



Plan 3 Craftsman
(Lot 9)

Plan 4 Farmhouse
(Lot 8)

Plan 3 Cottage
(Lot 7)

Plan 2 Farmhouse
(Lot 6)

Plan 1 Cottage
(Lot 5) Plan 1 Traditional
(Lot 4)

Plan 4 Farmhouse
(Lot 3)

Plan 2 Traditional
(Lot 2)

Plan 4 Farmhouse
(Lot 1)

Edith Street



Plan 3 Craftsman
(Lot 2B)

Plan 3 Cottage
(Lot 12)

Plan 5 Farmhouse
(Lot 11)

Plan 2 Traditional
(Lot 10)

Plan 3 Craftsman
(Lot 9)

Madison Street

Conceptual Street Scenes

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS



Plan 4 Farmhouse
(Lot 1)

Plan 2 Traditional
(Lot 19)

Plan 3 Cottage
(Lot 20)

Private Street - Northeast Side



Plan 2 Traditional
(Lot 19)

Plan 3 Craftsman
(Lot 18)

Plan 1 Cottage
(Lot 17)

Plan 1 Traditional
(Lot 27)

Plan 5 Farmhouse
(Lot 16)

Plan 3 Cottage
(Lot 15)

Plan 3 Craftsman
(Lot 14)

Plan 5 Farmhouse
(Lot 13)

Plan 3 Cottage
(Lot 12)

Private Street - Northeast Side



Plan 3 Craftsman
(Lot 26)

Plan 4 Farmhouse
(Lot 25)

Plan 1 Cottage
(Lot 24)

Plan 1 Traditional
(Lot 23)

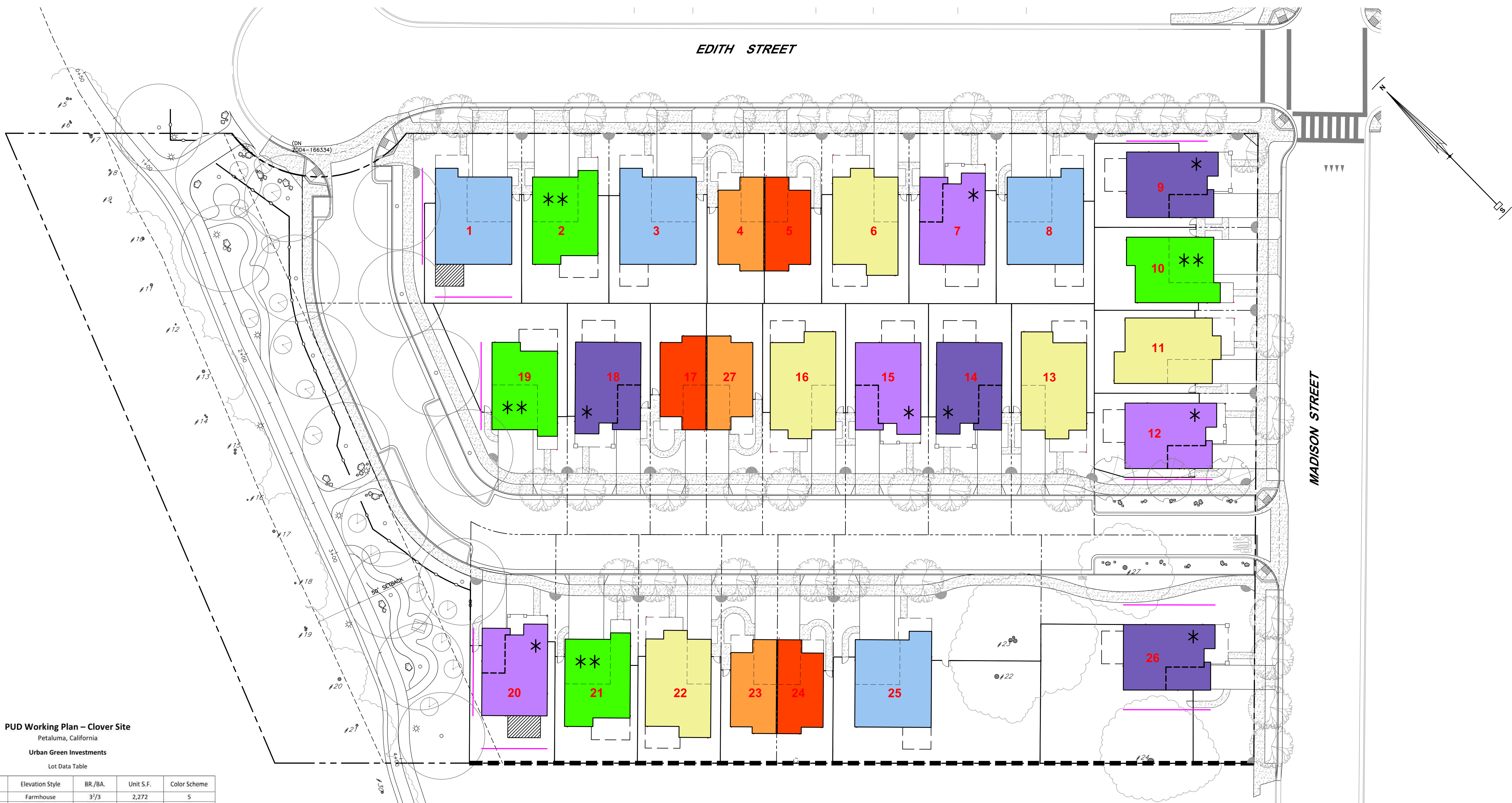
Plan 5 Farmhouse
(Lot 22)

Plan 2 Traditional
(Lot 21)

Plan 3 Cottage
(Lot 20)

Private Street - Southwest Side

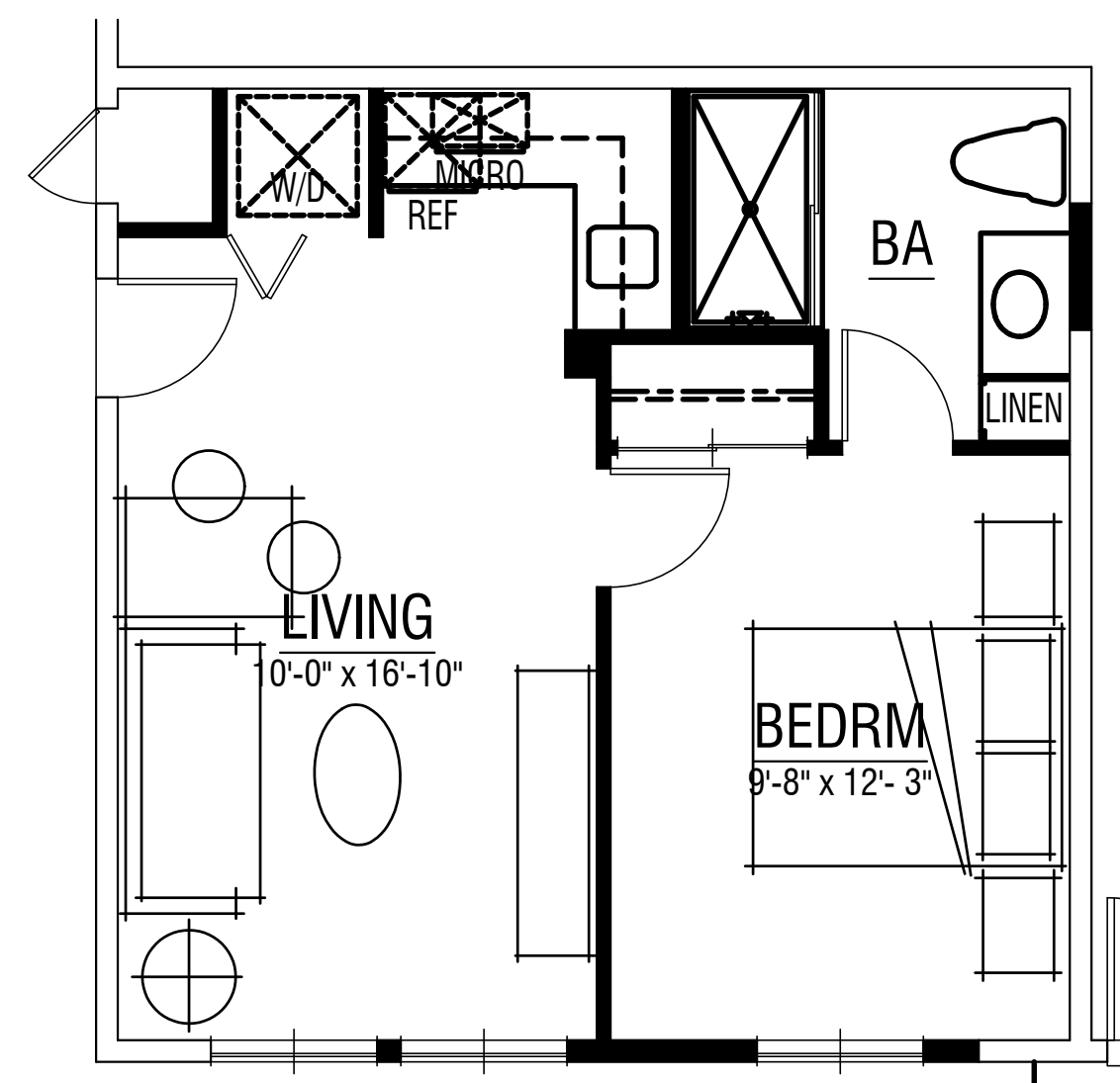
Conceptual Street Scenes



PUD Working Plan – Clover Site
 Petaluma, California
 Urban Green Investments
 Lot Data Table

Lot #	Plan Type	Elevation Style	BR./BA.	Unit S.F.	Color Scheme
1	4	Farmhouse	3 ² /3	2,272	5
2	2 Reverse	Traditional	3/2.5	1,600	7
3	4	Farmhouse	3 ² /3	2,272	4
4	1	Traditional	3/2.5	1,263	3
5	1 Reverse	Cottage	3/2.5	1,263	3
6	5	Farmhouse	3 ² /2.5	1,756	5
7	3 ¹ Reverse	Cottage	3 ¹ /2.5	1,800	3
8	4 Reverse	Farmhouse	3 ¹ /3	2,272	7
9	3 ¹	Craftsman	3 ¹ /2.5	1,800	1
10	2 Reverse	Farmhouse	3/2.5	1,600	4
11	5	Traditional	3 ² /2.5	1,756	6
12	3 ¹ Reverse	Cottage	3 ¹ /2.5	1,800	7
13	5	Farmhouse	3 ² /2.5	1,756	5
14	3 ¹ Reverse	Craftsman	3 ¹ /2.5	1,800	2
15	3 ¹	Cottage	3 ¹ /2.5	1,800	6
16	5 Reverse	Farmhouse	3 ² /2.5	1,756	3
17	1	Traditional	3/2.5	1,263	4
18	3 ¹ Reverse	Craftsman	3 ¹ /2.5	1,800	1
19	2	Traditional	3/2.5	1,600	7
20	3 ¹ Reverse	Cottage	3 ¹ /2.5	1,800	5
21	2 Reverse	Traditional	3/2.5	1,600	3
22	5	Farmhouse	3 ² /2.5	1,756	6
23	1	Traditional	3/2.5	1,263	3
24	1 Reverse	Cottage	3/2.5	1,263	3
25	4 Reverse	Farmhouse	3 ¹ /3	2,272	4
26	3 ¹	Craftsman	3 ¹ /2.5	1,800	2
27	1	Cottage	3/2.5	1,263	4

- In addition to the three bedrooms this plan also features a small loft space upstairs.
- In addition to the three bedrooms this plan also features a Den downstairs and a medium size loft space upstairs.
- This plan features a Master Suite downstairs with 2 bedrooms and a loft upstairs.
- This plan also features a 278 square foot ground floor Studio Apartment (ADU).



Garage Conversion to ADU
 (Buyer Option for Plans 2 and 4)

Off-Street Parking

Plan	Units	Spaces	Total
Original Proposed Plan			
Plans 1 and 5	12 units x 2 spaces each		24
Plans 2, 3 and 4	18 units x 4 spaces each		72
Total			96
New Proposed Plan			
Plans 1 and 5	12 units x 2 spaces each		24
Plan 2	4 units x 3 spaces each		12
Plan 3	10 units x 2 spaces each		20
Plan 4	4 units x 4 spaces each		16
Total			72

Notes:

- * 278 s.f. Studio Apartment (ADU) with 1 covered and 1 uncovered parking space (2 total off-street parking spaces)
- ** Oversized 1-car Garage with 1 covered and 2 uncovered parking spaces (3 total off-street parking spaces)
- *** Plans 2 and 4 will offer a Garage Conversion to 1-Bedroom ADU as a Buyer Option (2 total off-street parking spaces)

Legend

- Enhanced Side or Rear Elevation
- Pre-Plot California Room Option
- Plan 1 Cottage 3
- Plan 1 Traditional 3
- Plan 2 Traditional *** 4
- Plan 3 Cottage w/ ADU 4
- Plan 3 Craftsman w/ ADU 4
- Plan 4 Farmhouse *** 4
- Plan 5 Farmhouse 5

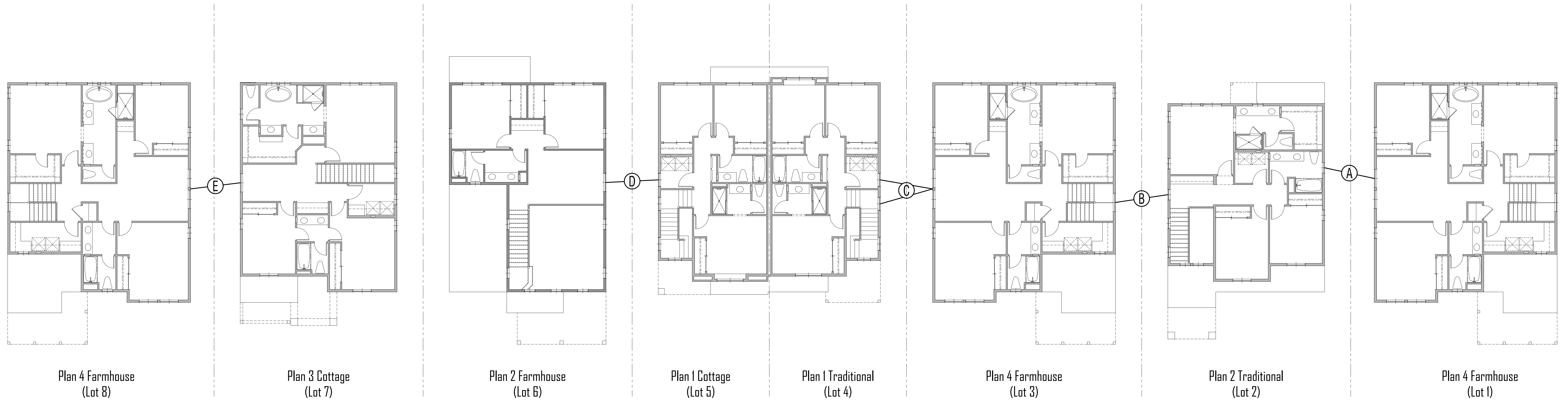
Architectural Site Plan

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 10 20 40
 SCALE: 1" = 20'
 June 24, 2020
 REV. October 1, 2020

edward c. novak
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 153 GILLETTE PLACE #108 LIVERMORE, CA 94550
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AS1



Edith Street



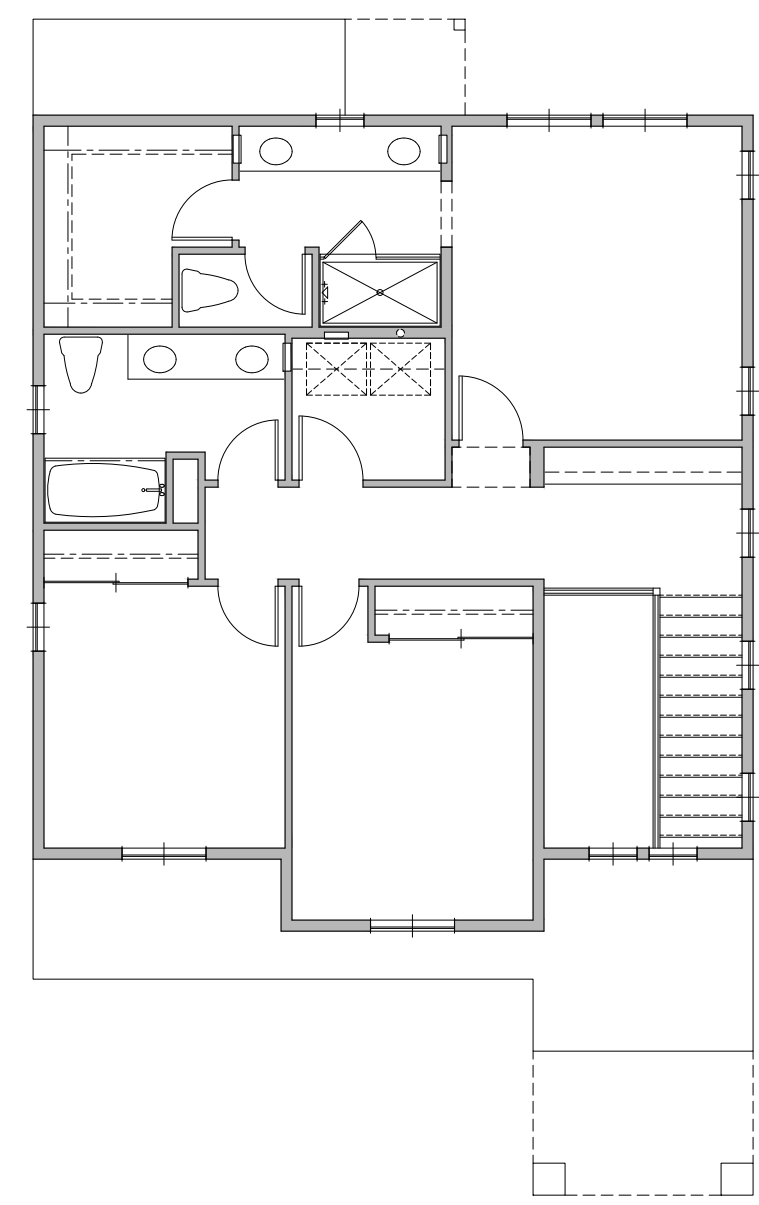
Madison Street

LEGEND

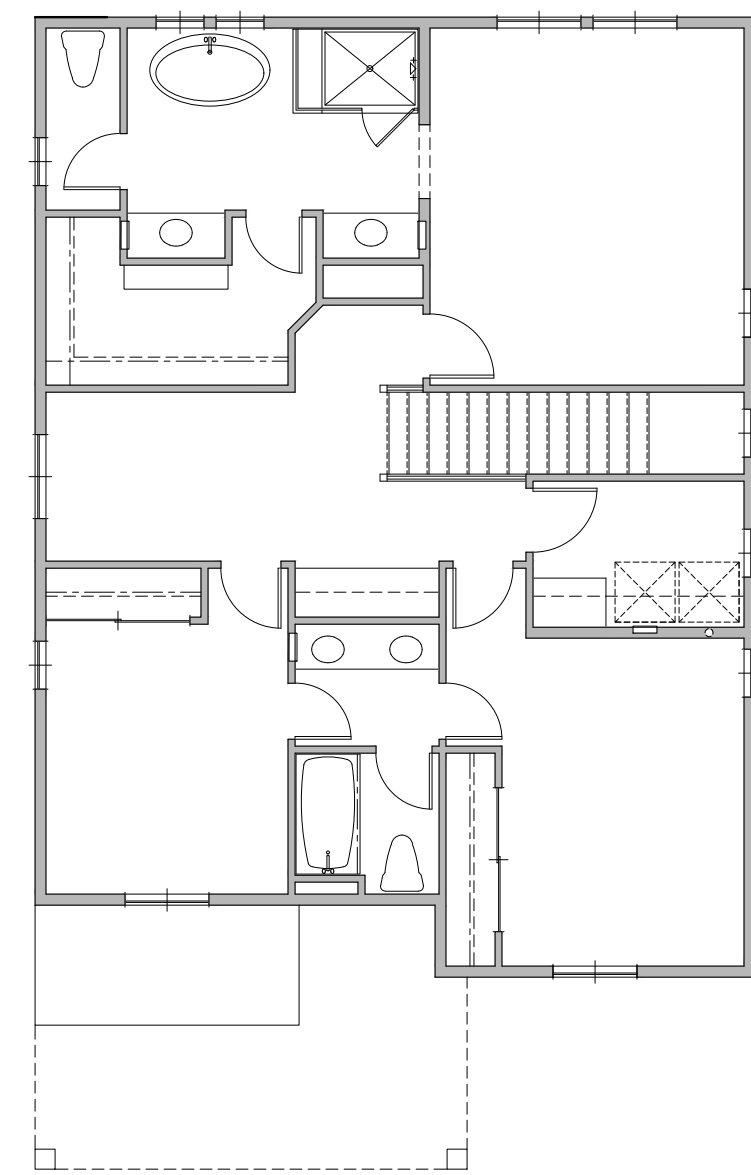
A	LOTS 1/2	CONFLICT: A LARGE WINDOW @ LOFT IS OPPOSITE A SMALL WINDOW @ BATH PROPOSE: PROVIDE FROSTED OR OBSCURE GLASS @ BATH WINDOW ON LOT 2
B	LOTS 2/3	CONFLICT: A SMALL WINDOW @ HALL IS OPPOSITE A LARGE WINDOW @ STAIRWELL PROPOSE: PROVIDE ART OR FROSTED GLASS @ STAIRWELL WINDOW ON LOT 3
C	LOTS 3/4	CONFLICT: A PAIR OF LARGE WINDOWS @ LOFT IS OPPOSITE A SMALL WINDOW @ LAUNDRY PROPOSE: PROVIDE FROSTED OR OBSCURE GLASS @ LAUNDRY WINDOW ON LOT 4 CONFLICT: A PAIR OF LARGE WINDOWS @ LOFT IS OPPOSITE A SMALL WINDOW @ STAIRWELL PROPOSE: NO MITIGATION BECAUSE THE LINE OF SITE BETWEEN WINDOWS IS ALREADY OBSCURE

