

1 **City of Petaluma Objective Design Standards**  
2 **for Qualifying Residential Development**

3 **Public DRAFT**

4 **Section 7.120 Objective Design Standards** for Ministerial Review of  
5 Qualifying Residential Development

6 *November 2023*

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43 **A. Purpose**

44 The purpose of Section 7.120 is to provide objective design standards for the review of residential  
45 developments that qualify for streamlined or ministerial planning permit review pursuant to the laws of  
46 the State of California and/or City of Petaluma regulation. These standards contain concise and  
47 quantifiable language that are designed for consistent interpretation by applicants, reviewers, and  
48 approval bodies alike.

49 The objective standards herein are intended to achieve five core goals in the development of qualifying  
50 residential projects:

- 51 1. **Strengthen Community Character and the Public Realm.** Design developments that reflect the  
52 Petaluma community and contribute to its physical, economic, social, and cultural character.
- 53 2. **Design for People.** Emphasize a pedestrian-oriented environment where buildings and public  
54 realm design are cohesive and complementary to a diverse range of uses.
- 55 3. **Design Equitable Places.** Make spaces that recognize and support residents’ and workers’  
56 activities across age, ability, culture, race, gender, and income.
- 57 4. **Support Connectivity.** Design safe, functional, and comfortable multimodal connections between  
58 activities that are accessible and easy to navigate by walking, bicycling, and public transit.
- 59 5. **Design for Sustainability.** Support sustainable building practices and site design approaches to  
60 enhance Petaluma’s resilience and resource stewardship - now and into the future.

61 **B. Applicability**

62 The City of Petaluma’s Objective Design Standards apply to qualifying residential projects for which the  
63 state requires review for compliance with objective standards. This includes residential projects, which  
64 upon applicant request and demonstration of eligibility, qualify for streamlined and/or ministerial  
65 processing. Alternatively, projects subject to these objective standards may opt to apply for permit  
66 processing under discretionary Site Plan and Architectural Review (SPAR) in accordance with Section  
67 24.050 of the Petaluma Implementing Zoning Ordinance (IZO).

68 The standards in this Section 7.120 apply in addition to any applicable objective standards in the  
69 following documents, including but not limited to the City’s General Plan, an applicable specific plan,  
70 guidelines adopted for historic districts, the Petaluma Municipal Code, the Building Code including local  
71 adoptions, Fire code including local adoptions, other sections of the Implementing Zoning Ordinance,  
72 and the Smart Code for areas within its boundaries. Should there be any conflicting objective standards  
73 in the Smart Code or IZO Historic District Standards, the Smart Code and historic district standards shall  
74 take precedence over the standards within this section.

75 **C. Definitions**

76 The definitions in this subsection 7.120(C) are intended to apply specifically to the objective standards in  
77 this Section 7.120. If a definition is not in this section, the definition in [IZO Chapter 28 Glossary](#) shall  
78 apply.

79 **Accent Materials** – Distinct materials used to provide emphasis of architectural features or areas of the  
80 building. Qualifying accent materials must either be a different material type, have a different cut size or  
81 installation technique.

- 82 **Articulation** – Dividing a building’s mass into smaller parts through the placement of architectural  
83 features such as windows, doors, molding, columns, or other three-dimensional façade enhancements  
84 that create a clear and distinct section of the building.
- 85 **Arterial Street** - streets designated as an Arterial Street in the City’s General Plan Mobility Element and  
86 which provide relatively high-capacity access to regional transportation facilities. Access to arterials is  
87 generally from collector and local streets.
- 88 **Class I Bikeway (Bike Path)** - Provides a completely separated right of way for the exclusive use of  
89 bicycles and pedestrians with crossflow traffic minimized.
- 90 **Class II Bikeway (Bike Lane)** - Provides a striped lane for one-way bicycle travel on a street or highway.
- 91 **Class III Bikeway (Bike Route)** - Provides for shared use with pedestrian or motor vehicle traffic.
- 92 **Class IV Separated Bikeway** - a bikeway for the exclusive use of bicycles and includes a separation  
93 required between the separated bikeway and the through vehicular traffic
- 94 **Common Open Space** – Restricted access outdoor space available for all residents in the development.
- 95 **Creeks** – For the purposes of this section creeks means a creek with a proposed or existing public  
96 pathway as identified in the General Plan on Figure 5-2 “Proposed and Existing Bicycle Facilities” or as  
97 updated from time to time.
- 98 **Cupola** – a relatively small, most often rounded or dome-like structure on top of a building
- 99 **Full Cutoff Downcast Lighting** – Lighting fixtures that have no direct uplight (no light emitted above  
100 horizontal) and limited intensity of light from the fixture in the region between 80° and 90°.
- 101 **Ground Floor Activating Strategies** – uses that generate daily pedestrian activity. These may include but  
102 are not limited to retail, restaurants, personal services, offices (including medical), residential  
103 entryways, fitness centers, lobbies, resident services, etc. Ground floor activating strategies shall be  
104 compatible with residential uses.
- 105 **Inactive Frontages** – Sections of the building with no active use including blank walls, service entrances  
106 with access to trash, utilities, and service areas, and garage entrances.
- 107 **Internal Road** – see private street
- 108 **Landscape area** - all the planting areas, turf areas, and water features in a landscape design plan subject  
109 to the maximum applied water allowance calculation. The landscape area does not include footprints of  
110 buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other  
111 pervious or non-pervious hardscapes, and other non-irrigated areas designated for nondevelopment  
112 (e.g., open spaces and existing native vegetation).
- 113 **Multi-Use Path** - See Class I Bikeway
- 114 **Occupied Roofs** – Roofs planned for occupancy as either open space, assembly or other functional  
115 purpose beyond maintenance or repair access.
- 116 **Open Space** - any park, right of way, City-owned property, utility corridor, publicly-used land, school  
117 yard, which is open land on which there is no structure.
- 118 **Planting area (Landscaping)** - Unpaved areas of the site with prepared soils and irrigation systems  
119 intended to support the establishment and long-term health of intentionally selected and installed plant  
120 materials.
- 121 **Primary Building Façade** – The side of the building oriented toward the front lot line.

