

# WASHINGTON COMMONS

Petaluma, CA

**ENTITLEMENT SET**

PROJECT NO. 1295-0004

September 1, 2023



# PROJECT TEAM

**Owner:**  
**Midpen Housing**  
350 College Avenue, Suite 250  
Santa Rosa, CA 95401

Attn: Ali Gaylord  
Tel: (707) 320-7372  
Email: agaylord@midpen-housing.org

**Architect:**  
LPAS, Inc.  
723 S Street  
Sacramento, CA 95811

Attn: Ron Metzker  
Tel: (916) 443-0335  
Cell: (916) 284-0016  
Email: rmetzker@lpas.com

**Landscape Architect:**  
LPAS, Inc.  
723 S Street  
Sacramento, CA 95811

Attn: Thais Del-Castillo  
Tel: (916) 443-0335  
Email: tdelcastillo@lpas.com

**Civil Engineer:**  
Adobe Associates, Inc.  
1220 N. Dutton Avenue  
Santa Rosa, CA 95401

Attn: Casey McDonald  
Tel: (707) 541-2300  
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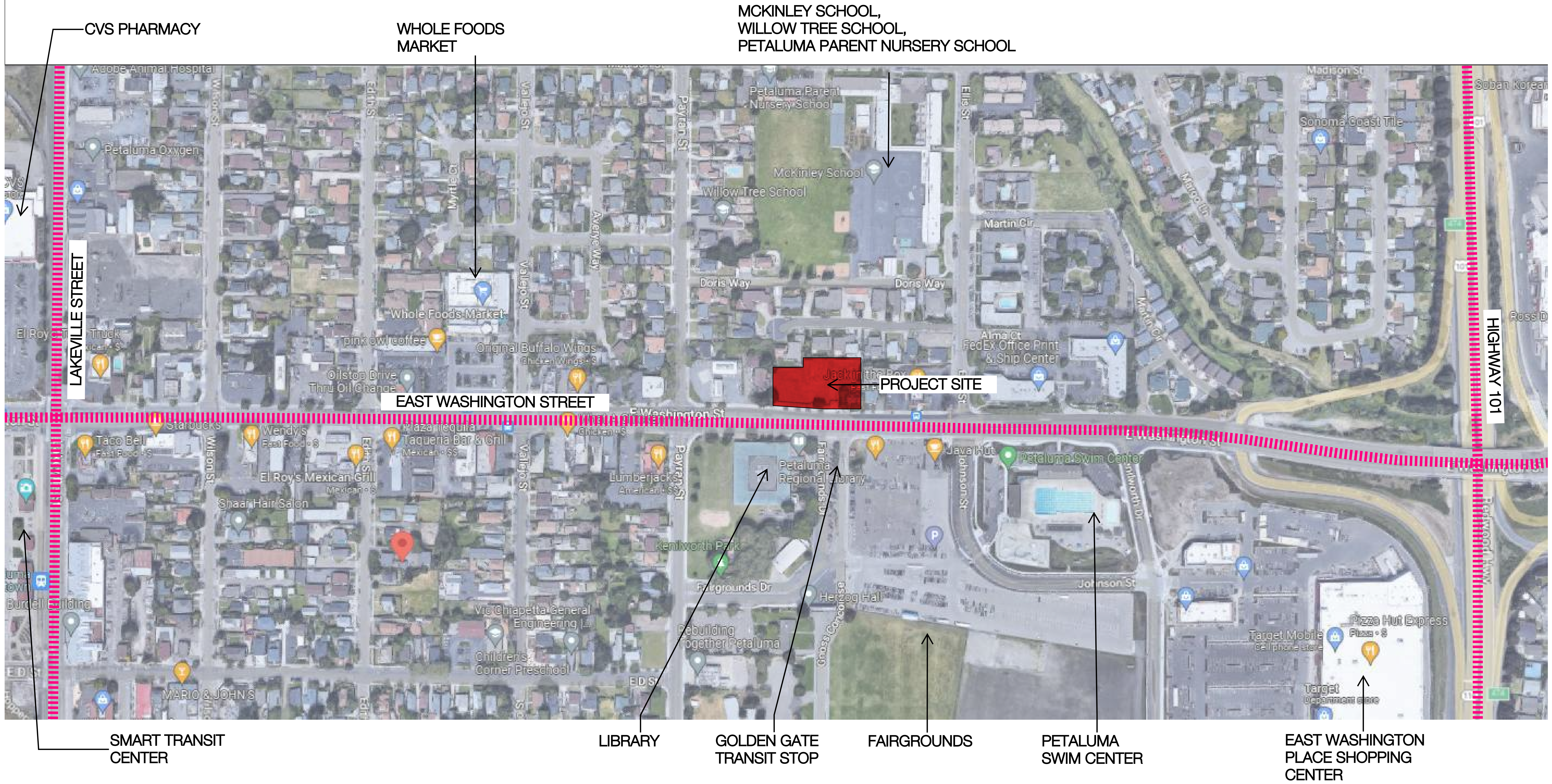
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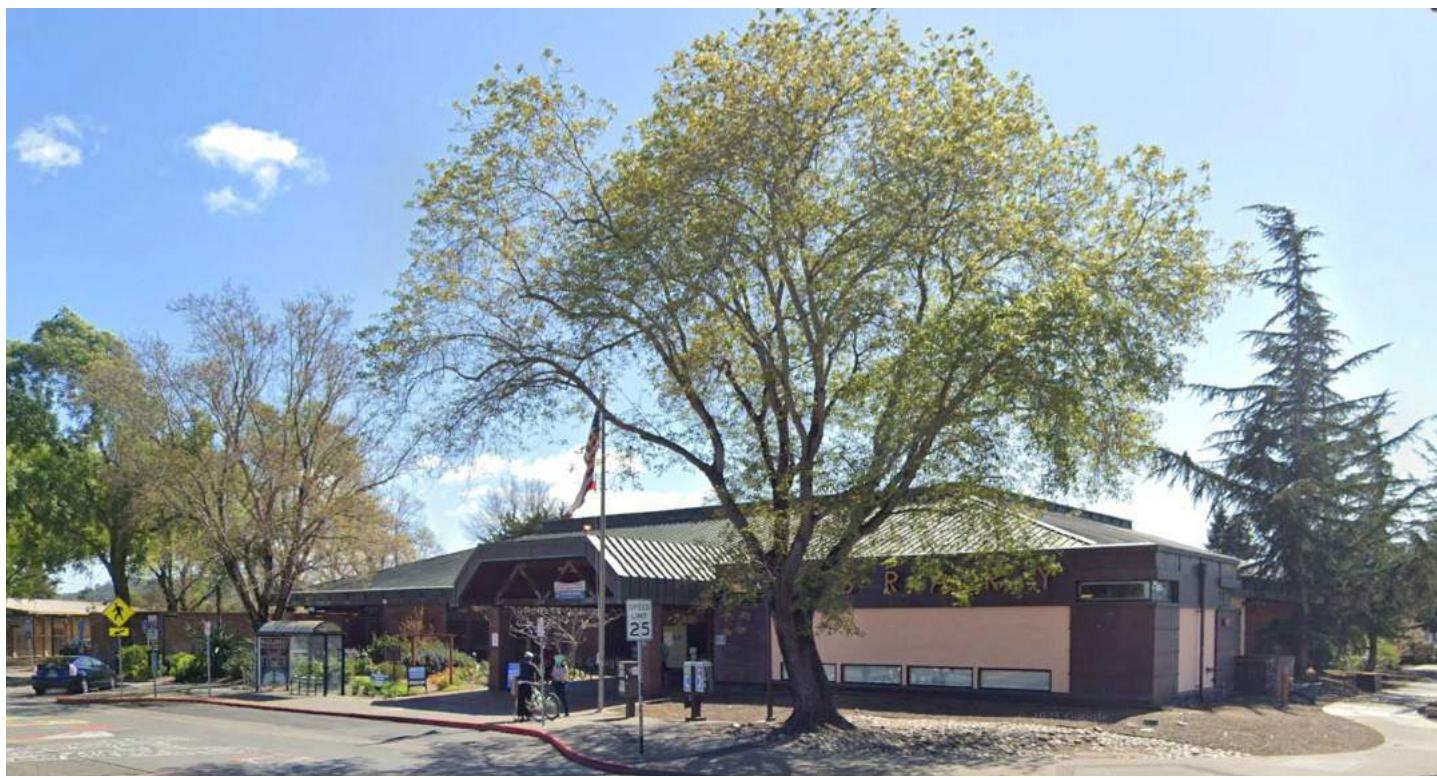
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LAND USE AND DEVELOPMENT STANDARDS		PROPOSED PROJECT DATA SUMMARY		NOTES
<b>LAND USE:</b>				
General Plan:	Mixed-Use Washington Corridor Overlay			
Zoning:	MU1A			
<b>LAND USE:</b>				
Allowed Uses:	Multi-Family Residential (Prohibited on Ground Floor)	CUP	Proposed Use:	Multi-Family Residential
				Allowable per State Density Bonus Law (With Concession)
<b>SITE AREA:</b>				
Min. Site Area:	NA		Site Area:	32,585 SF      0.75 Acres
<b>DENSITY AND NUMBER OF UNITS</b>				
			Number of Affordable Units:	49 Units      100.0%
			Studio/1 Bedroom:	23 Units      46.9%      574 Avg SF
			2 Bedroom:	13 Units      26.5%      880 Avg SF
			3 Bedroom:	13 Units      26.5%      1,037 Avg SF
			Manager's Unit:	1 Unit      931 Avg SF
Max Number of Units (Zoning):	22 Units		Total Number of Units:	50 Units      781 Avg SF
Max Allowable Density (Zoning):	30 DU/Acre		Density:	67 DU/Acre
Max Density (State Density Bonus):	Unlimited within 1/2 Mile of Transit			Allowable per State Density Bonus Law
<b>BUILDING AREA AND FAR</b>				
Max Allowable FAR:	2.5		Proposed FAR:	1.56
Max Allowable SF:	81,463 SF		Proposed Building Area:	50,815 SF
			Net Rentable Area:	38,664 SF
			Efficiency:	76%
<b>SETBACKS:</b>				
Front:	0 FT		Front (East Washington Street):	0 FT
Side:	0 FT		Sides:	10 FT
Rear:	15 FT + 1 FT For Each FT Over 20 FT +/- 40 FT (15' + 25')		Rear:	10 FT
				Allowable per State Density Bonus Law (With Concession)
<b>HEIGHT LIMIT:</b>				
Max Height Limit:	30 FT 45 FT Where 45' Separation From Adjacent Properties		Proposed Building Height:	45 FT
				Allowable per State Density Bonus Law
<b>USABLE OPEN SPACE:</b>				
Open Space Required: (Common or Private)	30 SF / Unit 1,500 SF		Open Space Provided: (Common)	104 SF / Unit 2,800 SF (Courtyard Only) 2,400 SF (Side and Rear Setbacks)
<b>PARKING REQUIRED:</b>				
<b>Vehicular Parking Required:</b>			<b>PARKING PROVIDED:</b>	
Per Zoning:	90 Spaces	1 Space/Bdr	<b>Vehicular Parking Provided:</b>	
Per State Density Bonus: (Within 1/2 Mile of Transit)	0 Spaces	0 Spaces / Unit	Total Residential:	
			On-Site:	25 Spaces      0.50 Spaces/Unit
				13 Standard Spaces
				1 Accessible Space
				EV Spaces:      44%
				2 EV Charging Spaces      8%
				1 EV Van Accessible
				1 Standard Charging
				7 EV Ready Spaces      28%
				2 EV Capable Spaces      8%
<b>Bicycle Parking Required:</b>			<b>Bicycle Parking Provided:</b>	
Per Zoning:	9 Spaces	10% Of Vehicular Sp	Long-Term:	50 Spaces      200% Of Vehicular Sp
			Short Term:	2 Spaces      8% Of Vehicular Sp
				Allowable per State Density Bonus Law









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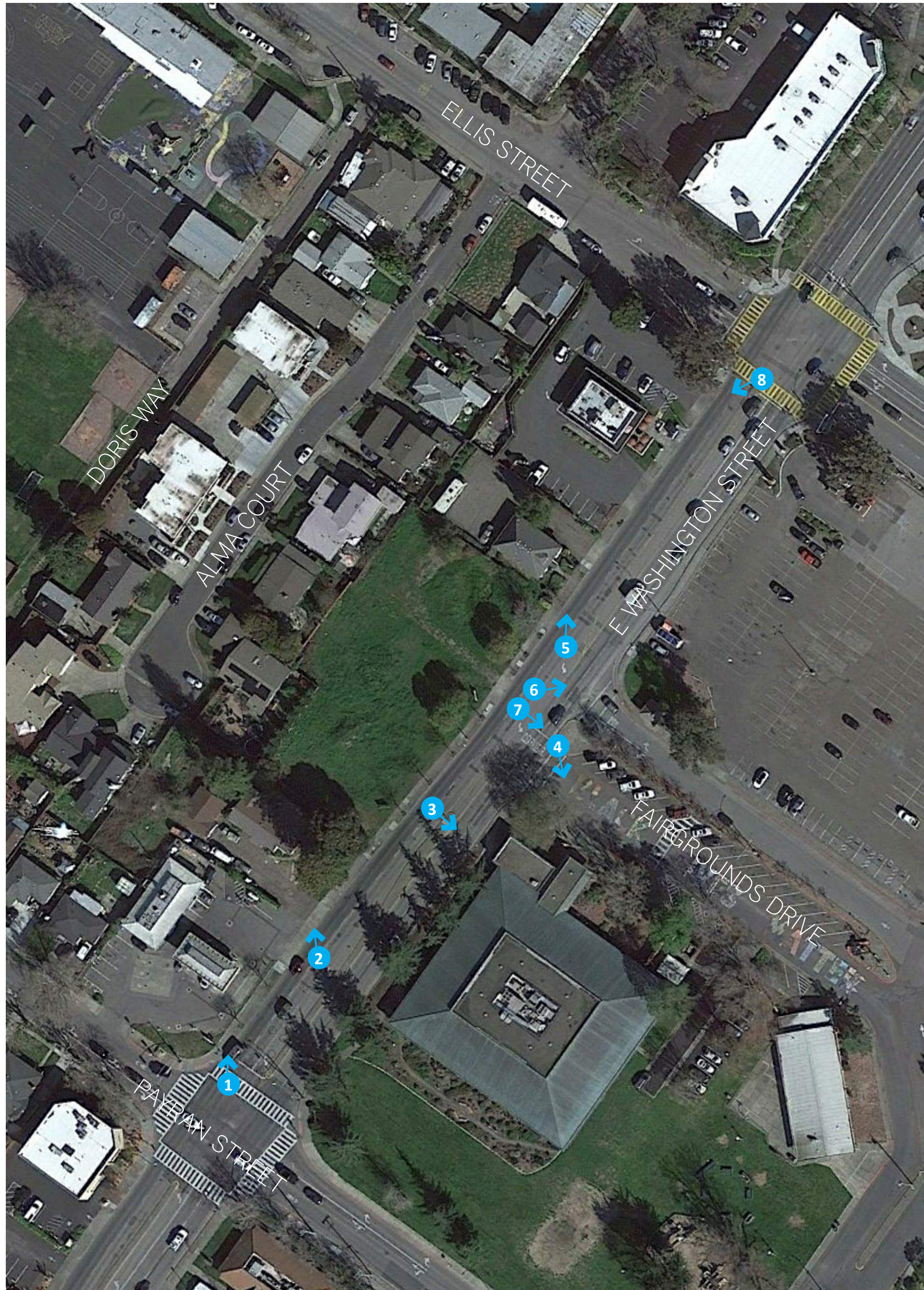
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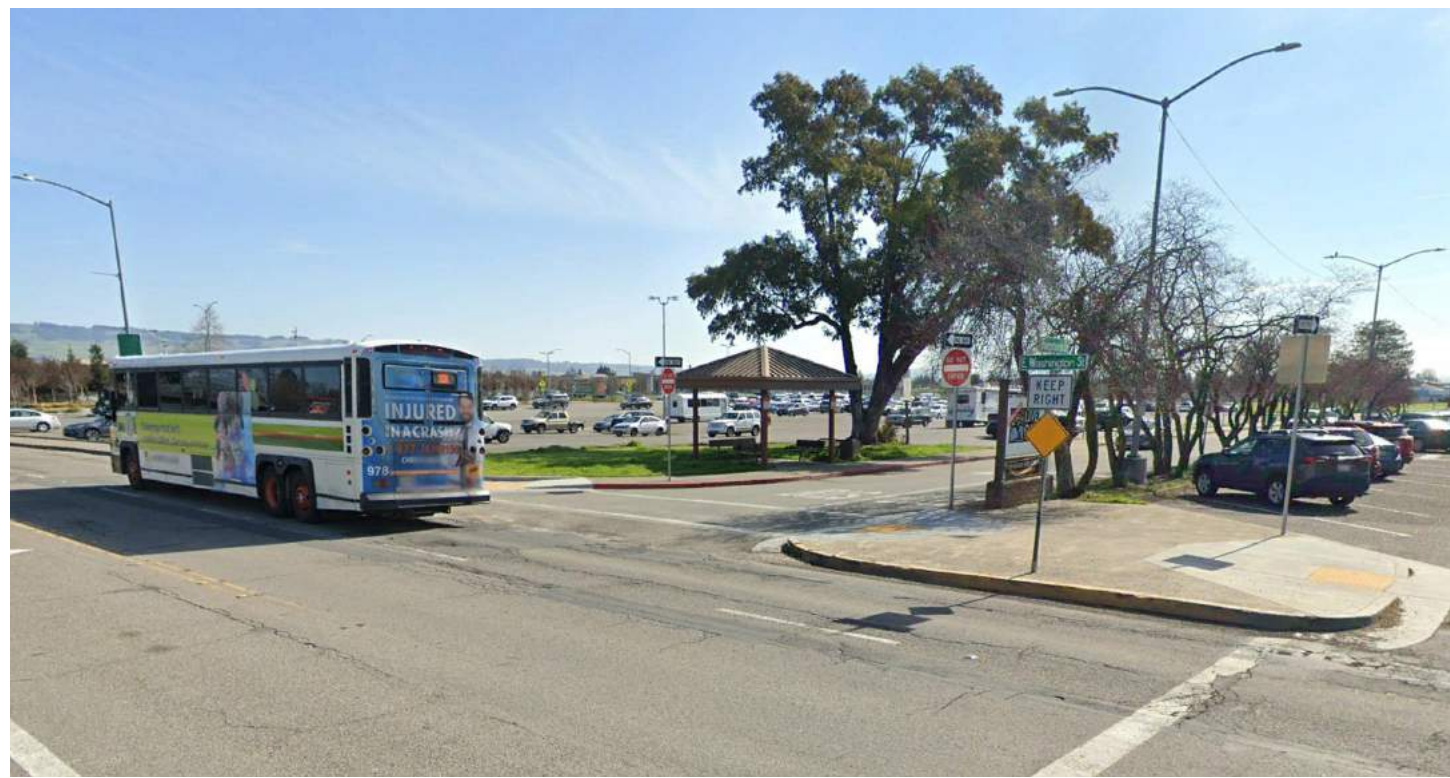
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1



5



6



7

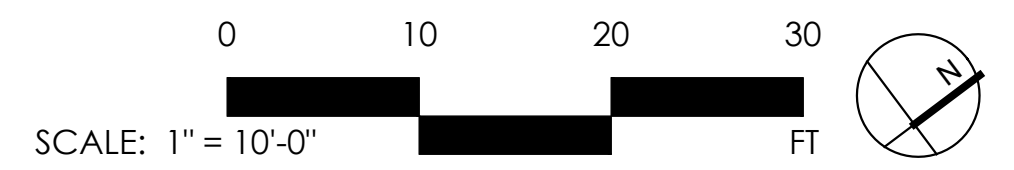
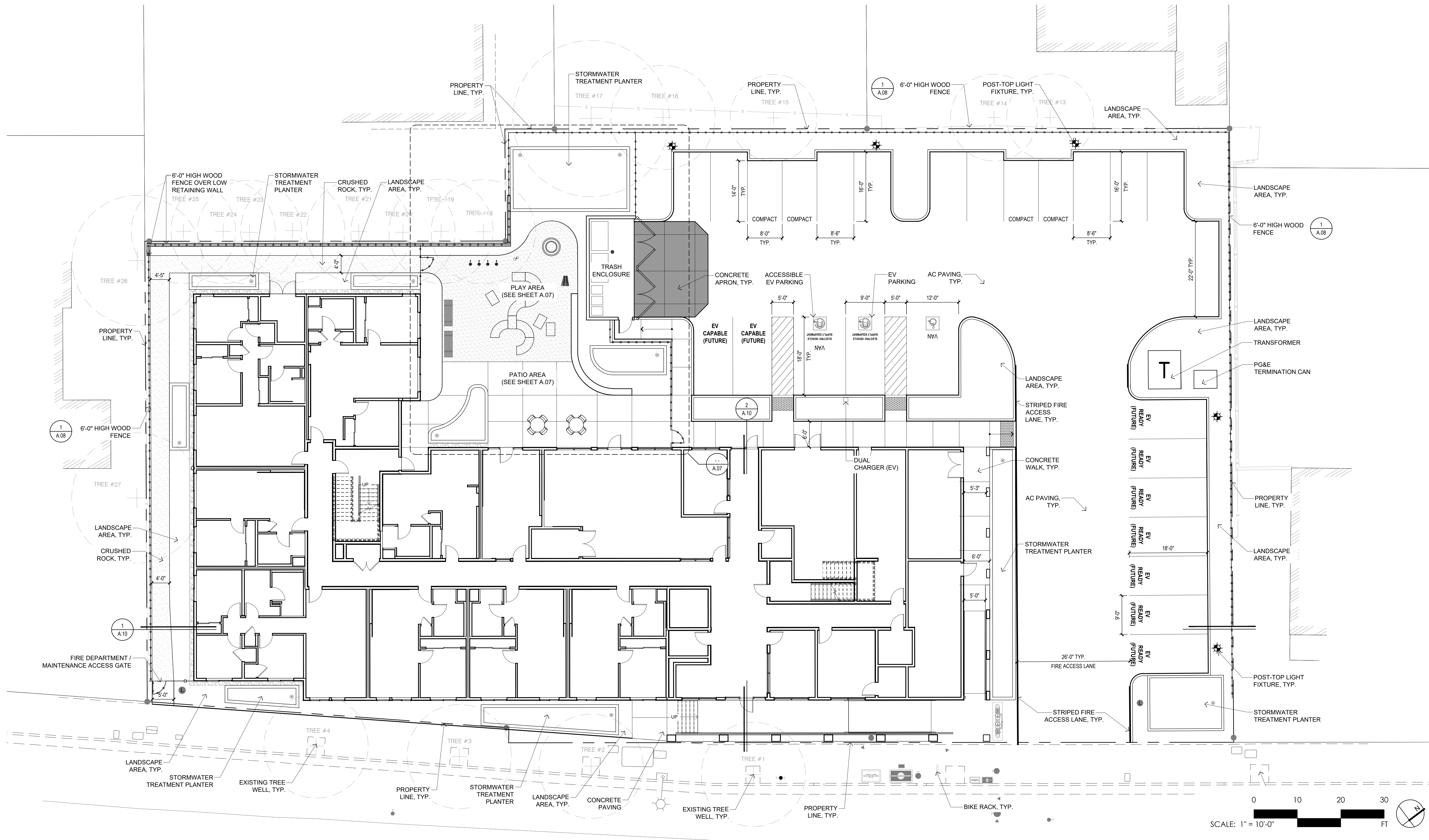


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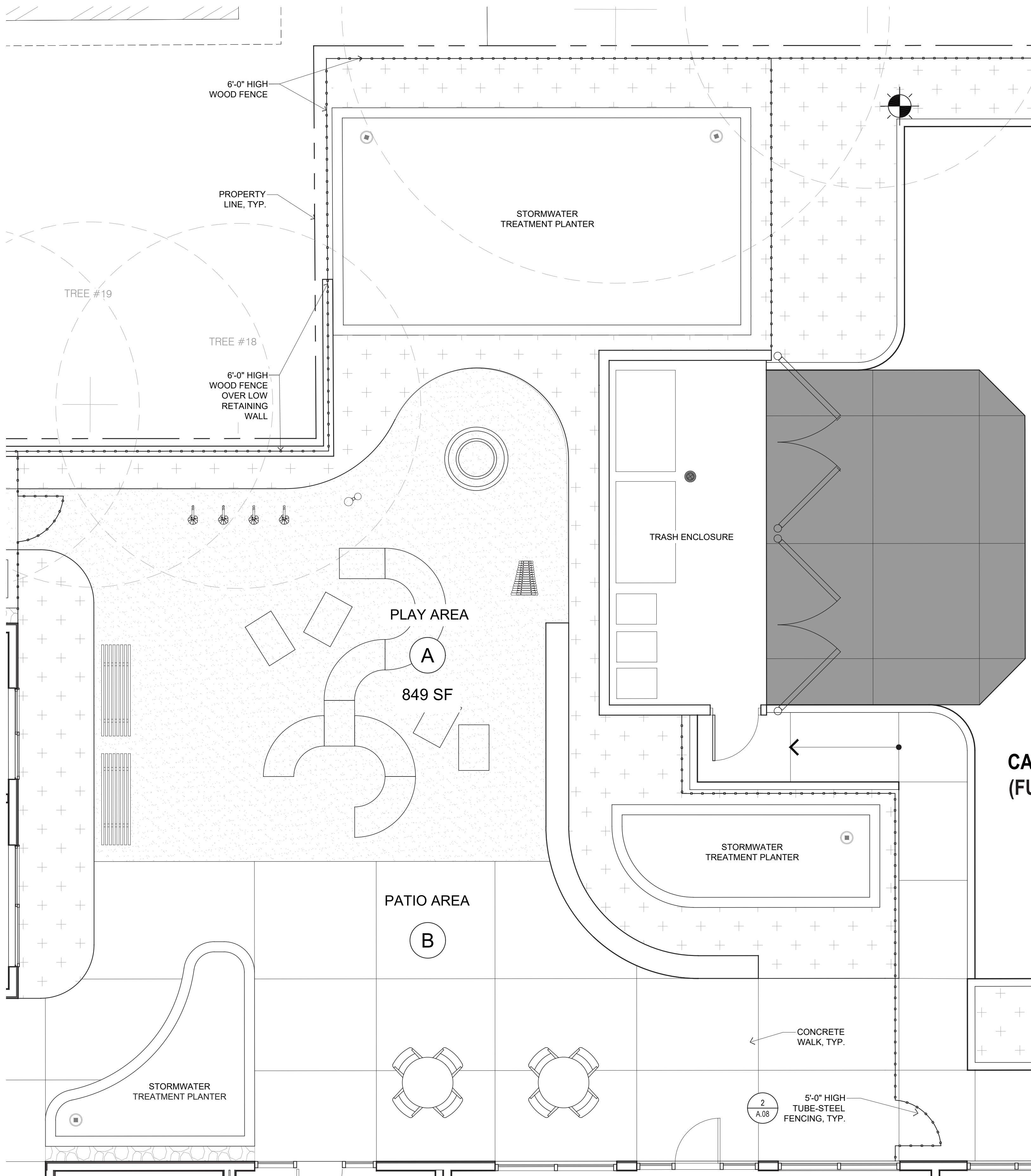








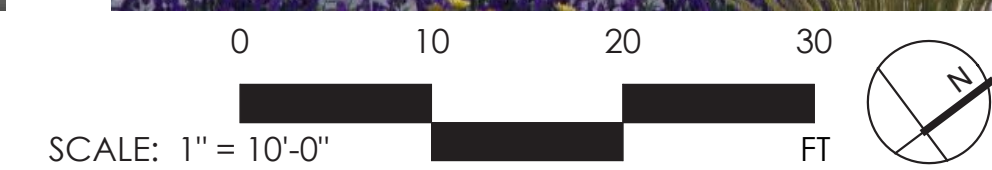
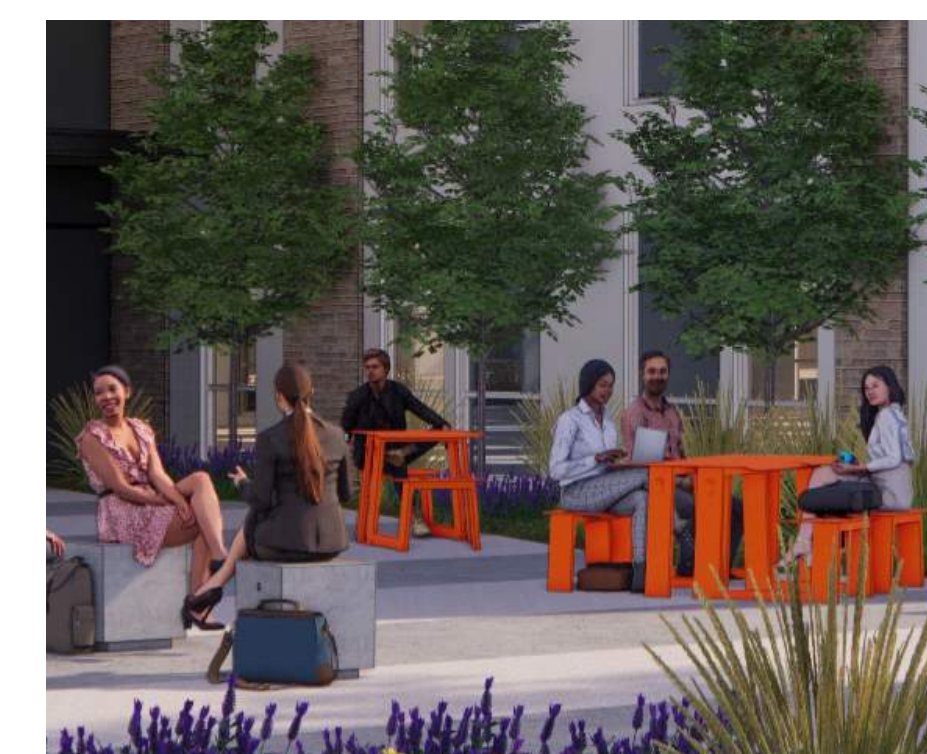




