

WASHINGTON COMMONS

Petaluma, CA

ENTITLEMENT SET

PROJECT NO. 1295-0004

PROJECT TEAM

Owner:

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SHEET INDEX

GENERAL

A.01	PROJECT TEAM AND SHEET INDEX
A.02	PROJECT DATA
A.03	SITE CONTEXT MAP
A.04	SITE CONTEXT PHOTOS
A.05	EXTERIOR CONCEPT RENDERING
A.06	OVERALL SITE PLAN
A. 07	ENLARGED SITE PLAN
80.A	SITE DETAILS
A.09	FIRE ACCESS PLAN
A.10	SITE SECTIONS
A.11	BUILDING PLAN - FIRST FLOOR PLAN
A.12	BUILDING PLAN - SECOND PLAN
A.13	BUILDING PLAN - THIRD PLAN
A.14	BUILDING PLAN - FOURTH PLAN
A.15	BUILDING PLAN - ROOF PLAN
A.16	UNIT PLANS
A.17	EXTERIOR ELEVATIONS
A.18	EXTERIOR ELEVATIONS
A.19	EXTERIOR ELEVATIONS
A.20	EXTERIOR ELEVATIONS
A.21	BUILDING SECTIONS

CIVIL

C1.0	COVER SHEET & NOTES
C2.0	GRADING & EROSION CONTROL PLAN
C2.1	SITE SECTIONS
C3.0	UTILITY PLAN & PROFILE
C4.0	TYPICAL DETAILS
C4.1	TYPICAL DETAILS

LANDSCAPE

00	TREE PRESERVATION & REMOVAL PLAN
01	PRELIMINARY LANDSCAPE PLAN
02	PRELIMINARY PLANTING SCHEDULE AND IMAGERY

ELECTRICAL

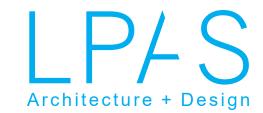
E.10	SITE LIGHTING

E.11 SITE LIGHTING CUTSHEETS

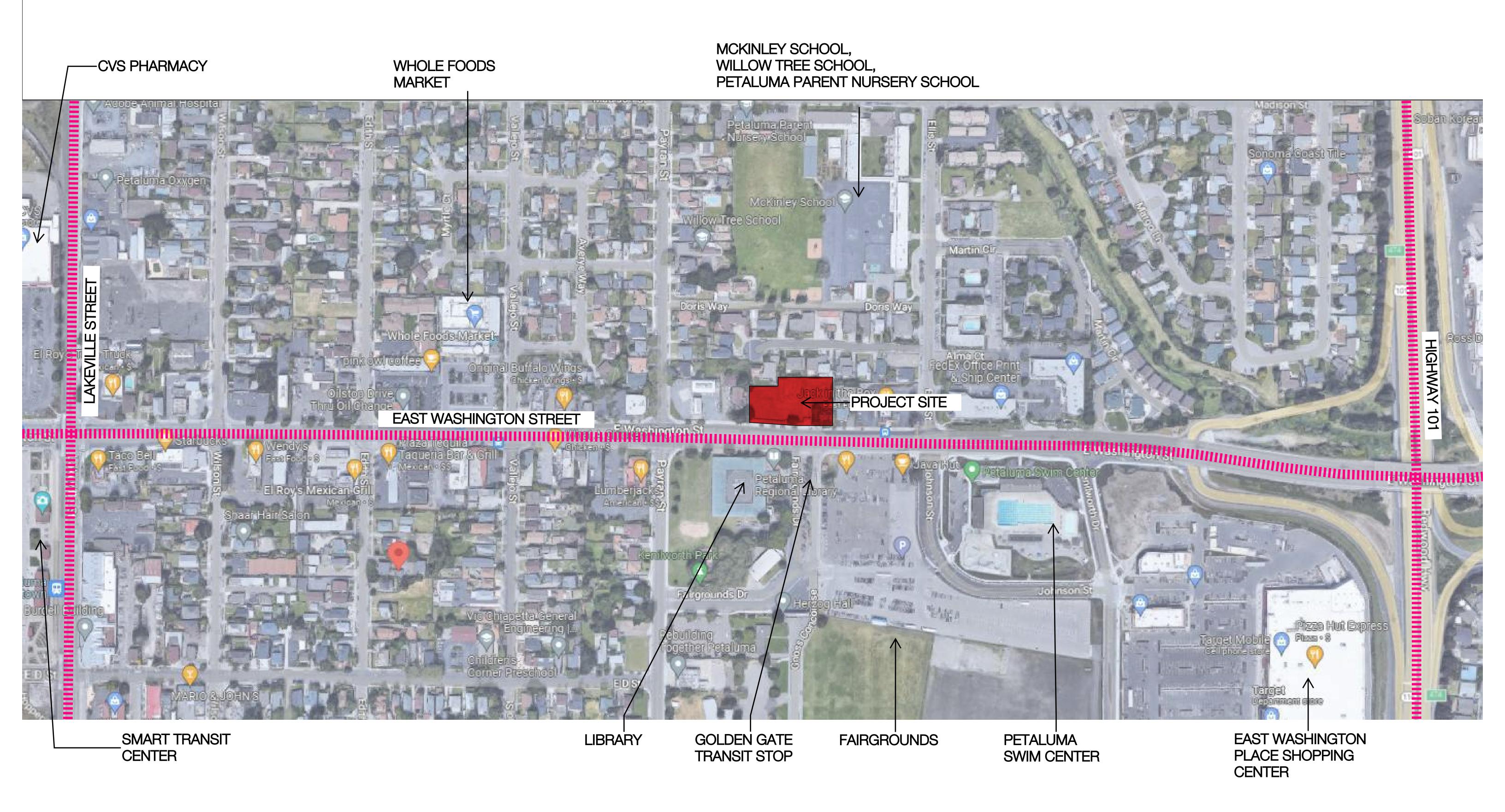




LAND USE AND DEVEL	OPMENT STANDARDS	PROPOSED PROJECT D	ATA SUMMARY	NOTES
LAND USE:				
General Plan:	Mixed-Use			
	Washington Corridor Overlay			
Zoning:	MU1A			
LAND USE:		LAND USE:		
Allowed Uses:	Multi-Family Residential CUP	Proposed Use:	Multi-Family Residential	
	(Prohibited on Ground Floor)			Allowable per State Density Bonus Law
				(With Concession)
SITE AREA:		SITE AREA:		
Min. Site Area:	NA	Site Area:	32,585 SF 0.75 Acres	
DENSITY AND NUMBER OF U	NITS	DENSITY AND NUMBER OF UN		
		Number of Affordable Units:	49 Units 100.0%	
		Studio/1 Bedroom:	23 Units 46.9% 574 Avg SF	
		2 Bedroom:	13 Units 26.5% 880 Avg SF	
		3 Bedroom:	13 Units 26.5% 1,037 Avg SF	
May Number of Heite /7	00 11=:4=	Manager's Unit:	1 Unit 931 Avg SF	Allowable was Otata Danasti Danasti
Max Number of Units (Zoning): Max Allowable Density (Zoning)	22 Units	Total Number of Units:	50 Units 781 Avg SF	Allowable per State Density Bonus Law
Max Allowable Density (Zoning)		Density:	67 DU/Acre	
Max Density (State Density Bor	nus): Unlimited within 1/2 Mile of Transit			
BUILDING AREA AND FAR		BUILDING AREA AND FAR		
Max Allowable FAR	2.5	Proposed FAR:	1.56	
Max Allowable SF	81,463 SF	Proposed Building Area:	50,815 SF	
Wax Allowable Ol	01,400 01	Net Rentable Area:	38,664 SF	
		Efficiency	76%	
		Zindidridy	7070	
SETBACKS:		SETBACKS:		
Front:	0 FT	Front (East Washington Street):	0 FT	
Side:	0 FT	Sides:	10 FT	
Rear:	15 FT + 1 FT For Each FT Over 20 FT	Rear:	10 FT	Allowable per State Density Bonus Law
	+/- 40 FT (15' + 25')			(With Concession)
	,			, in the second of the second
HEIGHT LIMIT:		HEIGHT LIMIT:		
Max Height Limit:	30 FT	Proposed Building Height:	45 FT	Allowable per State Density Bonus Law
	45 FT Where 45' Separation From			
	Adjacent Properties			
USABLE OPEN SPACE:	00.05 / / / **	USABLE OPEN SPACE:	404 05 /11 "	
Open Space Required:	30 SF / Unit	Open Space Provided:	104 SF / Unit	
(Common or Private)	1,500 SF	(Common)	2,800 SF (Courtyard Only)	
			2,400 SF (Side and Rear Setbacks)	
PARKING REQUIRED:		PARKING PROVIDED:		
Vehicular Parking Required:		Vehicular Parking Provided:		
Per Zoning:	90 Spaces 1 Space/Bdr	Total Residential:		
Per State Density Bonus:	0 Spaces 0 Spaces / Unit	On-Site:	25 Spaces 0.50 Spaces/Unit	Allowable per State Density Bonus Law
(Within 1/2 Mile of Transit)	o opasso, om		13 Standard Spaces	
(1 Accessible Space	
			EV Spaces: 44%	
			2 EV Charging Spaces 8%	
			1 EV Van Accessible	
			1 Standard Charging	
			7 EV Ready Spaces 28%	
			2 EV Capable Spaces 8%	
		D: D D	• •	
Bicycle Parking Required:		Bicycle Parking Provided:		
Bicycle Parking Required: Per Zoning:	9 Spaces 10% Of Vehicular Sp	Long-Term:	50 Spaces 200% Of Vehicular Sp	
	9 Spaces 10% Of Vehicular Sp		50 Spaces 200% Of Vehicular Sp 2 Spaces 8% Of Vehicular Sp	





























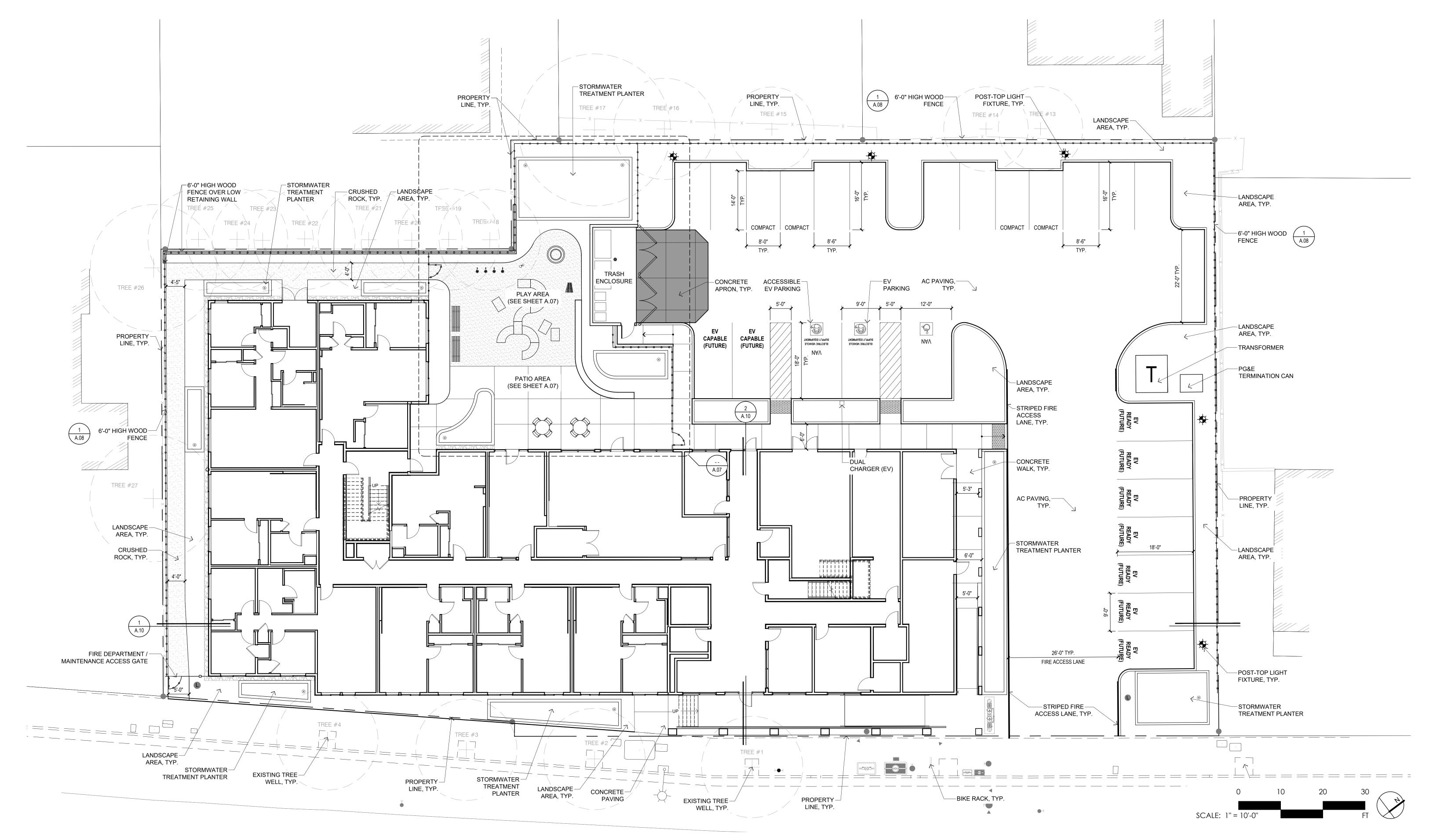








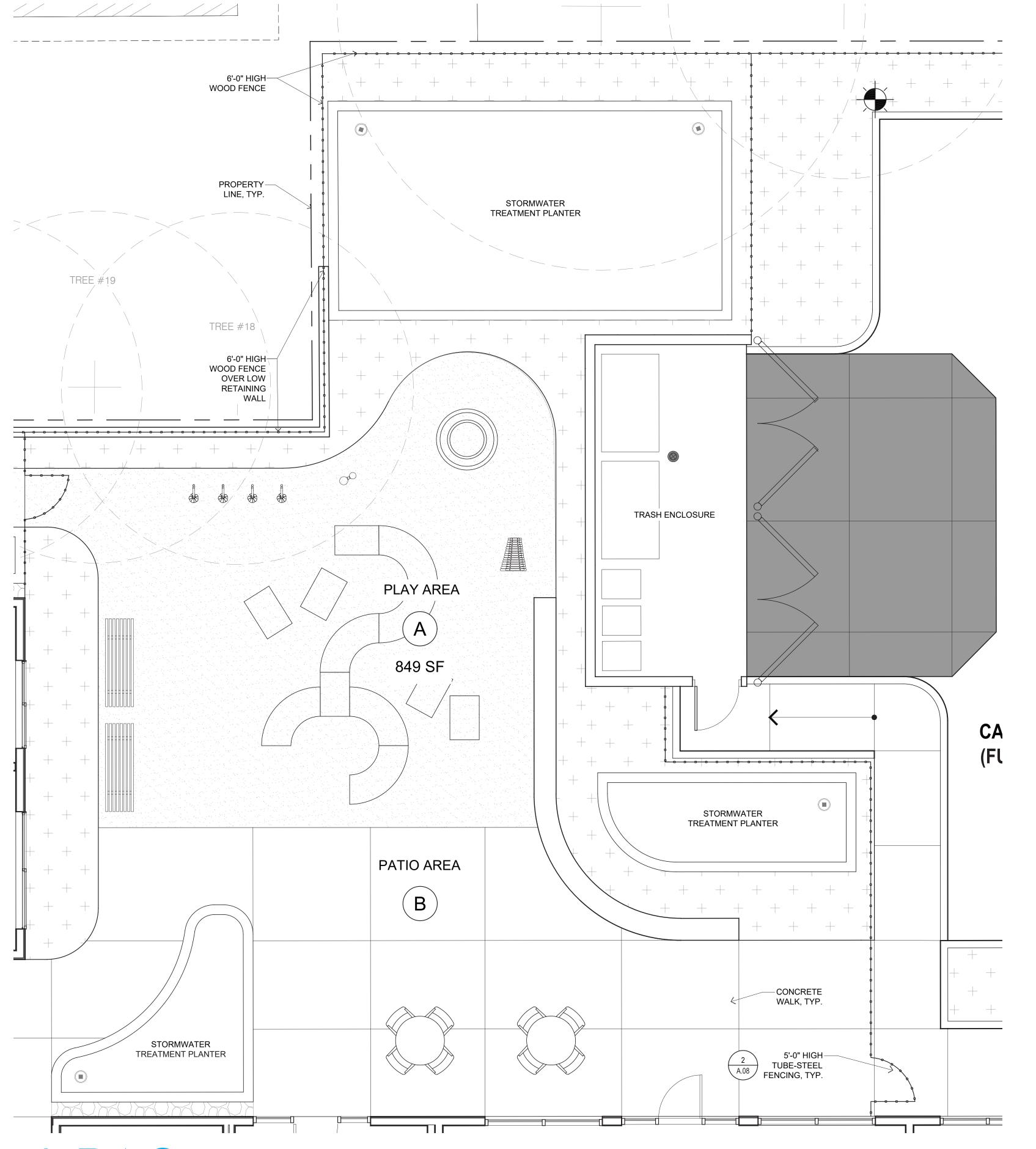






OVERALL SITE PLAN

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A) PLAY AREA (DESIGN INSPIRATION)







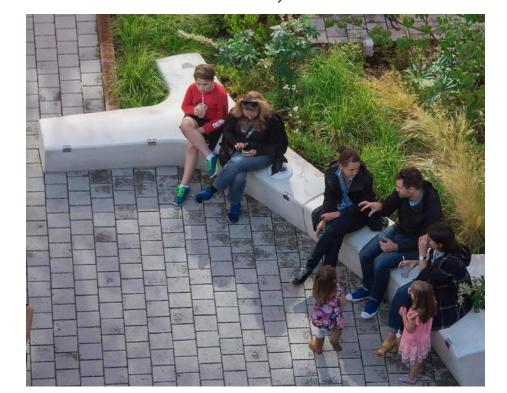






B) PATIO AREA (DESIGN INSPIRATION)











