXPANSION JOINT COVERS TO BE FLUSH WITH TOP OF FINISHED FLOOR.
8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
9. INSTALL BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED DEVICES.
10. AT ALL SPANDREL GLASS LOCATIONS, FACE OF INTERIOR WALL TO BE CONTINUOUS WITH ADJACENT WALL.
11. REFER TO A-551 FOR INTERIOR EXPANSION JOINT DETAILS.
12. GENERAL DIMENSIONS PROVIDED ON FLOOR PLANS AND AREA PLANS DO NOT REFLECT THE ROUGH OPENING DIMENSIONS REQUIRED FOR COORDINATION WITH MASONRY JOINT COURSING. CONTRACTOR IS TO PROVIDE ROUGH OPENING FRAMING DIMENSIONS CONSISTENT WITH ENLARGED ARCHITECTURAL PLAN/SECTION DETAILS (A5 SERIES SHEETS), AND WINDOW SCHEDULE/DETAILS (A6 SERIES). CONTRACTOR TO SUBMIT RFI FOR ANY ROUGH OPENING DIMENSIONS NOT GIVEN IN DETAILING FOR CLARIFICATION REQUIRED.

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1 A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 A-431	PLAN REFERENCE TAG
ROOM NAME 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
25	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
A	COLUMN GRID DESIGNATIONS

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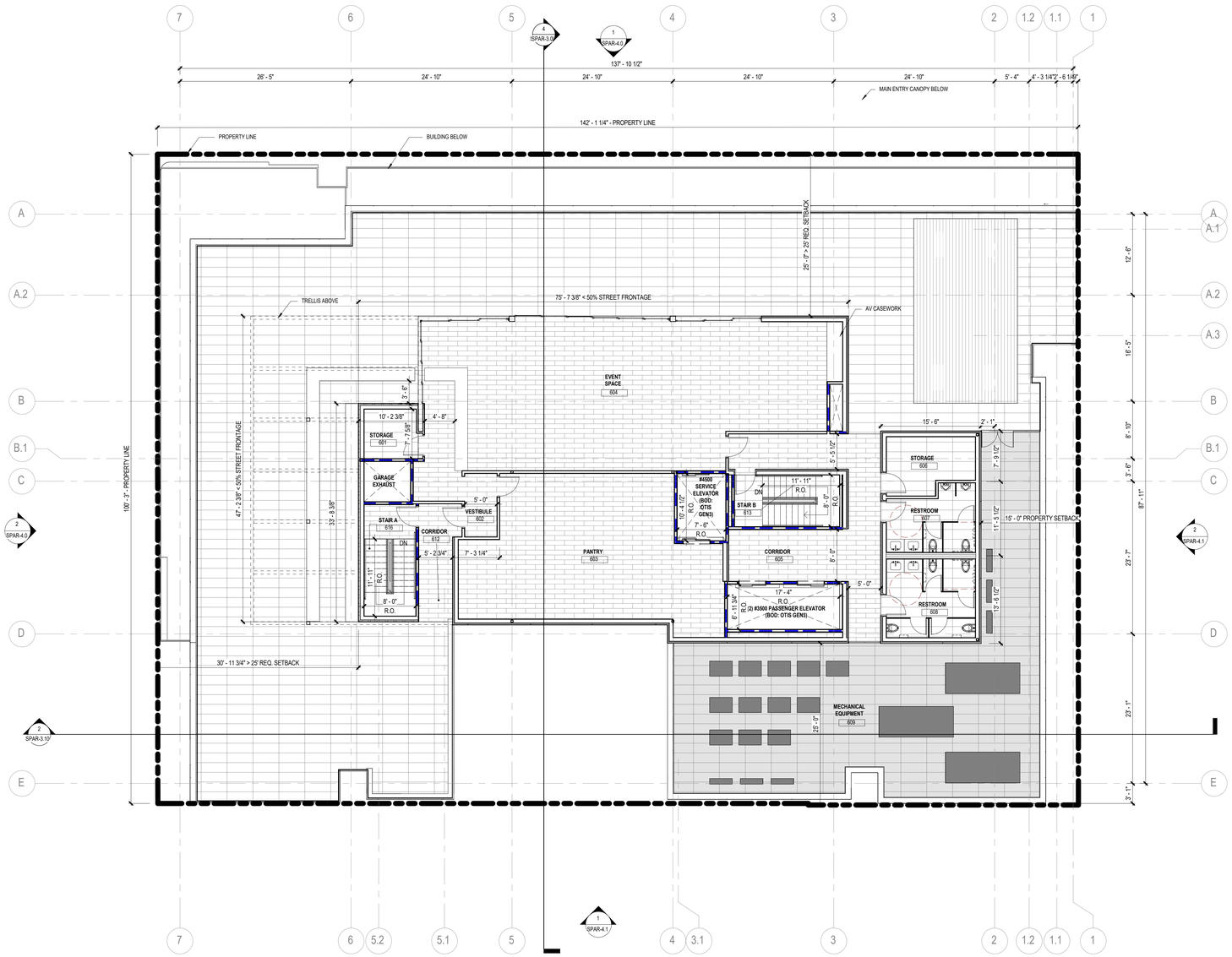

1 FLOOR PLAN - ROOFTOP PLAN

SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

1. ALL UNMARKED PARTITIONS ARE TYPE A3. ALL COLUMN FURRING TO BE PARTITION TYPE __ UNLESS NOTED OTHERWISE.
2. ALL WINDOW & DOOR PLAN OPENINGS ARE DIMENSIONED ON AREA PLANS.
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8. ALL PARTITION DIMENSIONS ARE TAKEN FROM THE CENTERLINE OF COLUMNS AND TO THE DRYWALL FACE.
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NUMBER	DESCRIPTION

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1 / A-201	EXTERIOR ELEVATION TAG
1 A-211	INTERIOR ELEVATION TAG
1 / A-431	PLAN REFERENCE TAG
ROOM NAME / 101	ROOM NAME ROOM NUMBER
	SMOKE PARTITION
	1-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	2-HOUR FIRE-RATED SMOKE BARRIER
	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
1002	NEW DOOR WITH DOOR TAG REF DOOR SCHED
08	NEW WINDOW WITH WINDOW MARK REF GLAZING ELEVATIONS
A	COLUMN GRID DESIGNATIONS

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ARCHITECTURAL - FLOOR PLAN - ROOFTOP LEVEL

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SPAR APPLICATION	08 SEPTEMBER 2023