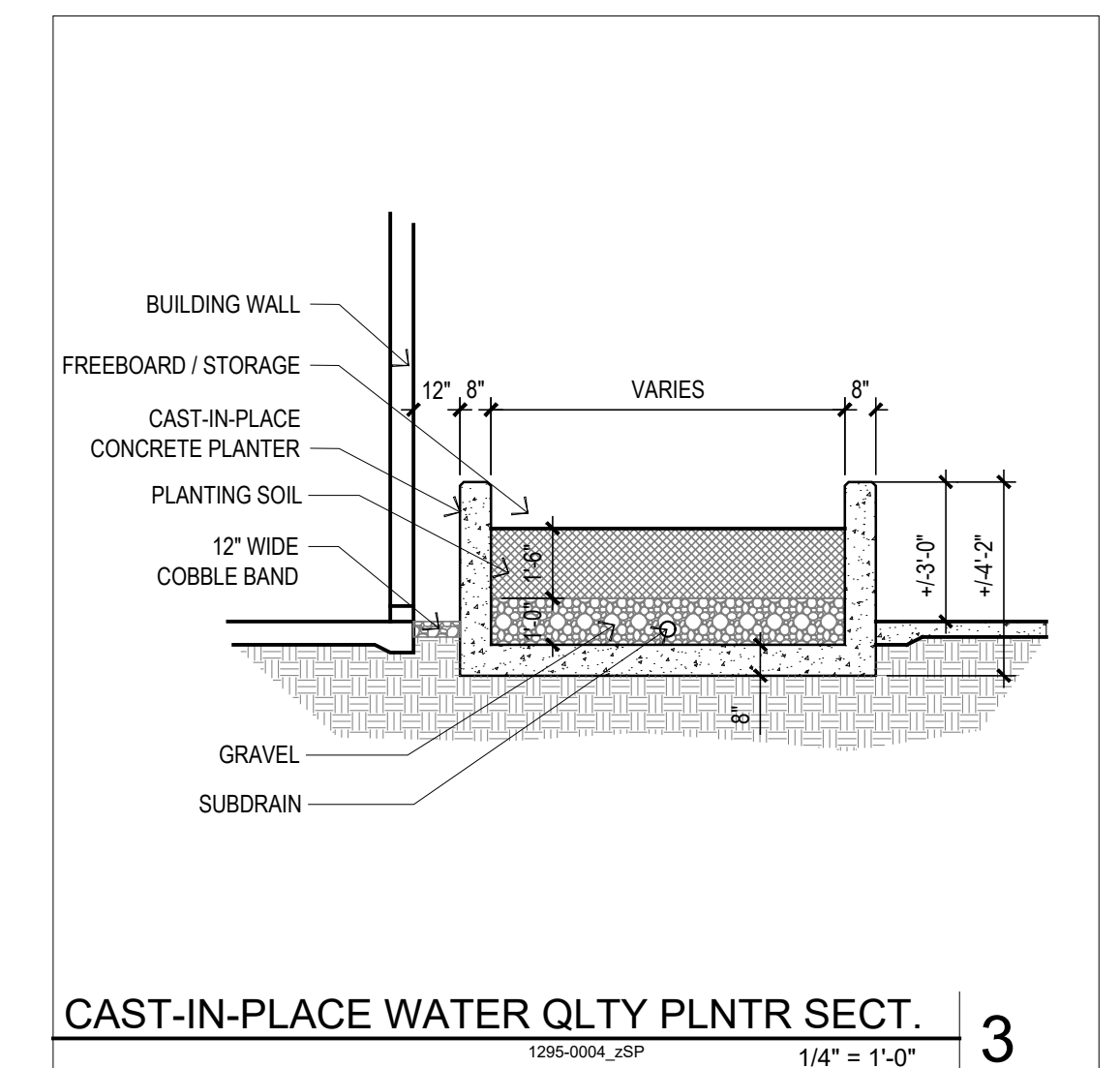
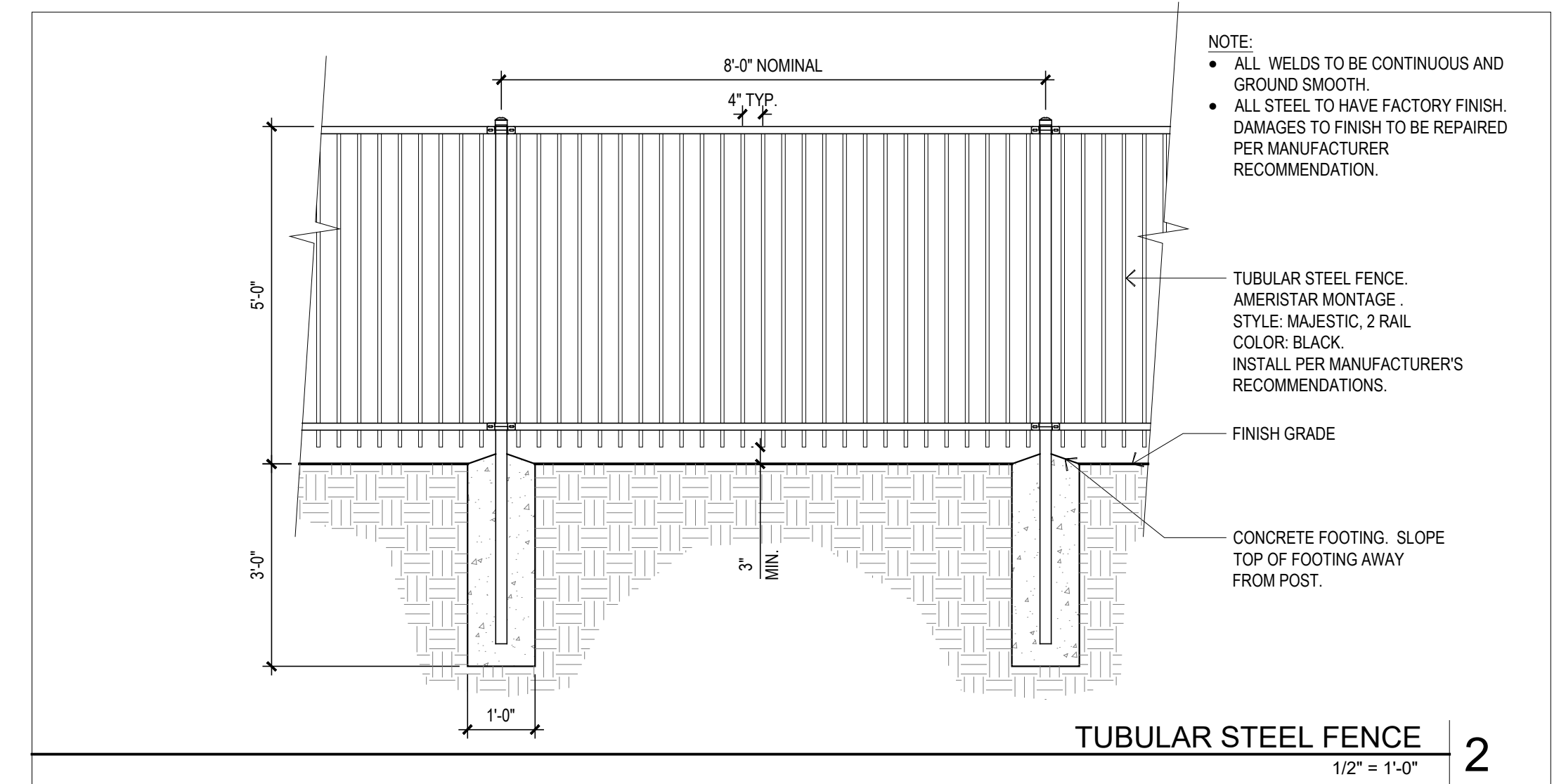
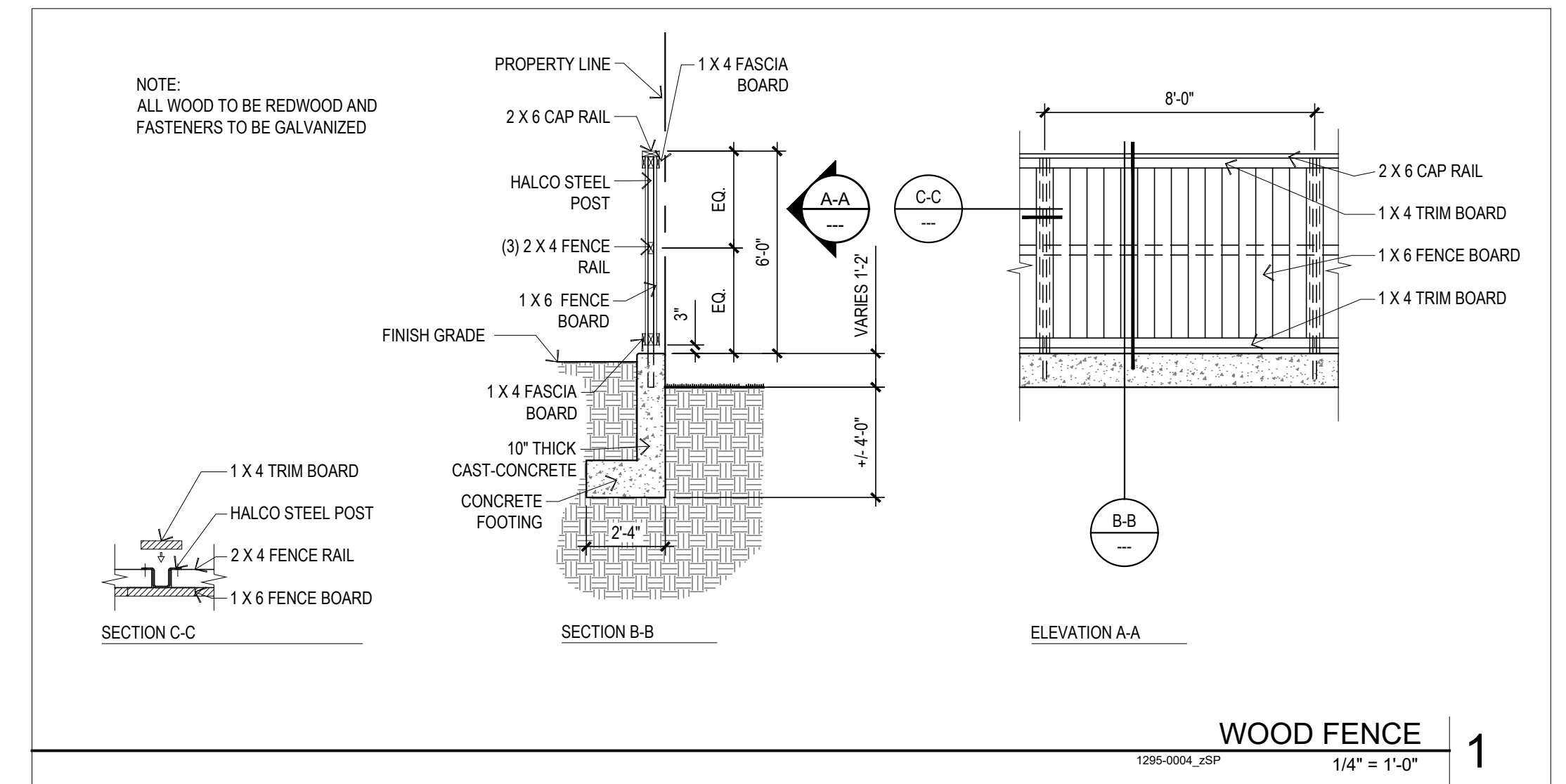
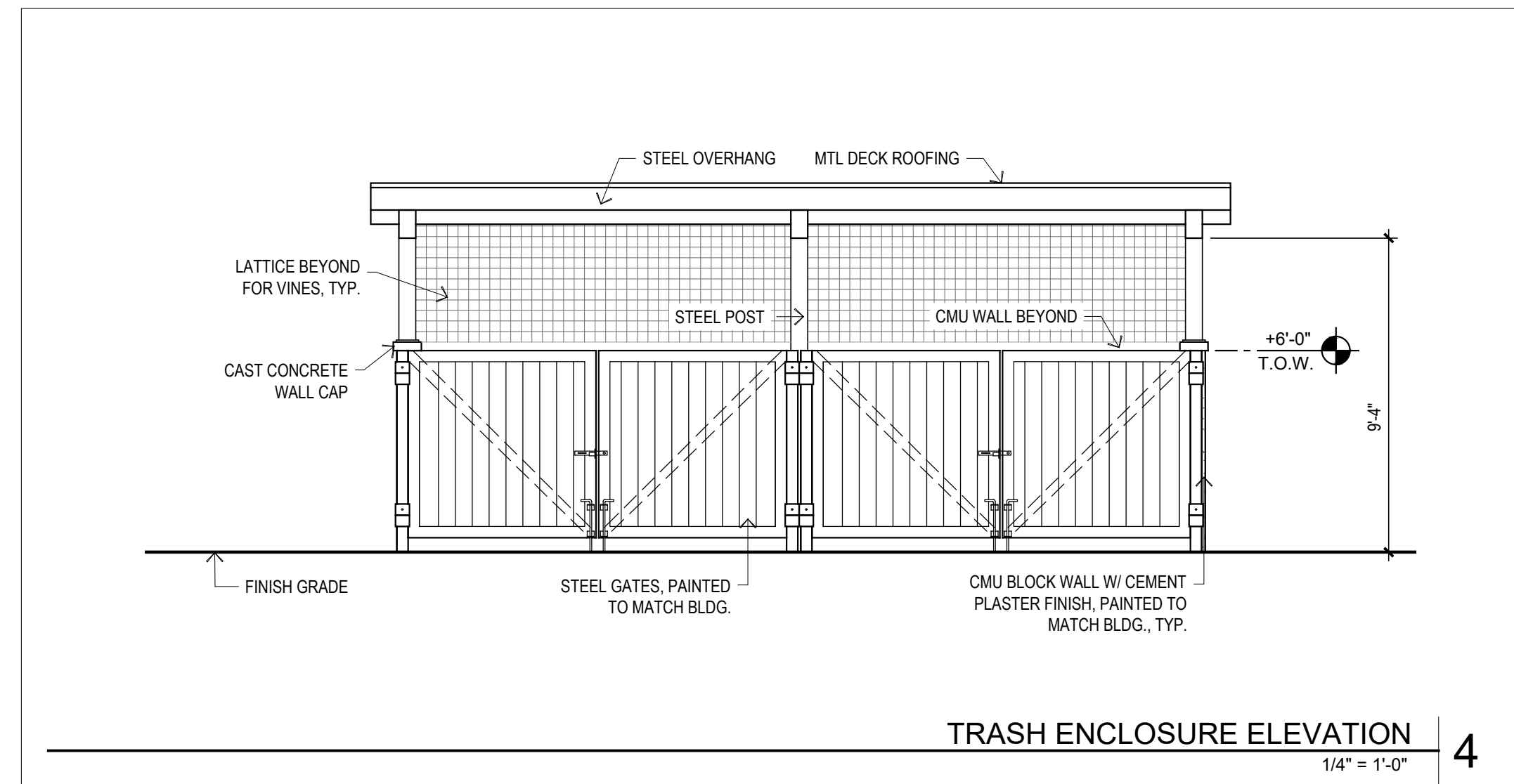
A) PLAY AREA (DESIGN INSPIRATION)



B) PATIO AREA (DESIGN INSPIRATION)








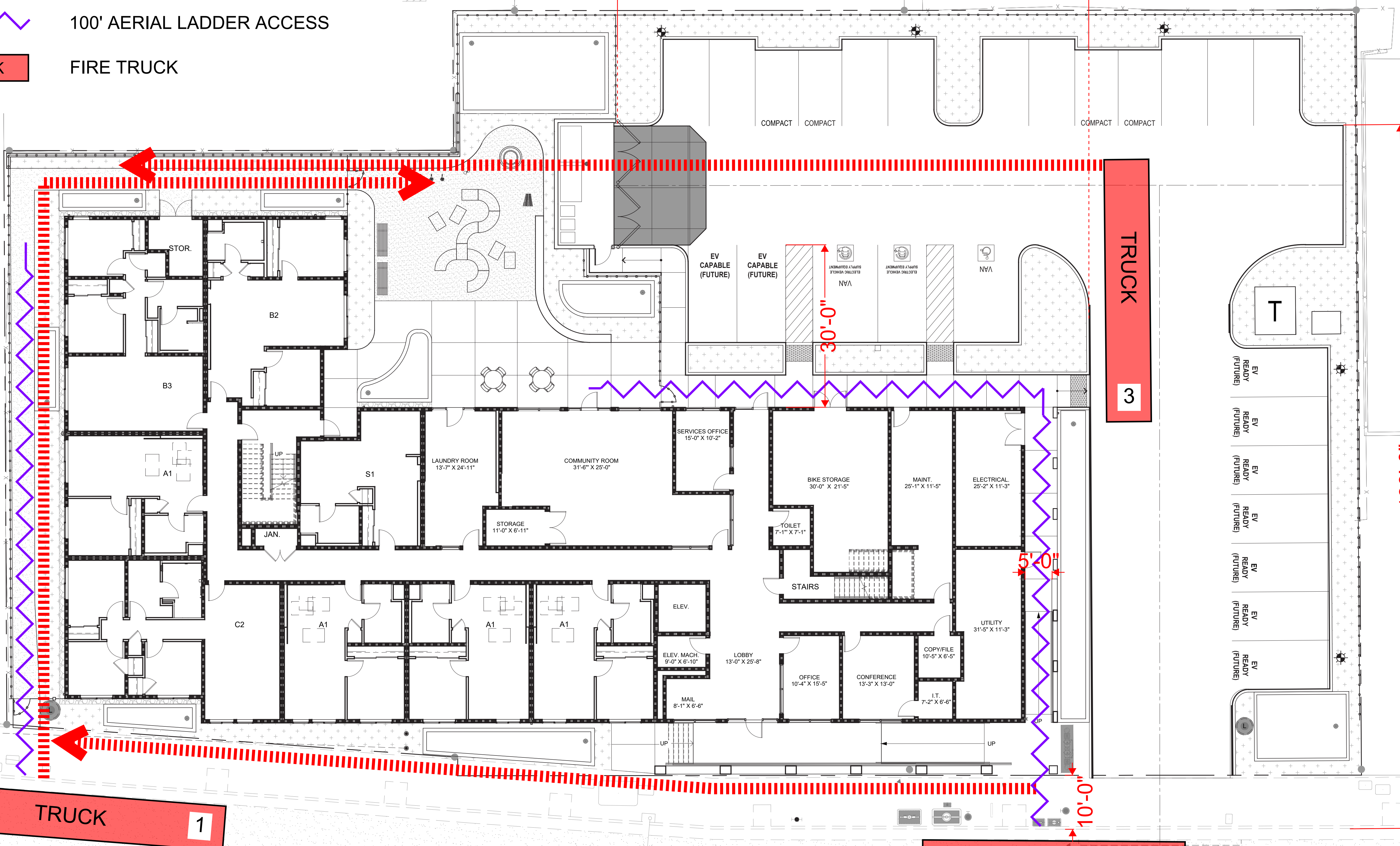




# LEGEND

-  180' FIRE HOSE DISTANCE
-  100' AERIAL LADDER ACCESS
-  FIRE TRUCK

Lot 3  
City of Petaluma  
"Parcel Map No. 164"  
310 Maps 27-28

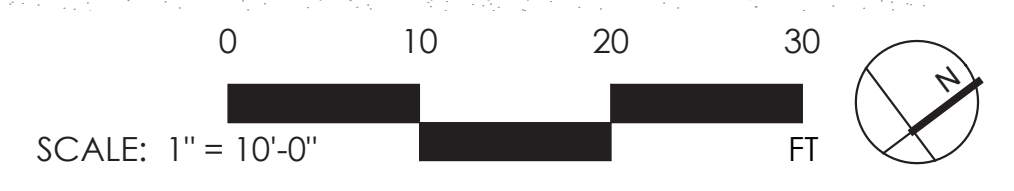


TRUCK 1

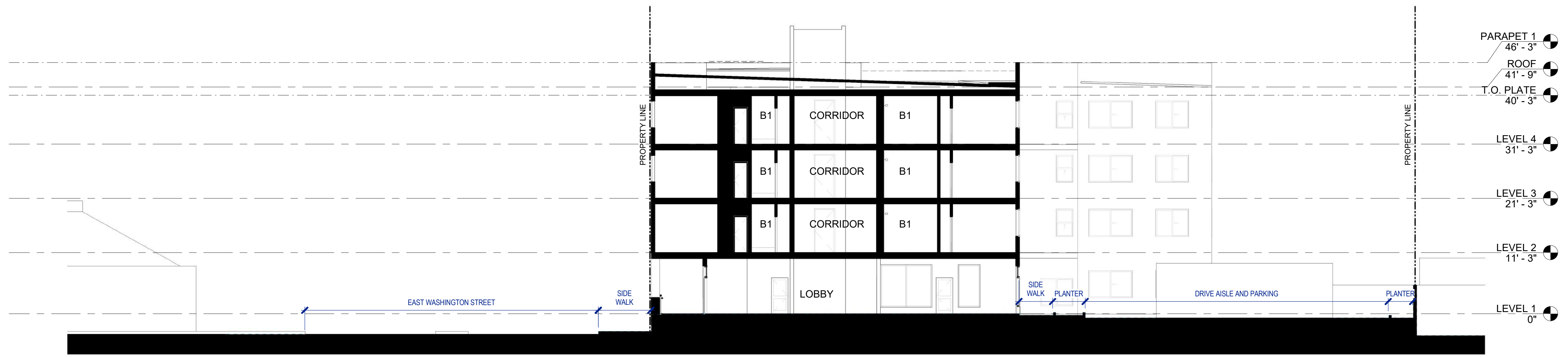
TRUCK 2

TRUCK 3

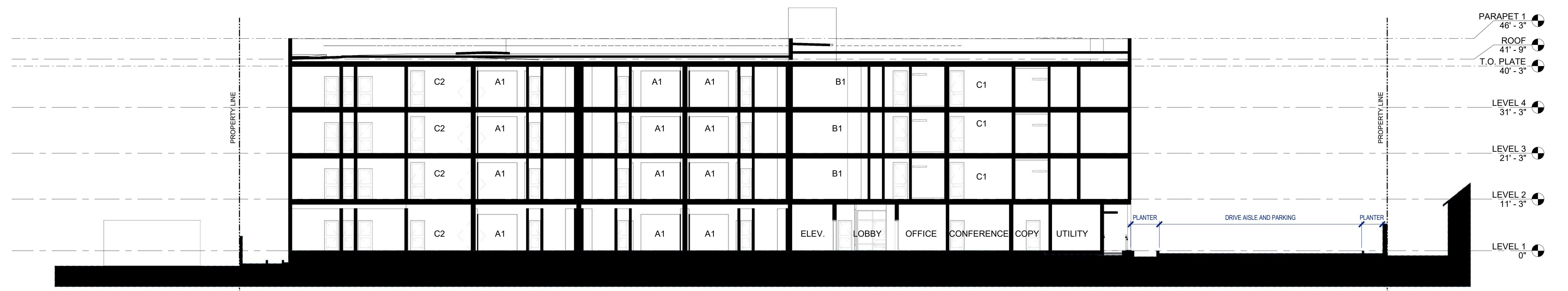
EAST WASHINGTON STREET



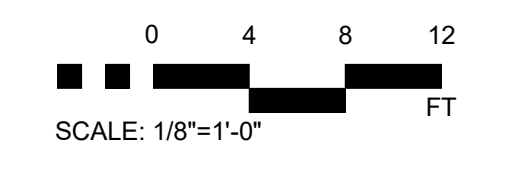




SITE SECTION - SOUTH  
3/32" = 1'-0" 2



SITE SECTION - WEST  
3/32" = 1'-0" 1



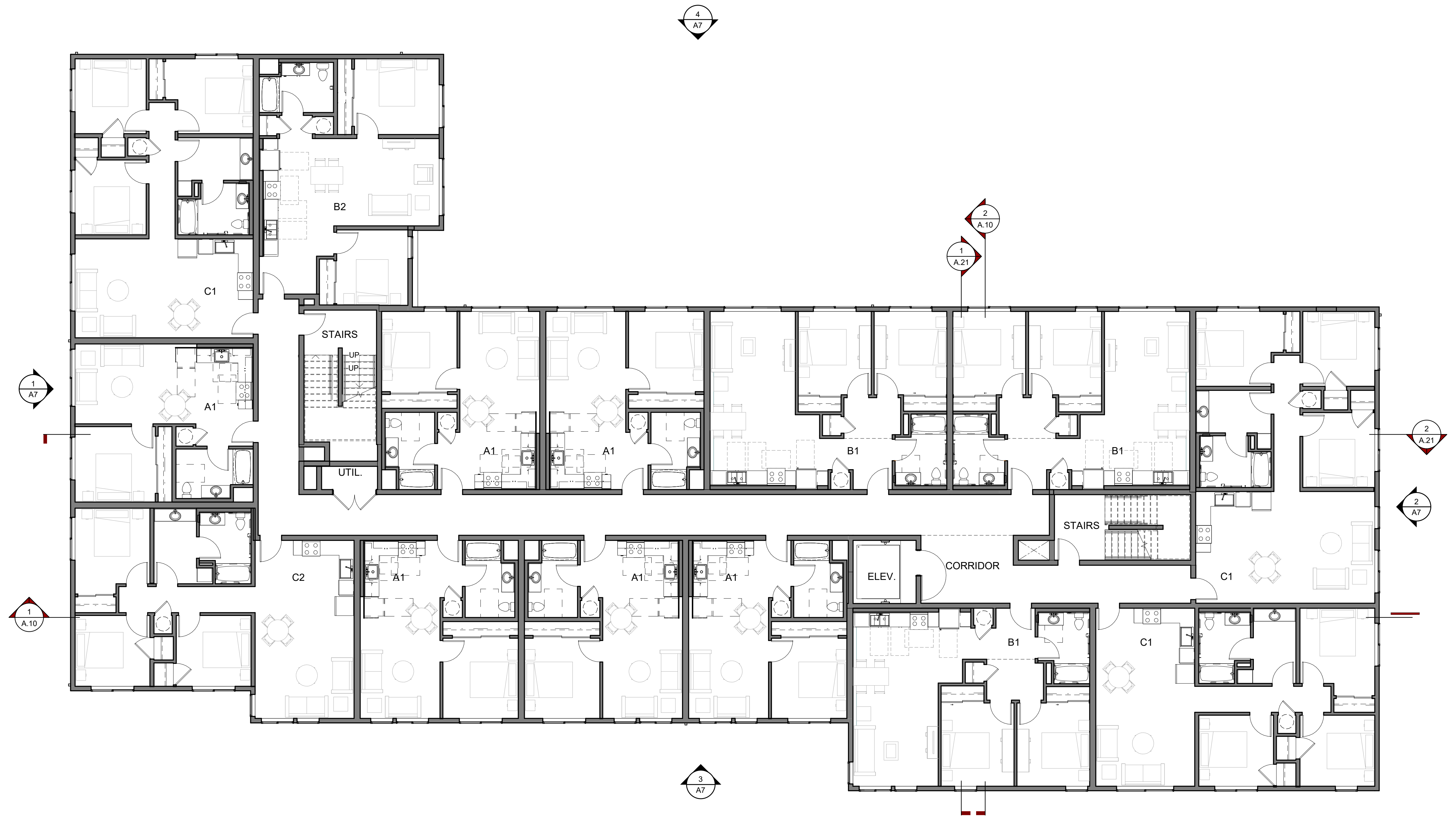




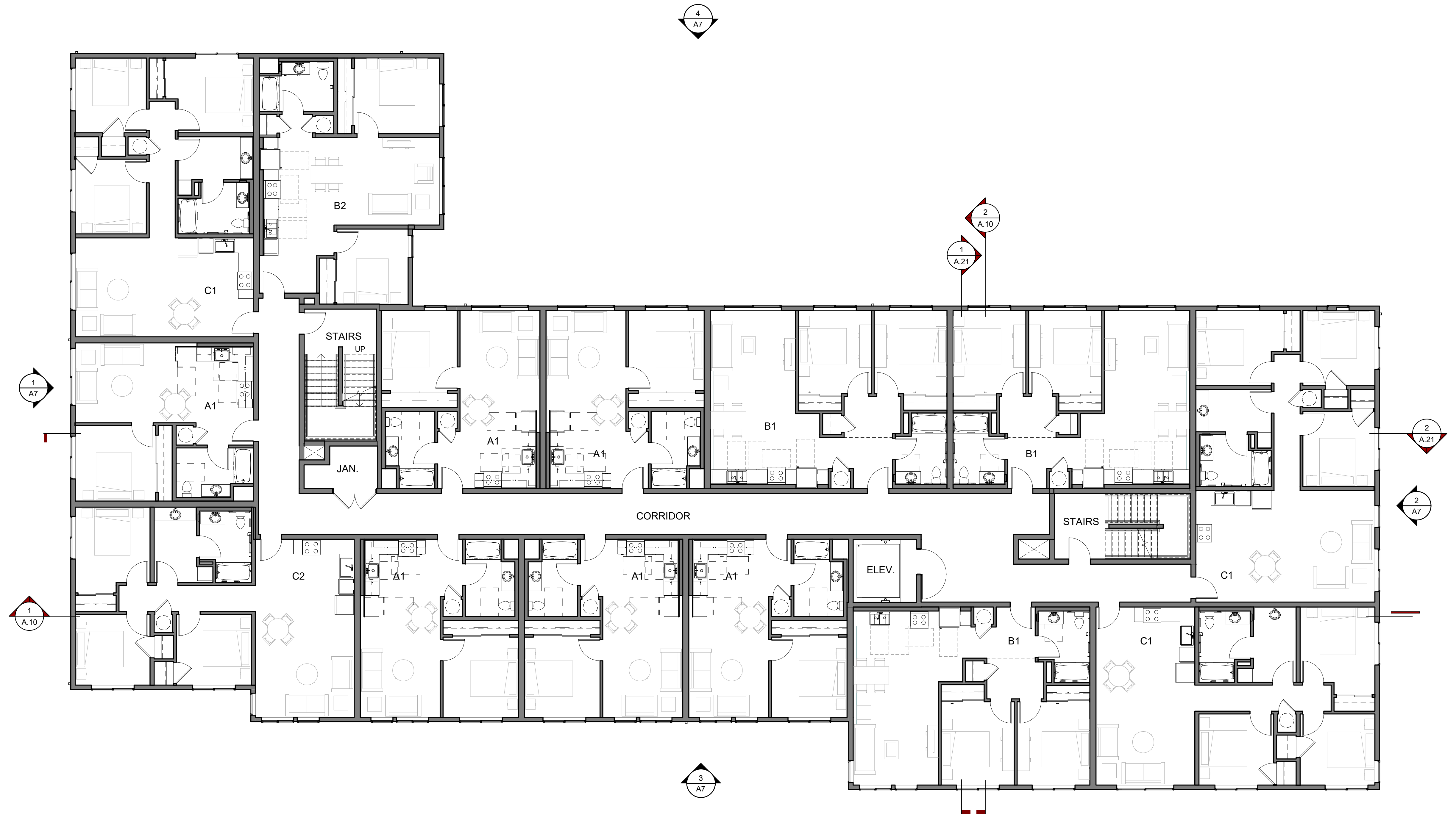
FIRST FLOOR PLAN | 1  
1/8" = 1'-0"