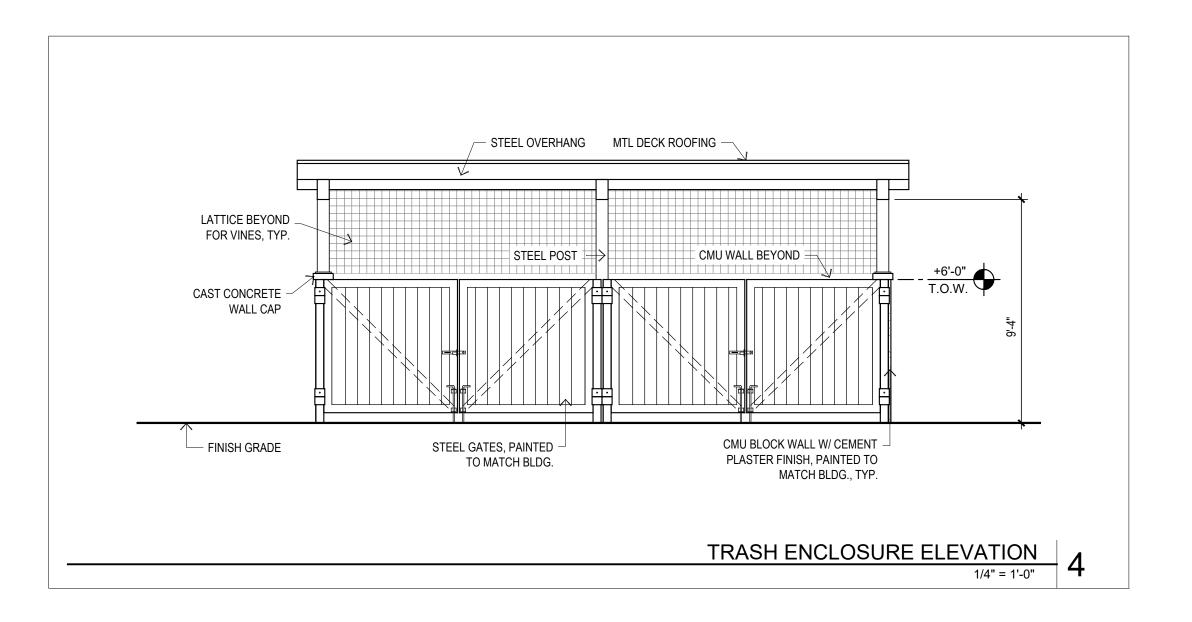


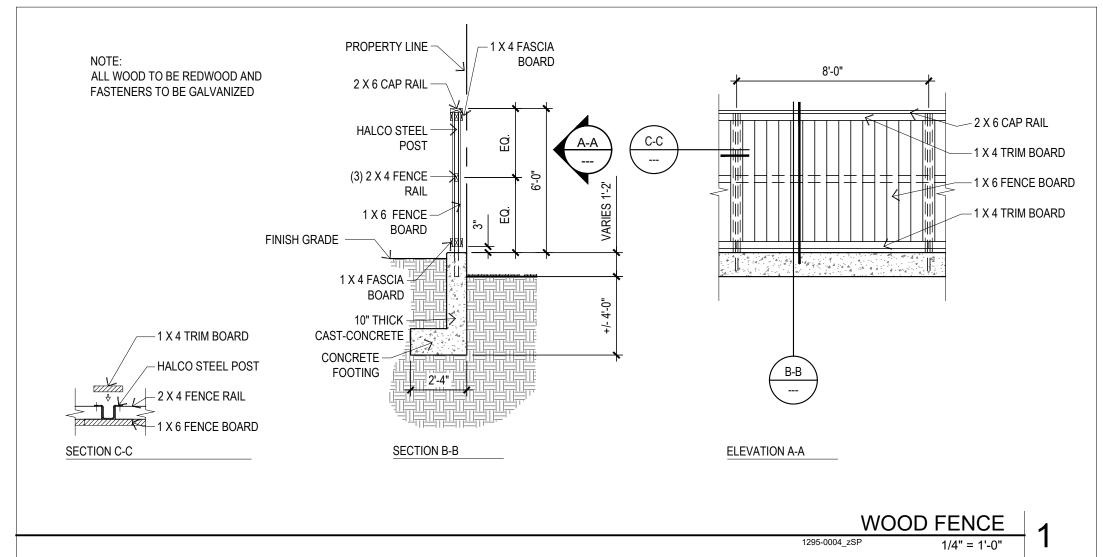
ENLARGED SITE PLAN

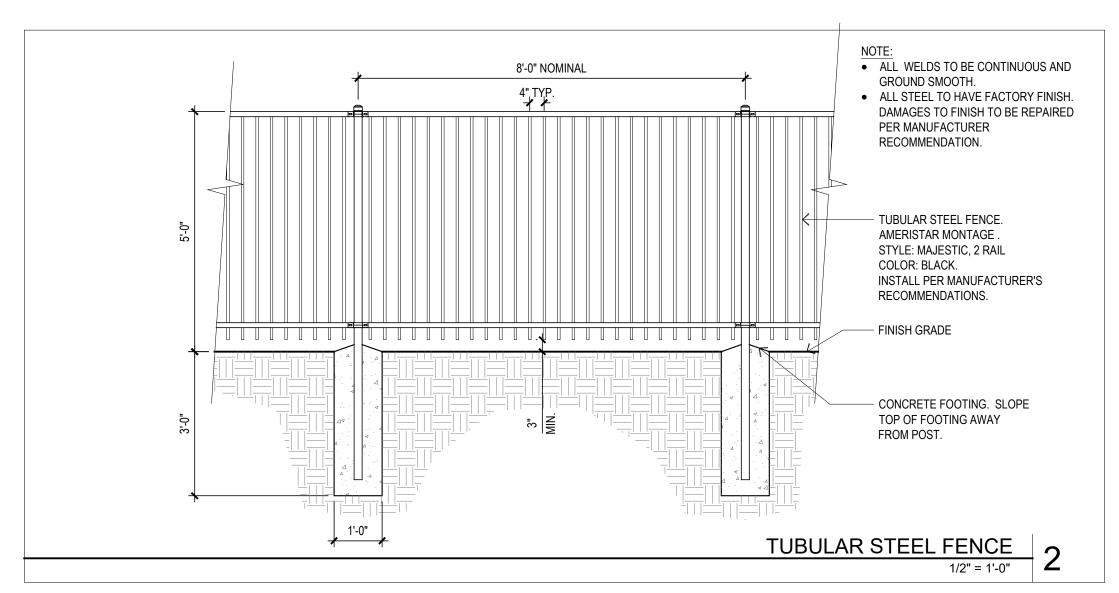
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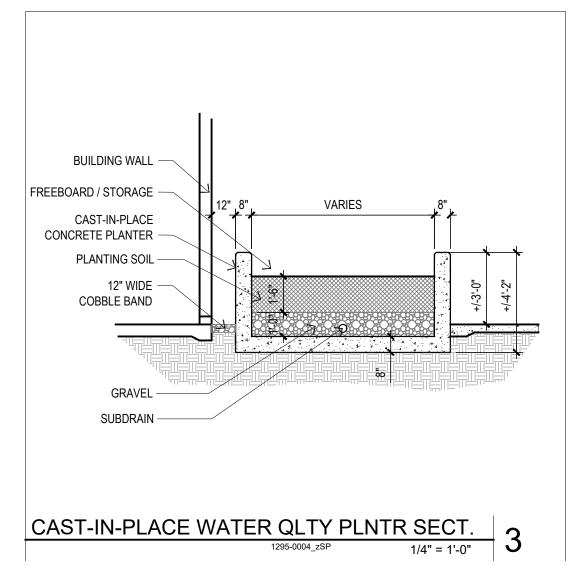
September 1, 2023

Scale: 1/4" = 10'-0"



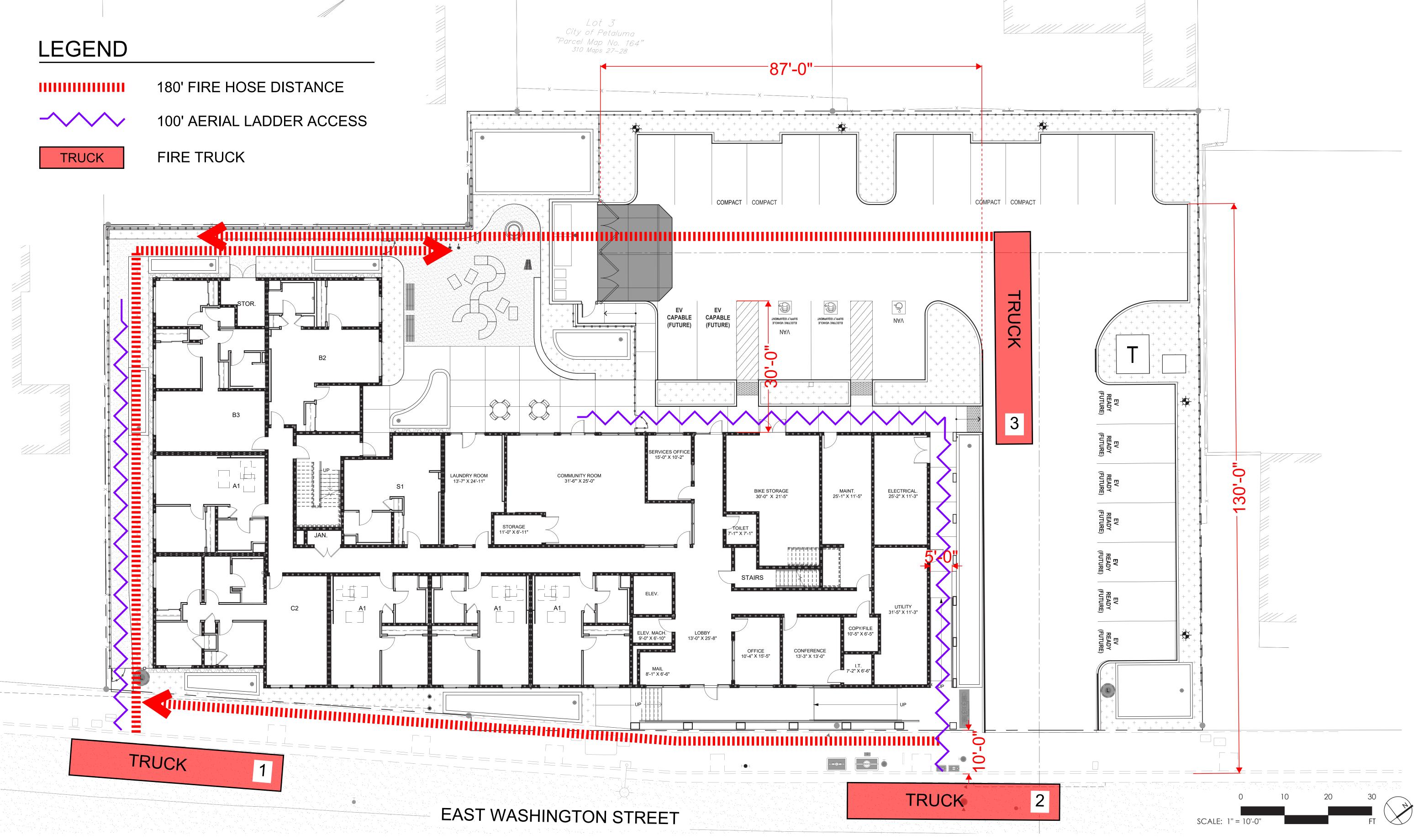






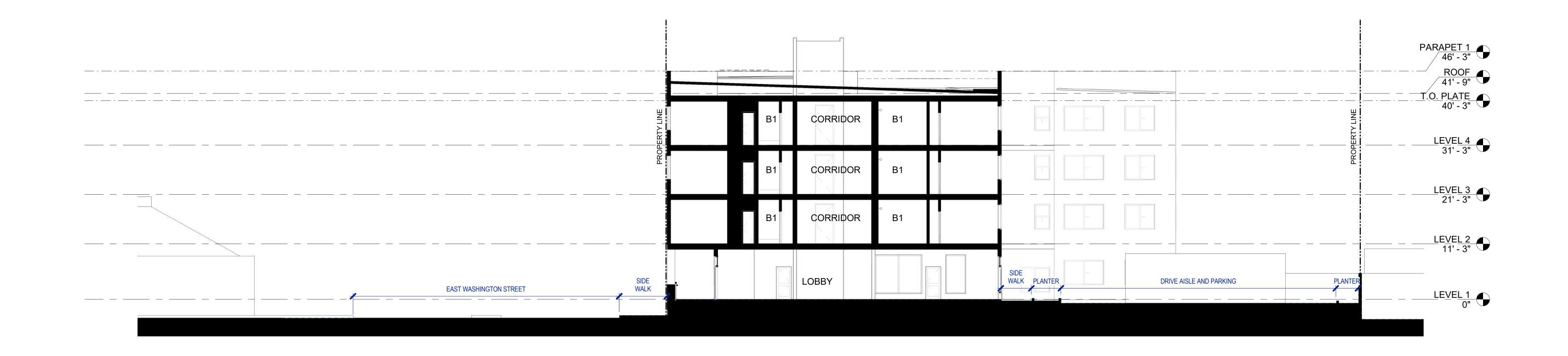




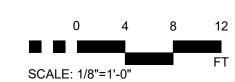




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SITE SECTION - WEST
3/32" = 1'-0"

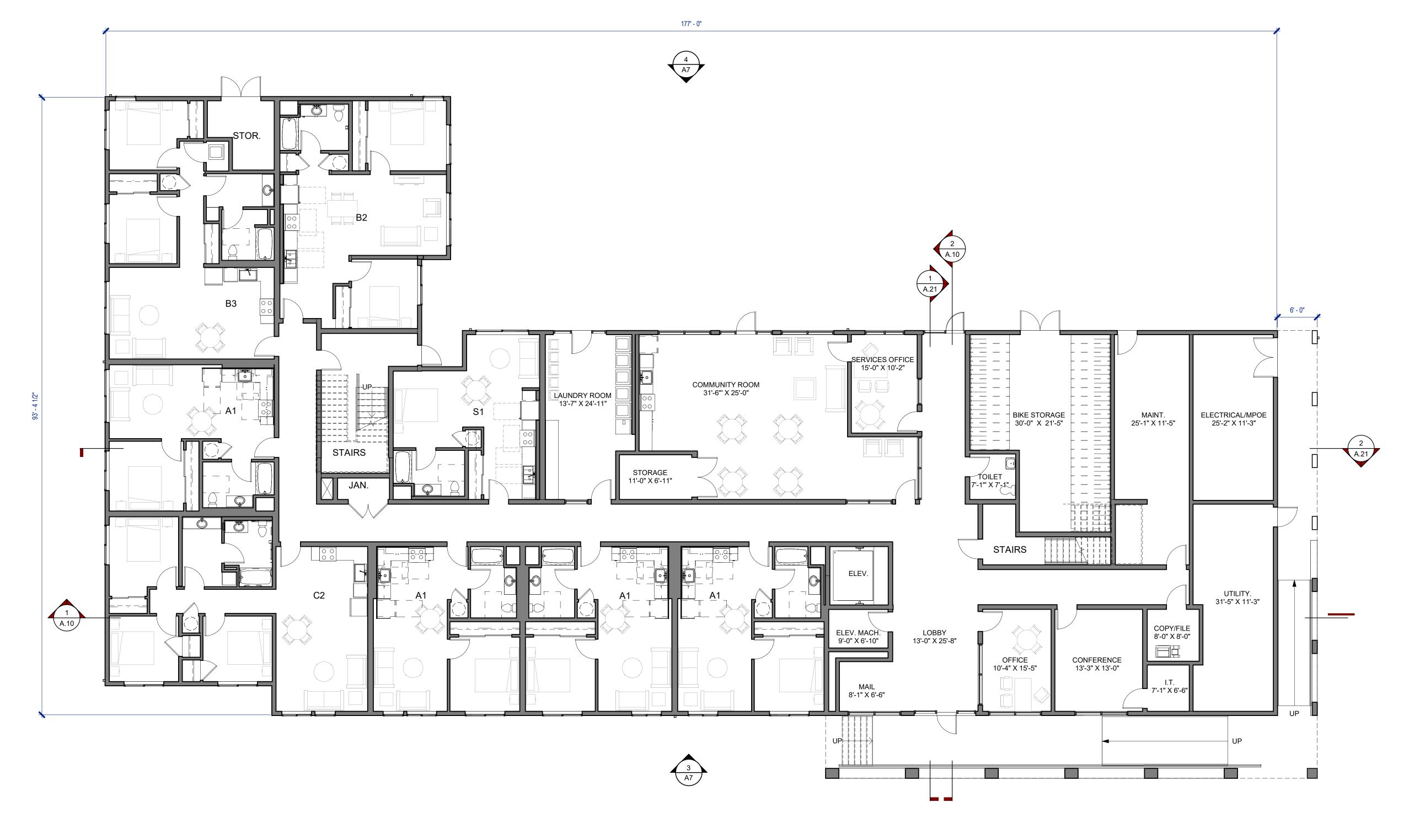


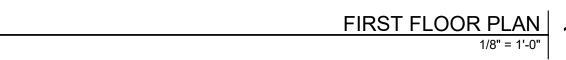
SITE SECTION - SOUTH

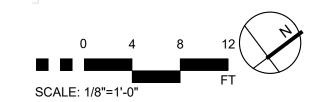
3/32" = 1'-0"