D	LOTS 5/6	CONFLICT: A SMALL WINDOW @ LAUNDRY IS OPPOSITE A LARGE WINDOW @ LOFT PROPOSE: PROVIDE FROSTED OR OBSCURE GLASS @ LAUNDRY WINDOW ON LOT 5
E	LOTS 7/8	CONFLICT: A LARGE WINDOW @ LOFT IS OPPOSITE 2 LARGE WINDOWS @ LOFT PROPOSE: PROVIDE A HIGH WINDOW (SILL ABOVE 5') @ LOFT ON LOT 7

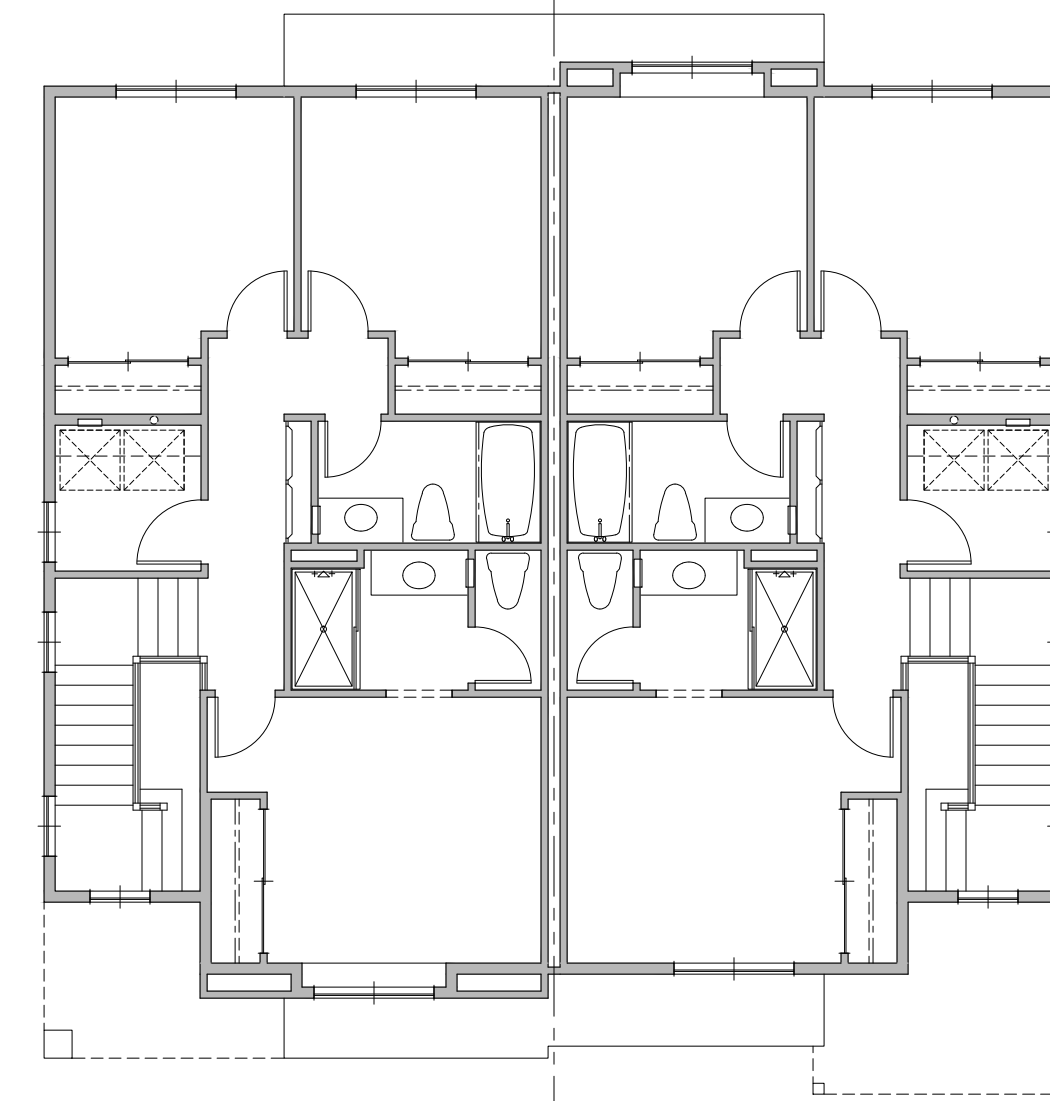
Second Floor Side Facing Window Privacy Exhibits



Plan 2 Traditional
(Lot 19)

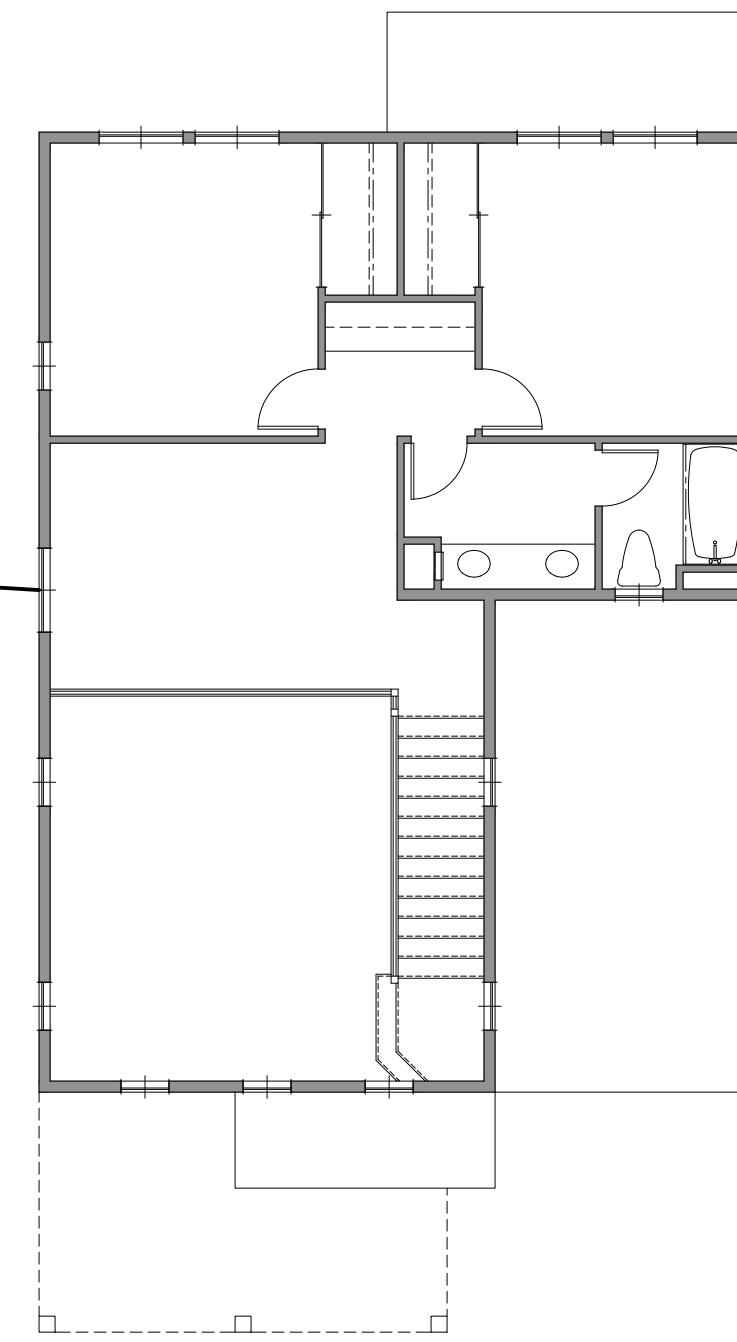


Plan 3 Craftsman
(Lot 18)

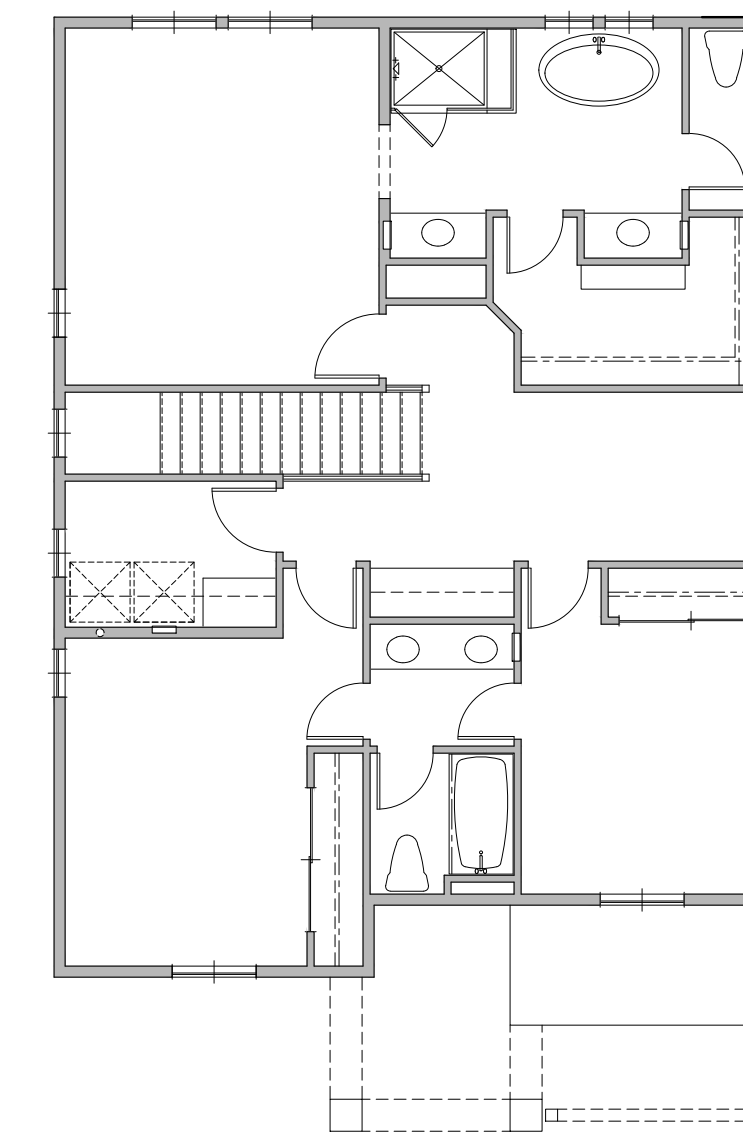


Plan 1 Cottage
(Lot 17)

G

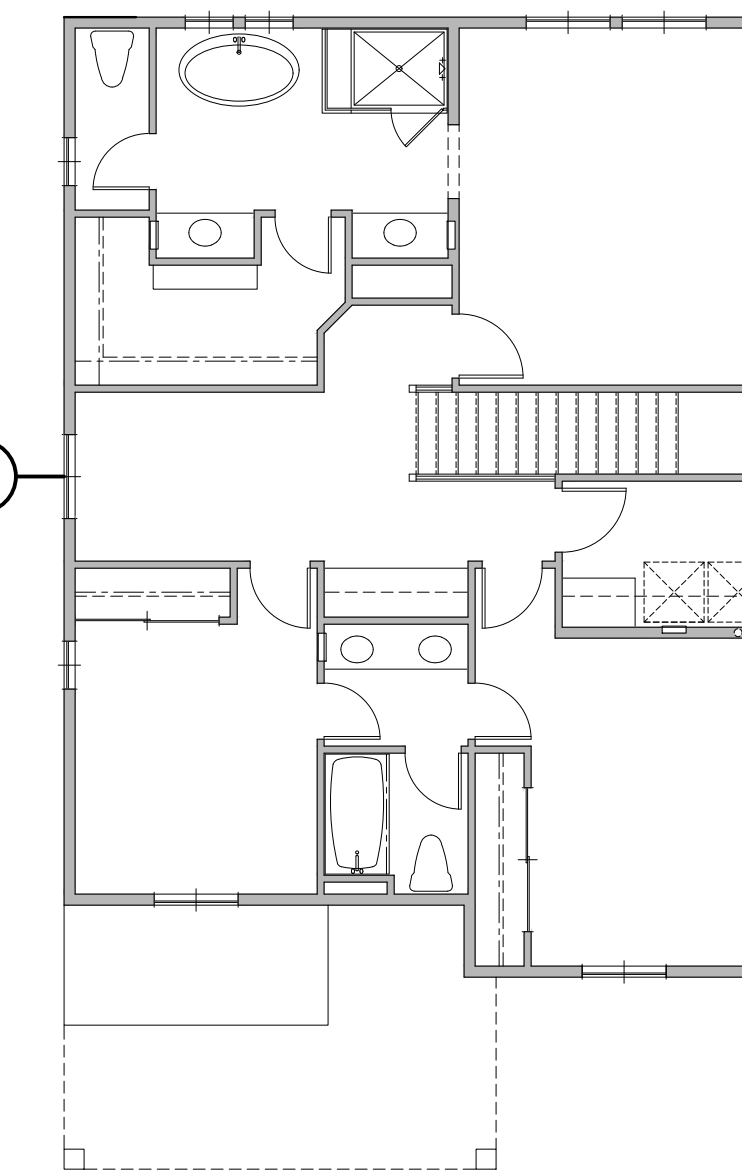


Plan 1 Traditional
(Lot 27)

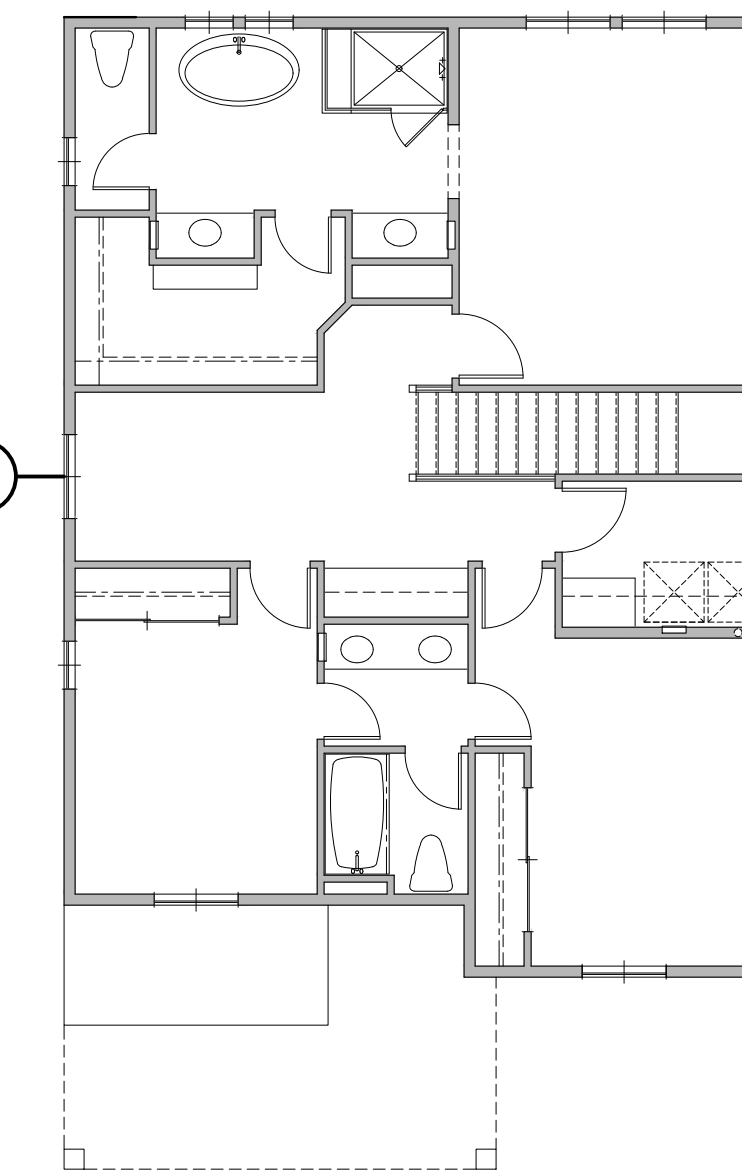


Plan 5 Farmhouse
(Lot 16)

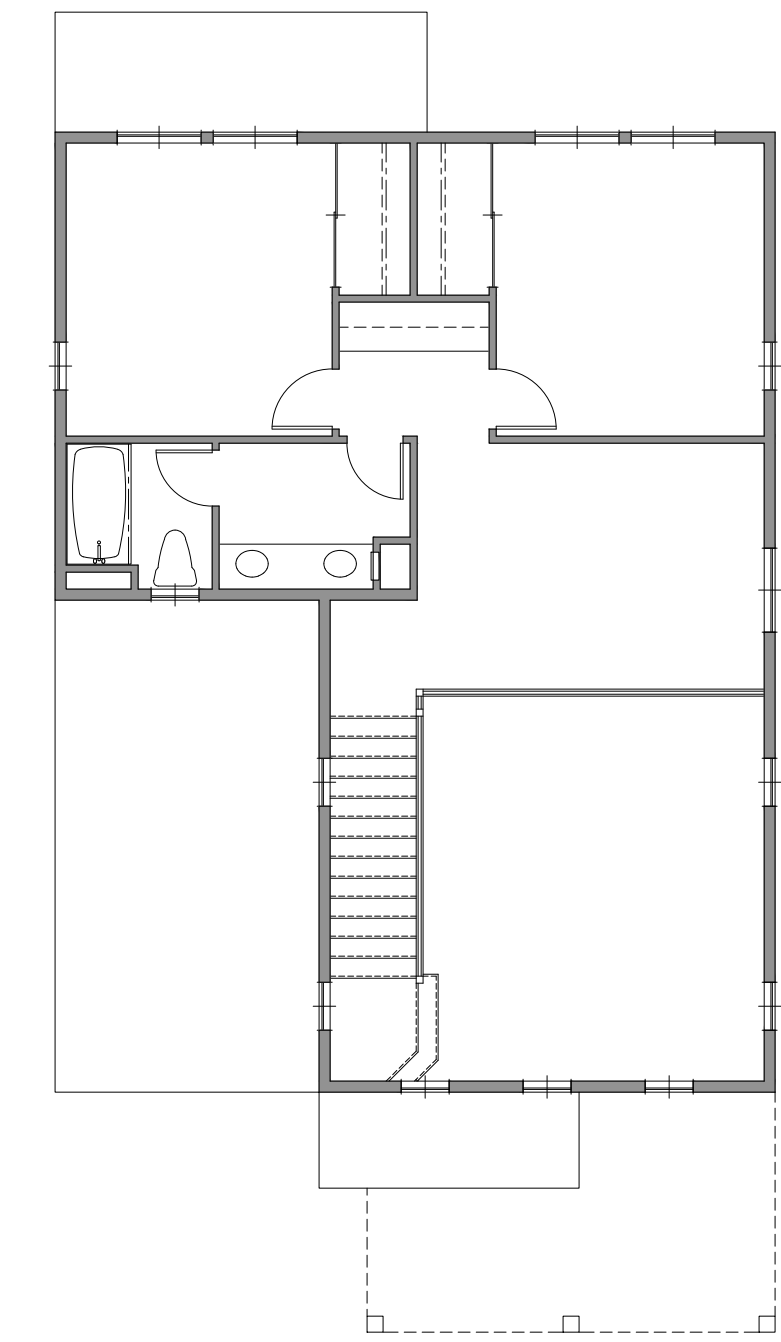
F



Plan 3 Cottage
(Lot 15)

