

PROJECT DESCRIPTION:

PHASE 2 SCOPE OF WORK:

CONVERT EXISTING BUILDING CONTAINING A GYM AND EXISTING UNITS TO SHORT TERM HOTEL AND/OR EXTENDED STAY RENTAL UNITS, AND A RETAIL SPACE.

NOTES:

- A. FOR FLOOR AREAS OF EACH UNIT, REFER TO SHEET A-1
- B. FOR UNIT FLOOR PLANS REFER TO SHEETS A-2, A-3, A-5, A-6

SITE STATISTICS:

- **LOT AREA:** 0.4 ACRES/ 17,490 SF
- **EXISTING HEIGHT:**
- 22 FEET (RIDGE)
- 24'-9" (TOP OF PARAPET)
- **ALLOWABLE MAX. HEIGHT:** 45'-0"
- **EXISTING GROSS FLOOR AREA:** 9,027 SF
- **PROPOSED GROSS FLOOR AREA (INCLUDING LOFTS):** 10,069 SF
- **MAX. ALLOWABLE FLOOR AREA RATIO MU-2 ZONING:** 2.50
- **PROPOSED FLOOR AREA RATIO :** 10,069 SF / 17,490 SF = 0.61

GENERAL INFORMATION:

PROPERTY ADDRESSES:
800 PETALUMA BLVD. SOUTH
PETALUMA, CA 94952

A.P.N. 008-313-016

ZONING/ USE CODE: MU-2 (MIXED USE) / STORE W/ RESIDENTIAL UNIT OR UNITS

OCCUPANCY GROUP:

- UNIT "L" - M - MERCANTILE/ RETAIL
- UNITS H, J, K, B, C, D, E, F = R-1/ R-2 (HOTEL/ EXTENDED STAY)
- UNIT "A" - CARE TAKER = R-1/ R-2
- RECEPTION AREA = A-2
- GARAGE = U

TYPE OF CONSTRUCTION:

- TYPE 3 (MASONRY)
- TYPE 5 (WOOD FRAME)

NUMBER OF STORIES: 1

AUTOMATIC SPRINKLER: YES (2022 CRC R313)

DESIGNER:

GREEN BUILDING ARCHITECTS
BILL WOLPERT, ARCHITECT C17133
7 FOURTH STREET, SUITE 61
PETALUMA, CA 94952
PHONE: + 1 (707) 789- 0822
EMAIL: WOLPERT@SONIC.NET

STRUCTURAL ENGINEER:

LEVEL STRUCTURAL ENGINEERING
C/O MARK LEVEL, P.E.
7106 BODEGA AVE.
P.O.BOX 1302
SEBASTOPOL, CA 95473
PHONE: (707) 829-8439

CIVIL ENGINEER/ SURVEYOR:

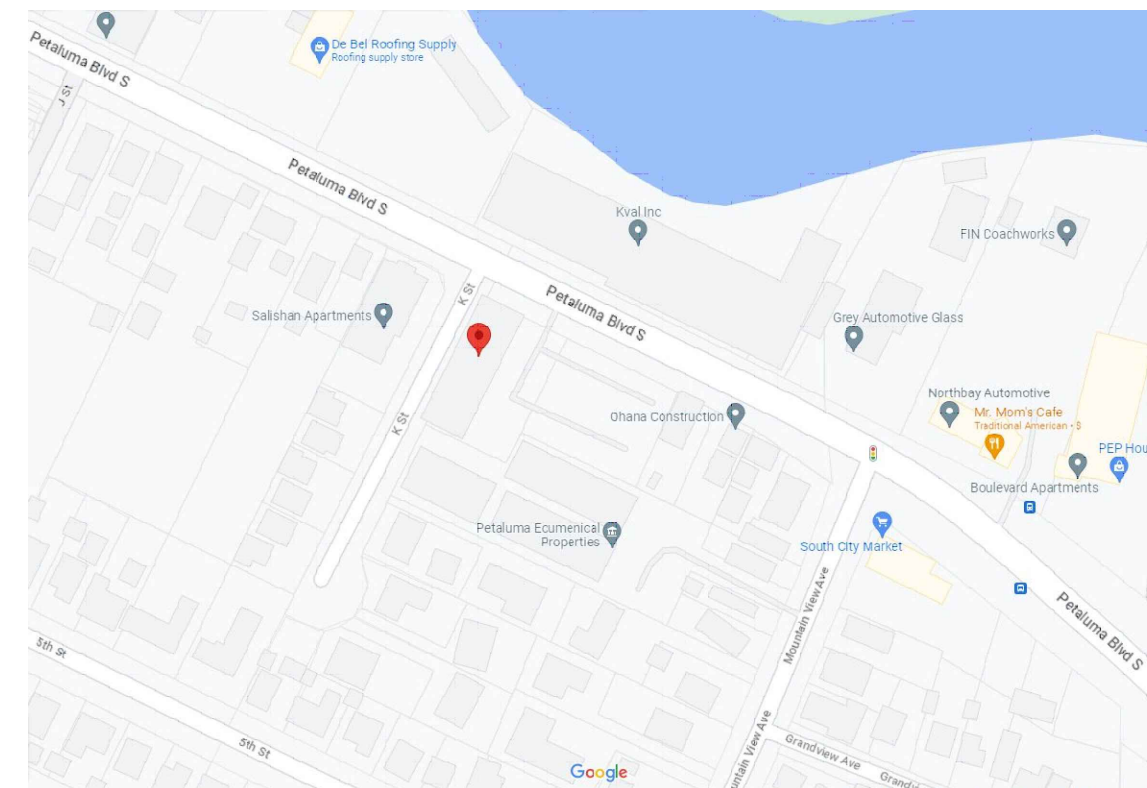
STEVEN J. LAFRANCHI & ASSOCIATES, INC.
PETALUMA THEATRE SQUARE
140 SECOND STREET, SUITE 312
PETALUMA, CA 94952
PHONE: (707) 762-3122 FAX (707) 762-3239
EMAIL: STEVE@SJLA.COM

LANDSCAPE ARCHITECT:

JOHNSON RINEHART LANDSCAPE ARCHITECTURE
C/O BILL RINEHART
118 ENGLISH STREET
PETALUMA, CA 94952
PHONE: (707) 766-9462
EMAIL: BILL@JOHNSONRINEHART.COM

TITLE 24 ENERGY EFFICIENCY CALCULATIONS/ CAL GREEN MANDATORY MEASURES / HVAC DESIGN & REPORTS:

RICK'S ENERGY SOLUTIONS
1523 CAVENDISH AVENUE
SANTA ROSA, CA 95401
PHONE: 707-578-5380



VICINITY MAP
NO SCALE

SHEET INDEX	
A - 0	GENERAL INFORMATION & SHEET INDEX
CM-1	AERIAL CONTEXT MAP
CM-2	AERIAL CONTEXT MAP
A - 1	PROPOSED FLOOR AREA SUMMARY + REFERENCE PLAN
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A - 3	AS-BUILT & PROPOSED LOFT FLOOR PLAN
A - 4	PROPOSED ROOF PLAN
A - 5	UNIT H, J, AND K PROPOSED 1/2" FIRST & SECOND FLOOR PLANS
A - 6	UNIT "L" PROPOSED 1/4" FIRST FLOOR PLAN + UNIT "A" PROPOSED 1ST AND 2ND FLR. PLANS
A - 7	BUILDING SECTIONS - UNITS H, J, K, A
A - 8	EXISTING & PROPOSED SOUTH ELEVATION
A - 9	EXISTING & PROPOSED NORTH ELEVATION
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EF -1	PROPOSED EXTERIOR FINISH MATERIALS & COLORS
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C-1	SURVEY OF EXISTING CONDITIONS
C-2	DEMOLITION PLAN
C-3	PRELIMINARY GRADING, DRAINAGE & UTILITIES
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C-5	DETAILS
C-6	SILVA CELL DETAILS
C-7	STORM WATER CONTROL PLAN
L -1	PRELIMINARY LANDSCAPE SITE AND MATERIALS PLAN
L - 2	SHEMATIC PLANTING PLAN
L - 3	PROPOSED PROJECT RENDERINGS AND MATERIALS
L - 4	TRASH ENCLOSURE ENLARGED PLANS & DETAILS

REVISIONS:
SPAR SMTL. 05.08.23

GBA
GREEN BUILDING ARCHITECTS
WILLIAM WOLPERT / ARCHITECT
7 FOURTH ST., STUDIO 61, PETALUMA, CA 94952, TEL: 707.789.0822

APN: 008-313-016

**WAREHOUSE LOFTS + RETAIL SPACE FOR:
MR. FRANK DOSTAL
800 PETALUMA BLVD. SOUTH
PETALUMA, CA 94952**

STAMP:

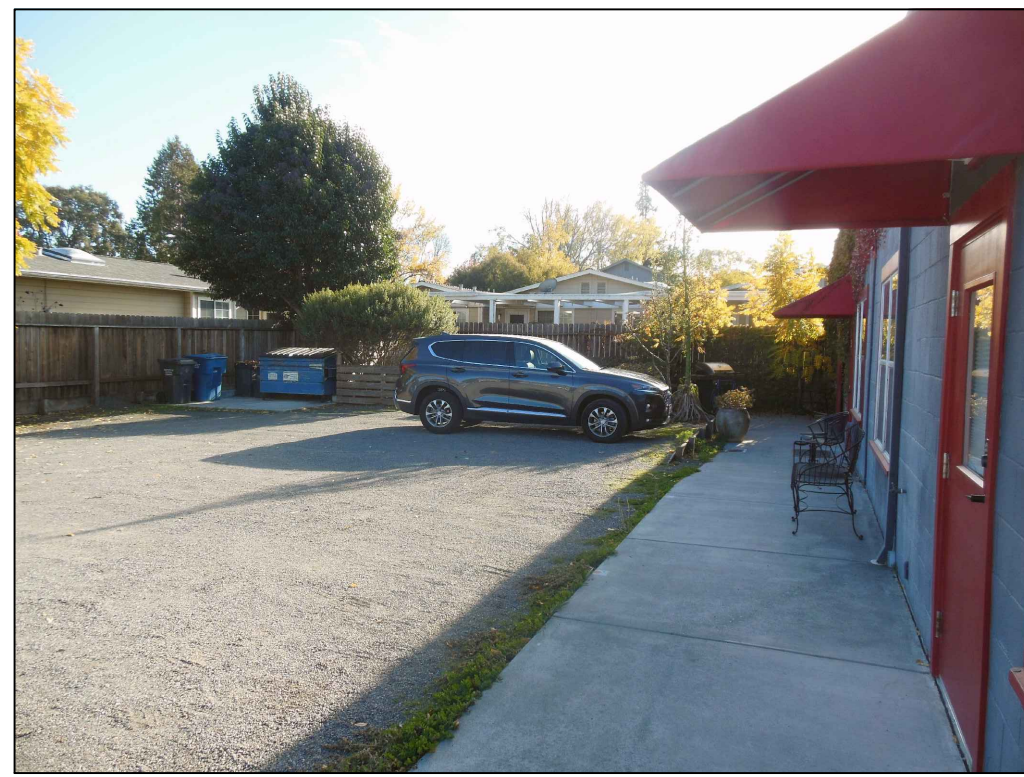
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JOB: DOSTAL
SHEET:

A - 0

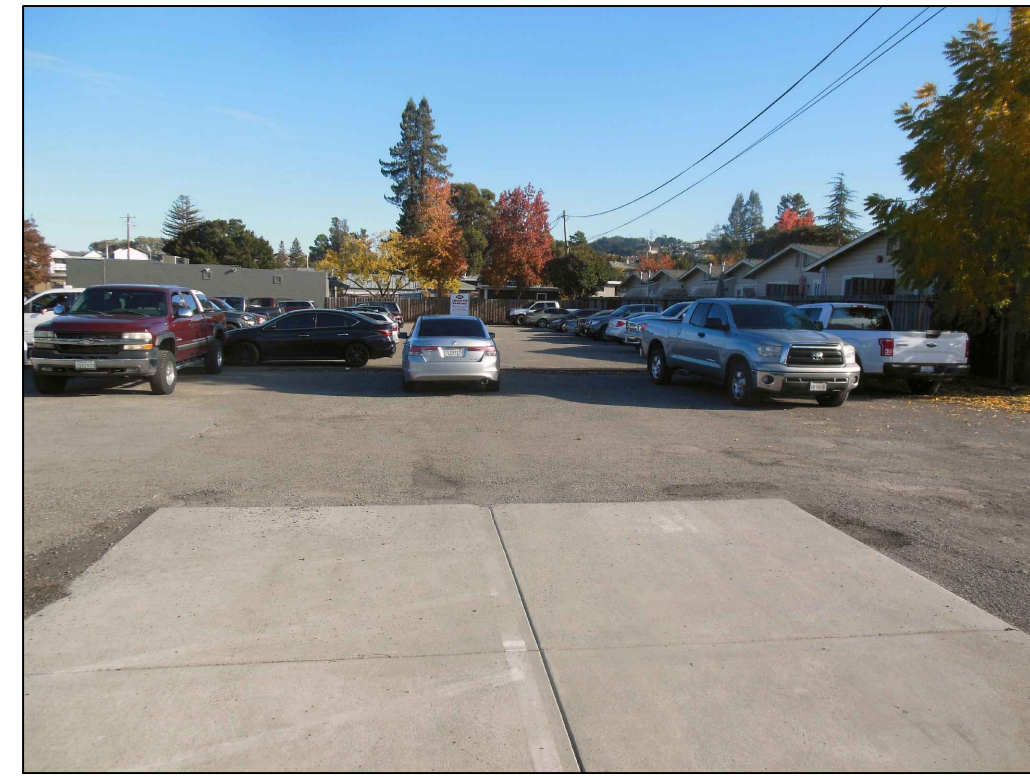
PETALUMA WAREHOUSE LOFTS

PRELIMINARY - NOT FOR CONSTRUCTION

EXISTING NEIGHBORING PROPERTIES & SITE PHOTOS



1



2



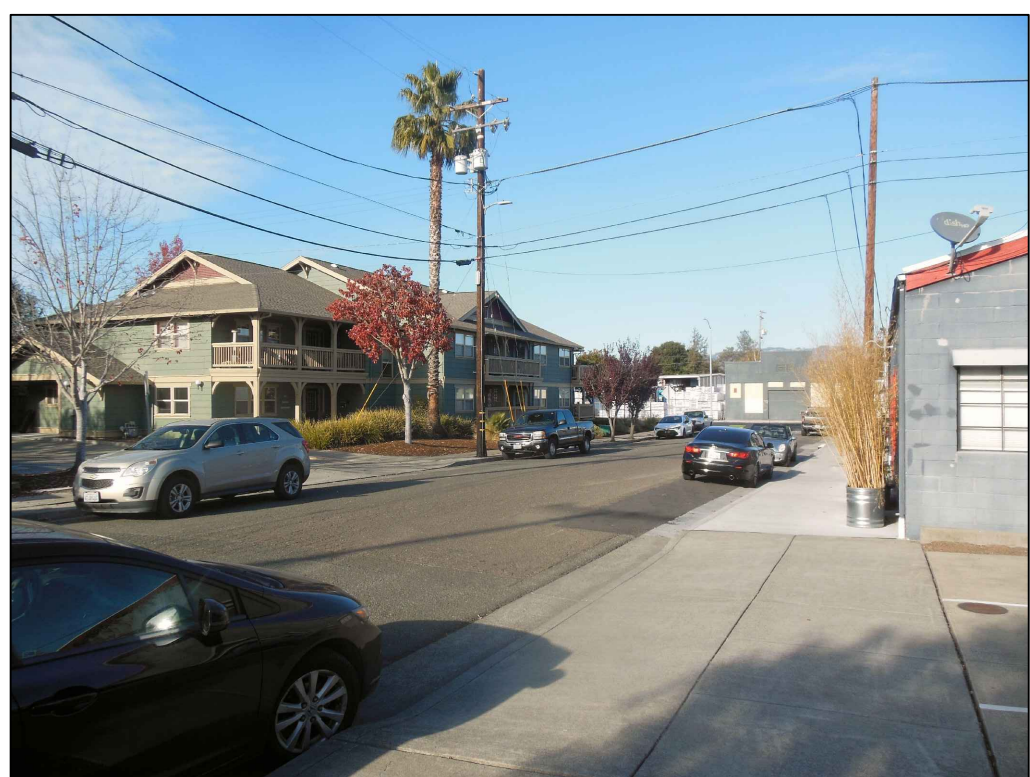
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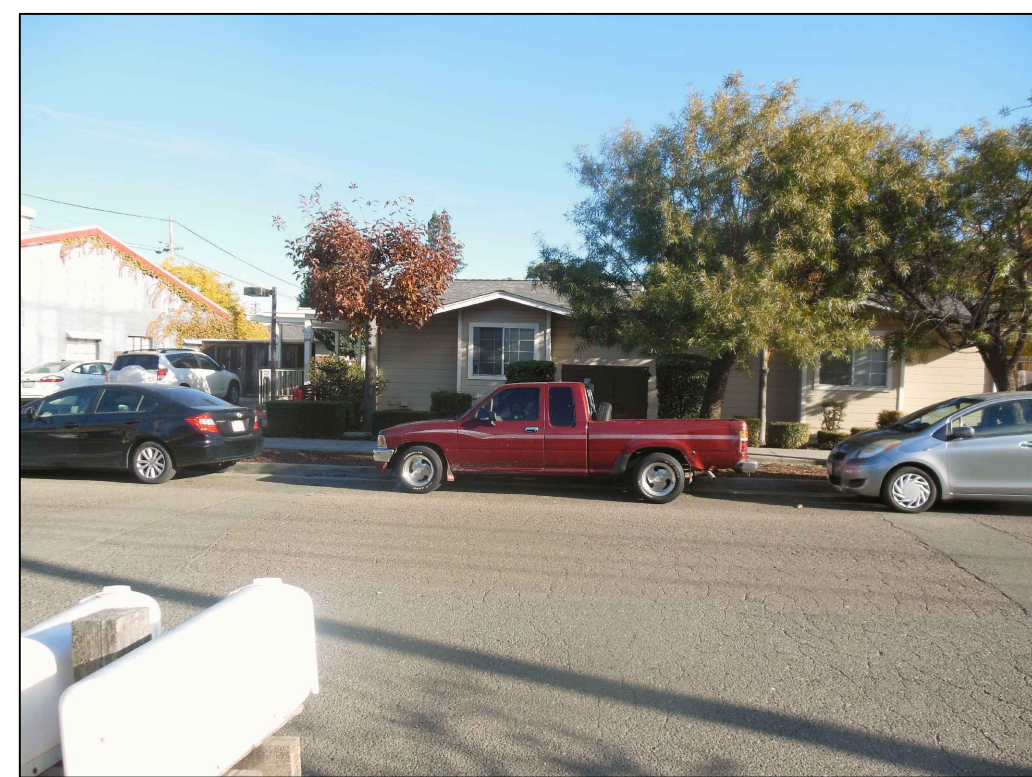
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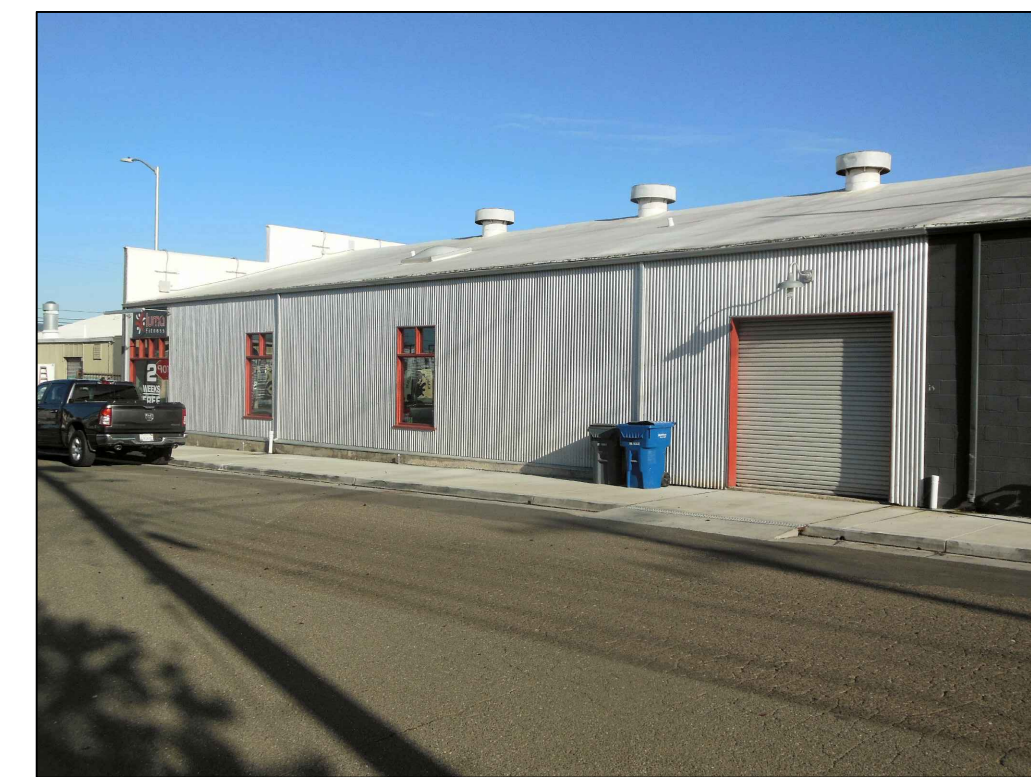
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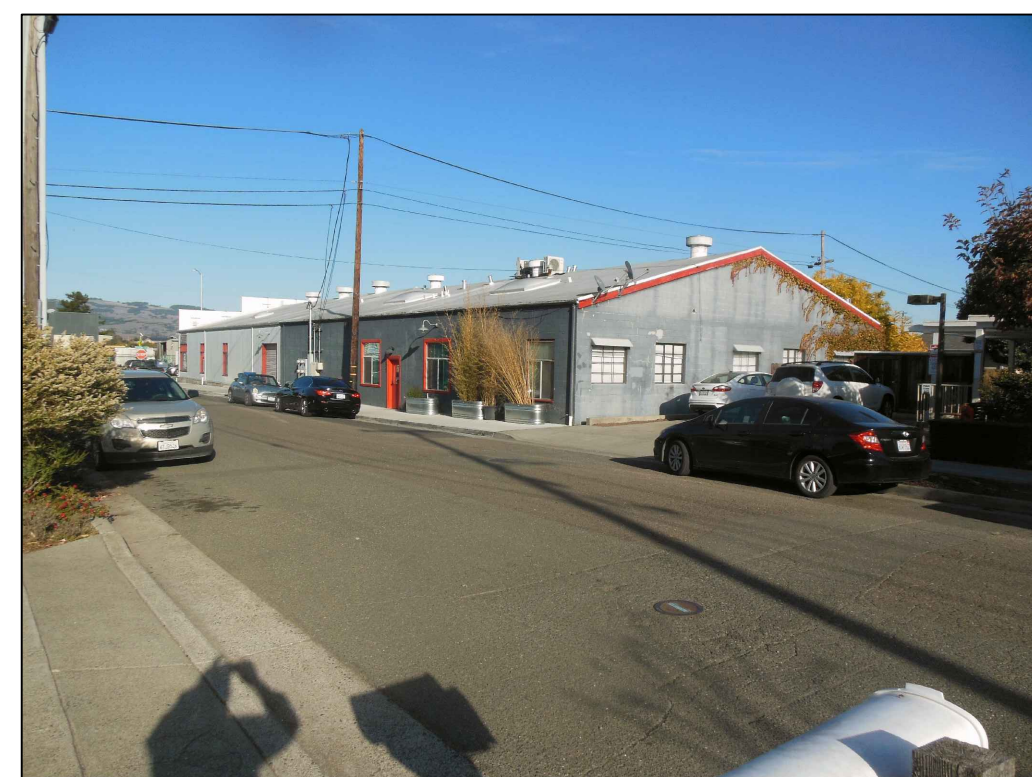
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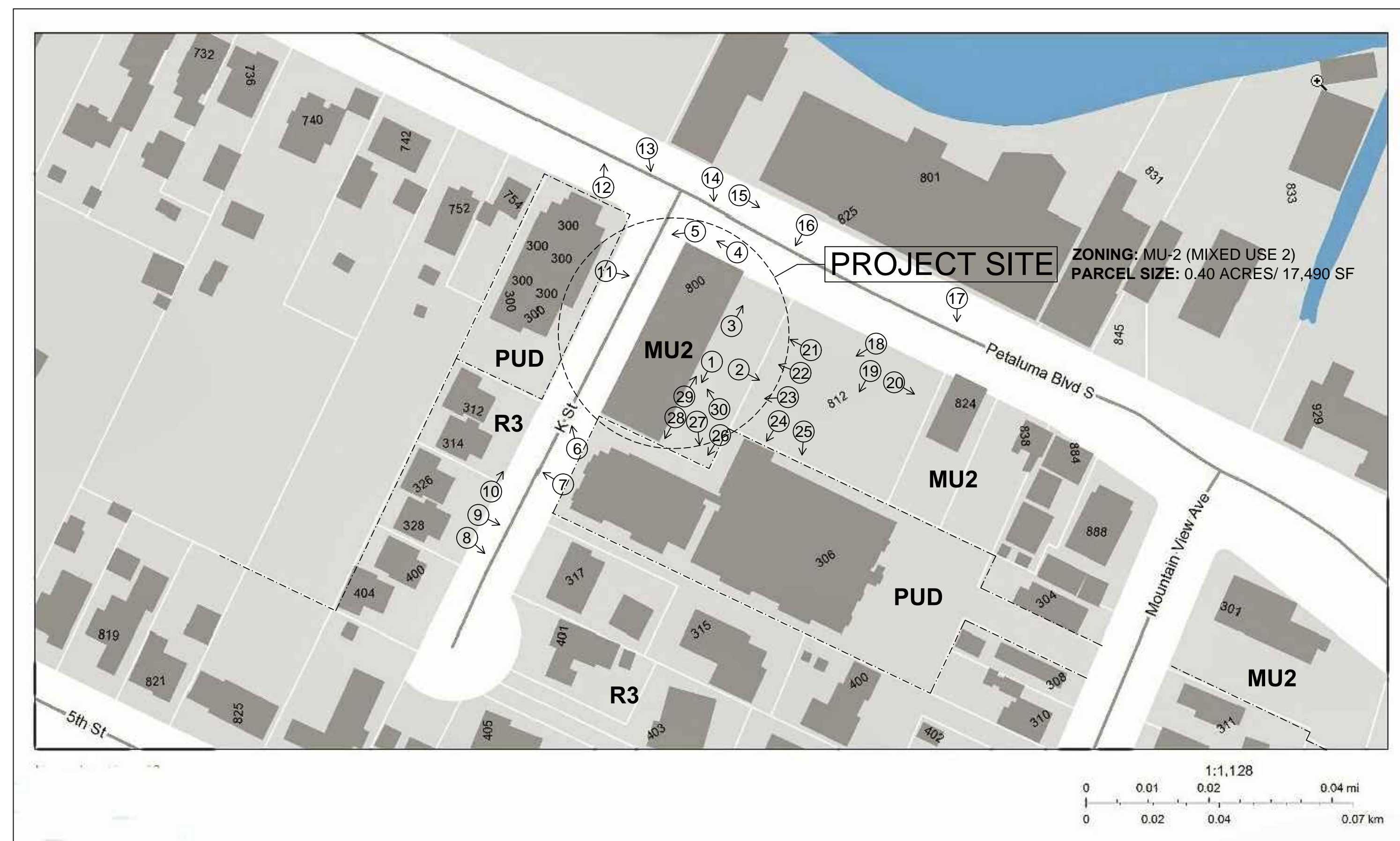
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AERIAL CONTEXT MAP

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JOB: DOSTAL

SHEET:

CM - 1

EXISTING NEIGHBORING PROPERTIES & SITE PHOTOS



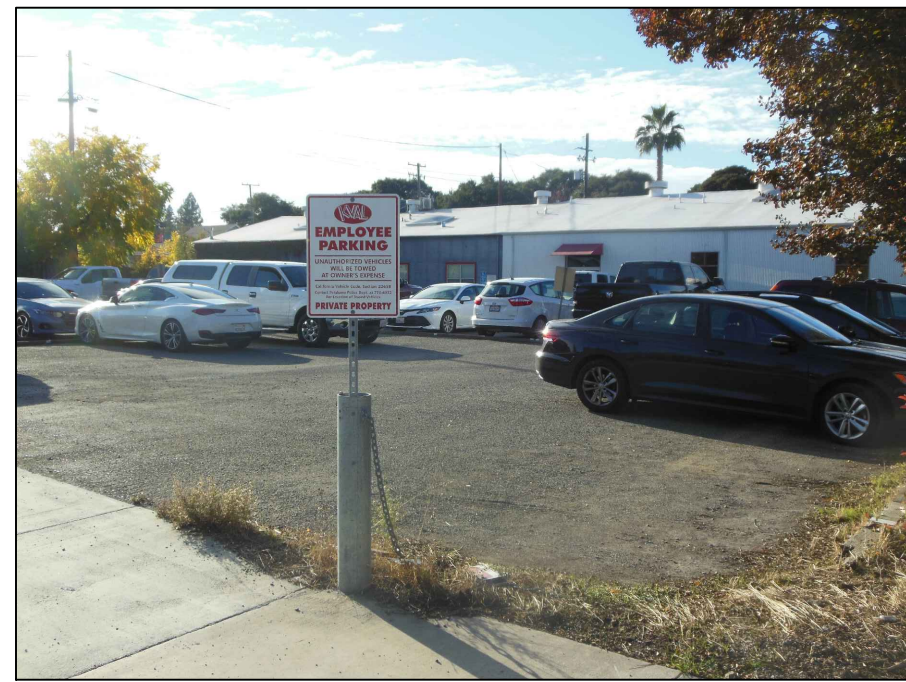
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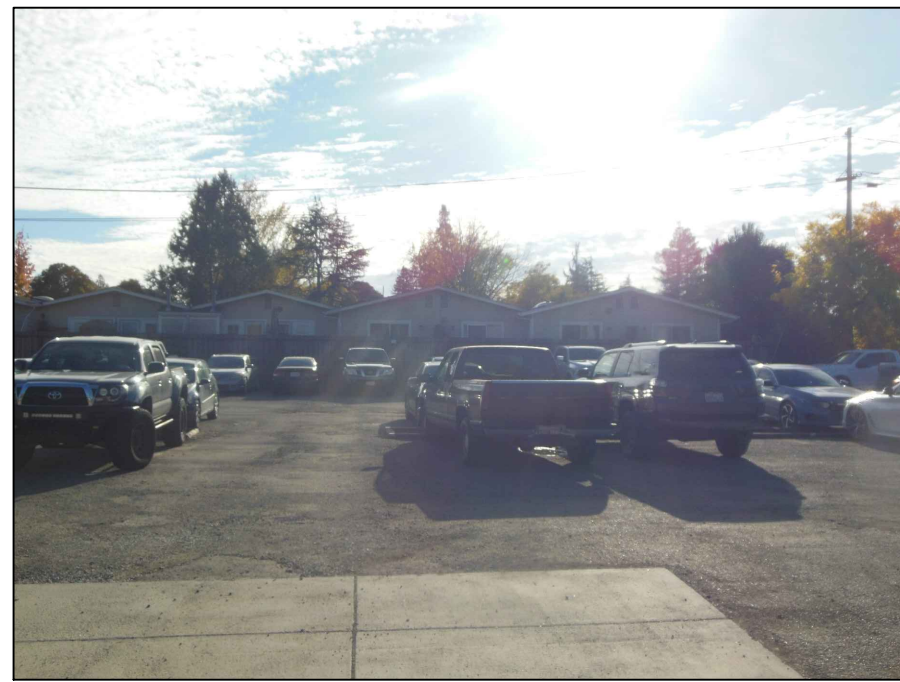
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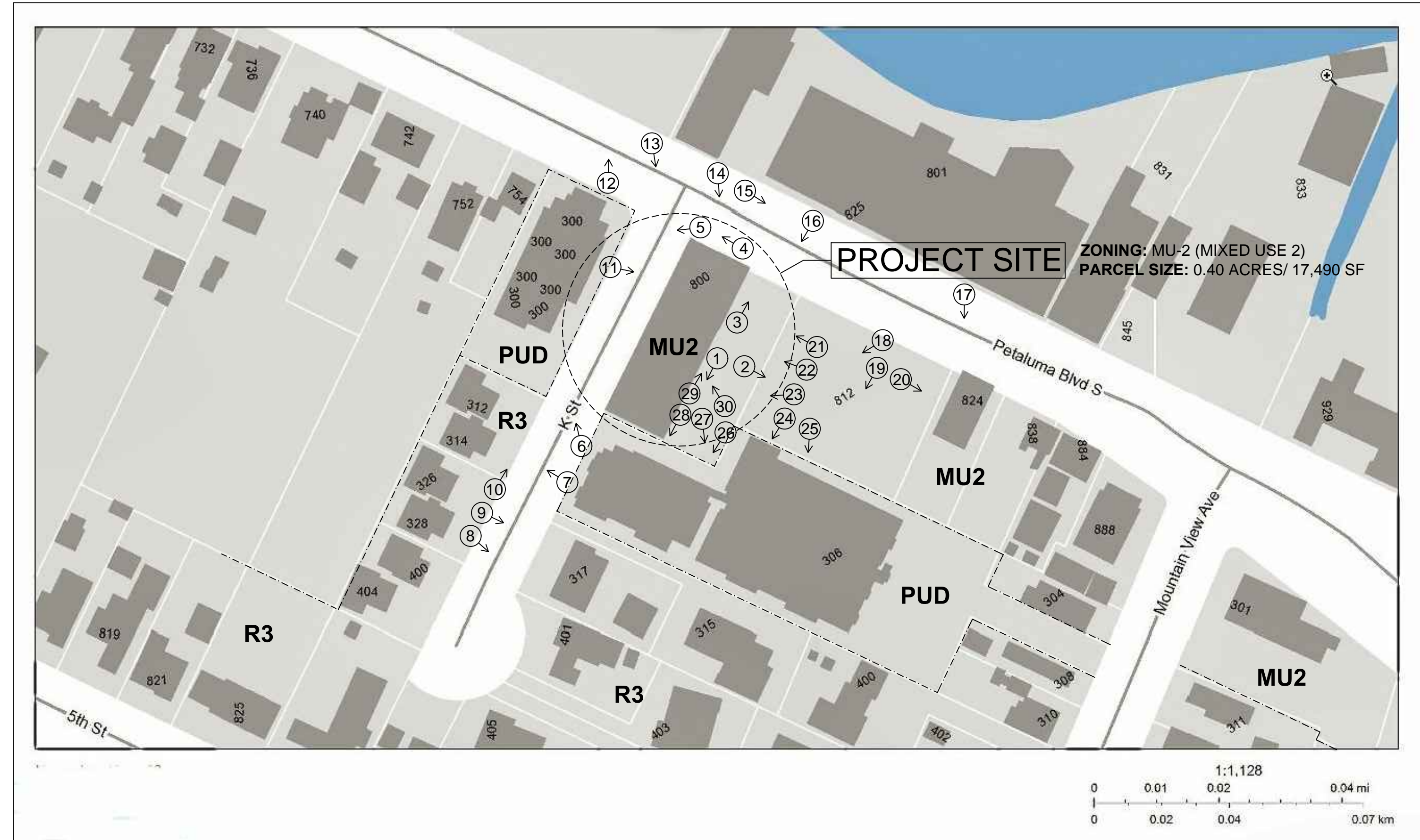
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AERIAL CONTEXT MAP