- 122 **Primary Entrance** – The entrance to the building through which most users are expected to travel and  
 123 which shall be located on the primary building façade.
- 124 **Primary Street Frontage** – The area between the primary building façade and the front lot line.
- 125 **Private Open Space** – A private outdoor space designated for no more than one residential unit and not  
 126 accessible to other units. A private balcony also qualifies as private open space.
- 127 **Private Pathway** – A thoroughfare on private property designed for pedestrians and bicyclists where  
 128 access is limited to residents or individuals with specific permission.
- 129 **Private Street** – A street located solely on private property, owned and maintained by either a property  
 130 owner or Homeowner’s Association.
- 131 **Public Open Space** – The area outside the footprint of the building on a site that may include parks,  
 132 green spaces, squares, plazas, playgrounds, and/or trails, and which are accessible to all members of the  
 133 public. The Petaluma River is considered public open space.
- 134 **Public Pathway** – A thoroughfare designed for pedestrians and bicyclists and accessible to the public.  
 135 This includes bike paths, walking paths, trails, and sidewalks.
- 136 **Public Realm** - The area fronting or physically accessible to the public including the street, sidewalk, and  
 137 adjacent parks and building frontages.
- 138 **Public Street** – A street owned and maintained by the City of Petaluma or another public agency.
- 139 **Qualifying Residential Development** - Residential Development that, under state law, is required to be  
 140 processed through ministerial review using only objective standards.
- 141 **Secondary Entrance** – Any entrance, other than a service entrance, to a building not designated as the  
 142 primary entrance.
- 143 **Secondary Building Façade** – Any side of a building facing a public street (not including alleys) that is not  
 144 the primary façade.
- 145 **Secondary Street Frontage** - The area between a secondary building façade and a public street that is  
 146 not the primary street or alley.
- 147 **Turret** – a small tower at the corner of a building
- 148 **Unused Area** – A vacant or non-functional area of a site that does not have a structure, sidewalk,  
 149 roadway, parking stall, aisle, or other function. There is no minimum size and unused areas may include  
 150 spaces between buildings, spaces between pathways and structures, or similar locations.
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## 152 **D. SITE DESIGN**

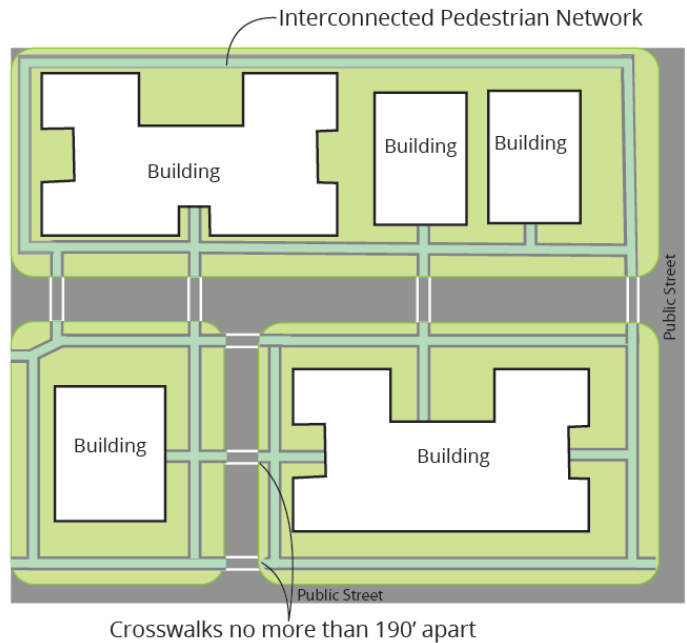
### 153 **1. Building Orientation**

- 154 a. **Orientation.** The primary building façade, which includes the primary entrance and the primary  
 155 street frontage, shall be oriented to the front lot line as defined by IZO Chapter 28.
- 156 b. **Activation.** [Ground floor activating strategies](#) shall be integrated into the [primary building](#)  
 157 [façade](#) and [secondary building façade](#).

158 **2. Circulation and Access**

- 159 a. **Pedestrian and Bicycle Access Routes.** For projects with more than two separate dwelling  
160 structures, all structures shall be internally connected by pedestrian pathways and each building  
161 shall have a pedestrian pathway that connects to the public sidewalk.

162 *Figure 1: Pedestrian and Bicycle Access Routes*



- 163
- 164 b. **Crosswalks.** For mixed-use or residential projects with internal streets or surface parking areas,  
165 a crosswalk shall be provided at a maximum distance of 190 feet between crosswalks along  
166 internal streets or drive aisles and comply with Caltrans and Federal Accessibility Standards.
- 167 c. **Driveway Location.** Driveways shall not be located adjacent to the Petaluma River or a [creek](#).
- 168 d. **Short Term Parking.** For developments with 10 or more units, a passenger loading and  
169 residential delivery zone (yellow curb marking) shall be designated at the curb along the primary  
170 frontage and shall comply with [Municipal Code Section 11.48.030 and 11.48.070](#). This  
171 requirement shall be waived if there is not sufficient space to accommodate both short-term  
172 parking and emergency vehicle access. A waiver will be granted based on a written  
173 communication from the Fire Marshal stating that short-term parking would inhibit emergency  
174 vehicle access and no other alternatives are available.

