

**RESOLUTION NO. \_\_\_\_\_**

**RESOLUTION OF THE CITY OF PETALUMA PLANNING COMMISSION  
RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE ADDING  
SECTION 7.120 TO THE CITY OF PETALUMA IMPLEMENTING ZONING  
ORDINANCE, ORDINANCE 2300 N.C.S., ESTABLISHING OBJECTIVE DESIGN  
STANDARDS FOR QUALIFYING RESIDENTIAL PROJECTS**

**WHEREAS**, the City of Petaluma Implementing Zoning Ordinance (IZO) Section 25.010 provides that no amendment that regulates matters listed in Government Code Section 65850 shall be made to the IZO unless the Planning Commission and City Council find the amendment to be in conformity with the General Plan; and

**WHEREAS**, pursuant to IZO Chapter 25, the City of Petaluma Planning Director may initiate an amendment, and the City Council may adopt the amendment upon the recommendation of the Planning Commission; and

**WHEREAS**, pursuant to IZO Sections 25.010 and 25.050.B, if the Planning Commission finds the IZO amendments to be in conformance with the Petaluma General Plan, and consistent with the public necessity, convenience, and general welfare, it may recommend amendment of the IZO to the City Council; and

**WHEREAS**, the State of California (State) adopted Senate Bills (SB) 35 and 330, and Assembly Bill (AB) 2162, which limit or restrict discretionary review of project design elements; and

**WHEREAS**, the Object Design Standards provide concise, quantifiable, objective standards to regulate site and building design for qualifying residential projects; and

**WHEREAS**, the intent of adopting achievable, feasible, and implementable Objective Design Standards is to ensure that qualifying residential development projects (1) achieve satisfactory quality design in individual buildings and their sites; (2) are designed appropriately for the intended uses; and (3) are in harmony with other developments and their surroundings; and

**WHEREAS**, the conceptual Objective Design Standards were presented to the Planning Commission at a Study Session in June 2020; and

**WHEREAS**, group interviews with local affordable housing developers and architects were conducted in January 2021 to understand opportunities and constraints faced by the multi-family housing development community; and

**WHEREAS**, on April 27, 2021, the Planning Commission received a follow-up presentation on the Objective Design Standards at which point the Commission affirmed the goals and mechanisms for the Objective Design Standards; and

**WHEREAS**, stakeholder and public outreach was conducted between September 21, 2023, and November 30, 2023, to receive feedback on the proposed Objective Design Standards; and

**WHEREAS**, a Planning Commission workshop and study session were held respectively on October 10, 2023, and November 28, 2023, to receive feedback from the Planning Commission on the proposed Objective Design Standards; and

**WHEREAS**, the Objective Design Standards reflect five core goals essential to the development of qualifying residential projects, including (1) Strengthen Community Character and the Public Realm; (2) Design for People; (3) Design Equitable Places; (4) Support Connectivity; and (5) Design for Sustainability; and

**WHEREAS**, the draft Objective Design Standards are the result of feedback received by the City's Planning Commission and other committees, commissions, and boards, internal discussions with various city departments, feedback from the residential development community, review of local regulations and guidelines, and are informed by other agency's adopted Objective Design Standards; and

**WHEREAS**, on December 1, 2023, the City's Notice of Public Hearing to be held on December 12, 2023, before the City of Petaluma Planning Commission, was published; and

**WHEREAS**, the Planning Commission held a duly noticed public hearing on December 12, 2023, at which time all interested parties had the opportunity to be heard.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF PETALUMA AS FOLLOWS:**

1. The foregoing recitals are true and correct and incorporated herein by reference as findings of the Petaluma Planning Commission.
2. Based on the staff report, staff presentation, comments received, and the public hearing, the Planning Commission makes the following findings based on substantial evidence in the record:

- a. California Environmental Quality Act Findings:  
*The Objective Design Standards Ordinance is exempt from the provisions of the California Environmental Quality Act (CEQA), and further detailed in the concurrent CEQA memo, pursuant to Section 15301(b)(3) CEQA because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. The project is also categorically exempt pursuant to CEQA Guidelines Section 15308 (Actions by Regulatory Agencies for Protection of the Environment) as it involves adoption of Objective Design Standards that (1) increase bicycle connectivity, access, and parking, thereby reducing reliance on automobiles and associated vehicle emission; (2) preserve and enhance*

*the existing aesthetic qualities of Petaluma through inclusion of standards related to fencing, screening, lighting, façade and entryway design, and building corner treatments; (3) prohibit planting of invasive species and artificial turf and reduce the use of landscaping chemicals in affordable housing developments; and (4) include a provision for inclusion of usable open space, thereby ensuring new qualifying residential developments include sufficient recreational areas.*

b. General Plan Findings:

The Objective Design Standards Ordinance is consistent with the adopted 2105 City of Petaluma General Plan and with adopted elements of the 2025 City of Petaluma General Plan (2023-2031 Housing Element), including the following goals, policies, and programs, in that:

- **Housing Element Goal 1:** Provide opportunities for residential development to accommodate projected residential growth and diverse housing needs of all existing and future Petalumans, and associated **Policy 1.4** Establish flexibility in the City’s standards and regulations to encourage a variety of housing types, including mixed-use and flexible-use buildings, and affordable housing development.

*The Objective Design Standards Ordinance includes a range of options to allow for flexibility and creativity in architectural and landscape design. This includes a change of plane requirement for 30% of the primary façade, which can be achieved through one or a combination of six options. Entryway articulation, building corner treatments, and fencing also offer specific options for design that are flexible, allow for a variety of housing types, and ensure that design requirements will not reduce allowable density.*

- **Housing Element Goal 2:** Remove or mitigate constraints on housing development to expedite construction and lower development costs while avoiding impacts on environmentally sensitive areas, and associated **Policy 2.2** - Streamline the City’s review and approval process for residential and mixed-use projects to ensure objective evaluation and greater certainty in outcomes to facilitate affordable housing production, and associated **Policy 2.3** - Develop incentives such as streamlined review, fee adjustments, and objective design standards to encourage residential development that is affordable and environmentally appropriate.

*The Objective Design Standards will be applied to qualifying residential projects that are subject only to ministerial or objective review and will lower development costs by providing objective requirements for project approval. The objective standards will provide clear, quantifiable, and objective standards to ensure objective evaluation, provide greater certainty in outcomes, and*

*facilitate a streamlined review. The Objective Design Standards Ordinance include criteria for Integrated Pest Management, a prohibition on invasive species, specific requirements for Petaluma River or creek adjacent parcels, and facilities to support non-gasoline powered transportation, as well as a prohibition on vinyl materials.*

- **General Plan Goal 1-G-1:** Maintain a balanced land use program that meets the long-term residential, employment, retail, institutional, education, recreation, and open space needs of the community and associated **Policy 1-P-3** - Preserve the overall scale and character of established residential neighborhoods.

*The façade, entryway, and corner treatments supplement the existing height and site coverage requirements in the Implementing Zoning Ordinance to articulate the façade and break up the massing to ensure that qualifying residential projects are similar in scale and character to other structures. Additionally, the limitation on building length ensures that buildings are of a similar size to other existing multi-family structures in the city. A requirement for landscaping at least 50% of the primary street frontage setback also softens the transition to the street and creates a buffer between new buildings and the existing neighborhood.*

- **General Plan Goal 1-G-5:** Petaluma River: Develop land uses in proximity to the Petaluma River that ensure the restoration of the natural River corridor, provide for adequate storm flow capacities, and enable public access and stewardship, and associated Policies **1-P-43** - Development shall incorporate the River as a major design focal point, orienting buildings and activities toward the River and providing water access, to the extent deemed feasible, and **1-P-44** - Develop the Petaluma River as a publicly accessible green ribbon, fronted by streets, paths, access points, and open spaces, by implementing the Petaluma River Access and Enhancement Plan within the context of the PRC Design Standards.

*The Objective Design Standards Ordinance will require the development of the public trails proposed in the General Plan along the Petaluma River and creeks. Additionally, it requires that a public connection be provided to the new section of trail from either an existing section or from the public sidewalk/road. Alternatives to paved pathways are included for areas that include sensitive riparian habitat or wetlands. Additionally, the Objective Design Standards Ordinance requires buildings' façades facing the Petaluma River or a creek with public access to follow the same design requirements as the primary façade and to develop a public access trail along the property length of the river. They include objective standards that codify guidelines in the Petaluma River Access and Enhancement Plan to*

*provide paths and accessible open space and installation of native plants.*

- **General Plan Goal 1-G-7:** Recognize that trees are a community asset, an essential element in the interface between the natural and built environment, and part of the urban infrastructure.

*The Objective Design Standards Ordinance includes requirements for trees in and around parking areas as well as the planting of one tree for every 500 square feet of open space.*

- **General Plan Goal 2-G-2:** Maintain and enhance Petaluma's unique identity and sense of community, history and place, and associated **Policy 2-P-5** - Strengthen the visual and aesthetic character of major arterial corridors as it will require façade, entryway, and corner design, as well as landscaping that will strengthen the visual character of the existing streetscape.

*The building orientation standard requires that buildings are designed with the primary building façade toward the primary street frontage, and that the primary façade incorporate changes of plane representing 30% of the wall and 20% change of plane on all other facades. The standards include requirements for entryway and building corner articulation as well as landscaping 50% of the front setback. These requirements will enhance Petaluma's unique identity and sense of community as well as strengthen the visual character of the existing streetscape.*

- **General Plan Goal 5-G-5:** Create and maintain a safe, comprehensive, and integrated bicycle and pedestrian system throughout Petaluma that encourages bicycling and walking and is accessible to all, and associated policies **5-P-20** - Ensure that new development provides connections to and does not interfere with existing and proposed bicycle facilities, **5-P-22** - Preserve and enhance pedestrian connectivity in existing neighborhoods and require a well-connected pedestrian network linking new and existing developments to adjacent land uses, **5-P-23** - Require the provision of pedestrian site access for all new development, and **5-P-31** - Make bicycling and walking more desirable by providing or requiring development to provide necessary support facilities throughout the city.

*The proposed circulation and access standards include requirements to ensure pedestrian and bicycle connectivity between all buildings on the site and the public sidewalk. Additionally, it requires that as river/creek pathways are developed, they must connect to either the*

*public sidewalk or an existing river/creek pathway. Additionally, they require that development construct a public pathway along the Petaluma River or a creek if it is identified in the “Proposed and Existing Bicycle Facilities” map in the City’s General Plan. If there is no connection up or down river to the new section of path a connection to the public sidewalk is required.*

- **Goal 6-G-1:** Retain and expand city-wide park and recreation assets and programs to maintain the quality of life they provide to the community and associated **Policy 6-P-1** - Develop additional parkland and recreational facilities in the city, particularly in areas lacking these facilities and where new growth is proposed, and associated **Program 6-P-1.E** - As part of the City’s Development regulations establish common open space requirements for multi-family development. Such open space shall NOT be counted toward public park dedication/in lieu fee requirements for meeting neighborhood and/or community park needs.

*The Objective Design Standards Ordinance will objectify the language in IZO Chapter 4 Land Use Tables requiring a minimum of 25 square feet per unit of common usable open space with a minimum dimension of 10 feet in any one direction. Further, the Objective Design Standards require the provision of a play area for developments with more than 25 units. These requirements will ensure recreation facilities for new qualifying residential developments and expand recreational assets.*

- **Goal 6-G-3:** Increase public knowledge and understanding of the importance of sustaining a healthy urban forest for the well-being of the entire community, and associated **Policy 6-P-19** - Support efforts by the City’s Tree Advisory Committee to disseminate current information to the public advocating the use of Best Management Practices for the care and perpetuation of the urban forest, including issues such as strategic tree planting that consider site conditions as well as shading in selection and placement of trees, proper planting and pruning techniques, and the importance of using Integrated Pest Management practices in order to minimize the use of chemicals harmful to the environment.

*The Objective Design Standards Ordinance includes a requirement to plant trees that will result in shade for at least 50% of the parking surface, the planting of one tree for every 500 square feet of open space, and the use of Integrated Pest Management for all landscaped areas, including trees.*

- c. The proposed Zoning Text Amendment to add Objective Design Standards for qualifying residential projects is consistent with the public

necessity, convenience, and general welfare in that:

*The Objective Design Standards Ordinance is in conformance with the City of Petaluma Implementing Zoning Ordinance in that it creates objective standards to achieve the project outcomes that are identified in IZO 24.050.E Site Plan and Architecture Review Standards for Review of Applications for projects which are mandated by the state to undergo ministerial or objective review. The proposed Objective Design Standards supplement the following sections by providing clear, quantifiable, and objective standards for qualifying residential projects:*

- *IZO Chapter 13 provides standards for the location and height of fencing and retaining walls, but it does not have material or design requirements that are included in the proposed Objective Design Standards Subsection 7.120.D(5).*
- *IZO Chapter 14 provides minimum standards for landscaping and screening, which are enhanced by proposed Objective Design Standards Section 7.120.D(6) and (7), which provide more detailed and objective standards for the design and placement of landscaping. Section 7.120.D(7) adds standards that codify guidelines used for Site Plan and Architecture Review.*
- *IZO Chapter 11 provides standards for parking and loading facilities. The proposed Objective Design Standards add requirements based on the Site Plan and Architecture Review Checklist for Parking to codify them as objective design standards. Additionally, the proposed Objective Design Standards subsection 7.120.D(4) provides additional standards for bicycle parking for qualifying residential projects. This does not conflict with the existing IZO because it is stricter than the existing code and is warranted because affordable housing also needs access to affordable transportation, requiring sufficient parking to accommodate a variety of bicycle types, including e-bikes, is not in conflict with the existing bicycle parking regulations because it requires additional and accessible bicycle parking for qualifying residential projects which is stricter than the standards applied to all uses.*

*Adoption of the Objective Design Standards Ordinance is in the public interest and supports the convenience and general welfare of the public because they will provide achievable, feasible, and implementable objective standards that ensure qualifying residential projects achieve satisfactory quality of design in individual buildings and their site, are designed appropriately for their intended uses, and are in harmony with other developments and their surroundings. Simultaneously, the adoption of*

*Objective Design Standards creates clear and objective standards for affordable housing developers to ensure objective evaluation, provide greater certainty in outcomes, and facilitate a streamlined review of qualifying residential projects.*

*Additionally, the Objective Design Standards Ordinance is in the public's interest as the standards (1) increase bicycle connectivity, access, and parking, thereby reducing reliance on automobiles and associated vehicle emissions; (2) preserve and enhance the existing aesthetic qualities of Petaluma through inclusion of standards related to fencing, screening, lighting, façade and entryway design, and building corner treatments; (3) prohibit planting of invasive species and artificial turf and reduce the use of landscaping chemicals in affordable housing developments; and (4) include a provision for inclusion of usable open space, thereby ensuring new qualifying residential developments include sufficient recreational areas.*

3. Based on its review of the entire record herein, including the December 12, 2023, Planning Commission staff report, all supporting, referenced, and incorporated documents and all comments received, and the foregoing findings, the Planning Commission hereby recommends that the City Council adopt an Ordinance to amend the Zoning Text as shown in **Exhibit 1**.



**Chapter 7**  
**STANDARDS FOR SPECIFIC LAND USES**

Sections:

- 7.010 Purpose.
- 7.020 Applicability.
- 7.030 Accessory Dwelling Units.
- 7.040 Junior Accessory Dwelling Units.
- 7.050 Home Occupation Permit.
- 7.060 Large Family Child Day Care.
- 7.070 Short-Term Activities.
- 7.080 Swimming Pools, Hot Tubs, and Spas.
- 7.090 Telecommunications Facilities.
- 7.100 Bed & Breakfast Inns.
- 7.110 Short-Term Vacation Rentals.
- 7.120 Objective Design Standards for Qualifying Residential Projects.

A. *Purpose.* The purpose of Section 7.120 is to provide objective design standards for the review of residential developments that qualify for streamlined or ministerial planning permit review pursuant to the laws of the State of California and/or regulations of the City of Petaluma. These standards contain concise and quantifiable language that is designed for consistent interpretation by applicants, reviewers, and approval bodies alike.

The objective standards herein are intended to achieve five core goals in the development of qualifying residential projects:

1. Strengthen Community Character and the Public Realm. Design developments that reflect the Petaluma community and contribute to its physical, economic, social, and cultural character.
2. Design for People. Emphasize a pedestrian-oriented environment where buildings and public realm design are cohesive and complementary to a diverse range of uses.
3. Design Equitable Places. Make spaces that recognize and support residents' and workers' activities across age, ability, culture, race, gender, and income.
4. Support Connectivity. Design safe, functional, and comfortable multimodal connections between activities that are accessible and easy to navigate by walking, bicycling, and public transit.
5. Design for Sustainability. Support sustainable building practices and site design approaches to enhance Petaluma's resilience and resource stewardship - now and into the future.