SPAR-3.8

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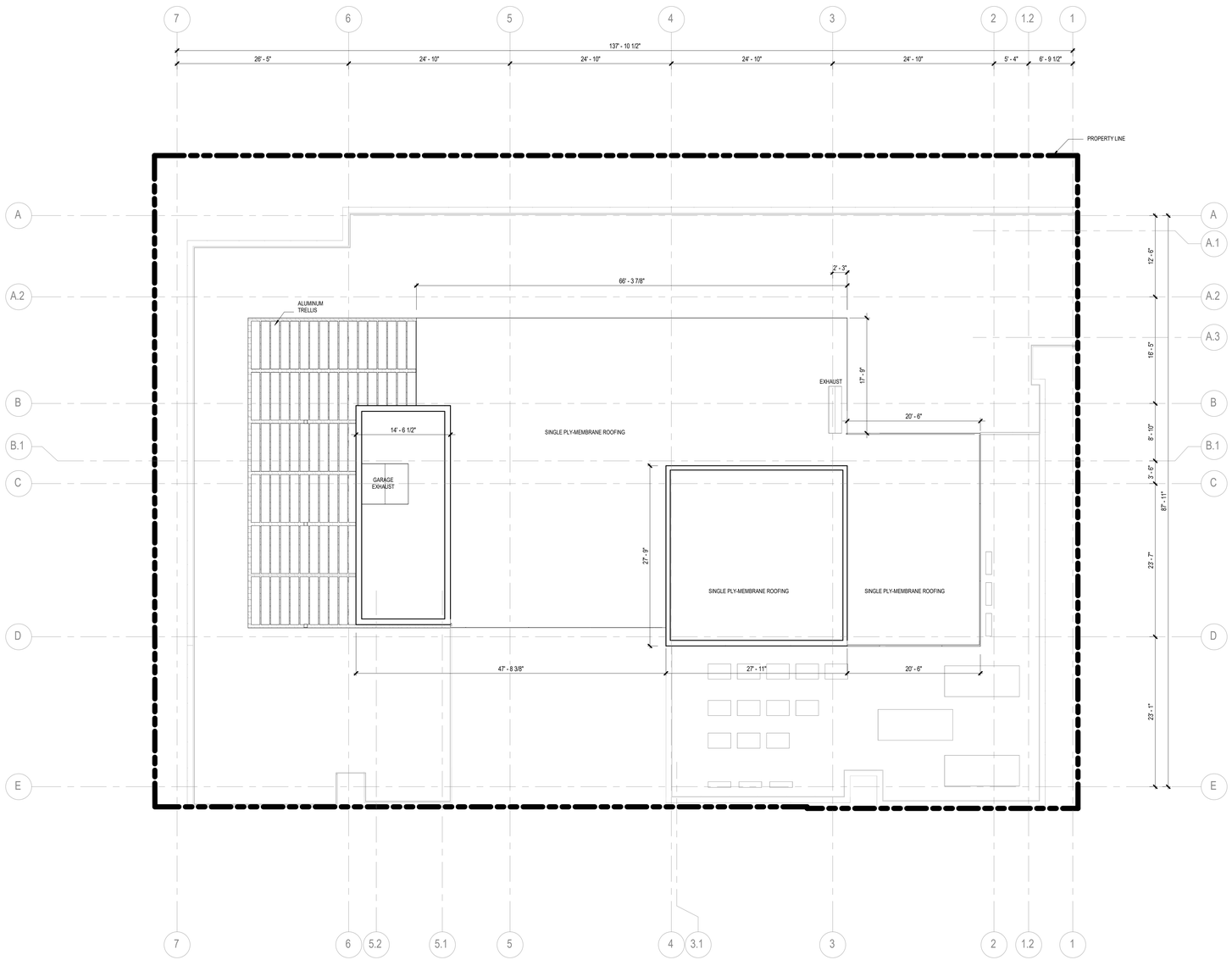

1 **TOP OF ROOF**
SCALE: 1/8" = 1'-0"

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	1-HOUR FIRE-RATED SMOKE BARRIER
	2-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
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	3-HOUR FIRE WALL, FIRE BARRIER, OR FIRE PARTITION
	SHEAR WALL -RE: STRUCT
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A COLUMN GRID DESIGNATIONS	

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ARCHITECTURAL - ROOF PLAN

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SPAR APPLICATION	08 SEPTEMBER 2023