175 **3. General Parking Standards**

- 176 a. **Parking Location.** Parking lots and structures are prohibited in the following locations:  
177 1. Between the building and the primary street frontage  
178 2. Between the building and an adjacent creek, river, or open space  
179 3. For multi-family dwelling structures containing more than two units, parking within a  
180 front or side street setback is prohibited.

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**b. Parking Spaces.**

1. The width of a parking space shall be increased by one foot if either side of the space is adjacent to a wall, fence, support column or other structure.
2. Two feet of the parking stall depth may be landscaped with low-growth, hearty materials in lieu of paving, allowing a two-foot bumper overhang while maintaining the required parking dimensions.
3. The size of parking spaces shall comply with the following dimensions based on angle of parking and standard or compact in Table D-1.

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Table 1: Parking Space Size Requirements

Angle of Parking Space	Width of Space (ft)	Length of Space (ft)	Width of Angled Space (ft)	Length of angled Space (ft)	Minimum back up length (ft)
<b>Standard Cars</b>					
Parallel Parking	9	22	-	-	-
30 Degree Angle parking	9	19	18	17.3	11.5
	9.5	19	19	17.7	11.5
	10	19	20	18.2	11.5
45 Degree Angle Parking	9	19	12.7	19.8	13
	9.5	19	13.4	20.2	13
	10	19	14.1	20.5	13
60 Degree Angle Parking	9	19	10.4	20.9	17.5
	9.5	19	11	21.2	17.5
	10	19	11.5	21.4	17.5
90 Degree Angle Parking	9	19	9	19	26
	9.5	19	9.5	19	24
	10	19	10	19	23
<b>Compact Cars</b>					
Parallel Parking	8	20	-	-	-
30 Degree Angle parking	8	16	15.9	14.1	12
45 degree Angle Parking	8	16	11.2	16.9	12
60 Degree Angle Parking	8	16	9.2	18.4	14
90 Degree Angle Parking	8	16	8	16	22
Uninstall 60 Degree Parking	8.5	18	8.5	18	26
Uninstall 90 Degree Parking	8.5	18	8.5	18	26

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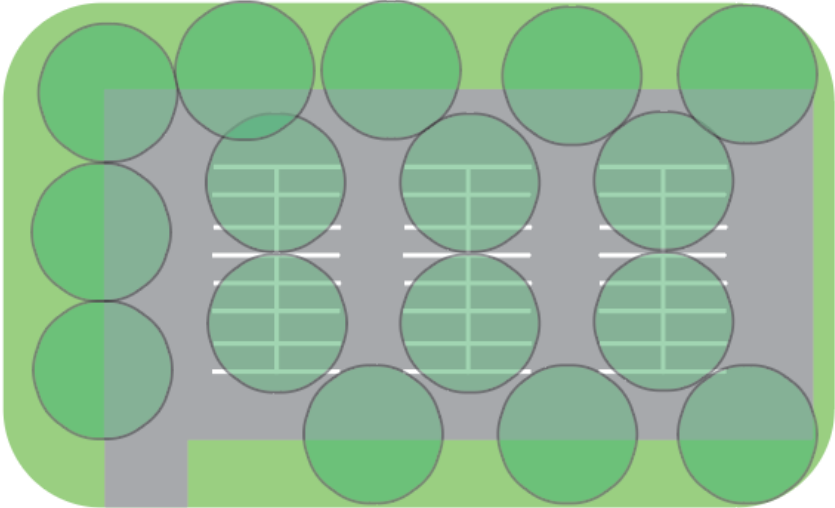
- c. **Parking Screening.** Parking lots or structures shall be screened by 42” high solid fencing that complies with subsection IZO Subsection 7.120 (D)(5) or landscaping with a minimum height of 42” at plant maturity.
- d. **Parking Structure Massing and Façade Articulation.** Parking structures facing the primary or secondary street frontage shall comply with the façade design requirements in IZO Subsection 7.120 E.1.
- e. **Landscaping.** Surface parking areas shall be landscaped in accordance with Site Design Landscaping Subsection 7.120(D)(7) and as follows:
  - 1. Residential parking areas for more than four (4) cars and parking lots in all commercial and industrial zones shall be screened from the street right-of-way through the use of decorative walls, fences, and/or landscaping.
  - 2. Parking areas shall include 100 square feet of [planting area](#) for every six (6) parking spaces. This may be accomplished through landscape strips that are no



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less than 100 square feet, or through a larger landscaped area within the parking lot. Vehicle overhang space (see (D)3(b)(2)) shall not be used to fill this requirement. Parking lot landscaping does not count toward open space requirements.