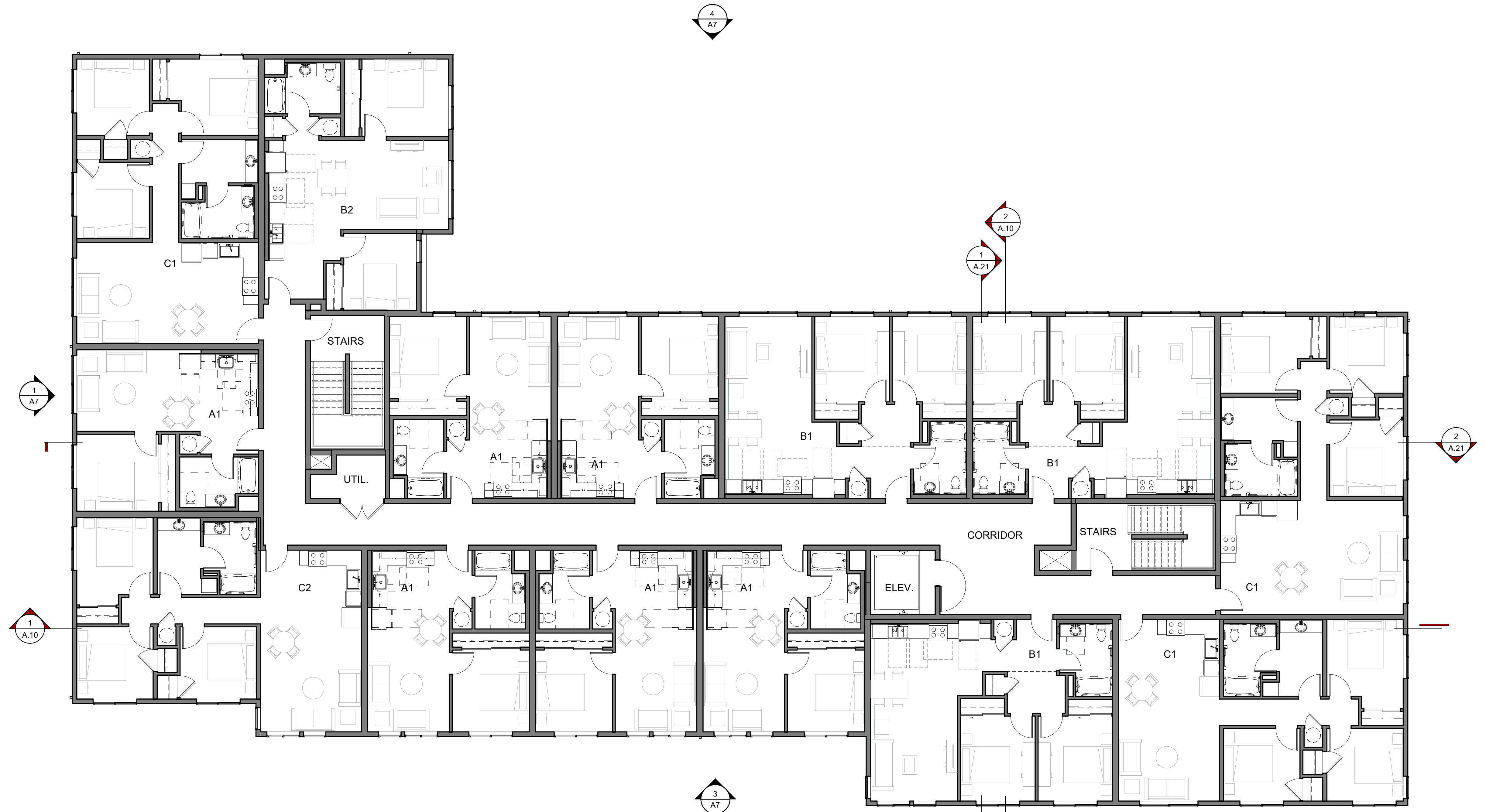




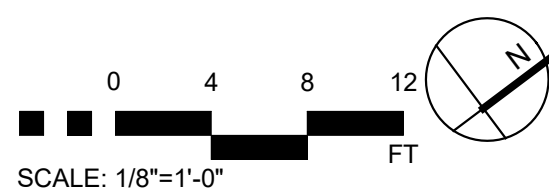
3RD FLOOR PLAN | 1  
1/8" = 1'-0"



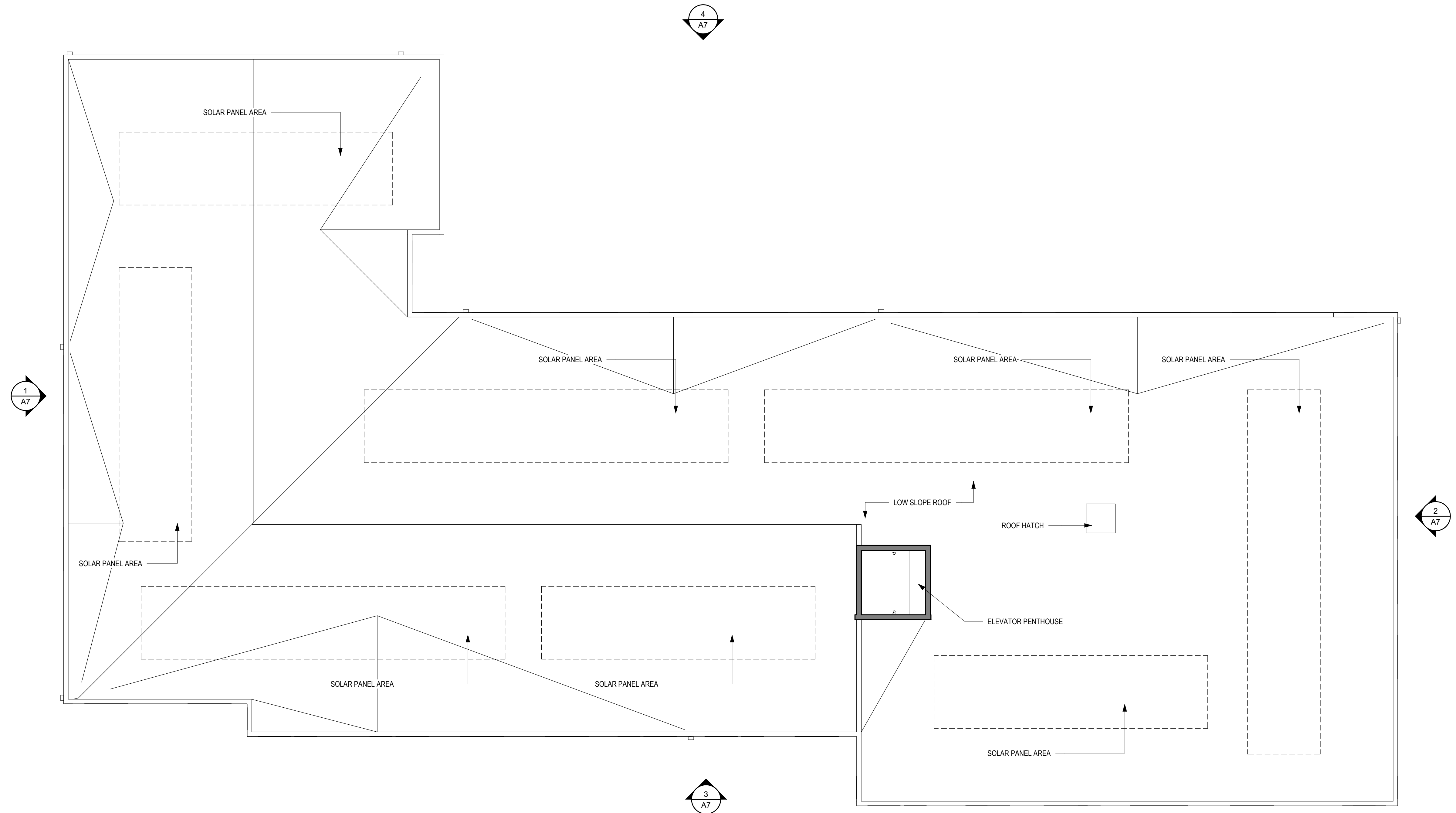




4TH FLOOR PLAN | 1  
1/8" = 1'-0"



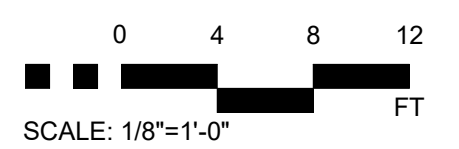
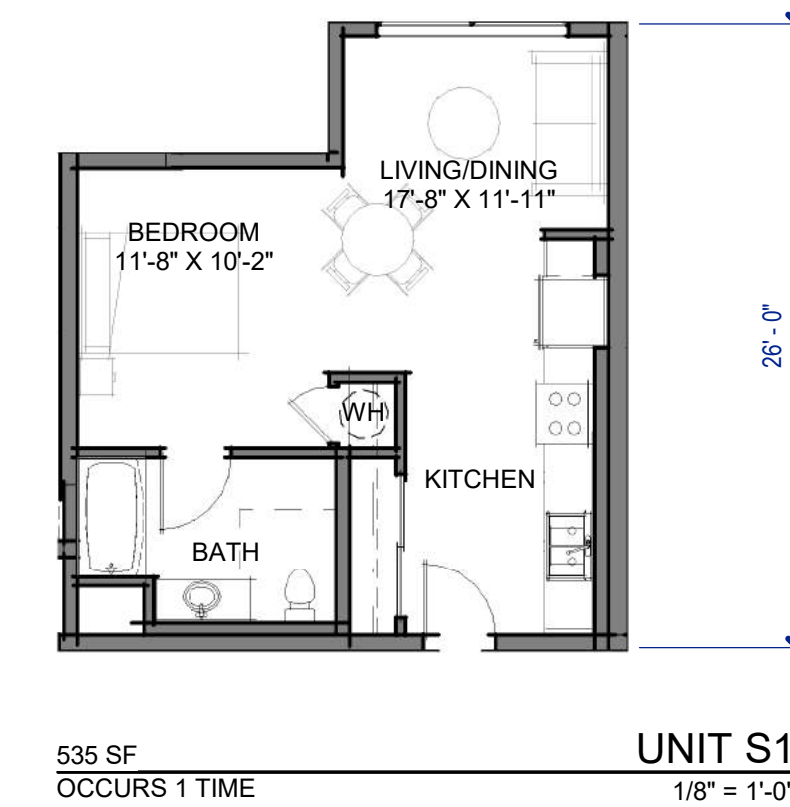
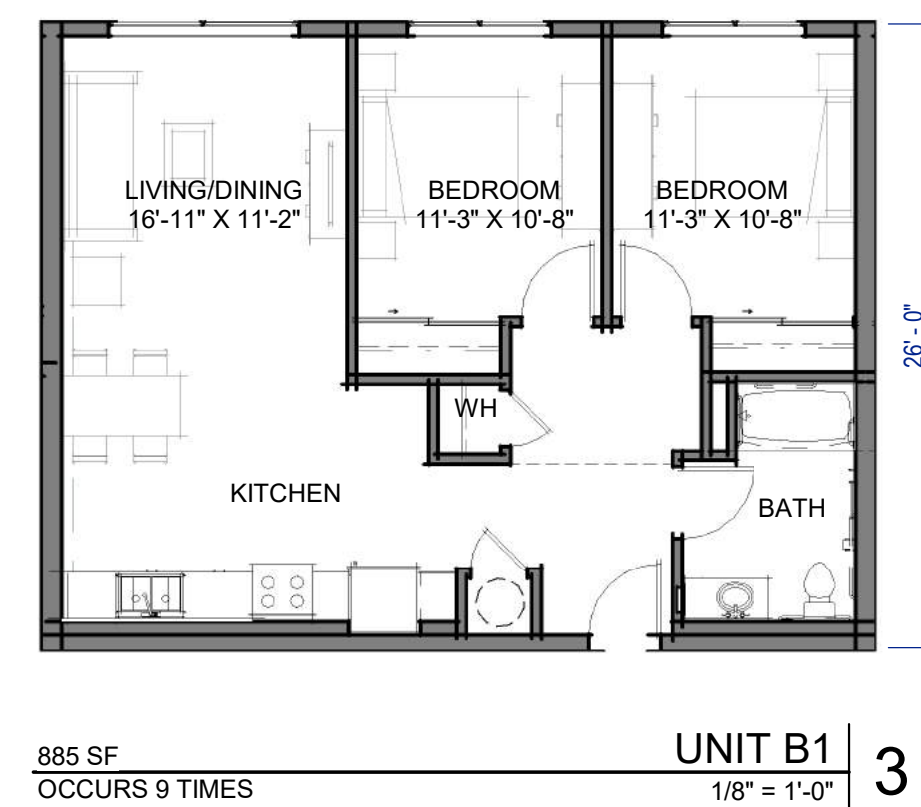
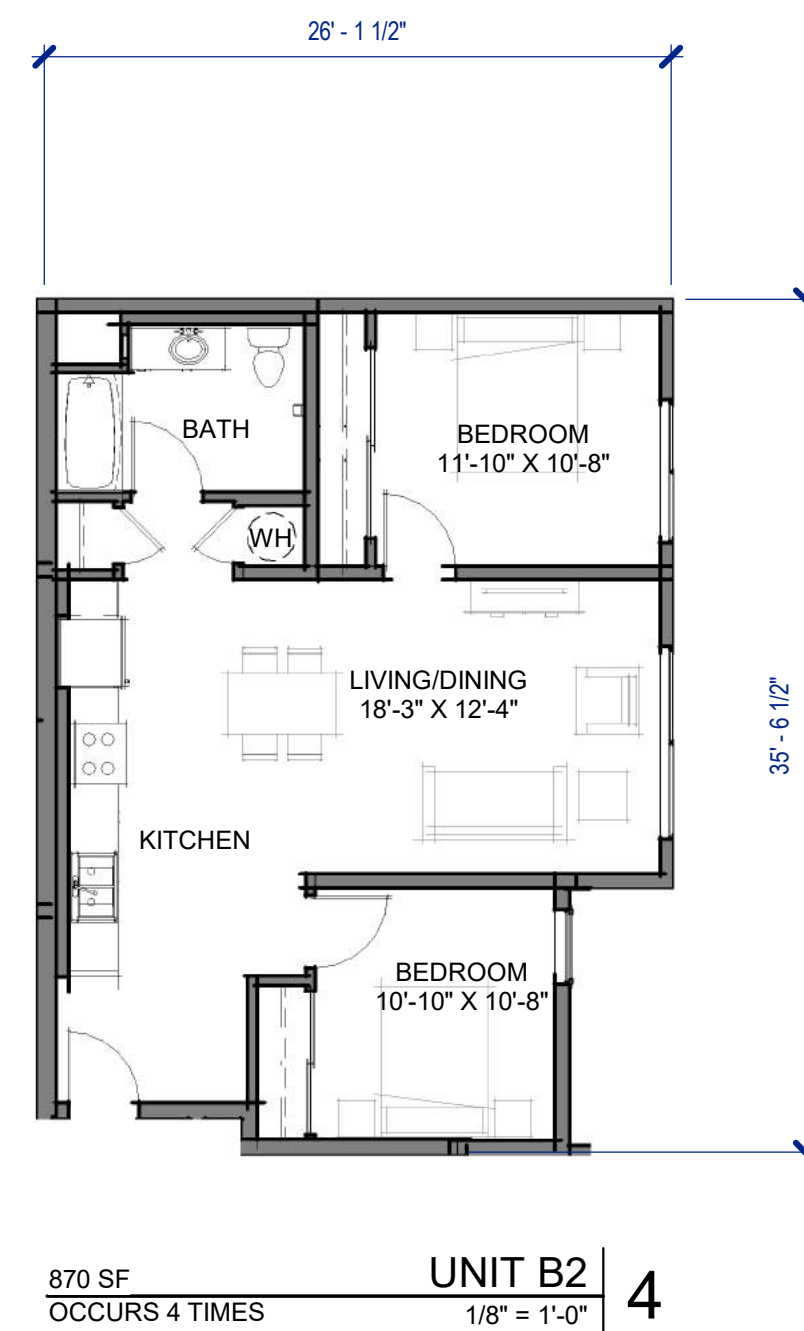
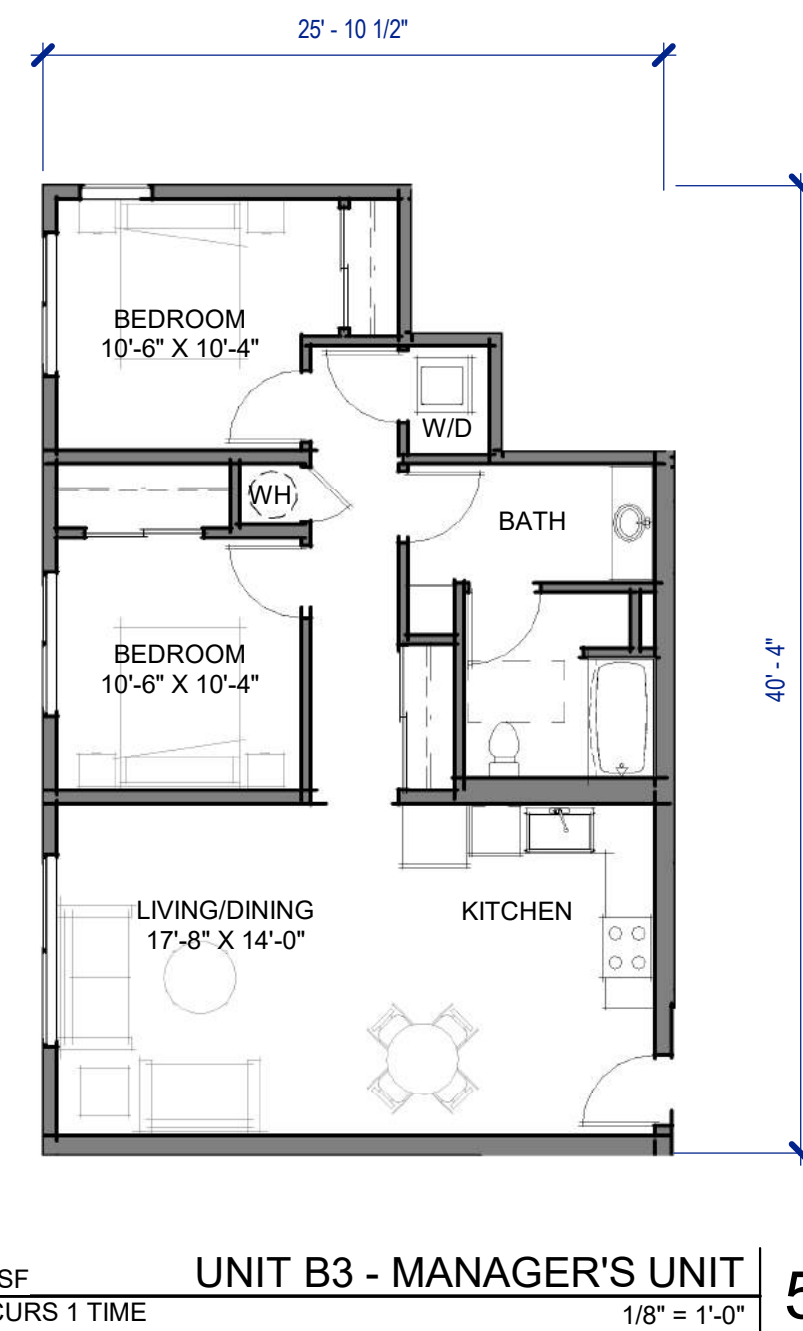
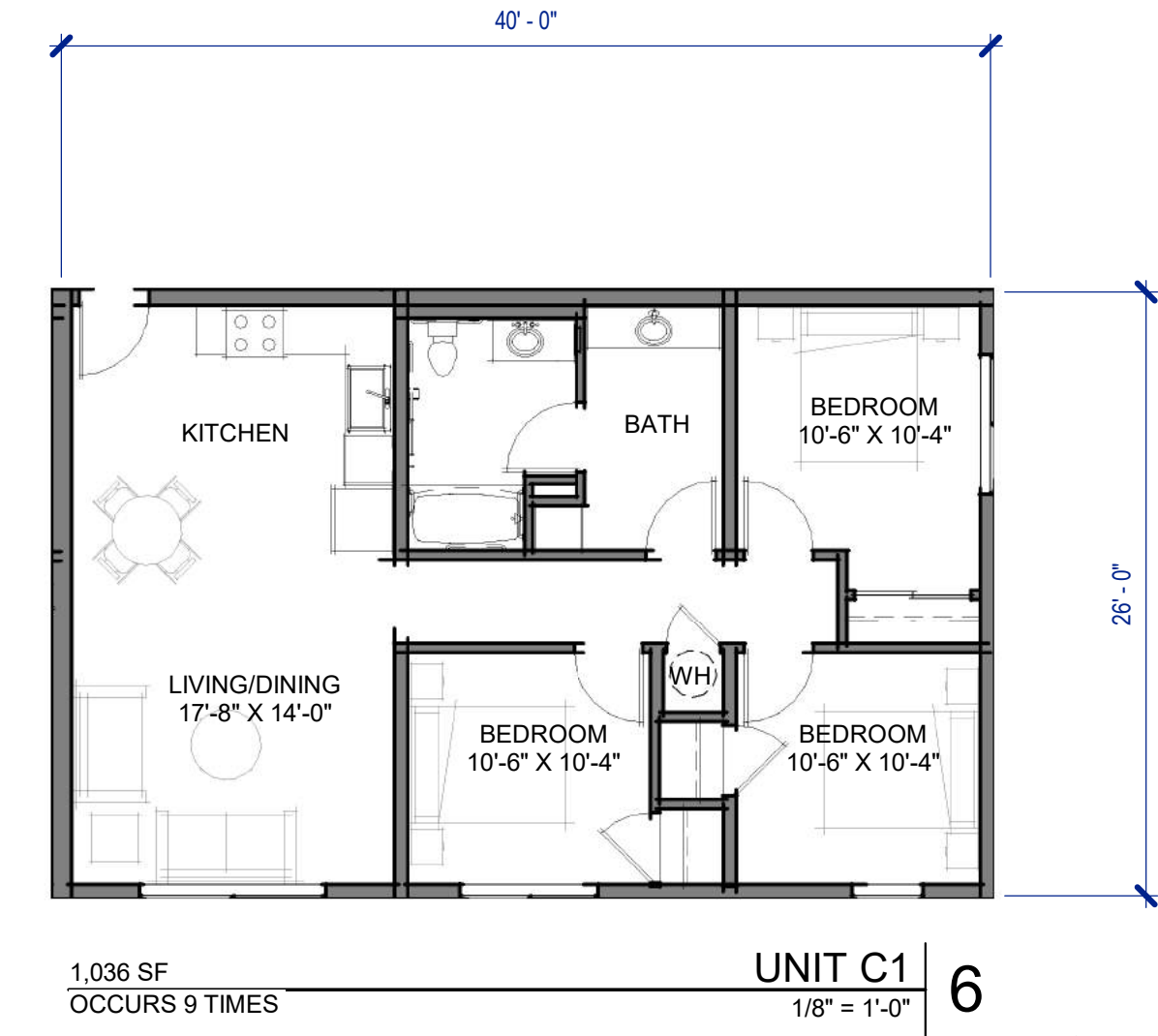
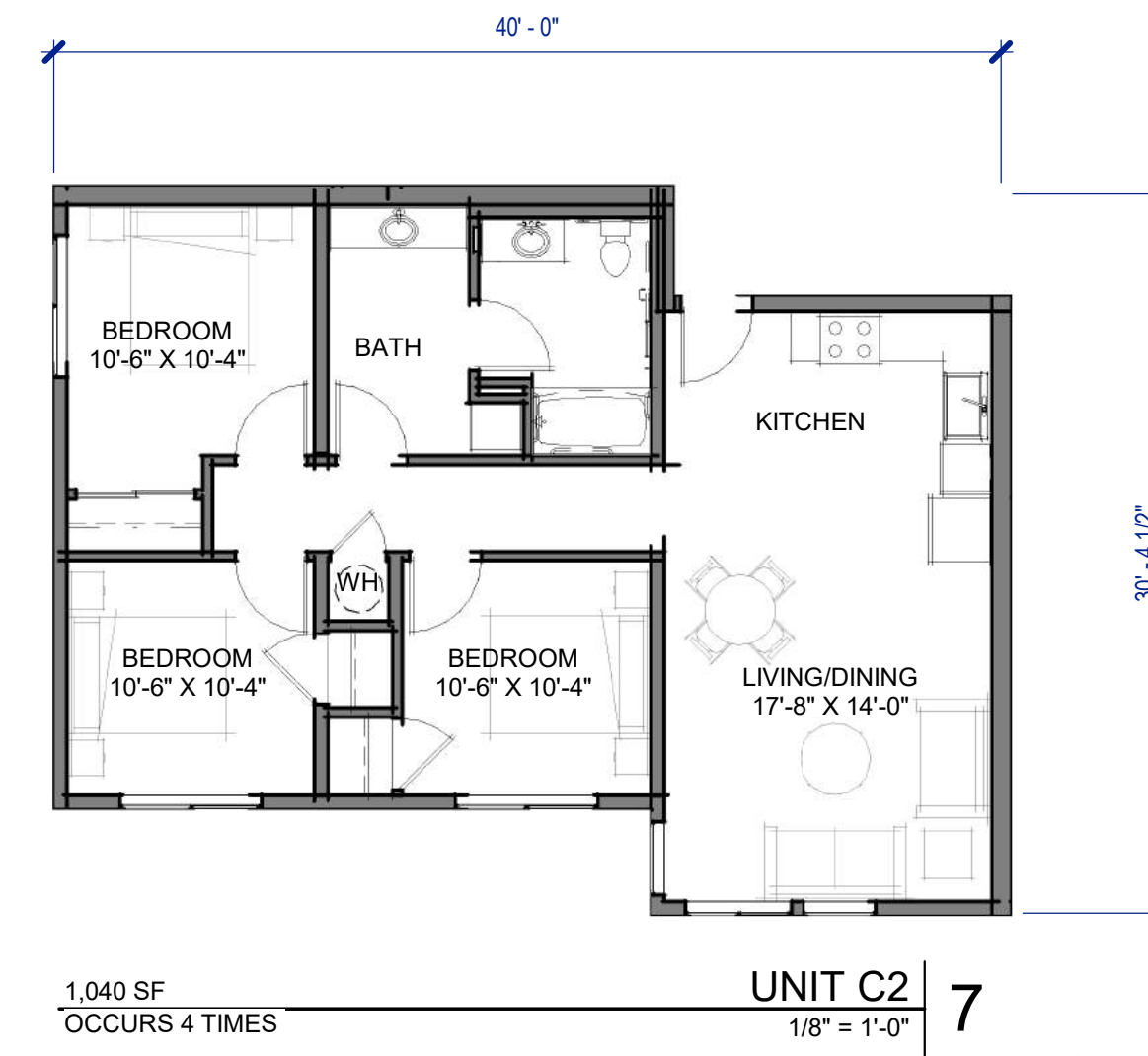