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SHEET NUMBER

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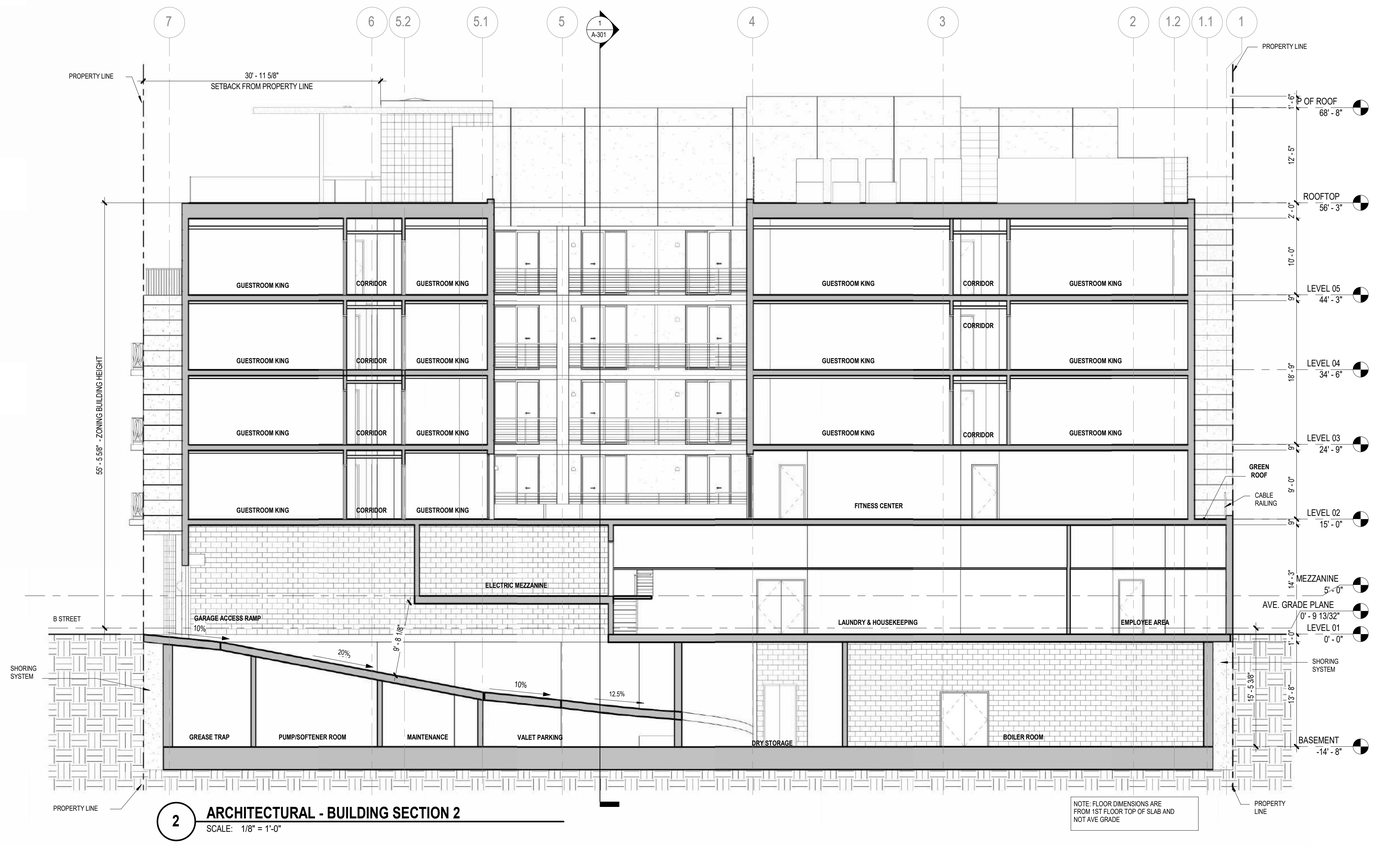
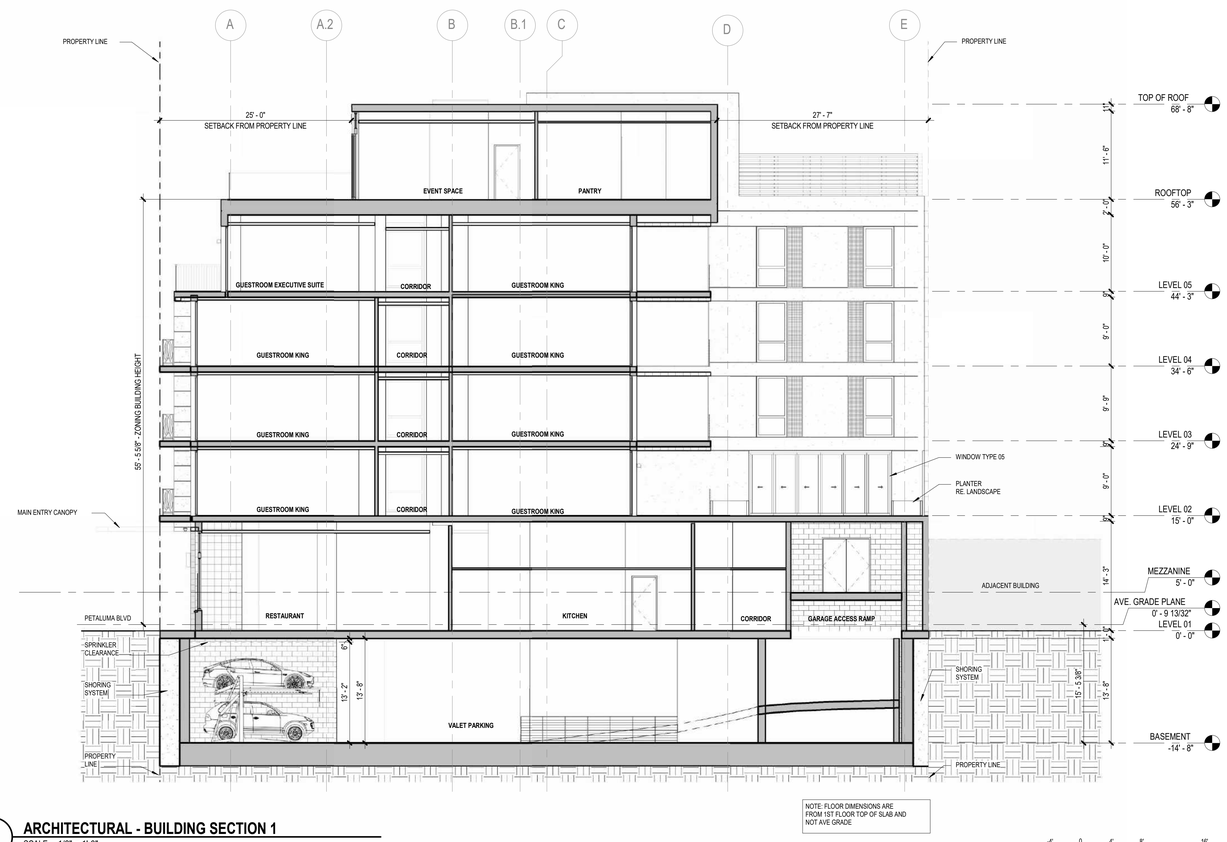


2 **ARCHITECTURAL - BUILDING SECTION 2**
SCALE: 1/8" = 1'-0"



1 **ARCHITECTURAL - BUILDING SECTION 1**
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL - BUILDING SECTIONS

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

SPAR-3.10
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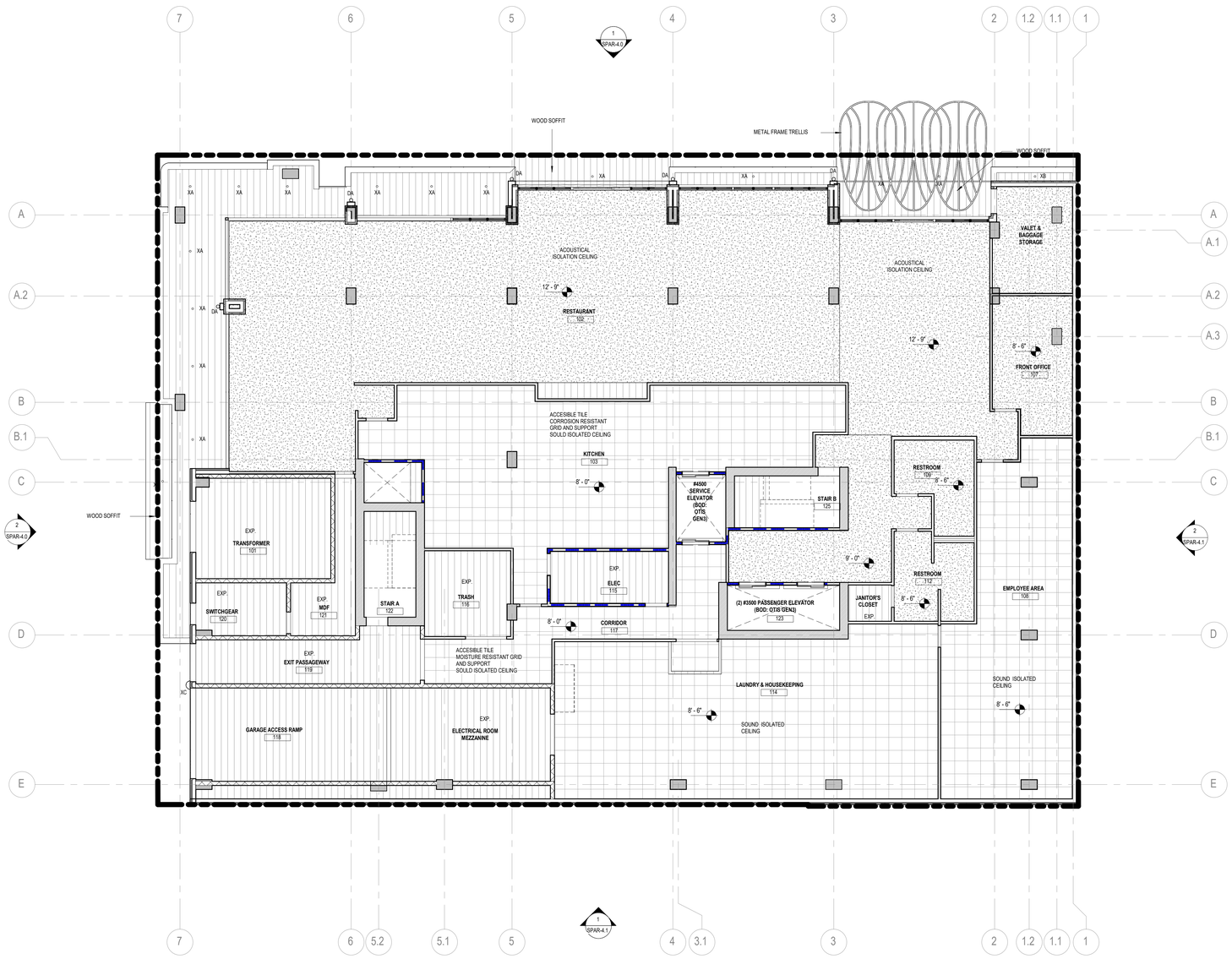