Figure 2: Parking Lot Shade Trees

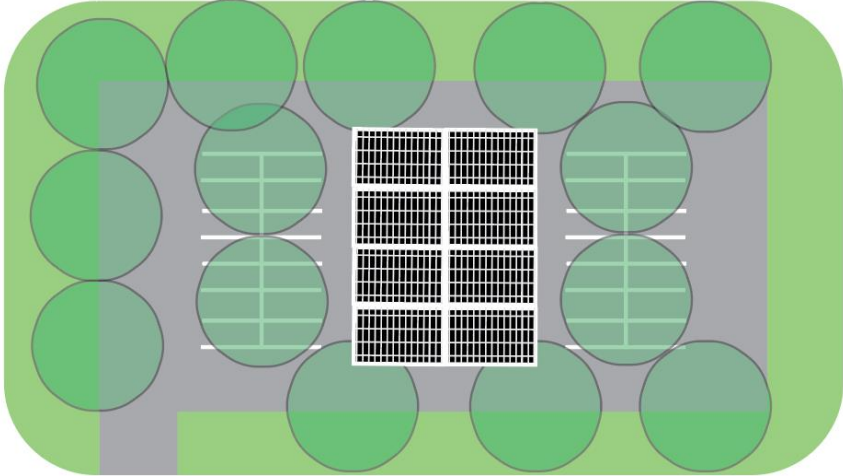


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- 3. Shade trees shall be provided in parking lots so that the average estimated canopy diameter at fifteen years of age covers 50% of the parking surface when viewed directly from above.

Figure 3: Solar Carports with Shade Trees



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- 4. Shade structures with integrated solar panels may be used in combination with shade trees provided that they do not provide more than 50% of the required shade.

223  
 224 5. All exterior areas that are not used for parking stalls, walkways, or driveways shall  
 225 be planted with ground cover or topdressed mulch.

226 **4. Bicycle Parking**

- 227 a. **Residential Bicycle Parking.** Long-term bicycle parking shall be located in a secure weather-  
 228 protected area on-site.
- 229 1. Acceptable parking facilities include:
- 230 i. Controlled Access Fenced Area: Covered, lockable enclosures with permanently  
 231 anchored racks for bicycles using allowable short-term designs in section below;  
 232 or
- 233 ii. Controlled Access Bike Room: Lockable bicycle room with permanently  
 234 anchored racks, or
- 235 iii. Bike Lockers: Lockable, permanently anchored individual bicycle lockers.
- 236 2. Bicycle parking shall be allowed in all residential units and on balconies but shall not  
 237 count towards the number of required spaces.
- 238 3. Electric bicycle charging ports shall be provided for a minimum of 25% of the required  
 239 number of bicycle spaces.
- 240 b. **Access.** Racks shall not be located in a place that requires the use of stairs or lifting of the bicycle  
 241 in order to access the racks.
- 242 c. **Number of residential bicycle parking spaces required.** At least one bicycle parking space shall  
 243 be required for all units with up to two bedrooms. Two bicycle parking spaces shall be required  
 244 for each unit with more than two bedrooms.
- 245 d. **Size of bicycle parking spaces.** Bicycle parking spaces shall have a minimum of the following  
 246 sizes:

247 *Table 2: Bicycle Parking Dimension*

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	24"
Distance between two racks (horizontal)	36"
Distance between two bike racks (length)	72"

- 248 e. **Age Restricted Developments.** In developments where age is restricted to senior citizens, the  
 249 number of bicycle parking spaces shall be reduced by 25% and at least 50% of spaces shall be  
 250 sized as follows:

251 *Table 3: Bicycle Parking Dimensions for Age Restricted Development*

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	36"
Distance between two racks (horizontal)	60"
Distance between two bike racks (length)	72"

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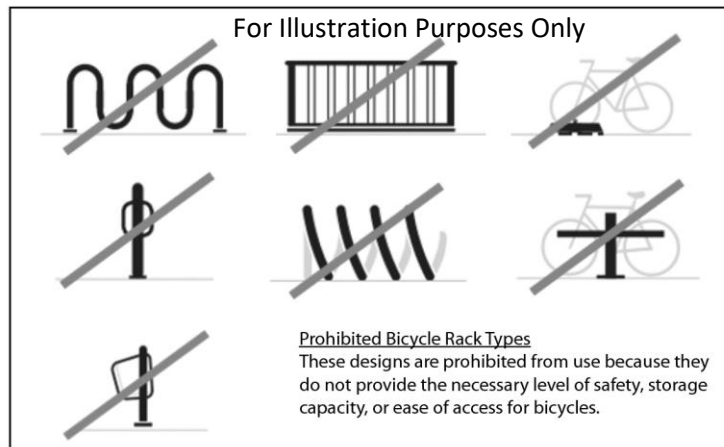
- 253 f. **Aisle.** An aisle or other space shall be provided for bicycles to enter and leave the facility. This
- 254 aisle shall have a width of at least five feet to the front or rear of a standard six-foot bicycle
- 255 parked in a facility.
- 256 g. **Surface Material.** Areas containing bicycle spaces shall be surfaced with durable surfaces such
- 257 as concrete or permeable pavers.
- 258 h. **Buffer.** When located within or adjacent to a vehicle parking area, barriers such as curbs, fences,
- 259 planter areas, or wheel stops shall be installed and maintained between bicycle and automobile
- 260 parking.
- 261 i. **Means of securing.** Except in the case of individual locking bicycle lockers and attended bicycle
- 262 parking, all bicycle parking spaces shall have a closed loop to allow a single u-lock to capture one
- 263 wheel and one closed section of the bike frame to attach to a securely anchored tamper-
- 264 resistant rack.
- 265 j. **Mounting.** Bicycle racks shall be surface-mounted to the ground with security fasteners, such as
- 266 concrete spikes, or tamper-resistant nuts on wedge anchor and shall not require lifting the bike
- 267 for use.
- 268 k. **Rack Shape.** Bicycle racks shall use one of the following designs and be constructed from steel,
- 269 stainless steel or another equivalent material with equal strength, longevity, and tamper-
- 270 resistance:

271 *Figure 4: Allowable Bike Rack Styles*



- 272
- 273 1. Alternative bike racks are allowed provided that they meet the criteria in this section
- 274 and do not use any of the prohibited styles.
- 275 2. Bicycle racks that do not provide sufficient safety, storage capacity, or access are
- 276 prohibited. The following designs are not acceptable:

277 *Figure 5: Prohibited Bicycle Rack Styles*



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280 **5. Fencing**

- 281 a. **Prohibited Materials.** The use of chain link with more than a 1 inch opening, vinyl, barbed wire,  
282 and razor wire fencing is prohibited.
- 283 b. **Design.** Solid fences more than 42” high and more than 25 feet long that are located adjacent to  
284 the public right of way shall incorporate one or more of the following:
- 285 1. Vertical change in pattern or material along the entire horizontal length of the fence
  - 286 2. A post or column every 25 feet that projects at least 2 inches from the face of the  
287 fence.
  - 288 3. Stucco or concrete fences shall not have an unarticulated surface for more than 25  
289 linear feet.
  - 290 4. Murals or public art covering a minimum of 50% of the area of the fence.
  - 291 5. A landscape screen that covers 75% of the wall at maturity.

292 **6. Facility and Equipment Screening**

- 293 a. **Screening.** All exterior utility facilities and equipment shall be screened. This includes:
- 294 1. garbage, compost, and recycling areas or receptacles
  - 295 2. utility boxes, electric and gas meters, transformers, and similar equipment
  - 296 3. roof top mechanical equipment, not including solar panels or other green  
297 infrastructure that relies on access to the sun or wind for power generation
  - 298 4. air conditioning units, heat pumps and similar equipment
- 299 b. **Coverage.** All equipment shall be fully screened from view by an architectural or landscape  
300 screen.
- 301 1. The point of view for determining visibility on the roof shall be five feet above grade  
302 at a distance of 200 feet.
  - 303 2. The point of view for determining visibility at street level shall be five feet above  
304 grade at a distance of 50 feet.
- 305 c. **Specific Waste, Compost, and Recycling Enclosure Requirements.** An enclosure for waste,  
306 compost, and recycling collection shall be provided and screened. The enclosure(s) shall:
- 307 1. have a concrete slab that extends through the full area of the enclosure including  
308 the access through the service gates.
  - 309 2. be fully enclosed in a wood or concrete structure with walls at least seven feet in  
310 height on three sides connected to a solid roof.
  - 311 3. have solid metal gated entry painted to match the other materials of the enclosure
  - 312 4. Water outlets (hose bibs) for fire safety and sanitation are required within 40 feet of  
313 enclosures for refuse containers of total capacity greater than five 30-gallon cans.
  - 314 5. The enclosure shall incorporate a sewer drain to allow the enclosure to be washed  
315 down. Storm water shall be prevented from getting into the sewer system.
  - 316 6. Enclosures shall be designed and managed to prevent animal entry and shall be  
317 screened to prevent odors, flies, and other nuisance conditions from disturbing  
318 residents and the public.
  - 319 7. Screening and gates shall be of a durable construction; fences, walls, footings, slabs  
320 and curbs shall meet City Building Code requirements. Gates shall be constructed of  
321 heavy-gauge metal or of a heavy-gauge metal frame with covering of wood or other  
322 suitable material. Gates shall be secured with sturdy hinges or sliders, and latches.  
323 For enclosures of six cans or more and for bins, the screening shall be protected at  
324 its base by curbs. If screening is to be situated directly adjacent to parking spaces or

- 325 drives, it shall be protected by a concrete-curbed buffer strip (minimum 3 feet wide)  
 326 of landscaping or pavement.
- 327 8. The location of waste, compost, recycling collection shall not conflict with  
 328 circulation or parking conditions on site. If exterior facilities are used, a clear  
 329 pathway that does not cross traffic, with a minimum width of 5 feet shall be  
 330 provided for tenant access to the disposal location.
- 331 9. Enclosures shall comply with the following dimensions:

332 *Table 4: Waste, Recycling, and Compost Enclosure Dimensions*

Bin size (in cubic yards)	Height of Enclosure	Depth of Enclosure	Width of Enclosure
1.5	43"	36"	80"
2.0	47"	39"	
3.0	58"	48.5"	
4.0	64"	53.5"	

- 333
- 334 d. **Above-ground Equipment.** Large equipment including and similar to the following: utility  
 335 transformers, telecommunications equipment, back-flow preventers, HVAC equipment, and  
 336 large utility devices shall not be located in front of buildings on primary frontages, unless fully  
 337 enclosed by an enclosure that uses the same materials and style of the building façade.  
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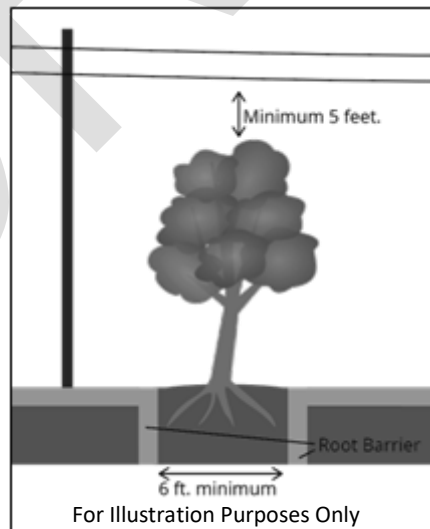
339 **7. Landscaping**

340 These standards are in addition to any applicable objective landscaping standards in the Implementing  
 341 Zoning Ordinance [Chapter 14 Landscaping and Screening](#). Landscaping within the public right of way shall  
 342 comply with the City’s [Landscape and Irrigation Standards \(series 100\)](#).