Section 7.120 Objective Design Standards for Qualifying Residential Projects

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38 B. *Applicability.* The City of Petaluma’s Objective Design Standards apply to qualifying  
39 residential projects for which the state requires review for compliance using only objective  
40 standards. This includes residential projects, which upon applicant request and demonstration of  
41 eligibility, qualify for streamlined and/or ministerial processing. Alternatively, projects subject to  
42 these objective standards may opt to apply for permit processing under discretionary Site Plan  
43 and Architectural Review (SPAR) in accordance with Section 24.050 of the Petaluma  
44 Implementing Zoning Ordinance (IZO).

45 The standards in this Section 7.120 apply in addition to any applicable objective standards in the  
46 adopted City documents, including but not limited to the documents referenced in [Section](#)  
47 [7.120\(F\)](#). Should there be any conflicting objective standards in the Smart Code or IZO Historic  
48 District Standards, the Smart Code and Historic District standards shall take precedence over the  
49 standards within this section.

50 C. *Definitions.* The definitions in Subsection 7.120.C are intended to apply specifically to  
51 the objective standards in Section 7.120. If a definition is not in this section, the definition in [IZO](#)  
52 [Chapter 28 Glossary](#) shall apply. If a definition is not listed in this section or the glossary, the  
53 commonly used definition shall apply.

54 **Accent Materials** – Distinct materials used to provide emphasis of architectural features or areas  
55 of the building. Qualifying accent materials must either be a different material type, have a  
56 different cut size, or use a different installation technique.

57 **Arterial Street** – Streets designated as an Arterial Street in the City’s General Plan Mobility  
58 Element and which provide relatively high-capacity access to regional transportation facilities.  
59 Access to arterials is generally from collector and local streets.

60 **Articulation** – Dividing a building’s mass into smaller parts through the placement of  
61 architectural features such as windows, doors, molding, columns, or other three-dimensional  
62 façade enhancements that create a clear and distinct section of the building.

63 **Artificial Turf** – A surface of synthetic fibers made to look like natural grass.

64 **Class I Bikeway (Bike Path)** - Provides a completely separated right of way for the exclusive  
65 use of bicycles and pedestrians with crossflow traffic minimized.

66 **Class II Bikeway (Bike Lane)** - Provides a striped lane for one-way bicycle travel on a street or  
67 highway.

68 **Class III Bikeway (Bike Route)** - Provides for shared use with pedestrian or motor vehicle  
69 traffic.

70 **Class IV Separated Bikeway** - A bikeway for the exclusive use of bicycles and includes a  
71 separation required between the separated bikeway and the through vehicular traffic.

72 **Common Open Space** – Restricted access outdoor space available for all residents in the  
73 development.

74 **Creeks** – For the purposes of this section creeks means a creek with a proposed or existing  
75 public pathway as identified in the General Plan on Figure 5-2 “Proposed and Existing Bicycle  
76 Facilities” or as updated from time to time.

77 **Cupola** – A relatively small, most often rounded or dome-like structure on top of a building.

Section 7.120 Objective Design Standards for Qualifying Residential Projects

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78 **Full Cutoff Downcast Lighting** – Lighting fixtures that have no direct uplight (no light emitted  
79 above horizontal) and limited intensity of light from the fixture in the region between 80° and  
80 90°.

81 **Ground Floor Activating Strategies** – Uses that generate daily pedestrian activity. These may  
82 include but are not limited to retail, restaurants, personal services, offices (including medical),  
83 residential entryways, fitness centers, lobbies, resident services, etc. Ground floor activating  
84 strategies shall be compatible with residential uses.

85 **Inactive Frontages** – Sections of the building with no active use, including blank walls, service  
86 entrances with access to trash, utilities, service areas, and garage entrances.

87 **Internal Road** – See: Private Street

88 **Landscape area** - All the planting areas, turf areas, and water features in a landscape design plan  
89 are subject to the maximum applied water allowance calculation. The landscape area does not  
90 include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios,  
91 gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas  
92 designated for non-development (e.g., open spaces and existing native vegetation).

93 **Multi-Use Path** – See: Class I Bikeway

94 **Natural Habitat** – The natural environment of a plant or animal.

95 **Occupied Roofs** – Roofs planned for occupancy as either open space, assembly or other  
96 functional purpose beyond maintenance or repair access.

97 **Open Space** - Any park, right of way, City-owned property, utility corridor, publicly used land,  
98 school yard, or natural habitat area which is open land on which there is no structure.

99 **Planting area (Landscaping)** - Unpaved areas of the site with prepared soils and irrigation  
100 systems intended to support the establishment and long-term health of intentionally selected and  
101 installed plant materials.

102 **Primary Building Façade** – The side of the building oriented toward the front lot line.

103 **Primary Entrance** – The entrance to the building through which most users are expected to  
104 travel and which shall be located on the primary building façade.

105 **Primary Street Frontage** – The area between the primary building façade and the front lot line.

106 **Private Open Space** – A private outdoor space designated for no more than one residential unit  
107 and not accessible to other units. A private balcony also qualifies as private open space.

108 **Private Pathway** – A thoroughfare on private property designed for pedestrians and bicyclists  
109 where access is limited to residents or individuals with specific permission.

110 **Private Street** – A street located solely on private property, owned and maintained by either a  
111 property owner or Homeowners Association.

112 **Public Open Space** – The area outside the footprint of the building on a site that may include  
113 parks, green spaces, squares, plazas, playgrounds, and/or trails, and which are accessible to all  
114 members of the public. The Petaluma River is considered public open space.

115 **Public Pathway** – A thoroughfare designed for pedestrians and bicyclists and accessible to the  
116 public. This includes bike paths, walking paths, trails, and sidewalks.

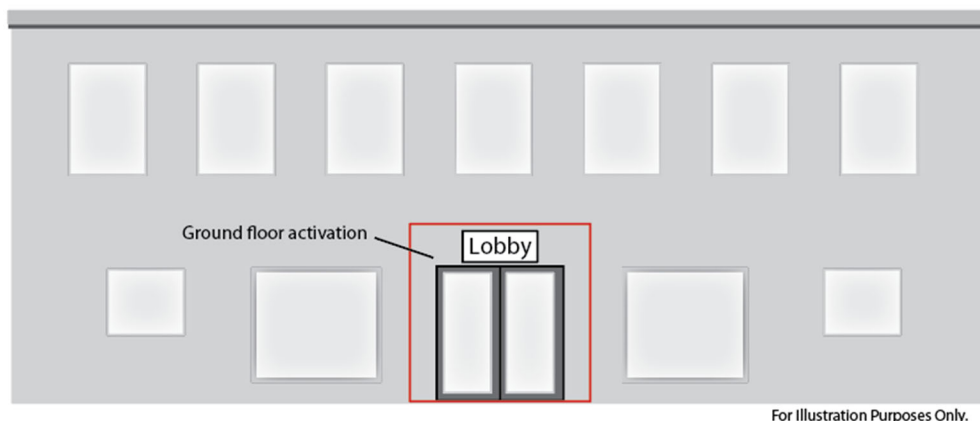
## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 117 **Public Realm** - The area fronting or physically accessible to the public including the street,  
118 sidewalk, and adjacent parks and building frontages.
- 119 **Public Street** – A street owned and maintained by the City of Petaluma or another public  
120 agency.
- 121 **Qualifying Residential Development** - Residential Development that, under state law, is  
122 required to be processed through ministerial review using only objective standards.
- 123 **Secondary Entrance** – Any entrance, other than a service entrance, to a building not designated  
124 as the primary entrance.
- 125 **Secondary Building Façade** – Any side of a building facing a public street (not including  
126 alleys) that is not the primary façade.
- 127 **Secondary Street Frontage** - The area between a secondary building façade and a public street  
128 that is not the primary street or alley.
- 129 **Sensitive Habitat** - Sensitive habitats are those areas in which plant or animal life or their  
130 habitats are either rare or especially valuable because of their special nature or role in the  
131 ecosystem.
- 132 **Turret** – A small tower at the corner of a building.
- 133 **Unused Area** – A vacant or non-functional area of a site that does not have a structure, sidewalk,  
134 roadway, parking stall, aisle, or other function. There is no minimum size and unused areas may  
135 include spaces between buildings, spaces between pathways and structures, or similar locations.

136 D. *Site Design*

## 137 1. Building Orientation

- 138 a. Orientation. The primary building façade, which includes the primary entrance and the  
139 primary street frontage, shall be oriented to the front lot line as defined by IZO Chapter  
140 28.
- 141 b. Activation. At least one [ground floor activating strategy](#) shall be integrated into the  
142 [primary building façade](#) and [secondary building façade](#).

143 *Figure 1: Ground Floor Activation*

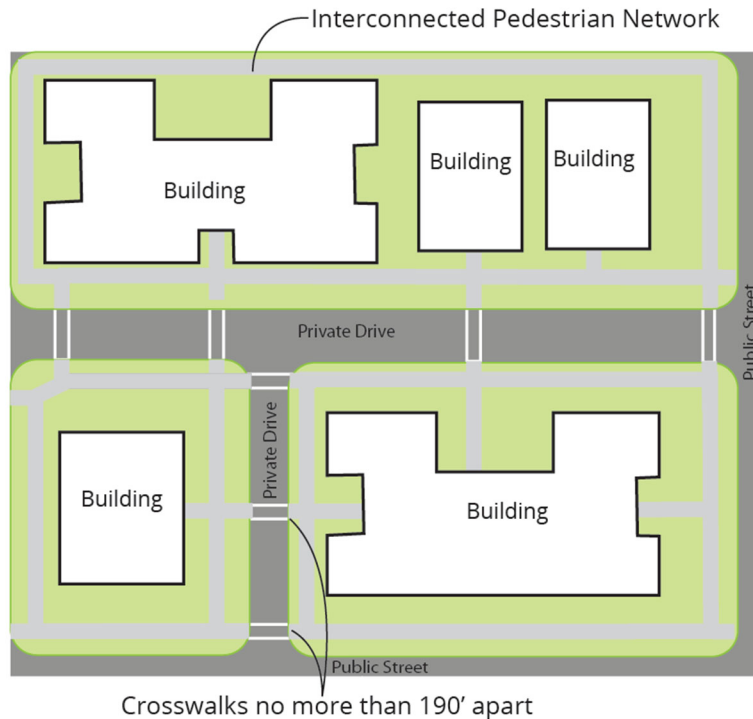
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## Section 7.120 Objective Design Standards for Qualifying Residential Projects

## 146 2. Circulation and Access

- 147 a. Pedestrian and Bicycle Access Routes. For projects with more than two separate dwelling  
 148 structures, all structures shall be internally connected by pedestrian pathways and each building  
 149 shall have a pedestrian pathway that connects to the public sidewalk.

150 *Figure 2: Pedestrian and Bicycle Access Routes*

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- 152 b. Crosswalks. For mixed-use or residential projects with internal streets or surface parking  
 153 areas, a crosswalk shall be provided at a maximum distance of 190 feet between  
 154 crosswalks along internal streets or drive aisles and comply with Caltrans and Federal  
 155 Accessibility Standards.
- 156 c. Driveway Location. Driveways shall not be located adjacent to the Petaluma River or a  
 157 [creek](#).
- 158 d. Short Term Parking. For developments with 10 or more units, a passenger loading and  
 159 residential delivery zone (yellow curb marking) shall be designated at the curb along the  
 160 primary frontage and shall comply with [Municipal Code Section 11.48.030 and](#)  
 161 [11.48.070](#). This requirement shall be waived if there is not sufficient space to  
 162 accommodate both short-term parking and emergency vehicle access. A waiver will be  
 163 granted based on a written communication from the Fire Marshal stating that short-term  
 164 parking would inhibit emergency vehicle access and no other alternatives are available.
- 165 3. General Parking Standards
- 166 a. Parking Location. Parking lots and structures are prohibited in the following locations:
- 167 1. Between the building and the primary street frontage

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 168 2. Between the building and an adjacent river or creek unless no other feasible location  
169 for parking exists.
- 170 3. For multi-family dwelling structures containing more than two units, parking within a  
171 front or side street setback is prohibited.
- 172 b. Parking Spaces.
- 173 1. The width of a parking space shall be increased by one foot if either side of the space  
174 is adjacent to a wall, fence, support column or other structure.
- 175 2. Two feet of the parking stall depth may be landscaped with low-growth, hearty  
176 materials in lieu of paving, allowing a two-foot bumper overhang while maintaining  
177 the required parking dimensions.
- 178 3. The size of parking spaces shall comply with the following dimensions based on  
179 angle of parking and standard or compact in Table D-1.

Table 1: Parking Space Size Requirements

Angle of Parking Space	Width of Space (ft)	Length of Space (ft)	Width of Angled Space (ft)	Length of angled Space (ft)	Minimum back up length (ft)
Standard Cars					
Parallel Parking	9	22	-	-	-
30 Degree Angle parking	9	19	18	17.3	11.5
	9.5	19	19	17.7	11.5
	10	19	20	18.2	11.5
45 Degree Angle Parking	9	19	12.7	19.8	13
	9.5	19	13.4	20.2	13
	10	19	14.1	20.5	13
60 Degree Angle Parking	9	19	10.4	20.9	17.5
	9.5	19	11	21.2	17.5
	10	19	11.5	21.4	17.5
90 Degree Angle Parking	9	19	9	19	26
	9.5	19	9.5	19	24
	10	19	10	19	23
Compact Cars					
Parallel Parking	8	20	-	-	-
30 Degree Angle parking	8	16	15.9	14.1	12

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Section 7.120 Objective Design Standards for Qualifying Residential Projects

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45 degree Angle Parking	8	16	11.2	16.9	12
60 Degree Angle Parking	8	16	9.2	18.4	14
90 Degree Angle Parking	8	16	8	16	22
Uninstall 60 Degree Parking	8.5	18	8.5	18	26
Uninstall 90 Degree Parking	8.5	18	8.5	18	26

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c. Parking Screening. Parking lots or structures shall be screened by 42” high solid fencing that complies with subsection IZO Subsection 7.120.D(5) or plants with a minimum expected height of 42” at maturity.

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d. Parking Structure Massing and Façade Articulation. Parking structures facing the primary or secondary street frontage shall comply with the façade design requirements in IZO Subsection 7.120(E)(1).

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e. Landscaping. Surface parking areas shall be landscaped in accordance with Site Design Landscaping Subsection 7.120.D(7) and as follows:

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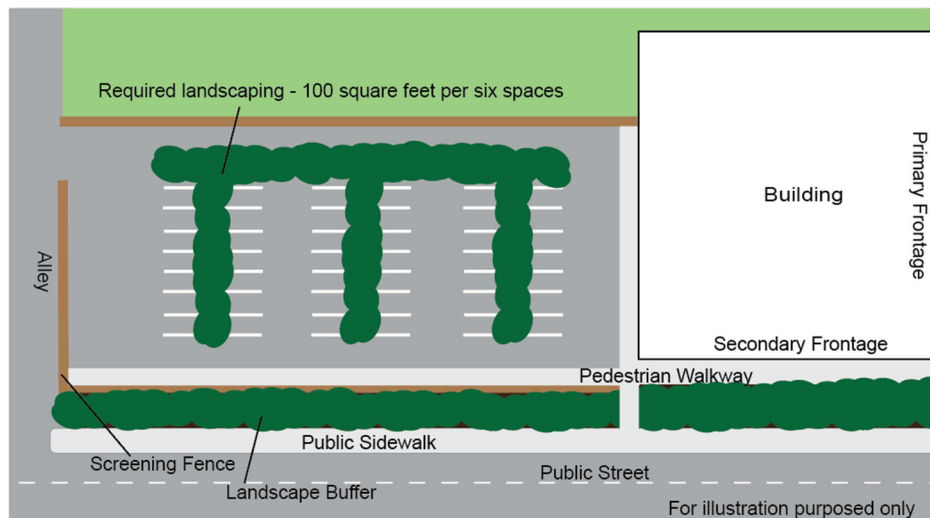
1. Residential parking areas for more than four (4) cars and parking lots in all commercial and industrial zones shall be screened from the street right-of-way through the use of decorative walls, fences, and/or landscaping with a height of at least 42” at maturity.

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2. Parking areas shall include 100 square feet of [planting area](#) for every six (6) parking spaces. This may be accomplished through landscape strips that are no less than 100 square feet, or through a larger landscaped area within the parking lot. Vehicle overhang space (see 7.120.D(3)(b)(2)) shall not be used to fill this requirement. Parking lot landscaping does not count toward open space requirements.