ROOF PLAN | 1  
1/8" = 1'-0"



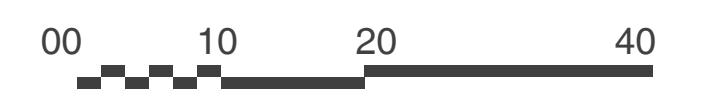








Scale: 1" = 20'-0"



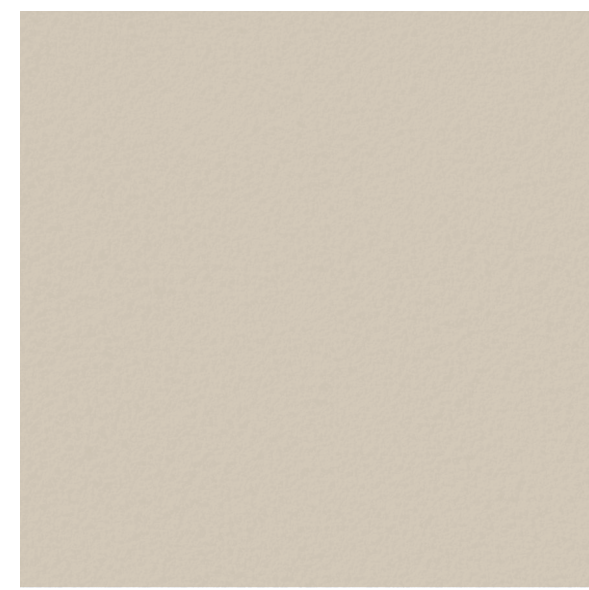




1. CEMENT PLASTER  
- PEARLY WHITE



2. CEMENT PLASTER  
- DARK GREY



3. CEMENT PLASTER  
- TAN



4. CEMENT PLASTER  
- LIGHT GREY



5. CEMENT PLASTER  
- LIGHT BROWN



6. CEMENT PLASTER  
- DARK BROWN



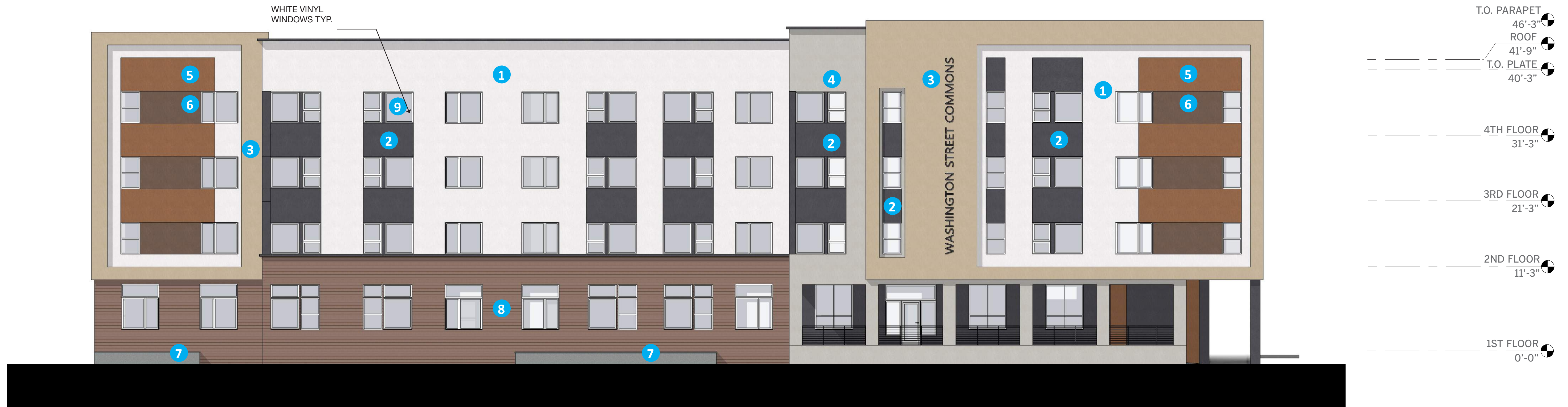
7. CAST IN PLACE  
CONCRETE



8. HORIZONTAL  
SIDING  
- TAUPE BROWN



9. WHITE VINYL  
WINDOWS



1. FRONT ELEVATION



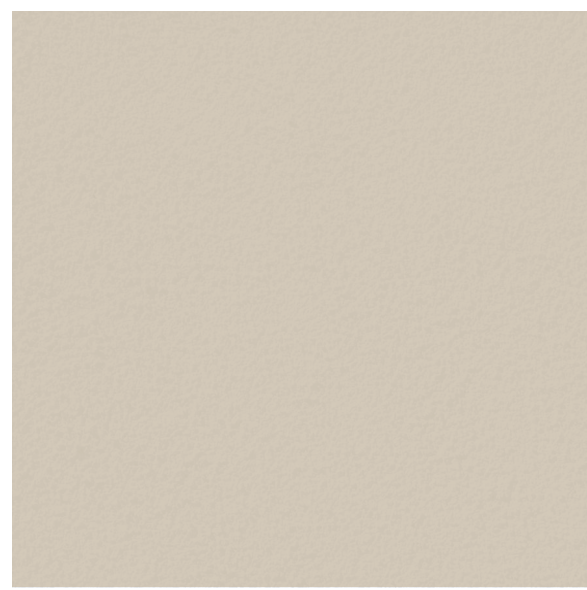




1. CEMENT PLASTER  
- PEARLY WHITE



2. CEMENT PLASTER  
- DARK GREY



3. CEMENT PLASTER  
- TAN



4. CEMENT PLASTER  
- LIGHT GREY



5. CEMENT PLASTER  
- LIGHT BROWN



6. CEMENT PLASTER  
- DARK BROWN



7. CAST IN PLACE  
CONCRETE



8. HORIZONTAL  
SIDING  
- TAUPE BROWN



9. WHITE VINYL  
WINDOWS



2. SIDE ELEVATION

WHITE VINYL  
WINDOWS TYP.

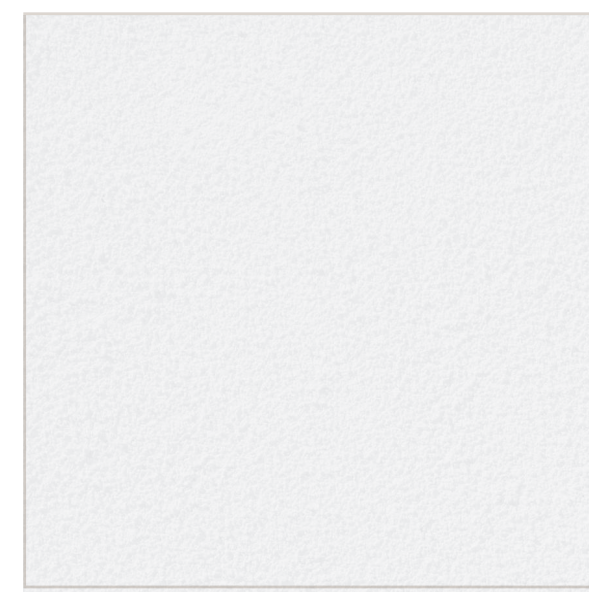


1. SIDE ELEVATION

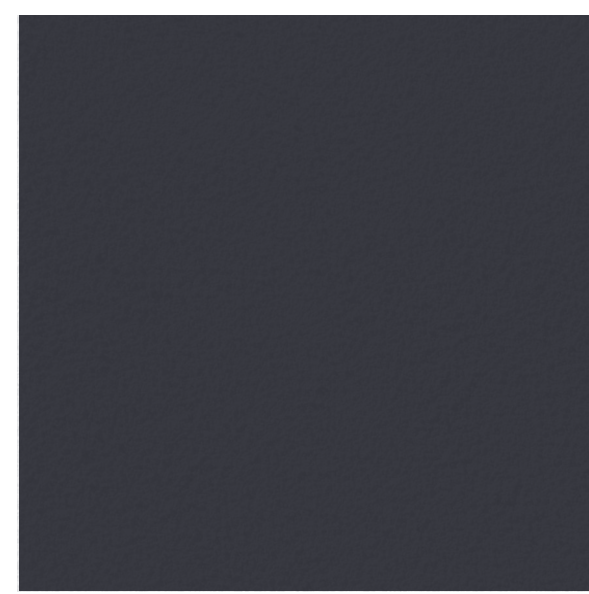
- T.O. PARAPET 46'-3"
- ROOF 41'-9"
- T.O. PLATE 40'-3"
- 4TH FLOOR 31'-3"
- 3RD FLOOR 21'-3"
- 2ND FLOOR 11'-3"
- 1ST FLOOR 0'-0"

Scale: 1/8" = 1'-0" 00 8 16 32

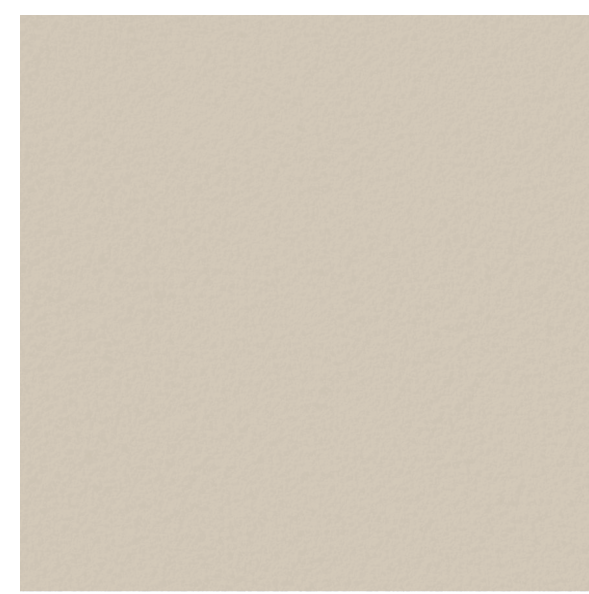




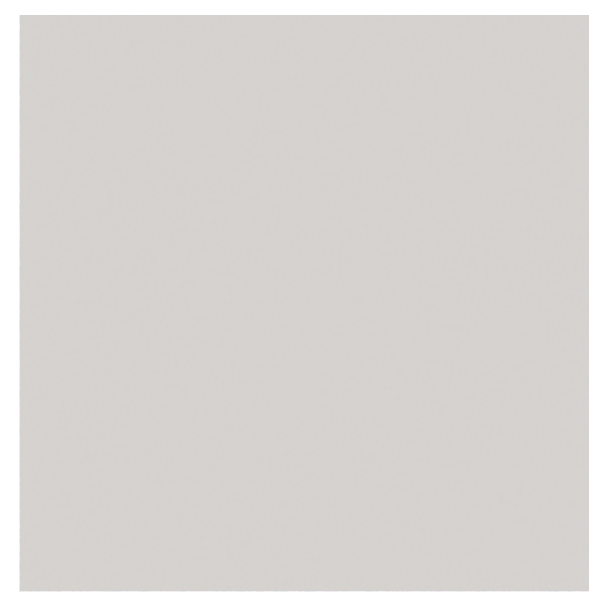
1. CEMENT PLASTER  
- PEARLY WHITE



2. CEMENT PLASTER  
- DARK GREY



3. CEMENT PLASTER  
- TAN



4. CEMENT PLASTER  
- LIGHT GREY



5. CEMENT PLASTER  
- LIGHT BROWN



6. CEMENT PLASTER  
- DARK BROWN



7. CAST IN PLACE  
CONCRETE



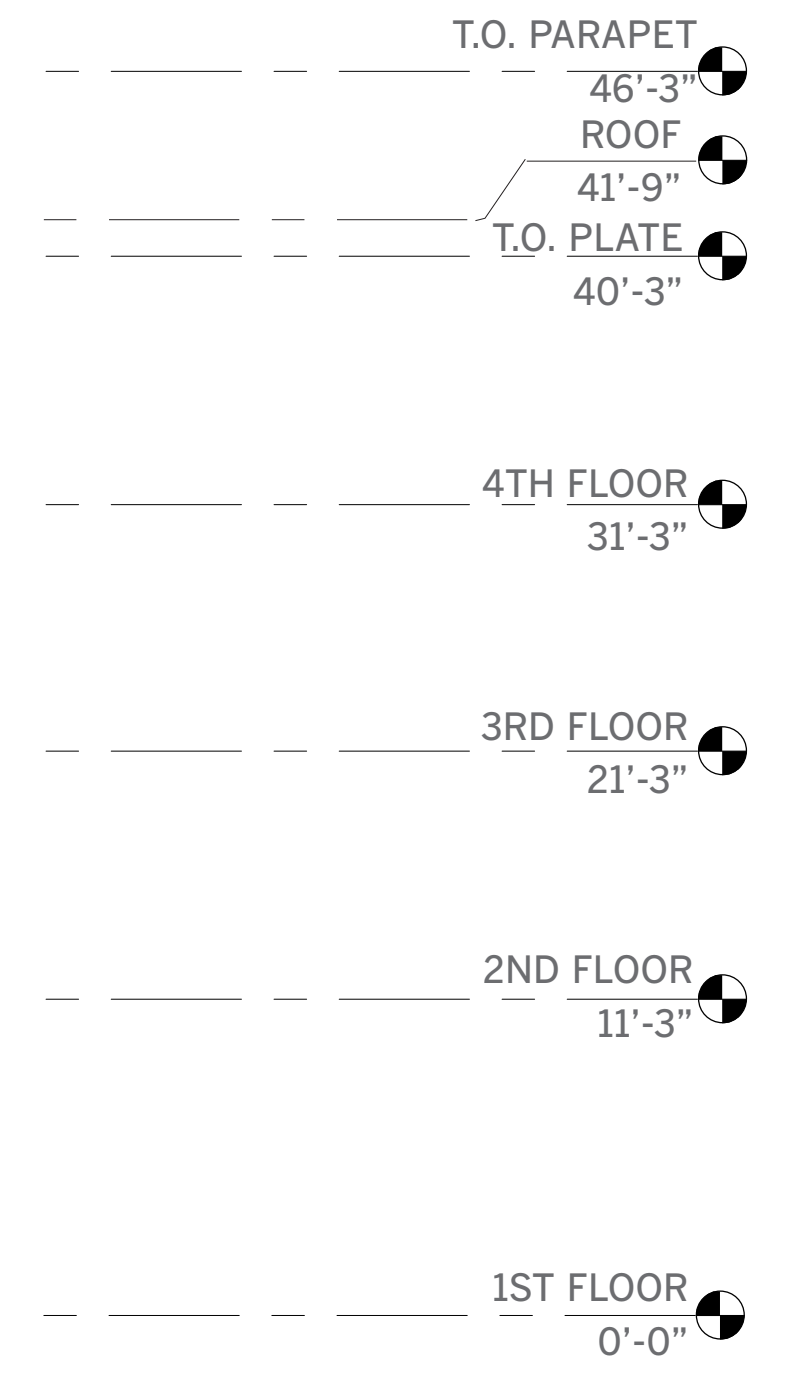
8. HORIZONTAL  
SIDING  
- TAUPE BROWN



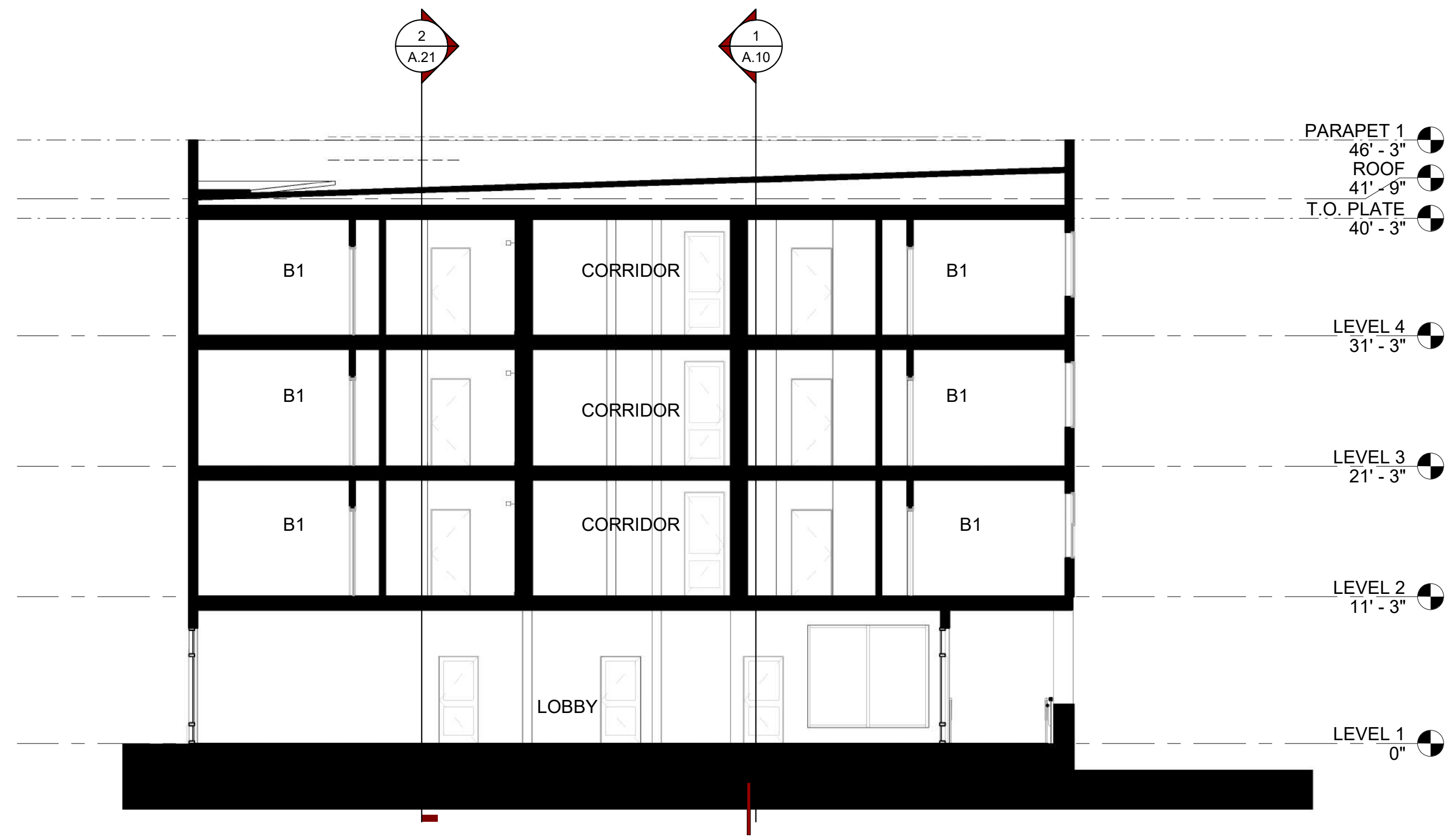
9. WHITE VINYL  
WINDOWS



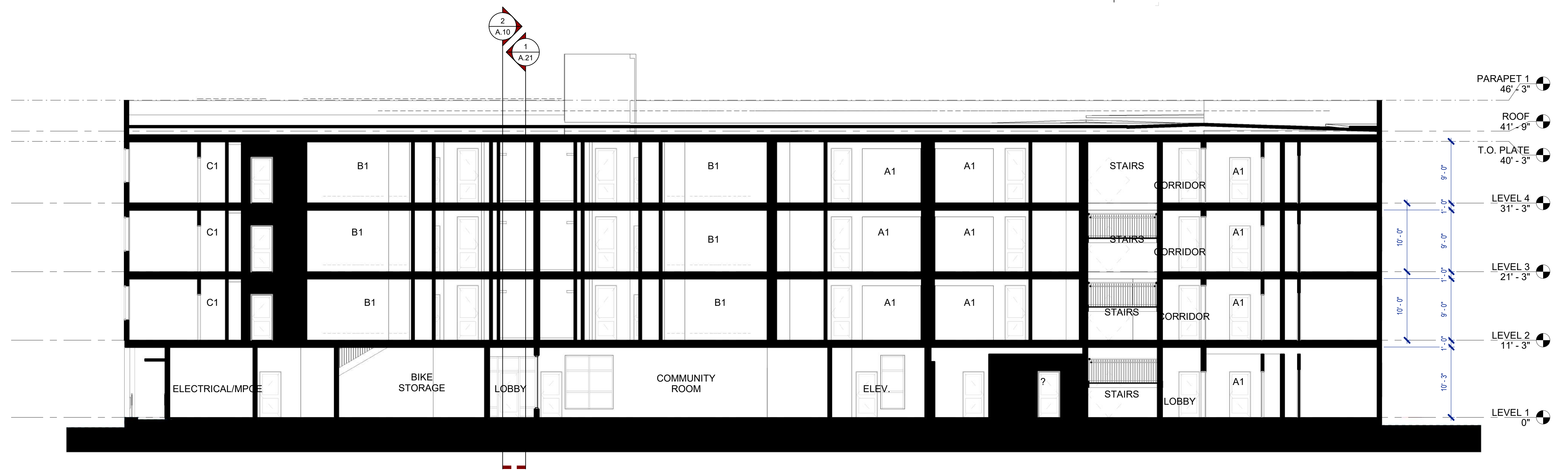
1. FRONT ELEVATION



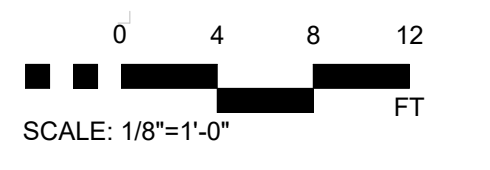




NORTH SECTION 1  
1/8" = 1'-0"



EAST SECTION 2  
1/8" = 1'-0"





GENERAL NOTES:

- 1. ALL MATERIAL AND WORKMANSHIP SHALL FULLY CONFORM TO THE SPECIFICATIONS, STANDARDS AND ORDINANCES OF THE CITY OF PETALUMA.
- 2. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE 'SONOMA COUNTY WATER AGENCY FLOOD CONTROL DESIGN STANDARDS' AND THE CITY OF PETALUMA 'STORM DRAIN DETAIL SPECIFICATION NO. 31.'

GRADING NOTES

- 1. THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY ROCKRIDGE GEOTECHNICAL (PROJECT NO. 22-2309) DATED JANUARY 24, 2023, IS HEREBY INCORPORATED AS A PART OF THESE PLANS.
- 2. THE OWNER SHALL RETAIN THE GEOTECHNICAL ENGINEER OF RECORD TO PROVIDE OBSERVATION AND TESTING OF SITE GRADING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- 1. THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTERS 15.80 AND 17.31 OF THE CITY MUNICIPAL CODE AND OTHER APPLICABLE CITY OF PETALUMA REGULATIONS, AND SECTION 20 OF THE CALTRANS SPECIFICATIONS.
- 2. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.

- 2. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.

- 2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.

ABOVE: TABLE WITH 2 COLUMNS: MATERIALS, APPLICATION RATE (POUNDS PER ACRE). ROWS: SEED MIX (BROMUS MOLLIS, TRIFOLIUM HIRTUM), FERTILIZER (16-20-0 & 15% SULPHUR), MULCH (STRAW), HYDRAULIC STABILIZING\* (M-BINDER OR SENTINEL).

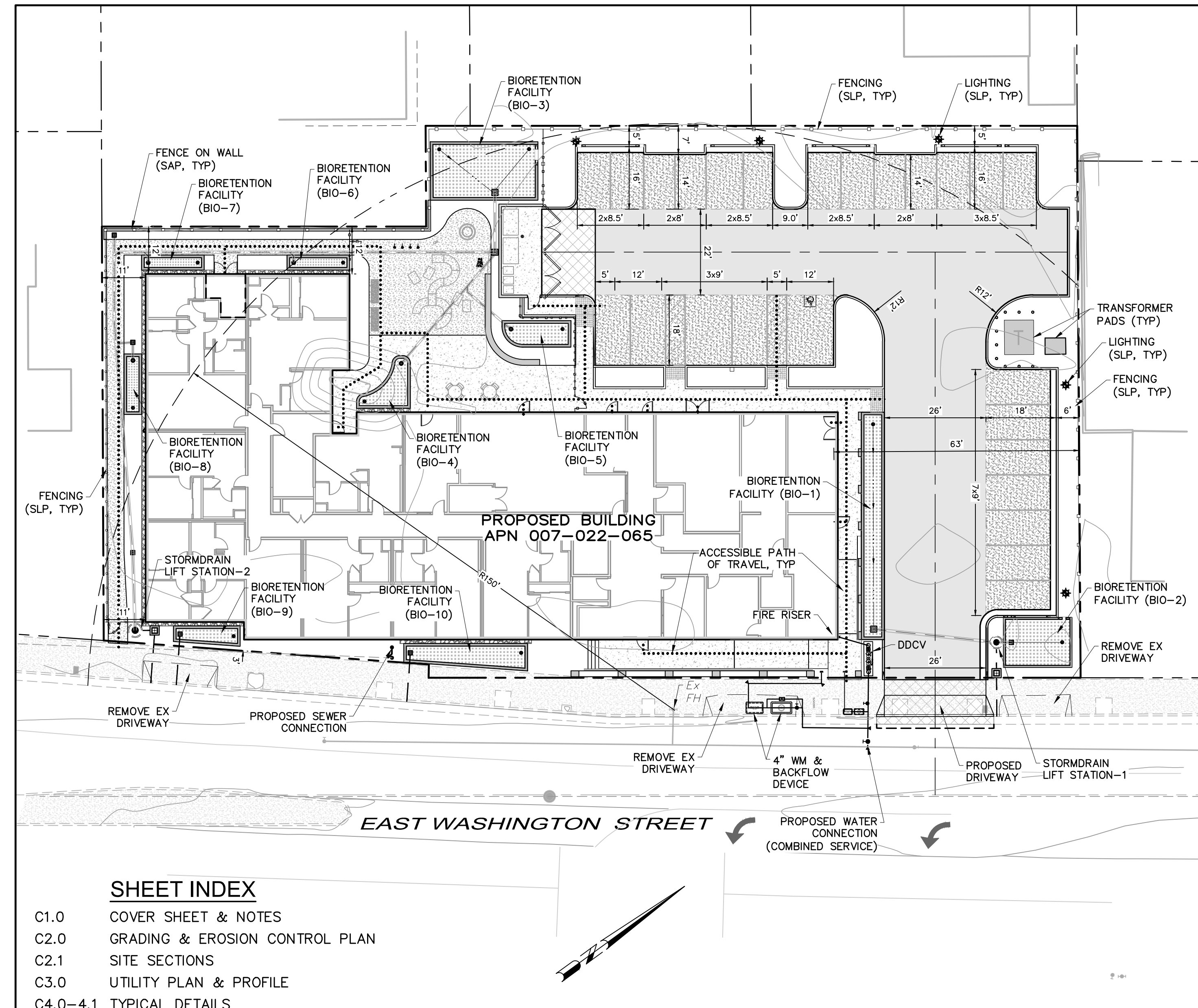
- 13. THE CONTRACTOR SHALL PERFORM EARTHWORK CALCULATIONS WHICH ACCOUNT FOR HIS/HER PROPOSED METHODS OF GRADING AND TRENCHING AS HE/SHE DEEMS NECESSARY FOR BIDDING AND CONSTRUCTION PURPOSES. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO BALANCE THE EARTHWORK OF THIS PROJECT AND TO ACCOUNT FOR THE COST OF ANY NECESSARY IMPORTING OR EXPORTING OF EARTH IN HIS/HER BID. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THIS ITEM OF WORK UNLESS THE OWNER REQUESTS ADDITIONAL WORK BE PERFORMED.

ABBREVIATIONS

ABOVE: TABLE WITH 3 COLUMNS: SYMBOL, ABBREVIATION, DESCRIPTION. ROWS: AD (AGGREGATE BASE), AC (ASPHALT CONCRETE), BCR (BEGIN CURB RETURN), BLDG (BUILDING), BOL (BOTTOM OF GRAVEL LAYER), BM (BENCHMARK), BNDY (BOUNDARY), C&G (CURB AND GUTTER), CB (CATCH BASIN), CL (CENTERLINE), CL (CLASS), CLUS (CLUSTER), CP (CONTROL POINT), CMP (CORRUGATED METAL PIPE), CONC (CONCRETE), DI (DRAINAGE INLET), DIA (DIAMETER), DW (DOMESTIC WASTE), DWG (DRAWING), ER (EDGE OF PAVEMENT), ESMT (EASEMENT), EX (AGGREGATE BASE), FL (FLOWLINE), FG (FINISH GRADE), FH (FIRE HYDRANT), FM (FORCE MAIN), GB (GRADE BREAK), GR (GRATE), GUY (GUY WIRE), HDPE (HIGH DENSITY POLYETHYLENE), HOR (HORIZONTAL), HP (HIGH POINT), IG (INVERT GRADE), LAT (LATERAL), LF (LINEAR FEET), LT (LEFT), MAX (MAXIMUM), MH (MANHOLE), MIN (MINIMUM), MON (MONUMENT), NTS (NOT TO SCALE), NO (NUMBER), ON (ON CENTER), PBM (PROJECT BENCHMARK), PL (PUBLIC UTILITY EASEMENT), RUC (REGISTERED CIVIL ENGINEER), RCP (REINFORCED CONCRETE PIPE), RBPB (REDUCED PRESSURE BACKFLOW PREVENTOR), RPOPC (REDUCED PRESSURE DETECTOR CHECK), RT (RIGHT), R/W (RIGHT OF WAY), S (SLOPE), SCH (SCHEDULE), SD (STORM DRAIN), SDMH (STORM DRAIN MANHOLE), SF (SQUARE FEET), STR (STREET LIGHT), SLP (SEE LANDSCAPING PLANS), SPP (SEE PLUMBING PLANS), SPEC (SPECIFICATIONS), SS (SANITARY SEWER), SSP (SEE STRUCTURAL PLANS), STA (STATION), STD (STANDARD), TEL (TELEPHONE), TOL (TOP OF GRAVEL LAYER), TSL (TOP OF SOIL LAYER), TYP (TYPICAL), VAR (VARIES), VERT (VERTICAL), W (WATER), WM (WATER METER), WL (WATER LINE).