21



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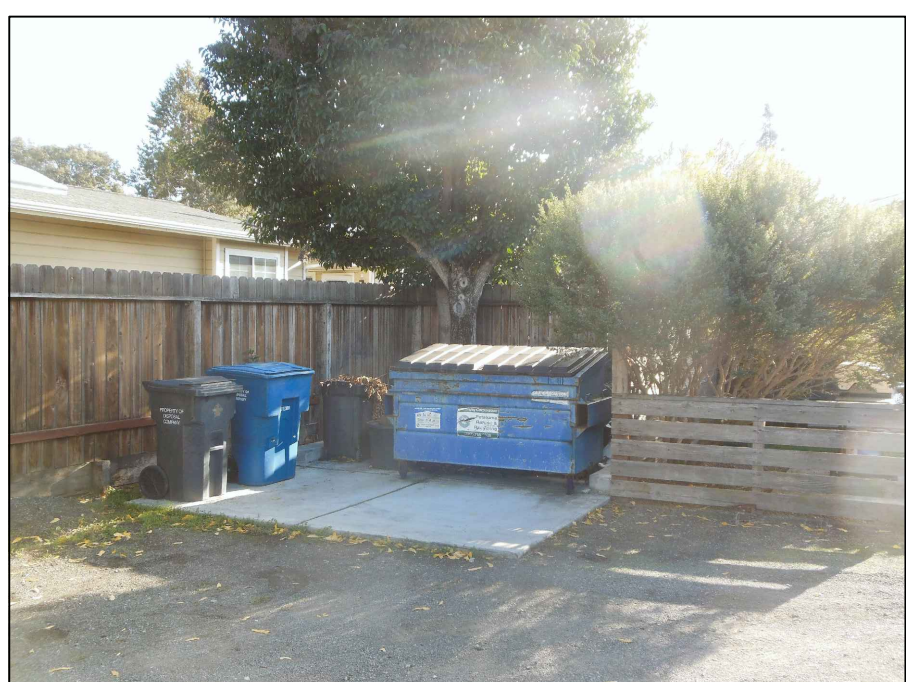
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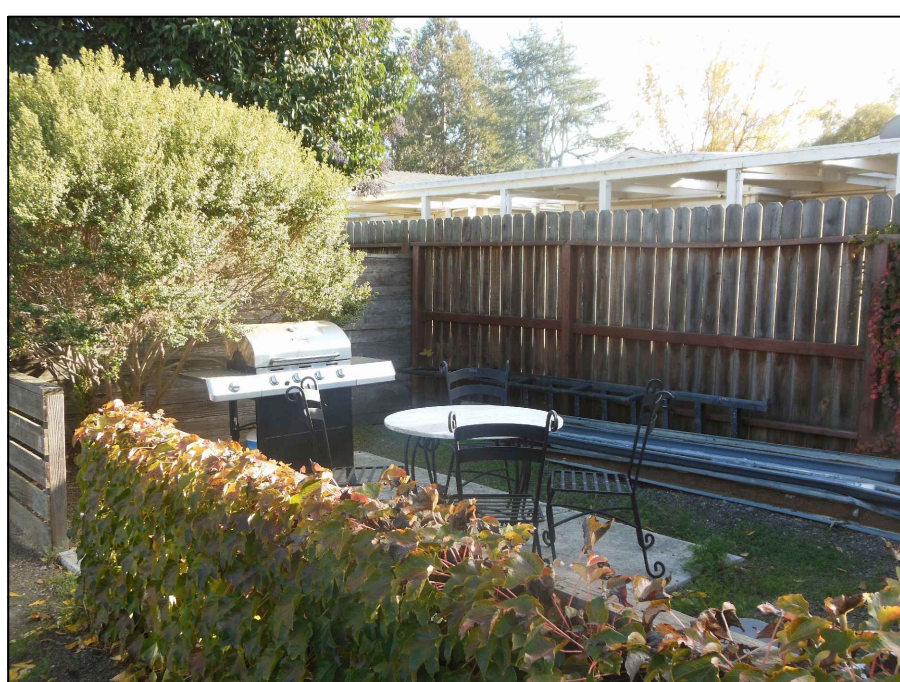
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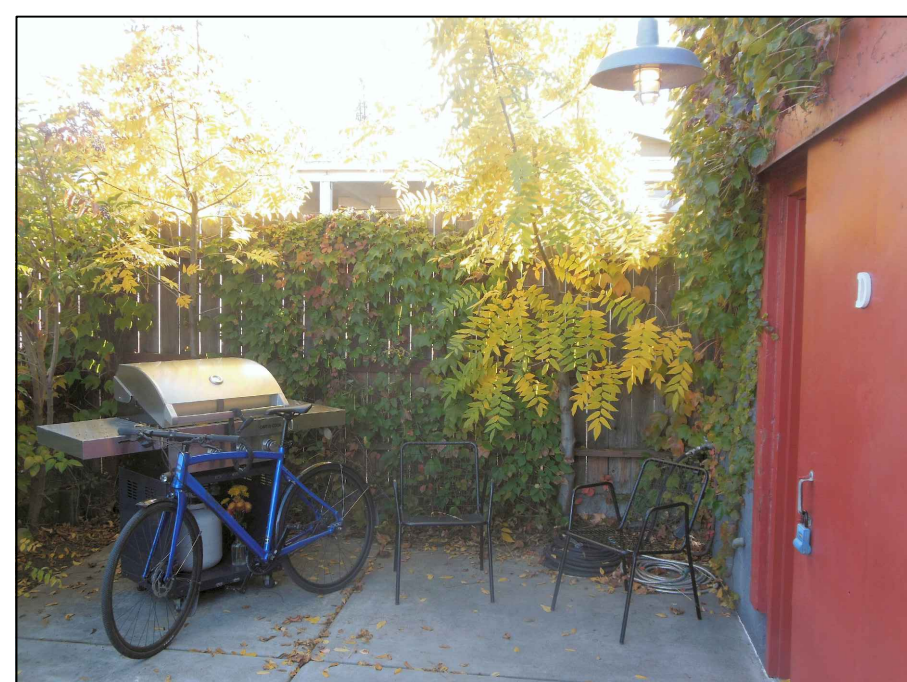
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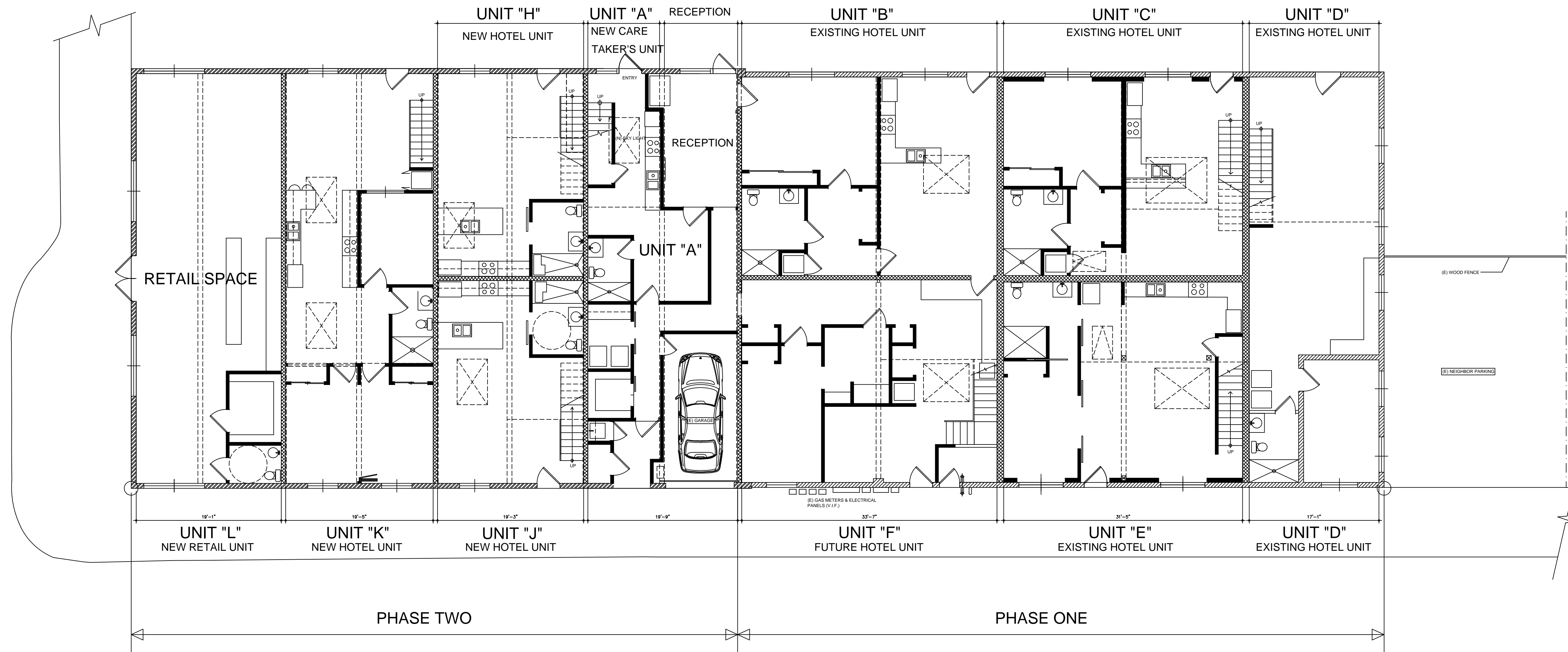
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JOB:
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SHEET:

CM-2

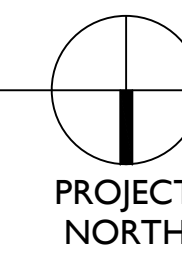
PRELIMINARY - NOT FOR CONSTRUCTION



NOTE: FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED REFER TO FLOOR PLANS ON SHEETS A-2 THROUGH A-6

REFERENCE BUILDING FLOOR PLAN

SCALE 1/8" = 1'-0"



800 PETALUMA BLVD. SOUTH - NEW CONSTRUCTION FLOOR AREA SUMMARY					
UNIT # / PROPOSED USE	CONDITIONED FLOOR AREA		TOTAL CONDITIONED FLOOR AREA	OTHER ENCLOSED UN-CONDITIONED FLOOR AREA (REFER TO FLOOR PLANS)	TOTAL NEW CONSTRUCTION FLOOR AREA
	1ST FLOOR	2ND. FLOOR			
PHASE ONE					
1 B- HOTEL UNIT	879	0	879	0	879
2					
3 C- HOTEL UNIT	806	116	922	0	922
4					
5 D- HOTEL UNIT	912	291	1,203	0	1,203
6					
7 E- HOTEL UNIT	813	144	957	0	957
8					
9 F- HOTEL UNIT	896	156	1,052	0	1,052
10					
PHASE TWO					
11					
13 L- RETAIL UNIT	1,031	0	1,031	0	1,031
14					
15 K- HOTEL UNIT	1,049	227	1,276	0	1,276
16					
17 H- HOTEL UNIT	514	162	676	0	676
18					
19 J- HOTEL UNIT	514	162	676	0	676
20					
21 A- CARE TAKER UNIT	373	371	744	0	744
22					
23 RECEPTION AREA	181	0	181	0	181
24					
25 LAUNDRY & JANITORIAL	0	0	0	121	121
26					
27 GARAGE	0	0	0	216	216
28					
29 HALL WAY	0	0	0	135	135
30					
35 TOTAL	7,968	1,629	9,597	472	10,069

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GB
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SHEET:

A - 1

FOR ADDITIONAL INFORMATION NOT SHOWN OR NOTED:

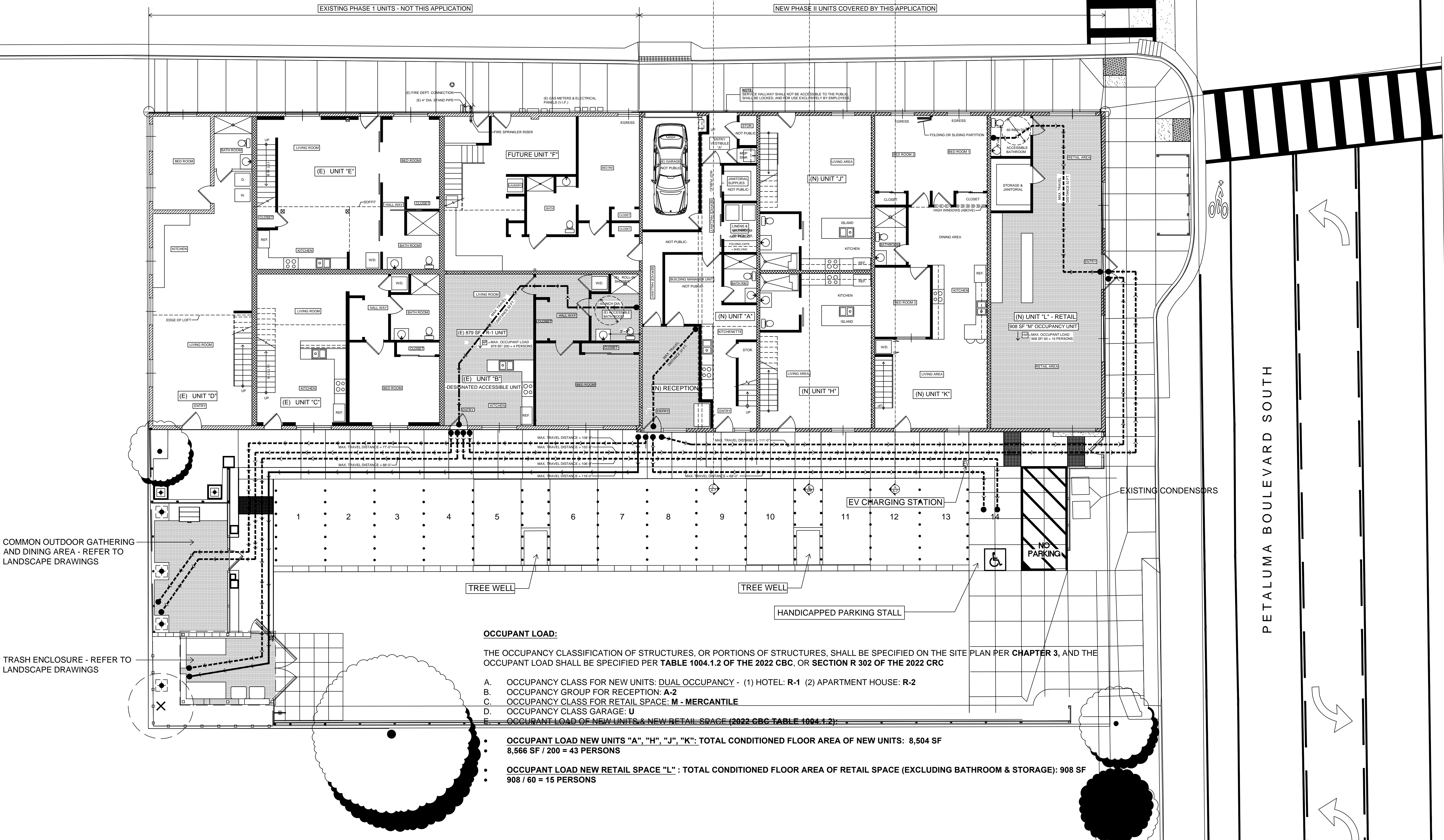
- REFER TO FLOOR PLANS (SHEETS A-2, A-3, A-5, A-6)
- REFER TO CIVIL AND LANDSCAPE PLANS

2020 CBC CHAPTER 11A & 11B STATEMENT OF APPLICABILITY:

AS WE DISCUSSED, OUR CLIENT WOULD LIKE TO HAVE FLEXIBILITY WITH THE USE OF THE NEW UNITS INCLUDED IN THIS APPLICATION.

THE UNITS MAY BE USED AS HOTEL UNITS (R-1 OCCUPANCY), OR THEY MAY BE USED AS EXTENDED STAY APARTMENTS (R-2 OCCUPANCY). TO ACHIEVE THIS DUAL OCCUPANCY FLEXIBILITY, THE DIRECTIVE PROVIDED WAS TO DESIGN THE UNITS IN COMPLIANCE WITH BOTH R-1 AS WELL AS R-2 OCCUPANCY DESIGN PARAMETERS. AS FAR AS HANDICAPPED ACCESSIBLE REQUIREMENTS, WE WERE ASKED TO PROVIDE A "CLEAR STATEMENT OF APPLICABILITY" FOR CHAPTER 11A & 11B.

GIVEN THE PROPOSED DUAL (R-1/R-2) OCCUPANCY CLASSIFICATION, THE UNITS ARE DESIGNED TO COMPLY WITH THE REQUIREMENTS OF BOTH CHAPTER 11A (HOUSING ACCESSIBILITY) AS WELL AS CHAPTER 11B (ACCESSIBILITY TO PUBLIC BUILDINGS).