1 REFLECTED CEILING PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

CEILING PLAN GENERAL NOTES

1. ALL CEILINGS HEIGHTS IN "CORRIDORS/HALLS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
2. ALL ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN ROOM UNLESS NOTED OTHERWISE.
3. ALL CORRIDOR ACOUSTICAL CEILING GRIDS TO BE CENTERED WITHIN THE CORRIDOR, UNLESS NOTED OTHERWISE.
4. ALL "CAN" LIGHT FIXTURES TO BE CENTERED WITHIN ACOUSTICAL CEILING TILES.
5. ALL "CAN" LIGHT FIXTURES IN TOILET ROOMS TO BE CENTERED.
6. ALL GYP. BOARD FURRDOWN TO BE 7'-2" AFF; REFER TO A-2 SERIES FOR INTERIOR ELEVATIONS.
7. PROVIDE CONTINUOUS R19 BATT INSULATION ABOVE PARKING AREA CEILING EXCEPT AT LOCATIONS DESIGNATED "INSULATED CEILING TILES".
8. ALL CEILINGS HEIGHTS IN "TOILET ROOMS" SHALL BE 9'-0" AFF UNLESS NOTED OTHERWISE.
9. ALL CEILINGS HEIGHTS NOT MARKED SHALL BE 9'-0" AFF.
10. ALL DIFFUSERS AND AIR GRILLES SHALL BE PAINTED TO MATCH THE WALL OR CEILING THEY ARE INSTALLED IN U.N.O.

KEYED NOTES

NUMBER	DESCRIPTION

EXTERIOR CEILING PLAN LEGEND

SYMBOL	DESCRIPTION
	XA - EXTERIOR DOWNLIGHT
	XB - EXTERIOR WALL WASHER
	XC - EXTERIOR EGRESS SCONCE
	DA - EXTERIOR SCONCE A
	DB - EXTERIOR SCONCE B
	DC - LINEAR LIGHTING

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ARCHITECTURAL - REFLECTED CEILING PLAN - LEVEL 01

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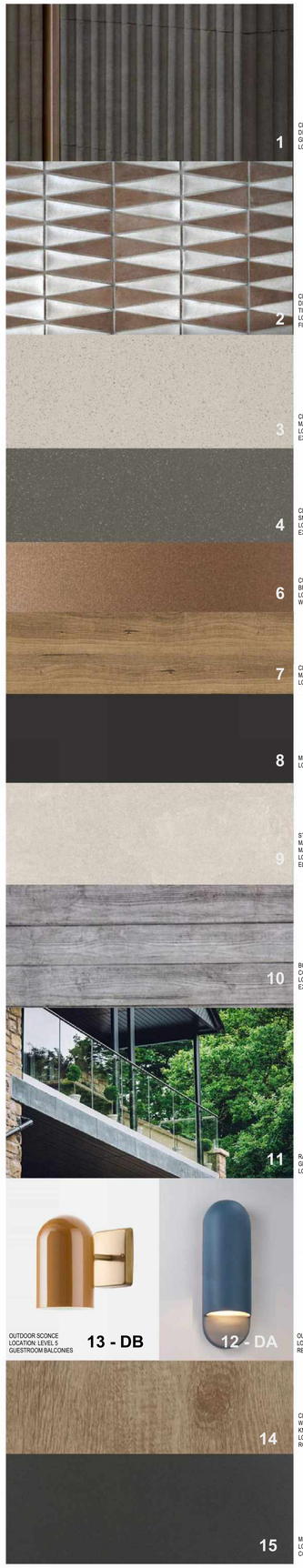

1 — CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE DARK GRAY
LOCATION: LEVEL 1 EXTERIOR FINISH

2 — CLADDING - DECORATIVE TILE 02- DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE
LOCATION: LEVEL 1 EXTERIOR FINISH - BELOW STOREFRONT

3 — CLADDING - PORCELANOSA MAKER ROPE
LOCATION: GENERAL MASS EXTERIOR FINISH

4 — CLADDING - PORCELANOSA MAKER SMOKE
LOCATION: TOP MASS (LEVEL 05) EXTERIOR FINISH

6 — CUSTOM CUT METAL PANEL - BRONZe
LOCATION: PANEL NEXT TO TYP. WINDOWS AND BALCONY DIVIDERS

7 — CLADDING - PORCELANOSA MANHATTAN COGNAC
LOCATION: BALCONY SOFFIT

8 — METAL - DARK BRONZE
LOCATION: ALL METAL FRAMES

9 — STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE
LOCATION: SOUTH ELEVATION

10 — BOARD FORMED CONCRETE COLUMNS
LOCATION: LEVEL 01
EXPOSED COLUMNS

11 — RAILING - STRUCTURAL GLASS
LOCATION: ALL RAILINGS

13 - DB — OUTDOOR SCONCE
LOCATION: LEVEL 5
GUESTROOM BALCONIES

12 - DA — OUTDOOR SCONCE
LOCATION: LEVEL 1
RESTAURANT

14 — CLADDING - ALUMINUM WOODGRAIN
KNOTWOOD DRIFTWOOD
LOCATION: EXTERIOR
ROOFTOP WALL FINISH

15 — METAL
LOCATION: FRONT
CORNER OF BLDG.