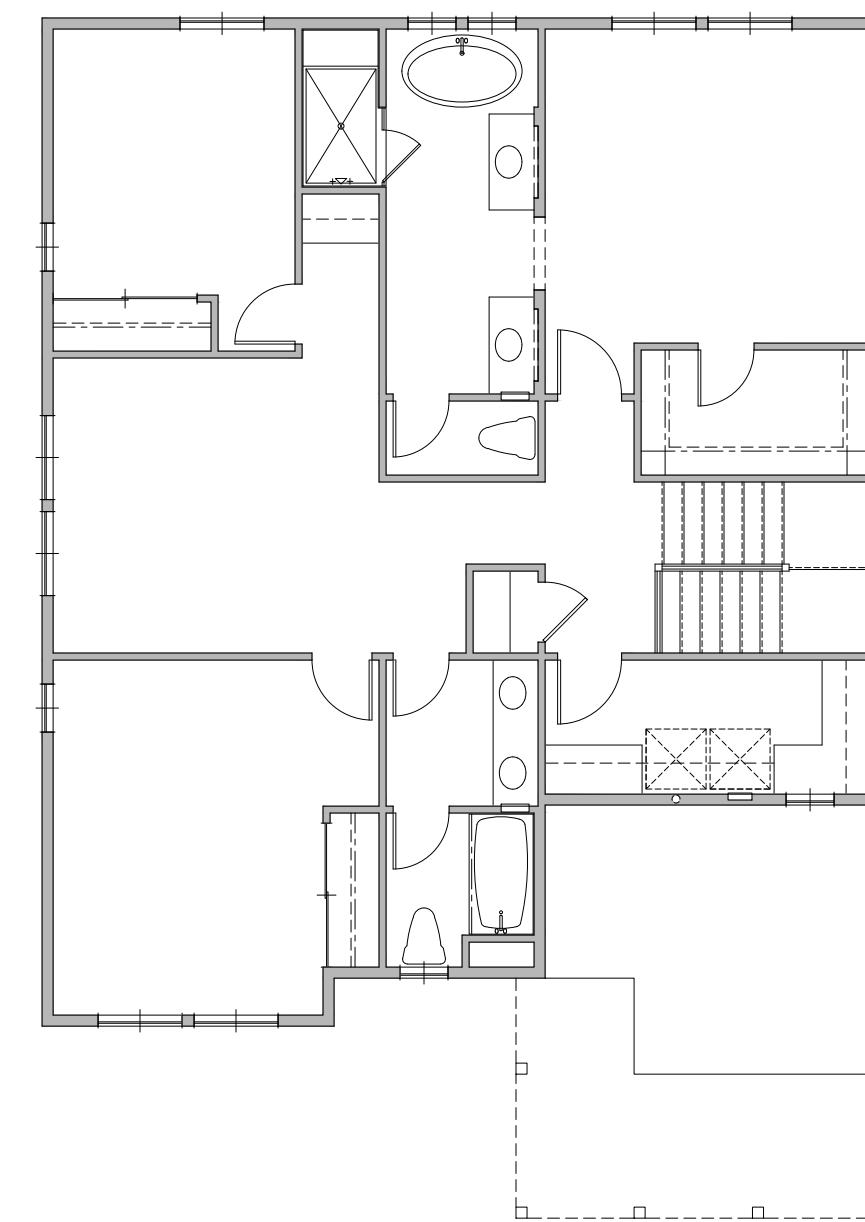


Plan 3 Craftsman
(Lot 14)



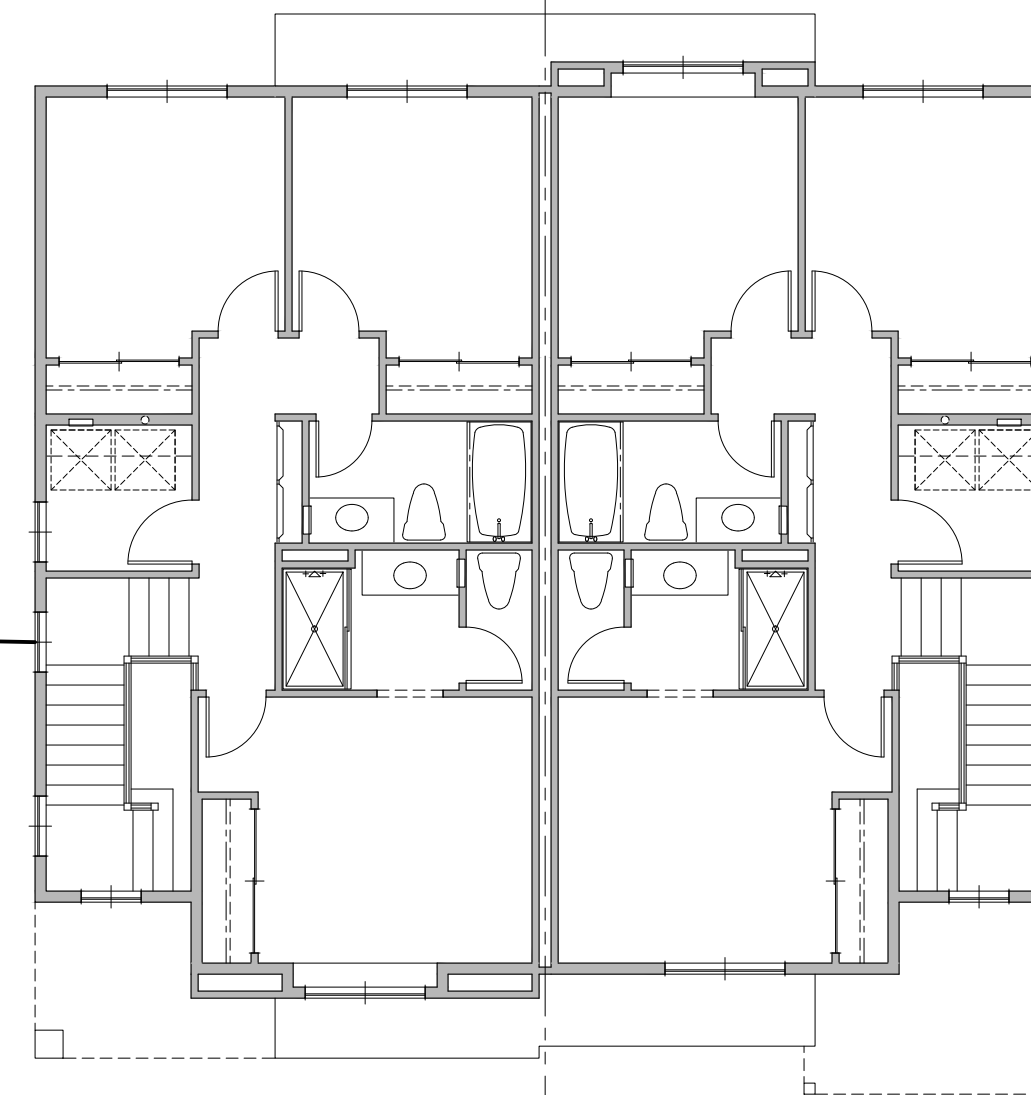
Plan 5 Farmhouse
(Lot 13)

Private Street - Northeast Side



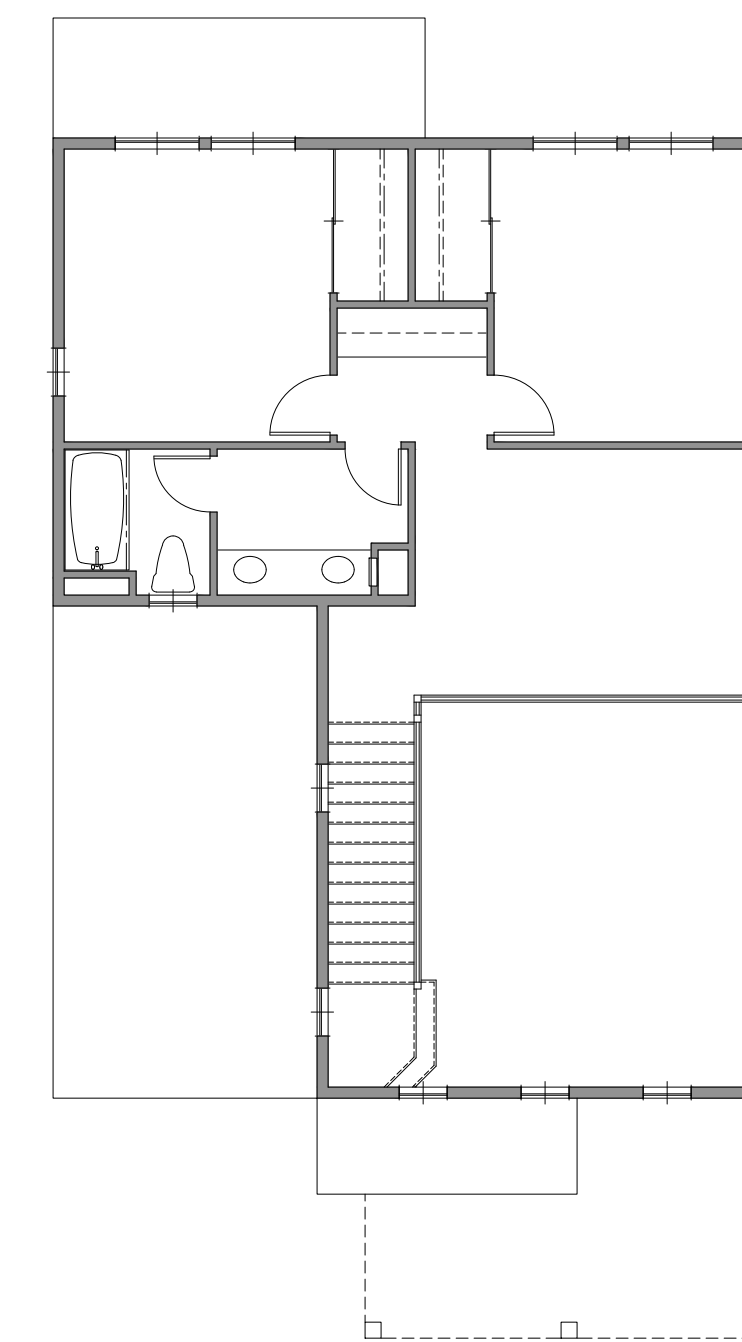
Plan 4 Farmhouse
(Lot 25)

I

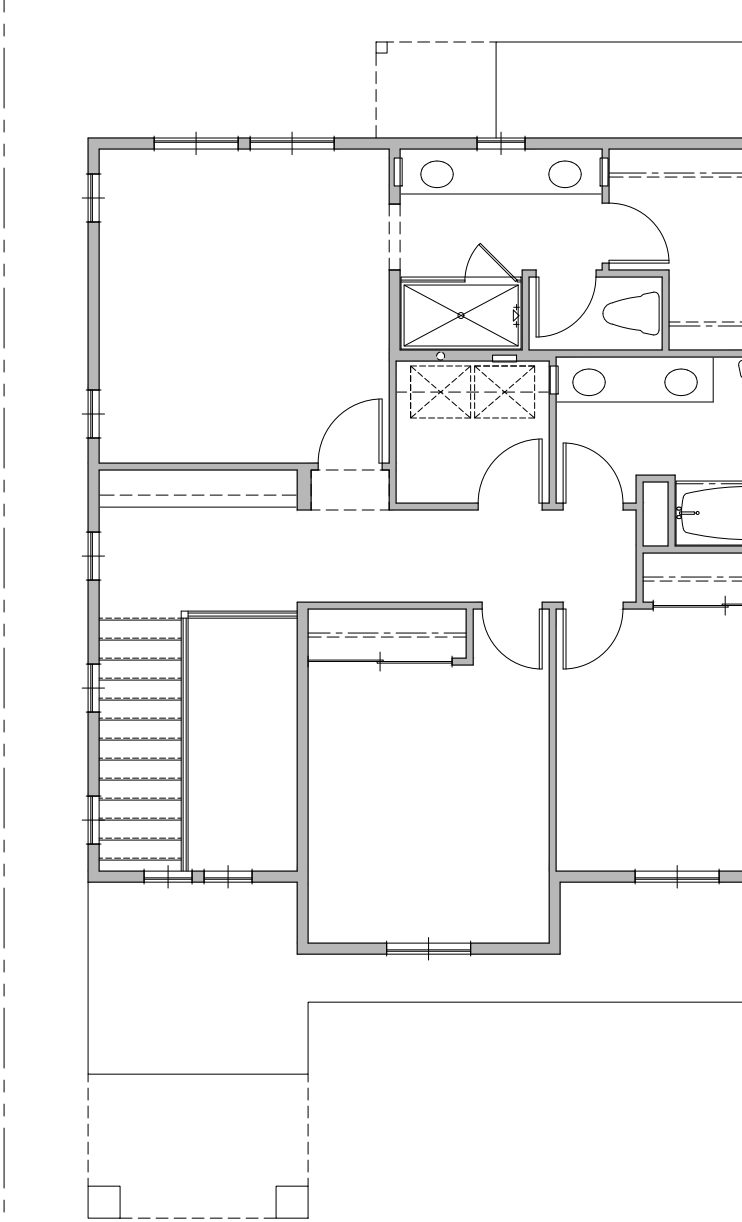


Plan 1 Cottage
(Lot 24)

Plan 1 Traditional
(Lot 23)

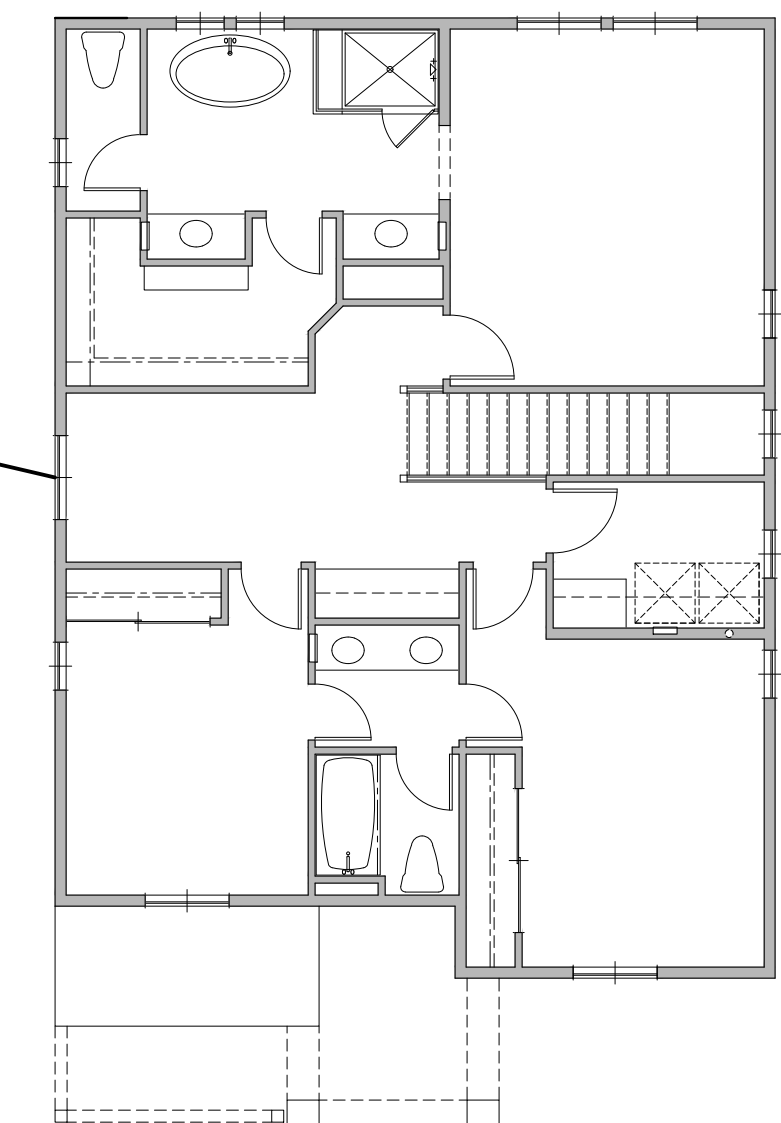


Plan 5 Farmhouse
(Lot 22)



Plan 2 Traditional
(Lot 21)

H



Plan 3 Cottage
(Lot 20)

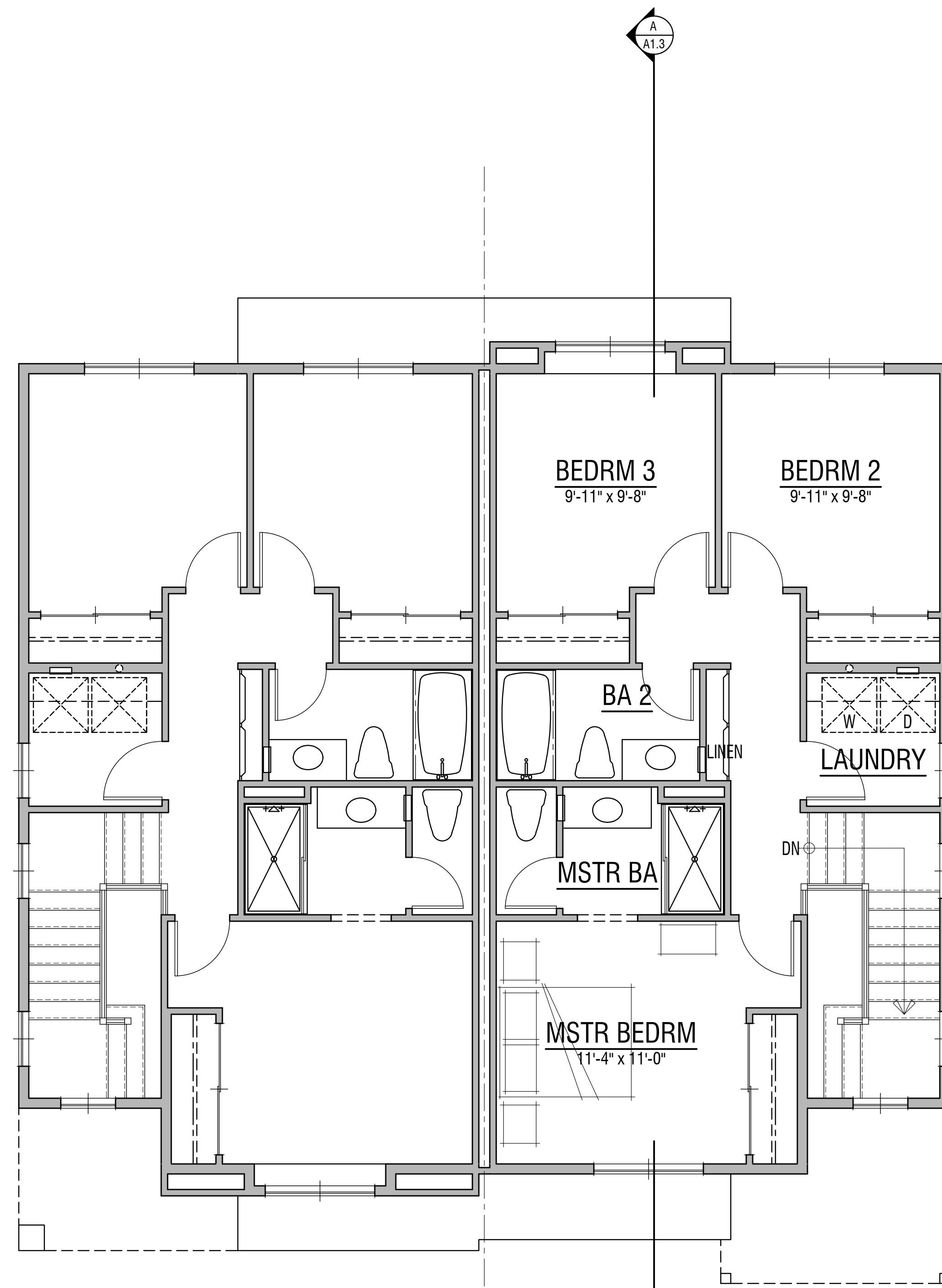
Private Street - Southwest Side

LEGEND

F	LOTS 14/15	CONFLICT:	A LARGE WINDOW @ LOFT IS OPPOSITE A LARGE WINDOW @ LOFT
		PROPOSE:	PROVIDE A HIGH WINDOW (SILL ABOVE 5') @ LOFT ON LOT 15
G	LOTS 16/27	CONFLICT:	A LARGE WINDOW @ LOFT IS OPPOSITE A SMALL WINDOW @ LAUNDRT
		PROPOSE:	PROVIDE FROSTED OR OBSCURE GLASS @ LAUNDRY WINDOW ON LOT 27

H	LOTS 20/21	CONFLICT:	A LARGE WINDOW @ LOFT IS OPPOSITE A SMALL WINDOW @ BATH
		PROPOSE:	PROVIDE FROSTED OR OBSCURE GLASS @ BATH WINDOW ON LOT 21
I	LOTS 25/26	CONFLICT:	A SMALL WINDOW @ STAIRWELL IS OPPOSITE A LARGE WINDOW @ STAIRWELL
		PROPOSE:	PROVIDE ART OR FROSTED GLASS @ STAIRWELL WINDOW ON LOT 25