2



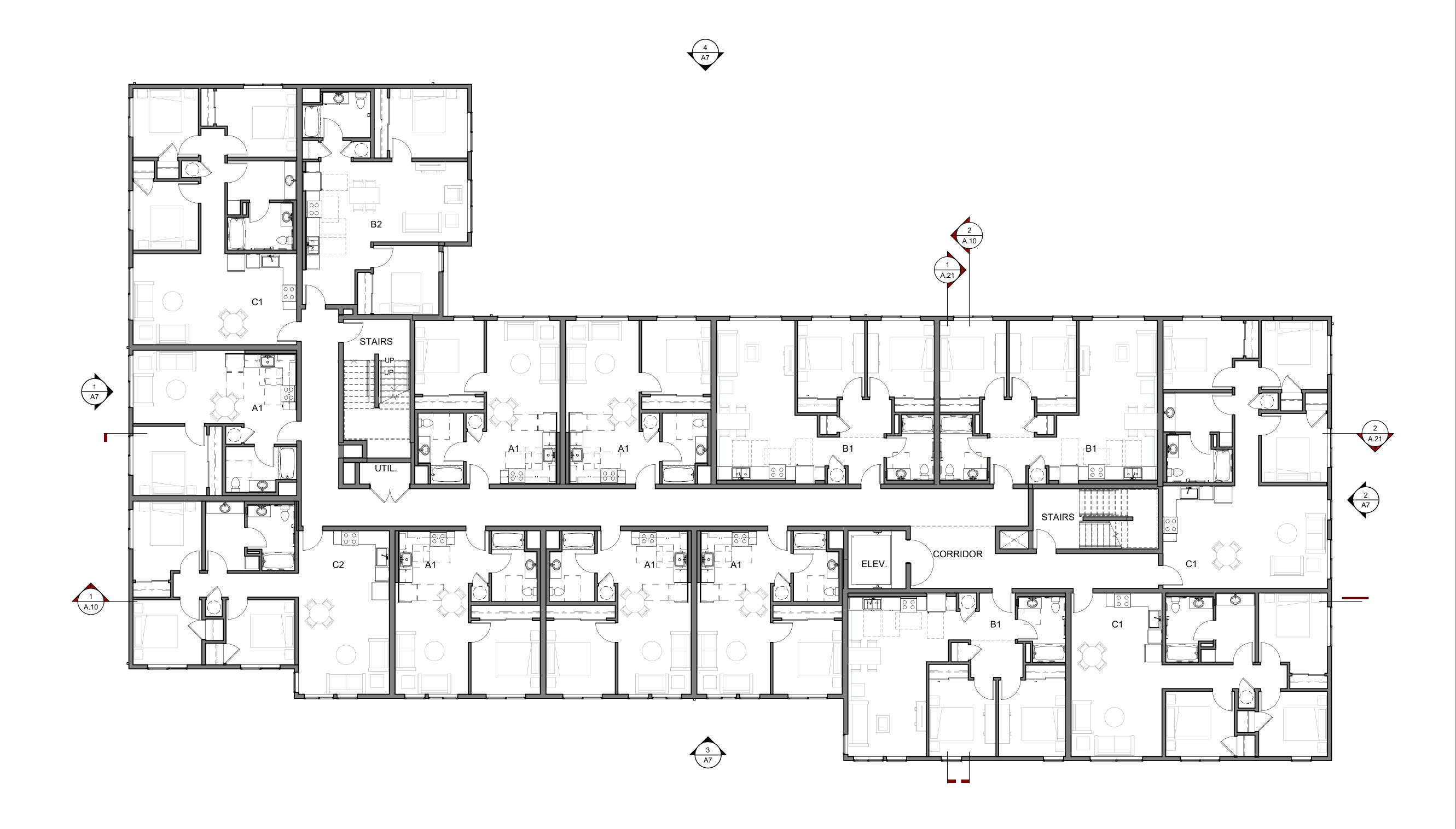


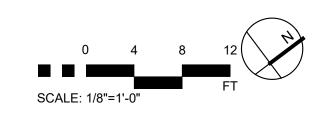






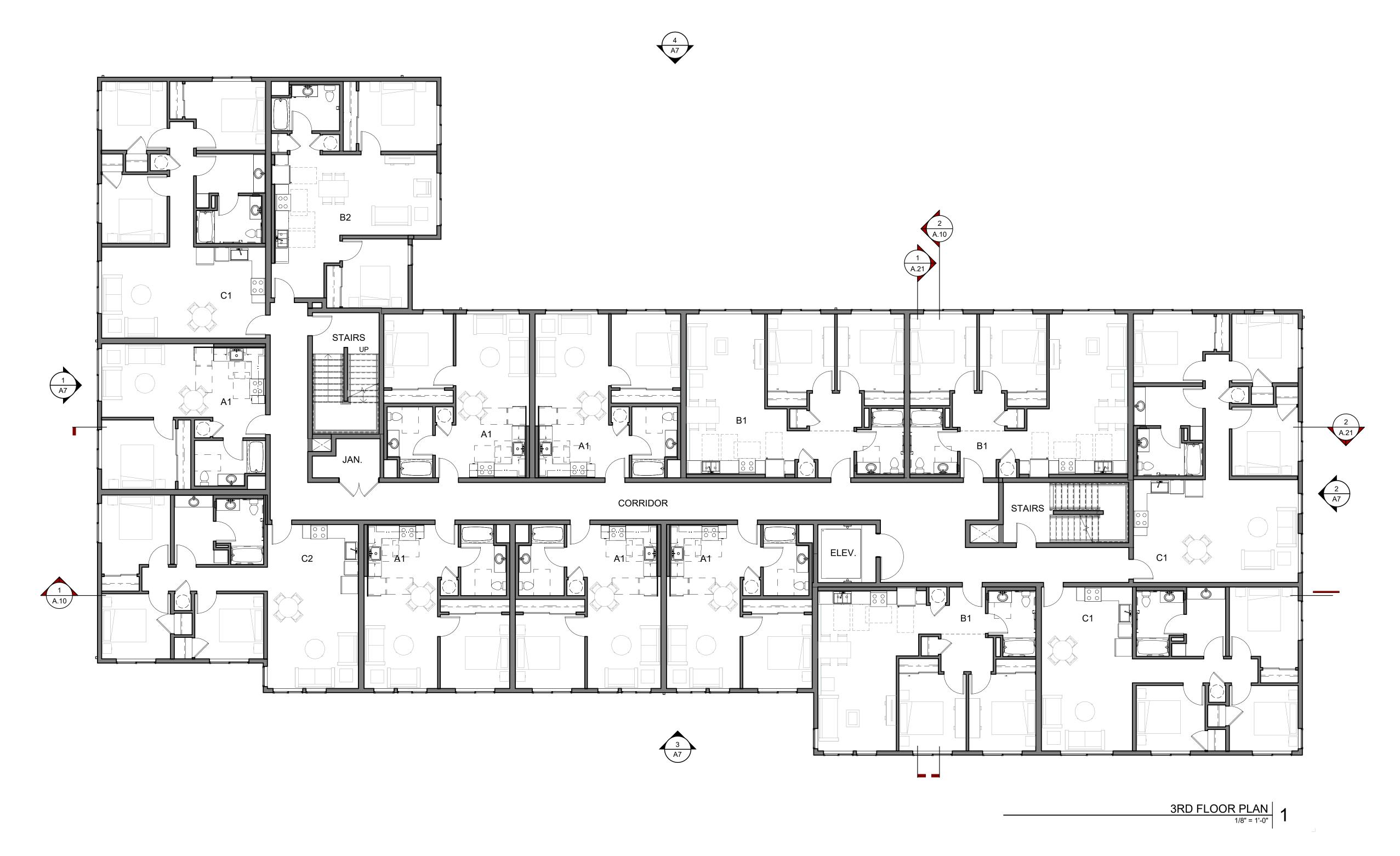


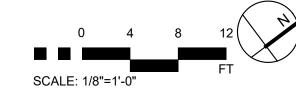












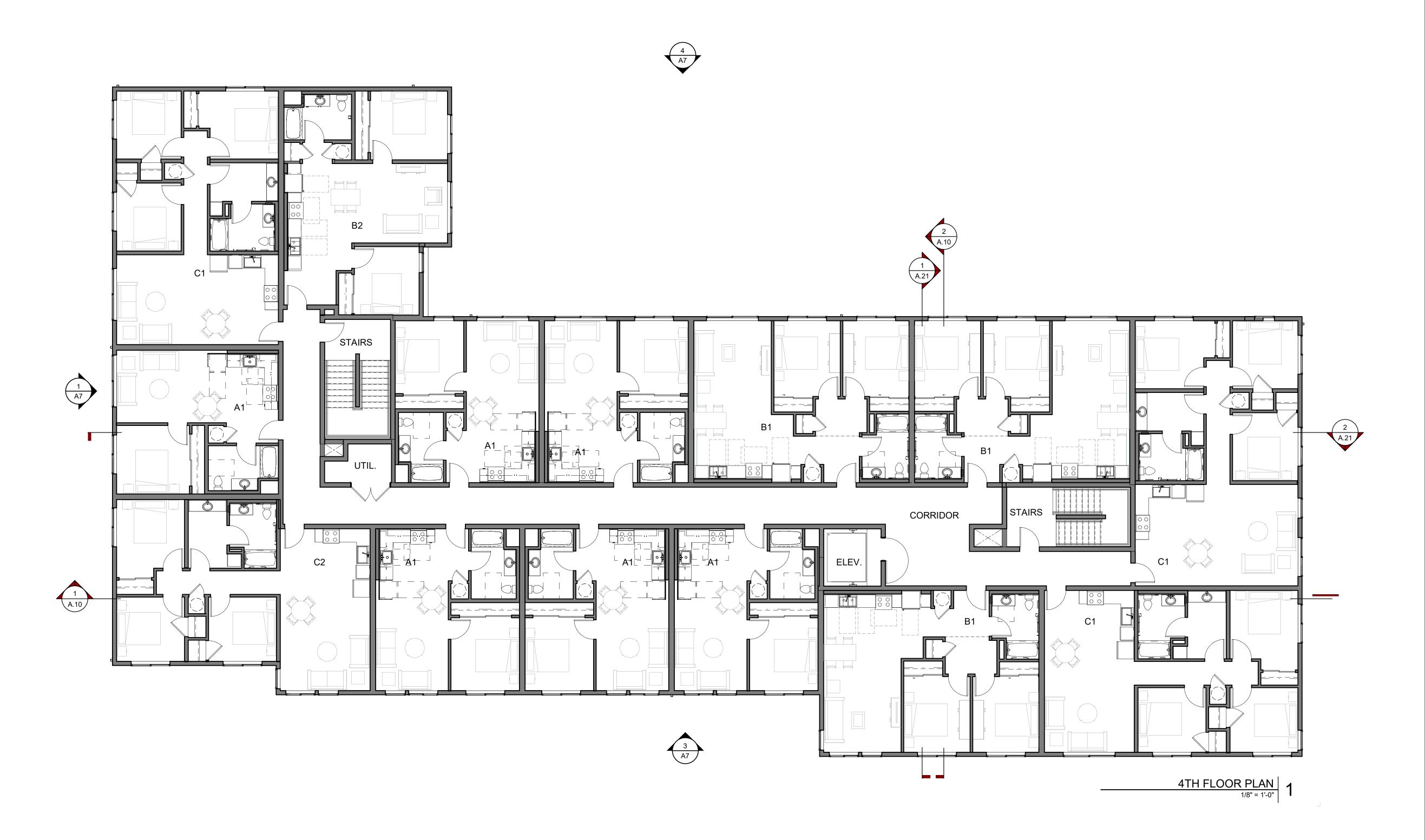


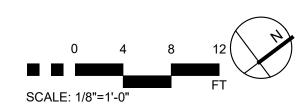


Third Floor Plan



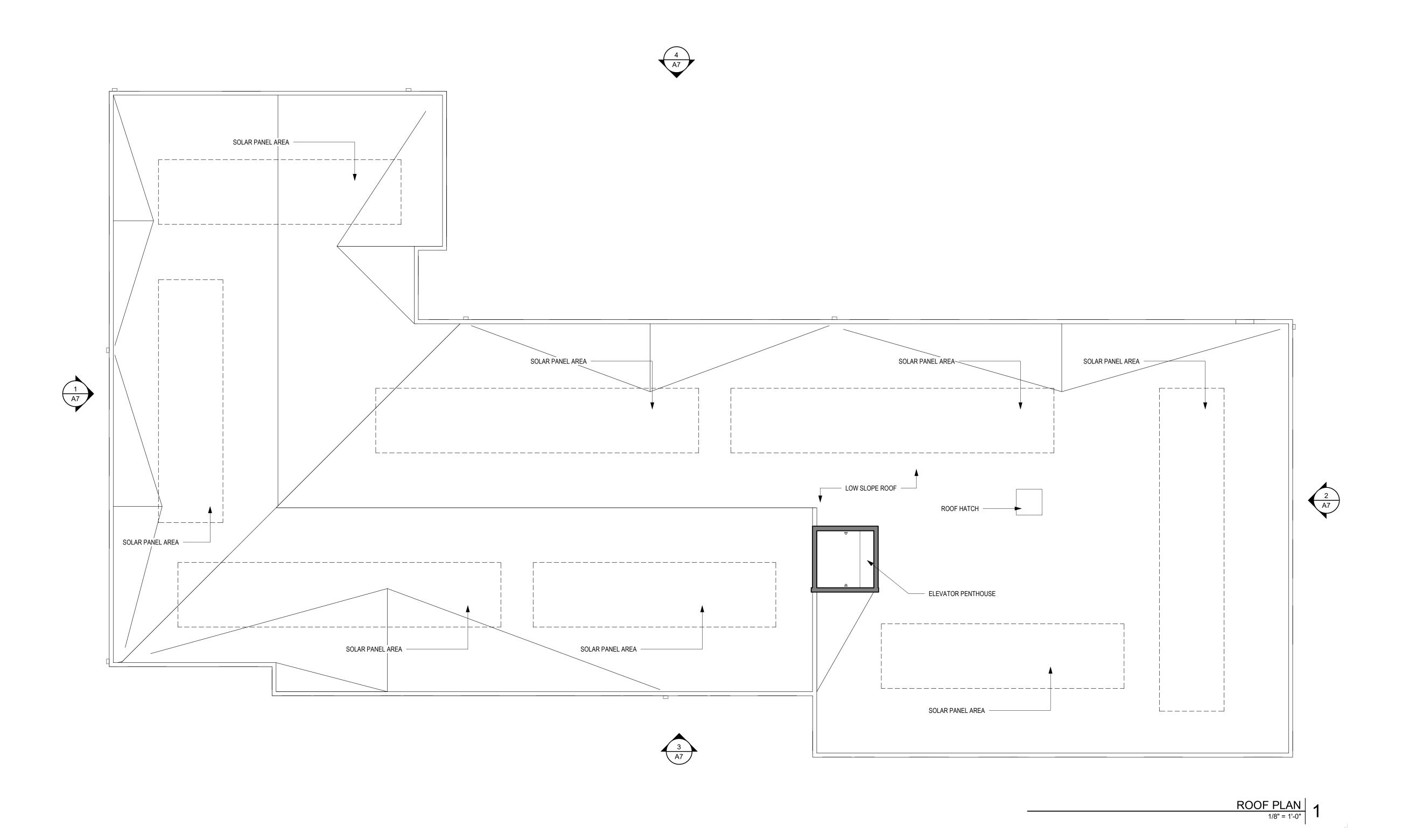
uma, CA
September 1, 2023





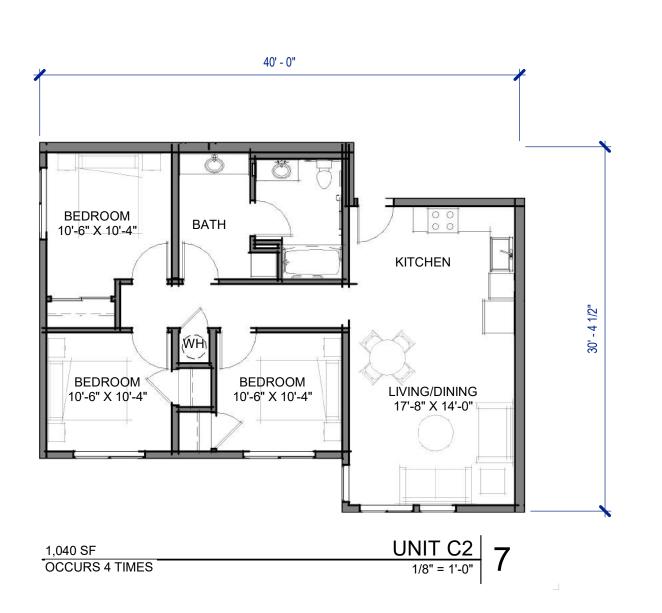


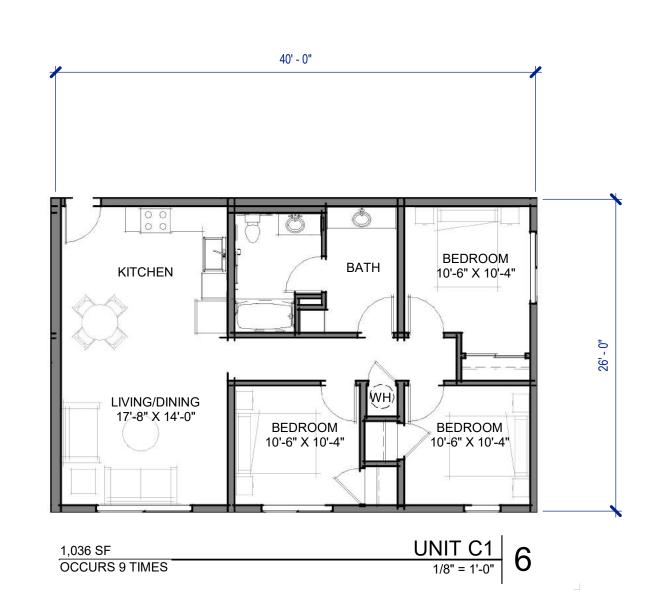


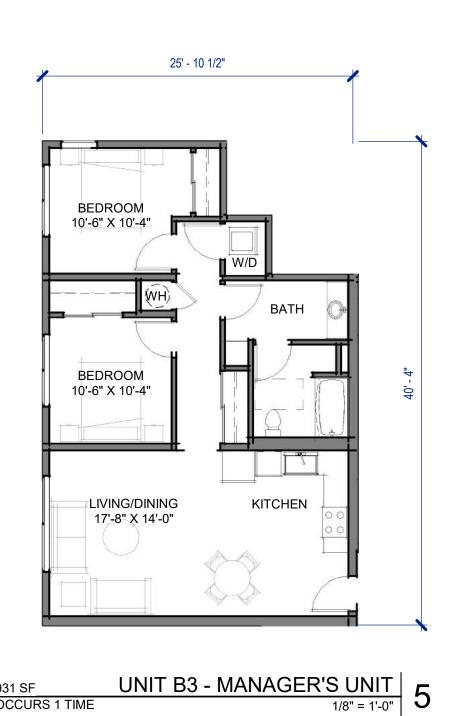


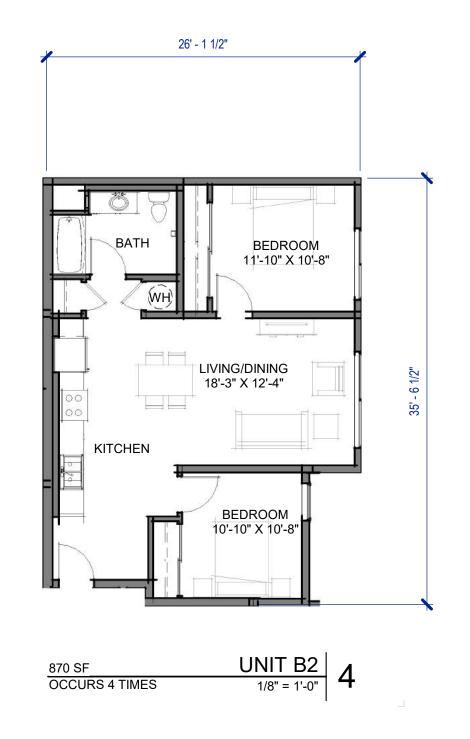


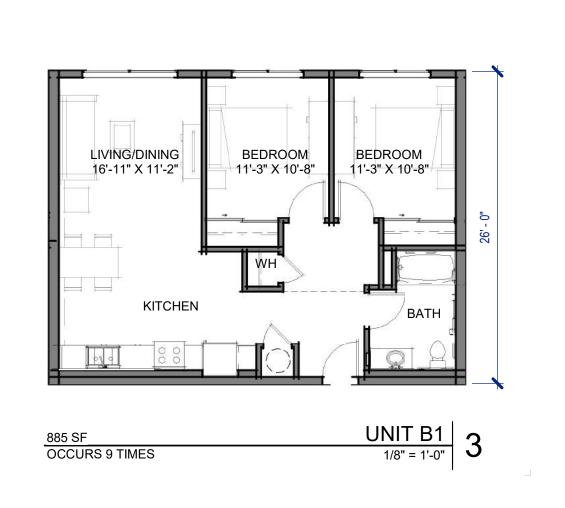








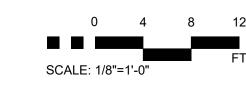










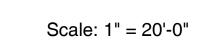






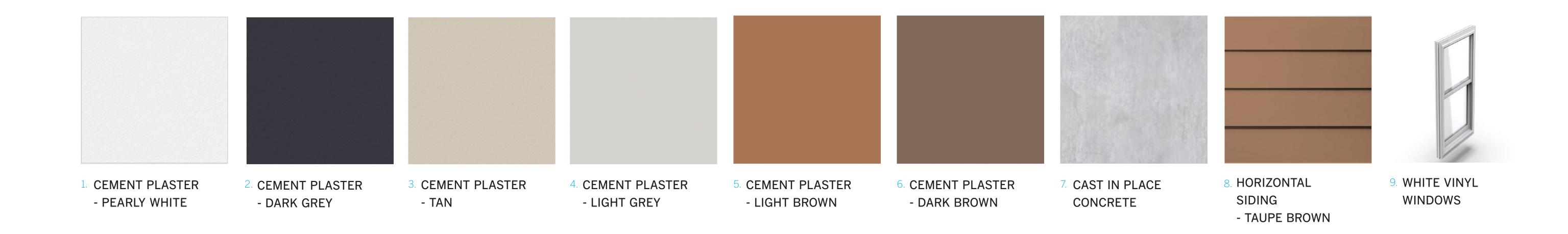


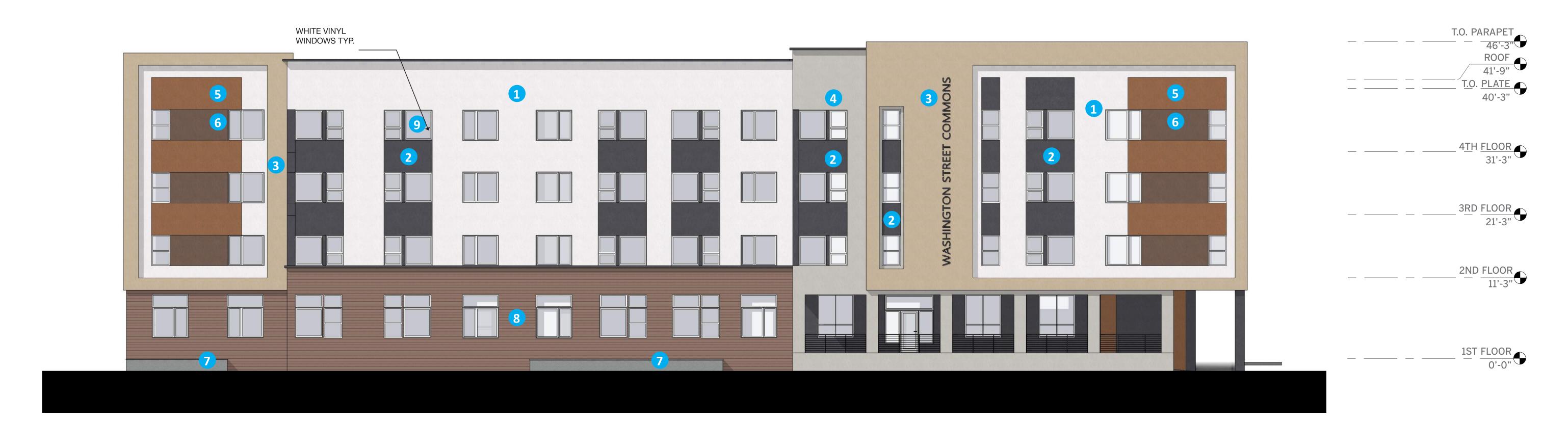








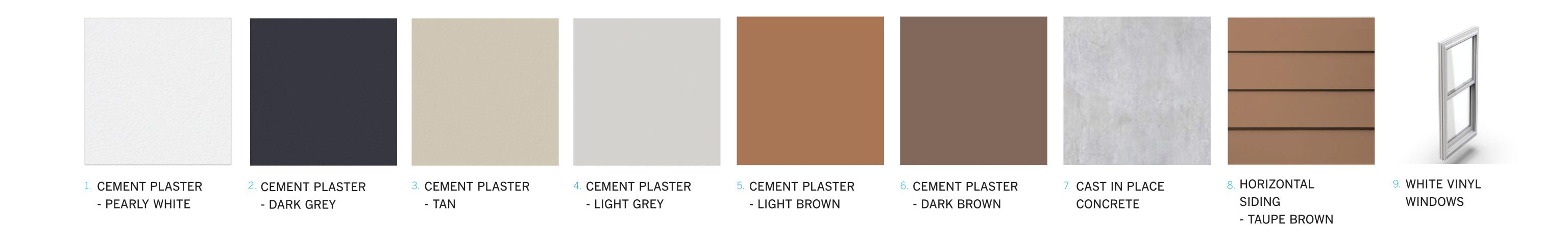




1. FRONT ELEVATION









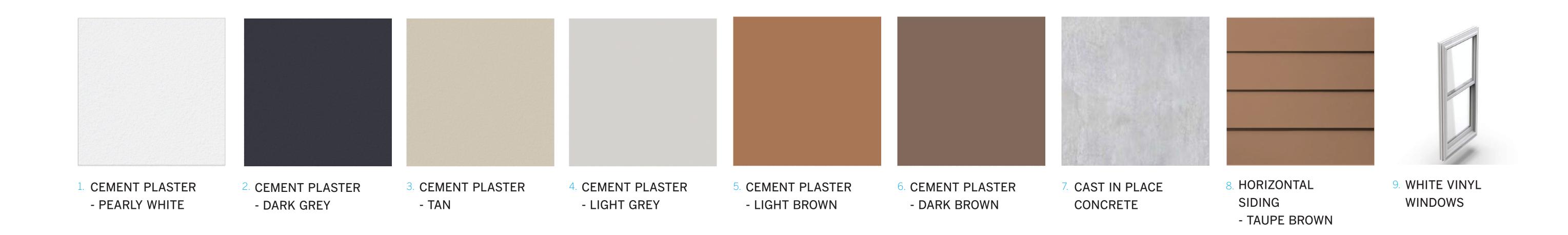


2. SIDE ELEVATION 1. SIDE ELEVATION



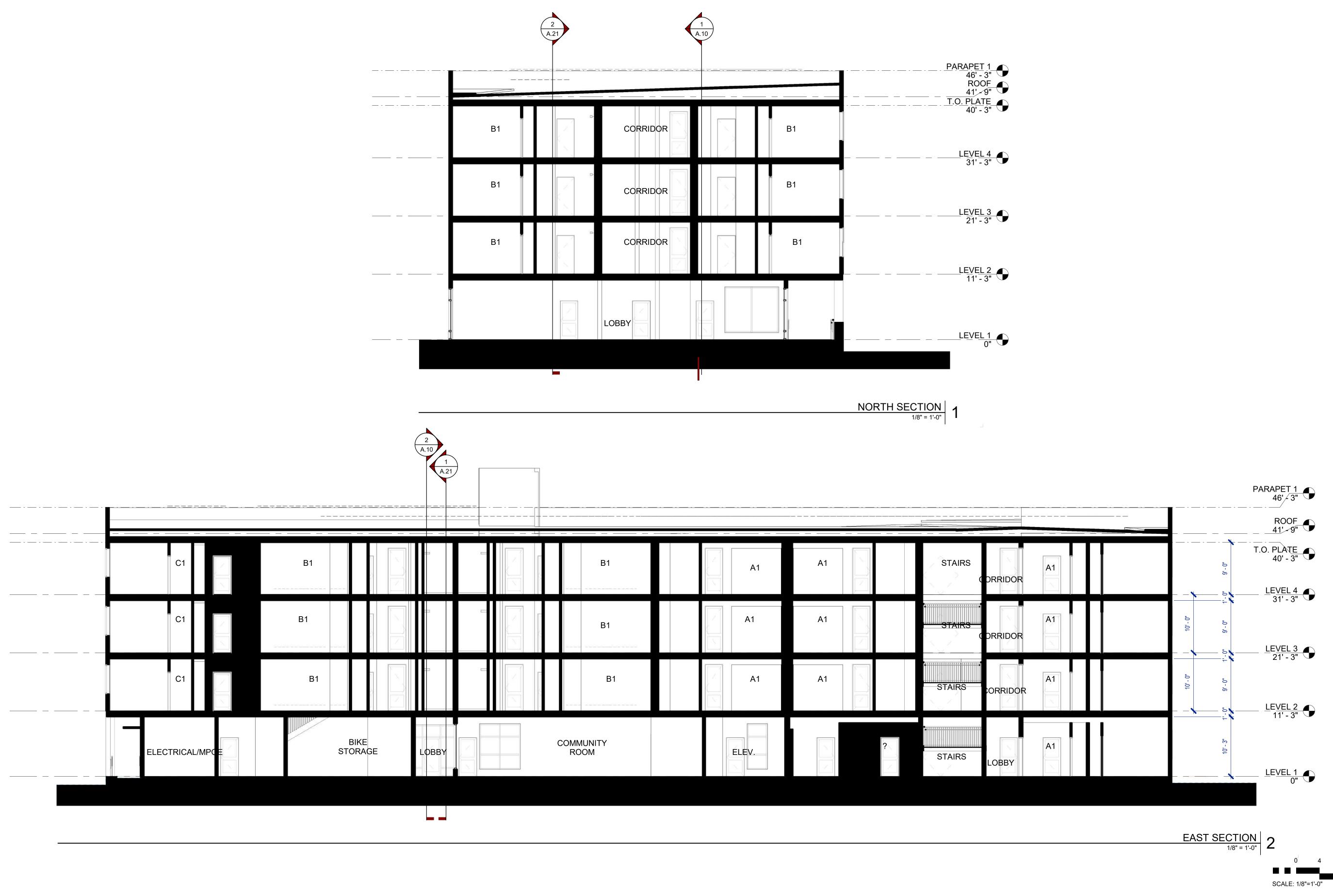


PROJECT NO. 1295-0004











3.5 FEET FROM FINISHED GRADE.

- 2. ALL DRAINAGE FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE "SONOMA COUNTY WATER AGENCY FLOOD CONTROL DESIGN STANDARDS" AND THE CITY OF PETALUMA "STORM DRAIN DETAIL SPECIFICATION NO. 31."
- 3. SEWER LATERALS SHALL HAVE 4.5 FEET OF COVER (FROM TC AT CURB LINE) AND NOT LESS THAN 1/4" FALL PER FOOT. SEWER LATERALS SHALL BE PLACED UNDER THE UNDERGROUND JOINT TRENCH UTILITIES AND KEPT CLEAR OF DRIVEWAYS.
- 4. MANHOLE FRAMES AND COVERS SHALL BE BROUGHT TO FINISH GRADE AFTER PAVING.
- 5. THE CONCRETE CONTRACTOR SHALL STAMP THE LETTER "W" ON THE FACE OF CURB DIRECTLY ABOVE THE WATER SERVICE. LETTERS SHALL BE NEAT, CLEAR AND 4" HIGH.
- 6. ALL STREET MONUMENTS, LOT CORNER PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 7. VARIANCES FROM STANDARD DETAILS OR THESE PLANS REQUIRE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE AGENCIES.
- 9. THE CITY ENGINEER SHALL HAVE A MINIMUM OF TWENTY-FOUR (24) HOURS NOTICE FOR INSPECTION. 10. THE NEW WATER LINES SHALL NOT BE PHYSICALLY CONNECTED TO THE CITY WATER SYSTEM UNTIL TESTED, CHLORINATED, AND APPROVED, WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF
- 11. WHEREVER POSSIBLE, GATE VALVES SHOULD BE LOCATED ON THE PROJECTION OF CURB LINES.
- 12. FIVE (5) HOURS MAXIMUM SHUTDOWN TIME OF EXISTING MAINS WHILE MAKING CONNECTIONS.
- CUSTOMERS. EXISTING VALVES TO BE OPERATED BY CITY WATER DIVISION PERSONNEL ONLY. 13. WATER SERVICES SHALL BE PLACED OVER THE TOP OF THE UNDERGROUND JOINT TRENCH UTILITIES. WATER SERVICES SHALL NOT BE INSTALLED WITHIN CURB CUTS FROM DRIVEWAYS.

TWENTY-FOUR (24) HOUR NOTICE OF SHUTDOWN TO BE GIVEN BY CONTRACTOR TO ALL WATER

- 14. AGGREGATE BASE MATERIALS SHALL BE CLASS 2 AND PLACED IN ACCORDANCE WITH SECTION 26-1.04 OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DATED JULY 1984, OR LATEST
- 15. THE SURFACE COURSE OF ASPHALT CONCRETE SHALL CONSIST OF TYPE A, 1/2" MAXIMUM MEDIUM GRADING AGGREGATE.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS OF LABORATORY AND FIELD TESTS. ALL TESTING SHALL BE COORDINATED THROUGH THE CITY OF PETALUMA.
- 17. ALL ELEVATIONS SHOWN ARE ON NGVD 1929 DATUM, PER CITY OF PETALUMA DATA. BENCHMARK IS FOUND 2" BRASS DISC WITH PUNCH MARK IN STANDARD STREET WELL MONUMENT CASING IN THE CENTERLINE OF NORTH MCDOWELL BOULEVARD 314.11 FEET NORTHERLY OF THE INTERSECTION OF
- 18. EXCAVATIONS OVER FIVE (5) FEET DEEP REQUIRE AN EXCAVATION PERMIT FROM THE STATE DEPARTMENT OF INDUSTRIAL SAFETY.
- 19. ALL UNDERGROUND CONTRACTORS SHALL CALL "UNDERGROUND SERVICE ALERT" AT 811 AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATING UNDERGROUND UTILITIES.
- 20. WHERE THE NEW DRIVEWAY OF THIS DEVELOPMENT JOINS EXISTING STREETS. IT SHALL BE THE
- CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT PAVEMENT CONFORMS AS REQUIRED BY THE PLANS.
- 21. GRADE BREAKS ON CURBS AND SIDEWALKS TO BE ROUNDED OFF IN FORMS AND FINISHED SURFACING. 22. INSTALL SIGNING AND STRIPING TO CONFORM WITH THE CURRENT EDITION OF THE CALTRANS TRAFFIC
- 23. A TRAFFIC CONTROL PLAN MUST BE REVIEWED AND APPROVED BY THE CITY PRIOR TO STARTING ANY ROAD WORK.
- 24. CONSTRUCTION EQUIPMENT IS NOT PERMITTED WITHIN ANY PUBLIC STREET OVERNIGHT

SCOTT STREET AND NORTH MCDOWELL BOULEVARD. ELEVATION =32.09'