2 **ELEVATION - WEST**
SCALE: 1/8" = 1'-0"

1 **ELEVATION - MAIN ENTRY - NORTH**
SCALE: 1/8" = 1'-0"

EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERALS SEE MATERIALS BOARD.
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION

WINDOW TYPE LEYEND

TYPE 01: FIXED WINDOWS
TYPE 02: STRORERFRONT.
TYPE 03: STACKING OPERABLE PANELS IN STOREFRONT.
TYPE 04: SLIDING OPERABLE PANELS IN STOREFRONT.
TYPE 05: FULL HEIGHT ONE SLIDING PANEL.
TYPE 06: SLIDING OPERABLE WALL.
*ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
2. CLADDING - DECORATIVE TILE 02 - DIMENSIONAL ANGLED TRIANGLE TILE - TWO TONE.
3. CLADDING - PORCELANOSA - MAKER ROPE.
4. CLADDING - PORCELANOSA - MAKER SMOKE.
5. GLASS - CLEAR.
6. CUSTOM CUT METAL PANEL - BRONZE.
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
8. METAL - DARK BRONZE.
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10. BOARD FORMED CONCRETE COLUMNS.
11. RAILING - STRUCTURAL GLASS.
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14. CLADDING - ALUMINUM WOODGRAIN.

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ARCHITECTURAL - EXTERIOR ELEVATIONS

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SPAR-4.0
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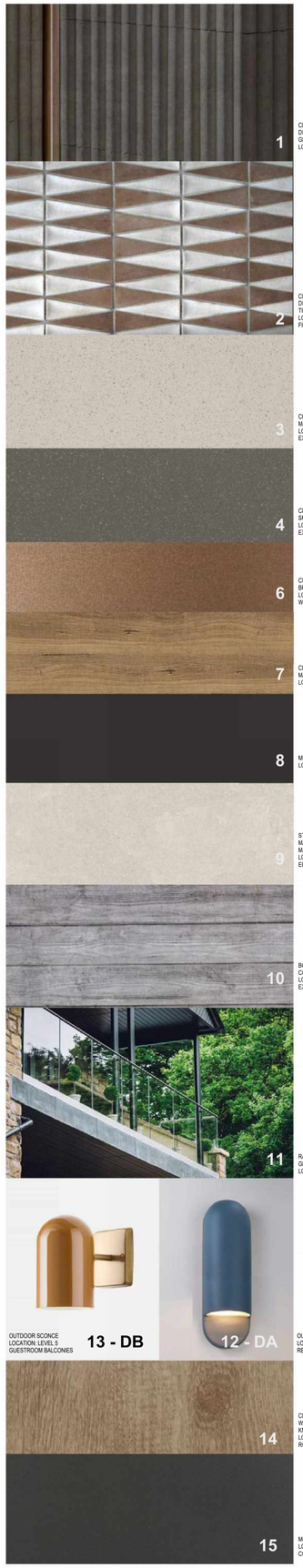

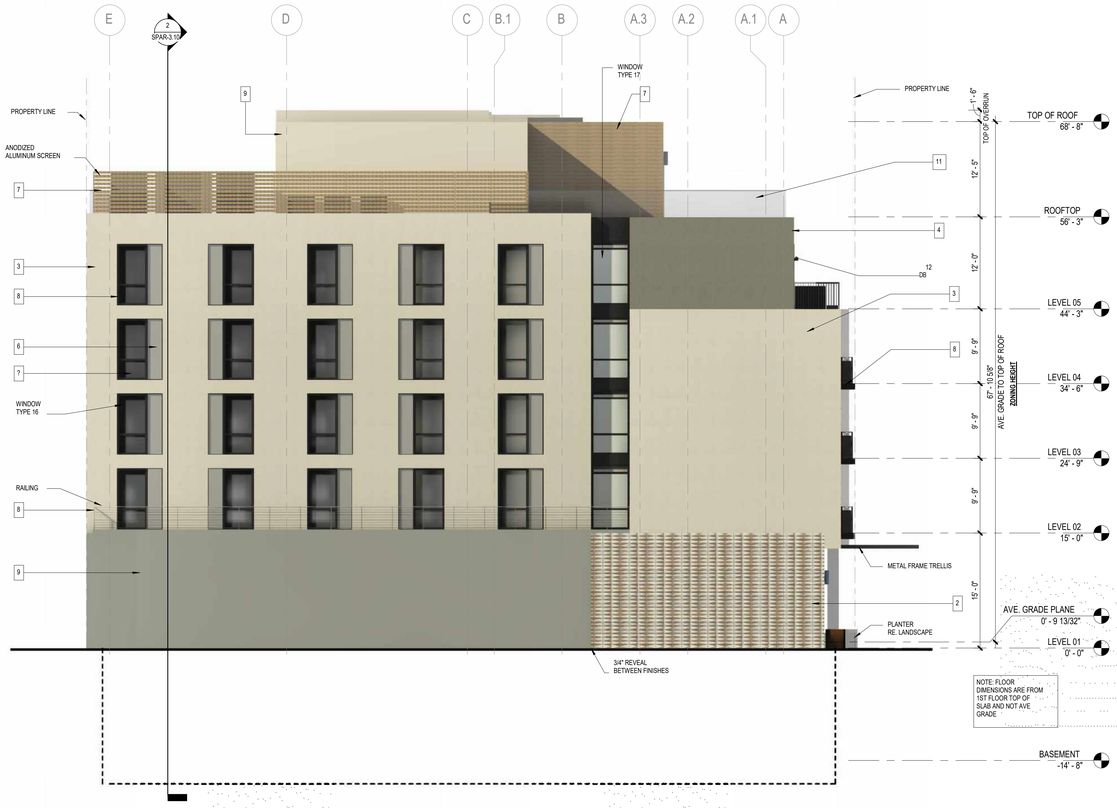

2 **ARCHITECTURAL - EAST ELEVATIONS**
SCALE: 1/8" = 1'-0"

1 **ARCHITECTURAL - SOUTH ELEVATION**
SCALE: 1/8" = 1'-0"

EXTERIOR GENERAL NOTES

1. FOR ALL EXTERIOR MATERALS SEE MATERIALS BOARD.
2. ALL MATERIALS NEED TO BE APPROVED.

KEYED NOTES

NUMBER	DESCRIPTION

WINDOW TYPE LEYEND

TYPE 01: FIXED WINDOWS

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TYPE 05: FULL HEIGHT ONE SLIDING PANEL.

TYPE 06: SLIDING OPERABLE WALL.