WASHINGTON COMMONS PRELIMINARY IMPROVEMENT PLANS

817, 821 & 825 East Washington Street, Petaluma, California APN 007-022-065



OVERALL SITE PLAN SCALE: 1" = 20'

- SHEET INDEX: C1.0 COVER SHEET & NOTES, C2.0 GRADING & EROSION CONTROL PLAN, C2.1 SITE SECTIONS, C3.0 UTILITY PLAN & PROFILE, C4.0-4.1 TYPICAL DETAILS

DEVELOPER INFO: MIDPEN HOUSING CORP., 530 COLLEGE AVE., SANTA ROSA, CA 95401 (707) 398-2382

MEP ENGINEER: EMERALD CITY ENGINEERS, INC., 21705 HIGHWAY 99, LYNNWOOD, WA 98036 (425) 741-1200

LANDSCAPE & ARCHITECT: LPAS ARCHITECTURE & DESIGN, 53RD STREET, SAN FRANCISCO, CA 94103 (415) 213-0335

GEOTECHNICAL ENGINEER: ROCKRIDGE GEOTECHNICAL, 270 GRAND AVENUE, OAKLAND, CA 94610 (510) 420-5738

CIVIL ENGINEER & LAND SURVEYOR: ADOBE ASSOCIATES, INC., 1220 N. DUTTON, SANTA ROSA, CA 95401 (707) 541-2300

PARKING REPORT: - ONSITE PARKING: 25, - ACCESSIBLE: 2 (1 VAN)

LPAS

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WASHINGTON COMMONS

Affordable Housing PETALUMA, CA

MidPen Housing Corp.

NO. ISSUE DATE: 1 PRICING SET 5/1/2023, 2 REVISED SET 8/8/2023, 3 REVISED SET 8/24/2023

PROFESSIONAL ENGINEER: David R. Brown, RCE 41833 My license expires 3/31/2024 APPROVAL

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COVER SHEET & NOTES

PROJECT NO: 22288 DATE: 08/08/2023

SHEET NO: C1.0

C1.0

PRELIMINARY SET



## WASHINGTON COMMONS

Affordable Housing

PETALUMA, CA

## MidPen Housing Corp.

NO.	ISSUE	DATE
1	PRICING SET	5/1/2023
2	REVISED SET	8/8/2023
3	REVISED SET	8/24/2023



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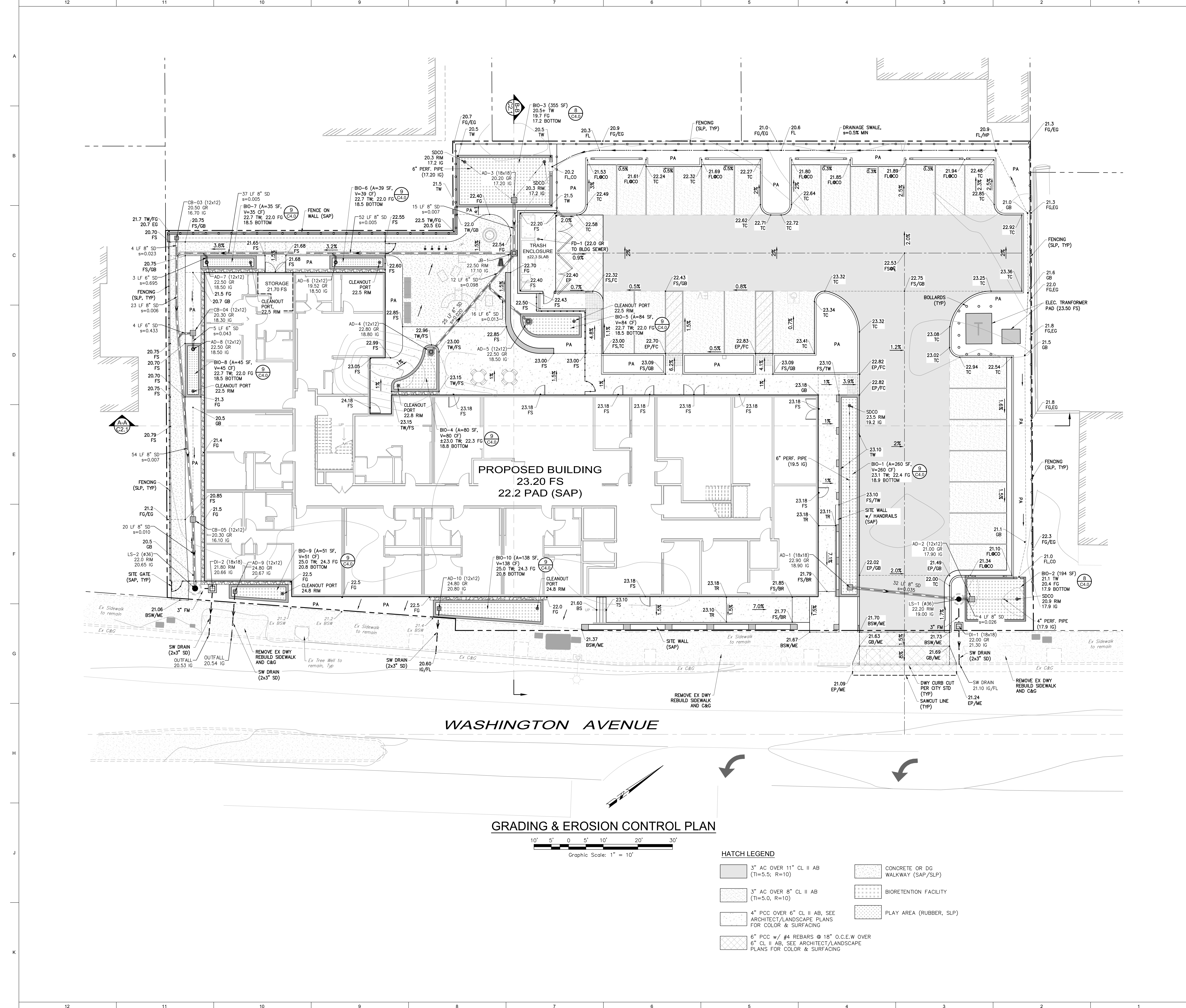
## GRADING & EROSION CONTROL PLAN

PROJECT NO: 22288  
DATE: 08/08/2023

SHEET NO:

# C2.0

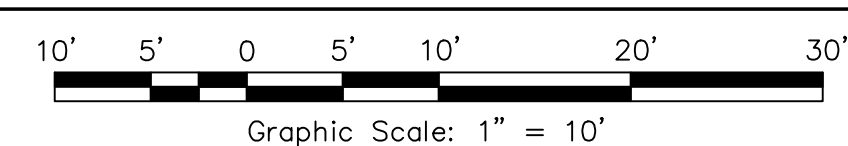
PRELIMINARY SET



**PROPOSED BUILDING**  
23.20 FS  
22.2 PAD (SAP)

**WASHINGTON AVENUE**

### GRADING & EROSION CONTROL PLAN



#### HATCH LEGEND

- 3" AC OVER 11" CL II AB (TI=5.5, R=10)
- 3" AC OVER 8" CL II AB (TI=5.0, R=10)
- 4" PCC OVER 6" CL II AB, SEE ARCHITECT/LANDSCAPE PLANS FOR COLOR & SURFACING
- 6" PCC w/ #4 REBARS @ 18" O.C.E.W OVER 6" CL II AB, SEE ARCHITECT/LANDSCAPE PLANS FOR COLOR & SURFACING
- CONCRETE OR DG WALKWAY (SAP/SLP)
- BIORETENTION FACILITY
- PLAY AREA (RUBBER, SLP)

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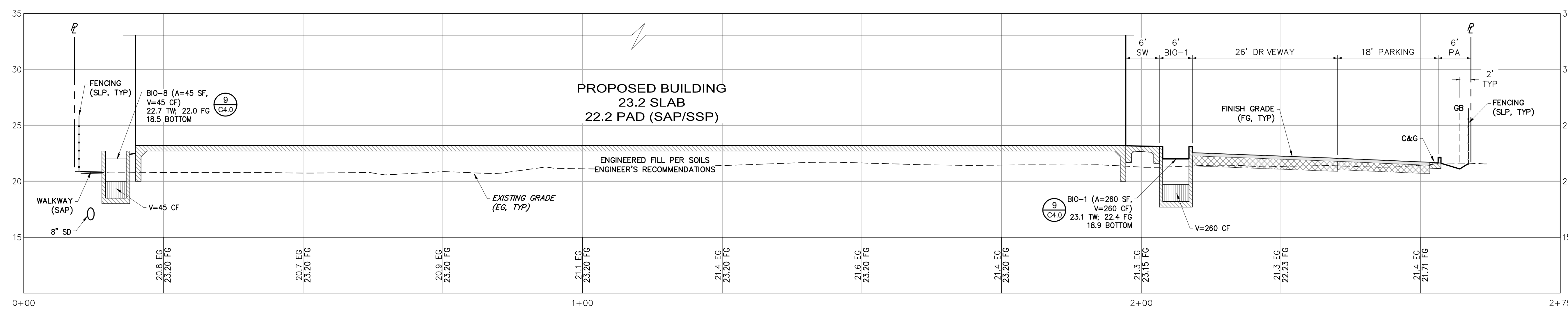
## WASHINGTON COMMONS

Affordable Housing

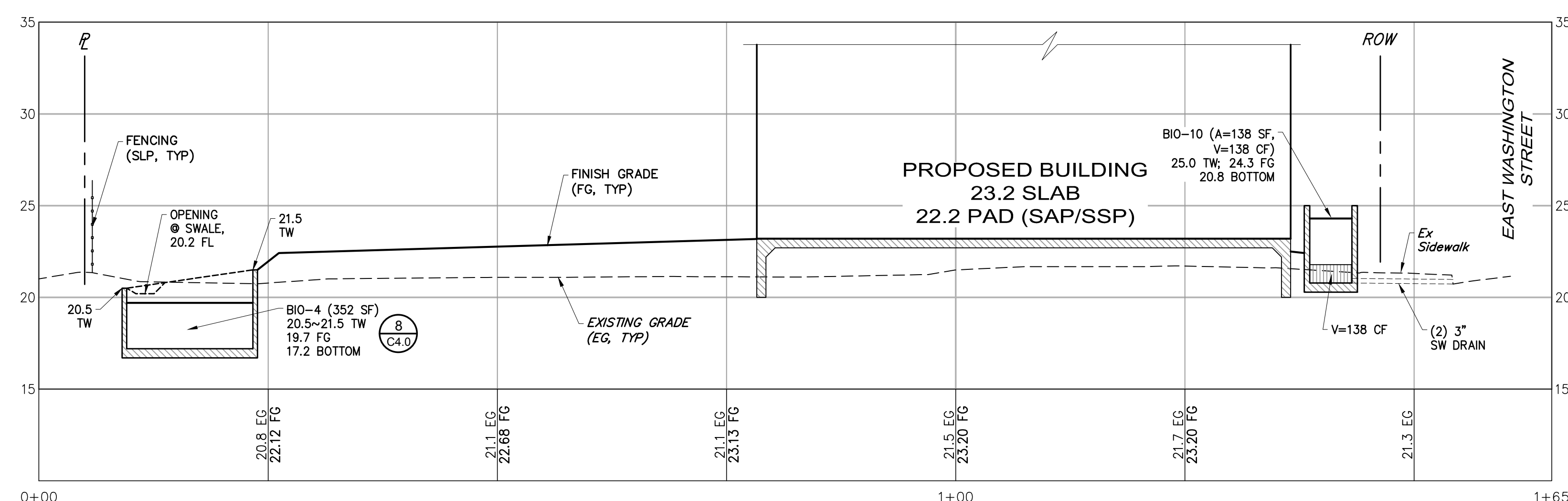
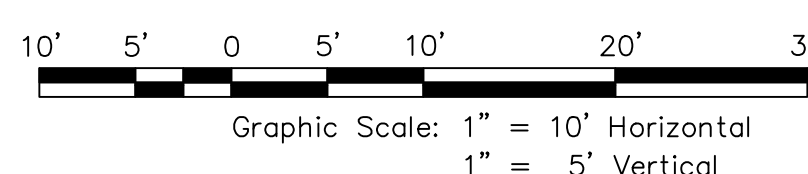
PETALUMA, CA

MidPen Housing Corp.

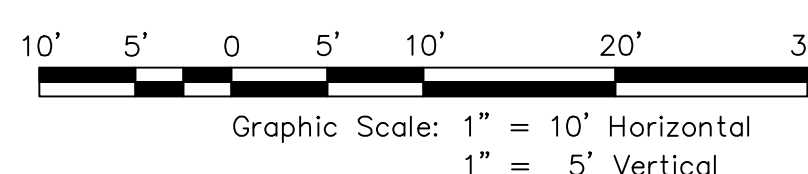
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3	REVISED SET	8/24/2023



**SITE SECTION A-A**



**SITE SECTION B-B**



*David R. Brown*

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### SITE SECTION

PROJECT NO: 22288  
DATE: 08/08/2023

SHEET NO:

# C2.1

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## WASHINGTON COMMONS

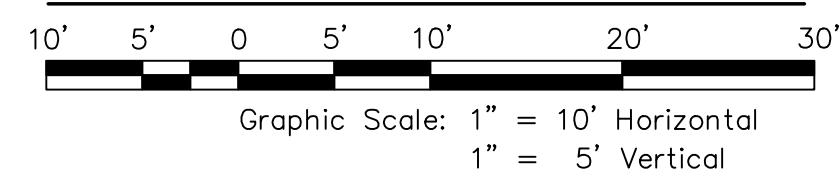
Affordable Housing

Petaluma, CA

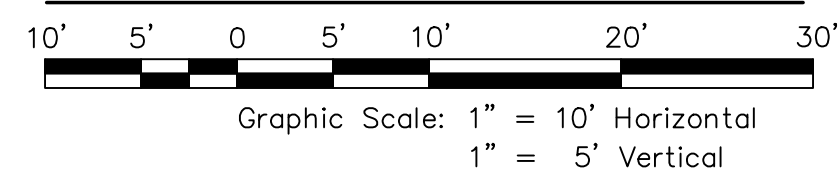
## MidPen Housing Corp.

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### STORMDRAIN PROFILE

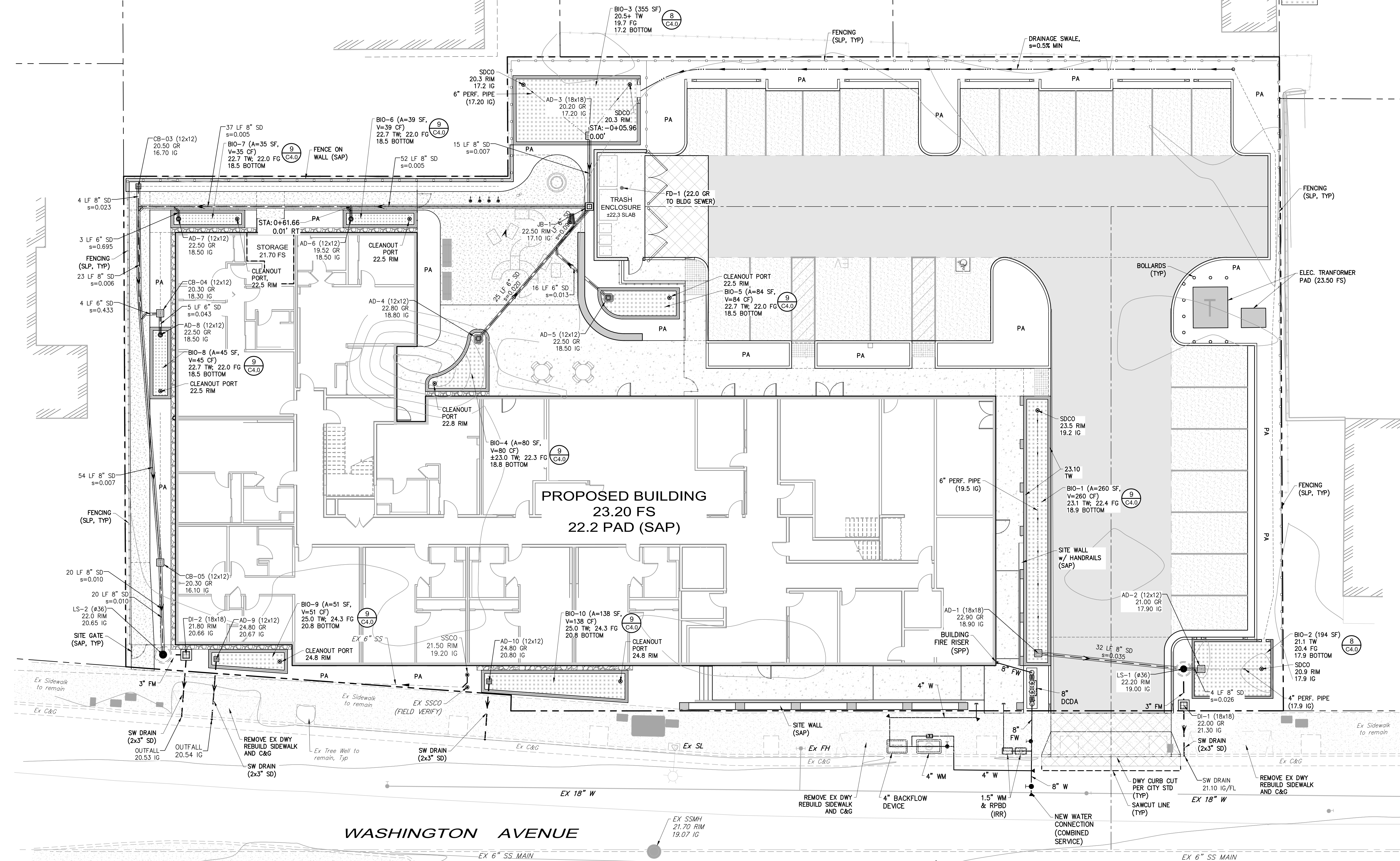


### STORMDRAIN PROFILE

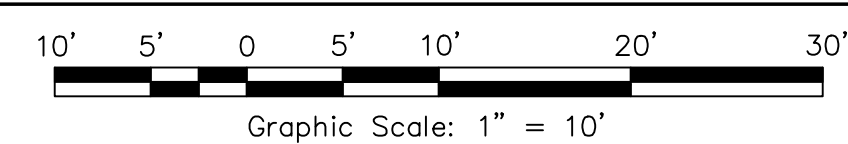


### HATCH LEGEND

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- 4" PCC OVER 6" CL II AB, SEE ARCHITECT/LANDSCAPE PLANS FOR COLOR & SURFACING
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- DG WALKWAY (SAP/SLP)
- BIORETENTION FACILITY