200

Figure 3: Parking Lot Landscaping

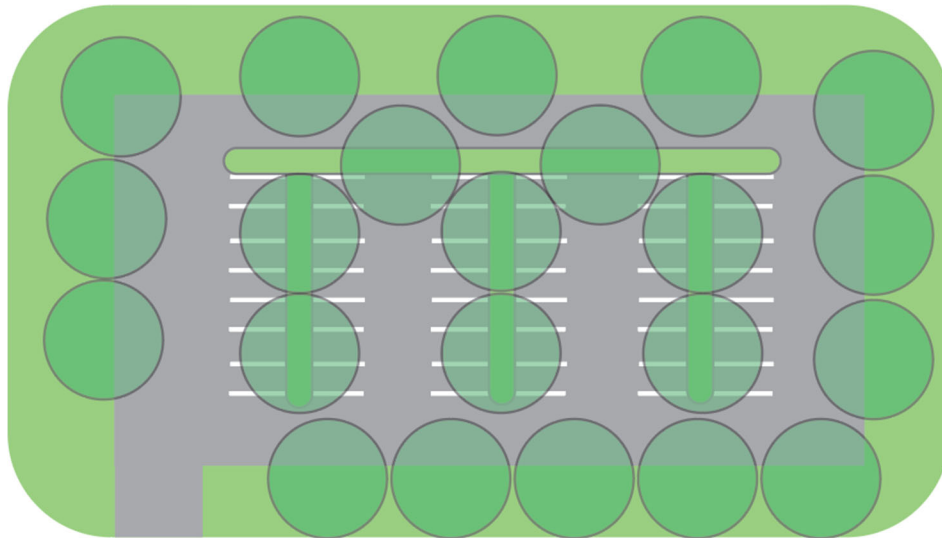


201

Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 202 3. Shade trees shall be provided in parking lots so that the average estimated canopy  
203 diameter at fifteen years of age covers 50% of the parking surface when viewed  
204 directly from above. The estimated canopy size shall be determined using the [City  
205 of Petaluma List of Approved Street Trees](#).

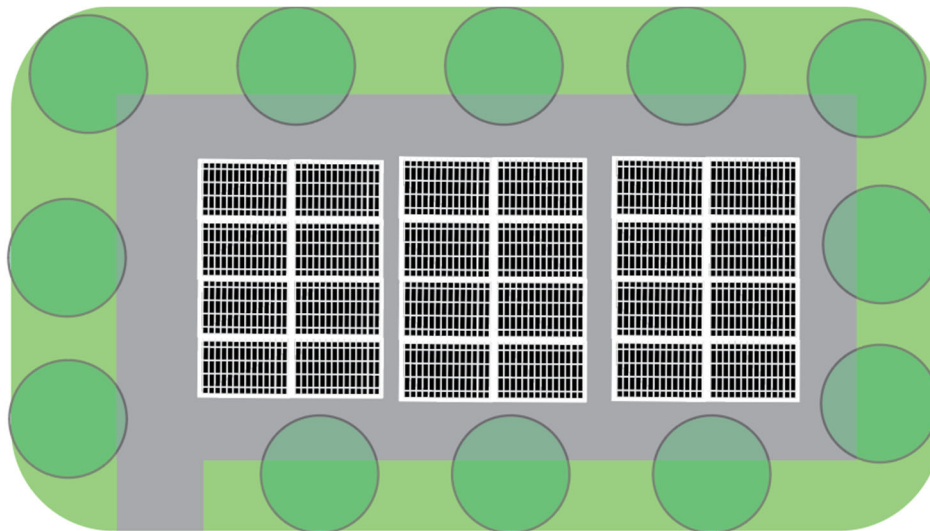
206 *Figure 4: Parking Lot Shade Trees*



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- 207 4. Shade structures with integrated solar panels may be used to provide up to 100%  
208 of required shading as long as trees are planted around the perimeter of the  
209 parking area at a ratio of one tree per thirty linear feet.  
210

211 *Figure 5: Solar Carports with Shade Trees*



For Illustration Purposes Only

- 212 5. All exterior areas that are not used for parking stalls, walkways, or driveways  
213 shall be planted with ground cover or topdressed mulch.  
214  
215



## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 216 4. Bicycle Parking
- 217 a. Residential Bicycle Parking. Long-term bicycle parking shall be located in a secure
- 218 weather-protected area on-site.
- 219 1. Acceptable parking facilities include:
- 220 i. Controlled Access Fenced Area: Covered, lockable enclosures with permanently
- 221 anchored racks for bicycles using allowable short-term designs in the section
- 222 below; or
- 223 ii. Controlled Access Bike Room: Lockable bicycle room with permanently anchored
- 224 racks, or
- 225 iii. Bike Lockers: Lockable, permanently anchored individual bicycle lockers.
- 226 iv. An area of a parking garage that is separated from vehicle traffic and that has a
- 227 pedestrian/bike walkway between the storage area and the public street.
- 228 2. Electric bicycle charging ports shall be provided for a minimum of 25% of the
- 229 required number of bicycle spaces.
- 230 b. Access. Racks shall not be located in a place that requires the use of stairs or lifting of the
- 231 bicycle in order to access the racks.
- 232 c. Number of residential bicycle parking spaces required. At least one bicycle parking space
- 233 shall be required for all units with up to two bedrooms. Two bicycle parking spaces shall
- 234 be required for each unit with more than two bedrooms. Each bicycle parking space may
- 235 be located on a shared rack that accommodates more than one parking space.
- 236 d. Size of bicycle parking spaces. Bicycle parking spaces shall have a minimum of the
- 237 following sizes:

Table 2: Bicycle Parking Dimensions

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	24"
Distance between two racks (horizontal)	36"
Distance between two bike racks (length)	72"

- 239 e. Age Restricted Developments. In developments where age is restricted to senior citizens,
- 240 the minimum number of required bicycle parking spaces may be reduced by up to 25%.
- 241 At least 50% of spaces shall be sized as follows:

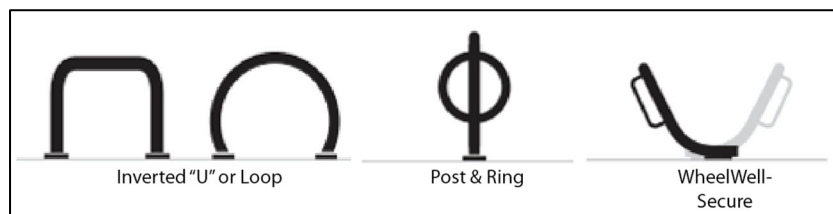
Table 3: Bicycle Parking Dimensions for Age Restricted Development

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	36"
Distance between two racks (horizontal)	60"
Distance between two bike racks (length)	72"

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 243 f. Aisle. An aisle or other space shall be provided for bicycles to enter and leave the facility.  
 244 This aisle shall have a width of at least five feet to the front or rear of a standard six-foot  
 245 bicycle parked in a facility.
- 246 g. Surface Material. Areas containing bicycle spaces shall be surfaced with durable surfaces  
 247 such as concrete or permeable pavers.
- 248 h. Buffer. When located within or adjacent to a vehicle parking area, barriers such as curbs,  
 249 fences, planter areas, or wheel stops shall be installed and maintained between bicycle  
 250 and automobile parking.
- 251 i. Means of securing. Except in the case of individual locking bicycle lockers and attended  
 252 bicycle parking, all bicycle parking spaces shall have a closed loop to allow a single u-  
 253 lock to capture one wheel and one closed section of the bike frame to attach to a securely  
 254 anchored tamper-resistant rack. The loop shall have a minimum outside diameter of two  
 255 inches and be constructed from a minimum of 11-gauge steel tubing.
- 256 j. Mounting. Bicycle racks shall be surface-mounted to the ground with security fasteners,  
 257 such as concrete spikes, or tamper-resistant nuts on wedge anchors.
- 258 k. Rack Shape. Bicycle racks shall use one of the following designs and be constructed from  
 259 steel, stainless steel, or another equivalent material with equal strength, longevity, and  
 260 tamper-resistance:

261 *Figure 6: Allowable Bike Rack Styles*



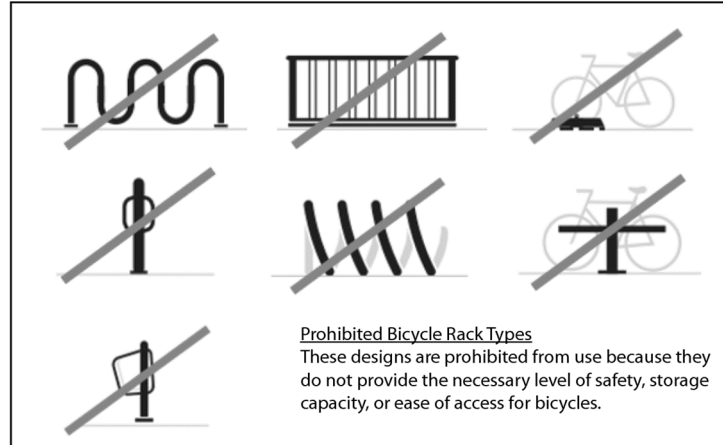
- 262
- 263 1. Alternative bike racks are allowed provided that they meet the criteria in  
 264 Subsections 7.120.D(4)(i), (j), and (k), and do not use any of the prohibited styles  
 265 listed below. Bicycle racks that require lifting the bicycle or any portion thereof,  
 266 shall not be used.
- 267 2. The following designs are prohibited:

268

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

269

Figure 7: Prohibited Bicycle Rack Styles



270

## 271 5. Fencing

272 a. Prohibited Materials. The use of chain link with more than a 1-inch opening, vinyl,  
273 barbed wire, and razor wire fencing is prohibited.

274 b. Design. Solid fences more than 42" high and more than 25 feet long that are located  
275 adjacent to the public right of way shall incorporate one or more of the following:

276 1. Vertical change in pattern or material along the entire horizontal length of the fence

277 2. A post or column every 25 feet that projects at least 2 inches from the face of the  
278 fence.

279 3. Stucco or concrete fences shall not have an unarticulated surface for more than 25  
280 linear feet.

281 4. Murals or public art covering a minimum of 50% of the area of the fence.

282 5. Horizontal members or courses.

283 6. Laser-cut metal panels.

## 284 6. Facility and Equipment Screening

285 a. Screening. All exterior utility facilities and equipment shall be screened. This includes:

286 1. garbage, compost, and recycling areas or receptacles

287 2. utility boxes, electric and gas meters, transformers, and similar equipment

288 3. rooftop mechanical equipment, not including solar panels or other green  
289 infrastructure that relies on access to the sun or wind for power generation

290 4. air conditioning units, heat pumps, and similar equipment

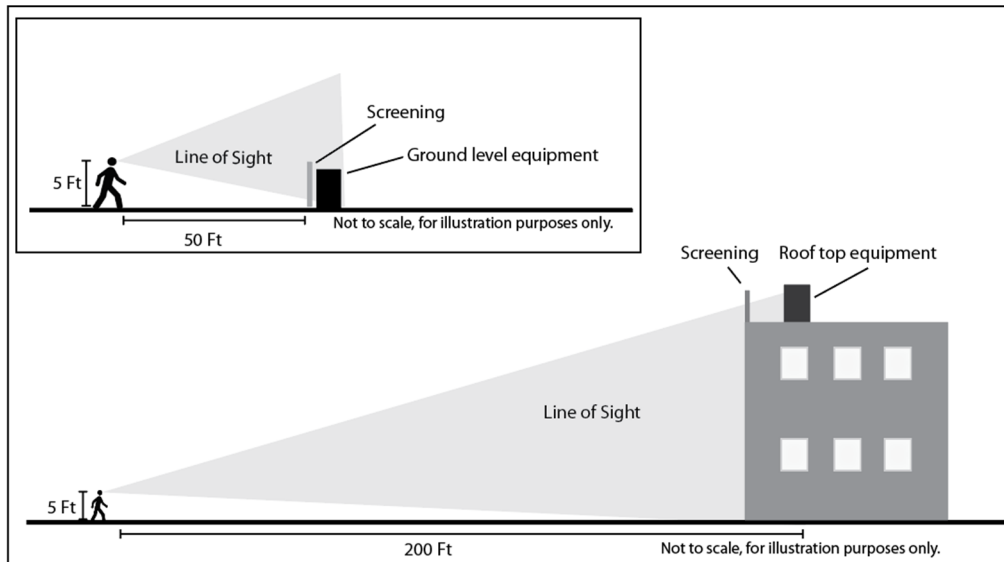
291 b. Coverage. All equipment shall be fully screened from view by an architectural or  
292 landscape screen.

293 1. The point of view for determining visibility on the roof shall be five feet above grade  
294 at a distance of 200 feet.

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 295 2. The point of view for determining visibility at street level shall be five feet above  
 296 grade at a distance of 50 feet.

297 *Figure 8: Equipment Screening*



- 298
- 299 c. Specific Waste, Compost, and Recycling Enclosure Requirements. An enclosure for  
 300 waste, compost, and recycling collection shall be provided and screened. The  
 301 enclosure(s) shall have the following characteristics and design standards: :
- 302 1. A concrete slab that extends through the full area of the enclosure, including the  
 303 access through the service gates.
- 304 2. Fully enclosed in a wood or concrete structure with walls at least seven feet in height  
 305 on three sides connected to a solid roof.
- 306 3. A solid metal gated entry painted to match the other materials of the enclosure.
- 307 4. Water outlets (hose bibs) for fire safety and sanitation within 40 feet of enclosures for  
 308 refuse containers of total capacity greater than five 30-gallon cans.
- 309 5. The enclosure shall incorporate a sewer drain to allow the enclosure to be washed  
 310 down. Storm water shall be prevented from getting into the sewer system.
- 311 6. Enclosures shall be designed and managed to prevent animal entry and shall be  
 312 screened to prevent odors, flies, and other nuisance conditions from disturbing  
 313 residents and the public.
- 314 7. Screening and gates shall be of a durable construction; fences, walls, footings, slabs  
 315 and curbs shall meet City Building Code requirements. Gates shall be constructed of  
 316 heavy-gauge metal or of a heavy-gauge metal frame with covering of wood or other  
 317 suitable material. Gates shall be secured with sturdy hinges or sliders, and latches. For  
 318 enclosures of six cans or more and for bins, the screening shall be protected at its base  
 319 by curbs. If screening is to be situated directly adjacent to parking spaces or drives, it  
 320 shall be protected by a concrete-curbed buffer strip (minimum 3 feet wide) of  
 321 landscaping or pavement.

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

322 8. The location of waste, compost, recycling collection shall not conflict with circulation  
 323 or parking conditions on site. If exterior facilities are used, a clear pathway that does  
 324 not cross traffic, with a minimum width of 5 feet shall be provided for tenant access  
 325 to the disposal location.

326 9. Enclosures shall comply with the following dimensions:

327 *Table 4: Waste, Recycling, and Compost Enclosure Dimensions*

Bin size (in cubic yards)	Height of Enclosure	Depth of Enclosure	Width of Enclosure
1.5	43"	36"	80"
2.0	47"	39"	
3.0	58"	48.5"	
4.0	64"	53.5"	

328  
 329 d. Above-ground Equipment. Utility transformers, telecommunications equipment, back-  
 330 flow preventers, HVAC equipment, water or sewer lifts or pumps, and large utility  
 331 devices shall not be located in front of buildings on primary frontages, unless fully  
 332 enclosed by an enclosure that uses the same materials and style as the building façade.

333 7. Landscaping. These standards are in addition to any applicable objective landscaping standards  
 334 in the Implementing Zoning Ordinance [Chapter 14 Landscaping and Screening](#). Landscaping  
 335 within the public right of way shall comply with the City's [Landscape and Irrigation Standards](#)  
 336 [\(series 100\)](#).

337 a. Landscape Standards. Landscaping shall comply with [Petaluma's List of Approved](#)  
 338 [Street Trees](#), [Petaluma's Tree Technical Manual](#) as referenced in IZO Section 17.035  
 339 and with the City's Landscape Water Use Efficiency Standards in the [City of Petaluma](#)  
 340 [Municipal Code Section 15.17.050](#).

341 b. Placement/Location. The following areas shall be landscaped:

342 1. Any [unused area](#) of the site shall be topdressed with bark mulch or have ground  
 343 cover. Bare ground is not permitted.

344 2. A minimum of 50% of the front and side street setbacks' surface area shall be  
 345 planted.

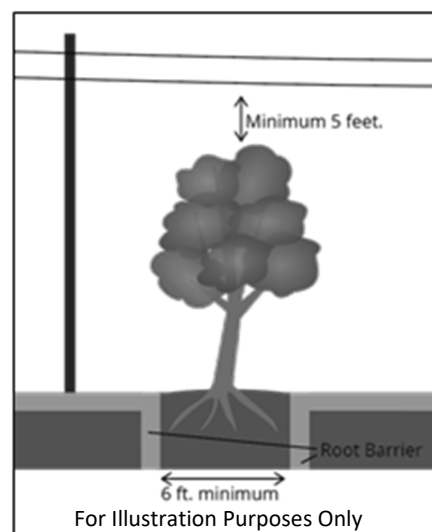
346 3. A minimum five-foot-wide planting area shall be installed between parking areas and  
 347 adjacent public rights of way (not including alleys).