*ALL WINDOWS TO BE IN CLEAR GLASS AND DARK BRONZE METAL.

EXTERIOR ELEVATION LEGEND

1. CLADDING - DECORATIVE TILE 01 - DIMENSIONAL CONCRETE TILE - DARK GRAY.
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3. CLADDING - PORCELANOSA - MAKER ROPE.
4. CLADDING - PORCELANOSA - MAKER SMOKE.
5. GLASS - CLEAR.
6. CUSTOM CUT METAL PANEL - BRONZE.
7. CLADDING - PORCELANOSA MANHATTAN COGNAC.
8. METAL - DARK BRONZE.
9. STUCCO - COLOR TO MATCH PORCELANOSA MAKER ROPE.
10. BOARD FORMED CONCRETE COLUMNS.
11. RAILING - STRUCTURAL GLASS.
12. DA - LIGHTING FIXTURE SCONCE - BLUE RENZO
13. DB - LIGHTING FIXTURE OUTDOOR SCONCE.
14. CLADDING - ALUMINUM WOODGRAIN.

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ARCHITECTURAL - EXTERIOR ELEVATIONS

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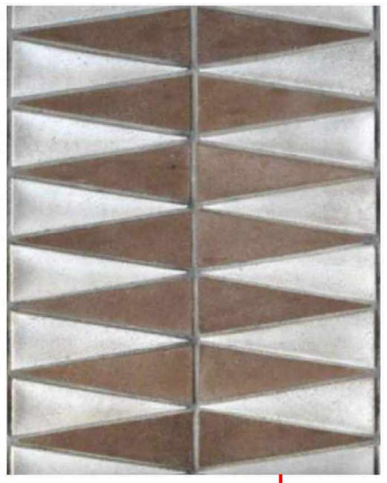
FLUTED COLORED CONCRETE TILE



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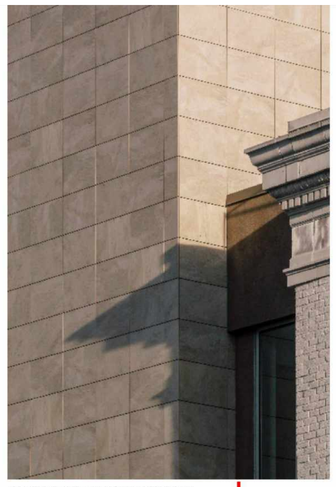

PORCELAIN FACADE SYSTEM

LASER CUT METAL PANELS

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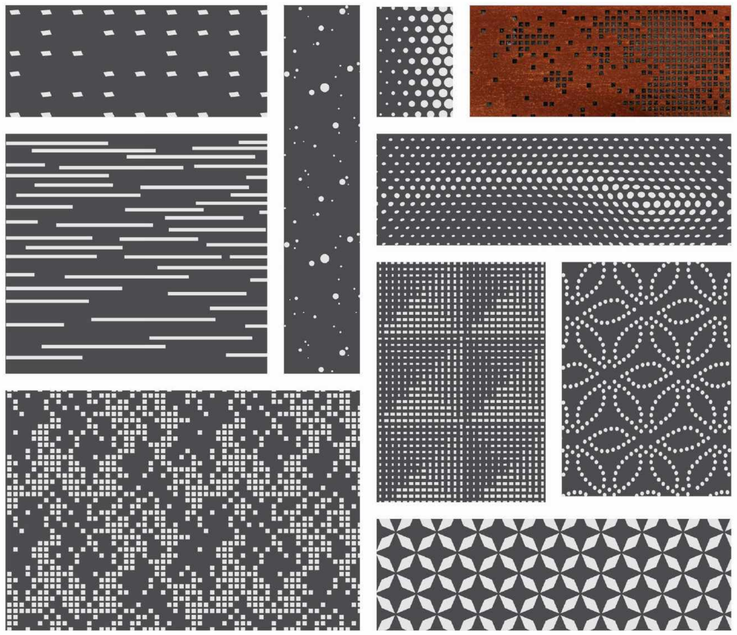