OCCUPANT LOAD:

THE OCCUPANCY CLASSIFICATION OF STRUCTURES, OR PORTIONS OF STRUCTURES, SHALL BE SPECIFIED ON THE SITE PLAN PER CHAPTER 3, AND THE OCCUPANT LOAD SHALL BE SPECIFIED PER TABLE 1004.1.2 OF THE 2022 CBC, OR SECTION R 302 OF THE 2022 CRC

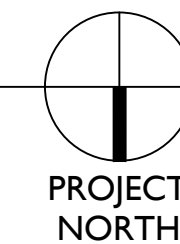
- A. OCCUPANCY CLASS FOR NEW UNITS: DUAL OCCUPANCY - (1) HOTEL: R-1 (2) APARTMENT HOUSE: R-2
- B. OCCUPANCY GROUP FOR RECEPTION: A-2
- C. OCCUPANCY CLASS FOR RETAIL SPACE: M - MERCANTILE
- D. OCCUPANCY CLASS GARAGE: U
- E. OCCUPANT LOAD OF NEW UNITS & NEW RETAIL SPACE (2022 CBC TABLE 1004.1.2):

- OCCUPANT LOAD NEW UNITS "A", "H", "J", "K": TOTAL CONDITIONED FLOOR AREA OF NEW UNITS: 8,504 SF
- 8,566 SF / 200 = 43 PERSONS

- OCCUPANT LOAD NEW RETAIL SPACE "L": TOTAL CONDITIONED FLOOR AREA OF RETAIL SPACE (EXCLUDING BATHROOM & STORAGE): 908 SF
- 908 / 60 = 15 PERSONS

EGRESS PATH & TRAVEL DISTANCE DIAGRAMS

SCALE 1/8" = 1'-0"



REVISIONS:

SPAR SMTL. 05.08.23

GBA
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STAMP:

DATE:
08.28.23

SCALE:

DRAWN:
KWM

JOB:
DOSTAL

SHEET:

A -1.1

PRELIMINARY - NOT FOR CONSTRUCTION

NOTE:

FOR ENLARGED PLANS WITH ADDITIONAL INFORMATION REFER TO THE FOLLOWING SHEETS:

1. UNIT "L" - LOFT/ STORAGE - SHEETS A-6
2. UNIT "K" - LOFT - SHEET A-5
3. UNIT "H" - LOFT - SHEET A-5
3. UNIT "J" - LOFT - SHEET A-5
4. UNIT "A" - OFFICE/ CONCIERGE UNIT LOFT - SHEET A-6

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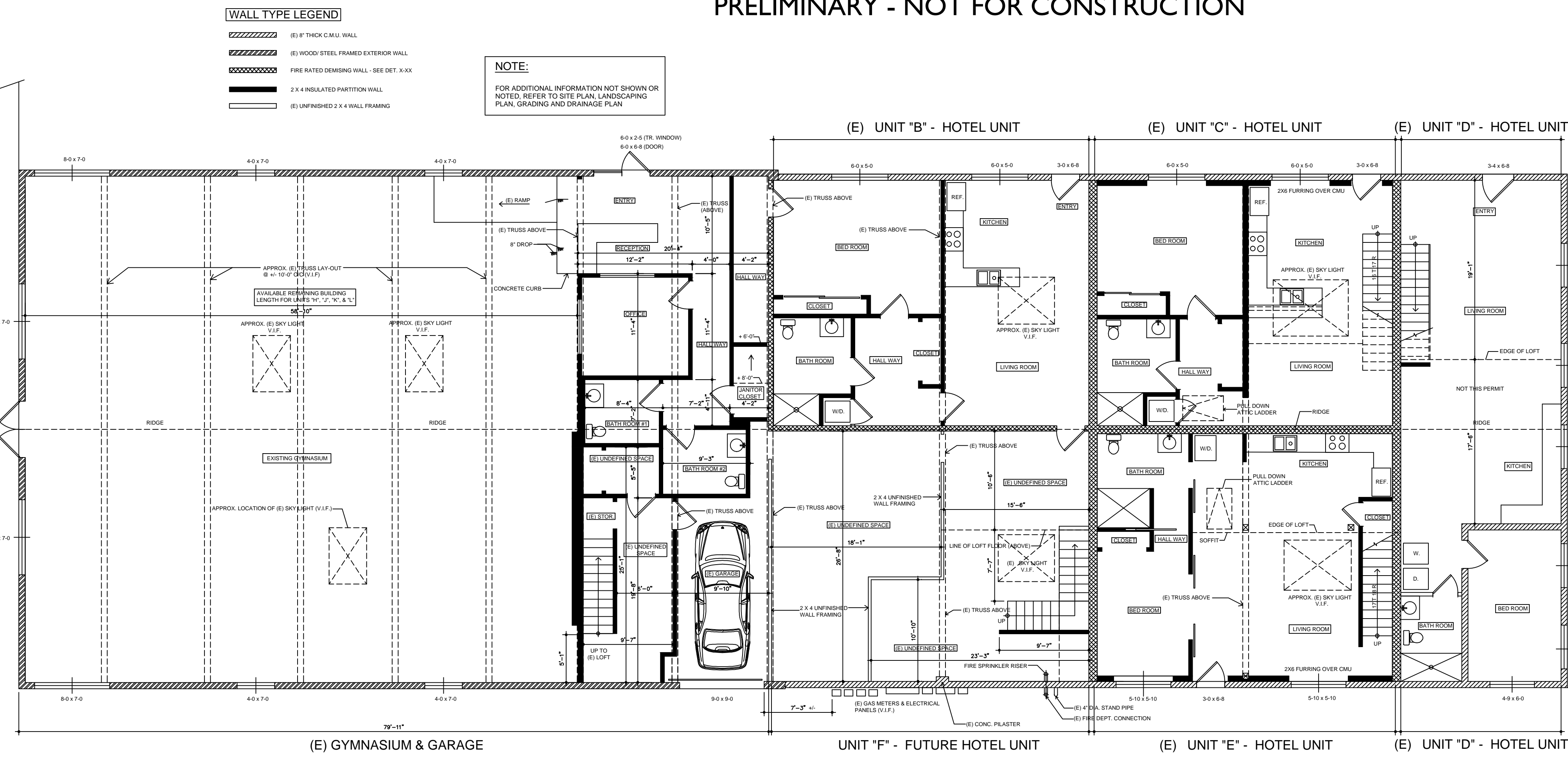
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DRAWN: KWM

JOB: DOSTAL

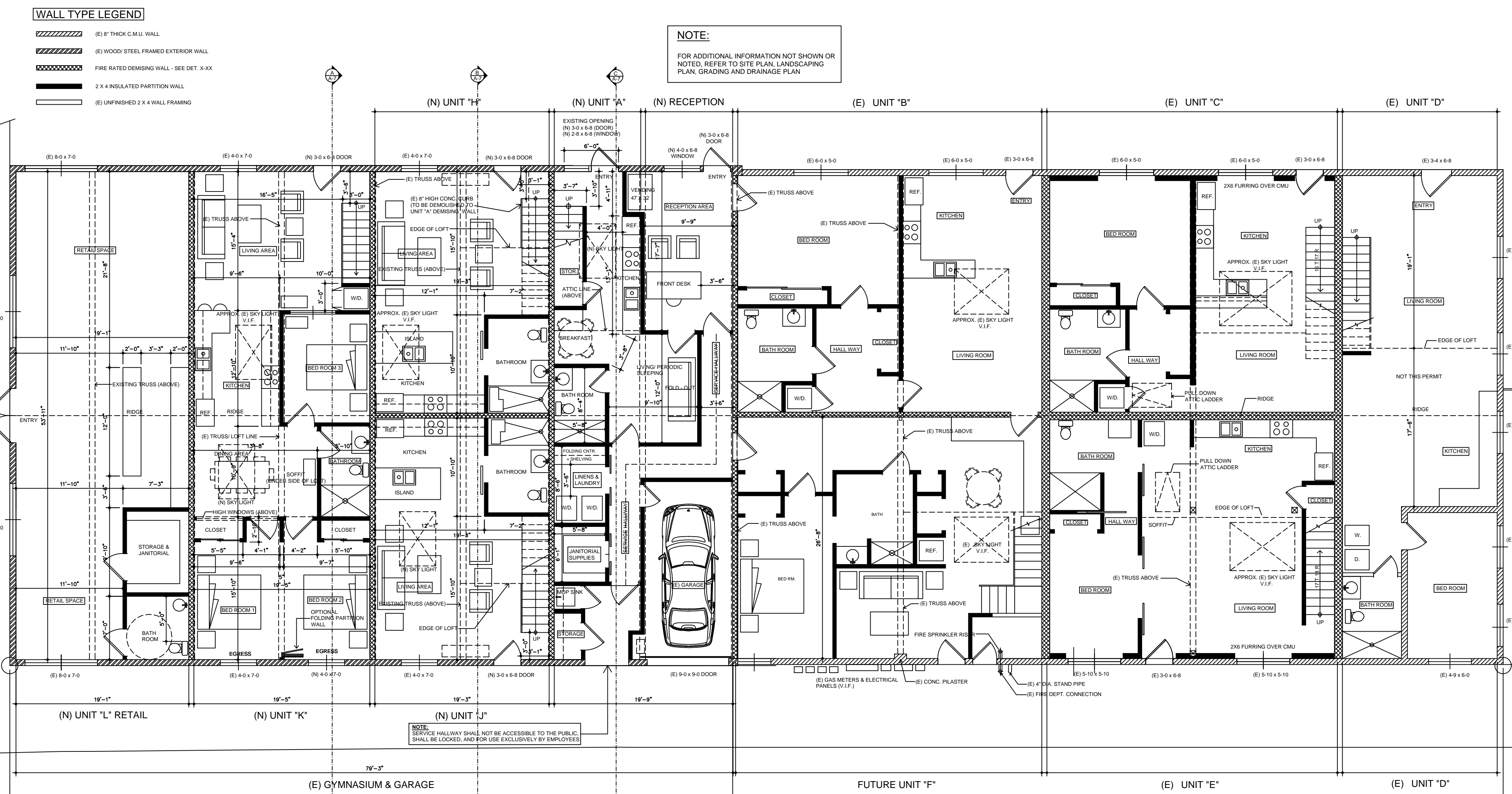
SHEET:

A - 2



AS-BUILT 1ST FLOOR PLAN

SCALE 1/8" = 1'-0"



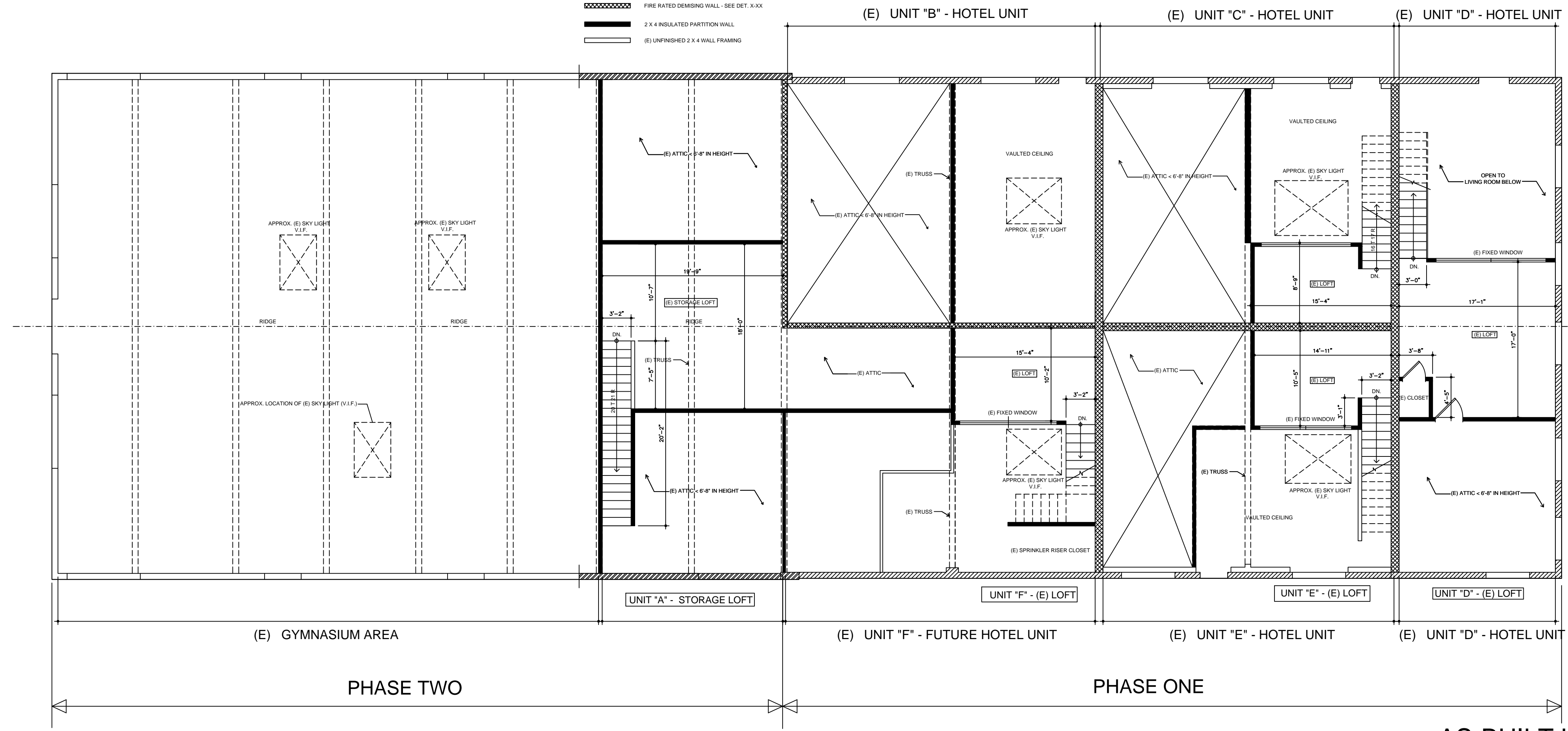
PROPOSED 1ST FLOOR PLAN

SCALE 1/8" = 1'-0"



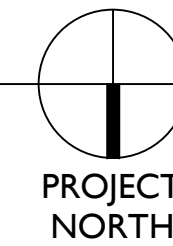
WALL TYPE LEGEND

- (E) 8" THICK C.M.U. WALL
- (E) WOOD STEEL FRAMED EXTERIOR WALL
- FIRE RATED DEMISING WALL - SEE DET. X.XX
- 2 X 4 INSULATED PARTITION WALL
- (E) UNFINISHED 2 X 4 WALL FRAMING



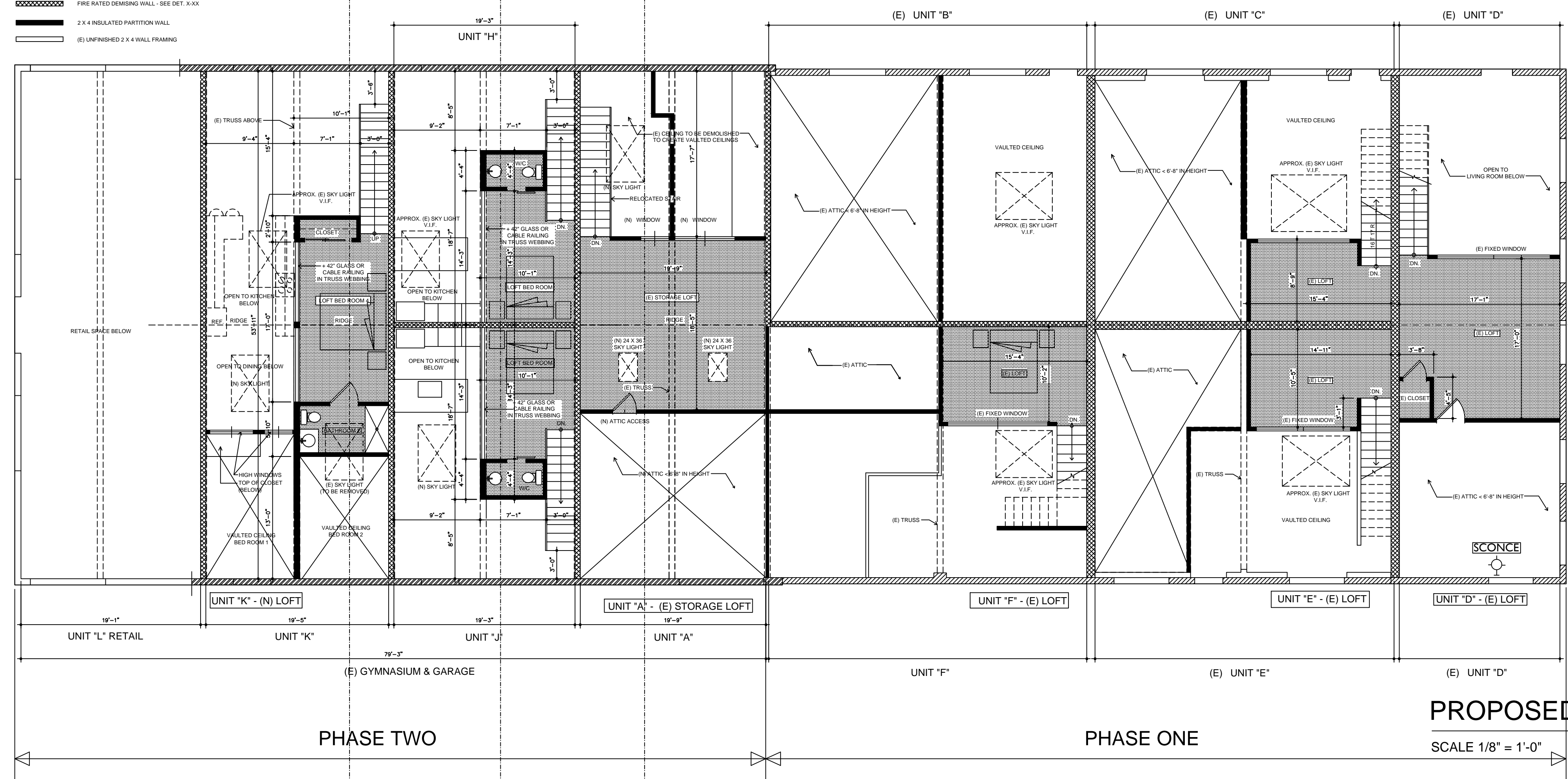
AS-BUILT LOFT FLOOR PLAN

SCALE 1/8" = 1'-0"



WALL TYPE LEGEND

- (E) 8" THICK C.M.U. WALL
- (E) WOOD STEEL FRAMED EXTERIOR WALL
- FIRE RATED DEMISING WALL - SEE DET. X.XX
- 2 X 4 INSULATED PARTITION WALL
- (E) UNFINISHED 2 X 4 WALL FRAMING



PROPOSED LOFT FLOOR PLAN

SCALE 1/8" = 1'-0"



NOTE:

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1. UNIT "L" - LOFT/ STORAGE - SHEETS A-6
2. UNIT "K" - LOFT - SHEET A-5
3. UNIT "H" - LOFT - SHEET A-5
3. UNIT "J" - LOFT - SHEET A-5
4. UNIT "A" - OFFICE/ CONCIERGE UNIT LOFT - SHEET A-6