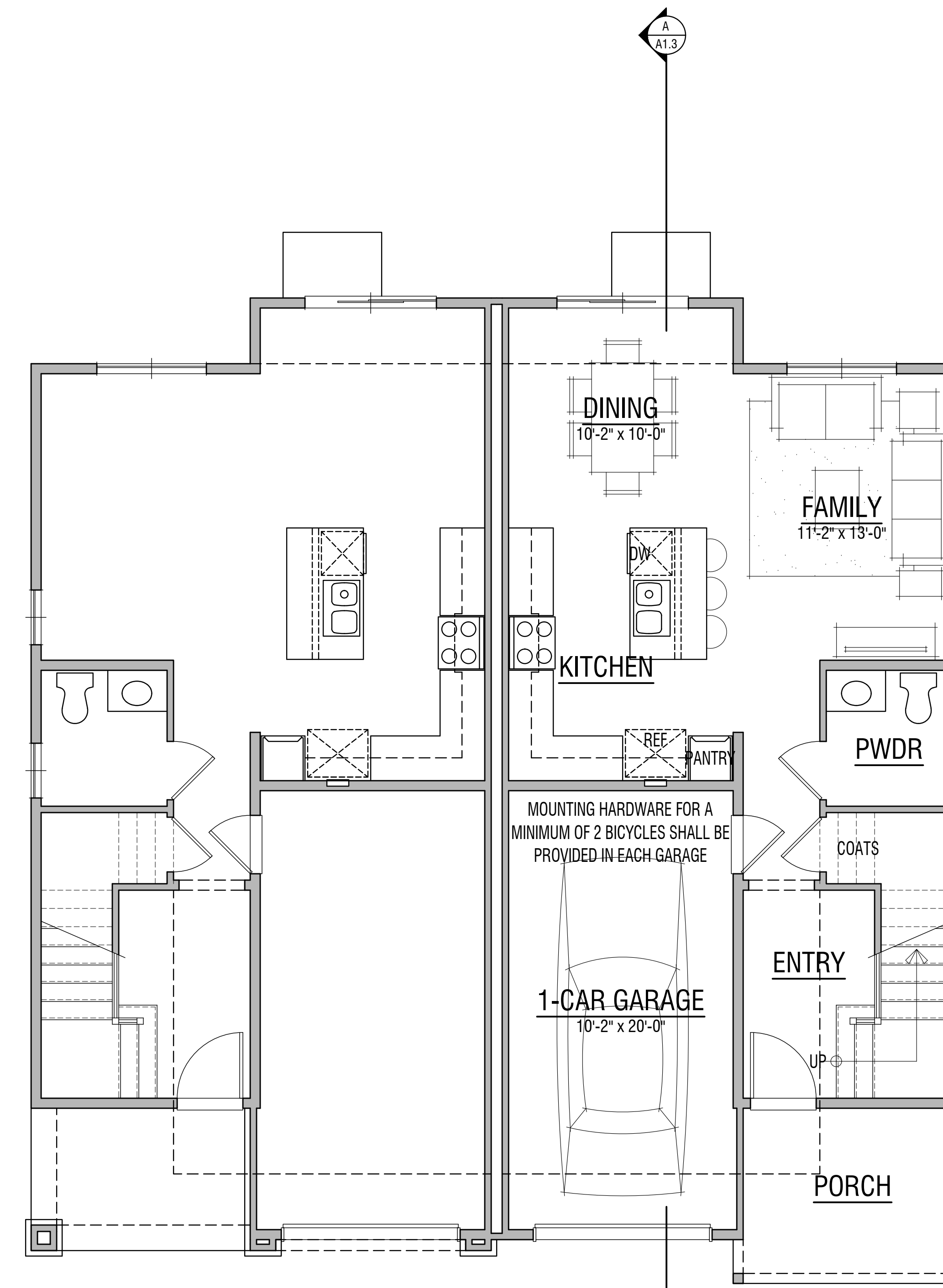
Second Floor Side Facing Window Privacy Exhibits



Lots 5, 17 and 24

Lots 4, 23 and 27

Second Floor



Lots 5, 17 and 24

Lots 4, 23 and 27

First Floor

Square Footage Tabulation

First Floor:	594 Sq. Ft.
Second Floor:	669 Sq. Ft.
Total Living Area:	1263 Sq. Ft.
Garage Area:	218 Sq. Ft.
Porch Area:	60 Sq. Ft.

Plan I Cottage/Traditional

Conceptual Floor Plans
Lots 4/5, 17/27 and 23/24

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

0 2 4 8
SCALE: 1/4" = 1'
June 24, 2020
REV. October 1, 2020

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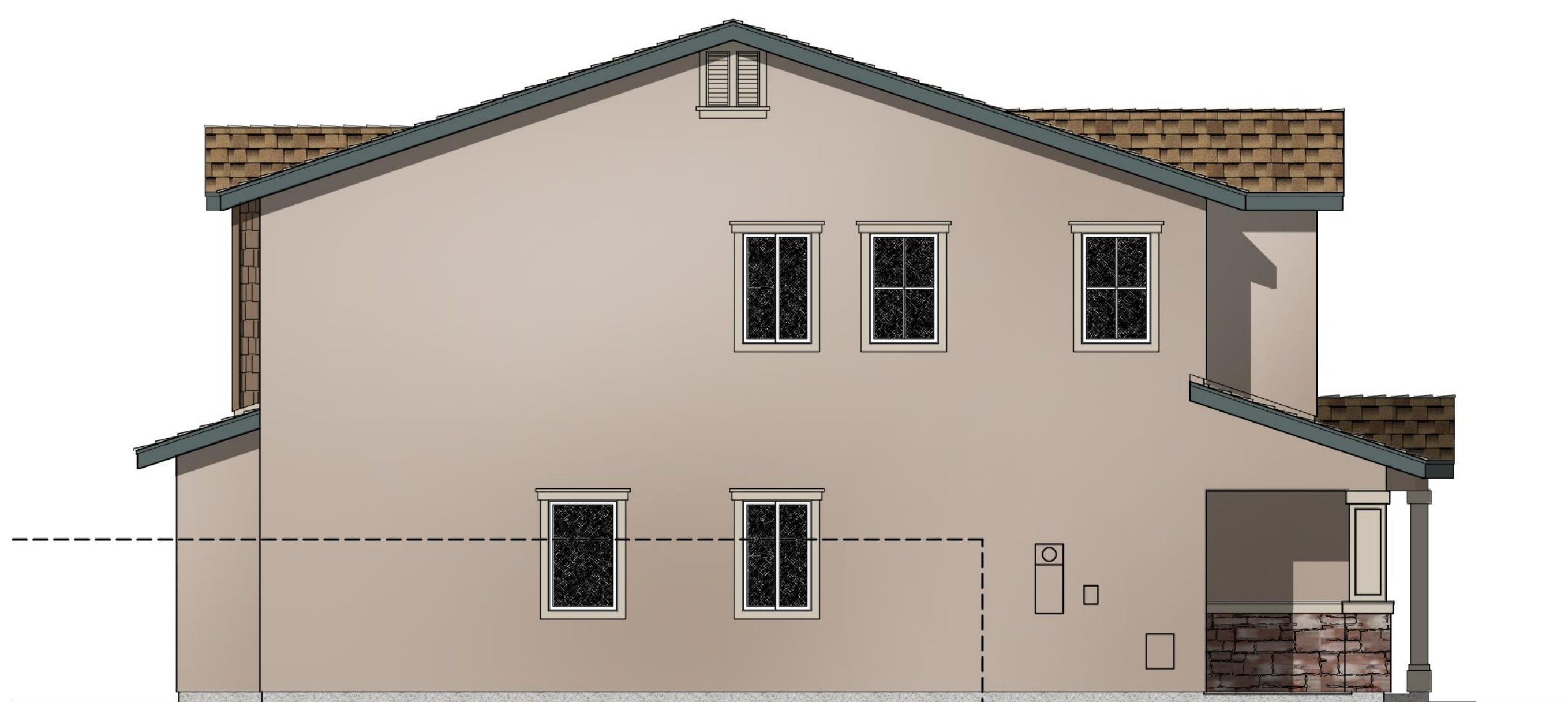
A1.1



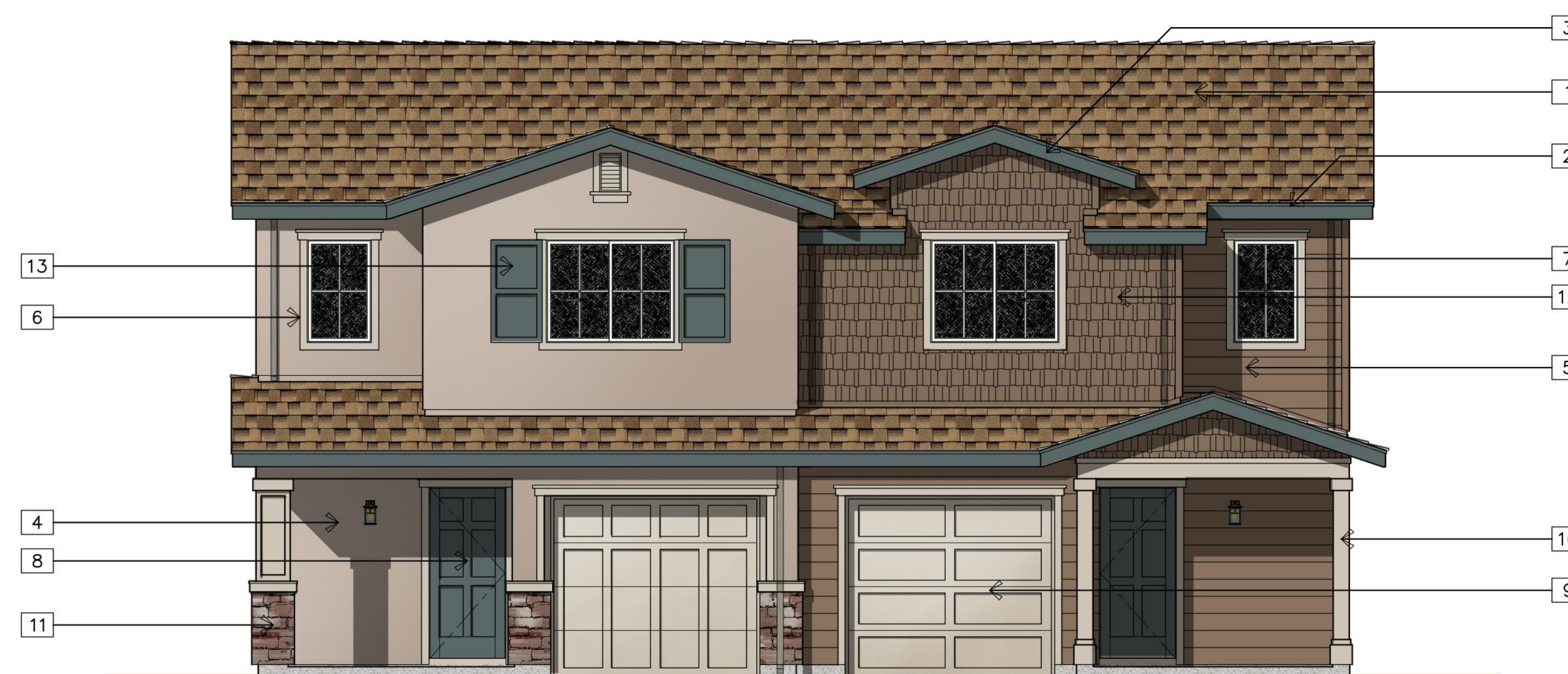
Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter o/ 2x8 Eave Board
- Barge: 3 2x8 Rake Board
- Walls: 4 1-Coat Stucco - Heavy Sand Finish
- 5 Fiber Cement Lap Siding
- Trim: 6 2x4 Flat O/ 2x4 Head
- 2x4 Jamb
- 2x4 Sill

- Windows: 7 Vinyl Frame w/ Dual Pane Glass
- Doors: 8 Insulated Fiberglass Panel
- Garage Door: 9 Insulated Metal Roll-up
- Accents: 10 Wood Columns @ Porch
- 11 Riverock Wainscot w/ Stone Cap
- 12 Fiber Cement Staggered Edge Shingle Siding
- 13 Composite Wood Shutters

Notes:

1. Trim at Stucco Walls to be Smooth Finish Stucco o/ Foam (size as indicated on Exterior Material Table).
2. Trim at Fiber Cement Siding Walls to be a Fiber Cement (size as indicated on Exterior Material Table).

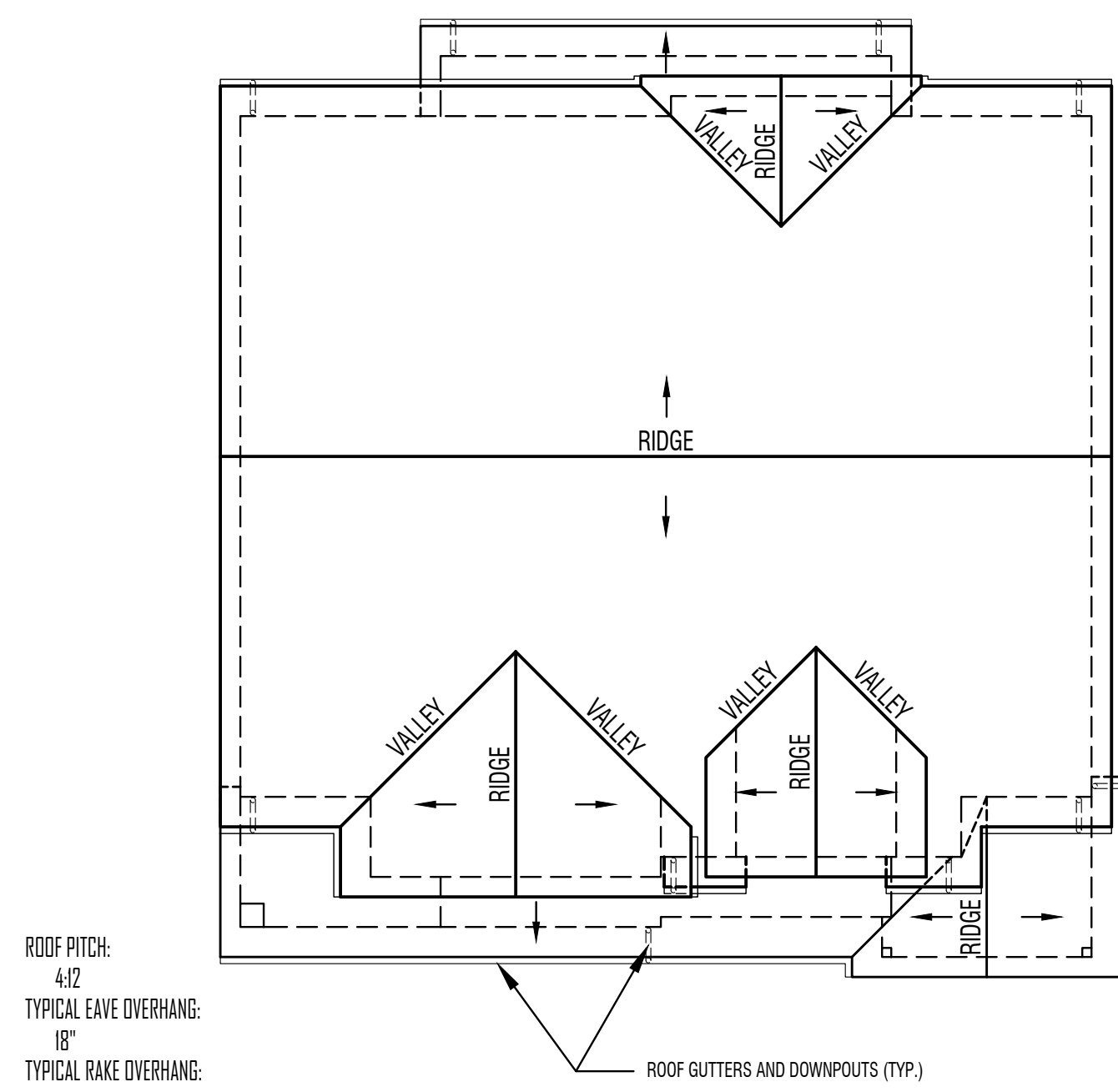
Plan 1 Cottage/Traditional
 ELEVATION RENDERED USING COLOR SCHEME #3.
 SEE SHEET CS FOR MORE INFORMATION.
 Conceptual Exterior Elevations
 (Lots 4/5, 17/27 & 23/24)

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

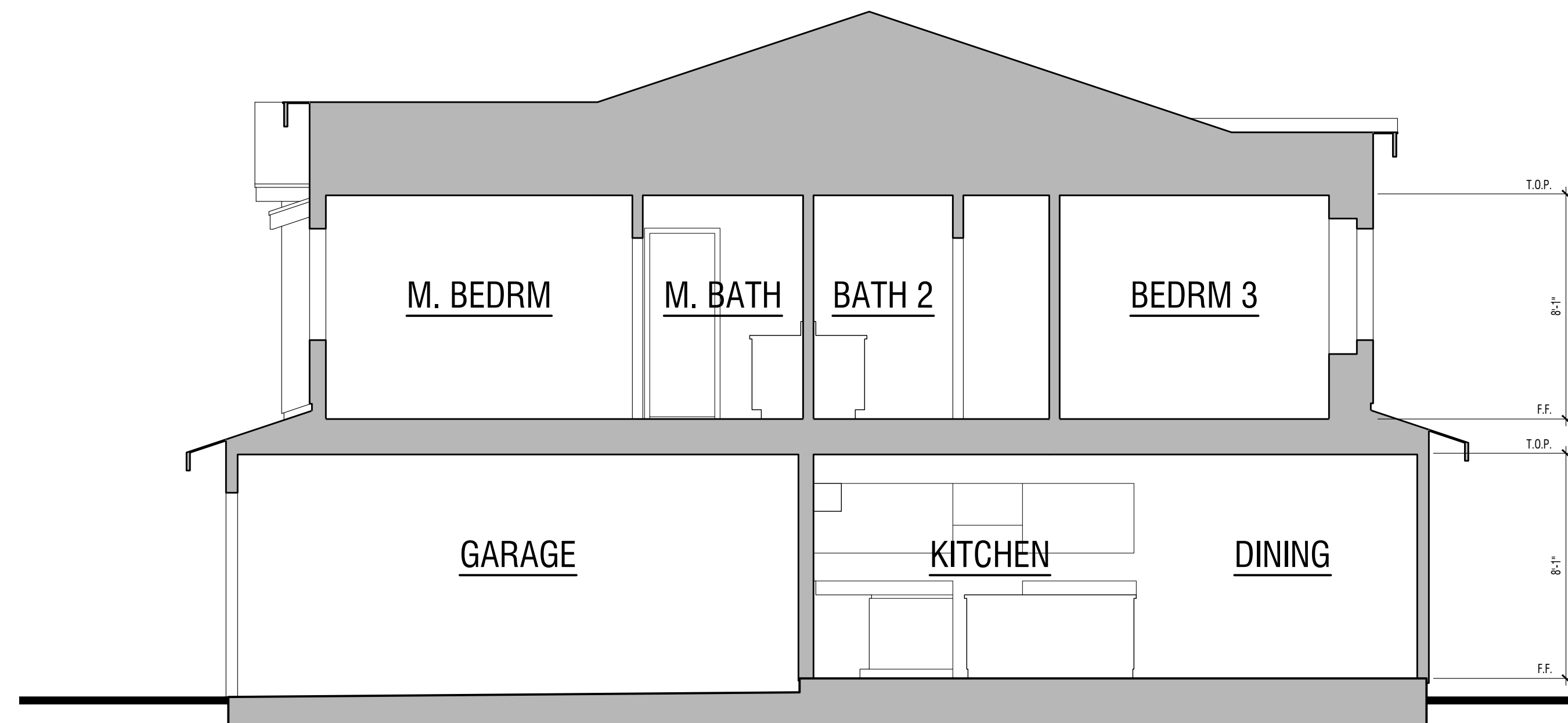
0 2 4 8
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A1.2



Roof Plan
SCALE: 1/8" = 1'-0"