348 4. Comply with IZO Subsection 7.120.D(3)(e) for additional landscaping requirements  
 349 for parking areas.

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 350 c. Plant Material. The following materials are prohibited:
- 351 1. The use of plants identified as invasive by the California Invasive Plant Council are  
352 prohibited.<sup>1</sup>
- 353 2. Artificial plants and turf are prohibited.
- 354 d. River and Creek Adjacent. For properties adjacent to the Petaluma River, or a creek, the  
355 landscaping shall only use plants identified as native to Petaluma on the [California Native  
356 Plant Society's Calscape website](#), within 50 feet of the [sensitive habitat area](#).
- 357 e. Tree Planting. Trees planted as part of the project shall comply with the following:
- 358 1. Trees shall be planted at a ratio of no less than one tree per 500 square feet of open  
359 space (including usable open space).
- 360 2. Place trees in a planting area with a minimum size of 36 square feet unless otherwise  
361 specified in the Smart Code.
- 362 3. Tree planters that are outside of the public right of way and within six feet of public  
363 or private sidewalks or pavement shall be planted with root barriers. Tree planters that  
364 are outside of the public right of way and within six feet of public or private  
365 sidewalks or paved areas shall be planted with root barriers. An alternative method of  
366 sidewalk/pavement protection may be used provided that it is equally or more  
367 effective than root barriers.
- 368 4. Trees planted under powerlines shall have a maximum expected height of no less than  
369 five feet below the existing power lines and shall use only trees from the [City of  
370 Petaluma List of Trees Approved for Planting Adjacent to Public Streets and  
371 Sidewalks](#).

372 *Figure 9: Tree Planters*



373

374

<sup>1</sup> California Invasive Plant Council <https://www.invasive.org/species/list.cfm?id=64>

Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 375 f. Open Space Separation. Private open space on the ground level shall be separated from  
376 public or common open space by either a landscaping strip or a fence in compliance with  
377 Subsection 7.120.D(5).
- 378 g. Integrated Pest Management. An Integrated Pest Management Plan that provides for zero  
379 use of chemical pesticides herbicides, fertilizers, or other synthetic chemicals shall be  
380 included with the landscaping plan and implemented.
- 381 h. Groundcover. All planting areas shall be top-dressed with a minimum layer of three  
382 inches of either bark mulch or a natural low carbon alternative or groundcover. Crushed  
383 rock, mulch, pebbles, stones, or similar non-plant material may be used on up to 10% of  
384 the landscaped areas. Landscaped areas adjacent to and up-slope from pedestrian  
385 pathways shall include edging to prevent materials from encroaching onto the pathways.
- 386 i. High Maintenance Plants and Trees. The mature canopy dripline of plants or trees which  
387 drop seed pods or fruit shall not extend over a sidewalk, pathway, or street.
- 388 j. Planting Size. To achieve the maximum plant survival and efficiency in landscape  
389 growth, the following minimum sizes are required:

390 *Table 5: New Planting Container Size Requirements*

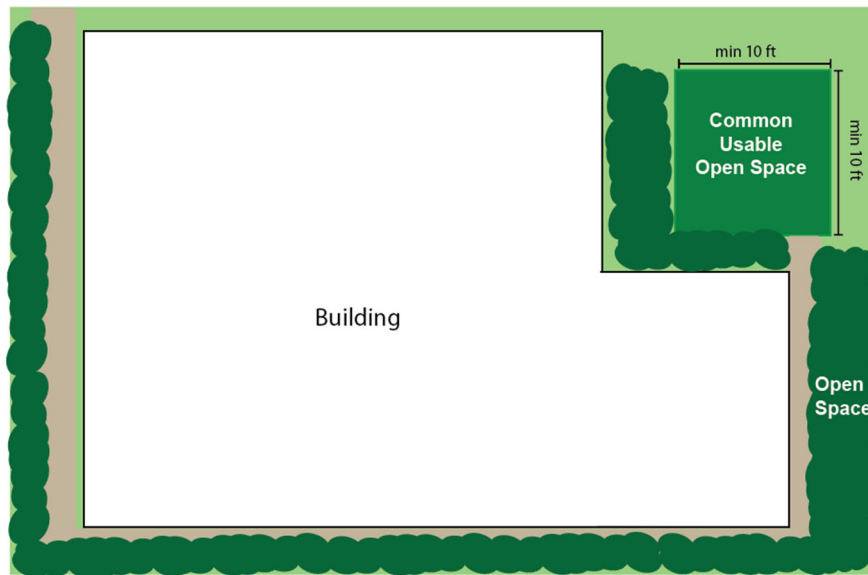
Plant Type	Minimum size at planting
Shrubs and perennials	1 gallon
Plants required for screening	5 gallons
Trees	15 gallons
Grasses and annual herbaceous plants	No minimum

- 391
- 392 8. Open Space. Open Space shall be provided as required in the [Implementing Zoning Ordinance](#)  
393 [Chapter 4 Tables](#).
- 394 a. Usable Common Open Space. At least 25 square feet per unit of the open space required  
395 by the IZO Chapter 4 Tables shall be used for a common open space area which shall  
396 have a minimum length of 10 feet on any side.

397

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

398

*Figure 10: Common Usable Open Space*

399

400

401 b. Outdoor seating. Outdoor seating shall be provided at a ratio of one six foot-long bench  
 402 or two seats per every 200 square feet of required common usable open space or fraction  
 403 thereof. Seats and benches shall be constructed of stainless steel, wood or a recycled  
 404 material of comparable quality and durability. Seats shall be either a single chair or stool.  
 405 Benches shall accommodate at least two seated adults.

406 c. Required Play Areas. Developments that include 25 or more dwelling units shall include  
 407 at least one play area for children. Such play area shall:

408 1. Have a minimum dimension of 15 feet in any direction and a minimum area of 600  
 409 square feet with a pour-in-place recycled rubber surface or similar surface with a  
 410 minimum projected lifespan of at least 10 years.

411 2. Contain play equipment, including equipment designed for children five years and  
 412 younger and for all abilities.

413 3. Be protected from any adjacent streets or parking lots with a fence or other barrier at  
 414 least four feet in height. Fencing shall allow visibility into the play area.

415 d. Senior Citizen Developments. For developments with 25 or more dwelling units and age-  
 416 restricted to senior citizens, the play area shall be replaced with a communal garden area  
 417 or an outdoor recreational area of the same size and dimensions.

## 418 9. Lighting

419 a. Lighting Location. Lighting shall be provided in the following locations:

420 1. All parking areas and structures

421 2. All pedestrian paths of travel

422 3. Points of conflict where vehicular traffic flow crosses paths with pedestrian and/or  
 423 bicycle facilities



Section 7.120 Objective Design Standards for Qualifying Residential Projects

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- 424 4. All service yards and access to services and utilities including waste enclosures.
- 425 b. Fixtures. All lighting shall use [full cutoff downcast lighting](#) fixtures that horizontally
- 426 shield the light source. Spotlights are prohibited.
- 427 1. Lighting for parking and internal circulation shall be no taller than 20 feet.
- 428 2. The primary bicycle and pedestrian pathways within the development shall be lit by
- 429 fixtures no taller than 36 inches.
- 430 3. Lighting used to illuminate landscaped areas or other open areas shall be placed at a
- 431 maximum height of 36 inches.
- 432 4. Lighting for the public right of way shall comply with the [City's Street Standards](#).
- 433 c. Lighting Brightness. Where required, lighting shall provide a minimum average of 0.5
- 434 foot candles and a maximum of three foot candles at ground level. Lighting shall not
- 435 exceed one foot-candle at the property line unless required for street lighting by the
- 436 [City's Street Light Standards](#).
- 437 d. Lighting Color. Exterior lighting fixtures shall not exceed 3,500K.
- 438 10. Parcels Fronting the Petaluma River and City Creeks. The following standards apply to
- 439 parcels that are fronting either the Petaluma River or a creek where a public pathway is
- 440 identified or proposed in the City's General Plan in Figure "Proposed and Existing Bicycle
- 441 Facilities" or Active Transportation Plan and as updated from time to time.
- 442 a. Riverfront Building Façade Detailing. Building façades facing the Petaluma River or a
- 443 creek with an existing or proposed public pathway shall comply with the building design
- 444 requirements for a primary frontage in IZO Section 7.120.E(1).
- 445 b. Lighting. Lighting along the river or creek shall be placed to face away from the
- 446 waterway and shall comply with above lighting requirements in 7.120.D(9).
- 447 c. Views of River and Creeks. Fencing between the public right of way and the river over
- 448 42 inches shall be transparent using either open wire or wrought iron.
- 449 d. Waterway Accessibility.
- 450 1. A public pathway is required for the entire river/creek frontage of the parcel if a
- 451 pathway does not exist and is identified in General Plan Figure 5-2 "Proposed and
- 452 Existing Bicycle Facilities" on Page 5-15 or as updated from time to time in the
- 453 future.
- 454 2. The pathway shall be constructed as the class of trail identified on the General Plan
- 455 "Proposed and Existing Bicycle Facilities Map" using the standards in the [CalTrans](#)
- 456 [Highway Design Manual Chapter 1000 Topic 1003](#).
- 457 3. If there is no existing pathway up or down river from the project site, the new
- 458 pathway shall be connected to the publicly accessible sidewalk via a public pathway
- 459 on the site.
- 460 4. The public pathway shall be recorded as a public access easement on the property
- 461 deed and maintained by the property owner or Homeowners Association as
- 462 applicable.

Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 463 5. If sensitive habitat would be impacted by operation of the pathway and not by any  
464 other site element, an alternative public pathway location shall be permitted, provided  
465 that the applicant provides all of the following:
- 466 i. A wetland delineation and a biologist's report demonstrating that the pathway  
467 and no other element of the project would be within the buffer zone of a  
468 sensitive habitat area.
  - 469 ii. A preservation and protection plan for the habitat area.
  - 470 iii. Alternative design for an equivalent pathway with a minimum separation of a  
471 six-foot-wide planter strip between the pathway and the street.
- 472 6. A raised boardwalk may be used in place of a paved pathway for sections of the  
473 pathway located within the buffer zone of an environmentally sensitive habitat area.  
474 The boardwalk shall have the following characteristics:
- 475 i. Shall be a minimum of six feet wide
  - 476 ii. Shall be raised a minimum of 12 inches above the natural grade
  - 477 iii. Shall be constructed from ADA compliant materials with a projected  
478 minimum longevity of 50 years and shall not contain creosote, formaldehyde  
479 or other chemicals that could leach into the habitat area.
  - 480 iv. Handrails shall be installed on both sides of the boardwalk for the entire  
481 length.
  - 482 v. Signs requiring bicyclists to dismount and walk bicycles on the boardwalk  
483 shall be installed on both sides of both entrances to the boardwalk.
  - 484 vi. Permanent habitat protection fencing with a six-inch bottom clearance shall be  
485 installed to prevent the public from walking/riding in sensitive habitat areas.
  - 486 vii. Any habitat disturbed during construction shall be restored in compliance with  
487 state and federal regulations.

488 *E. Building Design*

489 1. Façade Design

- 490 a. Length. The maximum length of a primary façade shall not exceed 250 linear feet.
- 491 b. Façade. All exterior walls must incorporate changes of plane representing 30% of wall  
492 surface area on primary façade, 20% of the wall surface area on all other facades. This  
493 may be achieved through any of the following methods or combination of methods:
  - 494 1. Balconies that either project at least three feet from the façade or balconies that are  
495 recessed at least four feet from the façade
  - 496 2. Box/bay windows with a minimum depth of 18 inches on all facets
  - 497 3. Ground floor street-facing courtyard(s)
  - 498 4. Architectural stepbacks or projections that are a minimum of 24 inches
  - 499 5. Front porches

Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 500 6. Colonnade, arcade, or covered walkway along the ground floor with a minimum  
 501 depth of five feet

502 *Figure 11: Change of Plane on Primary Façade*

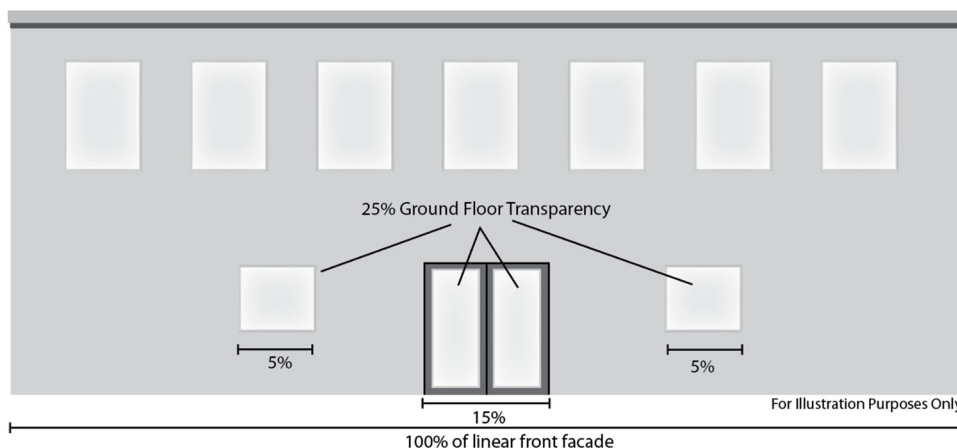


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- 503  
 504 c. Vinyl Materials. Vinyl materials are prohibited and shall not be used on the façade of the  
 505 building including but not limited to siding, trim, and windows.

- 506 d. Transparency at Street Level.
- 507 1. For residential buildings, including live/work and work/live, along any façade facing  
 508 a public or private street, public open space, the Petaluma River, or a creek  
 509 designated for a public pathway in the General Plan, shall provide doors and/or  
 510 windows for a minimum of 25% of the linear frontage on the ground floor.
- 511 2. For mixed-use buildings, along any façade facing a public or private street, public  
 512 open space, river, or creek with a proposed or existing public pathway, shall provide  
 513 doors and/or windows for a minimum of 50% of the ground-floor façade.

514 *Figure 12: Ground Floor Transparency*



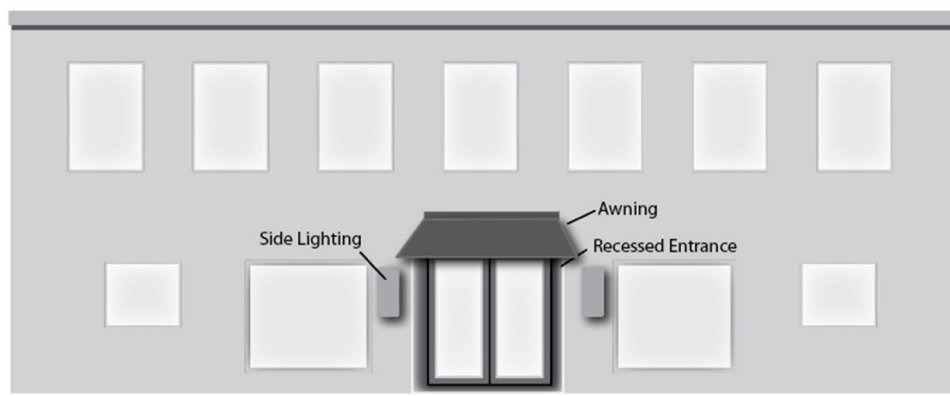
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- 515  
 516 e. Ground Floor Residential on Arterial Roadways. Ground floor residential units with  
 517 entrances on an arterial street shall have a separation to visually delineate public versus  
 518 private space along the arterial frontage through ONE (1) of the following design  
 519 elements:

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 520 1. Finished floor height of at least 24 inches above the grade of the public sidewalk.
- 521 2. Low wall no more than 42 inches in height
- 522 3. A three-foot-wide landscaping strip
- 523 4. Permanent above ground planters no less than 3 feet wide
- 524 5. A change in paving surface material.
- 525 f. Inactive Frontages. No more than 50 feet along the primary façade shall be occupied by
- 526 [inactive frontages](#).
- 527 2. Entryway
- 528 a. Location. Buildings must have a primary entrance on a street-facing façade but may also
- 529 have an articulated entrance on each street facing façade. The primary building entrance
- 530 and associated access path shall be directly accessible from the public street.
- 531 b. Entrance Emphasis. The primary building entrance shall be articulated, using at least
- 532 three of the following design features:
- 533 1. [Accent Materials](#)
- 534 2. Public Art
- 535 3. Non-membrane and non-vinyl Awnings
- 536 4. Sidelights or accent lighting
- 537 5. Arches
- 538 6. Columns
- 539 7. Insets in the façade around the door frame
- 540 8. Transom windows above or to the sides of the door
- 541 9. Porch or stoop
- 542 10. Entrance doors recessed from the wall plane at least six inches
- 543 11. Change in pavement surfacing