REVISIONS:
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GBA
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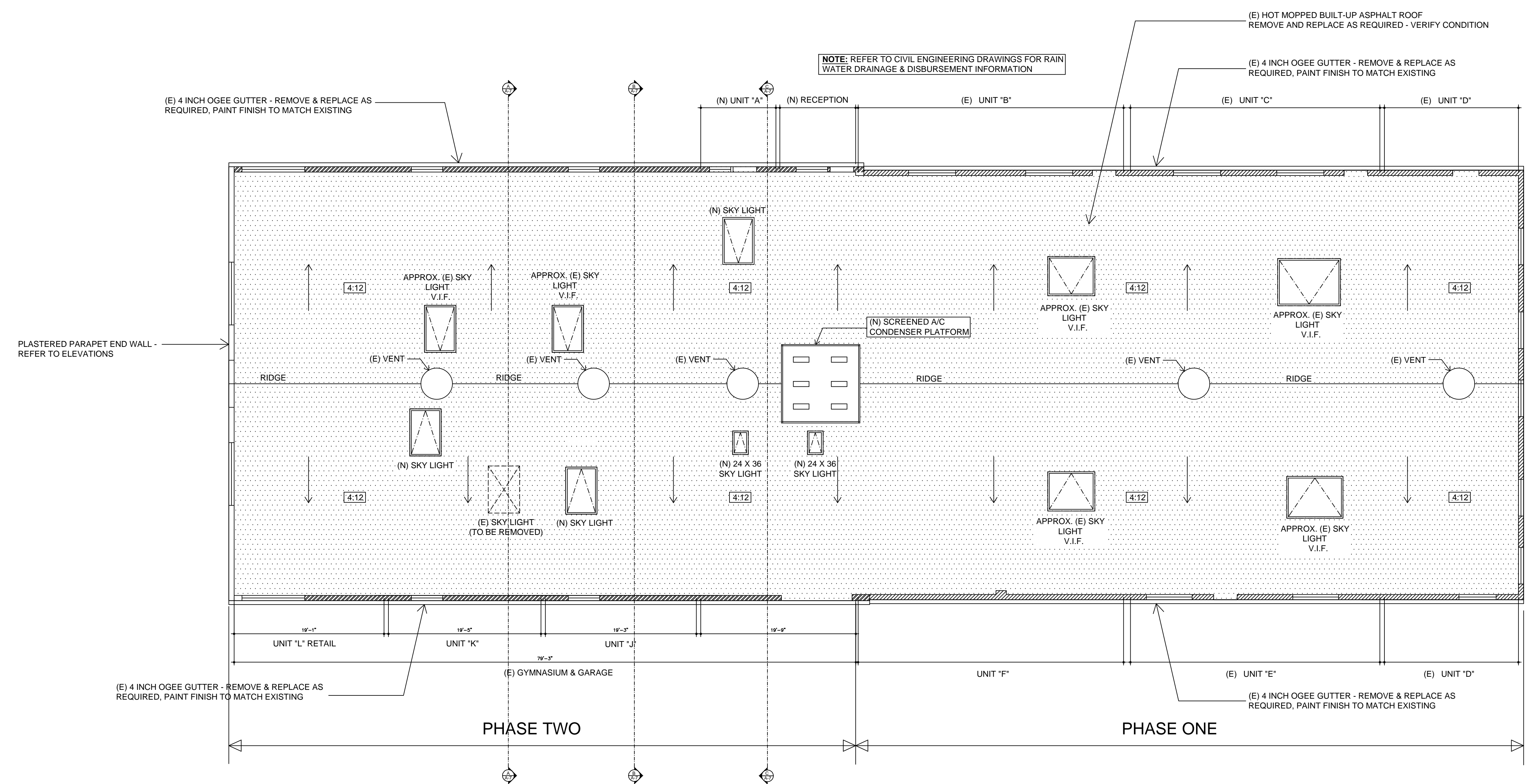
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SCALE:

DRAWN: KWM

JOB: DOSTAL

SHEET:

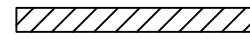
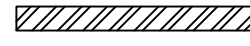


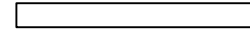


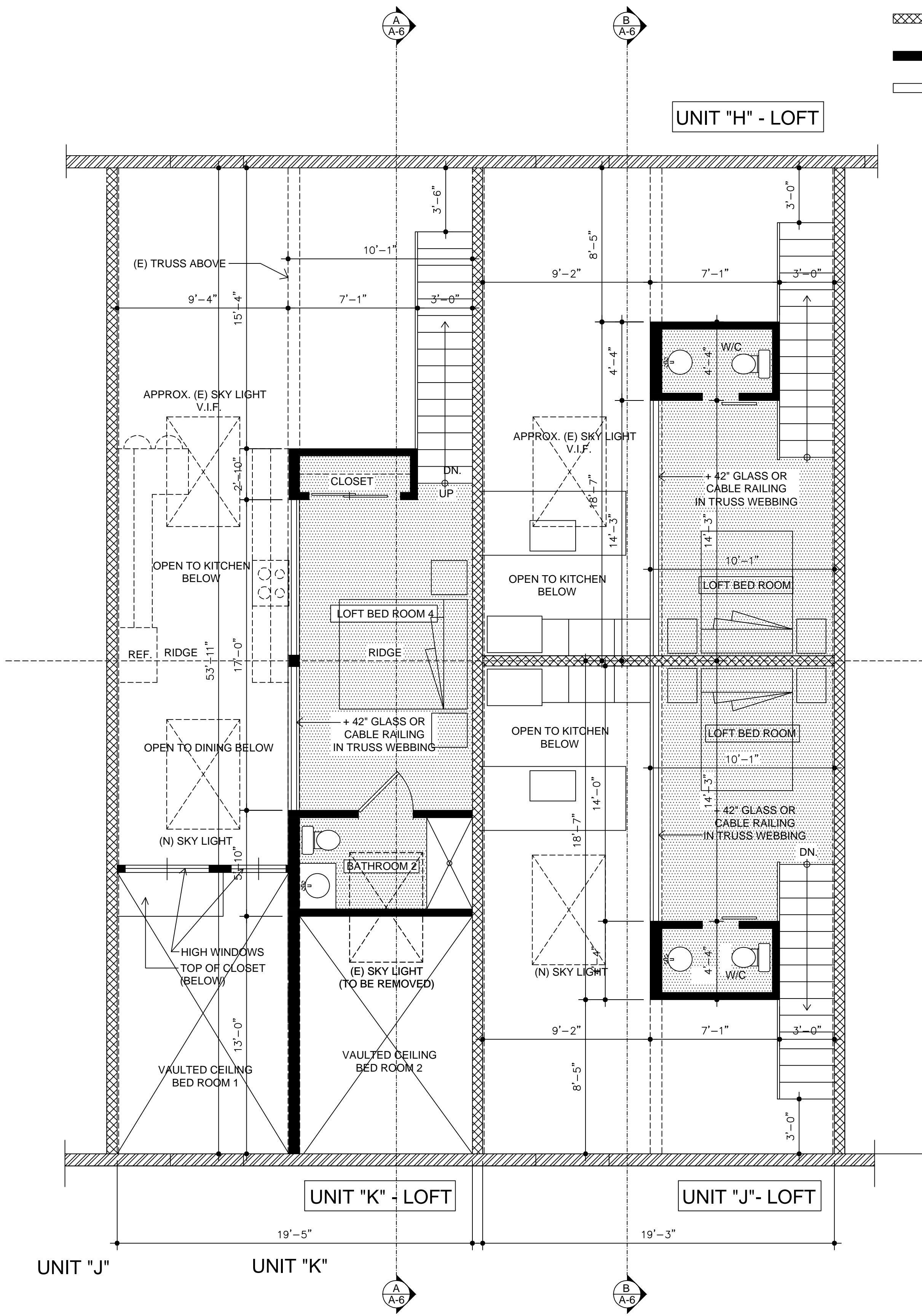
PROPOSED ROOF PLAN

SCALE 1/8" = 1'-0"



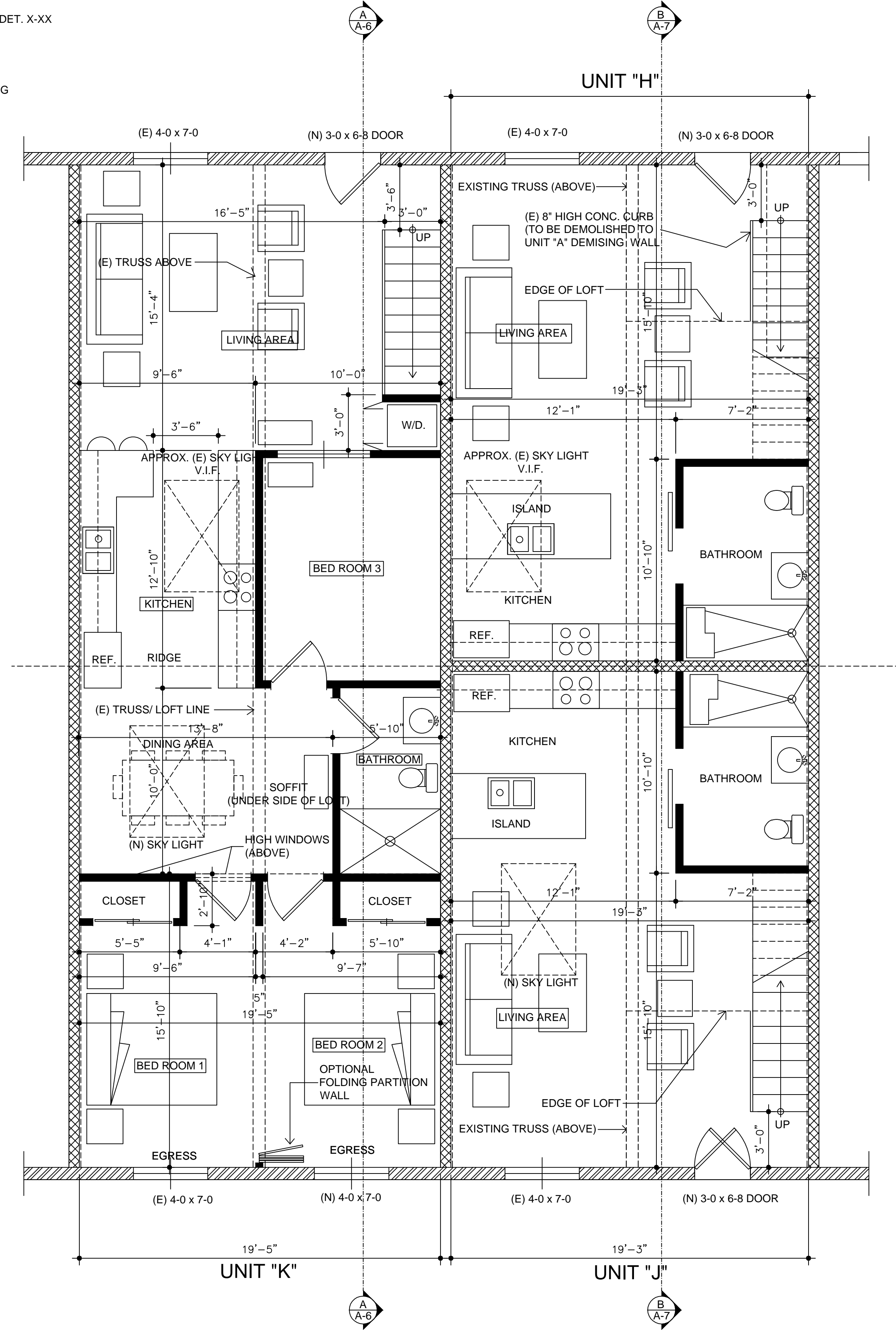
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-  (E) 8" THICK C.M.U. WALL
-  (E) WOOD/ STEEL FRAMED EXTERIOR WALL
-  FIRE RATED DEMISING WALL - SEE DET. X-XX
-  2 X 4 INSULATED PARTITION WALL
-  (E) UNFINISHED 2 X 4 WALL FRAMING



UNITS H, J & K PROPOSED LOFT FLOOR PLANS

SCALE: 3/8" = 1'-0"

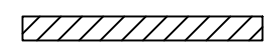
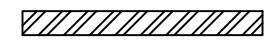
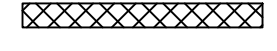



UNITS H, J & K PROPOSED 1ST FLOOR PLANS

SCALE: 3/8" = 1'-0"



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-  2 X 4 INSULATED PARTITION WALL

PRELIMINARY - NOT FOR CONSTRUCTION

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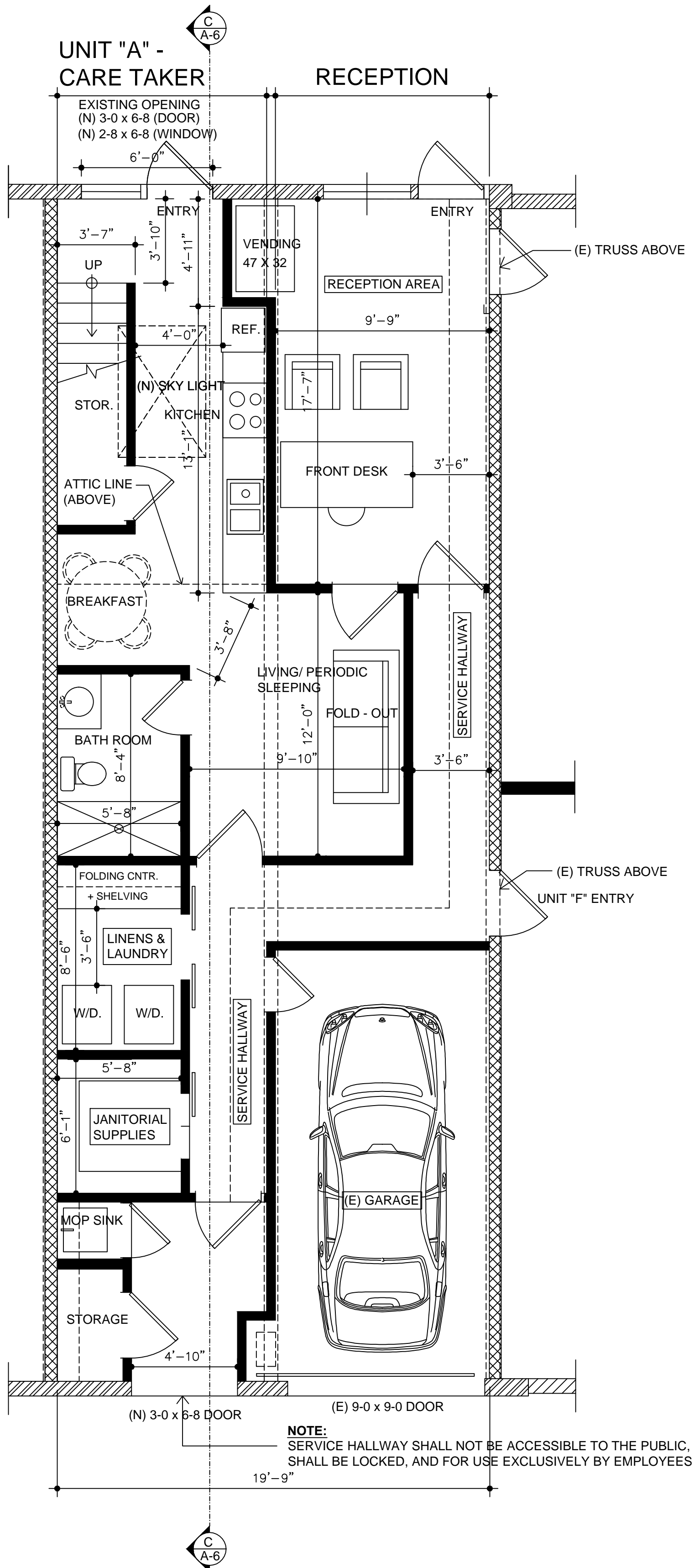
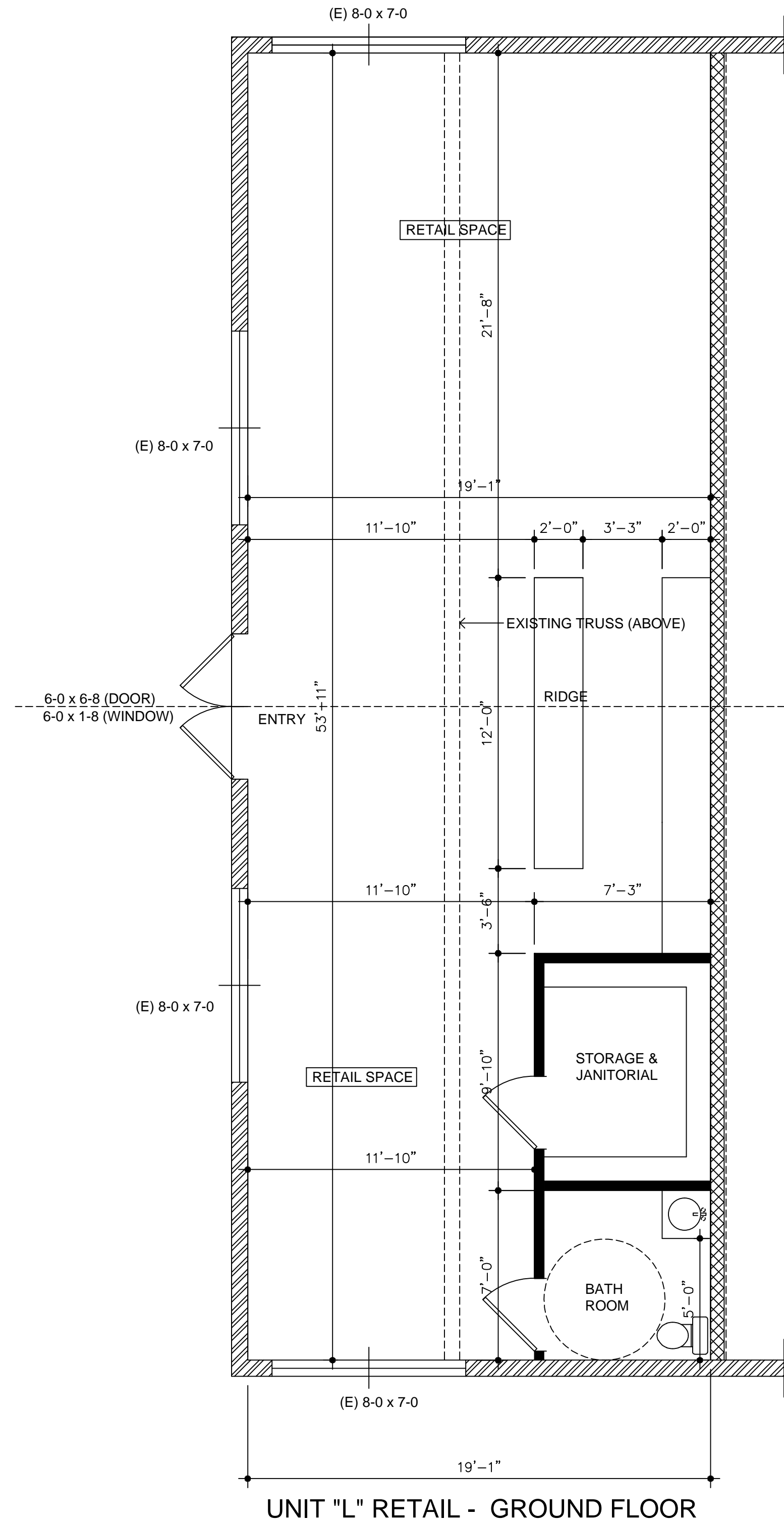
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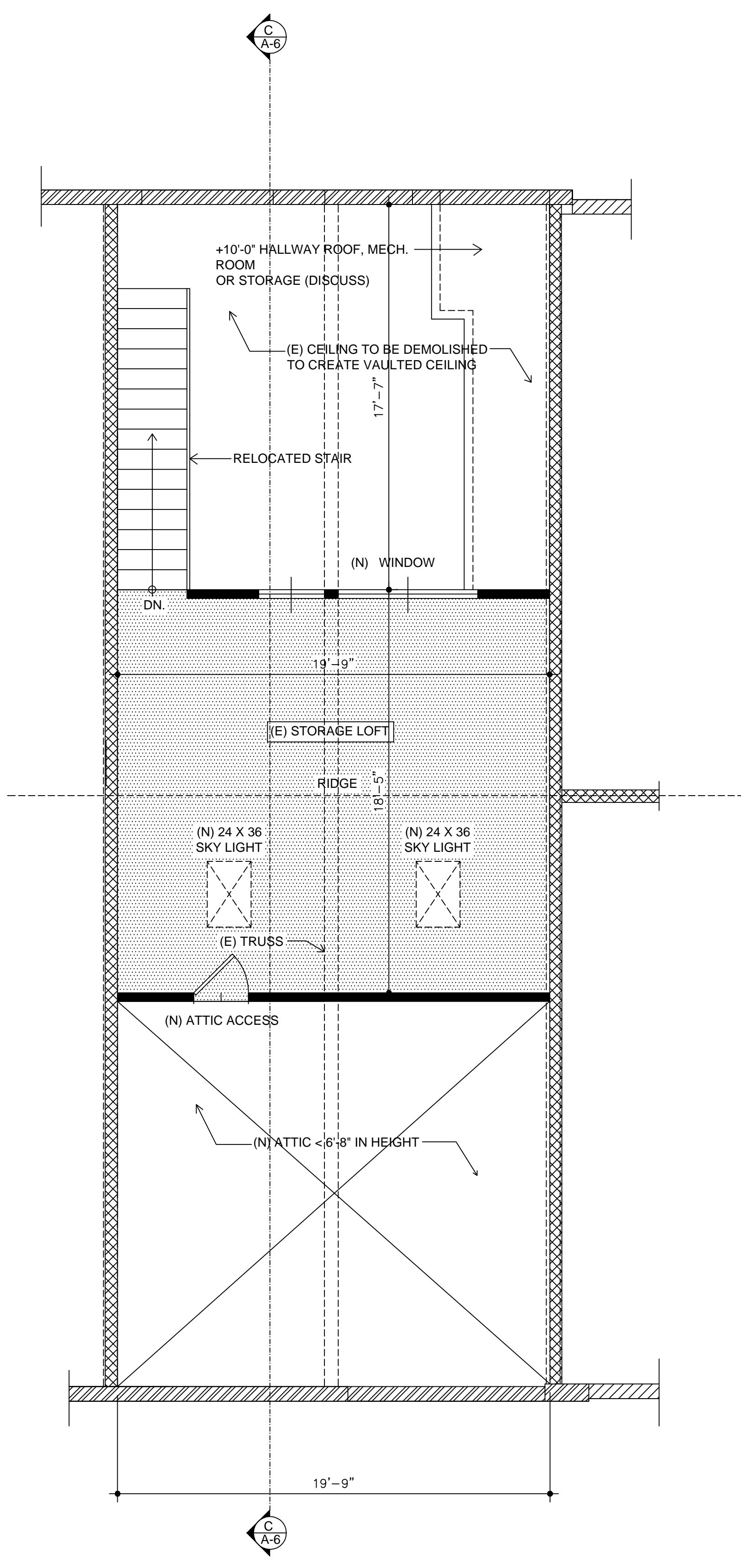
STAMP:

DATE: 08.28.23
SCALE:
DRAWN: KWM
JOB: DOSTAL
SHEET:

A - 6



NOTE:
SERVICE HALLWAY SHALL NOT BE ACCESSIBLE TO THE PUBLIC,
SHALL BE LOCKED, AND FOR USE EXCLUSIVELY BY EMPLOYEES



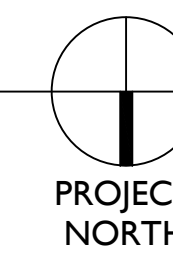
PROPOSED 1ST FLR. UNIT "L" - (RETAIL) FLOOR PLAN

SCALE: 1/4" = 1'-0"



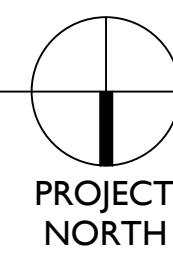
PROPOSED UNIT "A" CONCIERGE 1ST FLR. PLAN

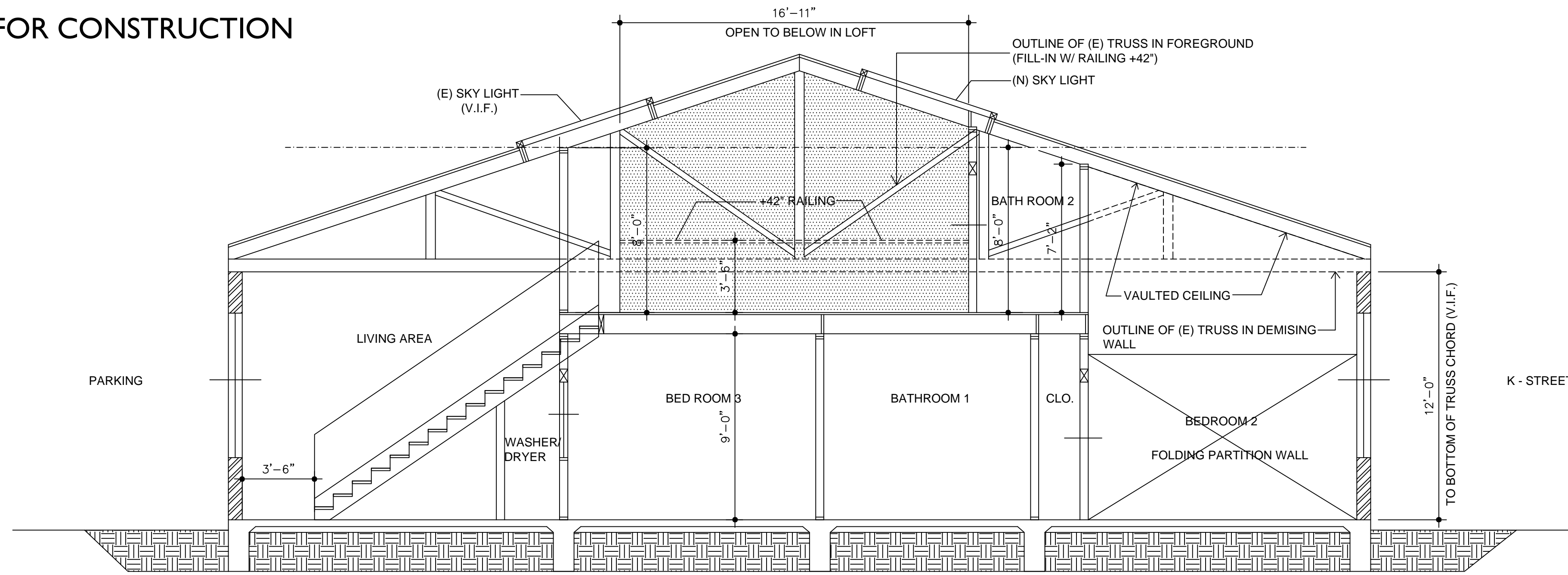
SCALE: 1/4" = 1'-0"



PROPOSED UNIT "A" CONCIERGE 2ND. FLR. PLAN

SCALE: 1/4" = 1'-0"

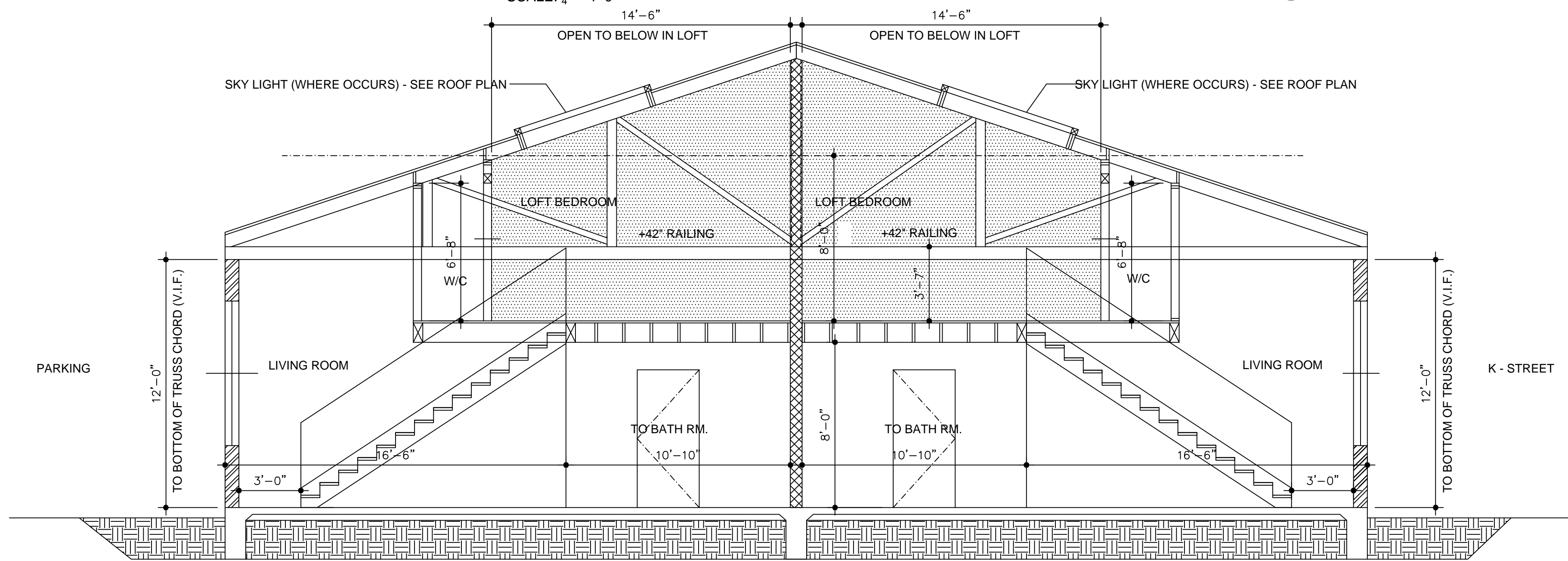




SECTION - UNIT "K"

SCALE: 1/4" = 1'-0"

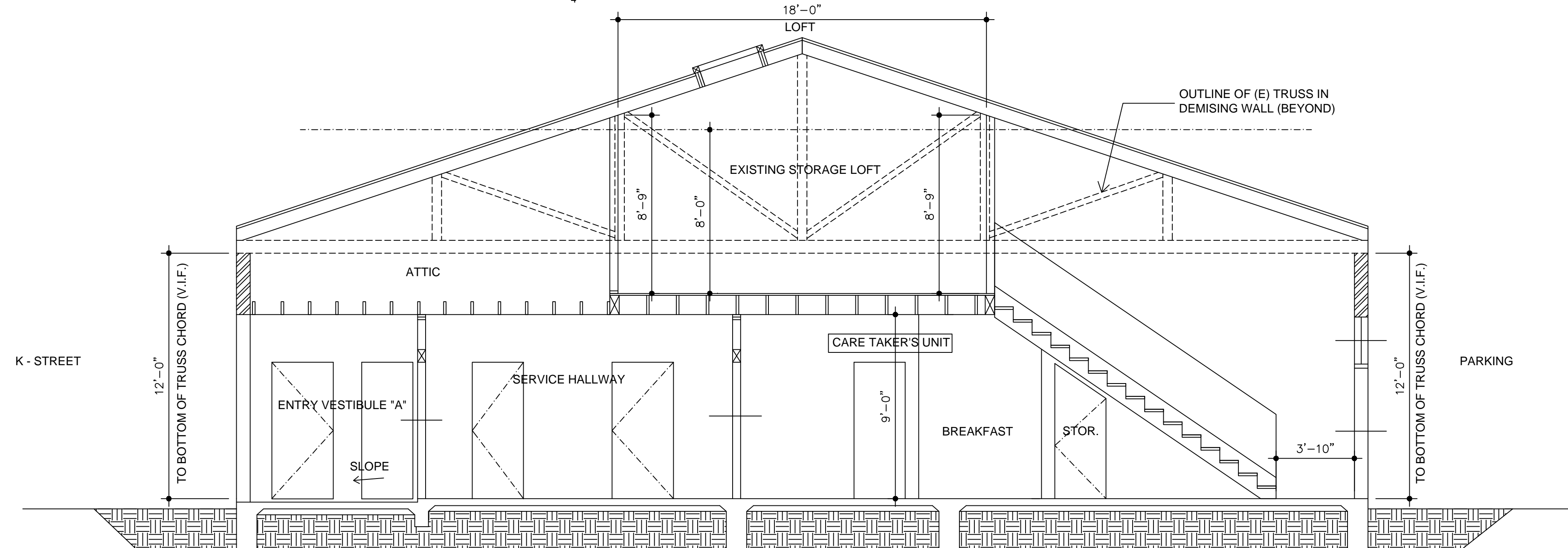
A.



SECTION - UNITS "H" & "J"

SCALE: 1/4" = 1'-0"

B.



SECTION - UNIT "A"

SCALE: 1/4" = 1'-0"

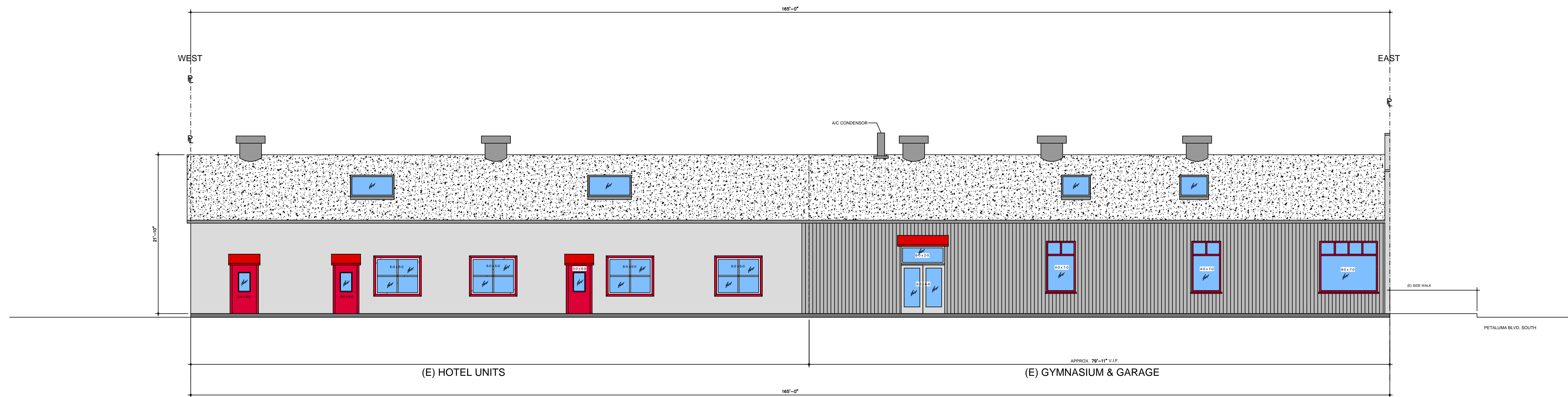
C.

SCALING OF ELEVATIONS:

DO NOT SCALE ELEVATIONS; UTILIZE PLANS, SECTIONS, DETAILS, AND SCHEDULES TO DETERMINE ACTUAL DIMENSIONS. CONTACT DESIGNER AND ENGINEER IMMEDIATELY SHOULD POTENTIAL CONFLICTS BE DISCOVERED, AND PRIOR TO ANY ORDERING OF MATERIALS, CONSTRUCTION, OR DEMOLITION.

FINISH MATERIAL NOTE:

PRIOR TO ORDERING OR INSTALLATION OF (INTERIOR OR EXTERIOR) FINISHES, CONTRACTOR SHALL VERIFY ALL COLOR AND TEXTURE SELECTIONS WITH OWNER AND DESIGNER. CONTRACTOR SHALL PROVIDE SAMPLES FOR REVIEW AND APPROVAL BY OWNER AND DESIGNER PRIOR TO ORDERING OR INSTALLATION.