Building Section A-A



Cottage Elevation

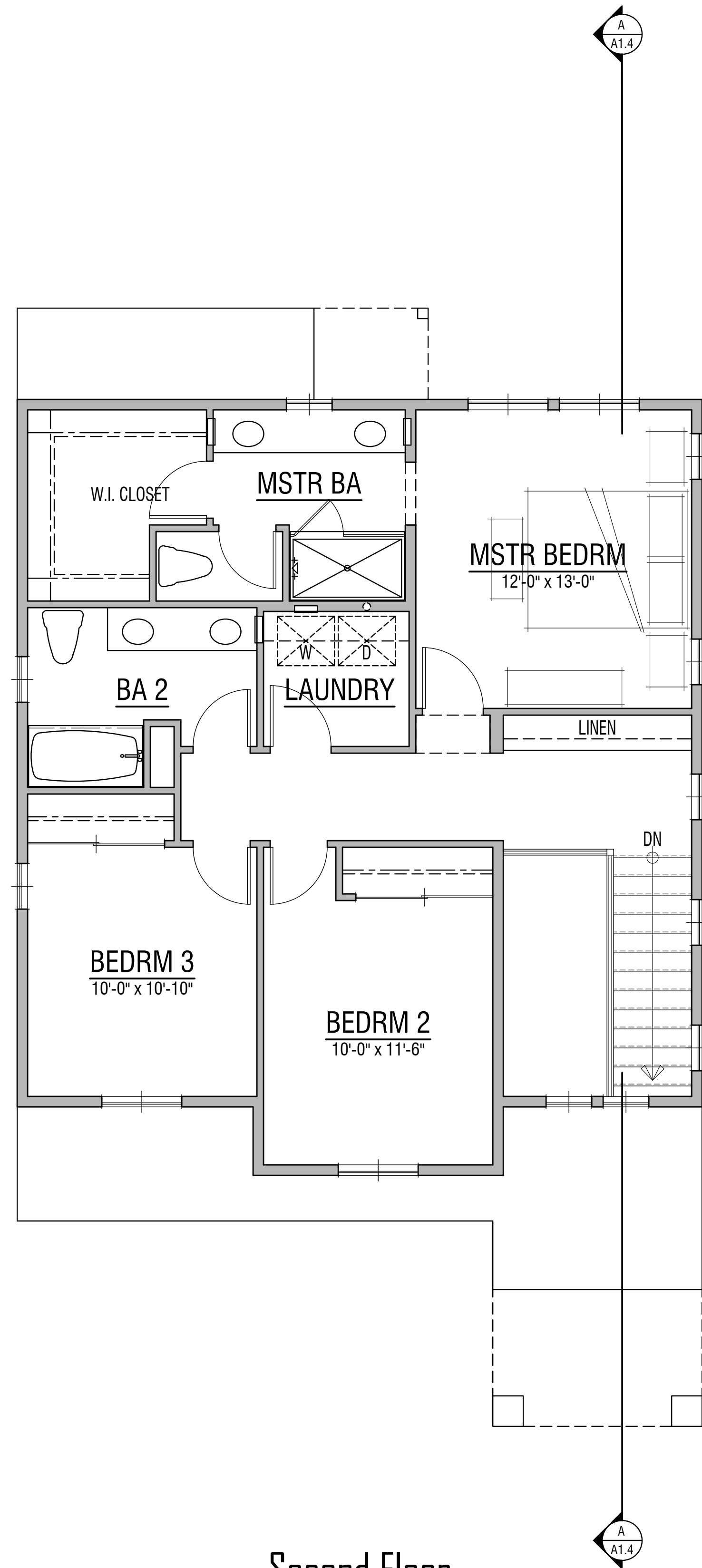
Manufacturer: Sea Gull Lighting
 Product Name: Kent Collection
 Product Number: 84529EN3-12
 Finish: Black with Satin Etched Glass
 Dimensions: W: 6 1/2" H: 11 1/4"



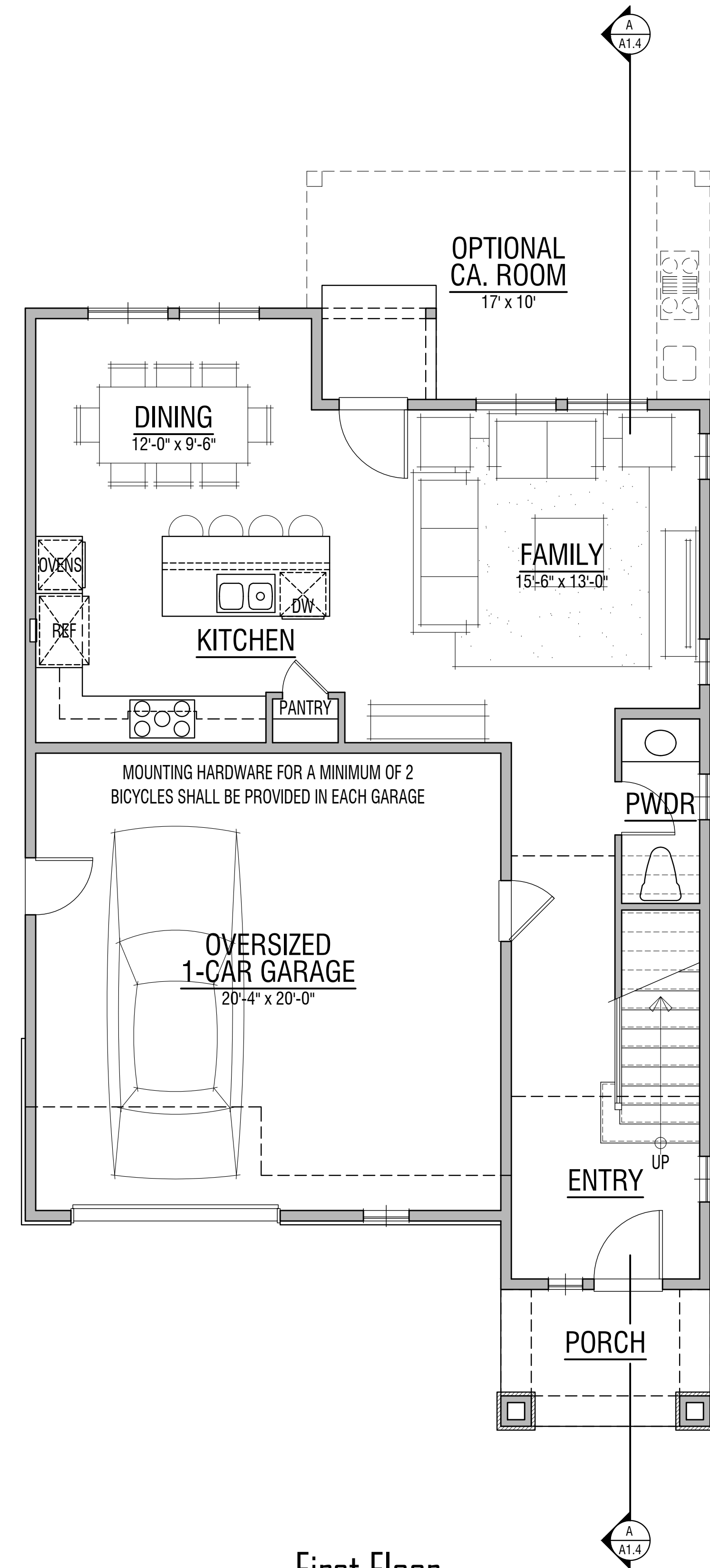
Traditional Elevation

Manufacturer: Sea Gull Lighting
 Product Name: Cape May Collection
 Product Number: 88240EN3-780
 Finish: Burled Iron with Etched Hammered Light Amber Glass
 Dimensions: W: 7" H: 10 1/2"

Conceptual Building Section and Roof Plan



Second Floor



First Floor

Square Footage Tabulation

First Floor:	732 Sq. Ft.
Second Floor:	868 Sq. Ft.
Total Living Area:	1,600 Sq. Ft.
Garage Area:	427 Sq. Ft.
Porch Area:	55 Sq. Ft.
Optional CA. Room	170 Sq. Ft.

Plan 2 Traditional

Conceptual Floor Plans
(Lots 2, 10, 19 & 21)

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

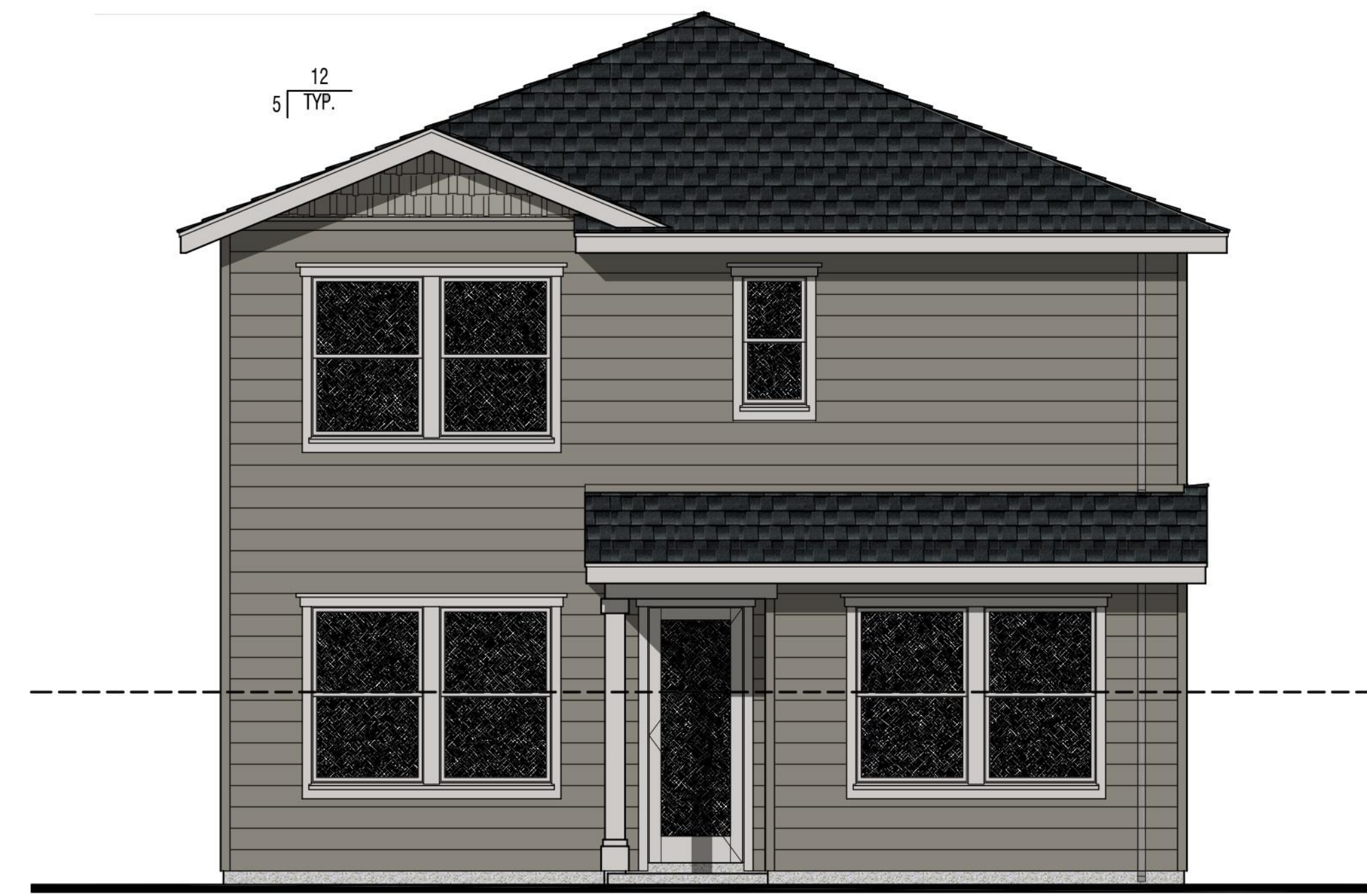
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SCALE: 1/4" = 1'
June 24, 2020
REV. October 1, 2020

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A2.1



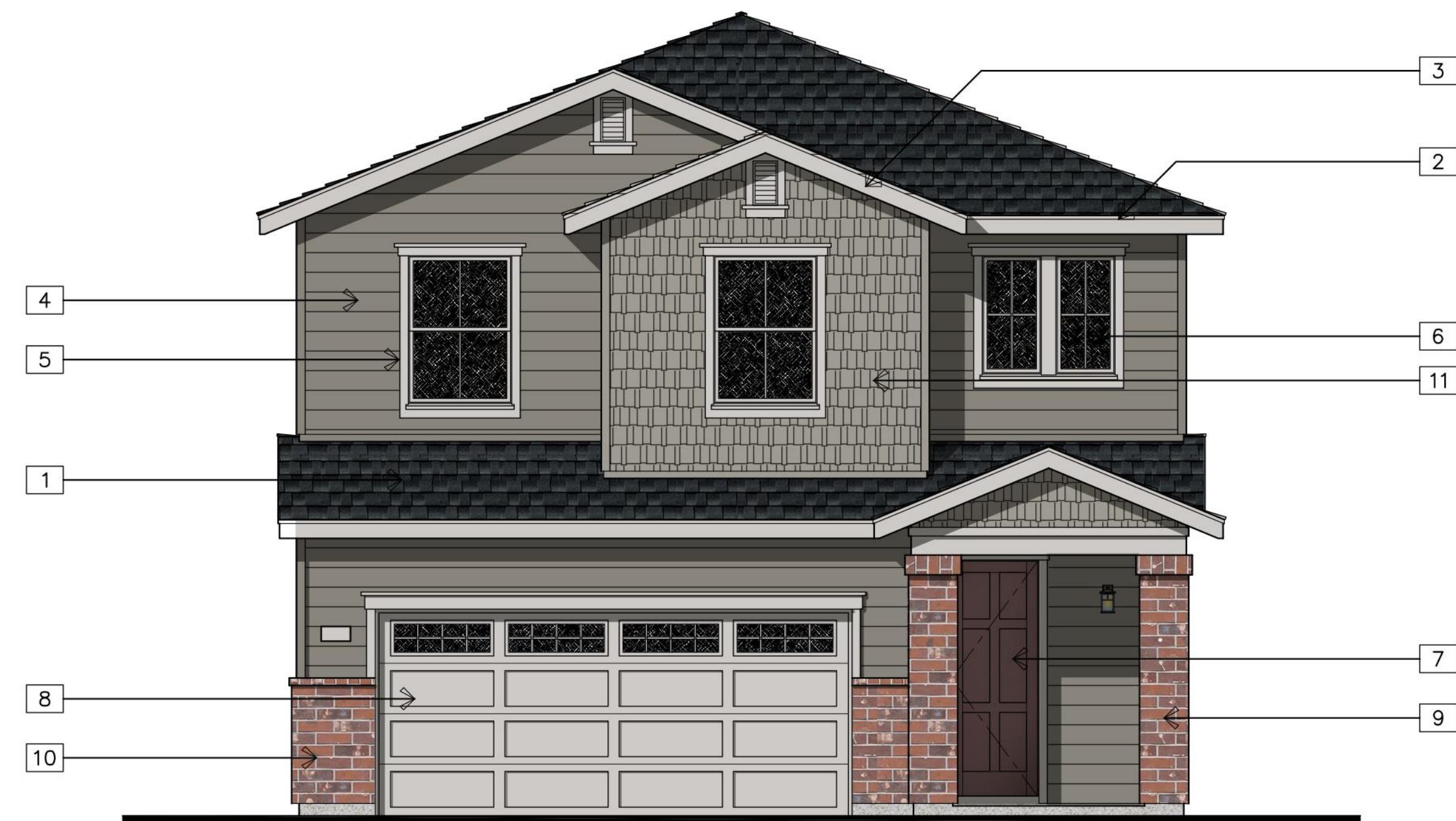
Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter o/ 2x8 Eave Board
- Barge: 3 2x8 Rake Board
- Walls: 4 Fiber Cement Lap Siding
- Trim: 5 2x4 Flat O/ 2x4 Head
2x4 Jamb
2x4 Sill

- Windows: 6 Vinyl Frame w/ Dual Pane Glass
- Doors: 7 Insulated Fiberglass Panel
- Garage Door: 8 Insulated Metal Roll-up
- Accents: 9 Brick Columns @ Porch
- 10 Brick Wainscot w/ Cap
- 11 Fiber Cement Staggered Edge Shingle Siding

Notes:

1. Trim to be Fiber Cement (size as indicated on Exterior Material Table).
2. Glass Shown at Garage Door is a Buyer Option.

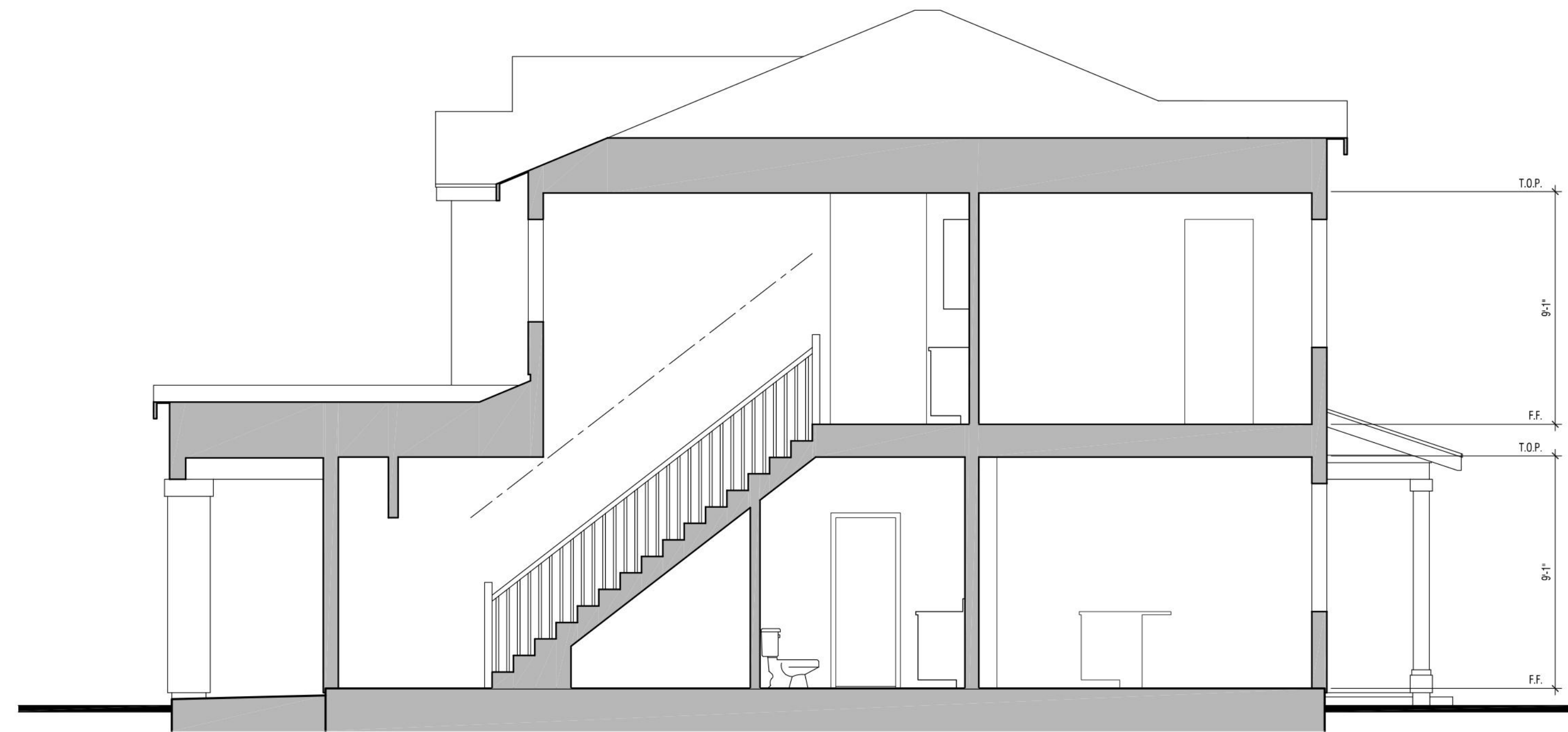
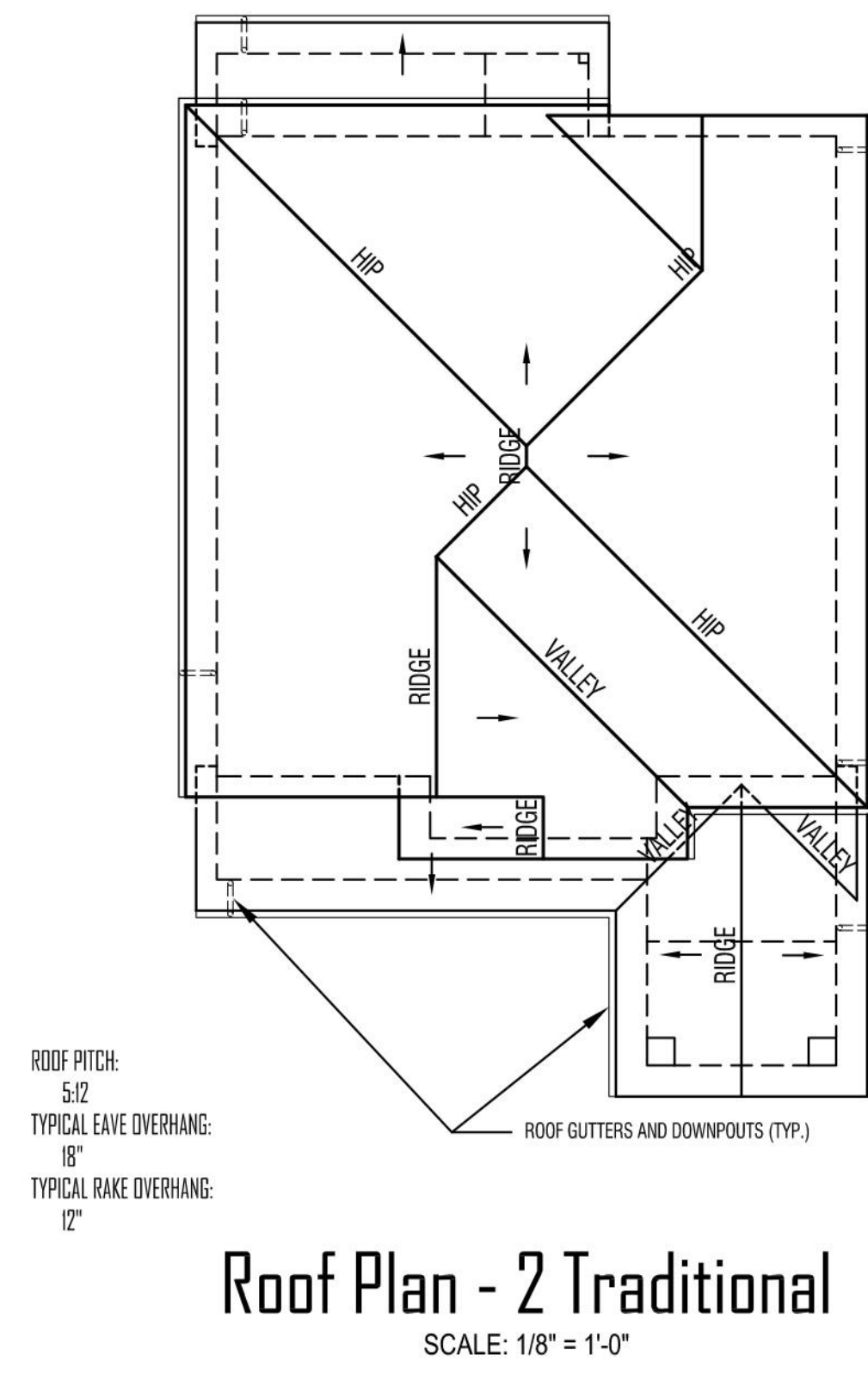
Plan 2 Traditional
ELEVATION RENDERED USING COLOR SCHEME #7,
 SEE SHEET CS FOR MORE INFORMATION.
Conceptual Exterior Elevations
 (Lots 2, 10, 19 & 21)