- 343 a. **Landscape Standards.** Landscaping shall comply with [Petaluma’s List of Approved Street Trees](#),  
 344 [Petaluma’s Tree Technical Manual](#) as referenced in IZO Section 17.035 and with the City’s  
 345 Landscape Water Use Efficiency Standards in the [City of Petaluma Municipal Code Section](#)  
 346 [15.17.050](#).
- 347 b. **Placement/Location.** The following areas shall be landscaped:
- 348 1. Any [unused area](#) of the site shall be topdressed with bark mulch or have ground  
 349 cover. Bare ground is not permitted.
- 350 2. A minimum of 50% of the front and side street setbacks’ surface area shall be  
 351 planted.
- 352 3. A minimum 5-foot-wide planting area shall be provided between multi-family or  
 353 mixed-use development and existing adjacent single-family residential properties.  
 354 The buffer shall include a solid wall or fence at least 42” in height and trees planted  
 355 at a rate of 1 tree per 30 feet. Trees in the buffer shall not be placed so that the  
 356 mature canopy of the tree is closer than 10 feet to an existing or proposed  
 357 structure. If the distance between existing and future buildings is not wide enough  
 358 to accommodate a tree as well as a 10-foot buffer from each building this

- 359 requirement may be waived upon the provision of a site plan that demonstrates  
 360 insufficient space is available.
- 361 4. A minimum five-foot-wide planting area shall be installed between parking areas  
 362 and adjacent public rights of way.
- 363 5. Comply with IZO Subsection 7.120(D)(3)(f) for additional landscaping requirements  
 364 for parking areas.
- 365 c. **Plant Material.** The following materials are prohibited:
- 366 1. The use of plants identified as invasive by the California Invasive Plant Council are  
 367 prohibited.<sup>1</sup>
- 368 2. Artificial plants or groundcover are prohibited.
- 369 d. **Open Space Adjacent.** For properties adjacent to open space, including river/creek adjacent  
 370 riparian habitat, the landscaping shall only use plants identified as native to Petaluma on the  
 371 [California Native Plant Society's Calscape website](#), within 50 feet of the open space area or a  
 372 minimum distance of 50 feet farther than a required buffer.
- 373 e. **Artificial Turf.** Artificial turf shall not be used for landscaping any exterior surfaces except for  
 374 sports fields and recreational areas where an organic infill material is used.
- 375 f. **Tree Planting.** Trees planted as part of the project shall comply with the following:
- 376 1. Trees shall be planted at a ratio of no less than one tree per 500 square feet of  
 377 open space (including usable open space)
- 378 2. Place trees in a planting area with a minimum size of 36 square feet unless  
 379 otherwise specified in the Smart Code.
- 380 3. Tree planters shall include root barriers and surface grates when planted adjacent  
 381 to sidewalks and pavement.
- 382 4. Trees planted under powerlines shall have a maximum expected height of no less  
 383 than five feet below the existing power lines and shall use only trees from the [City  
 384 of Petaluma List of Trees Approved for Planting Adjacent to Public Streets and  
 385 Sidewalks](#).

386 *Figure 6: Tree Planters*



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<sup>1</sup> California Invasive Plant Council <https://www.invasive.org/species/list.cfm?id=64>

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- g. **Open Space Separation.** Private open space on the ground level shall be separated from public or common open space by either a landscaping strip or a fence in compliance with Subsection 7.120(D)(5).
  - h. **Integrated Pest Management.** An Integrated Pest Management Plan that provides for zero use of chemical pesticides herbicides, fertilizers, or other synthetic chemicals shall be included with the landscaping plan and implemented.
  - i. **Groundcover.** All planting areas shall be top-dressed with a minimum layer of three inches of either bark mulch or a natural low carbon alternative or groundcover. Crushed rock, mulch, pebbles, stones, or similar non-plant material may be used on up to 10% of the landscaped areas. Landscaped areas adjacent to and up-slope from pedestrian pathways shall include edging to prevent materials from encroaching onto the pathways.
  - j. **High Maintenance Plants and Trees.** The mature canopy dripline of plants or trees which drop seed pods or fruit shall not extend over a sidewalk, pathway, or street.
  - k. **Planting Size.** To achieve the maximum plant survival and efficiency in landscape growth, the following minimum sizes are required:

405 *Table 5: New Planting Container Size Requirements*

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Plant Type	Minimum size at planting
Shrubs and perennials	1 gallon
Plants required for screening	5 gallons
Trees	15 gallons
Grasses and annual herbaceous plants	No minimum

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## 408 8. Open Space

409 Open Space shall be provided as required in the [Implementing Zoning Ordinance Chapter 4 Tables](#).

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- a. **Useable Common Open Space.** At least 25 square feet per unit of the open space required by the IZO Chapter 4 Tables shall be used for a common open space area which shall have a minimum length of 10 feet on any side.
  - b. **Outdoor seating.** Outdoor seating shall be provided within common usable open space at a ratio of one seat per three units or one bench per four units. Seats and benches shall be constructed of stainless steel, wood or a recycled material of comparable quality and durability. Seats shall be either a single chair or stool. Benches shall accommodate two seated adults.
  - c. **Required Play Areas.** Developments that include 25 or more dwelling units shall include at least one play area for children. Such play area shall:
    1. Have a minimum dimension of 15 feet in any direction and a minimum area of 600 square feet with a pour-in-place recycled rubber surface or similar surface with a minimum projected lifespan of at least 10 years.
    2. Contain play equipment, including equipment designed for children five years and younger and for all abilities.
    3. Be protected from any adjacent streets or parking lots with a fence or other barrier at least four feet in height. Fencing shall allow visibility into the play area.