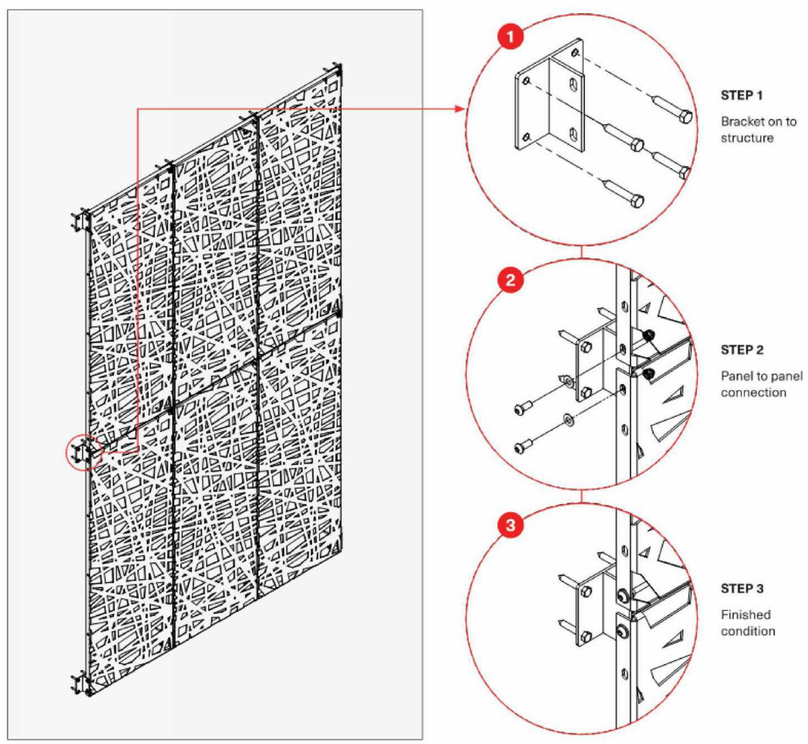

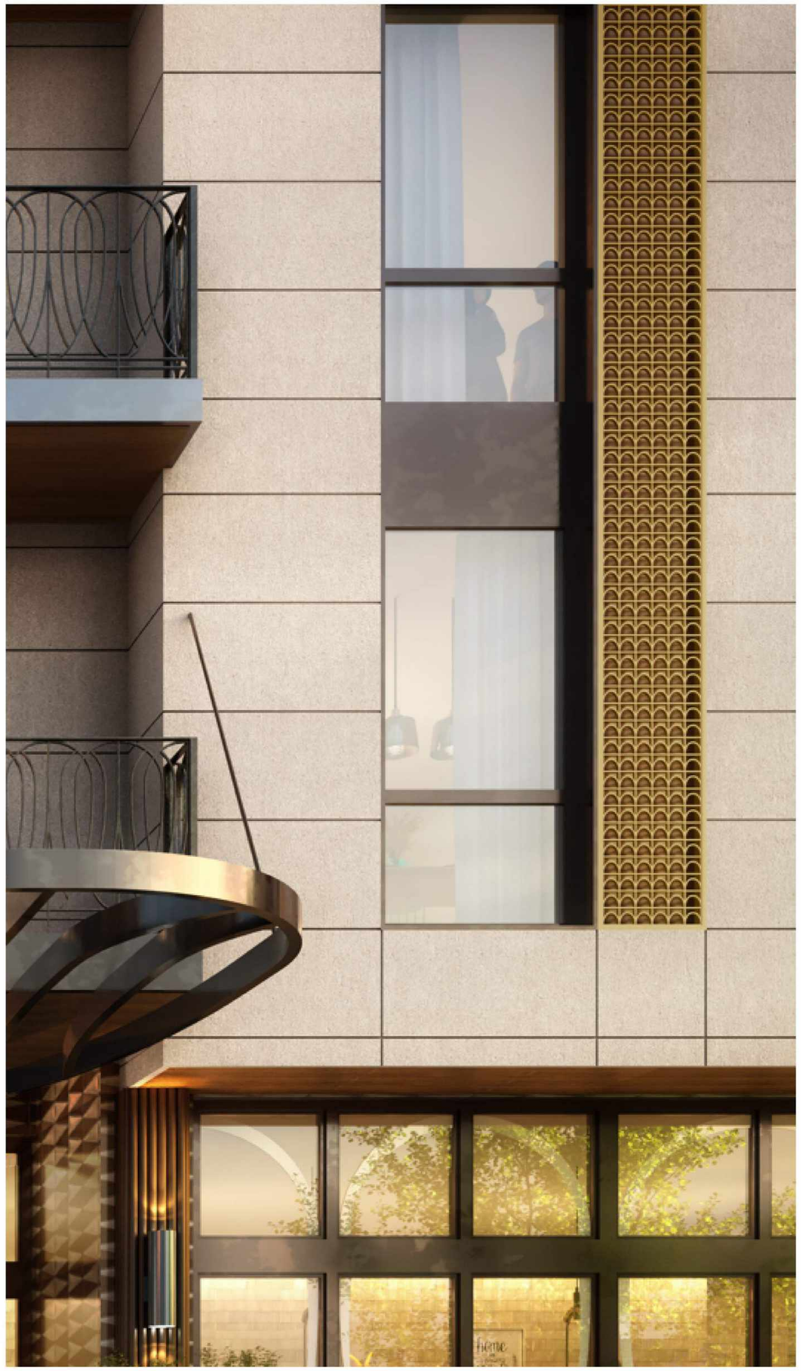

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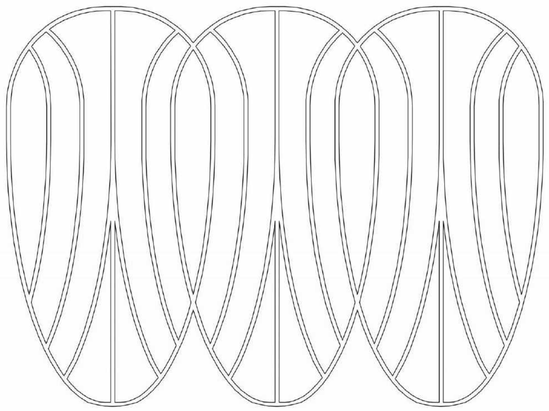

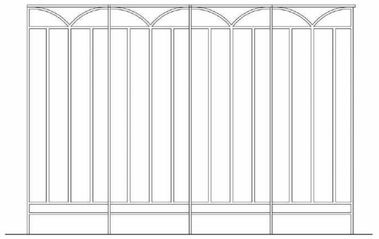

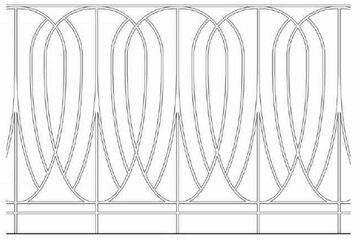

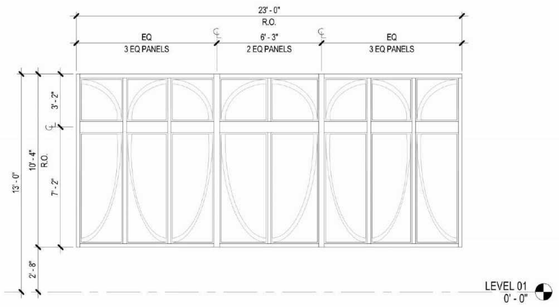

6 **EXTERIOR GLAZING ELEVATION - TYPE 06**
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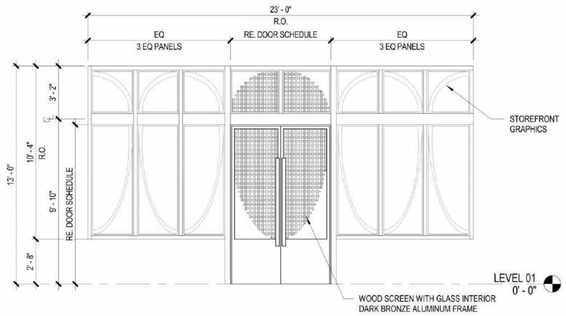

5 **TYPE 05**
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ARCHITECTURAL - ENTRY CANOPY DETAILS