GRADING NOTES

- THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY ROCKRIDGE GEOTECHNICAL (PROJECT NO. 22-2309) DATED JANUARY 24, 2023, IS HEREBY INCORPORATED AS A PART OF THESE PLANS.
- 2. THE OWNER SHALL RETAIN THE GEOTECHNICAL ENGINEER OF RECORD TO PROVIDE OBSERVATION AND TESTING OF SITE GRADING. THE GEOTECHNICAL ENGINEER SHALL SUBMIT A FINAL SOILS REPORT TO THE CITY, WHICH CERTIFIES THAT THE EMBANKMENTS WERE PLACED IN ACCORDANCE WITH THE PROJECT PLANS (AND AMENDMENTS THERETO, IF ANY), SPECIFICATIONS, AND SOUND GEOTECHNICAL PRACTICE. THE REPORT SHALL ADDRESS IN PARTICULAR THE SUITABILITY OF THE NATIVE SOIL ENCOUNTERED AT THE TOE AND BASE OF ALL FILLS. FURTHER, THE REPORT SHALL CONTAIN ANALYSIS OF THE SOILS ENCOUNTERED AND A COMPILATION OF COMPACTION TESTS PERFORMED. THE REPORT SHALL BE SUBJECT TO THE APPROVAL OF THE CITY.
- 3. SUBGRADE, CLASS II AGGREGATE BASE, AND ASPHALT CONCRETE SHALL HAVE A RELATIVE COMPACTION OF AT LEAST 95%. SEE SOILS ENGINEER'S RECOMMENDATIONS FOR REQUIRED SUBGRADE PREPARATION.
- 4. WHERE ROADWAY SUBGRADE IS IN EXISTING FILLS OR STOCKPILED MATERIAL. ALL FILLS SHOULD BE EXCAVATED TO FIRM NATIVE SOILS, REPLACED AS ENGINEERED FILL AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. THE UPPER 12 INCHES OF ROADWAY SUBGRADE SHOULD BE COMPACTED TO 95 PERCENT RELATIVE COMPACTION PER ASTM TEST DESIGNATION D1557-91, TO CREATE A FIRM, SMOOTH AND ESSENTIALLY UNYIELDING SURFACE. THE PAVEMENT DESIGN SECTIONS ASSUMED AN R-VALUE OF SUBGRADE SOILS, THE R-VALUE SHALL BE VERIFIED AFTER ROUGH GRADING TO ROADWAY SUBGRADE.
- WHERE FILLS ARE PLACED TO DEVELOP ROADWAY SUBGRADE, ANY LOOSE SURFACE SOILS PRESENT AT EXISTING GRADE AT CENTERLINE SHALL BE SCARIFIED AND COMPACTED FOR THEIR FULL DEPTH PRIOR TO PLACEMENT OF ADDITIONAL FILL.
- 6. ALL EXCESS SOIL MATERIAL, STUMPS, AND BOULDERS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH CITY BUILDING AND FIRE DEPARTMENT GRADING ORDINANCE AS THEY MAY APPLY.
- 7. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH APPENDIX J OF THE 2013 CALIFORNIA BUILDING CODE (CBC) AND CHAPTER 15.80 & 17.31 OF THE PETALUMA MUNICIPAL CODE (PMC).
- 8. NO WORK SHALL COMMENCE UNTIL THE CONTRACTOR, GRADING CONTRACTOR AND ALL RELATED SUBCONTRACTORS HAVE OBTAINED A COPY OF THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS PROJECT. COPIES OF THIS REPORT ARE AVAILABLE AT THE OFFICE OF HERZOG GEOTECHNICAL CONSULTING ENGINEERS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THIS REFERENCED REPORT AND ALL SUBSEQUENT GEOTECHNICAL REPORTS, INVESTIGATIONS, TESTS AND ANY OTHER DOCUMENTS PREPARED BY THE GEOTECHNICAL ENGINEER AND ALSO IN ACCORDANCE WITH THE GRADING INSTRUCTIONS HEREIN PREPARED BY ADOBE ASSOCIATES, INC. INCLUDING APPENDIX J OF THE 2013 CALIFORNIA BUILDING CODE.
- 9. IN THE EVENT THAT ARCHAEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING, WORK SHALL BE HALTED TEMPORARILY AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR EVALUATION OF THE ARTIFACTS AND TO RECOMMEND FUTURE ACTION. THE LOCAL INDIAN COMMUNITY SHALL ALSO BE NOTIFIED AND CONSULTED IN THE EVENT ANY ARCHAEOLOGICAL REMAINS ARE UNCOVERED.
- 10. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL PREVENT ANY DUST NUISANCE BY IMPLEMENTING THE FOLLOWING MEASURES TO THE SATISFACTION OF THE CITY INSPECTOR:
- a. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. b. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
- c. SWEEP ROADS AS NEEDED (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC ROADS.
- 11. ALL STRIPPINGS TO BE USED ON THE PROJECT SHALL BE AS DIRECTED BY THE GEOTECHNICAL
- 12. IF CONSTRUCTION IS PERFORMED EARLIER THAN APRIL 15TH OR LATER THAN OCTOBER 15TH IN ANY GIVEN YEAR, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AS SHOWN ON THESE PLANS. SEE EROSION AND SEDIMENT CONTROL NOTES
- 13. THE CONTRACTOR SHALL PERFORM EARTHWORK CALCULATIONS WHICH ACCOUNT FOR HIS/HER PROPOSED METHODS OF GRADING AND TRENCHING AS HE/SHE DEEMS NECESSARY FOR BIDDING AND CONSTRUCTION PURPOSES. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO BALANCE THE EARTHWORK OF THIS PROJECT AND TO ACCOUNT FOR THE COST OF ANY NECESSARY IMPORTING OR EXPORTING OF EARTH IN HIS/HER BID. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THIS ITEM OF WORK UNLESS THE OWNER REQUESTS ADDITIONAL WORK BE PERFORMED.
- 14. UNSUITABLE MATERIAL SHALL BE HAULED OFF TO SITES APPROVED BY CITY BUILDING DIVISION AND THE CITY FIRE DEPARTMENT OR COUNTY. APPROVALS MUST BE IN WRITING PRIOR TO REMOVAL OF
- 15. PRIOR TO ANY SITE WORK, A PROTECTION ZONE SHALL BE FENCED AROUND ANY TREE TO BE SAVED. ANY OFFSITE TREES OVERHANGING THE PROPERTY LINE SHALL BE AFFORDED THE SAME LEVEL OF PROTECTION. THE FENCE SHALL REMAIN IN PLACE CONTINUOUSLY DURING ALL PHASES OF CONSTRUCTION. NO EXCAVATION. CUTTING. FILLING. COMPACTION. TRENCHING. TUNNELING OR PAVING. AND NO STORAGE OR DUMPING OF CONSTRUCTION MATERIALS, GAS, OIL, CHEMICALS, OR OTHER SUBSTANCES SHALL OCCUR IN THE PROTECTION ZONE WITHOUT THE WRITTEN APPROVAL OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT.
- 16. CONTRACTOR SHALL CONFINE HOURS OF CONSTRUCTION OPERATION TO 7 A.M TO 5 P.M. MONDAY THROUGH FRIDAY, UNLESS OTHERWISE APPROVED. ALL EQUIPMENT SHALL HAVE APPROPRIATE NOISE SUPPRESSION DEVICES (MUFFLERS) IN-PLACE AND FUNCTIONING AT ALL TIMES. IN ACCORDANCE WITH STATE GUIDELINES FOR SAME. NO ON-SITE "WARM UP" OF EQUIPMENT SHALL BE PERMITTED PRIOR TO 7:00 A.M., "WARM UP" TIMES SHALL BE MINIMIZED, AND ANY EQUIPMENT NOT ACTIVELY IN-USE SHALL BE SHUT DOWN IMMEDIATELY.
- 17. ALL RAMPS, CURB RAMPS, SIDEWALKS & DRIVEWAYS SHALL MEET CURRENT ADA & CBC REQUIREMENTS.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- 1. THE OWNER AND CONTRACTOR ARE RESPONSIBLE TO PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTERS 15.80 AND 17.31 OF THE CITY MUNICIPAL CODE AND OTHER APPLICABLE CITY OF PETALUMA REGULATIONS, AND SECTION 20 OF THE CALTRANS SPECIFICATIONS.
- 2. THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK
- 3. IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- 4. AT ALL TIMES THE OWNER IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE STATE OF CALIFORNIA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT WASTE DISCHARGE REQUIREMENTS FOR DISCHARGES OF STORM WATER RUNOFF ASSOCIATED WITH CONSTRUCTION ACTIVITY. CONSTRUCTION ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO CLEARING, GRADING, EXCAVATION, STOCKPILING, AND RECONSTRUCTION OF EXISTING FACILITIES INVOLVING REMOVAL AND REPLACEMENT. RAINY SEASON OPERATIONS
- 1. THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 — APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH PMC CHAPTER 17.31 . BEST MANAGEMENT PRACTICES (BMPS) SHALL BE IMPLEMENTED AS SHOWN ON THIS PLAN.
- 2. THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE
- 3. OWNER TO ORGANIZE SITE MEETING WITH DESIGN ENGINEER AND SITE GRADING CONTRACTOR PRIOR TO THE ONSET OF WINTER RAINS TO COORDINATE PROPER EROSION CONTROL MEASURES BASED UPON SCHEDULE AND LEVEL OF EXPOSED

YEAR ROUND REQUIREMENTS

MAXIMUM EXTENT PRACTICABLE.

- 1. DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECASTS A CHANCE OF RAIN OF 50% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPS REFERENCED OR DETAILED ON THESE PLANS SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPS SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- 3. THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
- 4. CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL SHOWN ON THIS PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
- . DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
- 6. ENTRANCE(S) TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE CITY RIGHT-OF-WAY, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND DIRT FROM BEING RELEASED OR TRACKED OFFSITE
- 7. ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE, SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION. ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
- 8. WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES. SEDIMENT CONTROL DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
- 9. HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE. AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS
- APPLICATIONS SHALL BE BROADCASTED MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING AN EMULSION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE AND PROTECT EXPOSED SLOPES.

<u>MATERIALS</u>	APPLICATION RATE (POUNDS PER ACRE)
SEED MIX BROMUS MOLLIS (BLANDO BROME) TRIFOLIUM HIRTUM (HYKON ROSE CLOVER)	40
FERTILIZER 16-20-0 & 15% SULPHUR	500
MULCH STRAW	4000
HYDRAULIC STABILIZING* M-BINDER OR SENTINEL	75–100

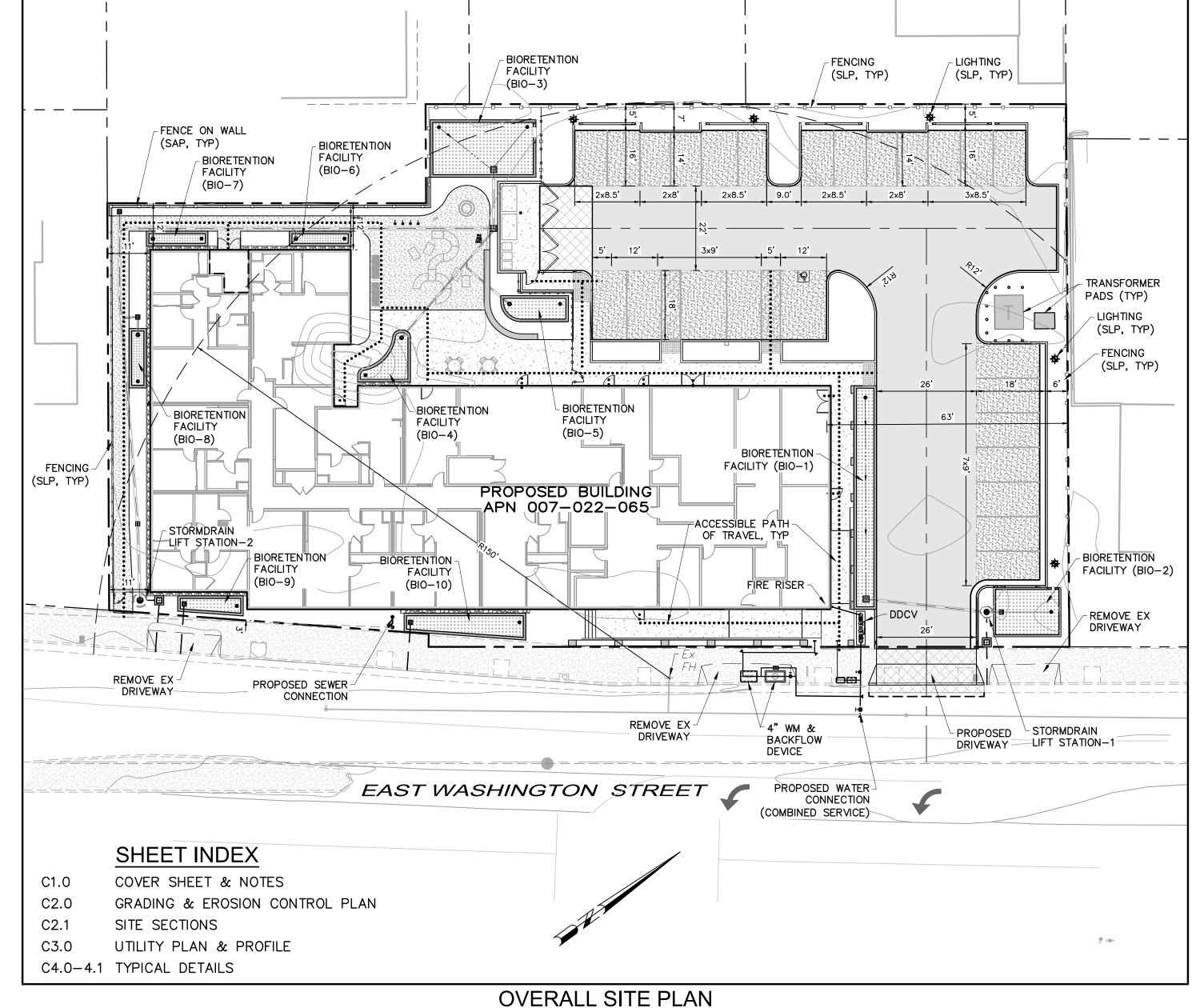
- (EQUIVALENT MATERIAL PER MANUFACTURER)
- *NON-ASPHALTIC, DERIVED FROM PLANTS
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
- 10. STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL CONSTRUCTION HAS BEEN COMPLETED.
- 11. ENERGY DISSIPATERS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSIVE STORM WATER
- 12. SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND
- POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE. 13. SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEARED OF SOLID WASTE DAILY OR AS
- NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR. 14. A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS
- CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL. 15. PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
- 16. TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION
- ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS. 17. APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

ABBREVIATIONS

AAI	ADOBE ASSOCIATES, INC.	ESMT	EASEMENT	RPBP	REDUCED PRESSURE
AΒ	AGGREGATE BASE	EX	EXISTING		BACKFLOW PREVENTOR
AC	ASPHALT CONCRETE	FL	FLOWLINE	RPDC	REDUCED PRESSURE
3CR	BEGIN CURB RETURN	FG	FINISH GRADE		DETECTOR CHECK
BLDG	BUILDING	FH	FIRE HYDRANT	RT	RIGHT
3GL	BOTTOM OF GRAVEL LAYER	FM	FORCE MAIN	R/W	RIGHT OF WAY
ЗМ	BENCHMARK	GB	GRADE BREAK	S	SLOPE
BNDY	BOUNDARY	GR	GRATE	SCH	SCHEDULE
C&G	CURB AND GUTTER	GW	GUY WIRE	SD	STORM DRAIN
CB	CATCH BASIN	HDPE	HIGH DENSITY POLYETHYLENE	SDMH	STORM DRAIN MANHOLE
È	CENTERLINE	HOR	HORIZONTAL	SF	SQUARE FEET
CL	CLASS	HP	HIGH POINT	SL	STREET LIGHT
CLUS	CLUSTER	IG	INVERT GRADE	SLP	SEE LANDSCAPING PLANS
CP	CONTROL POINT	LAT	LATERAL	SPP	SEE PLUMBING PLANS
CMP	CORRUGATED METAL PIPE	LF	LINEAR FEET	SPEC	SPECIFICATIONS
CO	CLEANOUT	LT	LEFT	SS	SANITARY SEWER
CONC	CONCRETE	MAX	MAXIMUM	SSP	SEE STRUCTURAL PLANS
Ol	DRAINAGE INLET	МН	MANHOLE	STA	STATION
NΑ	DIAMETER	MIN	MINIMUM	STD	STANDARD
W	DOMESTIC WASTE	MON	MONUMENT	TEL	TELEPHONE
OWG	DRAWING	NTS	NOT TO SCALE	TGL	TOP OF GRAVEL LAYER
DRW	DRIVEWAY	NO	NUMBER	TSL	TOP OF SOIL LAYER
EC	END HORIZONTAL CURVE	OC	ON CENTER	TYP	TYPICAL
ECR	END CURB RETURN	PBM	PROJECT BENCHMARK	VAR	VARIES
EG	EXISTING GROUND	PL	PROPERTY LINE	VERT	VERTICAL
ELEV	ELEVATION	PUE	PUBLIC UTILITY EASEMENT	W	WATER
ΞP	EDGE OF PAVEMENT	RCE	REGISTERED CIVIL ENGINEER	WM	WATER METER
ER	EDGE OR ROAD	RCP	REINFORCED CONCRETE PIPE	WL	WATER LINE

WASHINGTON COMMONS PRELIMINARY IMPROVEMENT PLANS

817, 821 & 825 East Washington Street, Petaluma, California APN 007-022-065



SCALE: 1" = 20'

DEVELOPER INFO

MIDPEN HOUSING CORP. C/O: RILEY WEISSENBORN 350 COLLEGE AVE, SUITE 250 SANTA ROSA, CA 95401

(707) 398–2382

LANDSCAPE & ARCHITECT LPAS ARCHITECTURE & DESIGN

53RD STREET SAN FRANCISCO, CA 94103 (415) 213-0335

MEP ENGINEER

EMERALD CITY ENGINEERS, INC. 21705 HIGHWAY 99 LYNNWOOD, WA 98036 (425) 741-1200

GEOTECHNICAL **ENGINEER**

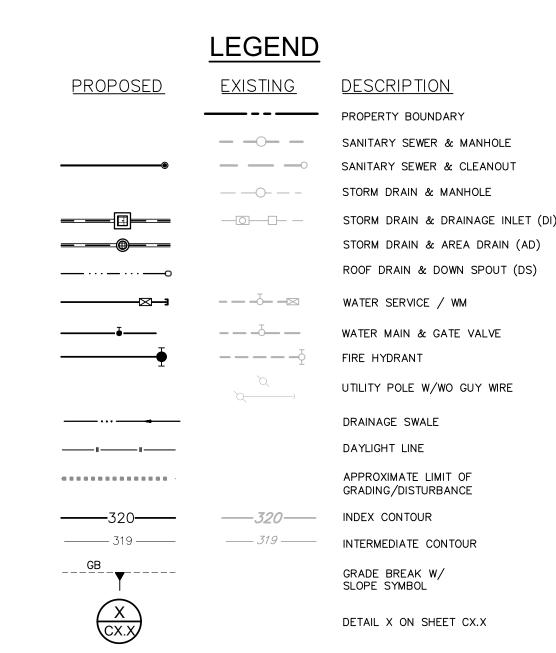
ROCKRIDGE GEOTECHNICAL 270 GRAND AVENUE OAKLAND, CA 94610 (510) 420-5738

PARKING REPORT

– ONSITE PARKING: – ACCESSIBLE: 2 (1 VAN)

CIVIL ENGINEER & LAND SURVEYOR ADOBE ASSOCIATES, INC.