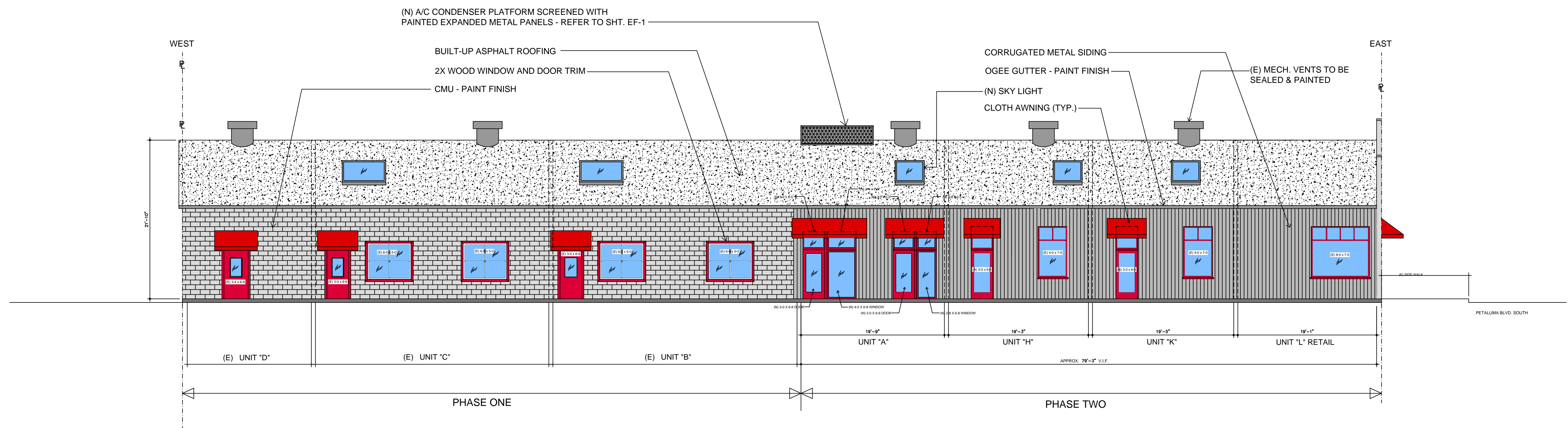


EXISTING SOUTH ELEVATION

SCALE 1/8" = 1'-0"

EXTERIOR FINISH MATERIALS & COLOR INFORMATION:

1. ALL EXTERIOR COLORS, AND MATERIALS THAT ARE INSTALLED, OR REMOVED & REPLACED SHALL MATCH EXISTING CONDITIONS.
2. FOR ADDITIONAL INFORMATION ON PROPOSED EXTERIOR FINISH MATERIALS AND COLORS REFER TO SHEET EF-1



PROPOSED SOUTH ELEVATION

SCALE 1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS:

SPAR SUBMTL 05/08/23

GBA
GREEN BUILDING ARCHITECTS
 WILLIAM WOLPERT / ARCHITECT
 7 FOURTH ST. STUDIO 61, PETALUMA, CA 94952, TEL: 707.789.0832

APN: 008-313-016

WAREHOUSE LOFTS + RETAIL SPACE FOR:
 MR. FRANK DOSTAL

800 PETALUMA BLVD. SOUTH
 PETALUMA, CA 94952

STAMP:

DATE: 08.28.23

SCALE:

DRAWN: KWM

JOB: DOSTAL

SHEET:

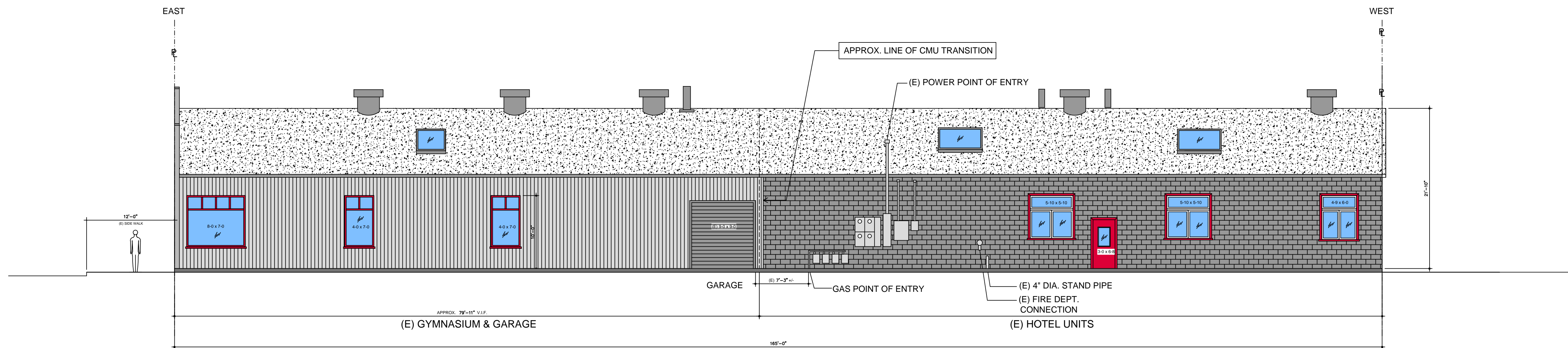
A - 8

SCALING OF ELEVATIONS:

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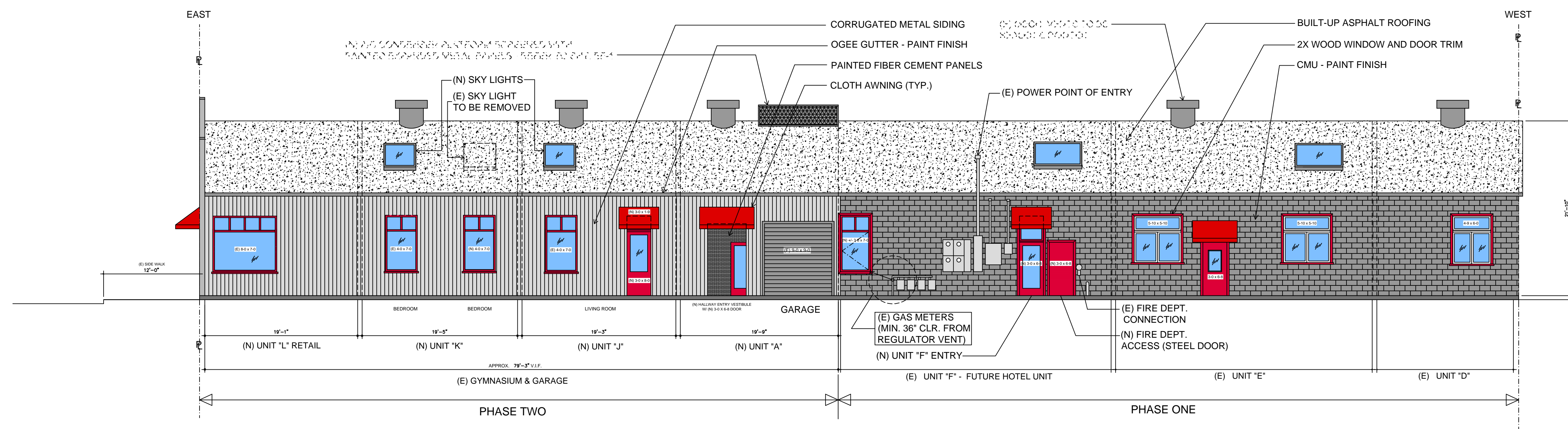


EXISTING NORTH ELEVATION

SCALE 1/8" = 1'-0"

EXTERIOR FINISH MATERIALS & COLOR INFORMATION:

1. ALL EXTERIOR COLORS, AND MATERIALS THAT ARE INSTALLED, OR REMOVED & REPLACED SHALL MATCH EXISTING CONDITIONS.
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PROPOSED NORTH ELEVATION

SCALE 1/8" = 1'-0"

REVISIONS:
SPAR SBMTL. 05.08.23

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PETALUMA, CA 94952

STAMP:

DATE: 08.28.23

SCALE:

DRAWN: KWM

JOB: DOSTAL

SHEET:

A - 9

PRELIMINARY - NOT FOR CONSTRUCTION

SOUTH

SCALING OF ELEVATIONS:

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NORTH

52'-0"

54'-0"

24'-9"



PARKING LOT - REFER TO GRADING & DRAINAGE + LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

EXISTING EAST ELEVATION

SCALE 1/4" = 1'-0"

EXTERIOR FINISH MATERIALS & COLOR INFORMATION:

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2. FOR ADDITIONAL INFORMATION ON PROPOSED EXTERIOR FINISH MATERIALS AND COLORS REFER TO SHEET EF-1

SOUTH

NORTH

52'-0"

54'-0"

24'-9"



PARKING LOT - REFER TO GRADING & DRAINAGE + LANDSCAPE PLAN FOR ADDITIONAL INFORMATION

PROPOSED EAST ELEVATION

SCALE 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS:

SPAR SBMTL 05.08.23

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SCALE:

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SHEET:

A - 10

PRELIMINARY - FOR DISCUSSION PURPOSES

REVISIONS:
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JOB: DOSTAL

SHEET:

A - 11

NORTH

SOUTH

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EXISTING WEST ELEVATION

SCALE 1/4" = 1'-0"

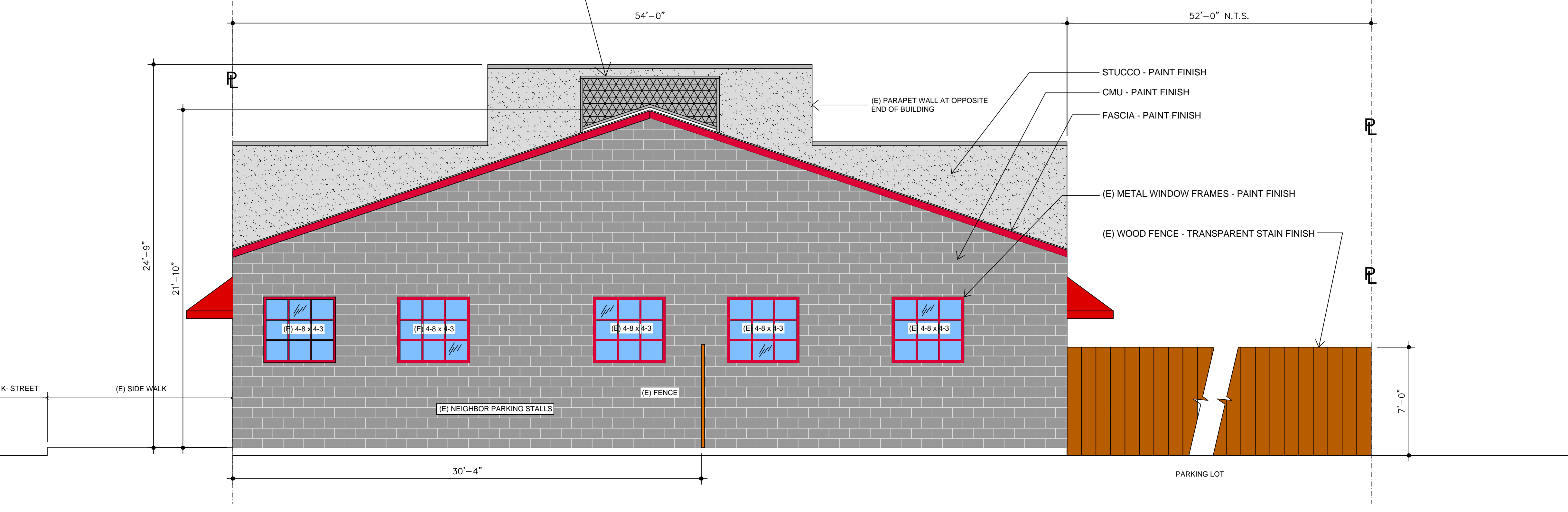
NORTH

SOUTH

EXTERIOR FINISH MATERIALS & COLOR INFORMATION:

1. ALL EXTERIOR COLORS, AND MATERIALS THAT ARE INSTALLED, OR REMOVED & REPLACED SHALL MATCH EXISTING CONDITIONS.
2. FOR ADDITIONAL INFORMATION ON PROPOSED EXTERIOR FINISH MATERIALS AND COLORS REFER TO SHEET EF-1

(N) A/C CONDENSER PLATFORM SCREENED WITH PAINTED EXPANDED METAL PANELS - REFER TO SHT. EF-1



PROPOSED WEST ELEVATION

SCALE 1/4" = 1'-0"

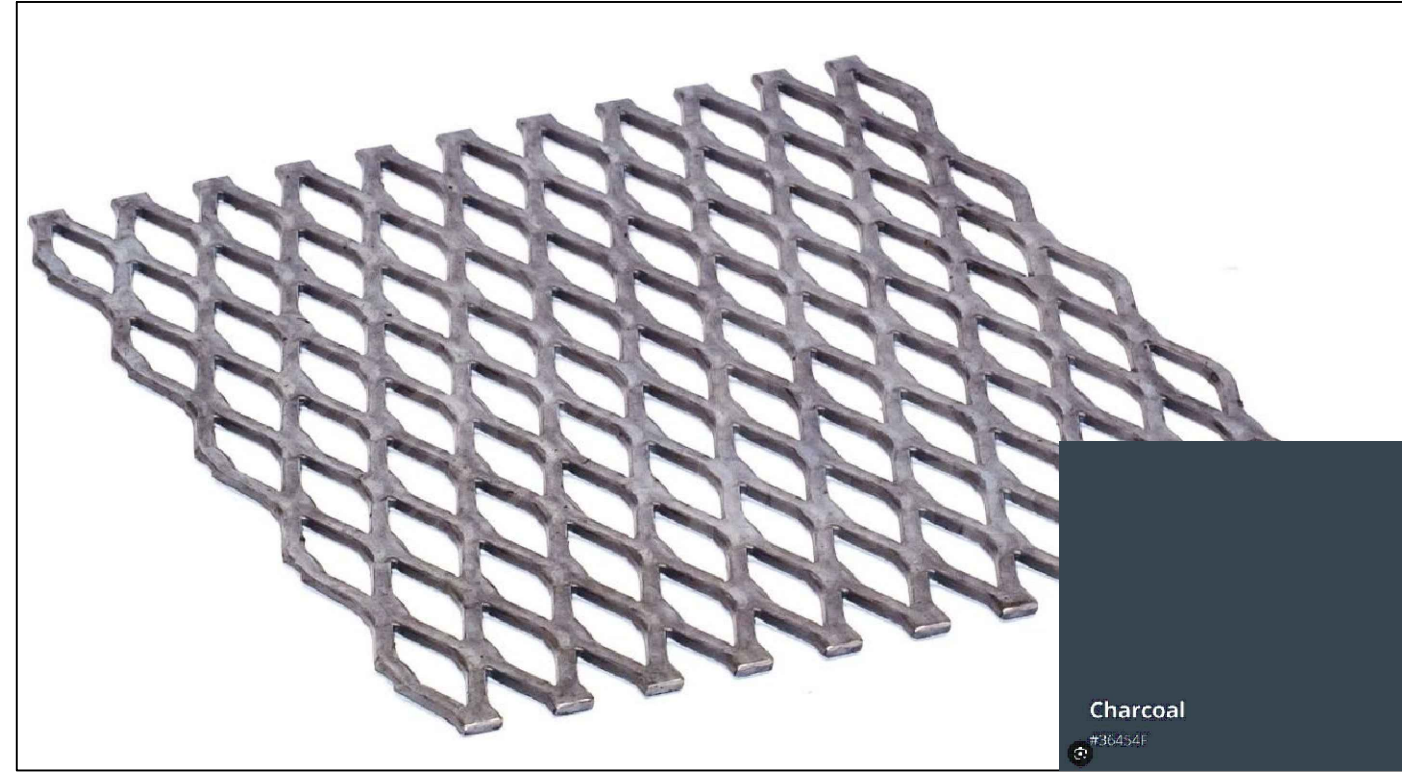
PRELIMINARY - NOT FOR CONSTRUCTION

COLOR & EXT. FINISH MATERIALS INFORMATION:

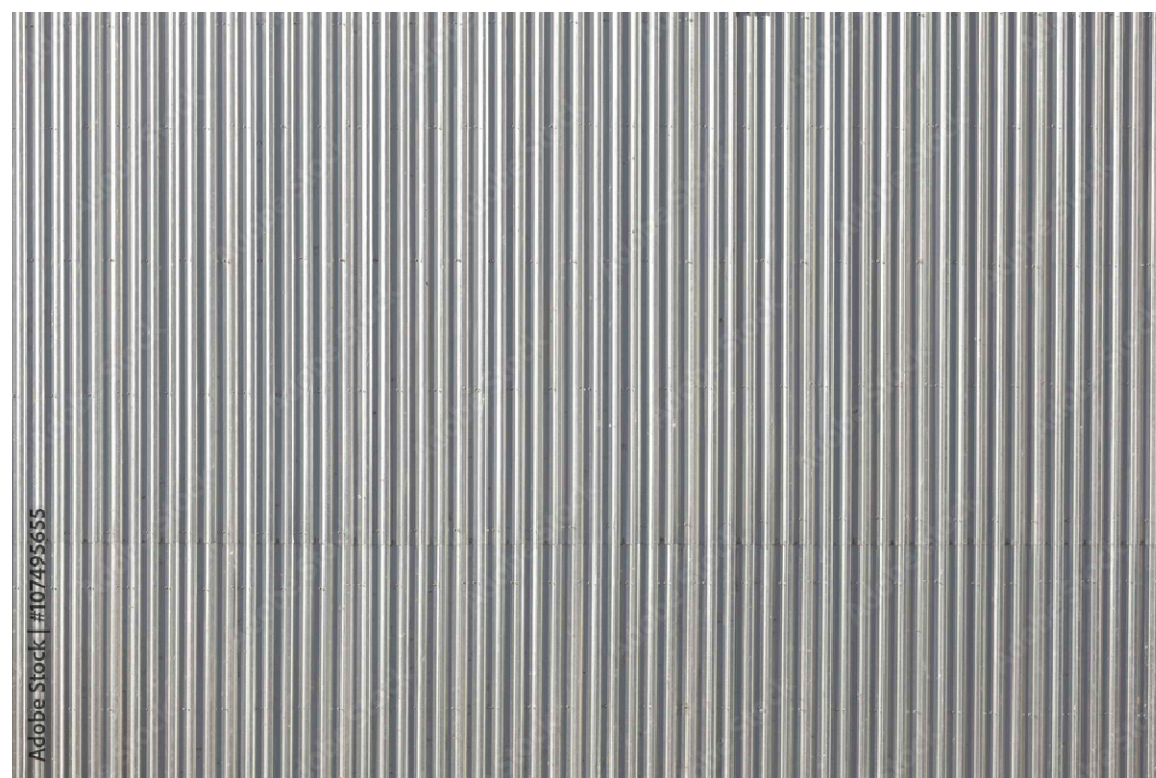
- ALL EXTERIOR COLORS, AND MATERIALS THAT ARE INSTALLED, OR REMOVED & REPLACED SHALL MATCH EXISTING CONDITIONS.
- SAMPLE PHOTOS BELOW ILLUSTRATE APPROX. (E) AND (N) PROPOSED EXTERIOR FINISHES AND COLORS