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV: October 1, 2020

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A2.2



Traditional Elevation

Manufacturer: Sea Gull Lighting
 Product Name: Cape May Collection
 Product Number: 88240EN3-780
 Finish: Burled Iron with Etched Hammered Light Amber Glass
 Dimensions: W: 7" H: 10 1/2"

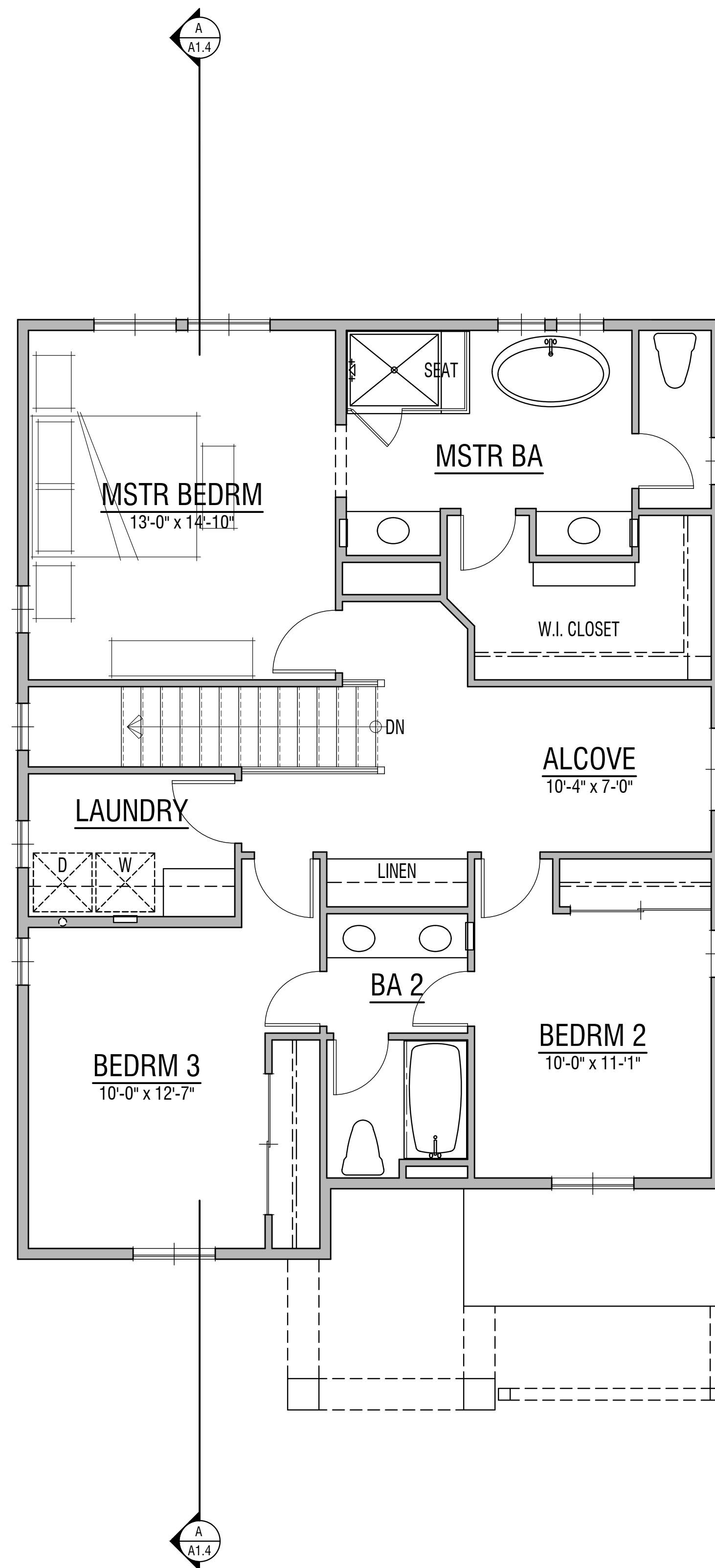
Option, Building Section, Enhanced Elevation and Roof Plan

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

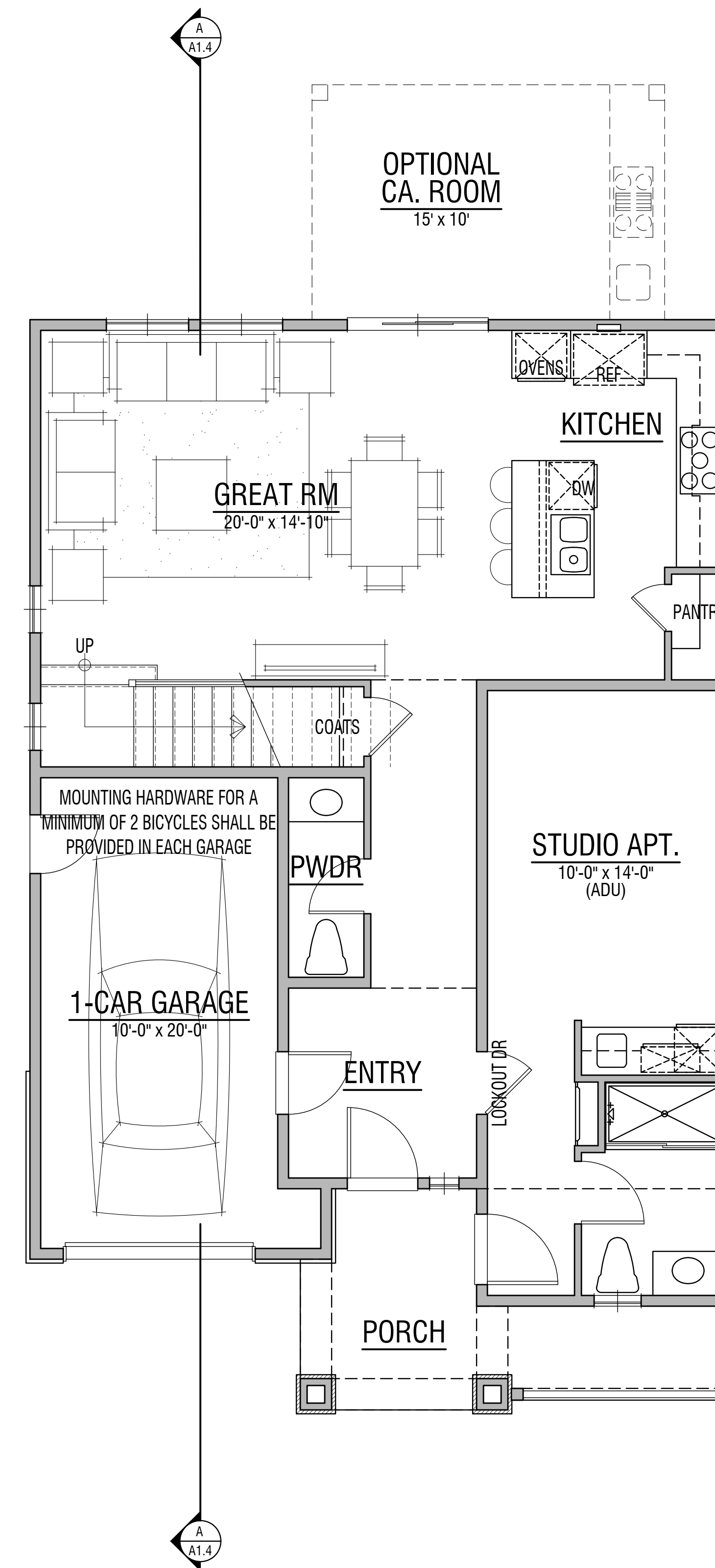
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 SCALE: 1/4" = 1'
 June 24, 2020
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A2.3



Second Floor



First Floor

Square Footage Tabulation

First Floor:	702 Sq. Ft.
Second Floor:	1,098 Sq. Ft.
Total Living Area:	1,800 Sq. Ft.
Garage Area:	217 Sq. Ft.
Porch Area:	111 Sq. Ft.
Studio Apt. (ADU)	278 Sq. Ft.
Optional CA. Room	150 Sq. Ft.

Plan 3 Cottage

Conceptual Floor Plans
(Lots 7, 12, 15 & 20)

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

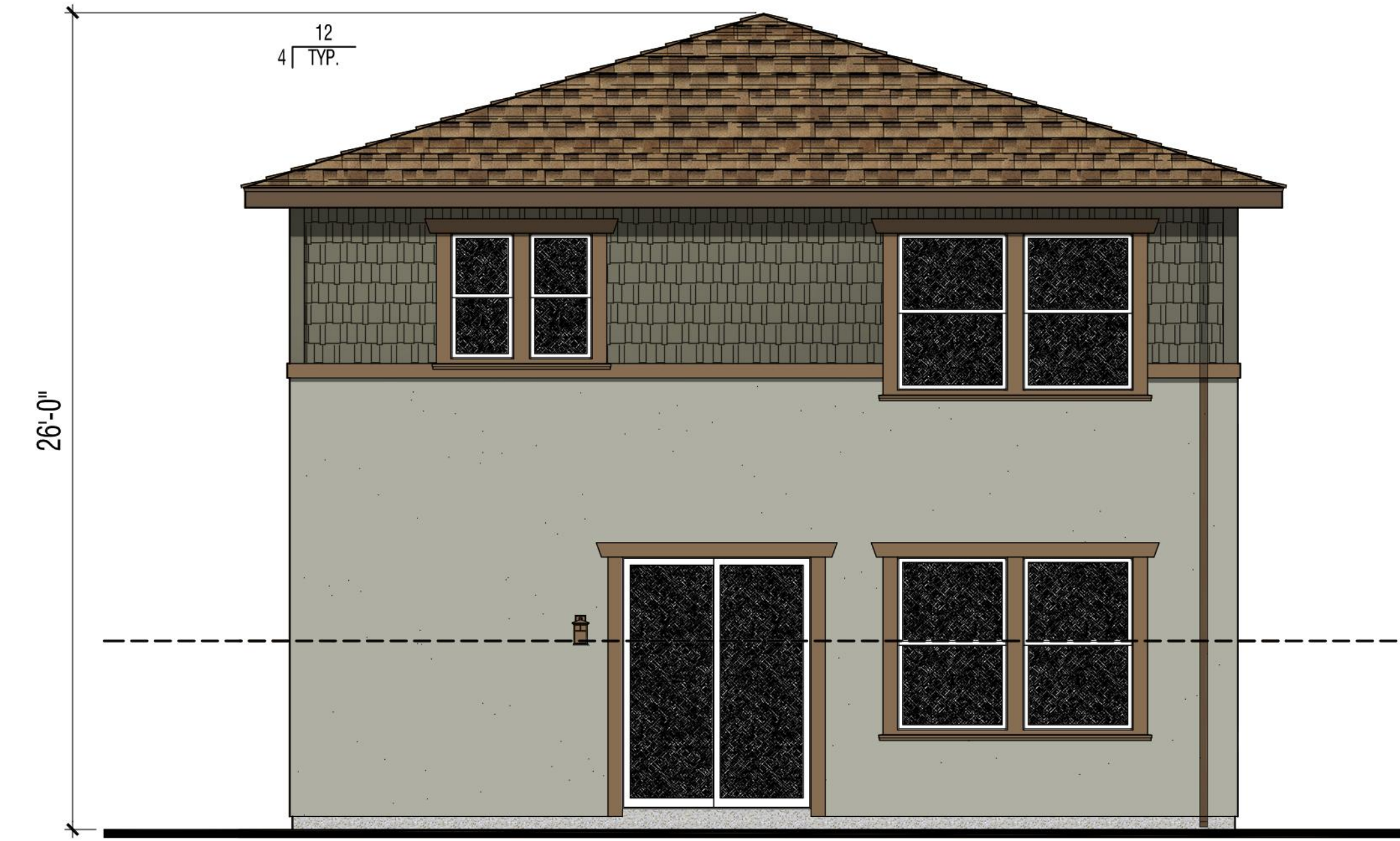
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SCALE: 1/4" = 1'
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REV. October 1, 2020

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A3.1



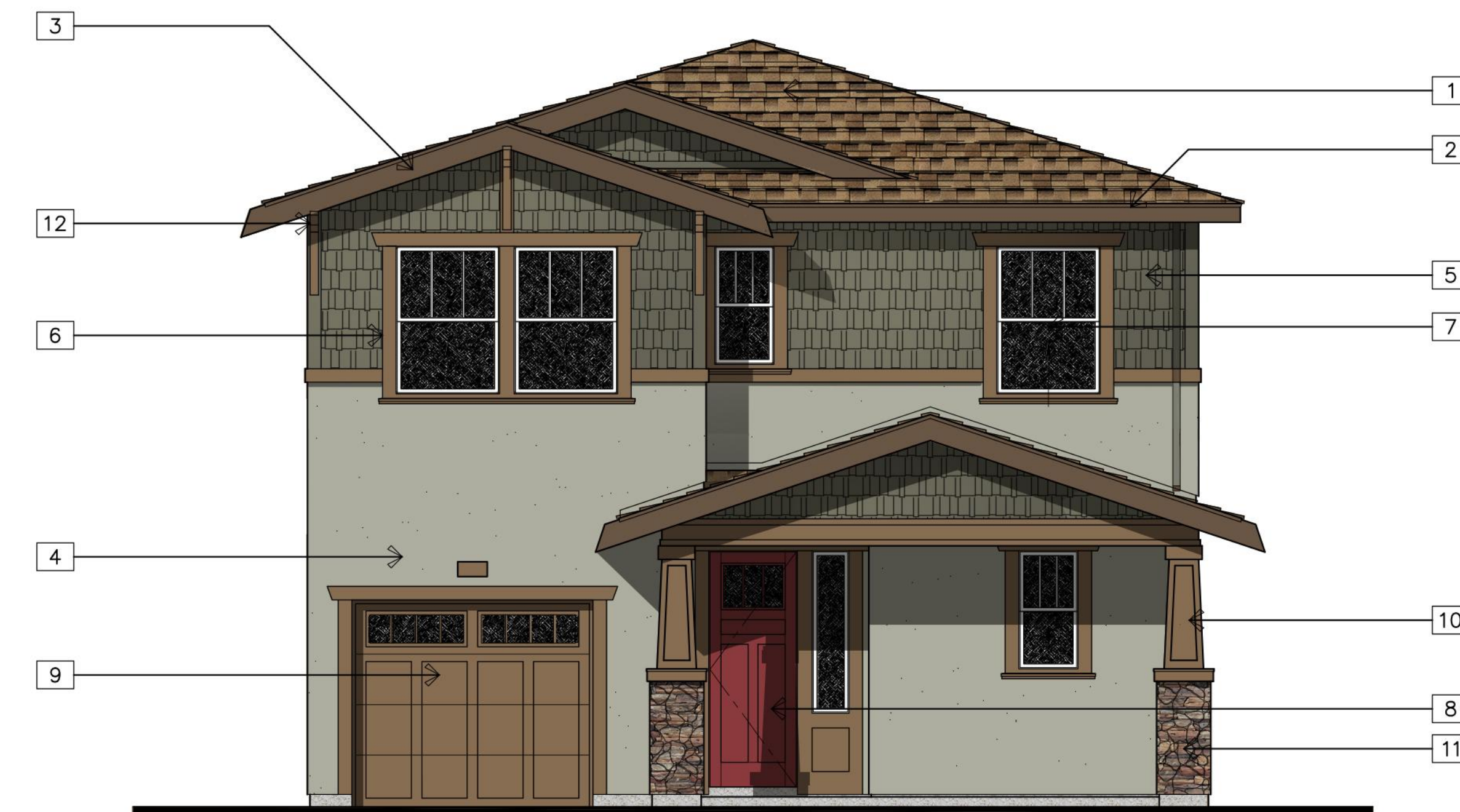
Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter o/ 2x8 Eave Board
- Barge: 3 2x10 Rake Board
- Walls: 4 1-Coat Stucco - Medium Sand Finish
- Trim: 5 Fiber Cement Staggered Edge Shingle Siding
- 6 2x6 Head
- 2x6 Jamb
- 2x Shaped Sill

- Windows: 7 Vinyl Frame w/ Dual Pane Glass
- Doors: 8 Insulated Fiberglass Panel
- Garage Door: 9 Insulated Metal Roll-up
- Accents: 10 Tapered Wood Columns @ Porch
- 11 Ledgestone Wainscot w/ Stone Cap
- 12 4x6 Outlooker w/ 4x6 Knee Brace

Notes:

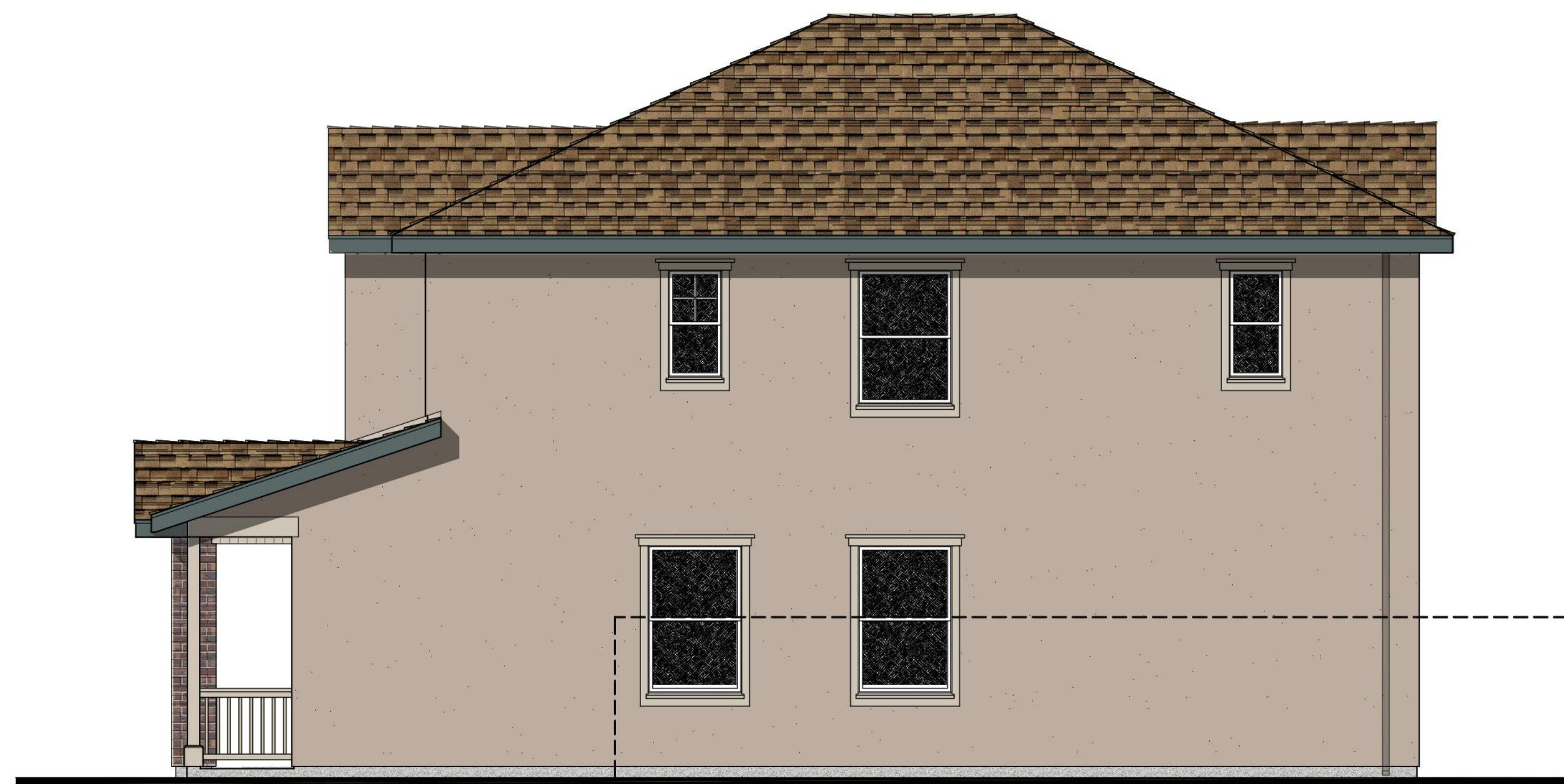
1. Trim to be Fiber Cement (size as indicated on Exterior Material Table).
2. Glass Shown at Garage Door is a Buyer Option.