- 426 d. **Senior Citizen Developments.** For developments with 25 or more dwelling units and age-  
427 restricted to senior citizens, the play area shall be replaced with a communal garden area or an  
428 outdoor fitness area of the same size and dimensions.

## 429 9. Lighting

- 430 a. **Lighting Location.** Lighting shall be provided in the following locations:
- 431 1. All parking areas and structures
  - 432 2. All pedestrian paths of travel
  - 433 3. Points of conflict where vehicular traffic flow crosses paths with pedestrian and/or  
434 bicycle facilities
  - 435 4. All service yards and access to services and utilities including waste enclosures.
- 436 b. **Fixtures.** All lighting shall use [full cutoff downcast lighting](#) fixtures that horizontally shield the  
437 light source. Spotlights are prohibited.
- 438 1. Lighting for parking and internal circulation shall be no taller than 20 feet.
  - 439 2. The primary bicycle and pedestrian pathways within the development shall be lit by  
440 fixtures no taller than 36 inches.
  - 441 3. Lighting used to illuminate landscaped areas or other open areas shall be placed at a  
442 maximum height of 36 inches.
  - 443 4. Lighting for the public right of way shall comply with the [City's Street Standards](#).
- 444 c. **Lighting Brightness.** Where required, lighting shall provide a minimum average of 0.5 foot  
445 candles and a maximum of three foot candles at ground level. Lighting shall not exceed one  
446 foot-candle at the property line unless required for street lighting by the [City's Street Light  
447 Standards](#).
- 448 d. **Lighting Color.** Exterior lighting fixtures shall not exceed 3,500K.

## 449 10. Parcels Fronting the Petaluma River and City Creeks

450 The following standards apply to parcels that are fronting either the Petaluma River or a creek where a  
451 public pathway is identified or proposed in the City's General Plan in Figure 5-2 "Proposed and Existing  
452 Bicycle Facilities" or Active Transportation Plan and as updated from time to time.

- 453 a. **Riverfront Building Façade Detailing.** Building façades facing the Petaluma River or a creek with  
454 an existing or proposed public pathway shall comply with the building design requirements for a  
455 primary frontage in IZO Section 7.120.050.
- b. **Lighting.** Lighting along the river or creek shall be placed to face away from the waterway and  
habitat areas.
- c. **Views of River and Creeks.** Fencing between the public right of way and the river over 42 inches  
shall be transparent using either open wire or wrought iron.
- d. **Waterway Accessibility.**
1. A public pathway is required for the entire river/creek frontage of the parcel if a  
pathway does not exist and is identified in General Plan Figure 5-2 "Proposed and  
Existing Bicycle Facilities" on Page 5-15 or as updated from time to time in the future.
  2. The pathway shall be constructed as the class of trail identified on the General Plan  
"Proposed and Existing Bicycle Facilities Map" using the standards in the [CalTrans  
Highway Design Manual Chapter 1000 Topic 1003](#).
  3. If there is no existing pathway up or down river from the project site, the new pathway  
shall be connected to the publicly accessible sidewalk via a public pathway on the site.



4. The public pathway shall be recorded as a public access easement on the property deed and maintained by the property owner or Homeowners Association as applicable.
5. If environmentally sensitive habitat would be impacted by operation of the pathway and no other site element, an alternative public pathway location may be permitted, provided that the applicant provides the following:
  - i. A wetland delineation and a biologist's report demonstrating that the pathway and no other element of the project would be within the buffer zone of an environmentally sensitive habitat area.
  - ii. A preservation and protection plan for the habitat area.
  - iii. Alternative design for an equivalent pathway with a minimum separation of a six-foot-wide planter strip between the pathway and the street.
2. A raised boardwalk may be used in place of a paved pathway for sections of the pathway located within the buffer zone of an environmentally sensitive habitat area. The boardwalk shall have the following characteristics:
  - i. Shall be a minimum of six feet wide
  - ii. Shall be raised a minimum of 12 inches above the natural grade
  - iii. Shall be constructed from ADA compliant materials with a projected minimum longevity of 50 years and shall not contain creosote, formaldehyde or other chemicals that could leach into the habitat area.
  - iv. Handrails shall be installed on both sides of the boardwalk for the entire length.
  - v. Signs requiring bicyclists to dismount and walk bicycles on the boardwalk shall be installed on both sides of both entrances to the boardwalk.
  - vi. Permanent habitat protection fencing with a six-inch bottom clearance shall be installed to prevent the public from walking/riding in sensitive habitat areas.
  - vii. Any habitat disturbed during construction shall be restored in compliance with state and federal regulations.

## E. BUILDING DESIGN

### 1. Façade Design

- a. **Façade.** All exterior walls must incorporate changes of plane representing 30% of wall surface area on primary façade, 20% of the wall surface area on all other facades. This may be achieved through any of the following methods or combination of methods:
  1. Balconies that either project at least three feet from the façade or balconies that are recessed at least four feet from the façade.
  2. Box/bay windows with a minimum depth of 18 inches on all facets.
  3. Ground floor street-facing courtyard(s)
  4. Architectural stepbacks or projections that are a minimum of 24 inches.
  5. Front porches
  6. Colonnade, arcade, or covered walkway along the ground floor with a minimum depth of five feet.
- b. **Window shades.** Orientation-tuned shading devices which include non-membrane awnings, canopies, fins, or screens and that share similar architectural characteristics to the façade shall be installed on the south and west facing windows with orientations that effectively shade glass from sun from May through September from the hours of 12:00 pm to 5:00 pm.
- c. **Vinyl Materials.** Vinyl materials are prohibited and shall not be used on the façade of the building including but not limited to siding, trim, and windows.