### PRELIMINARY UTILITY PLAN



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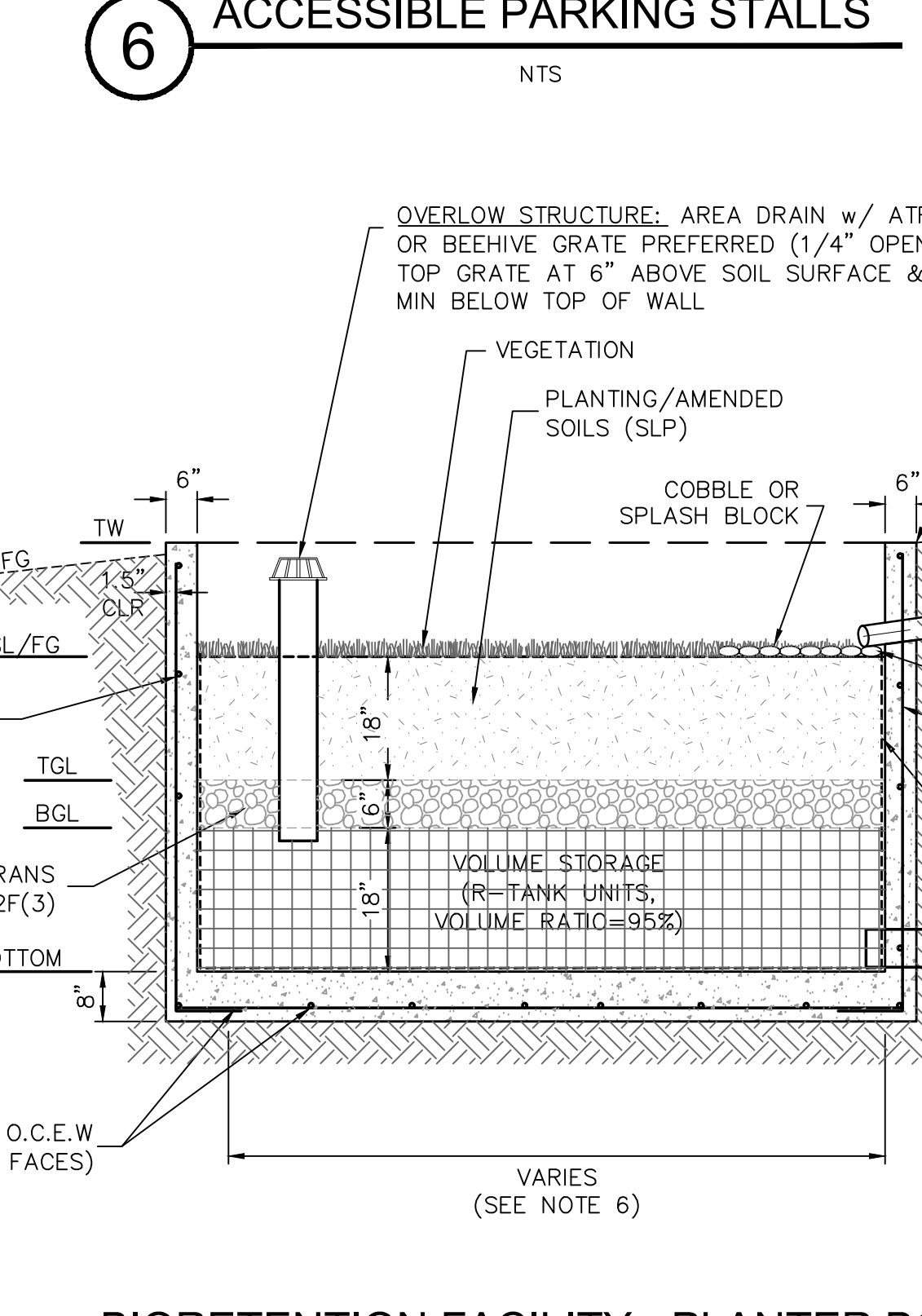
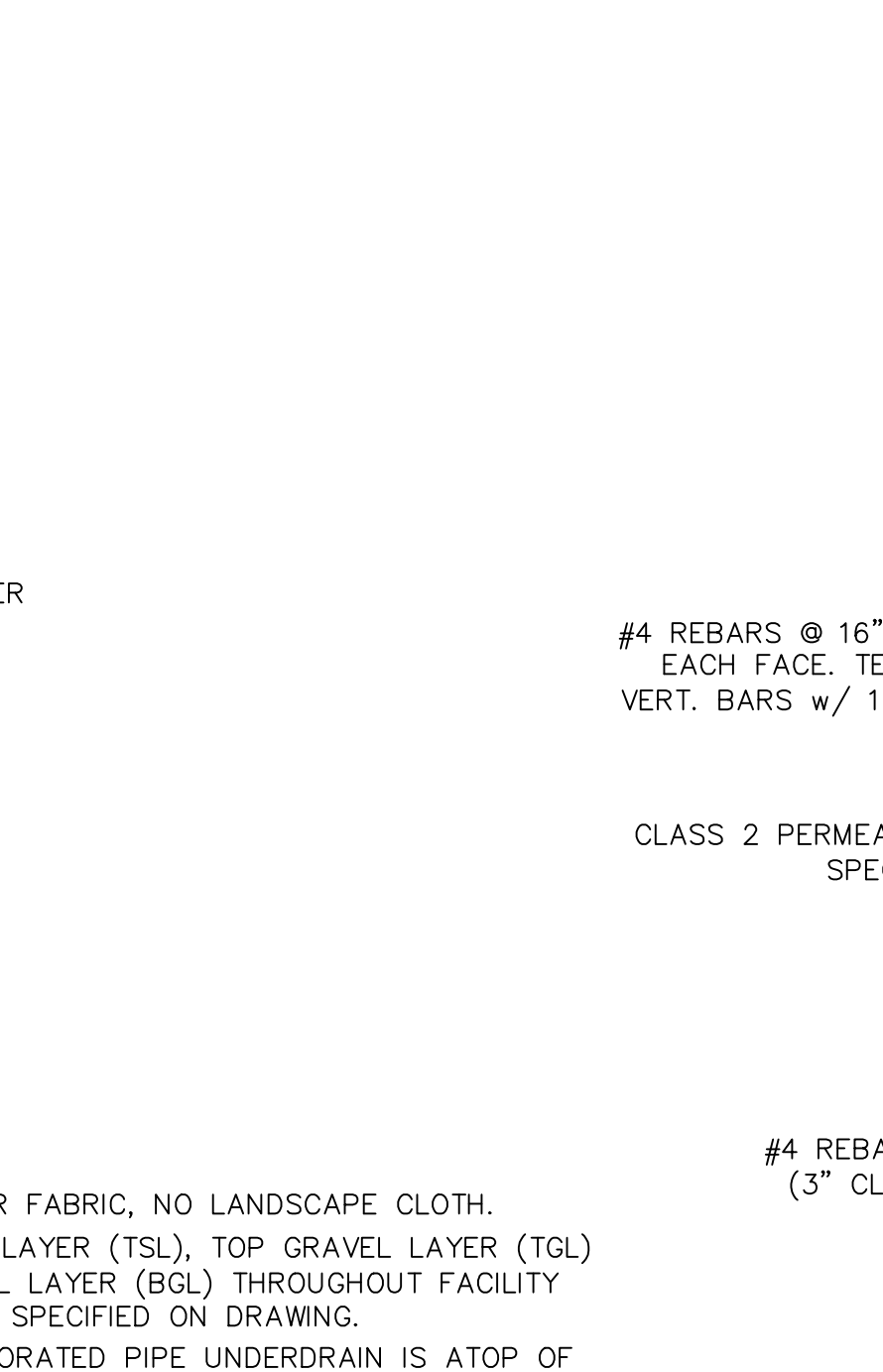
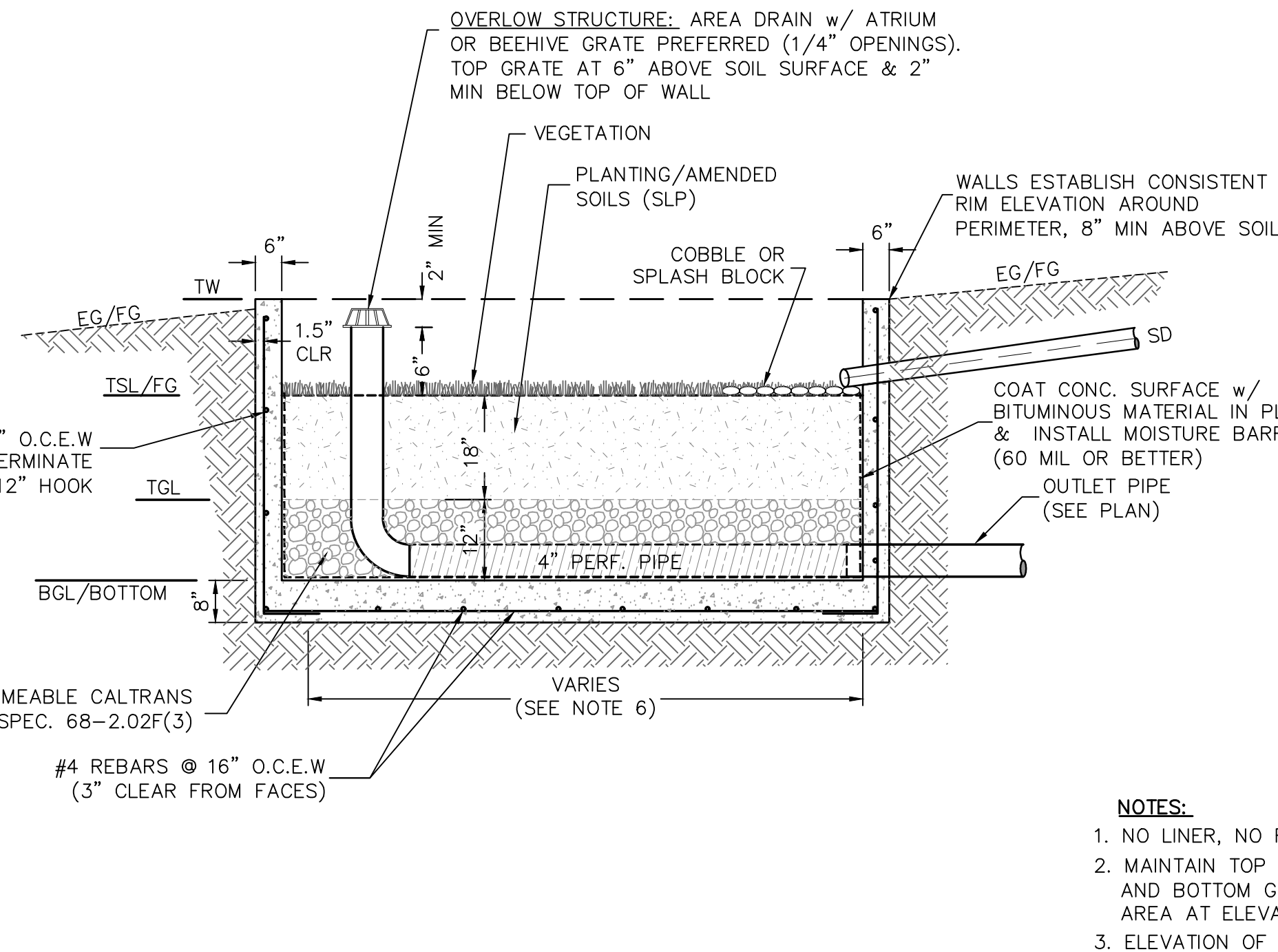
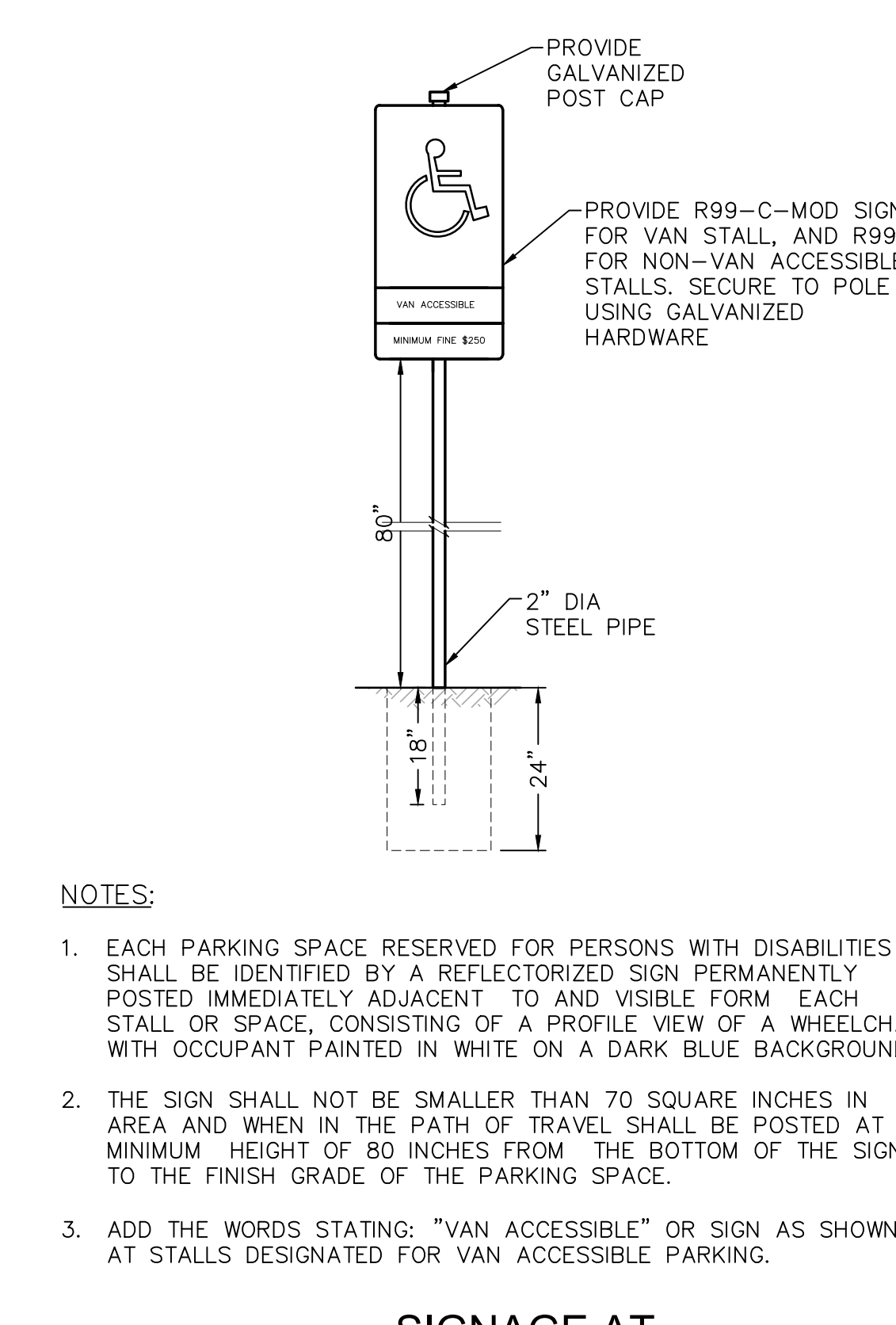
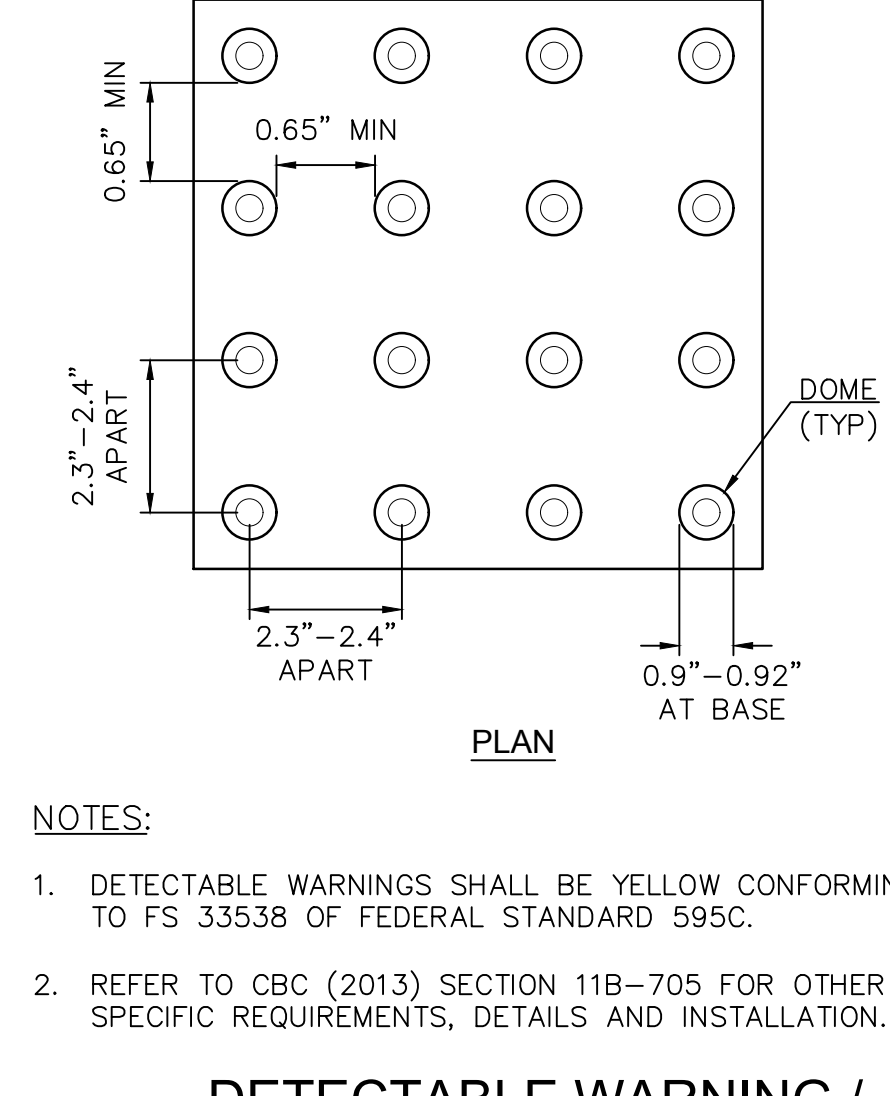
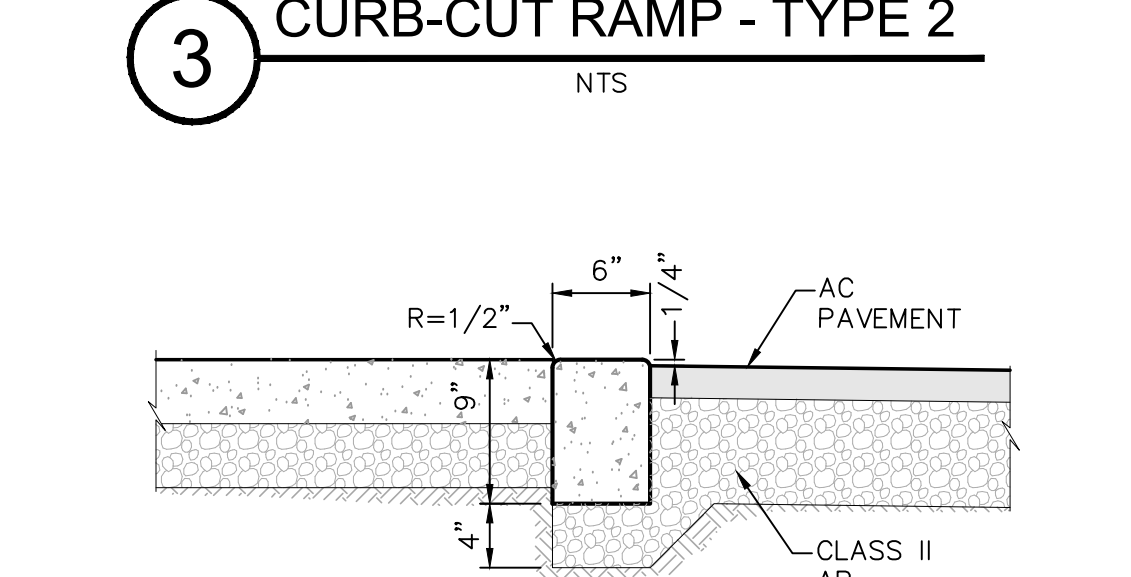
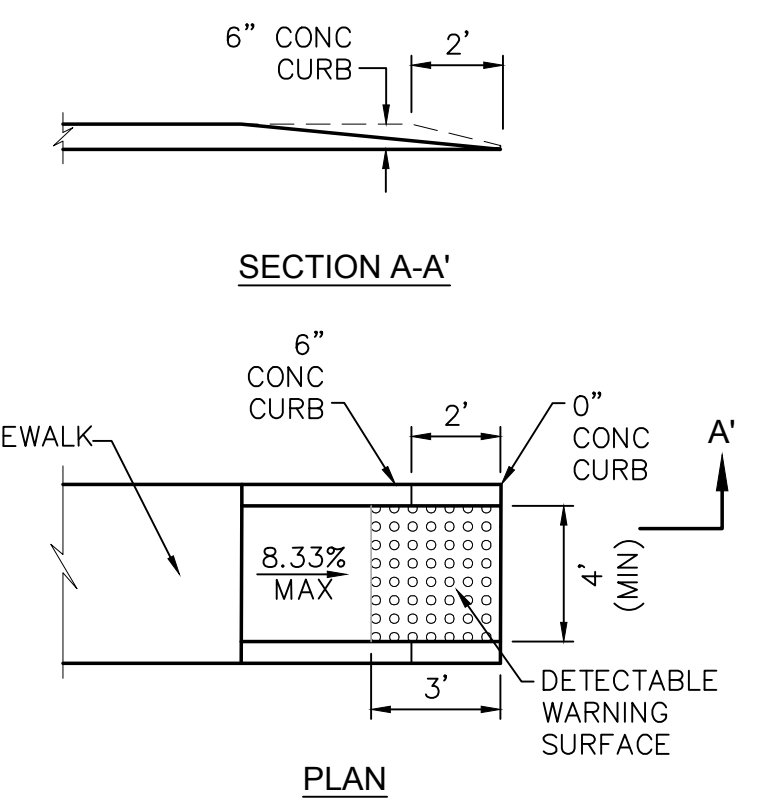
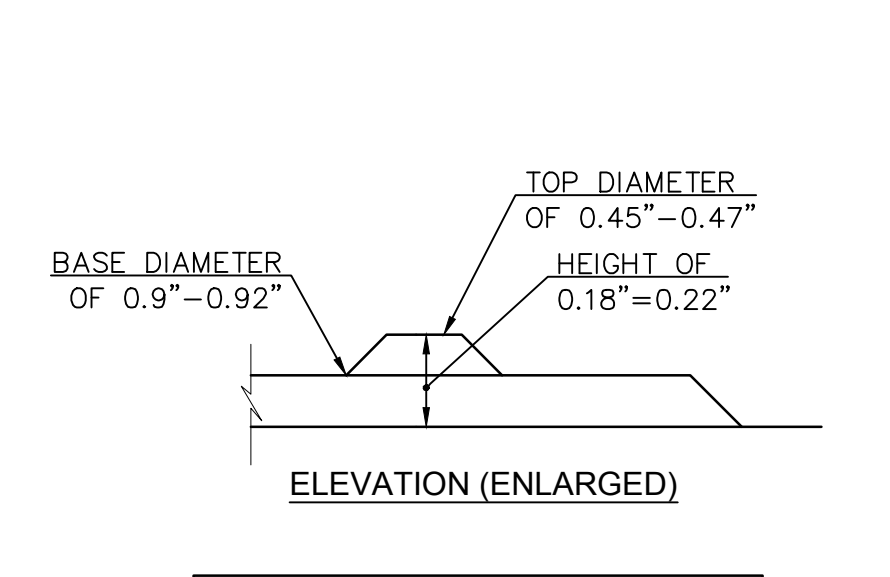
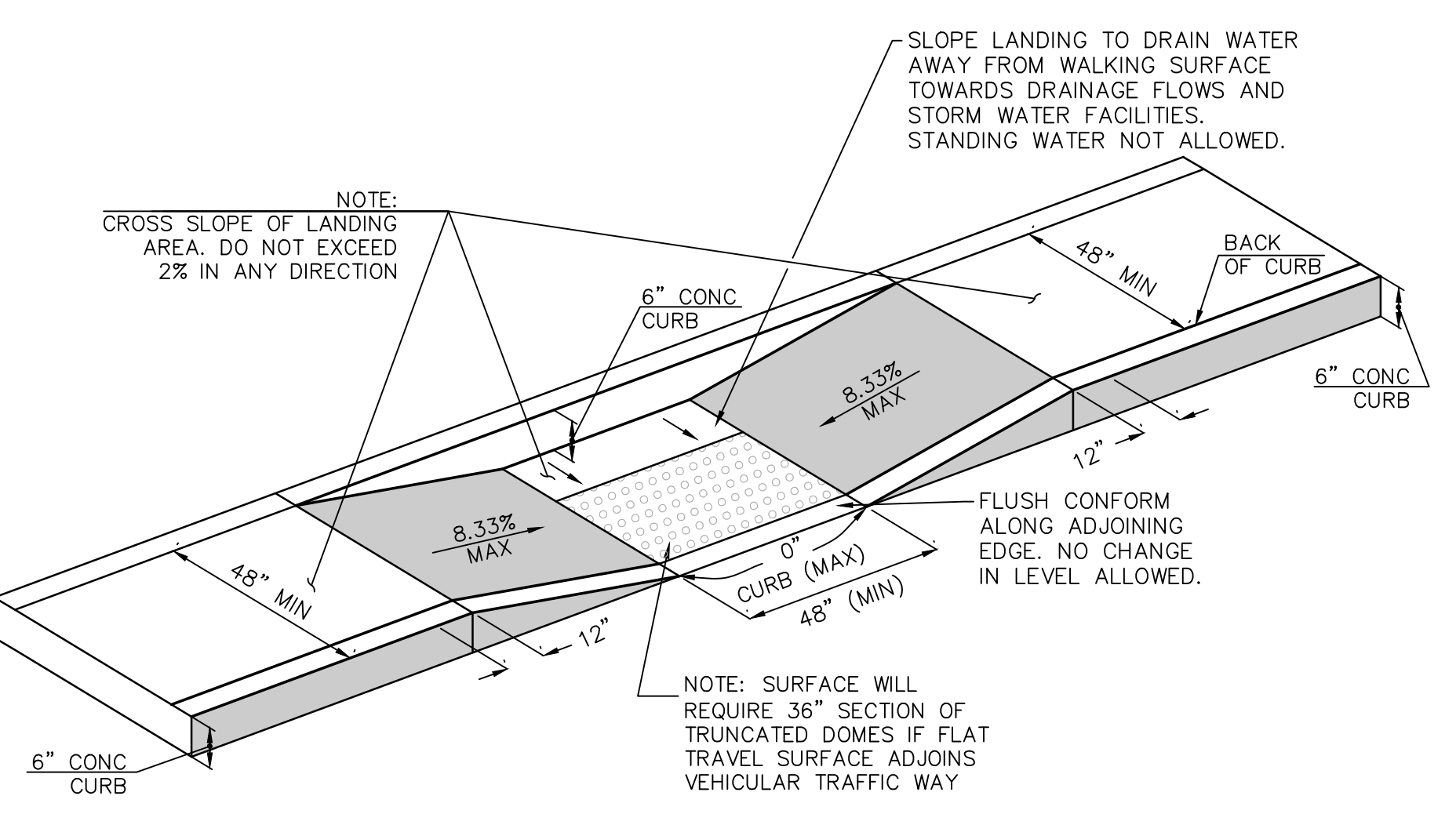
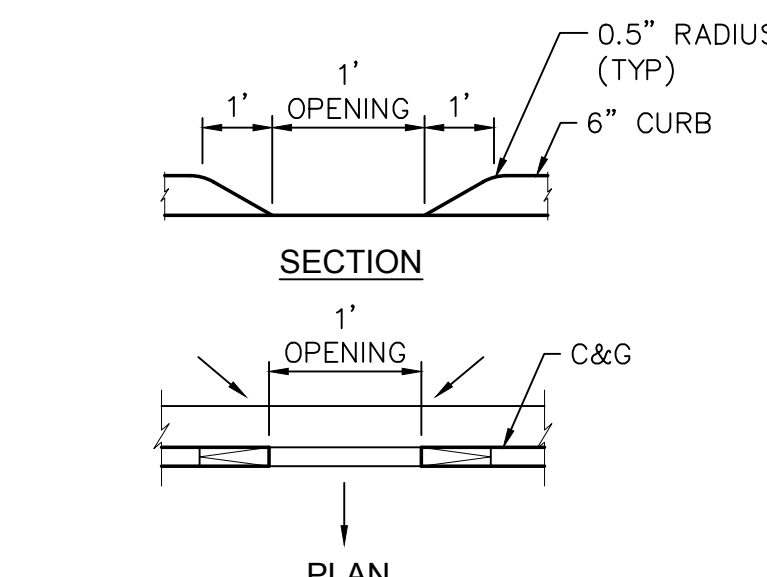
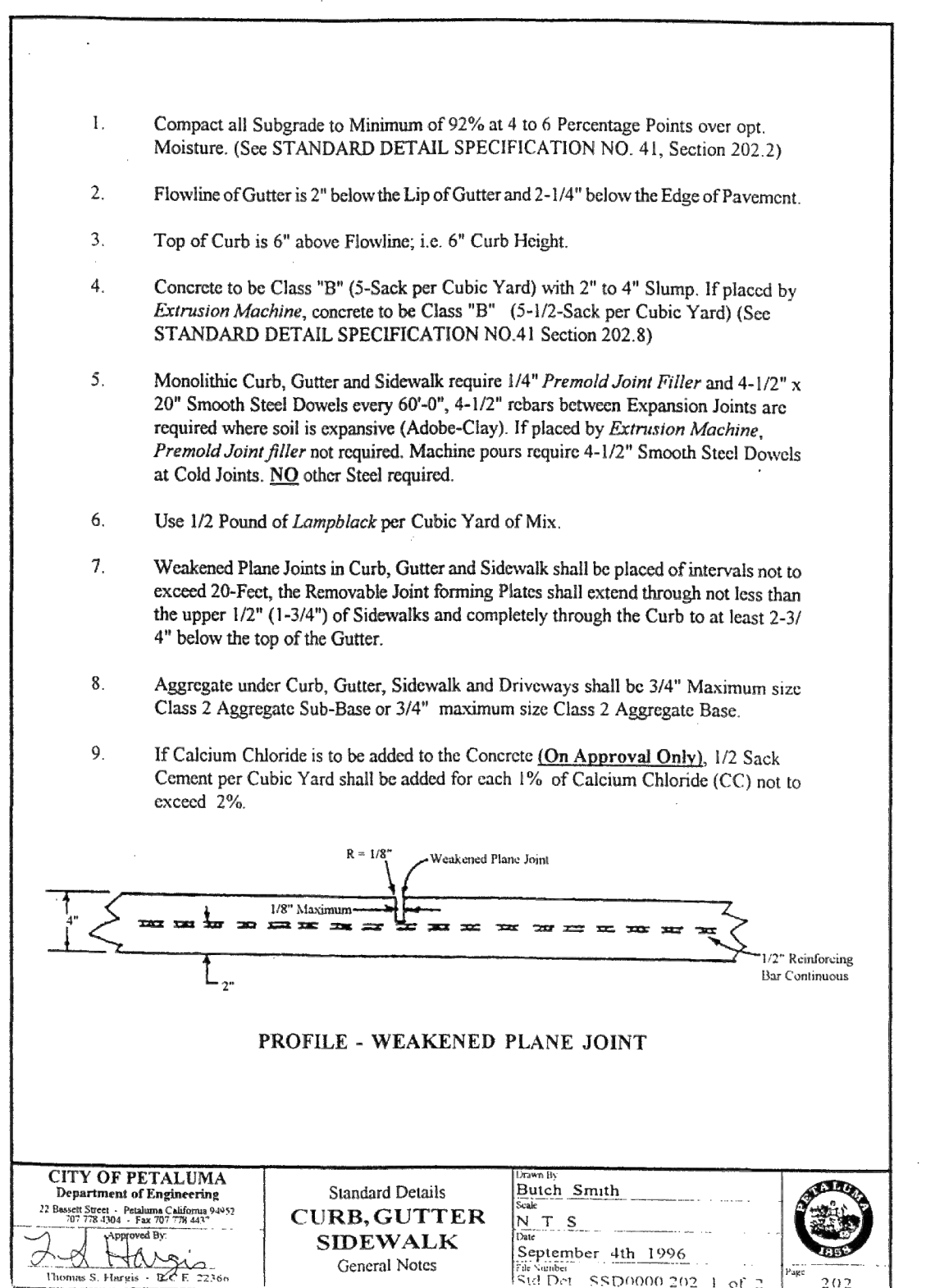
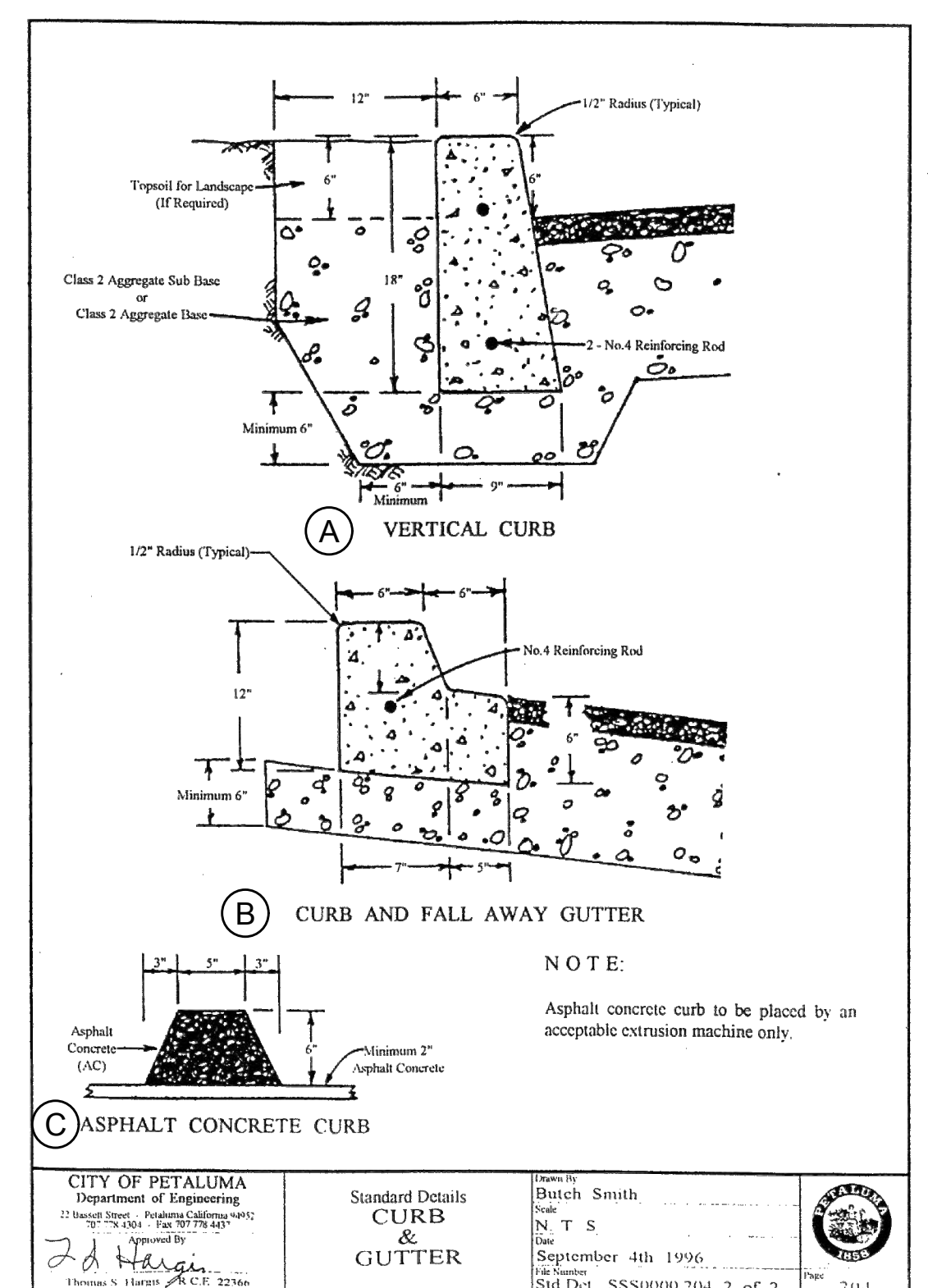
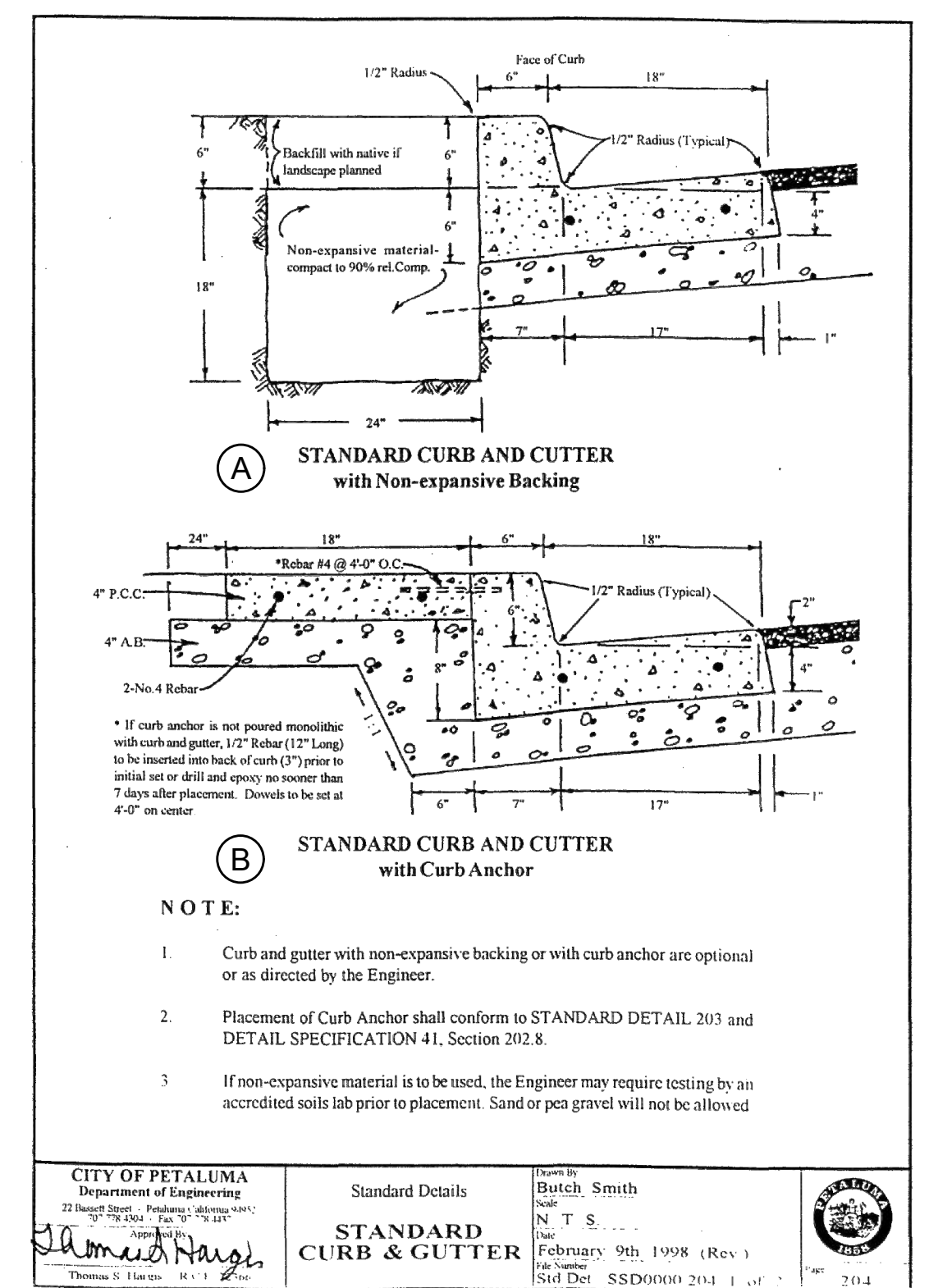
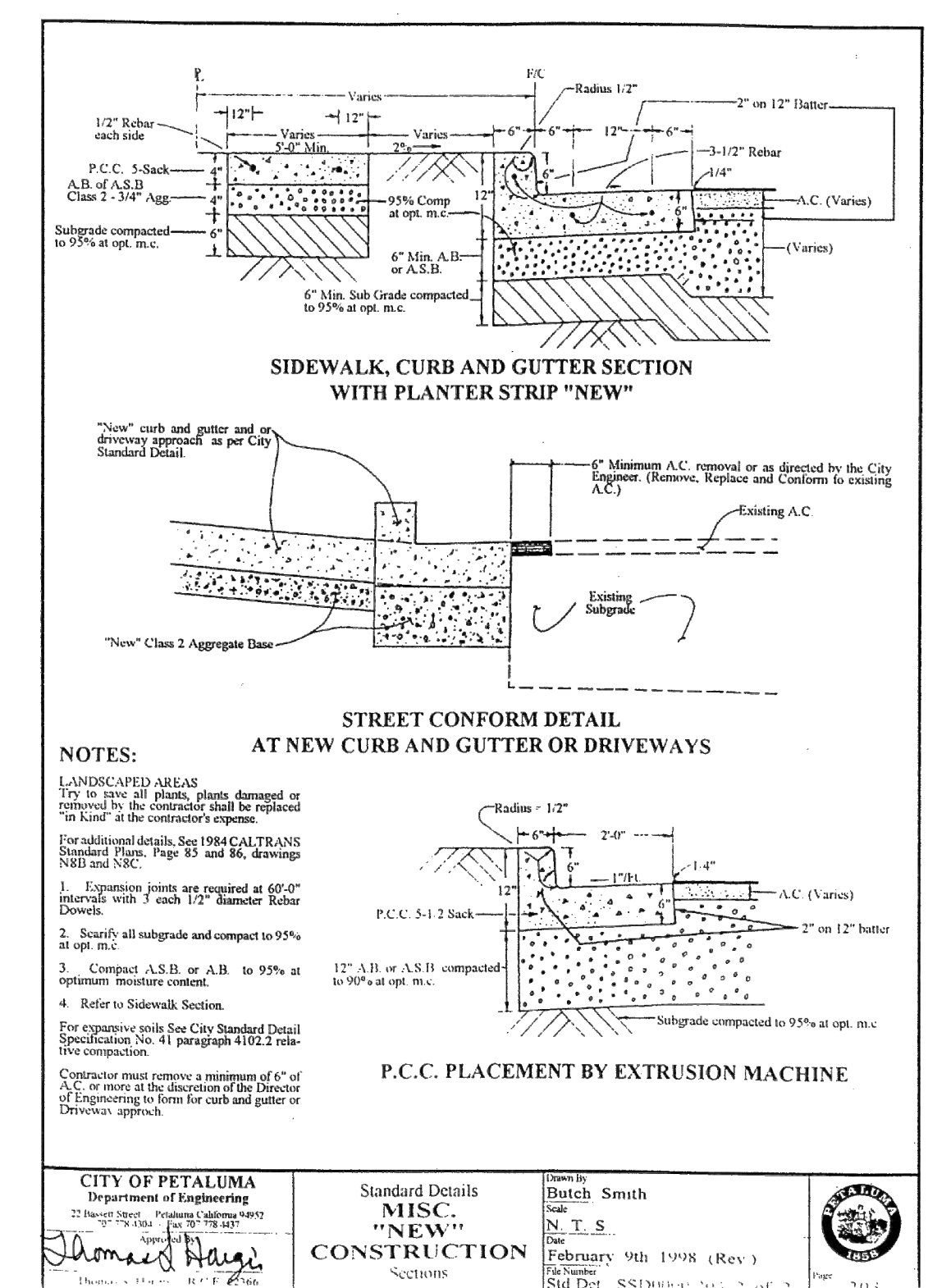
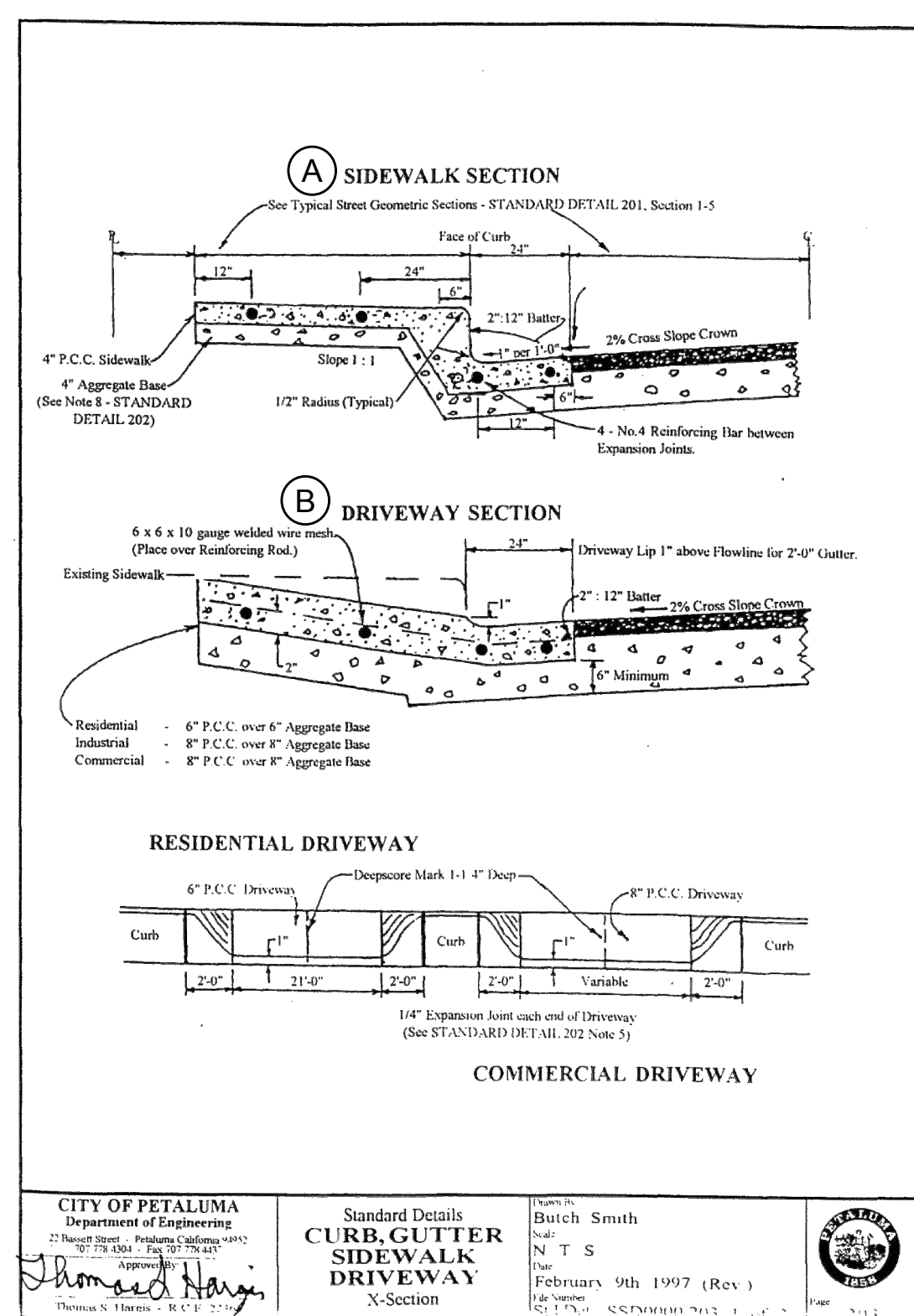
### UTILITY PLAN & PROFILE