544 *Figure 13: Entryway Articulation*



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Section 7.120 Objective Design Standards for Qualifying Residential Projects

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## 546 3. Building Corner Treatments

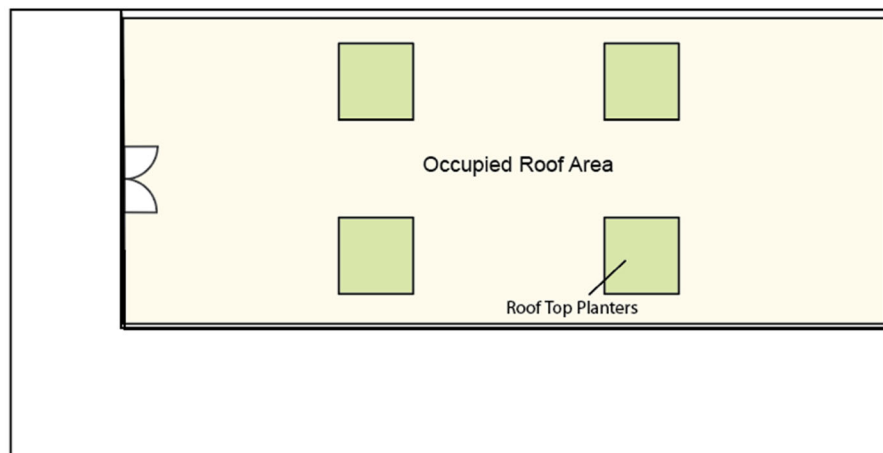
547 a. Building corners at a street intersection shall incorporate at least ONE (1) of the  
548 following corner treatments:

- 549 1. Turret or cupola at least two feet higher than the highest roof point.
- 
- 550 2. Roof variation
- 
- 551 3. Building recess
- 
- 552 4. Variance in building materials
- 
- 553 5. Corner plaza or public space
- 
- 554 6. Corner entryway
- 
- 555 7. Curved corner wall with windows

## 556 4. Occupied Roofs

557 a. Roof-top Planters. 10% of occupied rooftops shall be landscaped with rooftop planters.  
558

Figure 14: Occupied Roof Area

559  
560561 b. Roof-top Open Space. If an occupied roof will be used to meet the common usable open  
562 space requirement, the following shall apply:

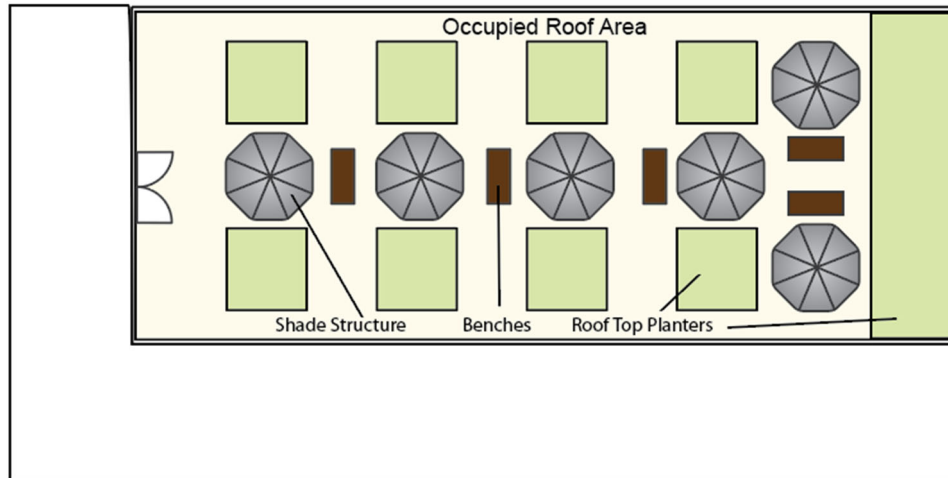
- 563 1. At least 30% of the open space shall incorporate above-ground planters that are no
- 
- 564 less than three feet wide and three feet long.
- 
- 565 2. Permanent non-membrane shading devices shall be installed to cover at least 15% of
- 
- 566 the required open space square footage.
- 
- 567 3. Seating shall be provided in compliance with 7.120.D(8)(b).

568

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

569

Figure 15: Roof-Top Open Space



570

571

572 F. *Other Applicable Objective Standards.* All projects subject to this chapter shall comply with  
 573 the objective design, development, and subdivision standards within the [Implementing](#)  
 574 [Zoning Ordinance](#) or [SMART Code](#) (as applicable), the [General Plan](#) (or [applicable Specific](#)  
 575 [Plan](#)), and the [Municipal Code](#) as well as any adopted standards in supplemental documents  
 576 including but not limited to:

- 577 1. Implementing Zoning Ordinance [Chapter 4 Zoning District and Allowable Land Use](#)  
 578 [Tables](#)
- 579 2. Implementing Zoning Ordinance [Chapter 6 Flood Plain and Floodway Areas](#)
- 580 3. Implementing Zoning Ordinance [Chapter 11 Parking Standards](#) For Illustration Purposes Only or SMART Code [Section](#)  
 581 [6 Parking Standards and Procedures](#)
- 582 4. Implementing Zoning Ordinance [Chapter 13 Fences](#)
- 583 5. Implementing Zoning Ordinance [Chapter 14 Landscaping](#)
- 584 6. Implementing Zoning Ordinance [Chapter 15 Preservation of the Cultural & Historic](#)  
 585 [Environment](#)
- 586 7. Implementing Zoning Ordinance [Chapter 16 Hillside Protection](#)
- 587 8. Implementing Zoning Ordinance [Chapter 17 Tree Preservation](#)
- 588 9. Implementing Zoning Ordinance [Chapter 21 Performance Standards](#)
- 589 10. City of Petaluma Municipal Code [Section 15.17.050 Water Efficiency Landscape](#)  
 590 [Ordinance](#)
- 591 11. City of Petaluma Municipal Code [Title 17 Building and Construction](#)
- 592 12. City of Petaluma Municipal Code [Title 20 Subdivisions](#)
- 593 13. City of Petaluma [Landscape and Irrigation Standards](#)
- 594 14. City of Petaluma [Street Light Standards](#)
- 595 15. City of Petaluma [Street Standards](#)

**Chapter 7**  
**STANDARDS FOR SPECIFIC LAND USES**

Sections:

- 7.010 Purpose.
- 7.020 Applicability.
- 7.030 Accessory Dwelling Units.
- 7.040 Junior Accessory Dwelling Units.
- 7.050 Home Occupation Permit.
- 7.060 Large Family Child Day Care.
- 7.070 Short-Term Activities.
- 7.080 Swimming Pools, Hot Tubs, and Spas.
- 7.090 Telecommunications Facilities.
- 7.100 Bed & Breakfast Inns.
- 7.110 Short-Term Vacation Rentals.
- 7.120 Objective Design Standards for Qualifying Residential Projects.

A. *Purpose.* The purpose of Section 7.120 is to provide objective design standards for the review of residential developments that qualify for streamlined or ministerial planning permit review pursuant to the laws of the State of California and/or regulations of the City of Petaluma. These standards contain concise and quantifiable language that is designed for consistent interpretation by applicants, reviewers, and approval bodies alike.

The objective standards herein are intended to achieve five core goals in the development of qualifying residential projects:

1. Strengthen Community Character and the Public Realm. Design developments that reflect the Petaluma community and contribute to its physical, economic, social, and cultural character.
2. Design for People. Emphasize a pedestrian-oriented environment where buildings and public realm design are cohesive and complementary to a diverse range of uses.
3. Design Equitable Places. Make spaces that recognize and support residents' and workers' activities across age, ability, culture, race, gender, and income.
4. Support Connectivity. Design safe, functional, and comfortable multimodal connections between activities that are accessible and easy to navigate by walking, bicycling, and public transit.
5. Design for Sustainability. Support sustainable building practices and site design approaches to enhance Petaluma's resilience and resource stewardship - now and into the future.

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

38 B. *Applicability.* The City of Petaluma’s Objective Design Standards apply to qualifying  
 39 residential projects for which the state requires review for compliance using only objective  
 40 standards. This includes residential projects, which upon applicant request and demonstration of  
 41 eligibility, qualify for streamlined and/or ministerial processing. Alternatively, projects subject to  
 42 these objective standards may opt to apply for permit processing under discretionary Site Plan  
 43 and Architectural Review (SPAR) in accordance with Section 24.050 of the Petaluma  
 44 Implementing Zoning Ordinance (IZO).

45 The standards in this Section 7.120 apply in addition to any applicable objective standards in the  
 46 ~~following documents adopted City documents,~~ including but not limited to the documents  
 47 referenced in Section 7.120(.F)the City’s General Plan, an applicable specific plan, guidelines  
 48 adopted for historic districts, the Petaluma Municipal Code, the Building Code including local  
 49 adoptions, Fire code including local adoptions, other sections of the Implementing Zoning  
 50 Ordinance, and the Smart Code for areas within its boundaries. Should there be any conflicting  
 51 objective standards in the Smart Code or IZO Historic District Standards, the Smart Code and  
 52 Historic District standards shall take precedence over the standards within this section.

53 C. *Definitions.* The definitions in Subsection 7.120.C are intended to apply specifically to  
 54 the objective standards in Section 7.120. If a definition is not in this section, the definition in IZO  
 55 Chapter 28 Glossary shall apply. If a definition is not listed in this section or the glossary, the  
 56 commonly used definition shall apply.

57 **Accent Materials** – Distinct materials used to provide emphasis of architectural features or areas  
 58 of the building. Qualifying accent materials must either be a different material type, have a  
 59 different cut size, or use a different installation technique.

60 **Arterial Street** – Streets designated as an Arterial Street in the City’s General Plan Mobility  
 61 Element and which provide relatively high-capacity access to regional transportation facilities.  
 62 Access to arterials is generally from collector and local streets.

63 **Articulation** – Dividing a building’s mass into smaller parts through the placement of  
 64 architectural features such as windows, doors, molding, columns, or other three-dimensional  
 65 façade enhancements that create a clear and distinct section of the building.

66 **Artificial Turf** – A surface of synthetic fibers made to look like natural grass.

67 **Class I Bikeway (Bike Path)** - Provides a completely separated right of way for the exclusive  
 68 use of bicycles and pedestrians with crossflow traffic minimized.

69 **Class II Bikeway (Bike Lane)** - Provides a striped lane for one-way bicycle travel on a street or  
 70 highway.

71 **Class III Bikeway (Bike Route)** - Provides for shared use with pedestrian or motor vehicle  
 72 traffic.

73 **Class IV Separated Bikeway** - A bikeway for the exclusive use of bicycles and includes a  
 74 separation required between the separated bikeway and the through vehicular traffic.

75 **Common Open Space** – Restricted access outdoor space available for all residents in the  
 76 development.



Section 7.120 Objective Design Standards for Qualifying Residential Projects

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- 77 **Creeks** – For the purposes of this section creeks means a creek with a proposed or existing  
78 public pathway as identified in the General Plan on Figure 5-2 “Proposed and Existing Bicycle  
79 Facilities” or as updated from time to time.
- 80 **Cupola** – A relatively small, most often rounded or dome-like structure on top of a building.
- 81 **Full Cutoff Downcast Lighting** – Lighting fixtures that have no direct uplight (no light emitted  
82 above horizontal) and limited intensity of light from the fixture in the region between 80° and  
83 90°.
- 84 **Ground Floor Activating Strategies** – Uses that generate daily pedestrian activity. These may  
85 include but are not limited to retail, restaurants, personal services, offices (including medical),  
86 residential entryways, fitness centers, lobbies, resident services, etc. Ground floor activating  
87 strategies shall be compatible with residential uses.
- 88 **Inactive Frontages** – Sections of the building with no active use, including blank walls, service  
89 entrances with access to trash, utilities, service areas, and garage entrances.
- 90 **Internal Road** – See: Private Street.
- 91 **Landscape area** - All the planting areas, turf areas, and water features in a landscape design plan  
92 are subject to the maximum applied water allowance calculation. The landscape area does not  
93 include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios,  
94 gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas  
95 designated for non-development (e.g., open spaces and existing native vegetation).
- 96 **Multi-Use Path** – See: Class I Bikeway
- 97 **Natural Habitat** – The natural environment of a plant or animal.
- 98 **Occupied Roofs** – Roofs planned for occupancy as either open space, assembly or other  
99 functional purpose beyond maintenance or repair access.
- 100 **Open Space** - Any park, right of way, City-owned property, utility corridor, publicly used land,  
101 school yard, or natural habitat area which is open land on which there is no structure.
- 102 **Planting area (Landscaping)** - Unpaved areas of the site with prepared soils and irrigation  
103 systems intended to support the establishment and long-term health of intentionally selected and  
104 installed plant materials.
- 105 **Primary Building Façade** – The side of the building oriented toward the front lot line.
- 106 **Primary Entrance** – The entrance to the building through which most users are expected to  
107 travel and which shall be located on the primary building façade.
- 108 **Primary Street Frontage** – The area between the primary building façade and the front lot line.
- 109 **Private Open Space** – A private outdoor space designated for no more than one residential unit  
110 and not accessible to other units. A private balcony also qualifies as private open space.
- 111 **Private Pathway** – A thoroughfare on private property designed for pedestrians and bicyclists  
112 where access is limited to residents or individuals with specific permission.
- 113 **Private Street** – A street located solely on private property, owned and maintained by either a  
114 property owner or Homeowners Association.

Section 7.120 Objective Design Standards for Qualifying Residential Projects

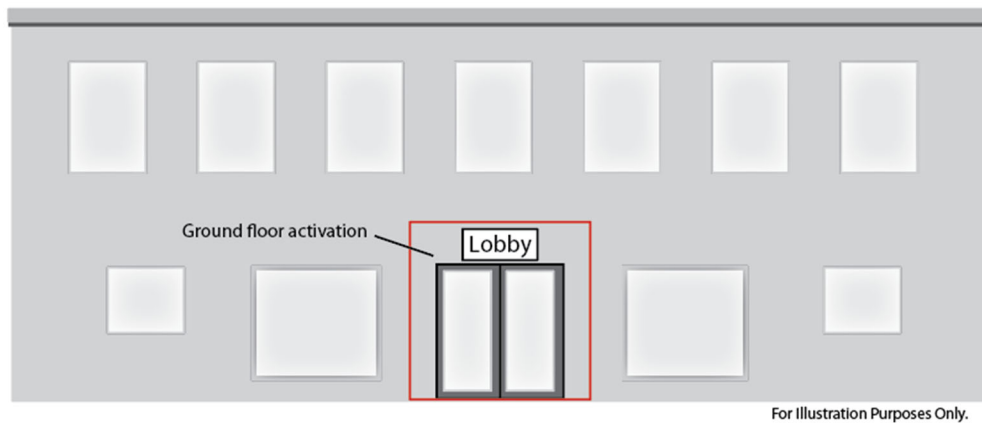
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- 115 **Public Open Space** – The area outside the footprint of the building on a site that may include  
116 parks, green spaces, squares, plazas, playgrounds, and/or trails, and which are accessible to all  
117 members of the public. The Petaluma River is considered public open space.
- 118 **Public Pathway** – A thoroughfare designed for pedestrians and bicyclists and accessible to the  
119 public. This includes bike paths, walking paths, trails, and sidewalks.
- 120 **Public Realm** - The area fronting or physically accessible to the public including the street,  
121 sidewalk, and adjacent parks and building frontages.
- 122 **Public Street** – A street owned and maintained by the City of Petaluma or another public  
123 agency.
- 124 **Qualifying Residential Development** - Residential Development that, under state law, is  
125 required to be processed through ministerial review using only objective standards.
- 126 **Secondary Entrance** – Any entrance, other than a service entrance, to a building not designated  
127 as the primary entrance.
- 128 **Secondary Building Façade** – Any side of a building facing a public street (not including  
129 alleys) that is not the primary façade.
- 130 **Secondary Street Frontage** - The area between a secondary building façade and a public street  
131 that is not the primary street or alley.
- 132 **Sensitive Habitat** - Sensitive habitats are those areas in which plant or animal life or their  
133 habitats are either rare or especially valuable because of their special nature or role in the  
134 ecosystem.
- 135 **Turret** – A small tower at the corner of a building.
- 136 **Unused Area** – A vacant or non-functional area of a site that does not have a structure, sidewalk,  
137 roadway, parking stall, aisle, or other function. There is no minimum size and unused areas may  
138 include spaces between buildings, spaces between pathways and structures, or similar locations.
- 139 *D. Site Design*
- 140 1. Building Orientation
- 141 a. Orientation. The primary building façade, which includes the primary entrance and the  
142 primary street frontage, shall be oriented to the front lot line as defined by IZO Chapter  
143 28.
- 144 b. Activation. At least one ground floor activating strategy shall be integrated into the  
145 primary building façade and secondary building façade.
- 146

Section 7.120 Objective Design Standards for Qualifying Residential Projects

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*Figure 1: Ground Floor Activation*



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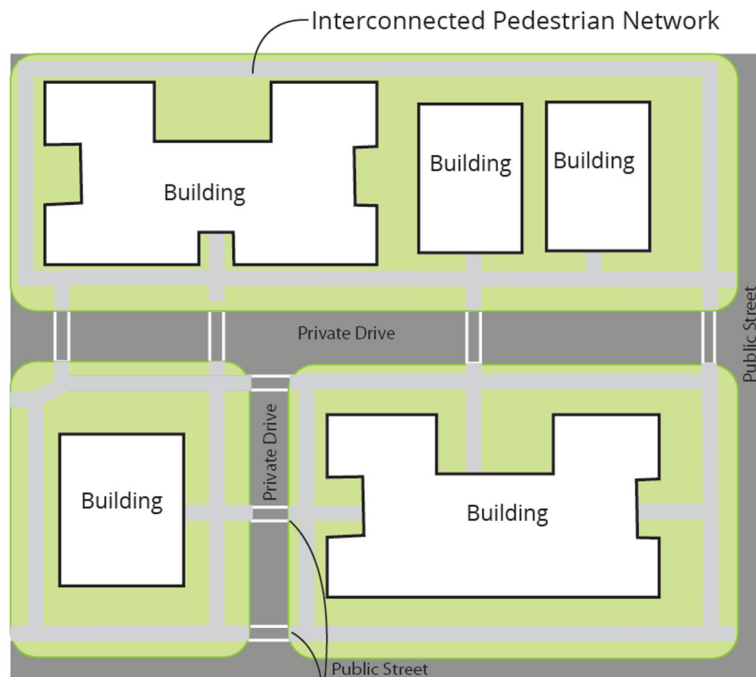
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150 2. Circulation and Access

- 151 a. Pedestrian and Bicycle Access Routes. For projects with more than two separate dwelling  
 152 structures, all structures shall be internally connected by pedestrian pathways and each building  
 153 shall have a pedestrian pathway that connects to the public sidewalk.