"DURO-LAST" PVC ROOF MEMBRANE (WHITE) TO REPLACE (E) BUILT-UP ASPHALT ROOF



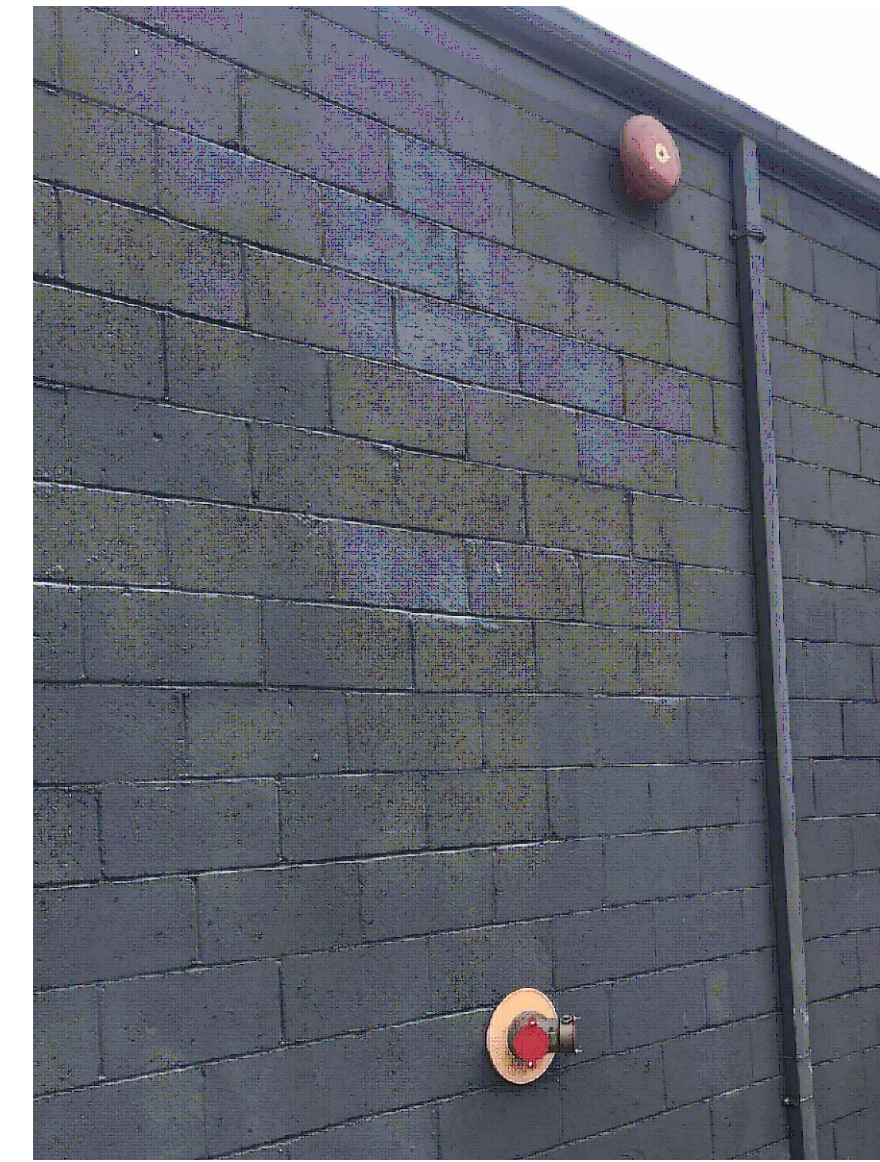
PAINTED EXPANDED METAL PANELS @ (N) SCREENED A/C CONDENSER PLATFORM (CHARCOAL GRAY)



CORRUGATED METAL SIDING (MATCH EXIST.)



PAINTED FIBER CEMENT PANELS

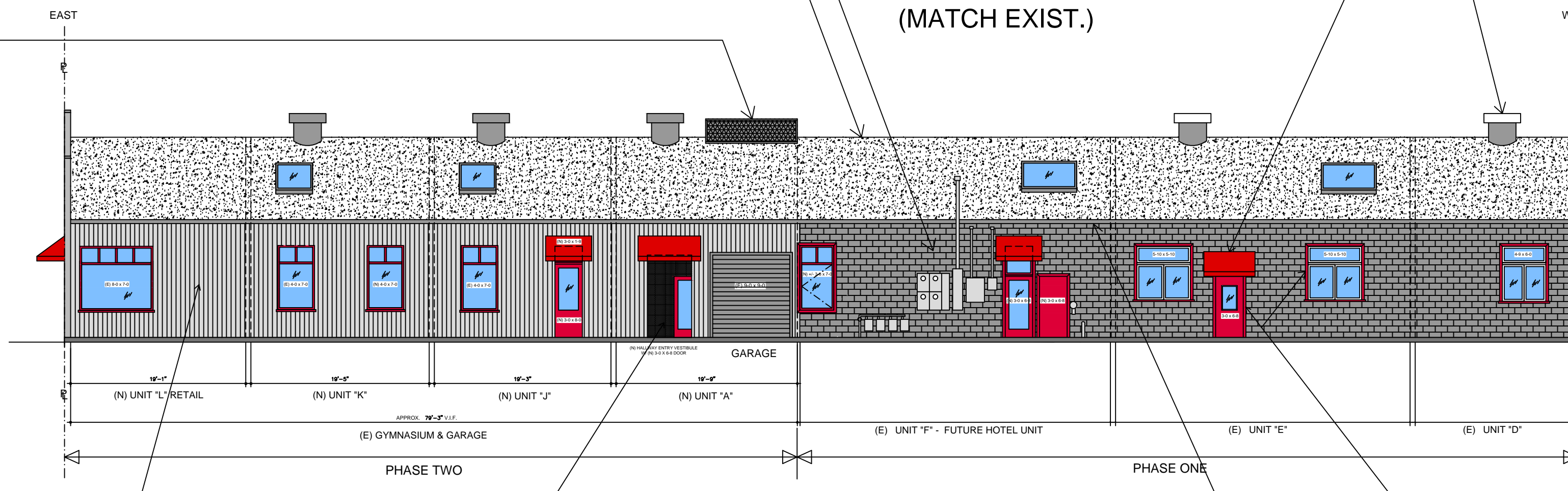


CMU & STUCCO - PAINT FINISHED (MATCH EXIST.)



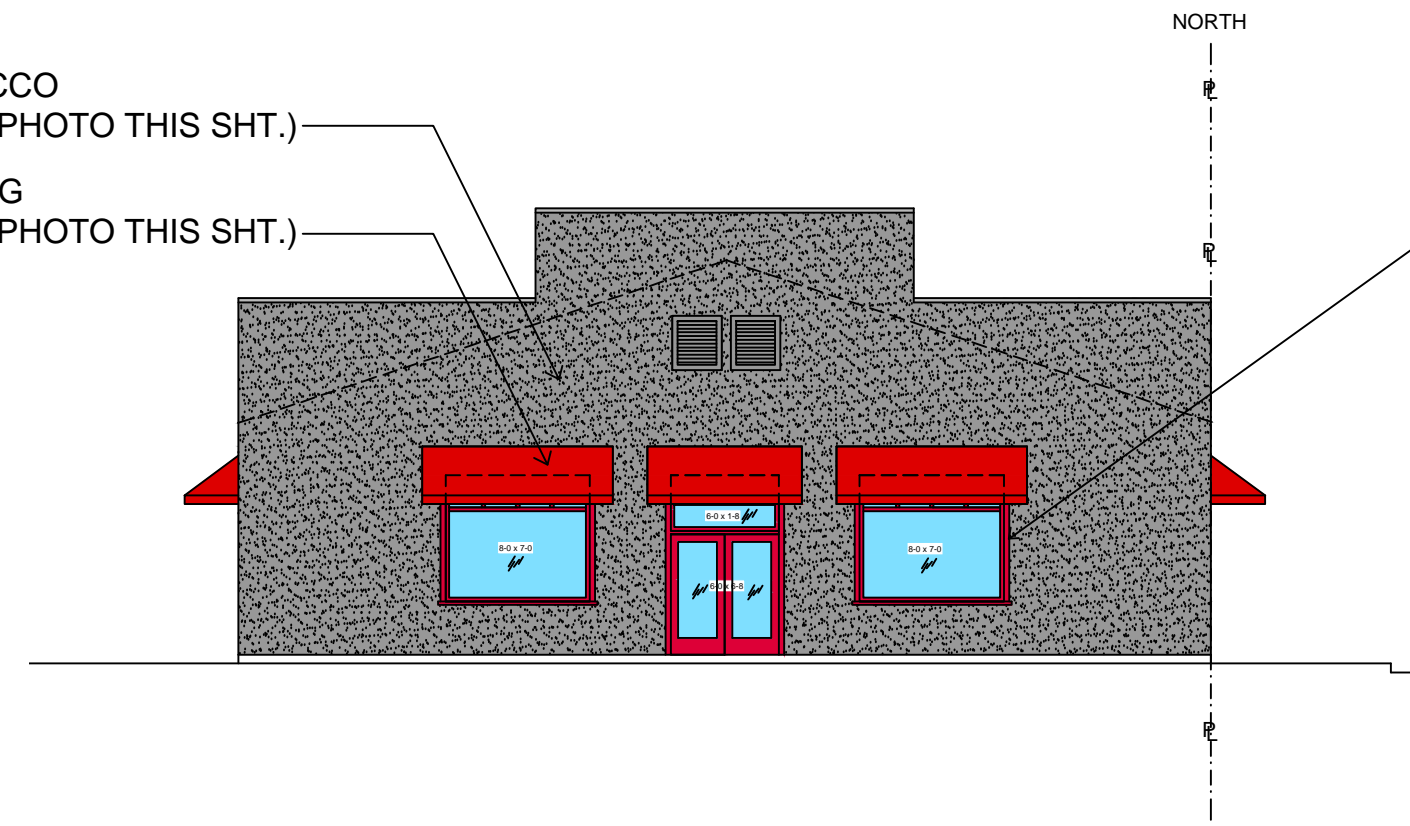
CLOTH AWNING (TYP.)

(E) MECH. VENTS - PAINT FINISH CHARCOAL GREY



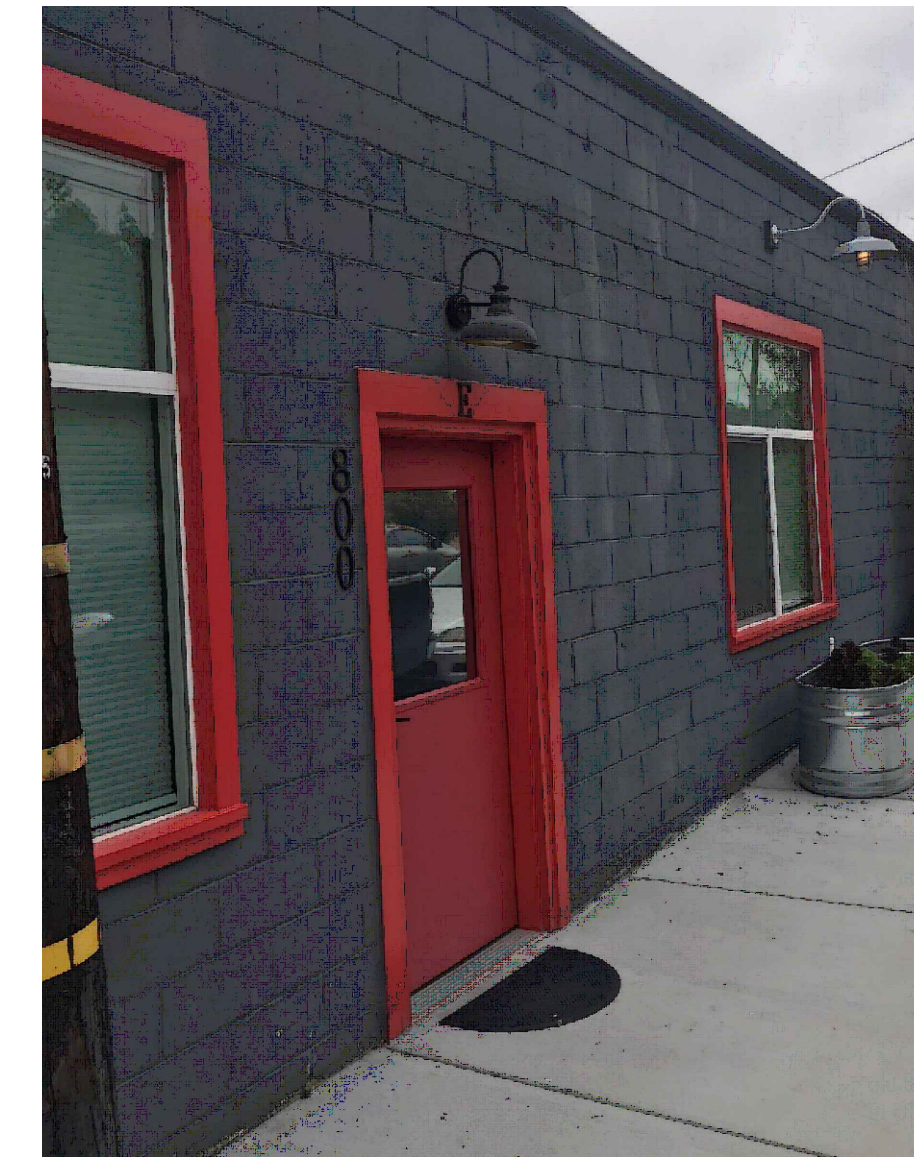
PROPOSED NORTH ELEVATION (SOUTH ELEV. EXT. FINISHES SIM.)

SCALE $\frac{3}{32}'' = 1'-0''$



PROPOSED EAST ELEVATION (WEST ELEV. EXT. FINISHES SIM.)

SCALE $\frac{3}{32}'' = 1'-0''$



2X WOOD WINDOW AND DOOR TRIM - (MATCH EXIST.)



OGEE GUTTER - PAINT FINISH CHAR COAL GREY

PROPOSED EXTERIOR FINISH MATERIALS - REFER TO ELEVATIONS SHT. A-8 / A-11

REVISIONS:
SPAR SBMTL 05.08.23

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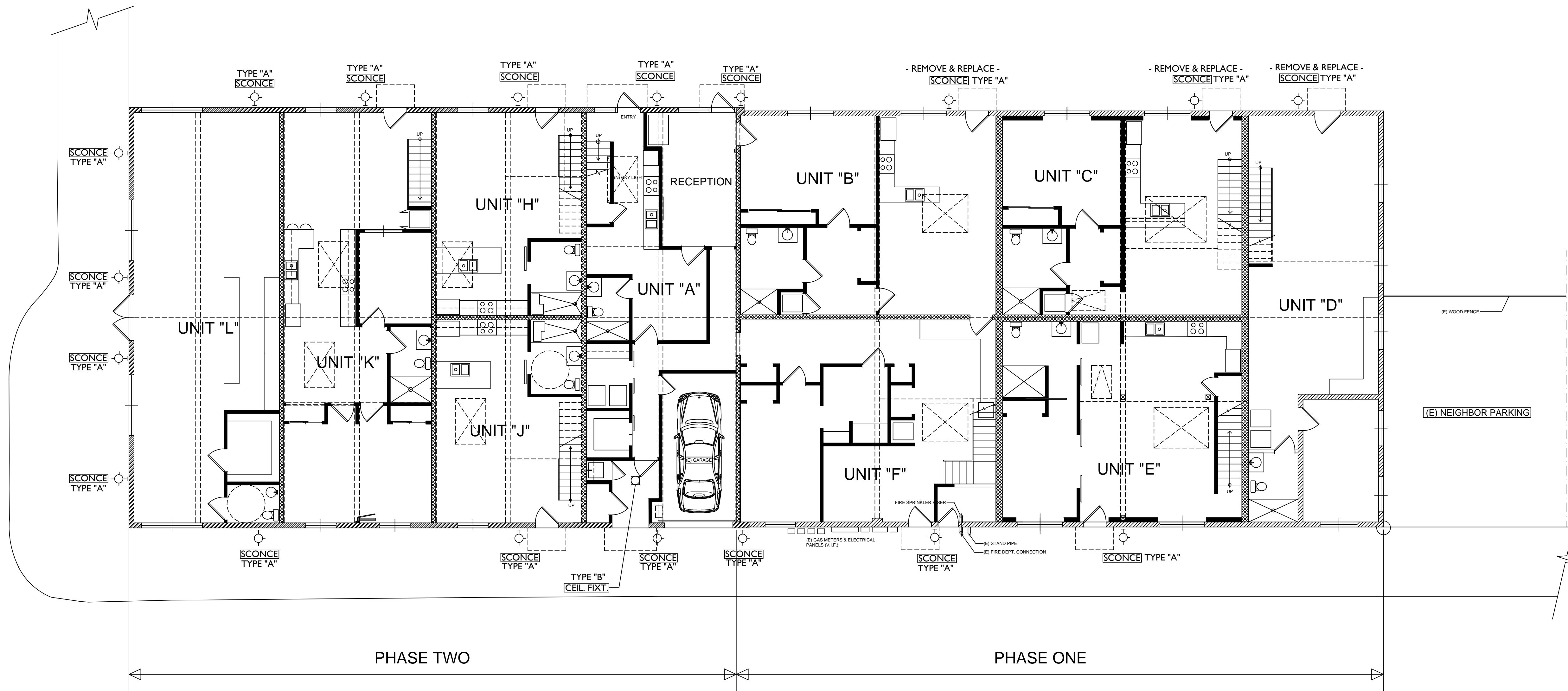
DRAWN: KWM

JOB: DOSTAL

SHEET:

EF - 1

PRELIMINARY - FOR DISCUSSION PURPOSES



PROPOSED EXTERIOR LIGHTING LOCATIONS & TYPES

SCALE 1/8" = 1'-0"



FRANKLIN IRON WORKS - ARNETT 10 1/2" HIGH BLACK DUSK-TO-DAWN OUTDOOR WALL LIGHT - EXTERIOR DOOR WALL LIGHT-

A.



ALLENBURY - 12" WIDE BLACK CONVERTIBLE OUTDOOR HANGING LIGHT - HALLWAY ENTRY VESTIBULE CEILINGS-

B.

REVISIONS:
SPAR SBMTL_05.08.23

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EL - 1