PROJECT NO: 22288  
DATE: 08/08/2023

SHEET NO:  
**C3.0**



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PROFESSIONAL ENGINEER  
No. 41833  
Exp. 3/31/2024  
CIVIL  
STATE OF CALIFORNIA  
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## TYPICAL DETAILS

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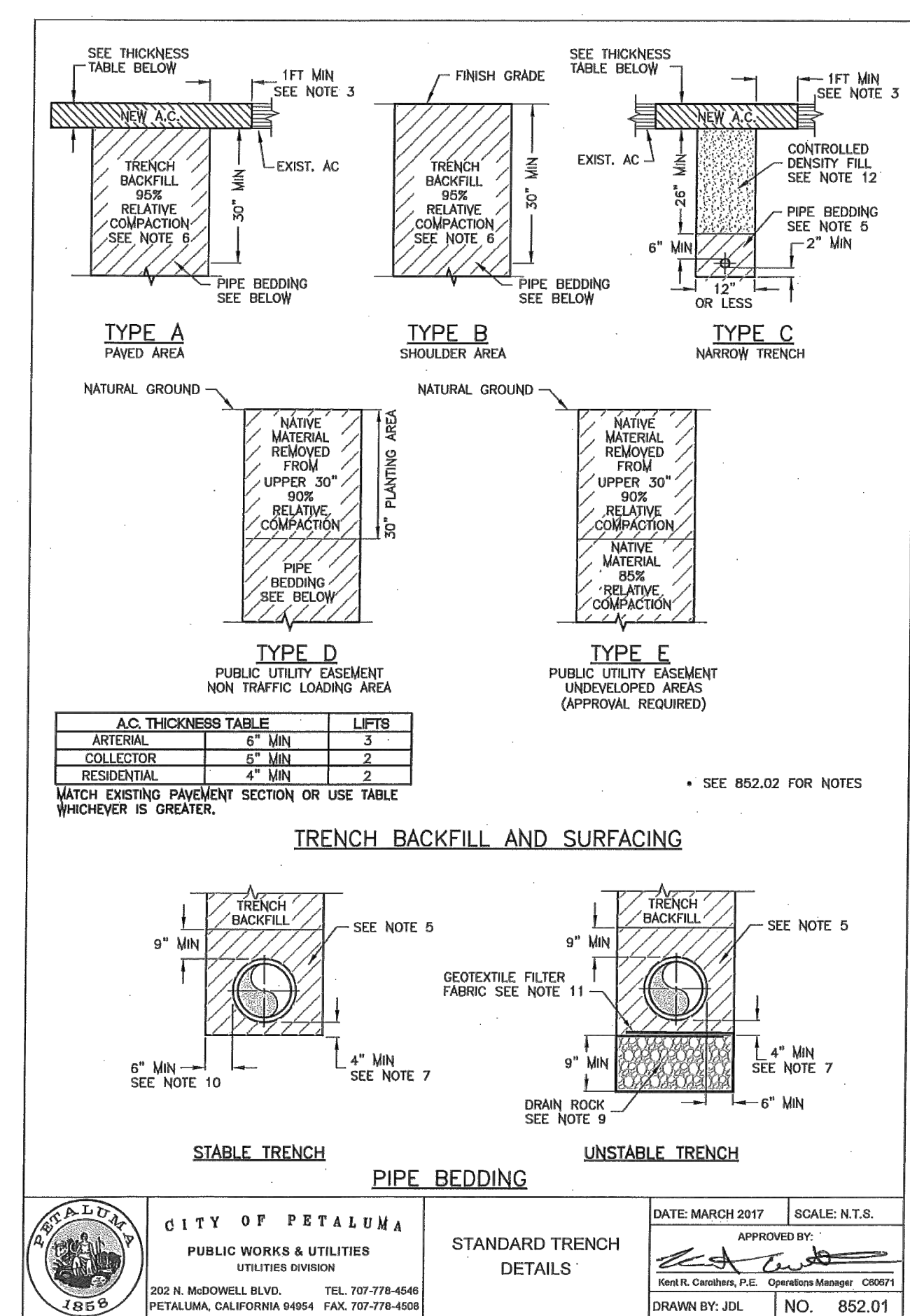
## WASHINGTON COMMONS

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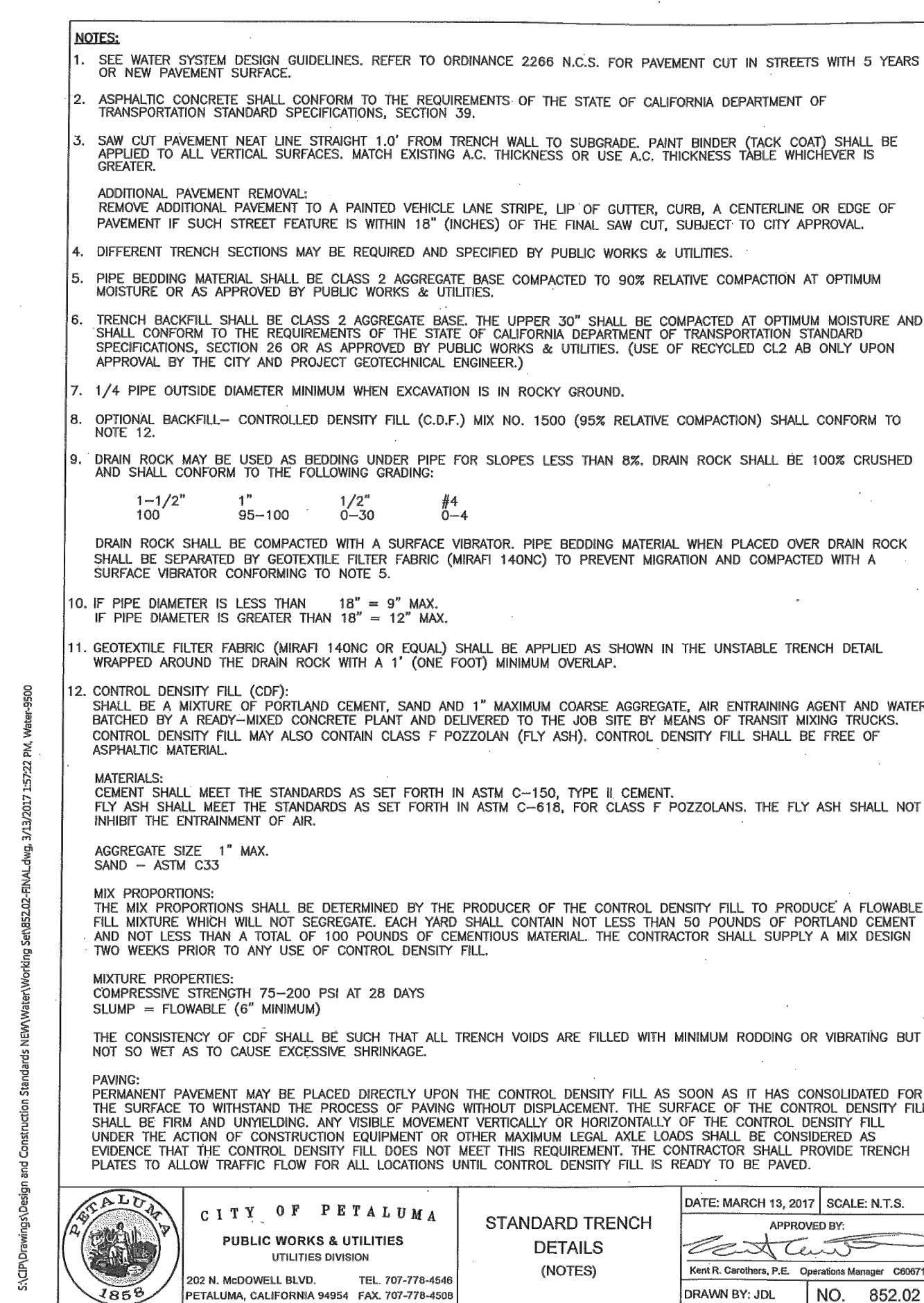
Petaluma, CA

## MidPen Housing Corp.

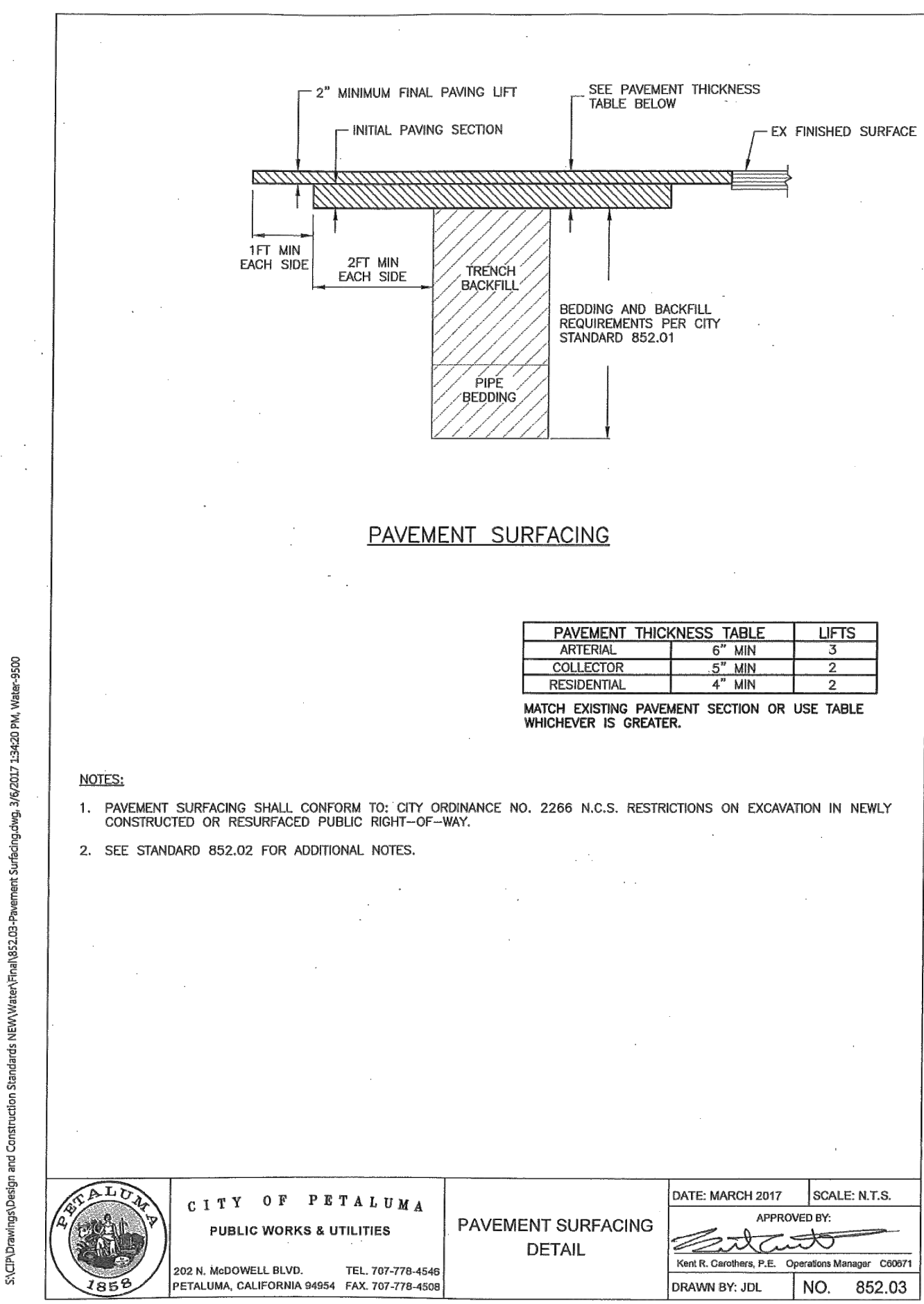
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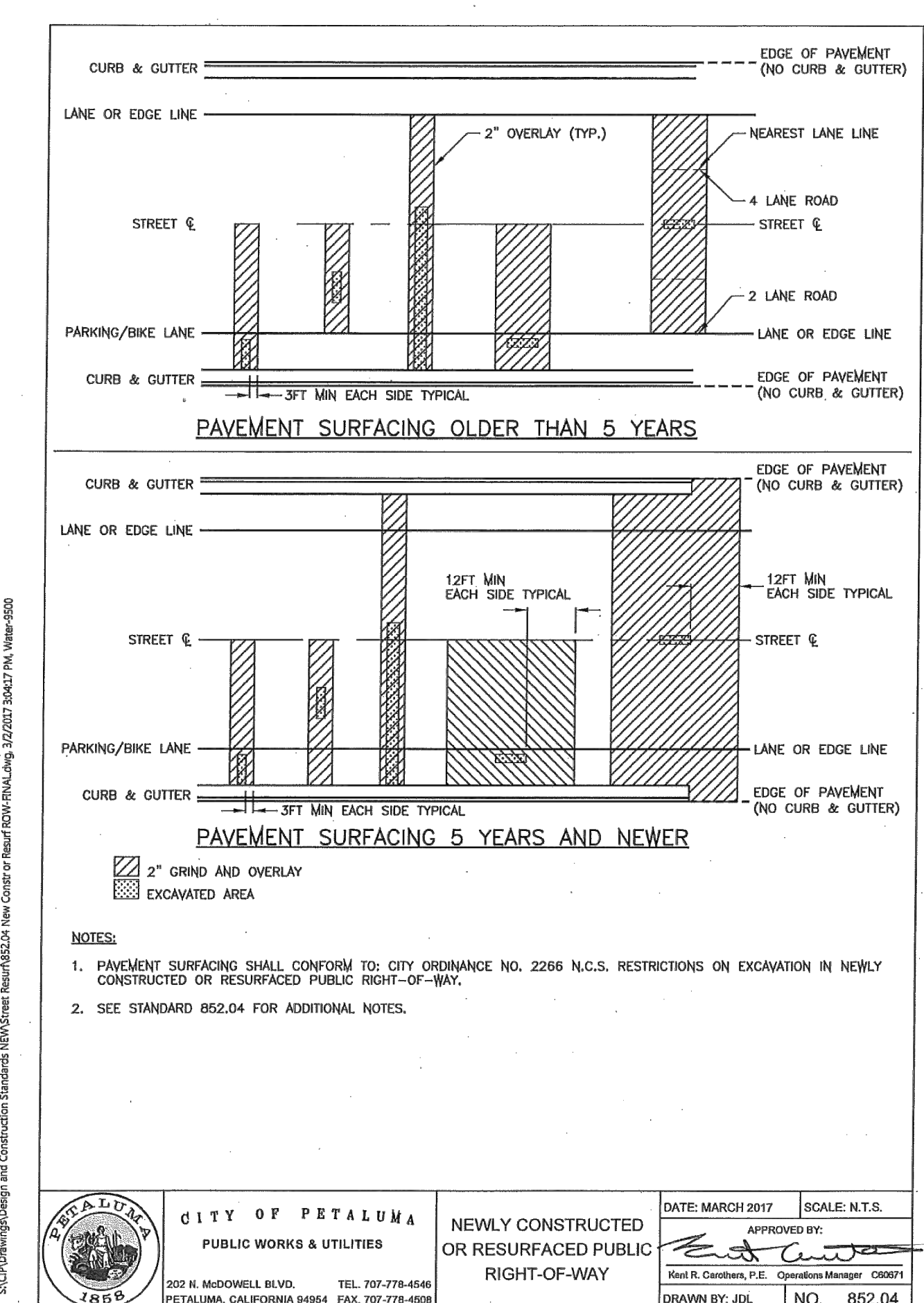
**STD. 852.01** STANDARD TRENCH DETAILS  
NTS



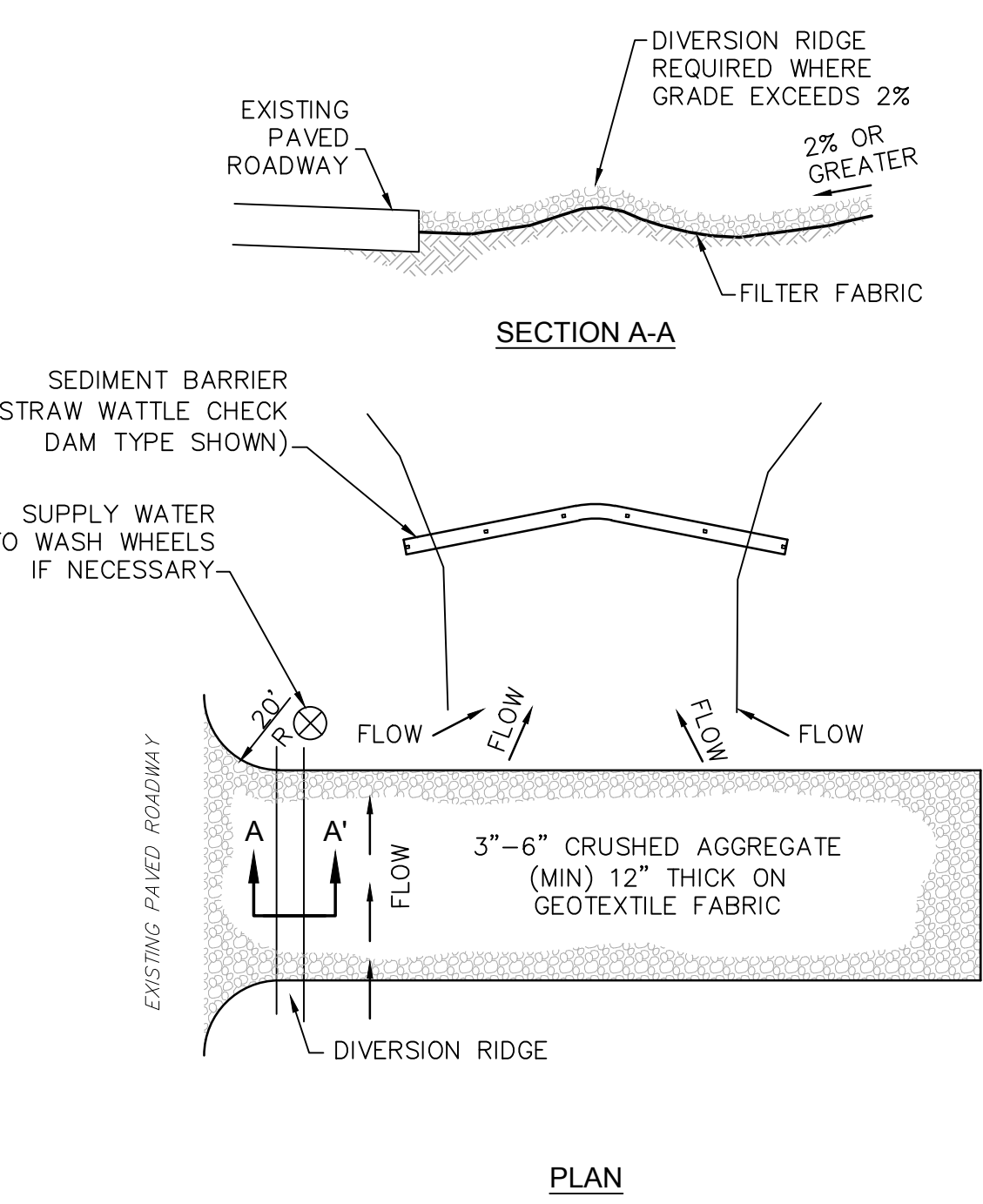
**STD. 852.02** STANDARD TRENCH DETAILS (NOTES)  
NTS