154

*Figure 2: Pedestrian and Bicycle Access Routes*



155

- 156 b. Crosswalks. For mixed-use or residential projects with internal streets or surface parking  
 157 areas, a crosswalk shall be provided at a maximum distance of 190 feet between  
 158 crosswalks along internal streets or drive aisles and comply with Caltrans and Federal  
 159 Accessibility Standards.

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 160 c. Driveway Location. Driveways shall not be located adjacent to the Petaluma River or a  
161 [creek](#).
- 162 d. Short Term Parking. For developments with 10 or more units, a passenger loading and  
163 residential delivery zone (yellow curb marking) shall be designated at the curb along the  
164 primary frontage and shall comply with [Municipal Code Section 11.48.030 and](#)  
165 [11.48.070](#). This requirement shall be waived if there is not sufficient space to  
166 accommodate both short-term parking and emergency vehicle access. A waiver will be  
167 granted based on a written communication from the Fire Marshal stating that short-term  
168 parking would inhibit emergency vehicle access and no other alternatives are available.

## 3. General Parking Standards

- 170 a. Parking Location. Parking lots and structures are prohibited in the following locations:
- 171 1. Between the building and the primary street frontage
- 172 2. Between the building and an adjacent [river or creek unless no other feasible location](#)  
173 [for parking exists. creek, river, or open space](#)
- 174 3. For multi-family dwelling structures containing more than two units, parking within a  
175 front or side street setback is prohibited.
- 176 b. Parking Spaces.
- 177 1. The width of a parking space shall be increased by one foot if either side of the space  
178 is adjacent to a wall, fence, support column or other structure.
- 179 2. Two feet of the parking stall depth may be landscaped with low-growth, hearty  
180 materials in lieu of paving, allowing a two-foot bumper overhang while maintaining  
181 the required parking dimensions.
- 182 3. The size of parking spaces shall comply with the following dimensions based on  
183 angle of parking and standard or compact in Table D-1.

Table 1: Parking Space Size Requirements

Angle of Parking Space	Width of Space (ft)	Length of Space (ft)	Width of Angled Space (ft)	Length of angled Space (ft)	Minimum back up length (ft)
Standard Cars					
Parallel Parking	9	22	-	-	-
30 Degree Angle parking	9	19	18	17.3	11.5
	9.5	19	19	17.7	11.5
	10	19	20	18.2	11.5
45 Degree Angle Parking	9	19	12.7	19.8	13
	9.5	19	13.4	20.2	13
	10	19	14.1	20.5	13

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

60 Degree Angle Parking	9	19	10.4	20.9	17.5
	9.5	19	11	21.2	17.5
	10	19	11.5	21.4	17.5
90 Degree Angle Parking	9	19	9	19	26
	9.5	19	9.5	19	24
	10	19	10	19	23
Compact Cars					
Parallel Parking	8	20	-	-	-
30 Degree Angle parking	8	16	15.9	14.1	12
45 degree Angle Parking	8	16	11.2	16.9	12
60 Degree Angle Parking	8	16	9.2	18.4	14
90 Degree Angle Parking	8	16	8	16	22
Uninstall 60 Degree Parking	8.5	18	8.5	18	26
Uninstall 90 Degree Parking	8.5	18	8.5	18	26

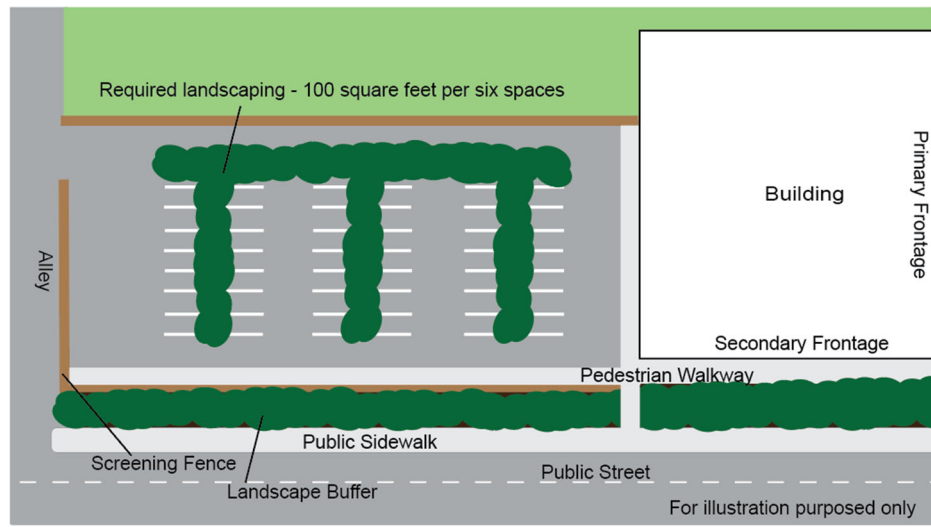
- 186 c. Parking Screening. Parking lots or structures shall be screened by 42” high solid fencing  
187 that complies with subsection IZO Subsection 7.120.D(5) or plants landscaping with a  
188 minimum expected height of 42” at plant-maturity.
- 189 d. Parking Structure Massing and Façade Articulation. Parking structures facing the primary  
190 or secondary street frontage shall comply with the façade design requirements in IZO  
191 Subsection 7.120(E)(1).
- 192 e. Landscaping. Surface parking areas shall be landscaped in accordance with Site Design  
193 Landscaping Subsection 7.120.D(7) and as follows:
- 194 1. Residential parking areas for more than four (4) cars and parking lots in all  
195 commercial and industrial zones shall be screened from the street right-of-way  
196 through the use of decorative walls, fences, and/or landscaping with a height of at  
197 least 42” at maturity in height.
- 198 2. Parking areas shall include 100 square feet of planting area for every six (6) parking  
199 spaces. This may be accomplished through landscape strips that are no less than 100  
200 square feet, or through a larger landscaped area within the parking lot. Vehicle  
201 overhang space (see 7.120.D(3)(b)(2)) shall not be used to fill this requirement.  
202 Parking lot landscaping does not count toward open space requirements.

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Section 7.120 Objective Design Standards for Qualifying Residential Projects

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Figure 3: Parking Lot Landscaping



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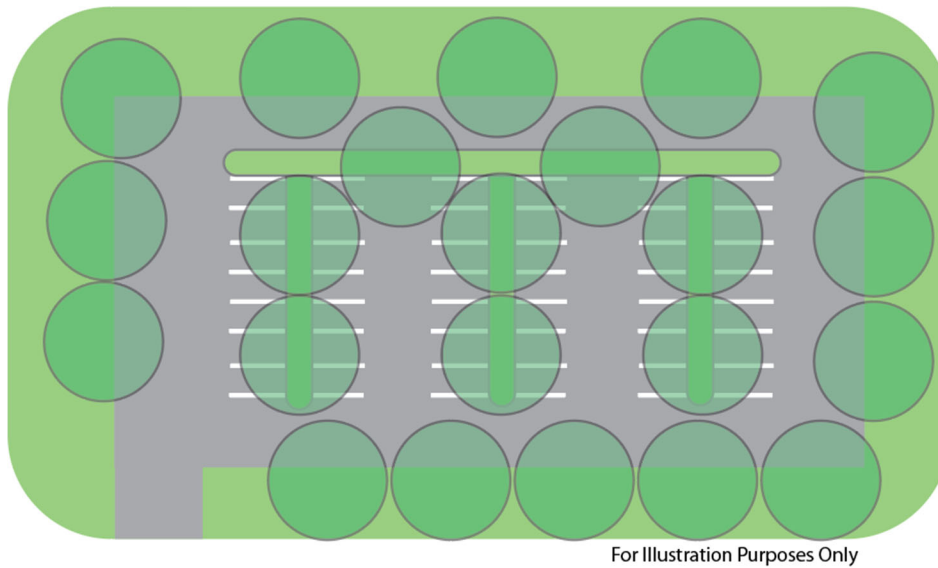
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3. Shade trees shall be provided in parking lots so that the average estimated canopy diameter at fifteen years of age covers 50% of the parking surface when viewed directly from above. The estimated canopy size shall be determined using the City of Petaluma List of Approved Street Trees.

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Figure 4: Parking Lot Shade Trees



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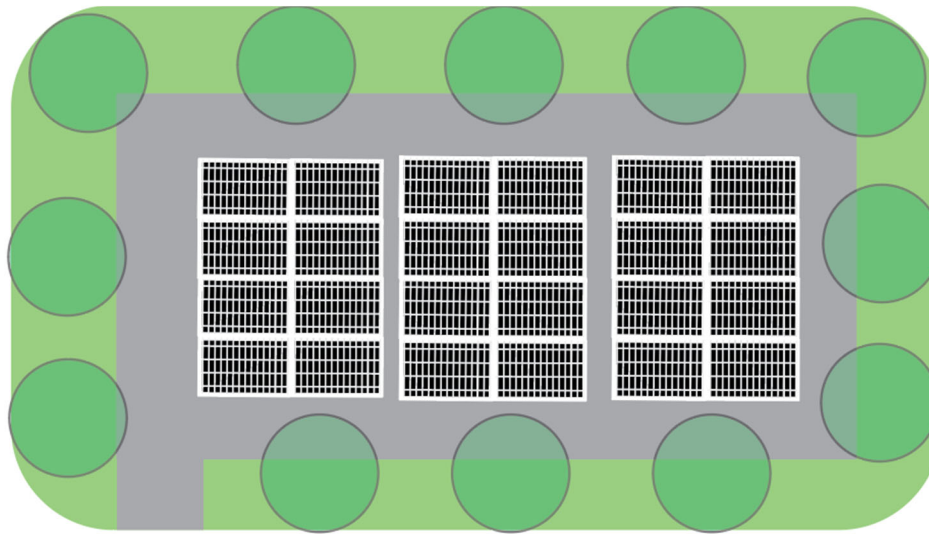
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4. Shade structures with integrated solar panels may be used to provide up to 100% of required shading as long as trees are planted around the perimeter of the parking area at a ratio of one tree per thirty linear feet.

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## Section 7.120 Objective Design Standards for Qualifying Residential Projects

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*Figure 5: Solar Carports with Shade Trees*

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For Illustration Purposes Only

219

~~Shade structures with integrated solar panels may be used in combination with shade trees provided that they do not provide more than 50% of the required shade.~~

~~4.5.~~ All exterior areas that are not used for parking stalls, walkways, or driveways shall be planted with ground cover or topdressed mulch.

#### 4. Bicycle Parking

a. Residential Bicycle Parking. Long-term bicycle parking shall be located in a secure weather-protected area on-site.

1. Acceptable parking facilities include:

i. Controlled Access Fenced Area: Covered, lockable enclosures with permanently anchored racks for bicycles using allowable short-term designs in the section below; or

ii. Controlled Access Bike Room: Lockable bicycle room with permanently anchored racks, or

iii. Bike Lockers: Lockable, permanently anchored individual bicycle lockers.

iv. An area of a parking garage that is separated from vehicle traffic and that has a pedestrian/bike walkway between the storage area and the public street.

~~2. Bicycle parking shall be allowed in all residential units and on balconies but shall not count towards the number of required spaces.~~

~~3.2.~~ Bicycles shall be allowed in all public hallways and elevators that provide access to units. Electric bicycle charging ports shall be provided for a minimum of 25% of the required number of bicycle spaces.

b. Access. Racks shall not be located in a place that requires the use of stairs or lifting of the bicycle in order to access the racks.

242



## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 243 c. Number of residential bicycle parking spaces required. At least one bicycle parking space  
 244 shall be required for all units with up to two bedrooms. Two bicycle parking spaces shall  
 245 be required for each unit with more than two bedrooms. Each bicycle parking space may  
 246 be located on a shared rack that accommodates more than one parking space.
- 247 d. Size of bicycle parking spaces. Bicycle parking spaces shall have a minimum of the  
 248 following sizes:

Table 2: Bicycle Parking Dimensions

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	24"
Distance between two racks (horizontal)	36"
Distance between two bike racks (length)	72"

- 250 e. Age Restricted Developments. In developments where age is restricted to senior citizens,  
 251 the minimum number of required bicycle parking spaces may-shall be reduced by up to  
 252 25%. At least 50% of spaces shall be sized as follows:

Table 3: Bicycle Parking Dimensions for Age Restricted Development

Spacing	Minimum Space (in inches)
Length of parking space for each bike	72"
Distance from a bike rack to a wall	36"
Distance between two racks (horizontal)	60"
Distance between two bike racks (length)	72"

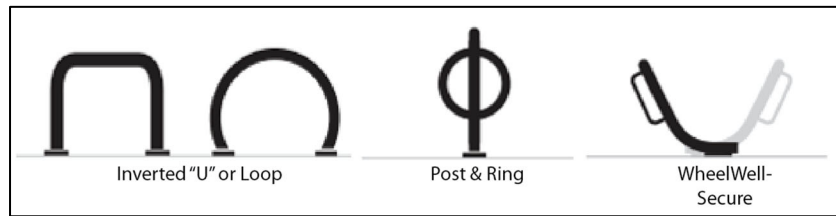
- 254 f. Aisle. An aisle or other space shall be provided for bicycles to enter and leave the facility.  
 255 This aisle shall have a width of at least five feet to the front or rear of a standard six-foot  
 256 bicycle parked in a facility.
- 257 g. Surface Material. Areas containing bicycle spaces shall be surfaced with durable surfaces  
 258 such as concrete or permeable pavers.
- 259 h. Buffer. When located within or adjacent to a vehicle parking area, barriers such as curbs,  
 260 fences, planter areas, or wheel stops shall be installed and maintained between bicycle  
 261 and automobile parking.
- 262 i. Means of securing. Except in the case of individual locking bicycle lockers and attended  
 263 bicycle parking, all bicycle parking spaces shall have a closed loop to allow a single u-  
 264 lock to capture one wheel and one closed section of the bike frame to attach to a securely  
 265 anchored tamper-resistant rack. The loop shall have a minimum outside diameter of two  
 266 inches and be constructed from a minimum of 1 1-gauge steel tubing.
- 267 +j. Mounting. Bicycle racks shall be surface-mounted to the ground with security fasteners,  
 268 such as concrete spikes, or tamper-resistant nuts on wedge anchors ~~and shall not require~~  
 269 ~~lifting the bike for use.~~
- 270 +k. Rack Shape. Bicycle racks shall use one of the following designs and be constructed from  
 271 steel, stainless steel, or another equivalent material with equal strength, longevity, and  
 272 tamper-resistance:



Section 7.120 Objective Design Standards for Qualifying Residential Projects

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Figure 6: Allowable Bike Rack Styles



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1. Alternative bike racks are allowed provided that they meet the criteria in Subsections 7.120.D(4)(i), (j), and (k), and do not use any of the prohibited styles listed below. Bicycle racks that require lifting the bicycle or any portion thereof, shall not be used.
2. ~~Bicycle racks that do not provide sufficient safety, storage capacity, or access are prohibited.~~ The following designs are ~~not acceptable~~prohibited:

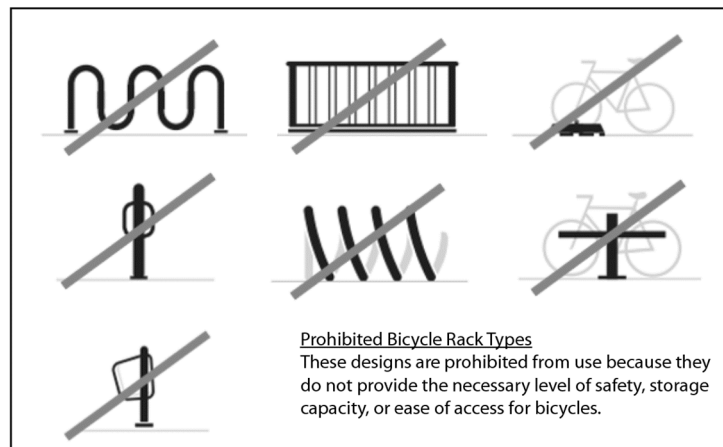
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Figure 7: Prohibited Bicycle Rack Styles



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284 5. Fencing

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- a. Prohibited Materials. The use of chain link with more than a 1-inch opening, vinyl, barbed wire, and razor wire fencing is prohibited.
- b. Design. Solid fences more than 42" high and more than 25 feet long that are located adjacent to the public right of way shall incorporate one or more of the following:
  1. Vertical change in pattern or material along the entire horizontal length of the fence
  2. A post or column every 25 feet that projects at least 2 inches from the face of the fence.
  3. Stucco or concrete fences shall not have an unarticulated surface for more than 25 linear feet.
  4. Murals or public art covering a minimum of 50% of the area of the fence.
  4. ~~Horizontal members or courses.~~

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

296 5. A landscape screen that covers 75% of the wall at maturity

297 5.6. Laser-cut metal panels.