- d. **Transparency at Street Level.**
  - 1. For residential buildings, including live/work and work/live, along any façade facing a public or private street, public open space, the Petaluma River, or a creek designated for a public pathway in the General Plan, provide doors and/or windows for a minimum of 25% of the linear frontage on the ground floor.
  - 2. For mixed-use buildings, along any façade facing a public or private street, public open space, river, or creek with a proposed or existing public pathway, provide doors and/or windows for a minimum of 50% of the ground-floor façade.
- e. **Ground Floor Residential on Arterial Roadways.** Ground floor residential units with entrances on an arterial street shall have a separation to visually delineate public versus private space along the arterial frontage through **ONE (1) of the following** design elements:
  - 1. Finished floor height of at least 24 inches above the grade of the public sidewalk.
  - 2. Low wall no more than 42 inches in height
  - 3. A three-foot-wide landscaping strip or permanent above ground planters no less than 3 feet wide.
  - 4. A change in paving surface material.
- f. **Inactive Frontages.** No more than 50 feet along the primary façade shall be occupied by [inactive frontages](#).

## 2. Entryway

- a. **Location.** Buildings must have a primary entrance on a street-facing façade but may have an articulated entrance on each street facing façade. The primary building entrance and associated access path shall be directly accessible from the public street.
- b. **Entrance Emphasis.** The primary building entrance shall be articulated, using at least three of the following design features:
  - 1. [Accent Materials](#)
  - 2. Public Art
  - 3. Non-membrane and non-vinyl Awnings
  - 4. Sidelights or accent lighting
  - 5. Arches
  - 6. Columns
  - 7. Insets in the façade around the door frame
  - 8. Transom windows above or to the sides of the door
  - 9. Porch or stoop
  - 10. Entrance doors recessed from the wall plane at least six inches

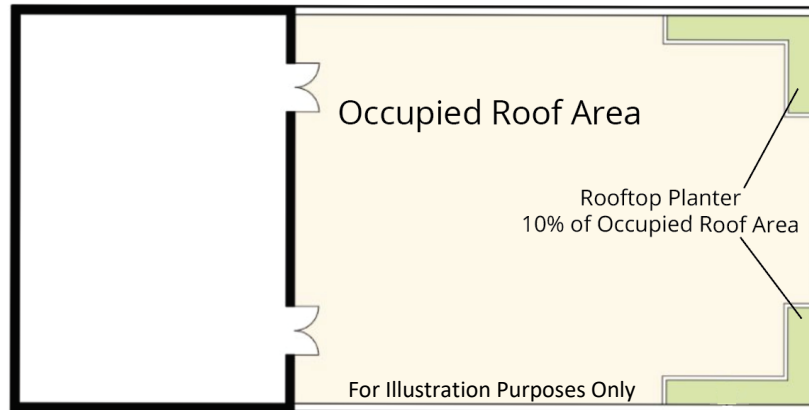
## 3. Building Corner Treatments

- a. Building corners at a street intersection shall incorporate at least **ONE (1) of the following** corner treatments:
  - 1. Turret or cupola at least two feet higher than the highest roof point.
  - 2. Roof variation
  - 3. Building recess
  - 4. Variance in building materials
  - 5. Corner plaza or public space
  - 6. Corner entryway
  - 7. Curved corner wall with windows

#### 4. Occupied Roofs

- a. **Roof Planter.** 10% of occupied rooftops shall be landscaped with rooftop planters.

*Figure 7: Roof Top Planters*



#### F. Other Applicable Objective Standards

All projects subject to this chapter shall comply with the objective design, development, and subdivision standards within [Implementing Zoning Ordinance](#) or [SMART Code](#) (as applicable), the [General Plan](#) (or [applicable Specific Plan](#)), and the [Municipal Code](#) as well as any adopted standards in supplemental documents including **but not limited to**:

1. Implementing Zoning Ordinance [Chapter 4 Zoning District and Allowable Land Use Tables](#)
2. Implementing Zoning Ordinance [Chapter 6 Flood Plain and Floodway Areas](#)
3. Implementing Zoning Ordinance [Chapter 11 Parking Standards](#) or SMART Code [Section 6 Parking Standards and Procedures](#)
4. Implementing Zoning Ordinance [Chapter 13 Fences](#)
5. Implementing Zoning Ordinance [Chapter 14 Landscaping](#)
6. Implementing Zoning Ordinance [Chapter 15 Preservation of the Cultural & Historic Environment](#)
7. Implementing Zoning Ordinance [Chapter 16 Hillside Protection](#)
8. Implementing Zoning Ordinance [Chapter 17 Tree Preservation](#)
9. Implementing Zoning Ordinance [Chapter 21 Performance Standards](#)
10. City of Petaluma Municipal Code [Section 15.17.050 Water Efficiency Landscape Ordinance](#)
11. City of Petaluma Municipal Code [Title 17 Building and Construction](#)
12. City of Petaluma Municipal Code [Title 20 Subdivisions](#)
13. City of Petaluma [Landscape and Irrigation Standards](#)
14. City of Petaluma [Street Light Standards](#)
15. City of Petaluma [Street Standards](#)