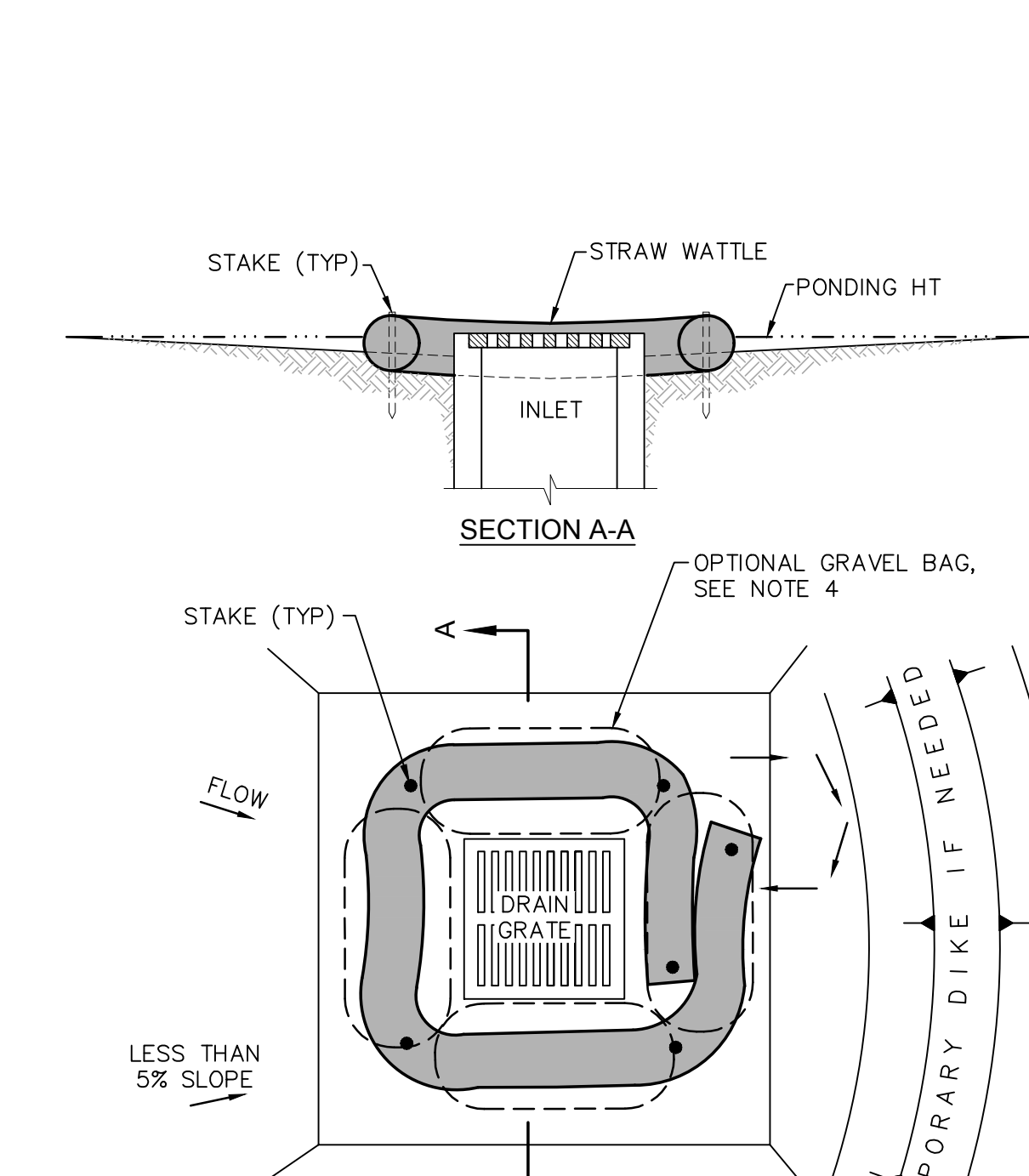
**STD. 852.03** PAVEMENT SURFACING DETAIL  
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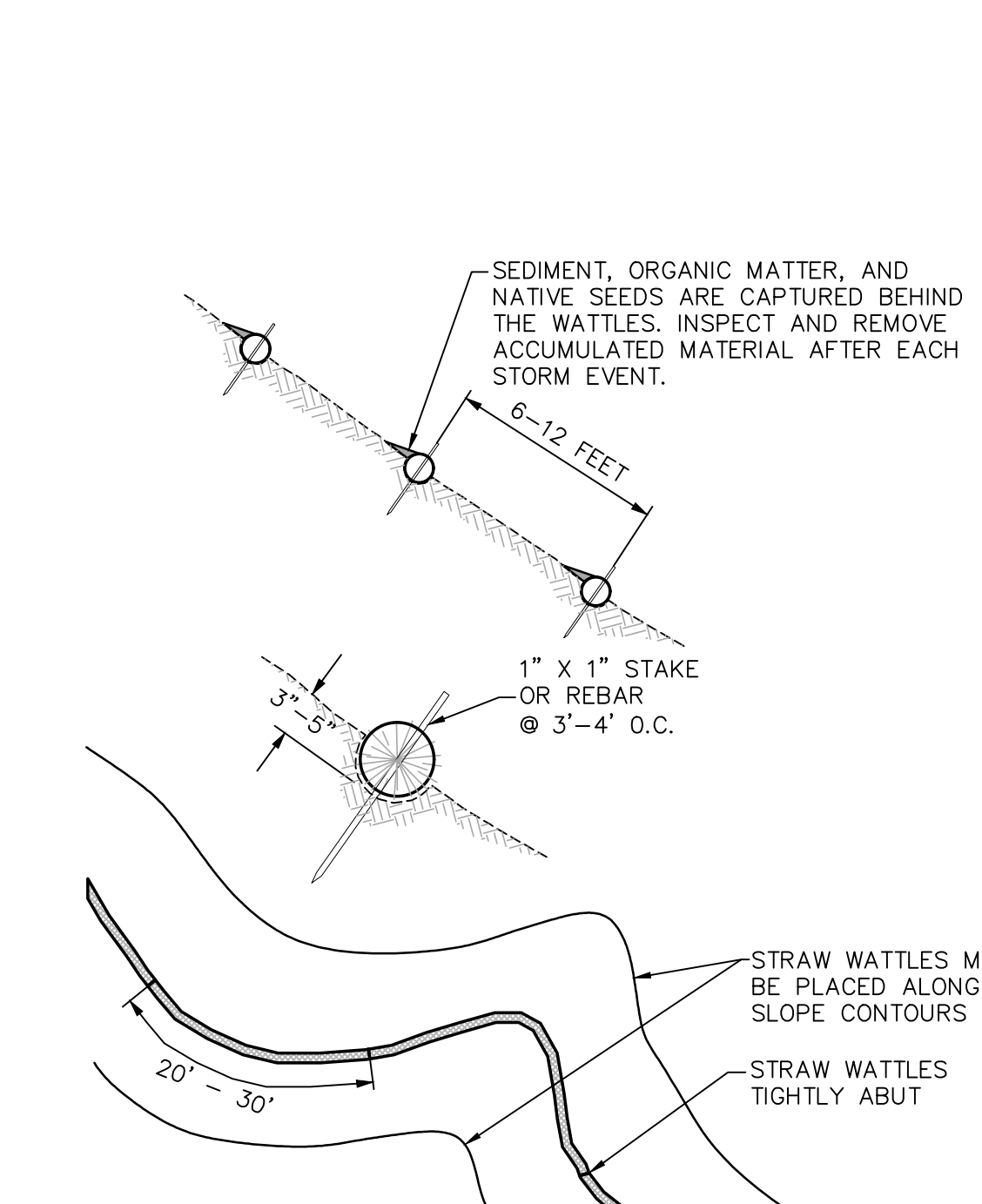
**STD. 852.04** NEWLY CONSTRUCTED OR RESURFACED PUBLIC RIGHT-OF-WAY  
NTS



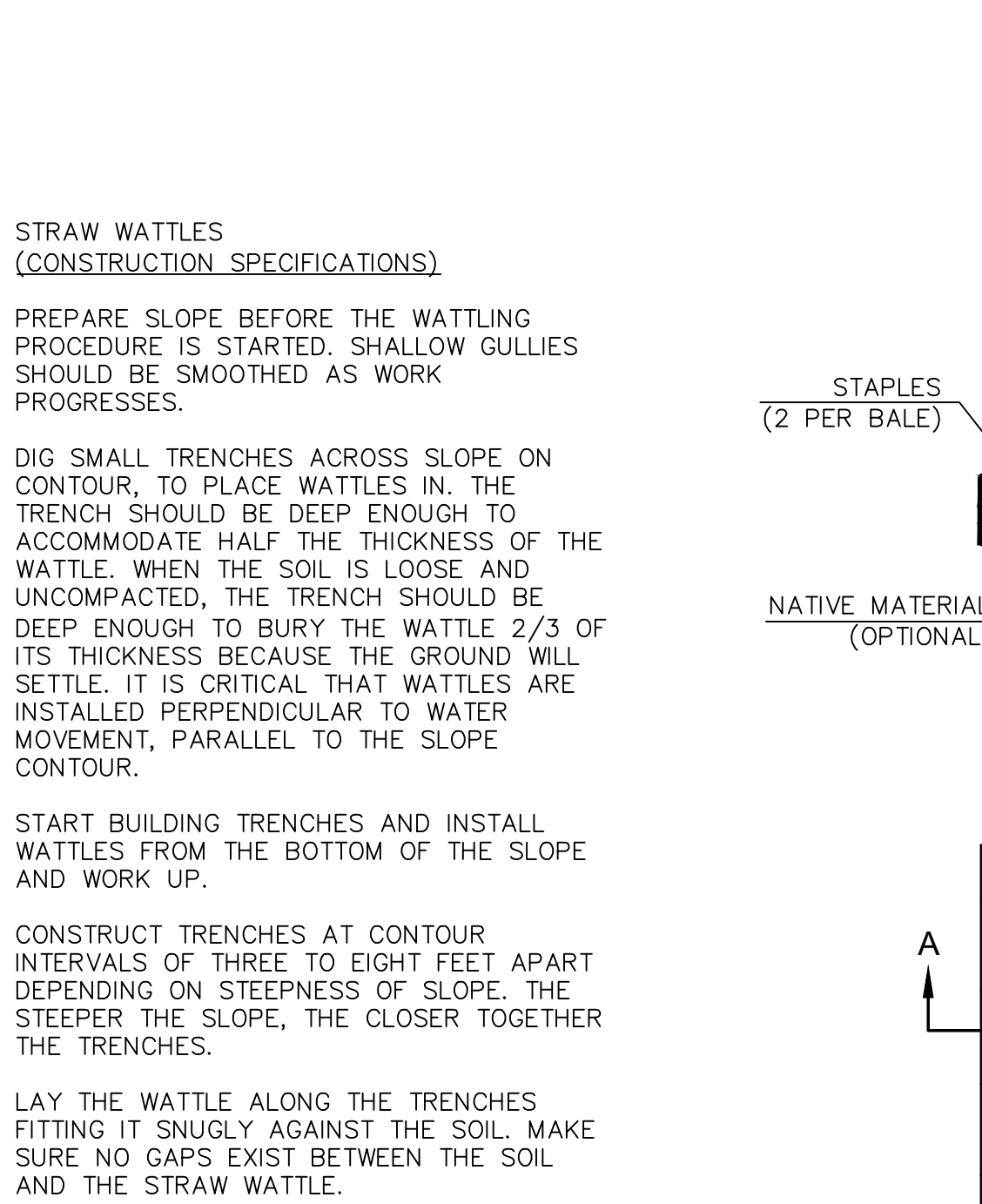
**1** TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT  
NTS



**2** INLET SEDIMENT BARRIER  
NTS



**3** STRAW WATTLE SLOPE PROTECTION  
NTS



**4** CONCRETE WASHOUT  
NTS

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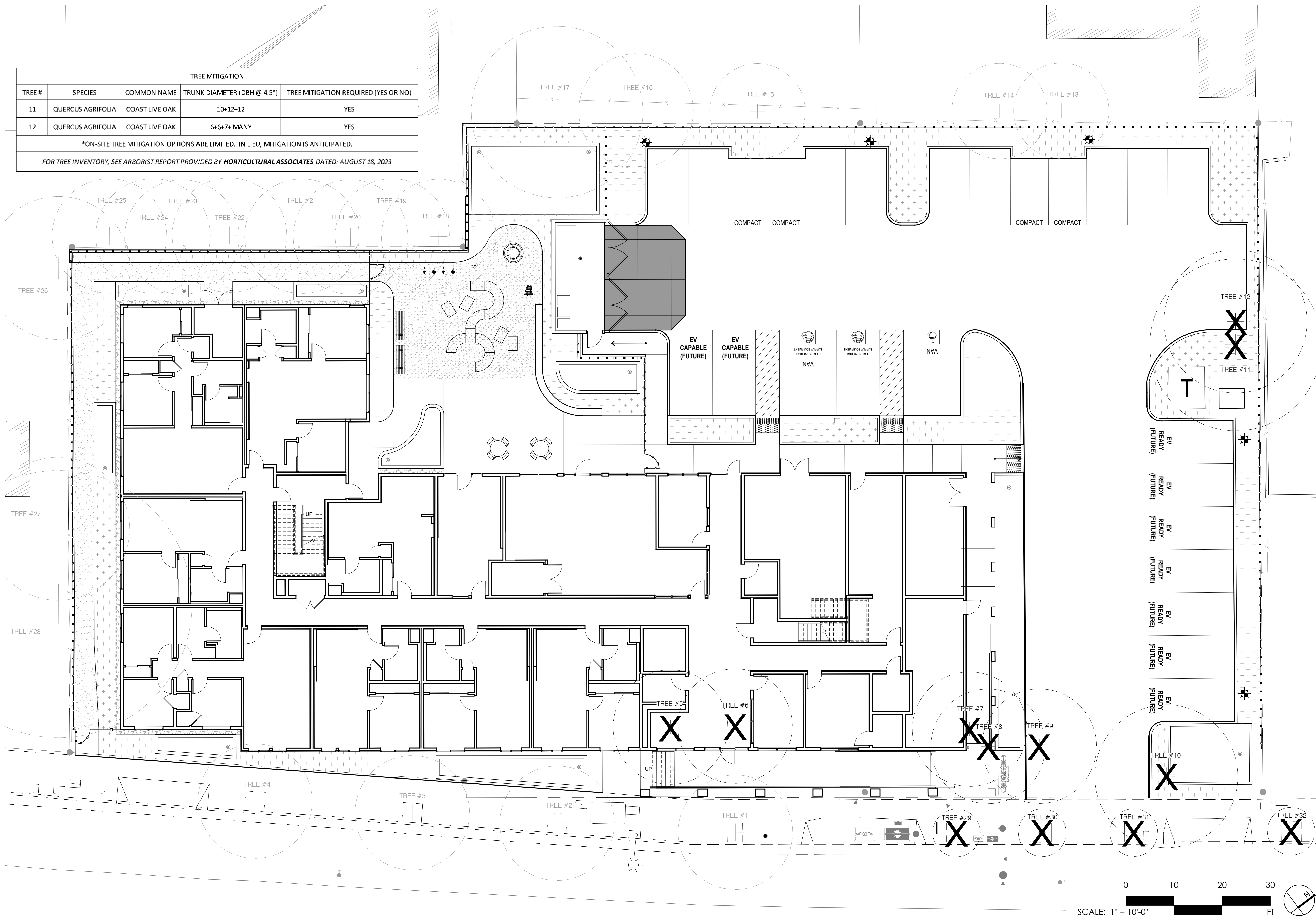
PROJECT NO: 22288  
DATE: 08/08/2023

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# C4.1



TREE MITIGATION				
TREE #	SPECIES	COMMON NAME	TRUNK DIAMETER (DBH @ 4.5")	TREE MITIGATION REQUIRED (YES OR NO)
11	QUERCUS AGRIFOLIA	COAST LIVE OAK	10+12+12	YES
12	QUERCUS AGRIFOLIA	COAST LIVE OAK	6+6+7+ MANY	YES
*ON-SITE TREE MITIGATION OPTIONS ARE LIMITED. IN LIEU, MITIGATION IS ANTICIPATED.				
FOR TREE INVENTORY, SEE ARBORIST REPORT PROVIDED BY HORTICULTURAL ASSOCIATES DATED: AUGUST 18, 2023				



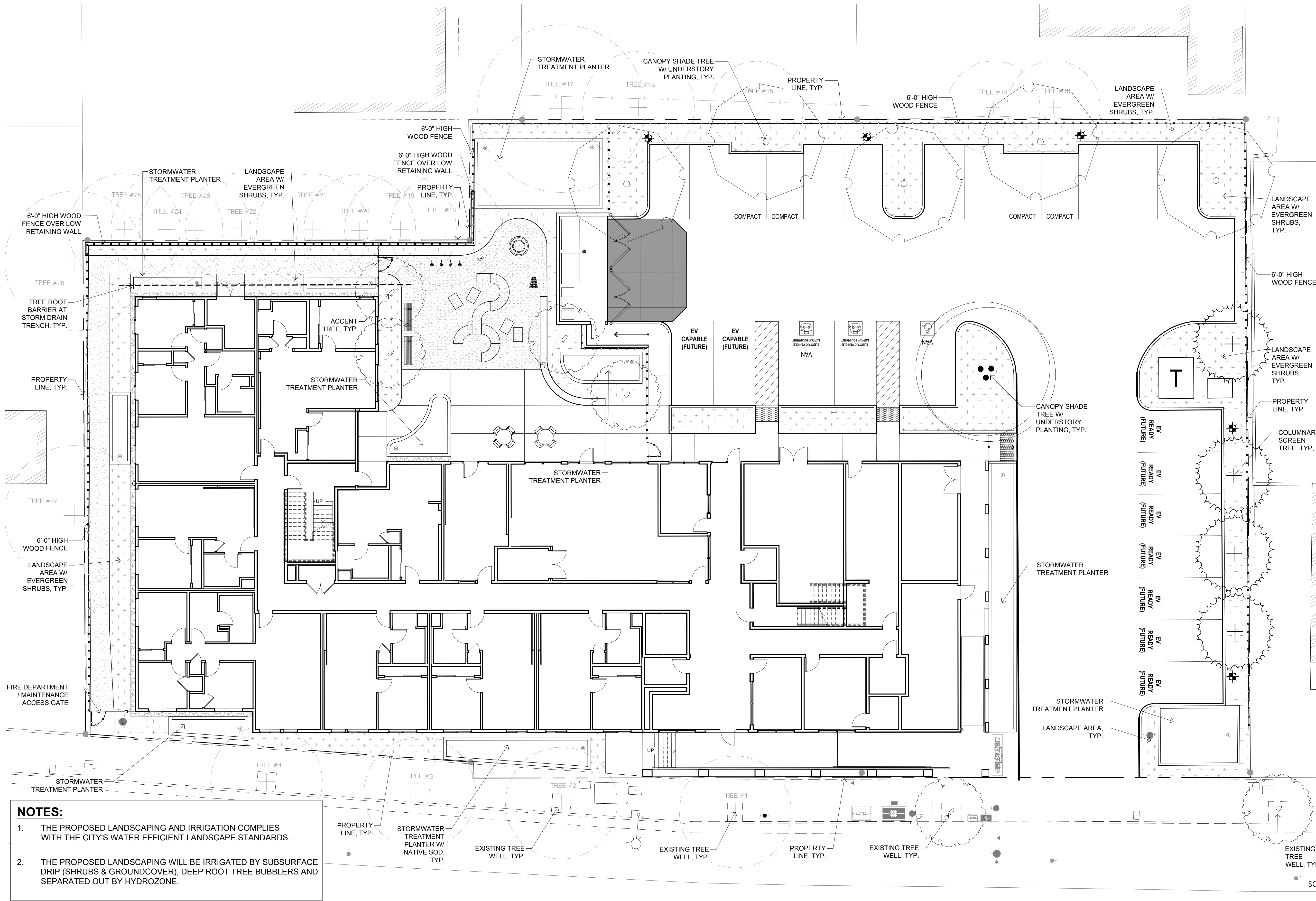
- ALL TREES AND NATURAL AREAS SHOWN ON PLAN TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY FENCING. TREES SHALL BE PROTECTED BY A 6' TALL CHAIN LINK FENCE MOUNTED ON STEEL POSTS, FIRMLY DRIVEN INTO GROUND OR STANCHIONS FASTENED SECURELY WITH REBAR STAPLES 12" DEEP. NATURAL AREAS SHALL BE PROTECTED BY A 6' TALL BRIGHT COLORED (USUALLY ORANGE), SYNTHETIC MESH MATERIAL FENCE OR CHAIN LINK FENCE.
- PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR GRADING), AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT AND REMOVED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIP LINES.
- PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP LINE). FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE, IN ORDER TO PREVENT THE FOLLOWING:
  - SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS;
  - ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES CUT OR FILL), OR TRENCHING NOT REVIEWED AND AUTHORIZED BY THE CITY ARBORIST;
  - WOUNDS TO TRUNK, LIMBS OR EXPOSED ROOTS BY MECHANICAL EQUIPMENT;
  - OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, AND FIRES.
- EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES:
  - WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2 TO 4 FEET BEYOND THE AREA DISTURBED;
  - WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN THE DRIP LINE OF A TREE, ERECT FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING) GRADE AREA SEPARATELY JUST PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE;
  - WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING;
  - WHERE SEVERE SPACE CONSTRAINTS EXIST DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST OR LANDSCAPE ARCHITECT TO DISCUSS ALTERNATIVES.
- WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED-ON PLANKING TO A HEIGHT OF 8 FEET (OR TO THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
- TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
- ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL. BACKFILL ROOT AREAS WITH GOOD QUALITY TOP SOIL AS SOON AS POSSIBLE. IF EXPOSED ROOT AREAS ARE NOT BACKFILLED WITHIN 2 DAYS, COVER THEM WITH ORGANIC MATERIAL IN A MANNER WHICH REDUCES SOIL TEMPERATURE AND MINIMIZES WATER LOSS DUE TO EVAPORATION.
- UNDERGROUND FACILITIES AND TRENCHES, (ELEC. UTILITIES SERVICE, SANITARY SEWER, STORM DRAINAGE LINES) SHALL BE CONSOLIDATED, TO THE EXTENT FEASIBLE, AND LOCATED TO MINIMIZE IMPACT UPON TREE ROOT SYSTEMS. ANY TRENCHING REQUIRED WITHIN THE TREE DRIPLINE SHALL BE AS FAR FROM THE TREE TRUNK AS POSSIBLE AND SHALL BE EXCAVATED BY HAND OR PNEUMATIC EXCAVATOR TO MINIMIZE IMPACT TO ROOTS.
- ROOTS 3/4" OR GREATER IN SIZE ENCOUNTERED DURING TRENCHING SHALL BE CLEANLY HAND PRUNED TO REDUCE LOSS OF MOISTURE TO THE TREE. ROOTS GREATER THAN 1-1/2" SHALL BE PRESERVED AND PROTECTED. CARE SHALL BE TAKEN TO MINIMIZE ABRASIONS TO ROOT BARK.
- NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIP LINE OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
- PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC AND EQUIPMENT SHALL TAKE PLACE BEFORE DAMAGE MAY OCCUR (RIPPING OF BRANCHES, ETC.).
- THE CODE ENFORCEMENT OFFICER, CITY ENGINEER OR CITY INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL TREE PROTECTION BEFORE OR DURING CONSTRUCTION.
- DEVIATIONS FROM THE ABOVE NOTES MAY BE CONSIDERED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NONCOMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.
- EXISTING TREES TO BE RETAINED AND PROTECTED AS INDICATED ON THIS PLAN.

**TREE PROTECTION NOTES**

**TREE PRESERVATION & REMOVAL LEGEND**

TREES	BOTANICAL / COMMON NAME	QUANTITY
X	Existing Tree To Be Removed	12
+	Existing Tree To Remain	20





**PRELIMINARY PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT
	<i>Cercis canadensis</i> Eastern Redbud	15 gal
	Existing Tree	Existing
	<i>Pistacia chinensis</i> 'Keith Davey' Keith Davey Chinese Pistache	24"box
	<i>Quercus agrifolia</i> Coast Live Oak	24"box
	<i>Quercus robur</i> 'Regal Prince' Regal Prince Oak	15 gal
SHRUBS		CONT
	<i>Achillea millefolium</i> 'Paprika' Paprika Common Yarrow	5 gal
	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Karl Foerster Feather Reed Grass	5 gal
	<i>Carex divulsa</i> Berkeley Sedge	5 gal
	<i>Juncus patens</i> California Gray Rush	5 gal
	<i>Lomandra longifolia</i> 'Breeze' TM Breeze Mat Rush	5 gal
	<i>Lomandra longifolia</i> 'Platinum Beauty' Variegated Dwarf Mat Grass	5 gal
	<i>Muhlenbergia dubia</i> Pine Muhly	5 gal
	<i>Olea europaea</i> 'Little Ollie' TM Little Ollie Olive	5 gal
	<i>Parthenocissus tricuspidata</i> 'Veitchii' Boston Ivy	15 gal
	<i>Salvia spathacea</i> Hummingbird Sage	5 gal
	<i>Zauschneria californica</i> 'Calistoga' Calistoga California Fuchsia	5 gal
GROUND COVERS		CONT
	<i>Arctostaphylos</i> x 'Pacific Mist' Pacific Mist Manzanita	1 gal
	<i>Ceanothus</i> x 'Centennial' Centennial Wild Lilac	1 gal
	<i>Leymus condensatus</i> 'Canyon Prince' Canyon Prince Giant Wild Rye	1 gal
	Native Preservation Native Sod	sod
	<i>Teucrium fruticans</i> 'Azureum' Azure Bush Germander	1 gal

**NOTES:**

1. THE PROPOSED LANDSCAPING AND IRRIGATION COMPLIES WITH THE CITY'S WATER EFFICIENT LANDSCAPE STANDARDS.
2. THE PROPOSED LANDSCAPING WILL BE IRRIGATED BY SUBSURFACE DRIP (SHRUBS & GROUND COVER), DEEP ROOT TREE BUBBLERS AND SEPARATED OUT BY HYDROZONE.







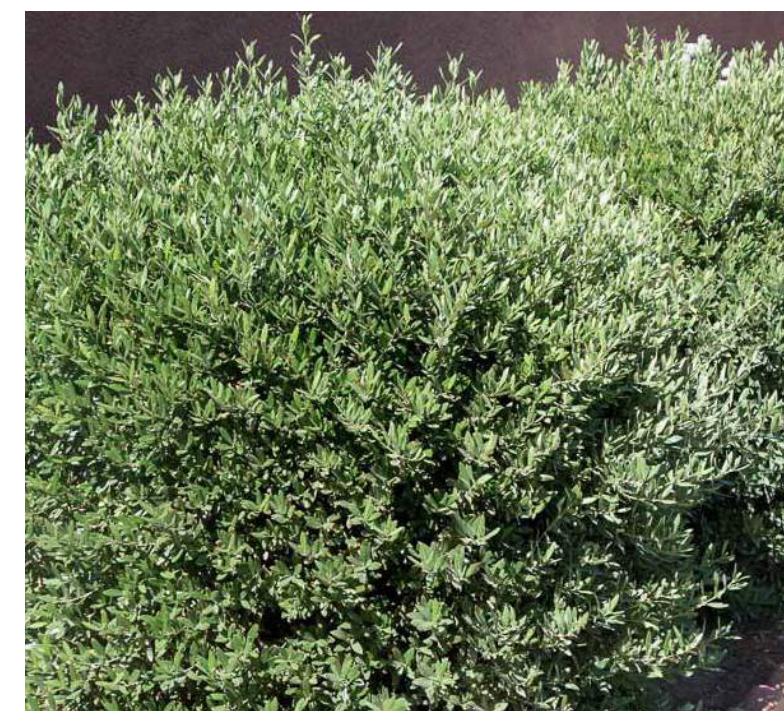
**PRELIMINARY PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	WATER USE
	<i>Cercis canadensis</i> Eastern Redbud	15 gal	Med
	Existing Tree	Existing	--
	<i>Pistacia chinensis</i> 'Keith Davey' Keith Davey Chinese Pistache	24"box	Low
	<i>Quercus agrifolia</i> Coast Live Oak	24"box	Low
	<i>Quercus robur</i> 'Regal Prince' Regal Prince Oak	15 gal	Low



**SHRUBS**

	CONT	WATER USE
<i>Achillea millefolium</i> 'Paprika' Paprika Common Yarrow	5 gal	Med
<i>Calamagrostis x acutiflora</i> 'Karl Foerster' Karl Foerster Feather Reed Grass	5 gal	Med
<i>Carex divulsa</i> Berkeley Sedge	5 gal	Low
<i>Juncus patens</i> California Gray Rush	5 gal	Low
<i>Lomandra longifolia</i> 'Breeze' TM Breeze Mat Rush	5 gal	Low
<i>Lomandra longifolia</i> 'Platinum Beauty' Variegated Dwarf Mat Grass	5 gal	Low
<i>Muhlenbergia dubia</i> Pine Muhly	5 gal	Low
<i>Olea europaea</i> 'Little Ollie' TM Little Ollie Olive	5 gal	V. Low
<i>Parthenocissus tricuspidata</i> 'Veitchii' Boston Ivy	15 gal	Med
<i>Salvia spathacea</i> Hummingbird Sage	5 gal	Low
<i>Zauschneria californica</i> 'Calistoga' Calistoga California Fuchsia	5 gal	Low



**GROUND COVERS**

	CONT	WATER USE
<i>Arctostaphylos x 'Pacific Mist'</i> Pacific Mist Manzanita	1 gal	Low
<i>Ceanothus x 'Centennial'</i> Centennial Wild Lilac	1 gal	Low
<i>Leymus condensatus</i> 'Canyon Prince' Canyon Prince Giant Wild Rye	1 gal	V. Low
Native Preservation Native Sod	sod	Low
<i>Teucrium fruticans</i> 'Azureum' Azure Bush Germander	1 gal	Low