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ORIGINAL ISSUE SPAR APPLICATION	DATE 08 SEPTEMBER 2023

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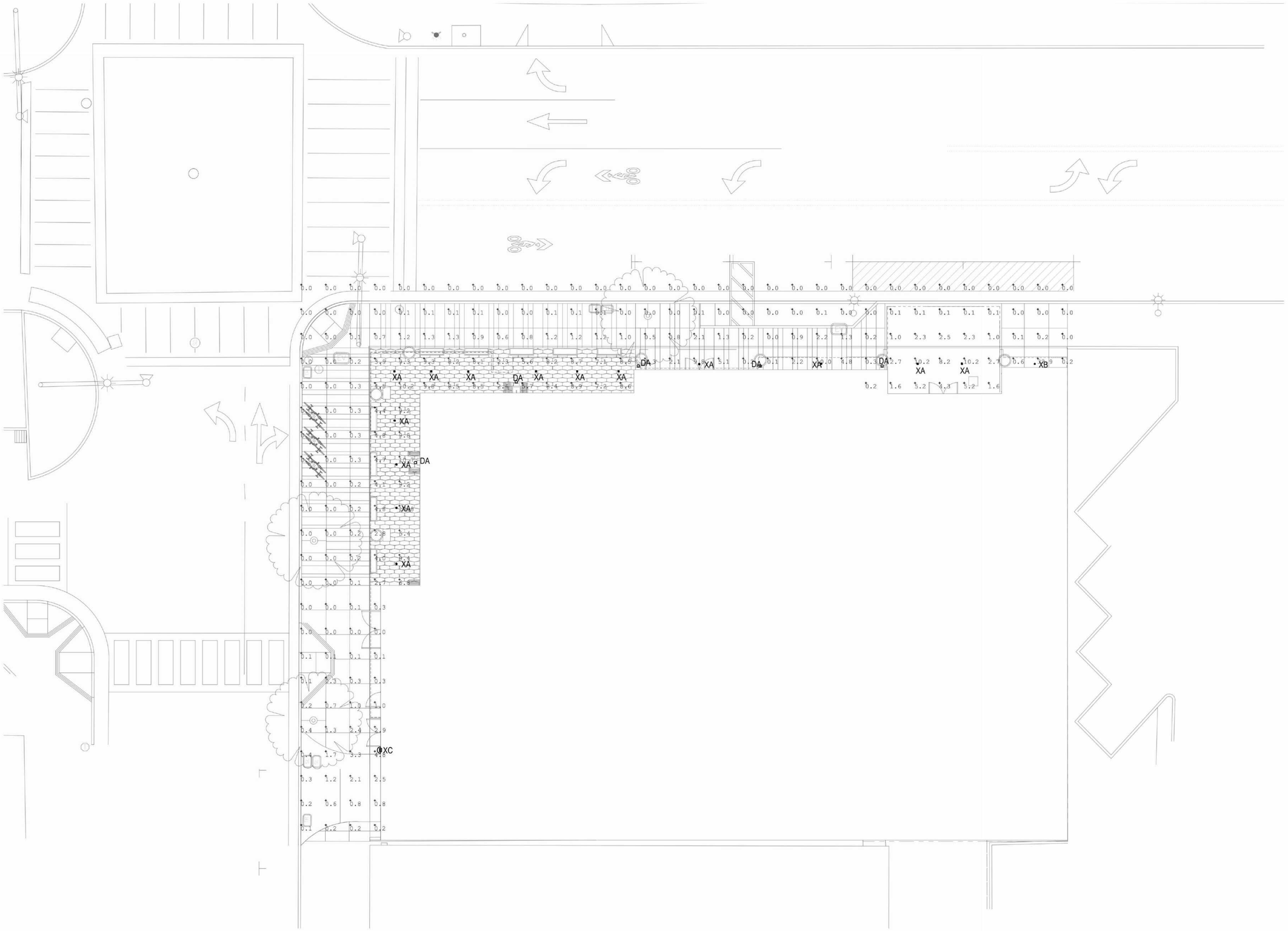

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Level 1 Site Photometrics	Illuminance	Fc	1.99	32.9	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	14	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model_ B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	126
	1	CLMDBSPL030_101_1xLED-LBD20B0	Single	CLMDBSPL030_101_1xLED-LBD20B00		0.850	616	9	9
	1	WDGE2_LED_P1_27K_90CRI_VW	Single	WDGE2_LED_P1_27K_90CRI_VW		0.850	1012	9.81	9.81

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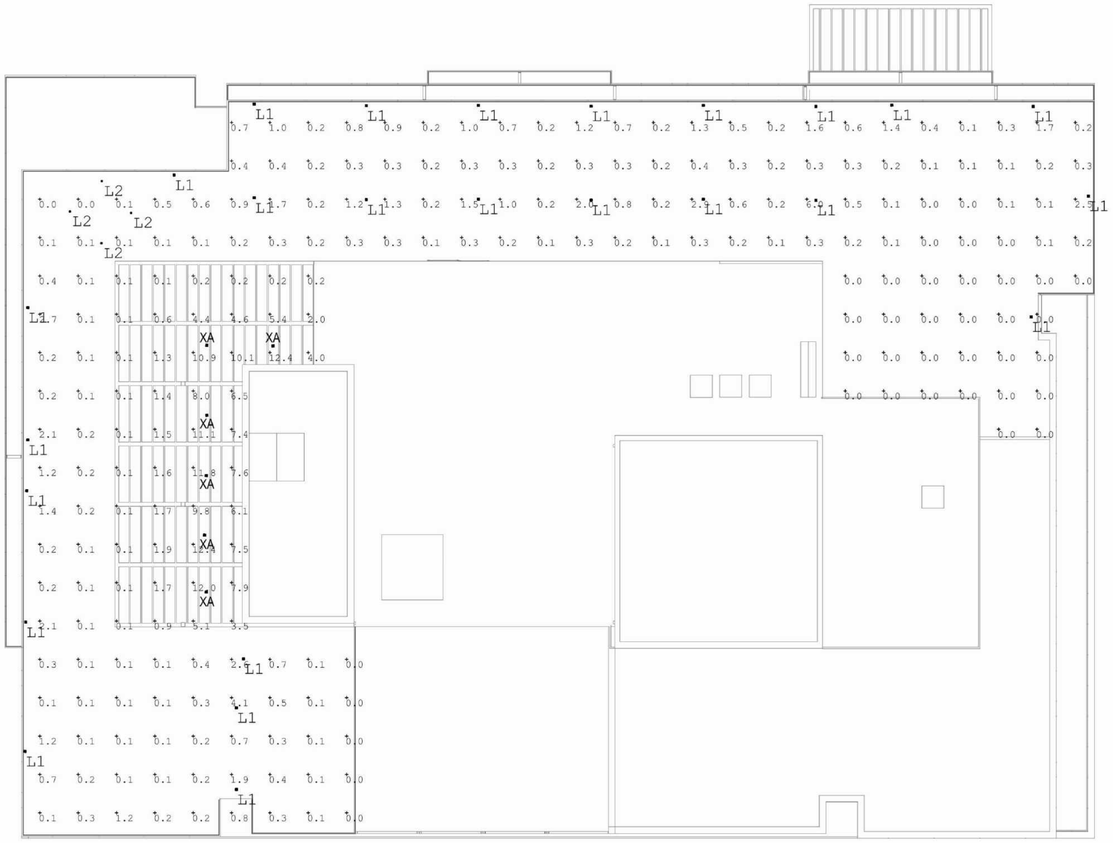

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
rooftop area	Illuminance	Fc	1.12	12.4	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	26	7380	Single	CRT2003060919-002, Model 7380	L1	0.850	630	13.3	345.8
	4	2134x212	Single	213 4x 212		0.850	144	5	20
	6	B3SD-09X3-30KS-40-S-MOD	Single	CRT1809251256-004-001-P7, Model B3SDF-20X3-30KS-40-NCIC-UNV-D6E MOD to 9W		0.850	947	9	54

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PHOTOMETRIC PLAN - ROOF

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