1220 N. DUTTON SANTA ROSA, CA 95401 (707) 541-2300





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3 REVISED SET

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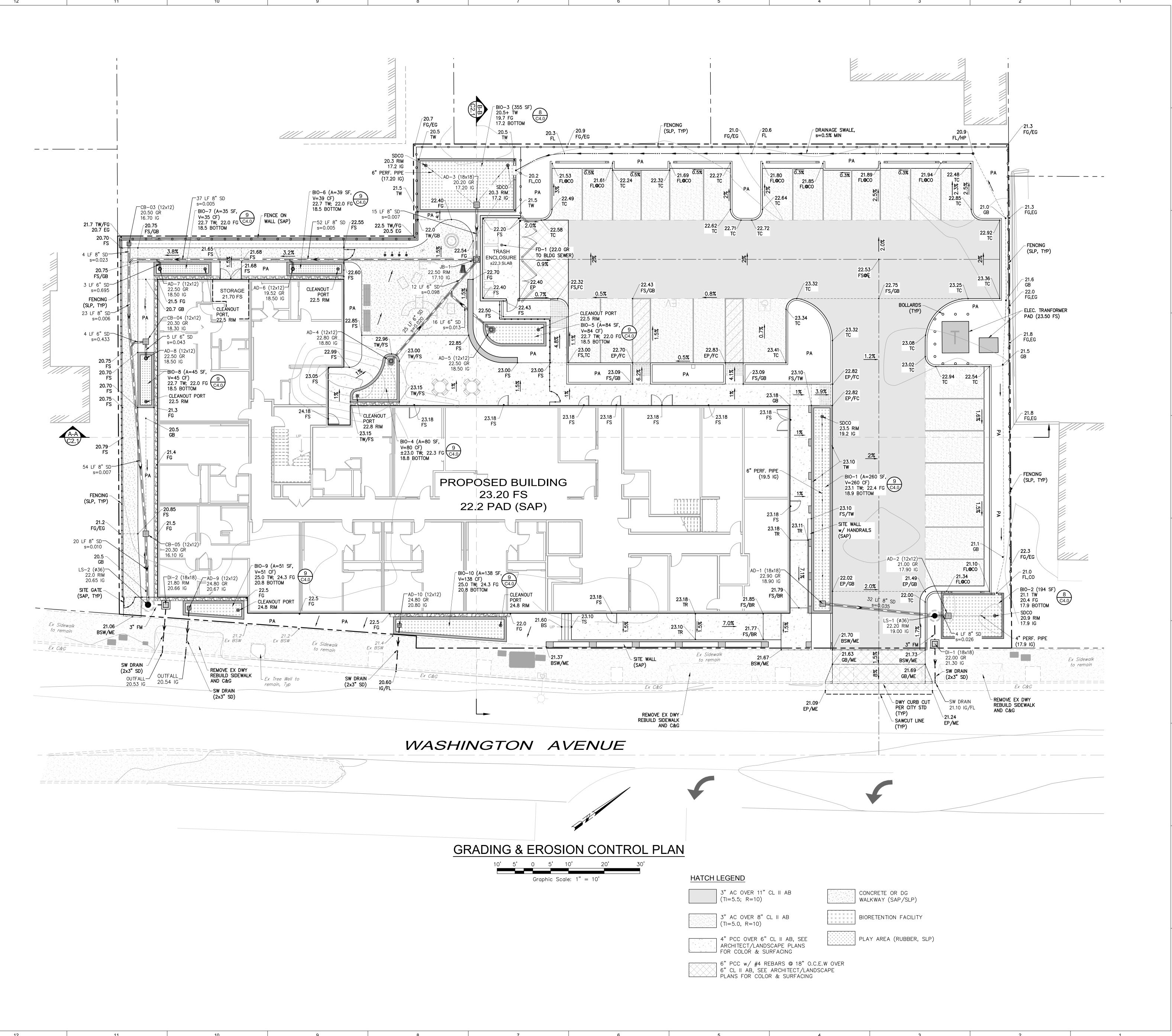
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COVER SHEET & NOTES

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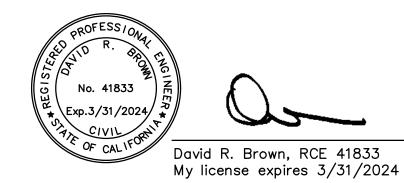
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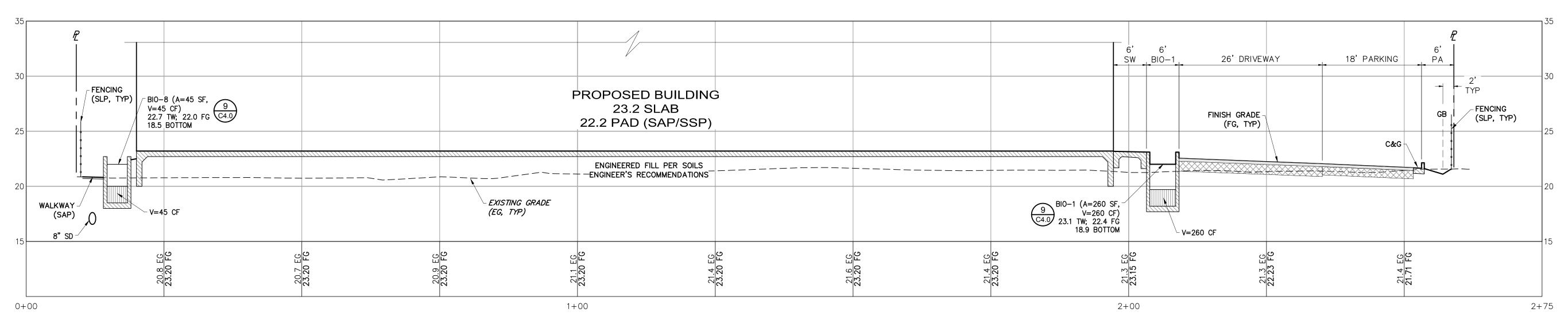
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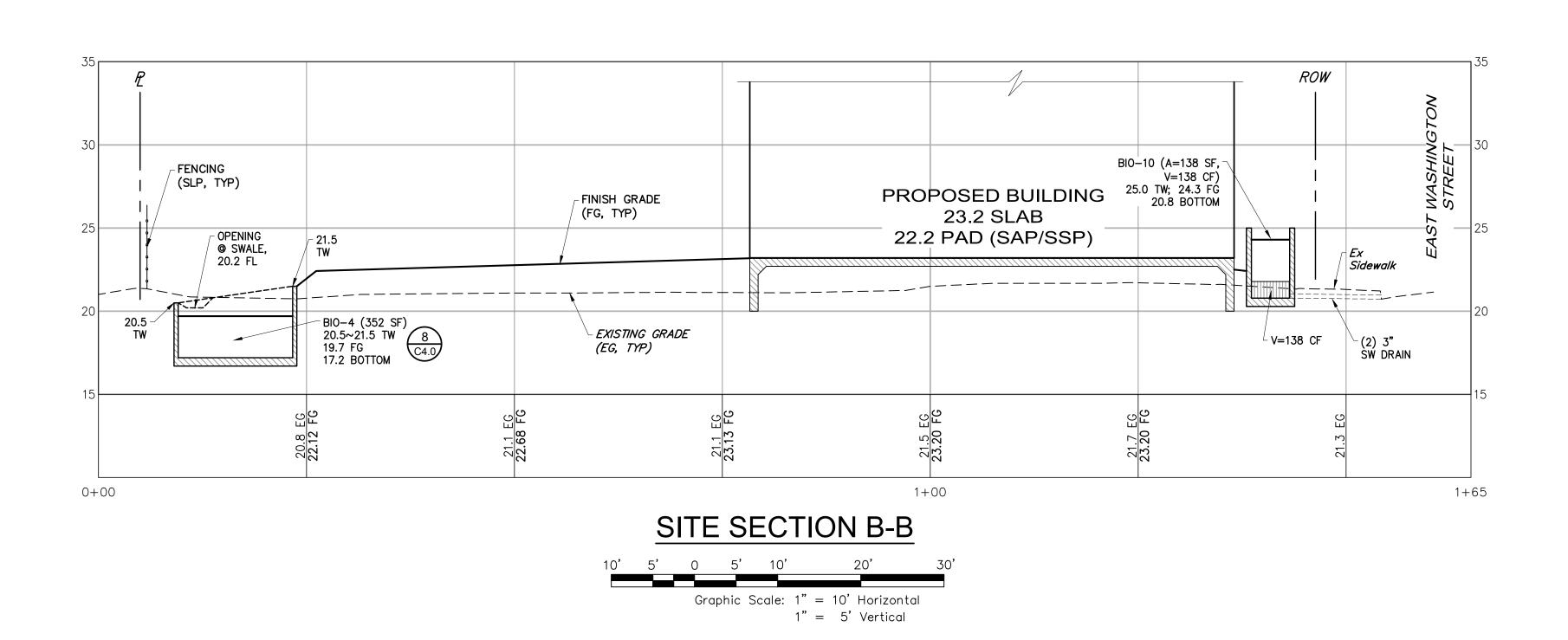
GRADING & EROSION CONTROL PLAN

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SITE SECTION A-A 1" = 5' Vertical



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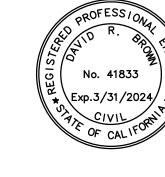
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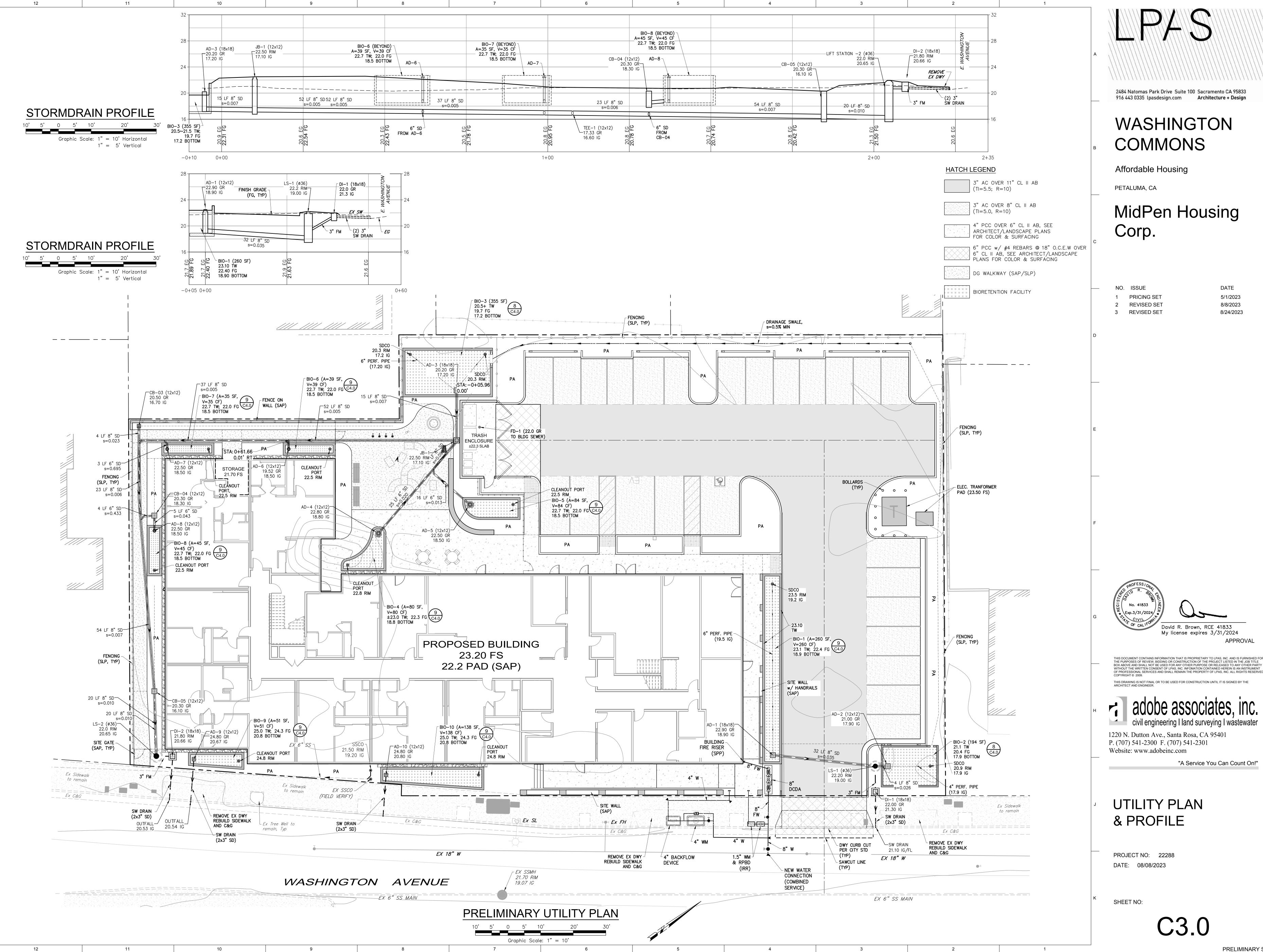
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SITE SECTION