298 6. Facility and Equipment Screening

299 a. Screening. All exterior utility facilities and equipment shall be screened. This includes:

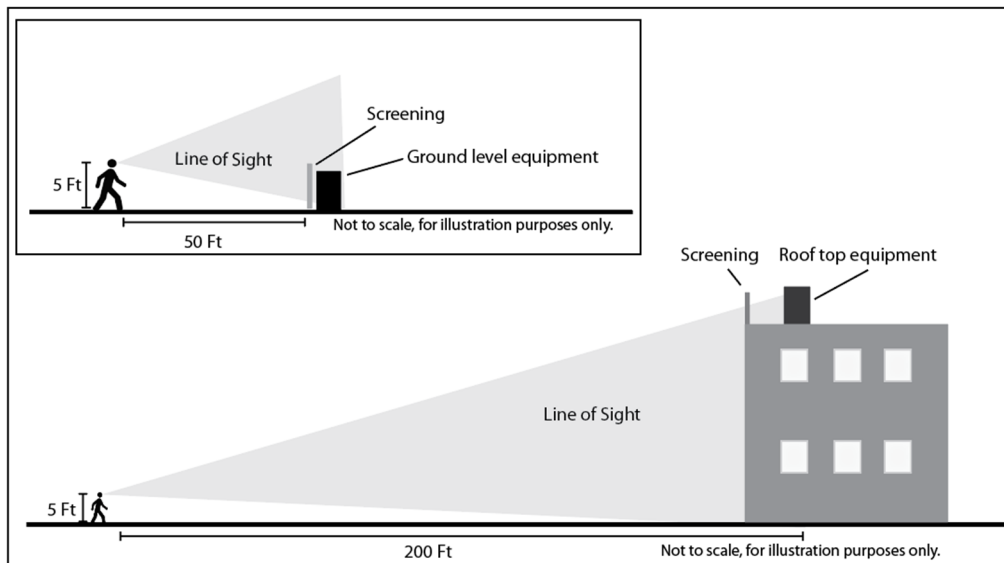
- 300 1. garbage, compost, and recycling areas or receptacles
- 301 2. utility boxes, electric and gas meters, transformers, and similar equipment
- 302 3. rooftop mechanical equipment, not including solar panels or other green
- 303 infrastructure that relies on access to the sun or wind for power generation
- 304 4. air conditioning units, heat pumps, and similar equipment

305 b. Coverage. All equipment shall be fully screened from view by an architectural or

306 landscape screen.

- 307 1. The point of view for determining visibility on the roof shall be five feet above grade
- 308 at a distance of 200 feet.
- 309 2. The point of view for determining visibility at street level shall be five feet above
- 310 grade at a distance of 50 feet.

311 *Figure 8: Equipment Screening*



312 c. Specific Waste, Compost, and Recycling Enclosure Requirements. An enclosure for

313 waste, compost, and recycling collection shall be provided and screened. The

314 enclosure(s) shall have the following characteristics and design standards: ~~shall:~~

- 316 1. A concrete slab that extends through the full area of the enclosure, including the
- 317 access through the service gates.
- 318 2. Fully enclosed in a wood or concrete structure with walls at least seven feet in height
- 319 on three sides connected to a solid roof.
- 320 3. A solid metal gated entry painted to match the other materials of the enclosure.

Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 321 4. Water outlets (hose bibs) for fire safety and sanitation ~~are required~~ within 40 feet of
- 322 enclosures for refuse containers of total capacity greater than five 30-gallon cans.
- 323 5. The enclosure shall incorporate a sewer drain to allow the enclosure to be washed
- 324 down. Storm water shall be prevented from getting into the sewer system.
- 325 6. Enclosures shall be designed and managed to prevent animal entry and shall be
- 326 screened to prevent odors, flies, and other nuisance conditions from disturbing
- 327 residents and the public.
- 328 7. Screening and gates shall be of a durable construction; fences, walls, footings, slabs
- 329 and curbs shall meet City Building Code requirements. Gates shall be constructed of
- 330 heavy-gauge metal or of a heavy-gauge metal frame with covering of wood or other
- 331 suitable material. Gates shall be secured with sturdy hinges or sliders, and latches. For
- 332 enclosures of six cans or more and for bins, the screening shall be protected at its base
- 333 by curbs. -If screening is to be situated directly adjacent to parking spaces or drives, it
- 334 shall be protected by a concrete-curbed buffer strip (minimum 3 feet wide) of
- 335 landscaping or pavement.
- 336 8. The location of waste, compost, recycling collection shall not conflict with circulation
- 337 or parking conditions on site. If exterior facilities are used, a clear pathway that does
- 338 not cross traffic, with a minimum width of 5 feet shall be provided for tenant access
- 339 to the disposal location.
- 340 9. Enclosures shall comply with the following dimensions:

341 *Table 4: Waste, Recycling, and Compost Enclosure Dimensions*

Bin size (in cubic yards)	Height of Enclosure	Depth of Enclosure	Width of Enclosure
1.5	43"	36"	80"
2.0	47"	39"	
3.0	58"	48.5"	
4.0	64"	53.5"	

- 342
- 343 d. Above-ground Equipment. Utility transformers, telecommunications equipment, back-
- 344 flow preventers, HVAC equipment, water or sewer lifts or pumps, and large utility
- 345 devices shall not be located in front of buildings on primary frontages, unless fully
- 346 enclosed by an enclosure that uses the same materials and style as the building façade.
- 347 **7. Landscaping.** These standards are in addition to any applicable objective landscaping standards
- 348 in the Implementing Zoning Ordinance [Chapter 14 Landscaping and Screening](#). Landscaping
- 349 within the public right of way shall comply with the City’s [Landscape and Irrigation Standards](#)
- 350 [\(series 100\)](#).
- 351 a. Landscape Standards. Landscaping shall comply with [Petaluma’s List of Approved](#)
- 352 [Street Trees](#), [Petaluma’s Tree Technical Manual](#) as referenced in IZO Section 17.035

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

and with the City's Landscape Water Use Efficiency Standards in the [City of Petaluma Municipal Code Section 15.17.050](#).

b. Placement/Location. The following areas shall be landscaped:

1. Any [unused area](#) of the site shall be topdressed with bark mulch or have ground cover. Bare ground is not permitted.
2. A minimum of 50% of the front and side street setbacks' surface area shall be planted.
3. A minimum five-foot-wide planting area shall be installed between parking areas and adjacent public rights of way (not including alleys).
4. Comply with IZO Subsection 7.120.D(3)(e) for additional landscaping requirements for parking areas.

c. Plant Material. The following materials are prohibited:

1. The use of plants identified as invasive by the California Invasive Plant Council are prohibited.<sup>1</sup>
2. Artificial plants ~~and turf or groundcover~~ are prohibited.

d. ~~Open Space~~[River and Creek](#) Adjacent. For properties adjacent to ~~open space~~[the Petaluma River, or a creek, including river/creek adjacent riparian habitat](#), the landscaping shall only use plants identified as native to Petaluma on the [California Native Plant Society's Calscape website](#), within 50 feet of the [sensitive habitat area](#). ~~open space area or a minimum distance of 50 feet farther than a required buffer.~~

~~e. Artificial Turf. Artificial turf shall not be used for landscaping any exterior surfaces except for sports fields and recreational areas where an organic infill material is used.~~

~~f.e.~~ Tree Planting. Trees planted as part of the project shall comply with the following:

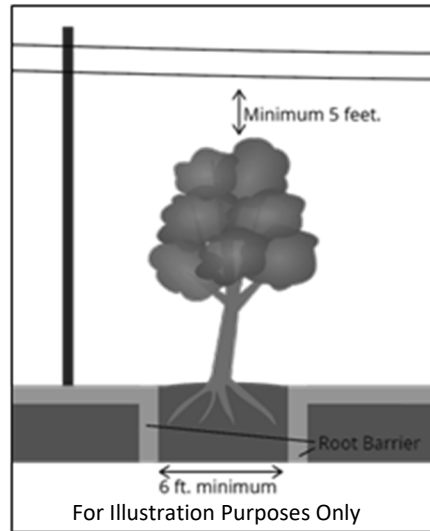
1. Trees shall be planted at a ratio of no less than one tree per 500 square feet of open space (including usable open space).
2. Place trees in a planting area with a minimum size of 36 square feet unless otherwise specified in the Smart Code.
3. Tree planters ~~that are outside of the public right of way shall include root barriers and may include surface grates when planted~~ and within ~~ten-six~~ feet of ~~public or private sidewalks and or pavement shall be planted with root barriers. Tree planters that are outside of the public right of way and within six feet of public or private sidewalks or paved areas shall be planted with root barriers. An alternative method of sidewalk/pavement protection may be used provided that it is equally or more effective than root barriers.~~
4. Trees planted under powerlines shall have a maximum expected height of no less than five feet below the existing power lines and shall use only trees from the [City of Petaluma List of Trees Approved for Planting Adjacent to Public Streets and Sidewalks](#).

<sup>1</sup> California Invasive Plant Council <https://www.invasive.org/species/list.cfm?id=64>

Section 7.120 Objective Design Standards for Qualifying Residential Projects

391

Figure 9: Tree Planters



392

393

394 **g.f.** Open Space Separation. Private open space on the ground level shall be separated from  
 395 public or common open space by either a landscaping strip or a fence in compliance with  
 396 Subsection 7.120.D(5).

397 **h.g.** Integrated Pest Management. An Integrated Pest Management Plan that provides for zero  
 398 use of chemical pesticides herbicides, fertilizers, or other synthetic chemicals shall be  
 399 included with the landscaping plan and implemented.

400 **i.h.** Groundcover. All planting areas shall be top-dressed with a minimum layer of three  
 401 inches of either bark mulch or a natural low carbon alternative or groundcover. Crushed  
 402 rock, mulch, pebbles, stones, or similar non-plant material may be used on up to 10% of  
 403 the landscaped areas. Landscaped areas adjacent to and up-slope from pedestrian  
 404 pathways shall include edging to prevent materials from encroaching onto the pathways.

405 **j.i.** High Maintenance Plants and Trees. The mature canopy dripline of plants or trees which  
 406 drop seed pods or fruit shall not extend over a sidewalk, pathway, or street.

407 **k.j.** Planting Size. To achieve the maximum plant survival and efficiency in landscape  
 408 growth, the following minimum sizes are required:

409

Table 5: New Planting Container Size Requirements

Plant Type	Minimum size at planting
Shrubs and perennials	1 gallon
Plants required for screening	5 gallons
Trees	15 gallons
Grasses and annual herbaceous plants	No minimum

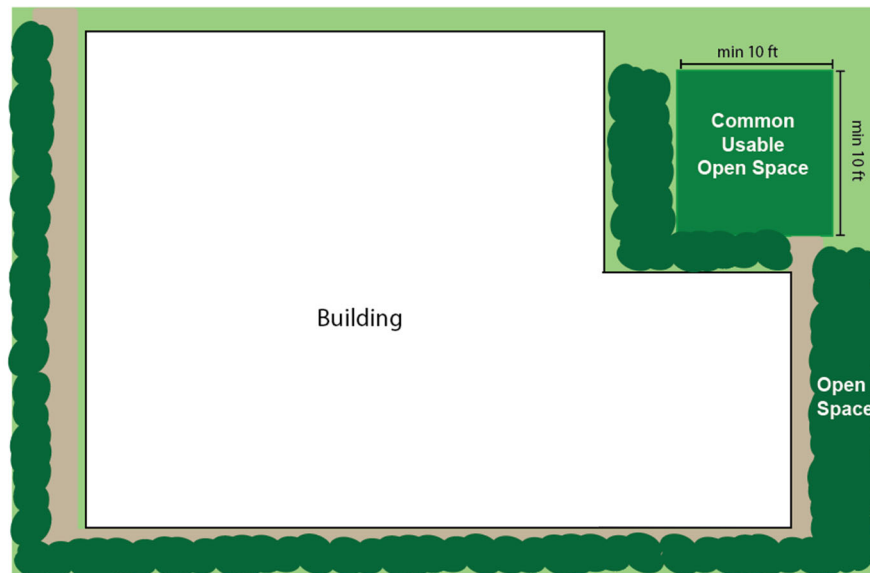
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## Section 7.120 Objective Design Standards for Qualifying Residential Projects

411 **8. Open Space.** Open Space shall be provided as required in the [Implementing Zoning Ordinance](#)  
 412 [Chapter 4 Tables](#).

- 413 a. Usable Common Open Space. At least 25 square feet per unit of the open space required  
 414 by the IZO Chapter 4 Tables shall be used for a common open space area which shall  
 415 have a minimum length of 10 feet on any side.

416 *Figure 10: Common Usable Open Space*



- 417  
 418  
 419 b. Outdoor seating. Outdoor seating shall be provided ~~within common usable open space~~ at  
 420 a ratio of ~~one seat per three units or one~~ one six foot-long bench ~~or two seats perper every~~  
 421 ~~four units~~ 200 square feet of required common usable open space or fraction thereof. Seats  
 422 and benches shall be constructed of stainless steel, wood or a recycled material of  
 423 comparable quality and durability. Seats shall be either a single chair or stool. Benches  
 424 shall accommodate at least two seated adults.
- 425 c. Required Play Areas. Developments that include 25 or more dwelling units shall include  
 426 at least one play area for children. Such play area shall:
- 427 1. Have a minimum dimension of 15 feet in any direction and a minimum area of 600  
 428 square feet with a pour-in-place recycled rubber surface or similar surface with a  
 429 minimum projected lifespan of at least 10 years.
  - 430 2. Contain play equipment, including equipment designed for children five years and  
 431 younger and for all abilities.
  - 432 3. Be protected from any adjacent streets or parking lots with a fence or other barrier at  
 433 least four feet in height. Fencing shall allow visibility into the play area.
- 434 d. Senior Citizen Developments. For developments with 25 or more dwelling units and age-  
 435 restricted to senior citizens, the play area shall be replaced with a communal garden area  
 436 or an outdoor recreational area of the same size and dimensions.