Plan 3 Craftsman
 ELEVATION RENDERED USING COLOR SCHEME #1.
 SEE SHEET CS FOR MORE INFORMATION.
Conceptual Exterior Elevations
 (Lots 9, 14, 18 & 26)

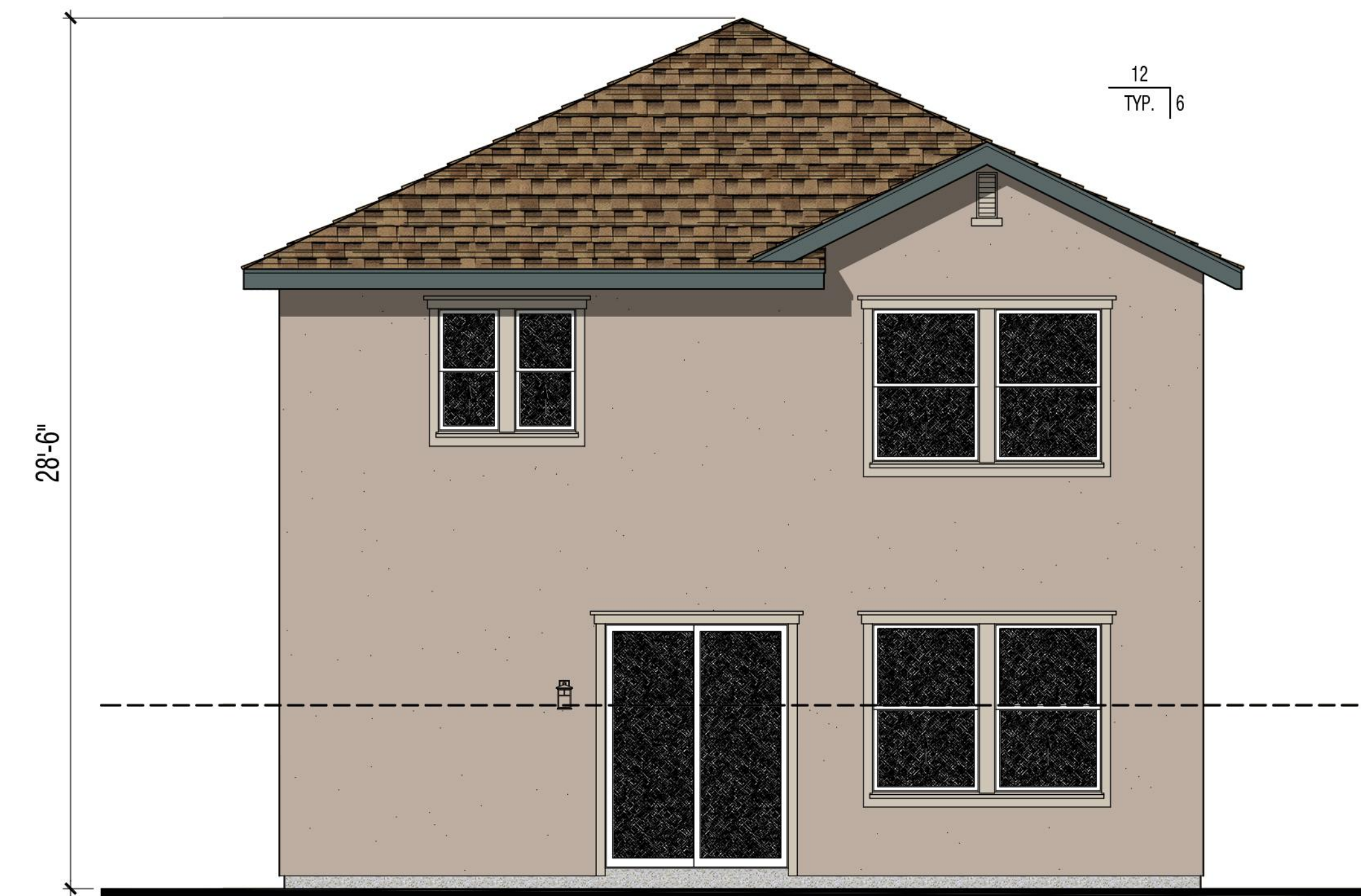
PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
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 REV. October 1, 2020

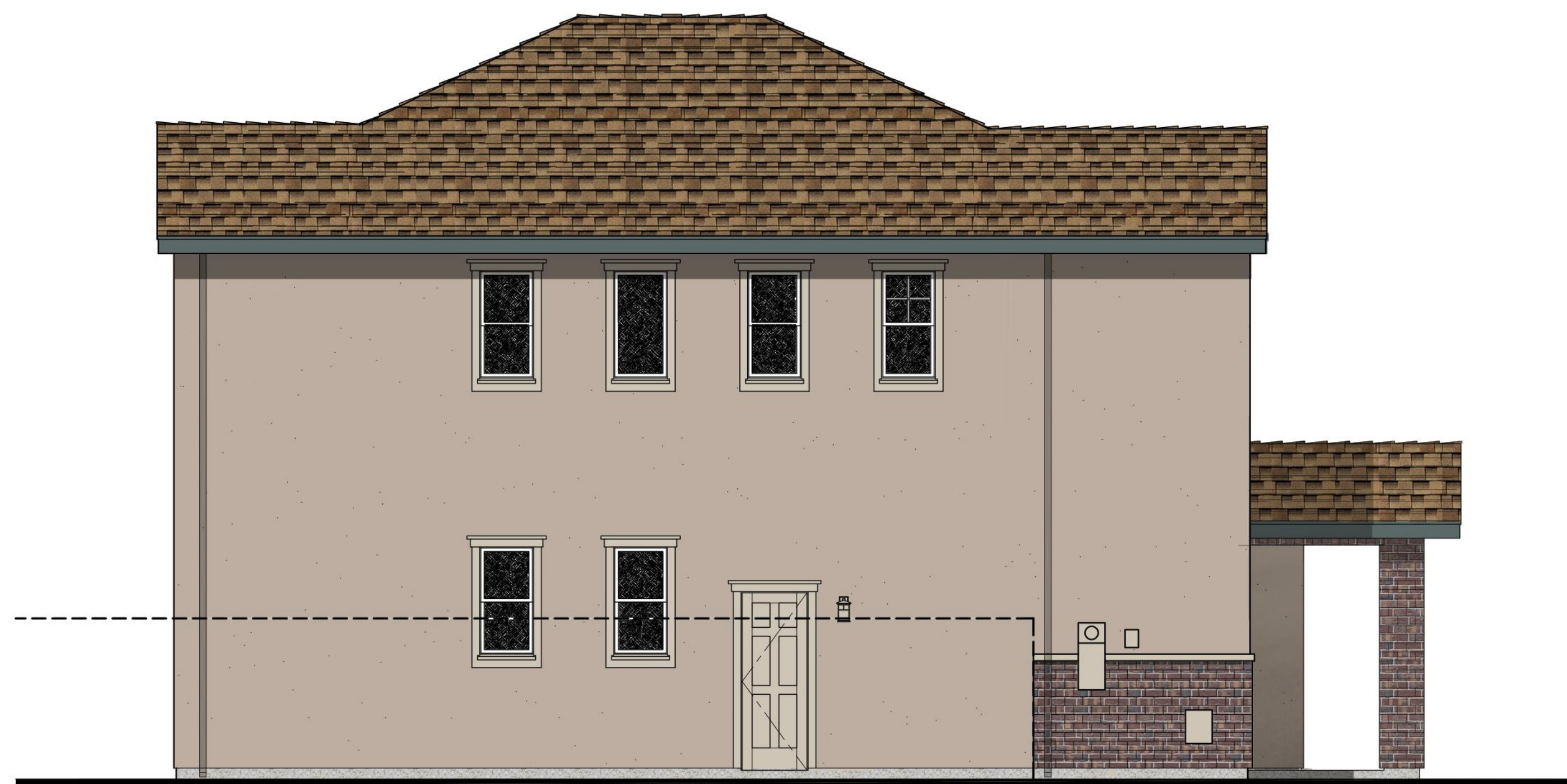
edward c. novak ARCHITECT LEED AP <small>153 GILLETTE PLACE #108 LIVERMORE, CA 94550 phone: 714-323-8396 email: ed@ecnaarchitecture.com</small>	A3.2
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Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter w/ 2x8 Eave Board
- Barge: 3 2x8 Rake Board
- Walls: 4 1-Coat Stucco - Heavy Sand Finish
- Trim: 5 2x3 (Ledge) w/ 2x4 Head
2x4 Jamb
2x Shaped Sill w/ 2x4 Apron

- Windows: 6 Vinyl Frame w/ Dual Pane Glass
- Doors: 7 Insulated Fiberglass Panel
- Garage Door: 8 Insulated Metal Roll-up
- Accents: 9 Brick Veneer
- 10 Composite Wood Shutters

Notes:

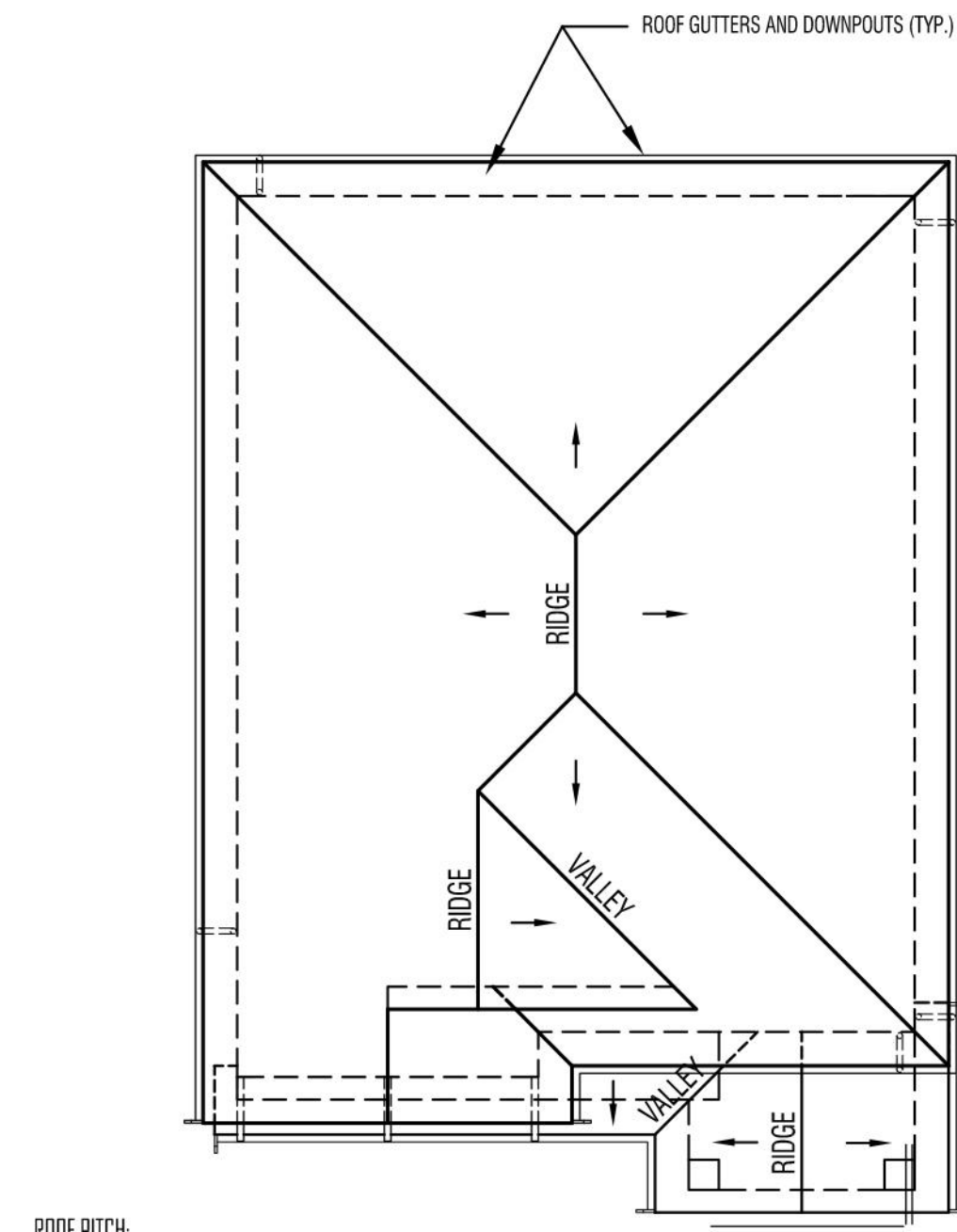
1. Trim be Smooth Finish Stucco or Foam (size as indicated on Exterior Material Table).

Plan 3 Cottage
ELEVATION RENDERED USING COLOR SCHEME #3.
 SEE SHEET CS FOR MORE INFORMATION.
Conceptual Exterior Elevations
 (Lots 7, 12, 15 & 20)

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV. October 1, 2020

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ROOF PITCH:
4:12
TYPICAL EAVE OVERHANG:
18"
TYPICAL RAKE OVERHANG:
12"

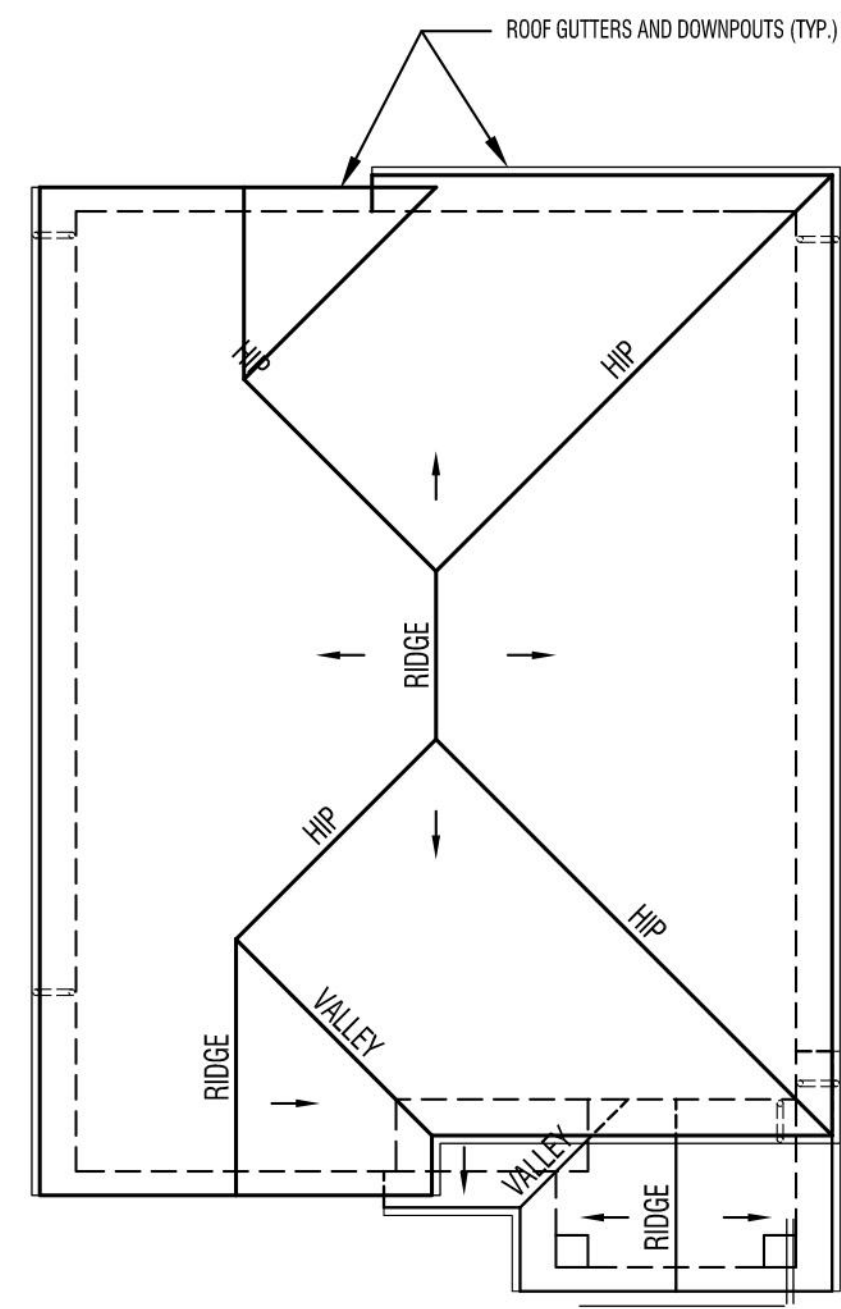
Roof Plan - 3 Craftsman
SCALE: 1/8" = 1'-0"



Building Section A-A



Plan 3 Craftsman With Optional California Room



ROOF PITCH:
8:12
TYPICAL EAVE OVERHANG:
18"
TYPICAL RAKE OVERHANG:
12"

Roof Plan - 3 Cottage
SCALE: 1/8" = 1'-0"



Cottage Elevation

Manufacturer: Sea Gull Lighting
Product Name: Kent Collection
Product Number: 84529EN3-12
Finish: Black with Satin Etched Glass
Dimensions: W: 6 1/2" H: 11 1/4"



Craftsman Elevation

Manufacturer: Sea Gull Lighting
Product Name: Medford Lakes Collection
Product Number: 88880EN3-51
Finish: Statuary Bronze with Etched Hammered Light Amber Glass
Dimensions: W: 7" H: 11"



Plan 3 Cottage With Optional California Room

Options, Building Section and Roof Plans

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

0 2 4 8
SCALE: 1/4" = 1'
June 24, 2020
REV: October 1, 2020

<p>edward c. novak ARCHITECT LEED AP 153 GILLETTE PLACE #108 LIVERMORE, CA 94550 phone: 714-323-6396 email: ed@ecnaarchitecture.com</p>	A3.4
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Plan 3 Cottage Rear Elevation - Lot 20