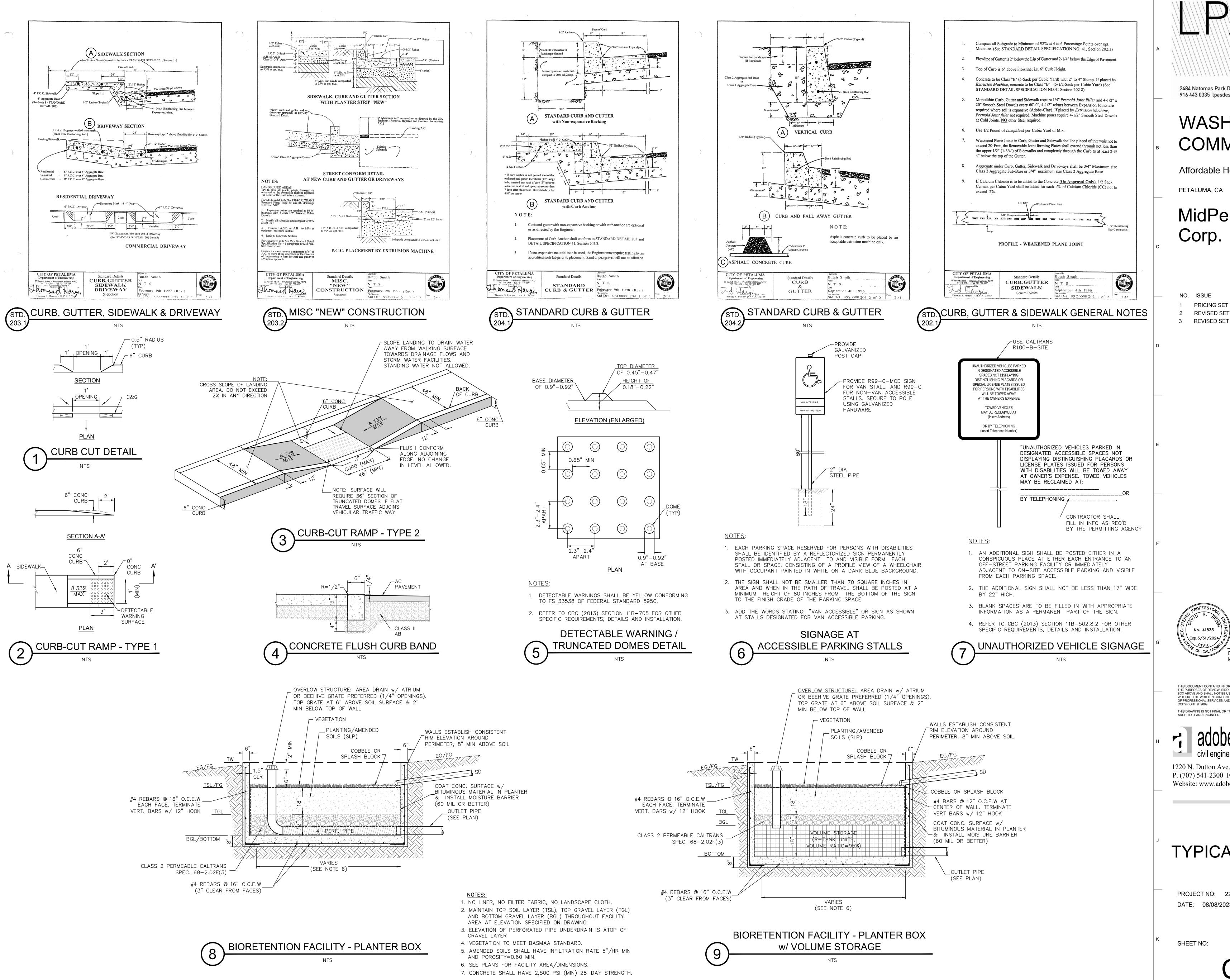
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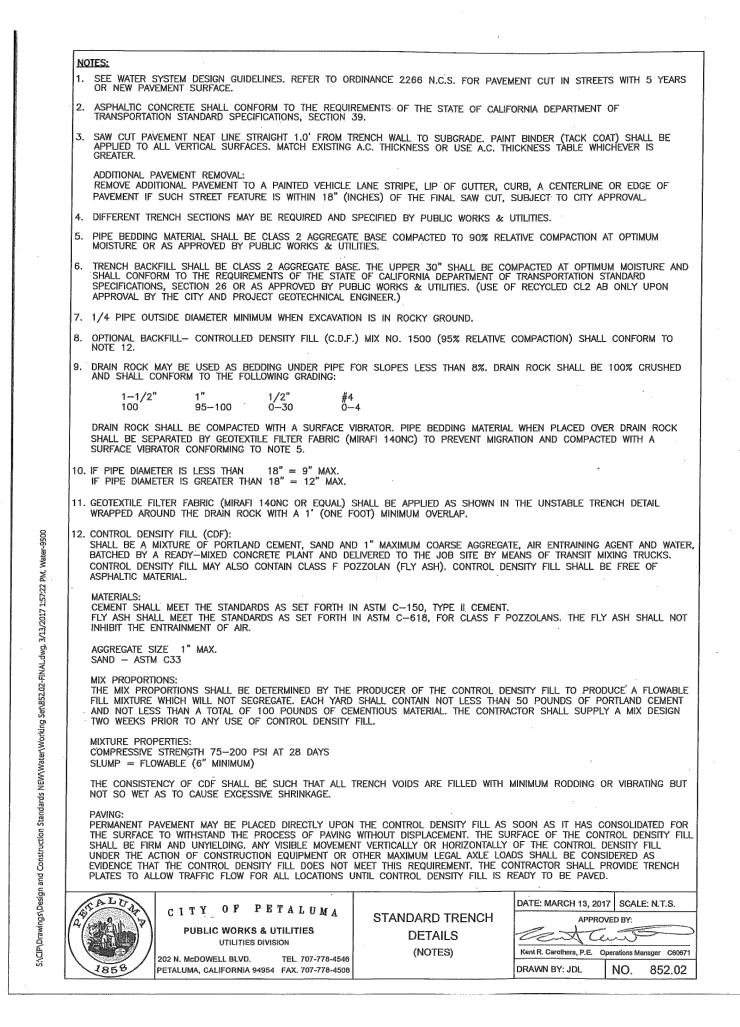
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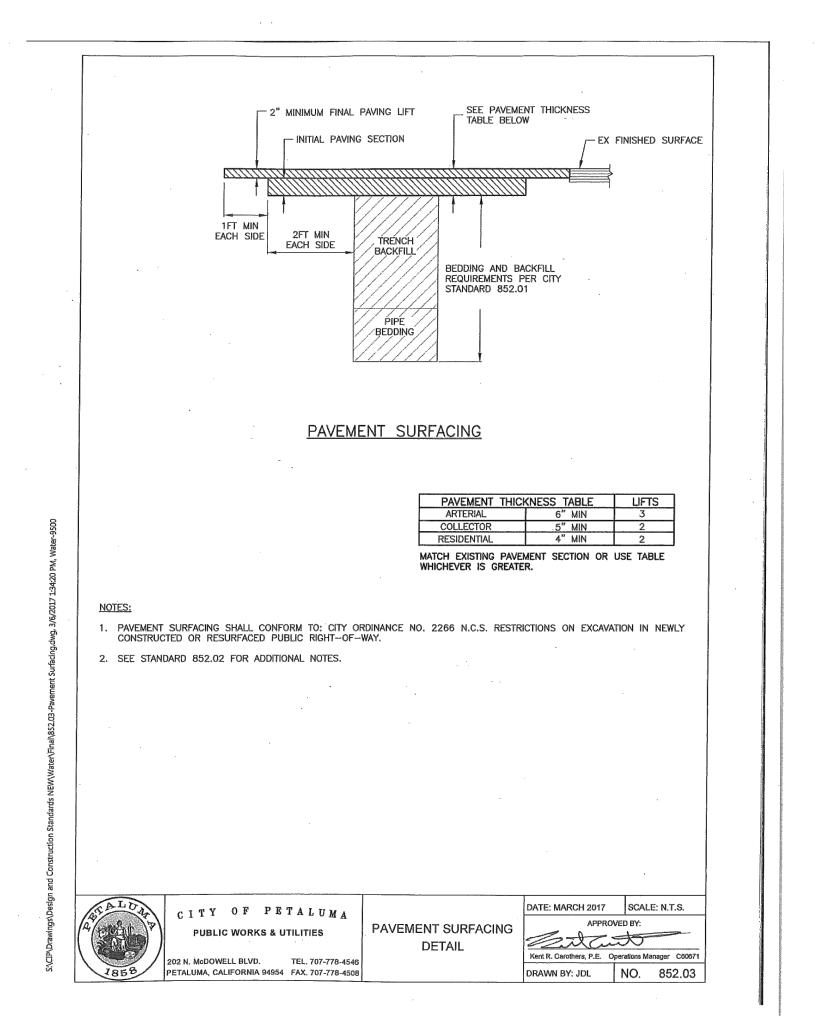
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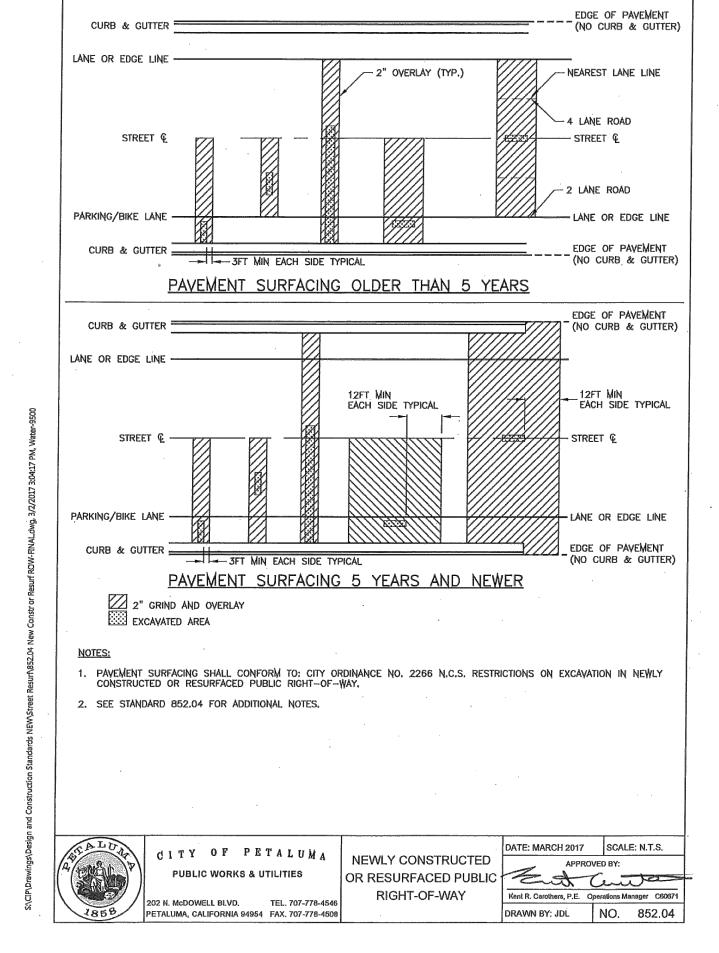
TYPICAL DETAILS

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STANDARD TRENCH DETAILS





(CONSTRUCTION SPECIFICATIONS)

TRENCH SHOULD BE DEEP ENOUGH TO

THROUGH THE WATTLE AND INTO THE SOIL

DRIVE THE STAKE THROUGH THE PREPARED

STAKES MAY BE DRIVEN ON THE DOWNSLOPE

SIDE OF THE TRENCHES ON HIGHLY EROSIVE

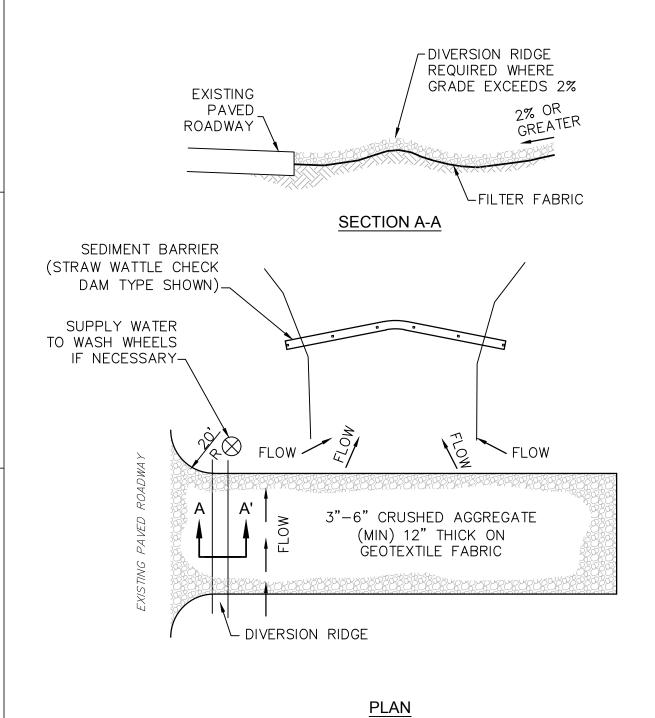
HOLE INTO THE SOIL. LEAVE ONLY ONE OR

TWO INCHES OF STAKE EXPOSED ABOVE

APART THROUGH WATTLE. ADDITIONAL

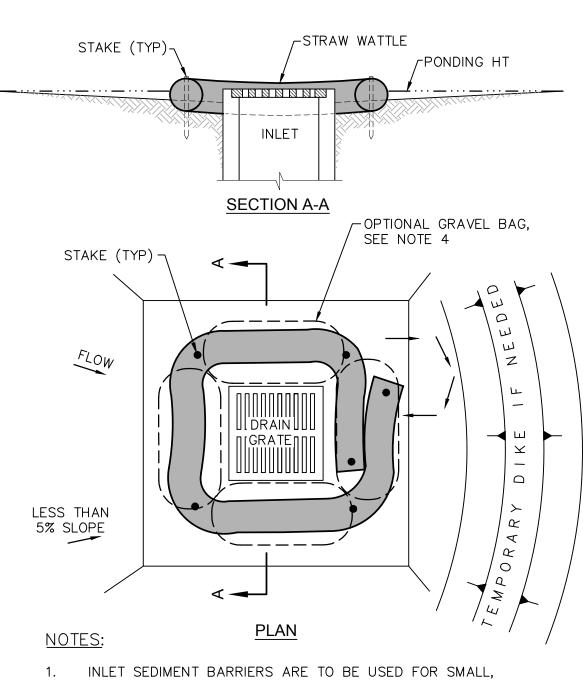
OR VERY STEEP SLOPES.

THE TRENCHES.



- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS- OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT

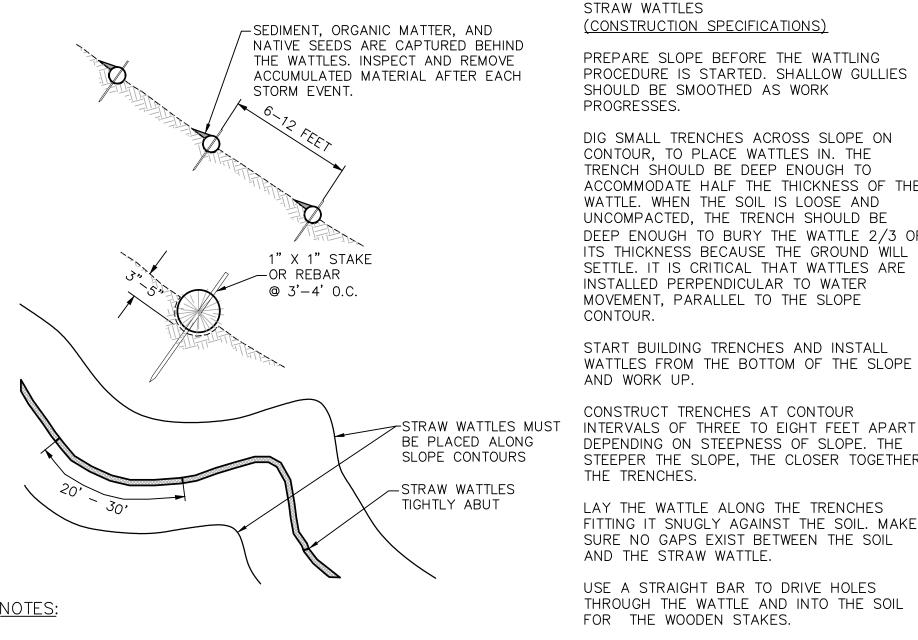


NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%.)

- 2. USE 1X4 WOOD OR EQUIVALENT METAL STAKES, (3 FT MIN LENGTH).
- 3. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON
- 4. GRAVEL BAGS TO BE USED IN LIEU OF STRAW WATTLE AFTER PAVEMENT HAS BEEN INSTALLED.

INLET SEDIMENT BARRIER NTS

THE DOWNSLOPE SIDE OF THE STRUCTURE.



1. STRAW WATTLES ARE TUBES MADE FROM STRAW AND BOUND W/ BIO-DEGRADABLE WRAPPED NETTING. THEY ARE APPROXIMATELY 8" DIA AND 20 - 30 FT LONG.

BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY INSTALL STAKES AT LEAST EVERY FOUR FEET PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT. STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3" - 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND

STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET & RILL EROSION

(2 PER BALE) ACCOMMODATE HALF THE THICKNESS OF THE NATIVE MATERIAL DEEP ENOUGH TO BURY THE WATTLE 2/3 OF (OPTIONAL) SECTION A-A WATTLES FROM THE BOTTOM OF THE SLOPE STEEPER THE SLOPE, THE CLOSER TOGETHER FITTING IT SNUGLY AGAINST THE SOIL. MAKE

STAPLE DETAIL · /•|• •|• •|• • PLYWOOD STRAW BALE CONCRETE | WASHOUT | (TYPE "ABOVE GRADE" WITH STRAW BALES) 1. ACTUAL LAYOUT DETERMINED IN FIELD. 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY SIGN DETAIL (OR EQUAL)

METAL STAKES

(2 PER BALE)

1/8" DIA / STEEL WIRE

CONCRETE WASHOUT

CONCRETE WASHOUT FACILITY

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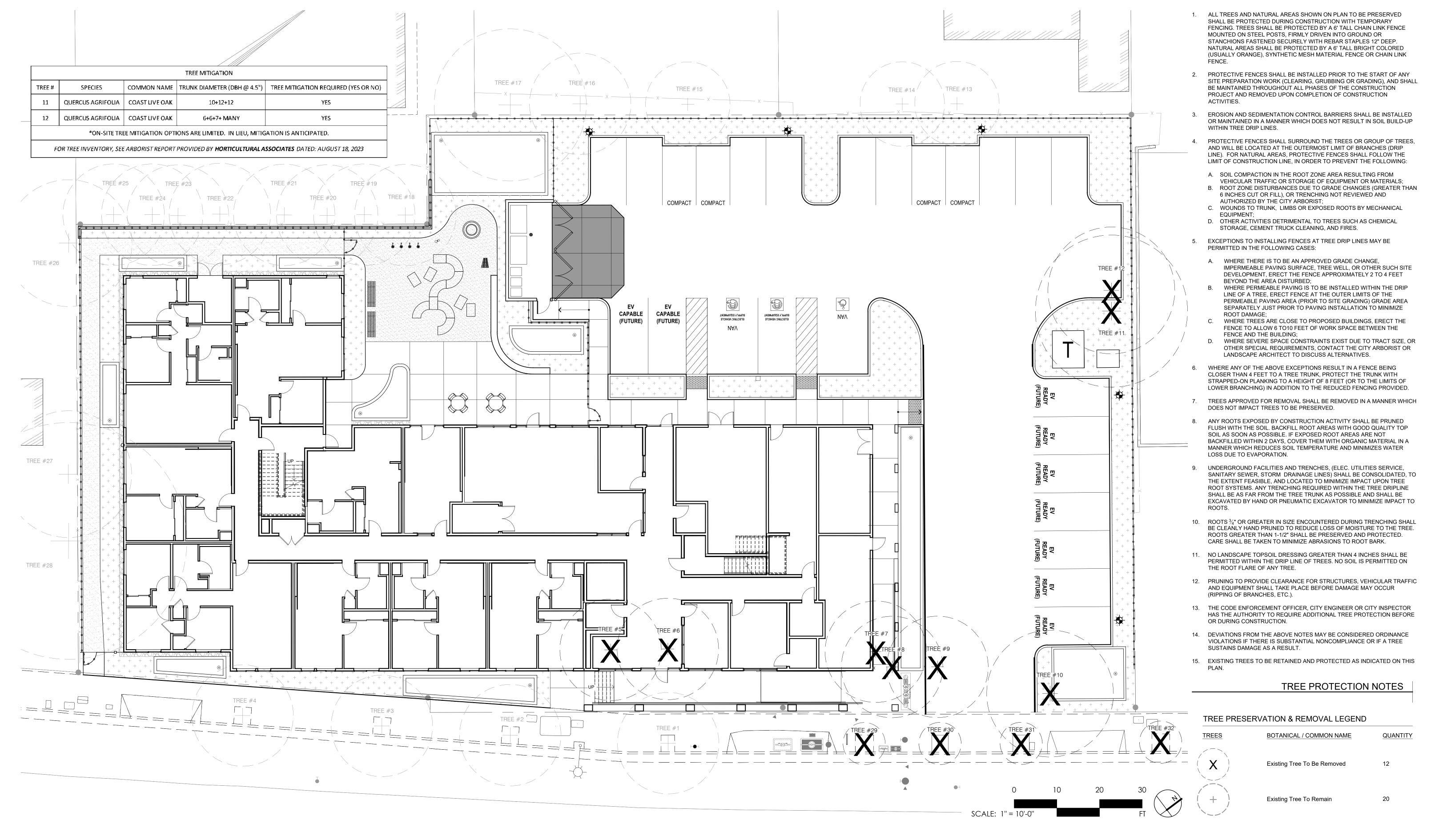
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TYPICAL DETAILS