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Section 7.120 Objective Design Standards for Qualifying Residential Projects

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438 ~~7.9.~~ Lighting

- 439 a. Lighting Location. Lighting shall be provided in the following locations:
- 440 1. All parking areas and structures
- 441 2. All pedestrian paths of travel
- 442 3. Points of conflict where vehicular traffic flow crosses paths with pedestrian and/or
- 443 bicycle facilities
- 444 4. All service yards and access to services and utilities including waste enclosures.
- 445 b. Fixtures. All lighting shall use [full cutoff downcast lighting](#) fixtures that horizontally
- 446 shield the light source. Spotlights are prohibited.
- 447 1. Lighting for parking and internal circulation shall be no taller than 20 feet.
- 448 2. The primary bicycle and pedestrian pathways within the development shall be lit by
- 449 fixtures no taller than 36 inches.
- 450 3. Lighting used to illuminate landscaped areas or other open areas shall be placed at a
- 451 maximum height of 36 inches.
- 452 4. Lighting for the public right of way shall comply with the [City's Street Standards](#).
- 453 c. Lighting Brightness. Where required, lighting shall provide a minimum average of 0.5
- 454 foot candles and a maximum of three foot candles at ground level. -Lighting shall not
- 455 exceed one foot-candle at the property line unless required for street lighting by the
- 456 [City's Street Light Standards](#).
- 457 d. Lighting Color. Exterior lighting fixtures shall not exceed 3,500K.
- 458 10. Parcels Fronting the Petaluma River and City Creeks. The following standards apply to
- 459 parcels that are fronting either the Petaluma River or a creek where a public pathway is
- 460 identified or proposed in the City's General Plan in Figure "Proposed and Existing Bicycle
- 461 Facilities" or Active Transportation Plan and as updated from time to time.
- 462 a. Riverfront Building Façade Detailing. Building façades facing the Petaluma River or a
- 463 creek with an existing or proposed public pathway shall comply with the building design
- 464 requirements for a primary frontage in IZO Section 7.120.E(1).
- 465 b. Lighting. Lighting along the river or creek shall be placed to face away from the
- 466 waterway and shall comply with above lighting requirements in 7.120.D(9).
- 467 c. Views of River and Creeks. Fencing between the public right of way and the river over
- 468 42 inches shall be transparent using either open wire or wrought iron.
- 469 d. Waterway Accessibility.
- 470 1. A public pathway is required for the entire river/creek frontage of the parcel if a
- 471 pathway does not exist and is identified in General Plan Figure 5-2 "Proposed and
- 472 Existing Bicycle Facilities" on Page 5-15 or as updated from time to time in the
- 473 future.



## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 474 2. The pathway shall be constructed as the class of trail identified on the General Plan  
 475 “Proposed and Existing Bicycle Facilities Map” using the standards in the [CalTrans](#)  
 476 [Highway Design Manual Chapter 1000 Topic 1003](#).
- 477 3. If there is no existing pathway up or down river from the project site, the new  
 478 pathway shall be connected to the publicly accessible sidewalk via a public pathway  
 479 on the site.
- 480 4. The public pathway shall be recorded as a public access easement on the property  
 481 deed and maintained by the property owner or Homeowners Association as  
 482 applicable.
- 483 5. If [sensitive habitat](#) would be impacted by operation of the pathway and ~~not by any ne~~  
 484 other site element, an alternative public pathway location ~~may~~shall be permitted,  
 485 provided that the applicant provides all of the following:
- 486 ~~a.i.~~ a.i. A wetland delineation and a biologist’s report demonstrating that the pathway  
 487 and no other element of the project would be within the buffer zone of a  
 488 [sensitive habitat](#) area.
- 489 ~~b.ii.~~ b.ii. A preservation and protection plan for the habitat area.
- 490 ~~c.iii.~~ c.iii. Alternative design for an equivalent pathway with a minimum separation of a  
 491 six-foot-wide planter strip between the pathway and the street.
- 492 6. A raised boardwalk may be used in place of a paved pathway for sections of the  
 493 pathway located within the buffer zone of an environmentally [sensitive habitat](#) area.  
 494 The boardwalk shall have the following characteristics:
- 495 ~~d.i.~~ d.i. Shall be a minimum of six feet wide
- 496 ~~e.ii.~~ e.ii. Shall be raised a minimum of 12 inches above the natural grade
- 497 ~~f.iii.~~ f.iii. Shall be constructed from ADA compliant materials with a projected  
 498 minimum longevity of 50 years and shall not contain creosote, formaldehyde  
 499 or other chemicals that could leach into the habitat area.
- 500 ~~g.iv.~~ g.iv. Handrails shall be installed on both sides of the boardwalk for the entire  
 501 length.
- 502 ~~h.v.~~ h.v. Signs requiring bicyclists to dismount and walk bicycles on the boardwalk  
 503 shall be installed on both sides of both entrances to the boardwalk.
- 504 ~~i.vi.~~ i.vi. Permanent habitat protection fencing with a six-inch bottom clearance shall be  
 505 installed to prevent the public from walking/riding in [sensitive habitat](#) areas.
- 506 ~~j.vii.~~ j.vii. Any habitat disturbed during construction shall be restored in compliance with  
 507 state and federal regulations.

508 E. Building Design

## 509 1. Façade Design

- 510
- a. Length. -The maximum length of a primary façade shall not exceed 250 linear feet.



## Section 7.120 Objective Design Standards for Qualifying Residential Projects

511 ~~a.b.~~ Façade. All exterior walls must incorporate changes of plane representing 30% of wall  
 512 surface area on primary façade, 20% of the wall surface area on all other façades. This  
 513 may be achieved through any of the following methods or combination of methods:

- 514 1. Balconies that either project at least three feet from the façade or balconies that are  
 515 recessed at least four feet from the façade.
- 516 2. Box/bay windows with a minimum depth of 18 inches on all facets.
- 517 3. Ground floor street-facing courtyard(s)
- 518 4. Architectural stepbacks or projections that are a minimum of 24 inches.
- 519 5. Front porches
- 520 6. Colonnade, arcade, or covered walkway along the ground floor with a minimum  
 521 depth of five feet.

522 *Figure 11: Change of Plane on Primary Façade*



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523 ~~b. Window shades. Orientation-tuned shading devices which include non-membrane~~  
 524 ~~awnings, canopies, fins, or screens and that share similar architectural characteristics to~~  
 525 ~~the façade shall be installed on the south and west-facing windows with orientations that~~  
 526 ~~effectively shade glass from sun from May through September from the hours of 12:00~~  
 527 ~~pm to 5:00 pm.~~

529 c. Vinyl Materials. Vinyl materials are prohibited and shall not be used on the façade of the  
 530 building including but not limited to siding, trim, and windows.

531 d. Transparency at Street Level.

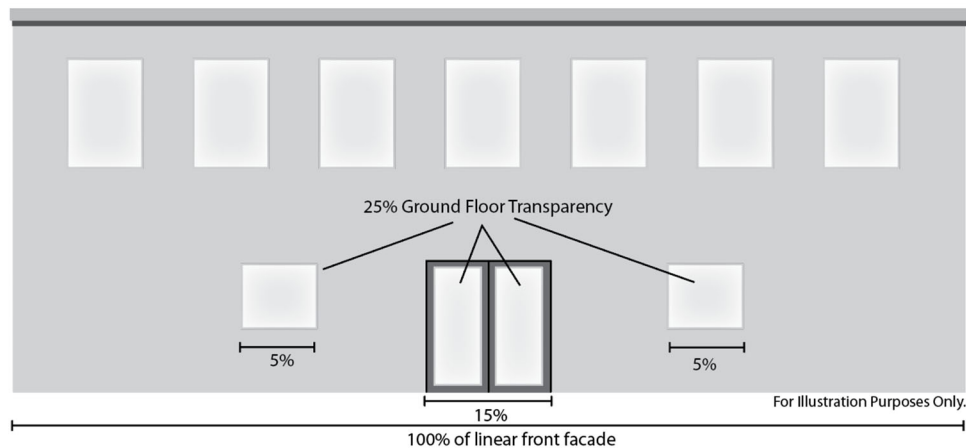
- 532 1. For residential buildings, including live/work and work/live, along any façade facing  
 533 a public or private street, public open space, the Petaluma River, or a creek  
 534 designated for a public pathway in the General Plan, shall provide doors and/or  
 535 windows for a minimum of 25% of the linear frontage on the ground floor.
- 536 2. For mixed-use buildings, along any façade facing a public or private street, public  
 537 open space, river, or creek with a proposed or existing public pathway, shall provide  
 538 doors and/or windows for a minimum of 50% of the ground-floor façade.

539

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

540

Figure 12: Ground Floor Transparency



541

542 e. Ground Floor Residential on Arterial Roadways. Ground floor residential units with  
 543 entrances on an arterial street shall have a separation to visually delineate public versus  
 544 private space along the arterial frontage through ONE (1) of the following design  
 545 elements:

- 546 1. Finished floor height of at least 24 inches above the grade of the public sidewalk.  
 547 2. Low wall no more than 42 inches in height  
 548 3. A three-foot-wide landscaping strip  
 549 4. Permanent above ground planters no less than 3 feet wide  
 550 5. A change in paving surface material.

551 f. Inactive Frontages. No more than 50 feet along the primary façade shall be occupied by  
 552 [inactive frontages](#).

553 2. Entryway

554 a. Location. Buildings must have a primary entrance on a street-facing façade but may also  
 555 have an articulated entrance on each street facing façade. The primary building entrance  
 556 and associated access path shall be directly accessible from the public street.

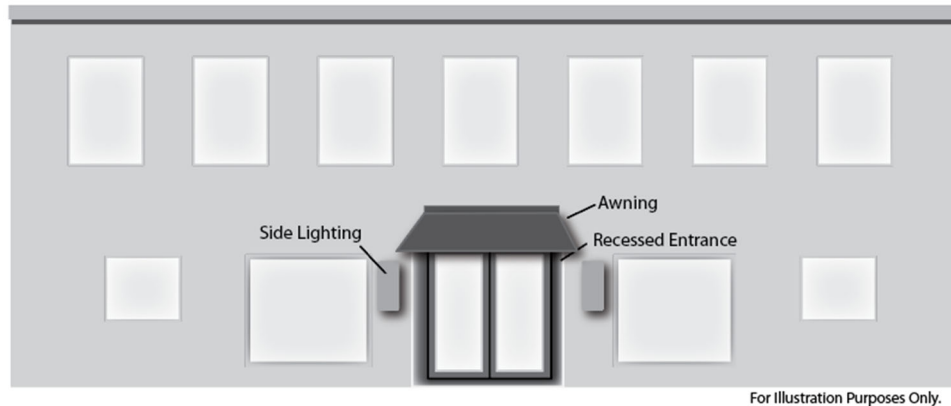
557 b. Entrance Emphasis. The primary building entrance shall be articulated, using at least  
 558 three of the following design features:

- 559 1. [Accent Materials](#)  
 560 2. Public Art  
 561 3. Non-membrane and non-vinyl Awnings  
 562 4. Sidelights or accent lighting  
 563 5. Arches  
 564 6. Columns  
 565 7. Insets in the façade around the door frame  
 566 8. Transom windows above or to the sides of the door

## Section 7.120 Objective Design Standards for Qualifying Residential Projects

- 567 9. Porch or stoop  
 568 10. Entrance doors recessed from the wall plane at least six inches  
 569 11. Change in pavement surfacing

570 *Figure 13: Entryway Articulation*

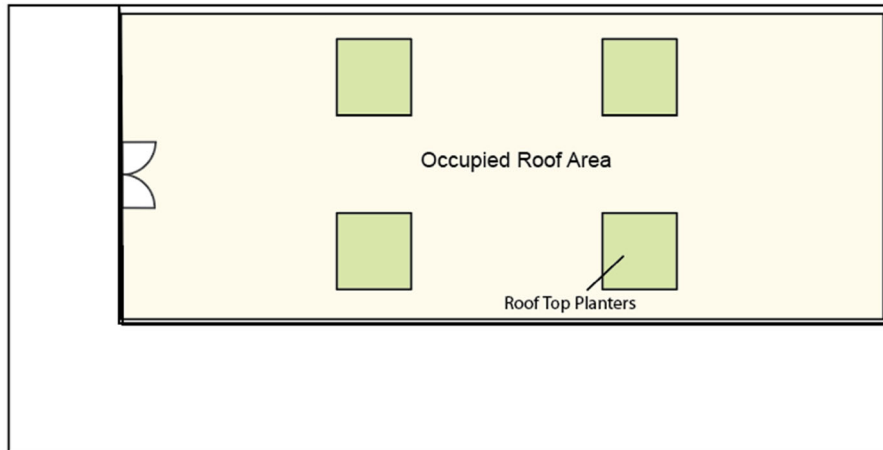


- 571  
 572 3. Building Corner Treatments  
 573 a. Building corners at a street intersection shall incorporate at least ONE (1) of the  
 574 following corner treatments:  
 575 1. Turret or cupola at least two feet higher than the highest roof point.  
 576 2. Roof variation  
 577 3. Building recess  
 578 4. Variance in building materials  
 579 5. Corner plaza or public space  
 580 6. Corner entryway  
 581 ~~6. Curved corner wall with windows~~  
 582 ~~7. Curved corner wall with windows~~  
 583 4. Occupied Roofs  
 584 a. Roof-top Planters. 10% of occupied rooftops shall be landscaped with rooftop planters.  
 585

Section 7.120 Objective Design Standards for Qualifying Residential Projects

586

Figure 14: Occupied Roof Area



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587  
588

- b. Roof-top Open Space. If an occupied roof will be used to meet the common usable open space requirement, the following shall apply:

589  
590

- i. At least 30% of the open space shall incorporate above-ground planters that are no less than three feet wide and three feet long.

591  
592

- ii. Permanent non-membrane shading devices shall be installed to cover at least 15% of the required open space square footage.

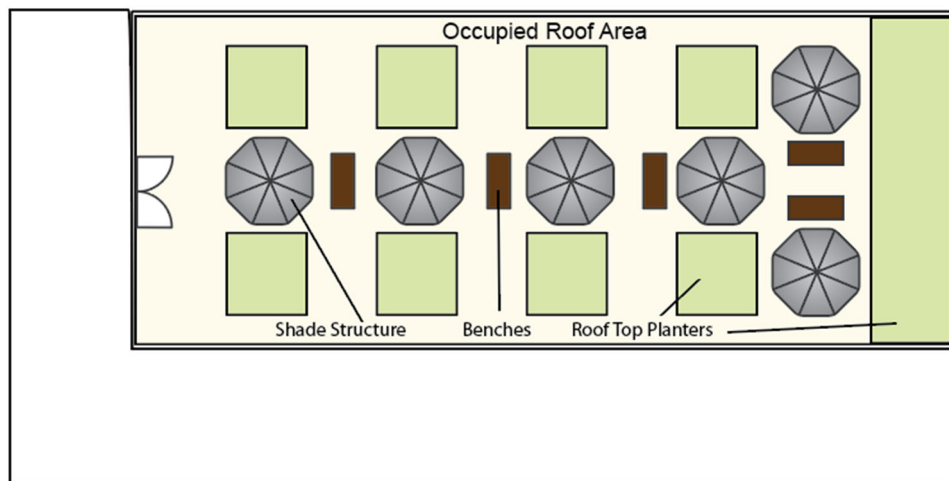
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- iii. Seating shall be provided in compliance with 7.120.D(8)(b).

595

596

Figure 15: Roof-Top Open Space



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Section 7.120 Objective Design Standards for Qualifying Residential Projects

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- 600 ***F. Other Applicable Objective Standards.*** All projects subject to this chapter shall comply with  
601 the objective design, development, and subdivision standards within the [Implementing](#)  
602 [Zoning Ordinance](#) or [SMART Code](#) (as applicable), the [General Plan](#) (or [applicable Specific](#)  
603 [Plan](#)), and the [Municipal Code](#) as well as any adopted standards in supplemental documents  
604 including but not limited to:
- 605 1. Implementing Zoning Ordinance [Chapter 4 Zoning District and Allowable Land Use](#)  
606 [Tables](#)
  - 607 2. Implementing Zoning Ordinance [Chapter 6 Flood Plain and Floodway Areas](#)
  - 608 3. Implementing Zoning Ordinance [Chapter 11 Parking Standards](#) or SMART Code [Section](#)  
609 [6 Parking Standards and Procedures](#)
  - 610 4. Implementing Zoning Ordinance [Chapter 13 Fences](#)
  - 611 5. Implementing Zoning Ordinance [Chapter 14 Landscaping](#)
  - 612 6. Implementing Zoning Ordinance [Chapter 15 Preservation of the Cultural & Historic](#)  
613 [Environment](#)
  - 614 7. Implementing Zoning Ordinance [Chapter 16 Hillside Protection](#)
  - 615 8. Implementing Zoning Ordinance [Chapter 17 Tree Preservation](#)
  - 616 9. Implementing Zoning Ordinance [Chapter 21 Performance Standards](#)
  - 617 10. City of Petaluma Municipal Code [Section 15.17.050 Water Efficiency Landscape](#)  
618 [Ordinance](#)
  - 619 11. City of Petaluma Municipal Code [Title 17 Building and Construction](#)
  - 620 12. City of Petaluma Municipal Code [Title 20 Subdivisions](#)
  - 621 13. City of Petaluma [Landscape and Irrigation Standards](#)
  - 622 14. City of Petaluma [Street Light Standards](#)
  - 623 15. City of Petaluma [Street Standards](#)