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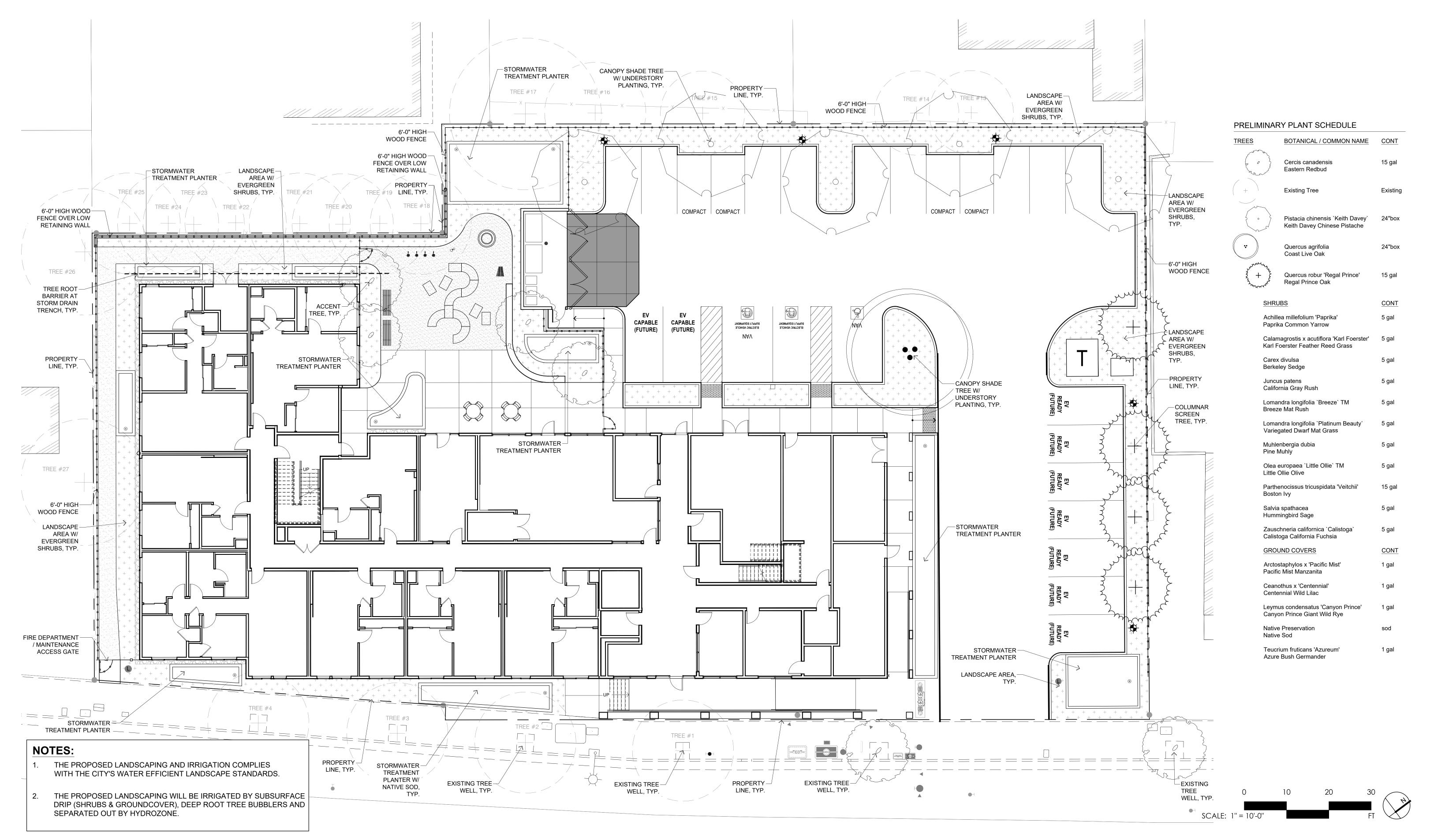




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TREE PRESERVATION & REMOVAL PLAN





PRELIMINARY LANDSCAPE PLAN

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PRELIMINARY PLANT SCHEDULE

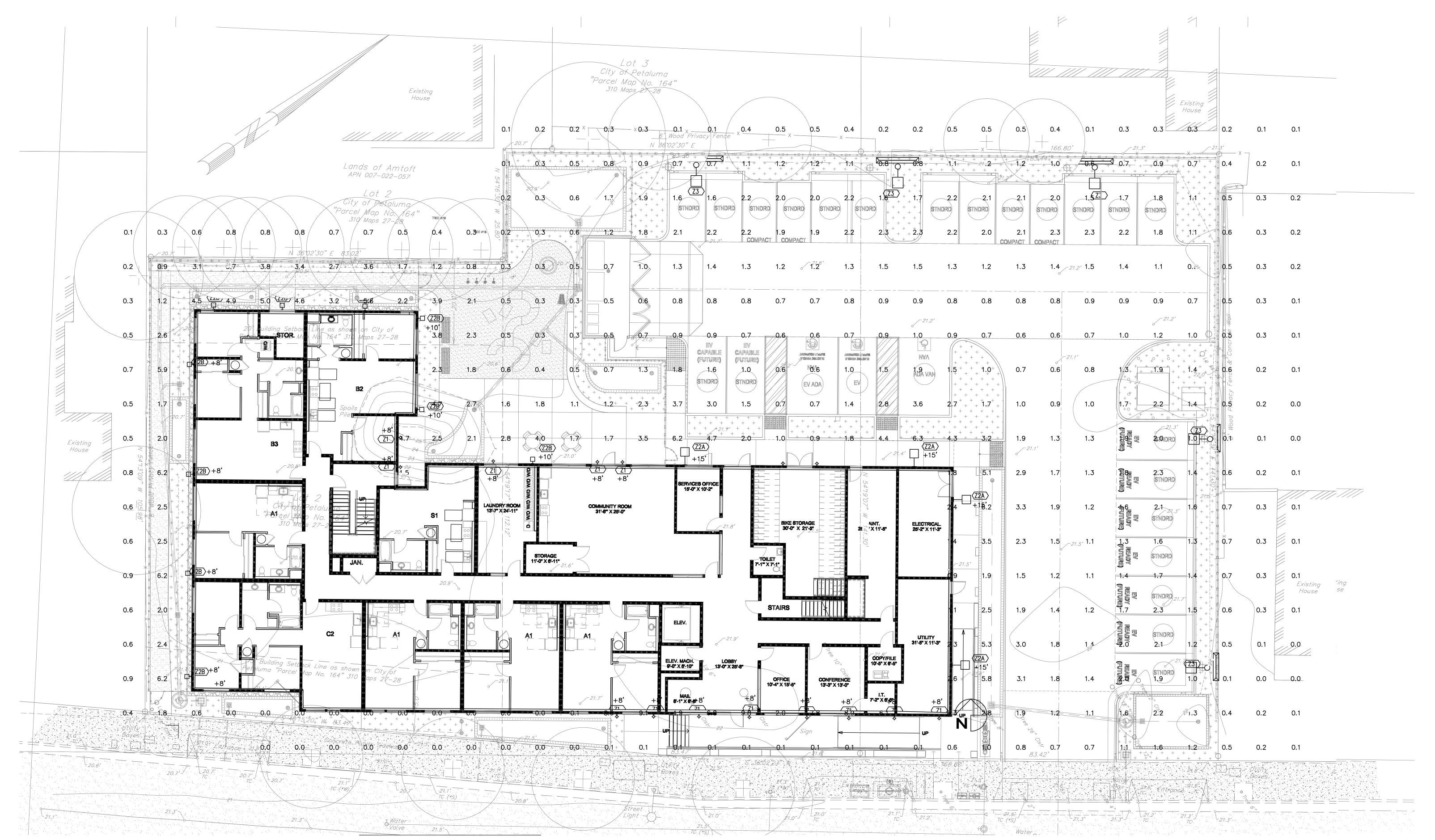
REES	_	BOTANICAL / COMMON NAME	CONT	WATER USE
	The state of the s	Cercis canadensis Eastern Redbud	15 gal	Med
+		Existing Tree	Existing	
		Pistacia chinensis `Keith Davey` Keith Davey Chinese Pistache	24"box	Low
•		Quercus agrifolia Coast Live Oak	24"box	Low
**************************************	Logo Land	Quercus robur 'Regal Prince' Regal Prince Oak	15 gal	Low
	SHRUE	<u>3S</u>	CONT	WATER USE
		a millefolium 'Paprika' ı Common Yarrow	5 gal	Med
		agrostis x acutiflora 'Karl Foerster' erster Feather Reed Grass	5 gal	Med
	Carex of Berkele	divulsa ey Sedge	5 gal	Low
		patens nia Gray Rush	5 gal	Low
		dra longifolia `Breeze` TM Mat Rush	5 gal	Low
		dra longifolia `Platinum Beauty` ated Dwarf Mat Grass	5 gal	Low
	Muhlen Pine M	bergia dubia uhly	5 gal	Low
		uropaea `Little Ollie` TM llie Olive	5 gal	V. Low
	Parther Boston	nocissus tricuspidata 'Veitchii' Ivy	15 gal	Med
		spathacea ngbird Sage	5 gal	Low
		neria californica `Calistoga` ga California Fuchsia	5 gal	Low
	GROU	ND COVERS	CONT	WATER USE
		aphylos x 'Pacific Mist' Mist Manzanita	1 gal	Low
		hus x 'Centennial' nial Wild Lilac	1 gal	Low
	•	s condensatus 'Canyon Prince' n Prince Giant Wild Rye	1 gal	V. Low
	Native Native	Preservation Sod	sod	Low
		ım fruticans 'Azureum' Bush Germander	1 gal	Low



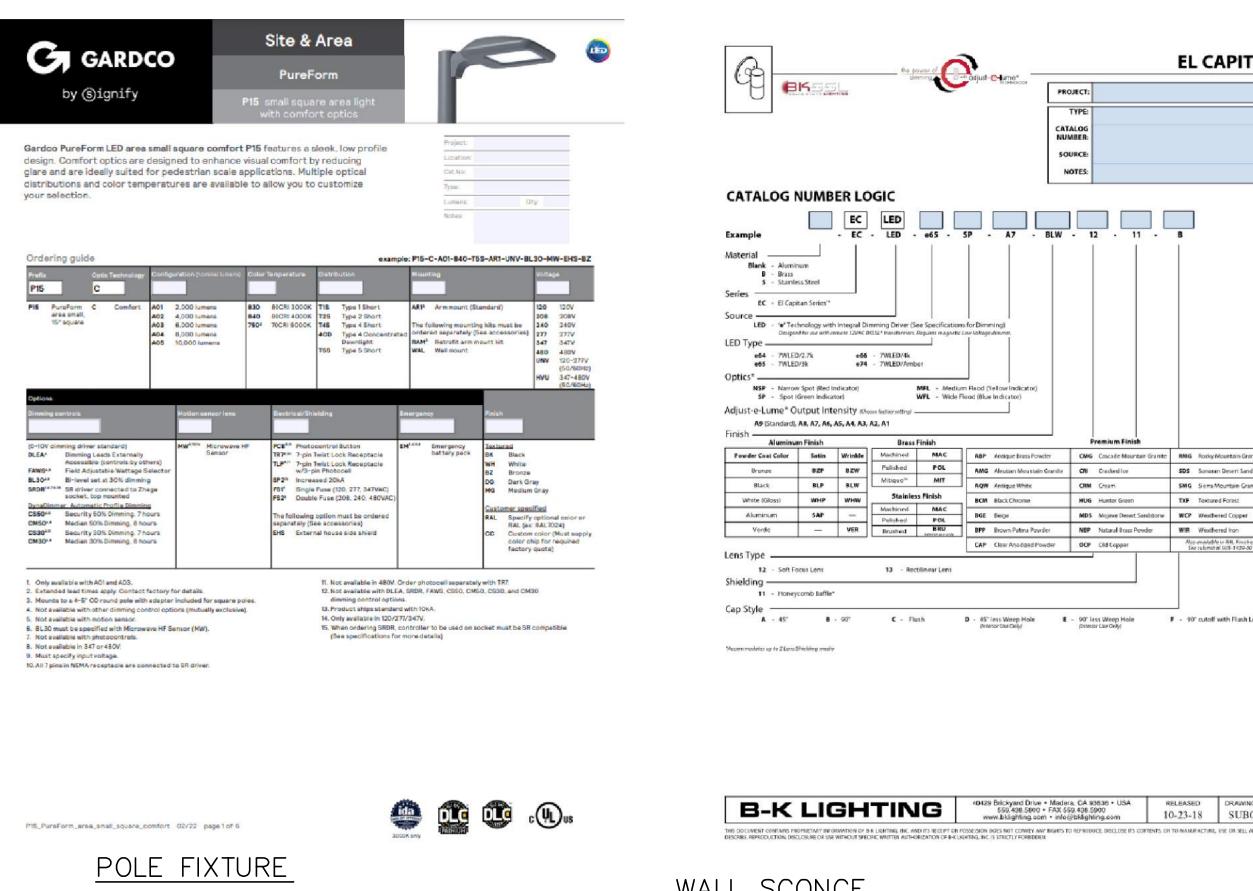




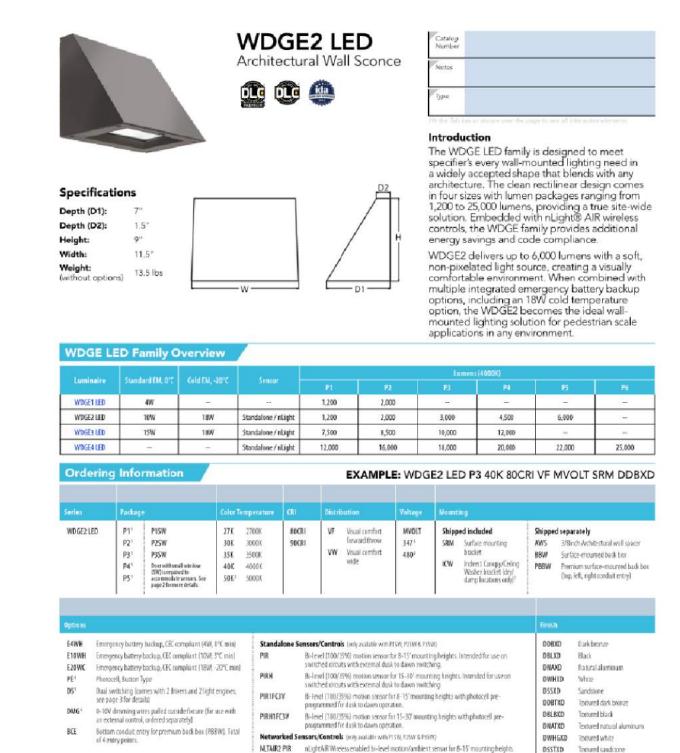








WALL SCONCE FIXTURE Z1



MLTAIR2 PIRH III. III. Ight AIR Wireless enabled bi-level motion/ambient sensar for 15-30 mounting heights

See page 4 for out of bootfunctionality

LITHONIA COMMERCIAL OUTDOOR One Lithonia Way • Conyert, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
0 2019-2020 Acuty Brands Lighting, Inc. All rights reserved. WALL SCONCE FIXTURE Z2A



Depth (01): 55"

Depth (DØ):

Height

WDGE1 LED Architectural Wall Sconce

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide

WDGE1 delivers up to 2,000 lumers with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDX3E1, with its integrated emergency battery backup option, makes it an ideal over-the-cloor wall-mounted lighting solution.

Control Book Control									
	AND DESCRIPTION	TO ST. ST.	Specim			Tomas	(1000)		
(unimité)	Hender (1917)	Section, and	Paren	n n	21	热	P.	P.C	.8
MAKE TED	44	-		1,200	2,000	1570	10 .77 7.5		77/2
WOEDLED	100/	189	Standaloss/eligita	1,300	1,000	3,000	4,540	4,000	750.
HANCED LED	15W	1897	functions/eligit	1500	1,300	18,000	12,000	"	-
MOGEN LED	60000	_	Street distret/ allight	12,000	16,000	18,000	24,049	22,000	25,000
Ordering I	Informatio	n /		EXAM	IPLE WDG	E1 LED P2 4	OK BOCRI VF	MVOLT SRIV	/ PE DDB
	Factoria de	Continuos and	77 71-20		Project.	Year Area			

Notice	Brings	Sie Represen	30	factionis		Talmya	Emelog
WHEETLED	ři rz	20K 2008 90K 3008 35K 35908 40K 4004K 90K 5048	69678 70678	WE Assul or other lower WAY Assul or other wide	sitme	NAMES	Sk type climbarded Sk M. Surface man sking baseled KOW in direct Discopy Celling Washer busines (day Mamphicustums only) Sk type closes anaboly ANS State to man most baseled up accommoder in the climbard representation of the climbard represent
Web a					Hirtor		
PE ¹ Phone DS Davier DAG 0-100	el Liberton Type visiting como so decrang was pul	g, CDC compilers (474, 6°C mil ith 2d ivers and 2 light engin led canade thates (for sea set premium back box (45019); To	n; en paped for ban extensi sur	rtel, oderel reparately)	00000 0000 04400 04400 05500	Dark bronze Black National skum in 198 na Sandabare	DELECO lectured block
	Access	nelec					NOTES
TREATMENT OF THE SECOND		rent server trip hitchina Wall Space Openity II de edicer committed herbilen (specify	The same				1 SON not available in SPCPS. 4 PE not available with 1 More qualified for DLC partial part of the PE. 5 SPATE rate are fable with PE or DS.

WALL SCONCE FIXTURE Z2B SCALE: NONE

LUMIN	LUMINAIRE SCHEDULE												
CALLOUT	SYMB0L	DESCRIPTION	LAMP	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTES	OTHER NOTES			
Z1	¢	EXTERIOR WALL LIGHT, SMALL CYLINDER, 5" TALL, FULL CUTOFF, MEDIUM FLOOD, 3000K, ALUMINUM FINISH, TRANSFORMER LOCATED IN DEEP BOX	(1) 8W LED 4000K	ELECTRONIC	WALL	BK LIGHTING EL CAPITAN EC LED E66 MFL A9 12 11 B, TRe20	8	120V 1P 2W	EXTERIOR WALL. PROVIDE WITH 4" OCTOGON BOX, 1-1/2" DEEP WITH 1-1/2" BOX EXTENSION. LOCATE DRIVER WITHIN DEEP BOX, B1-U0-G1				
Z2A	Н_	EXTERIOR, 9"X11"X7"D, WALL PACK, FULL CUTOFF, P2 LUMEN OUTPUT, FORWARD THROW	(1) 23W LED 4000K	ELECTRONIC	WALL	Lithonia Lighting, WDGE2 LED P3 40K 80CRI VF	23	MULTIPLE	EXTERIOR, B1-U0-G0				
Z2B	Ю	EXTERIOR, 8"X9"X5.5"D, WALL PACK, FULL CUTOFF, P2 LUMEN OUTPUT, FORWARD THROW	(1) 10W LED 4000K	ELECTRONIC	WALL	Lithonia Lighting, WDGE1 LED P1 40K 80CRI VF MVOLT [FINISH]	10	MULTIPLE	EXTERIOR B0-U0-G0				
Z3	○ —□	13' POST TOP LIGHT (24" POLE BASE), FULL CUTOFF, TYPE 2, WITH EXTERNAL HOUSE SIDE SHIELD	(1) 36W LED 4000K	0-10V DIM	13' SQUARE STEEL POLE, 4" SQUARE, WITH 24" CONCRETE BASE	GARDCO PUREFORM P15 C A02 840 T2S AR1 UNV FAWS	36	208V 2P 2W	SITE LIGHTING PARKING LOT, 15' MAX PER CITY ORDINANCE. B2-U0-G2				

EL CAPITAN™

10-23-18 SUB000942





FIXTURE Z3

SCALE: NONE

SITE LIGHTING CUTSHEET

WASHINGTON COMMONS | Petaluma, CA