Plan 3 Cottage Left Side Elevation - Lot 20



Plan 3 Craftsman Right Side Elevation - Lot 9



Plan 3 Cottage Left Side Elevation - Lot 12

Enhanced Exterior Elevations

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV. October 1, 2020

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A3.5



Plan 3 Craftsman Right Side Elevation - Lot 26



Plan 3 Craftsman Left Side Elevation - Lot 26

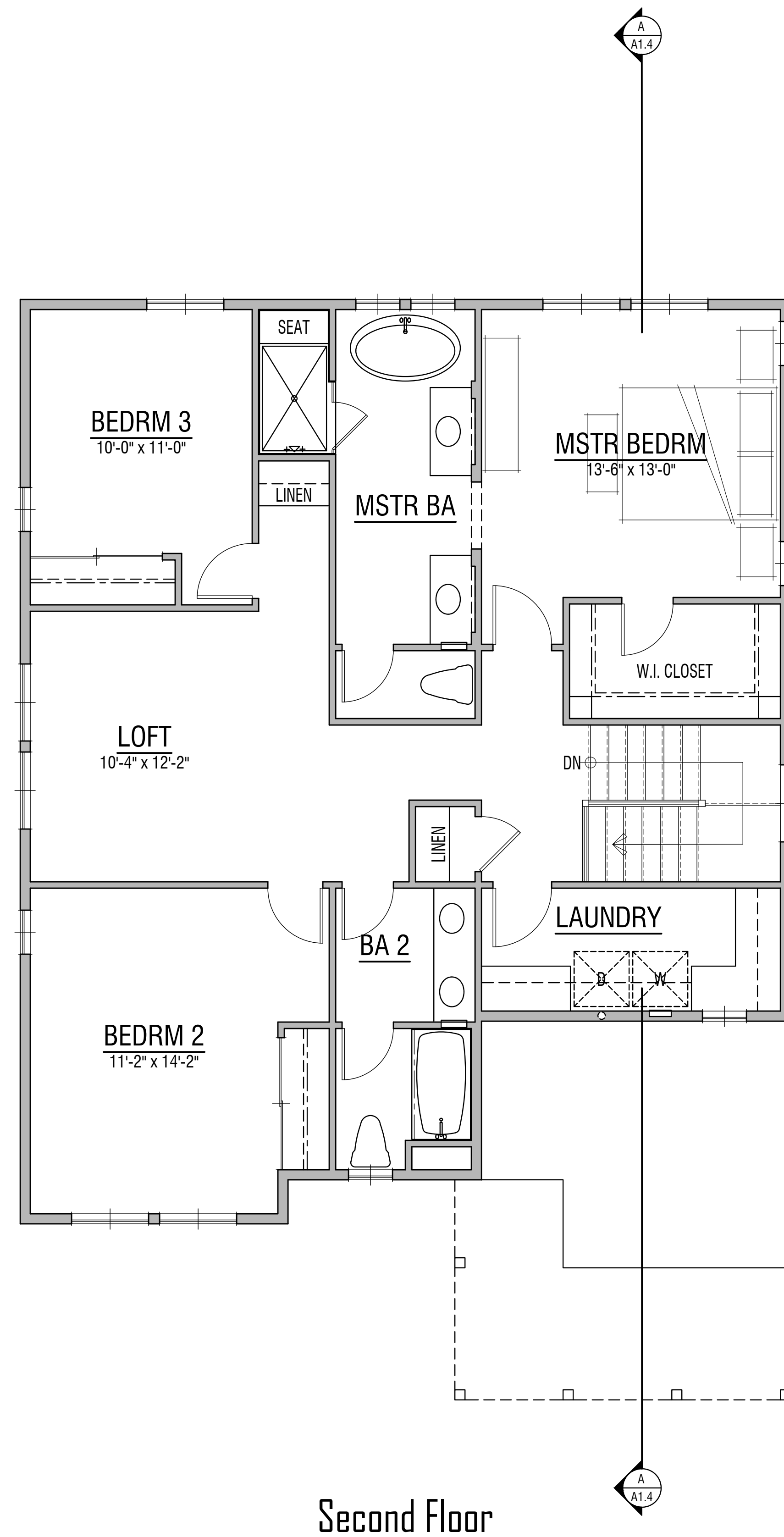
Enhanced Exterior Elevations

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

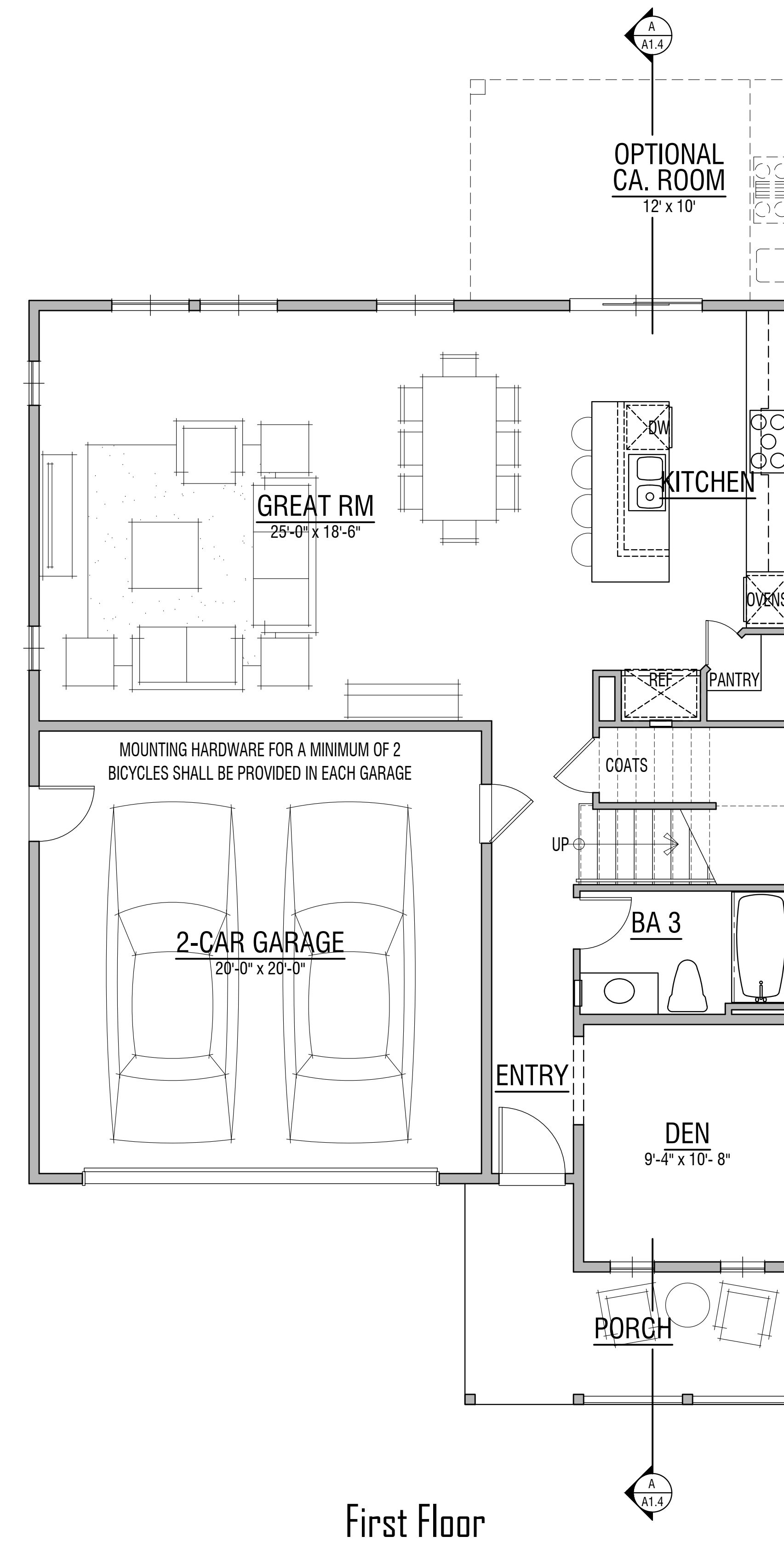
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 SCALE: 1/4" = 1'
 June 24, 2020
 REV. October 1, 2020

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A3.6



Second Floor



First Floor

Square Footage Tabulation

First Floor:	1,021 Sq. Ft.
Second Floor:	1,251 Sq. Ft.
Total Living Area:	2,272 Sq. Ft.
Garage Area:	420 Sq. Ft.
Porch Area:	111 Sq. Ft.
Optional CA. Room	120 Sq. Ft.

Plan 4 Farmhouse

Conceptual Floor Plans
(Lots 1, 3, 8 & 25)

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

0 2 4 8
SCALE: 1/4" = 1'
June 24, 2020
REV. October 1, 2020

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A4.1



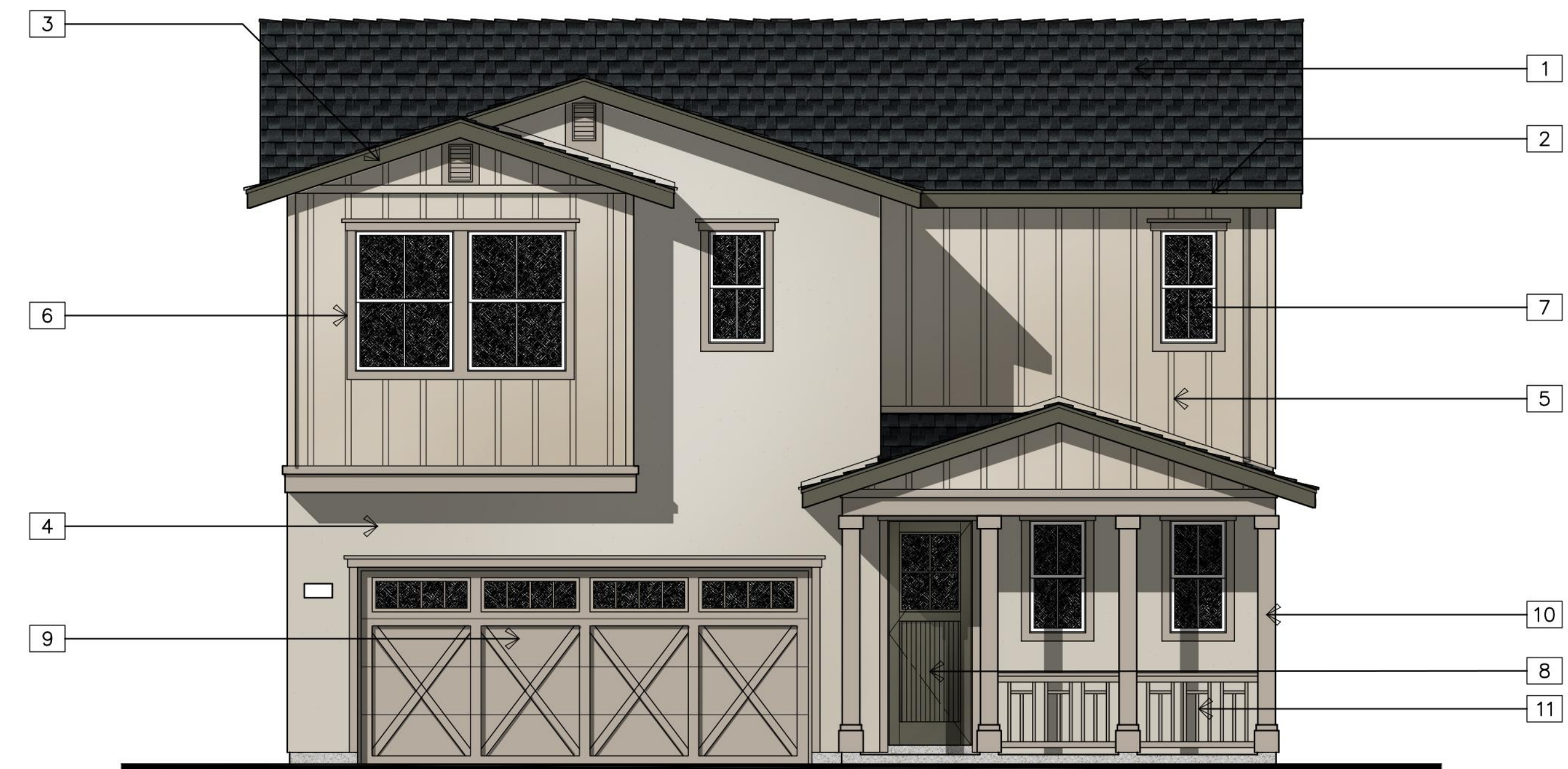
Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter o/ 2x8 Eave Board
- Barge: 3 2x8 Rake Board
- Walls: 4 1-Coat Stucco - Heavy Sand Finish
- 5 Fiber Cement Panel & Batt Siding
- Trim: 6 2x4 Flat O/ 2x4 Head
- 2x4 Jamb
- 2x4 Sill

- Windows: 7 Vinyl Frame w/ Dual Pane Glass
- Doors: 8 Insulated Fiberglass Panel
- Garage Door: 9 Insulated Metal Roll-up
- Accents: 10 Wood Columns @ Porch
- 11 Wood Railing @ Porch

Notes:

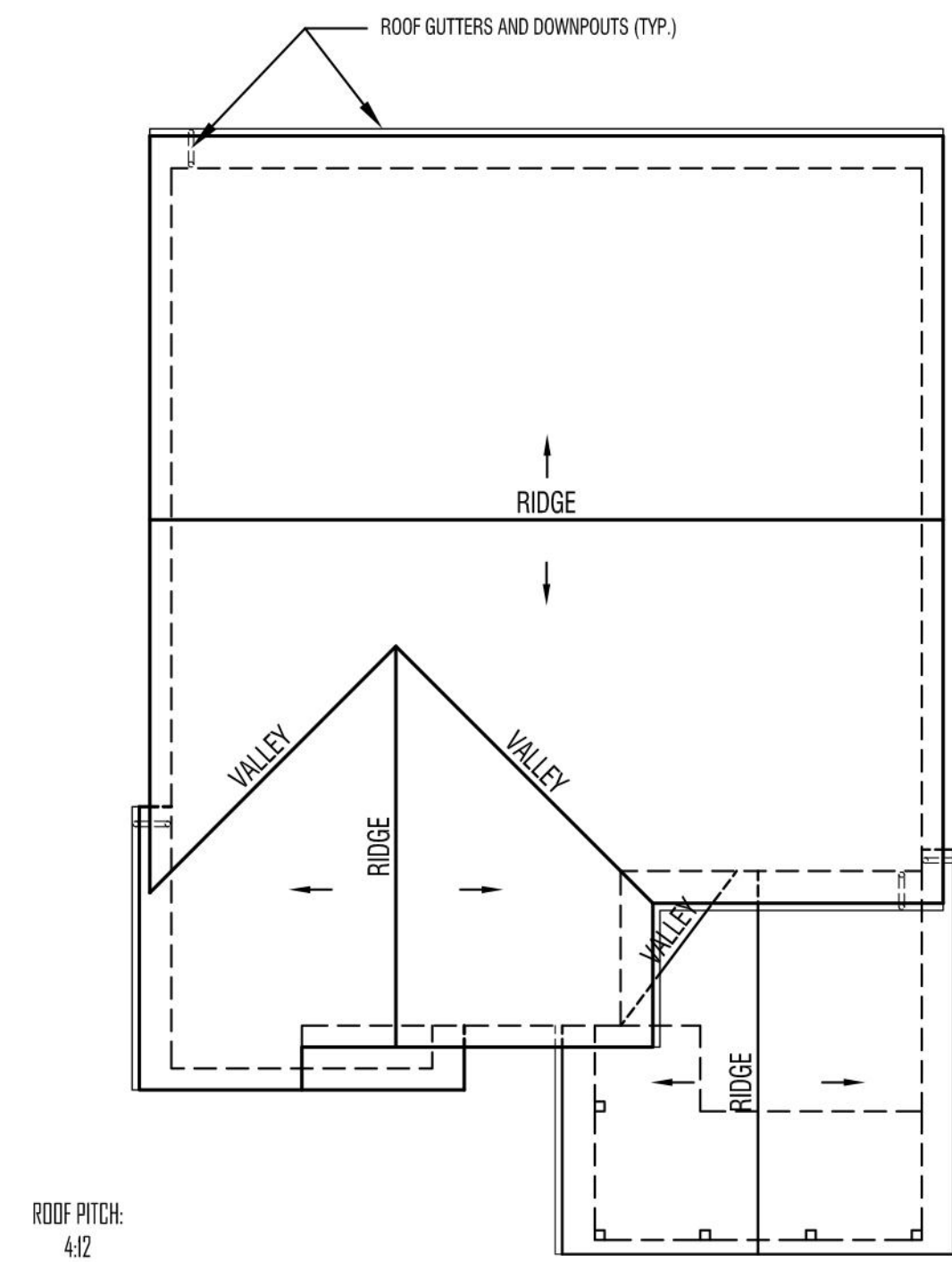
1. Trim at Stucco Walls to be Smooth Finish Stucco o/ Foam (size as indicated on Exterior Material Table).
2. Trim at Fiber Cement Siding Walls to be a Fiber Cement (size as indicated on Exterior Material Table).
3. Glass Shown at Garage Door is a Buyer Option.

Plan 4 Farmhouse
ELEVATION RENDERED USING COLOR SCHEME #5.
 SEE SHEET CS FOR MORE INFORMATION.
Conceptual Exterior Elevations
 (Lots 1, 3, 8 & 25)

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

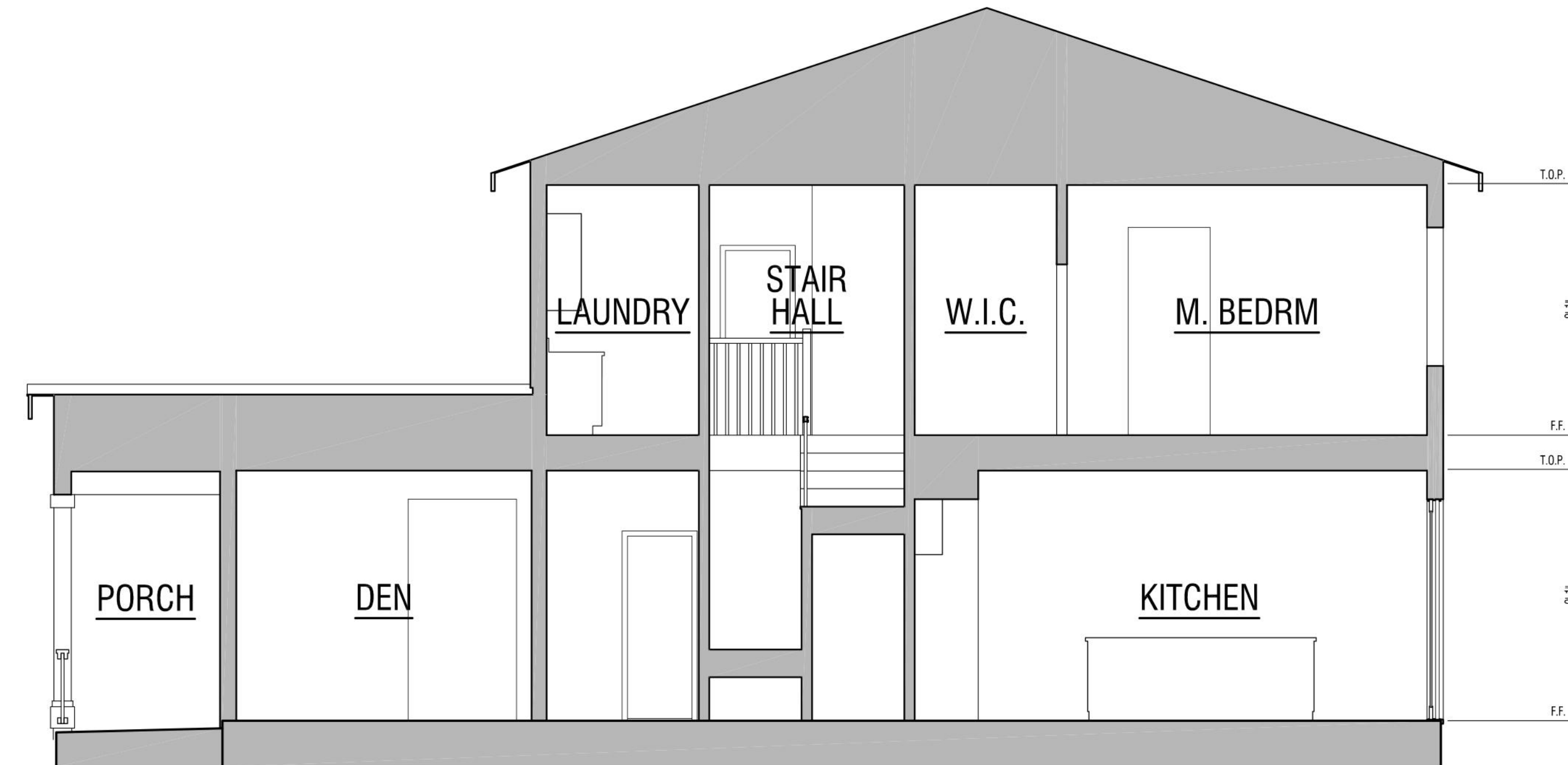
0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV. October 1, 2020

<p>edward c. novak ARCHITECT LEED AP <small>153 GILLETTE PLACE #108 LIVERMORE, CA 94550 phone: 714-323-6396 email: ed@ecarchitecture.com</small></p>	A4.2
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ROOF PITCH:
4:12
TYPICAL EAVE OVERHANG:
18"
TYPICAL RAKE OVERHANG:
12"

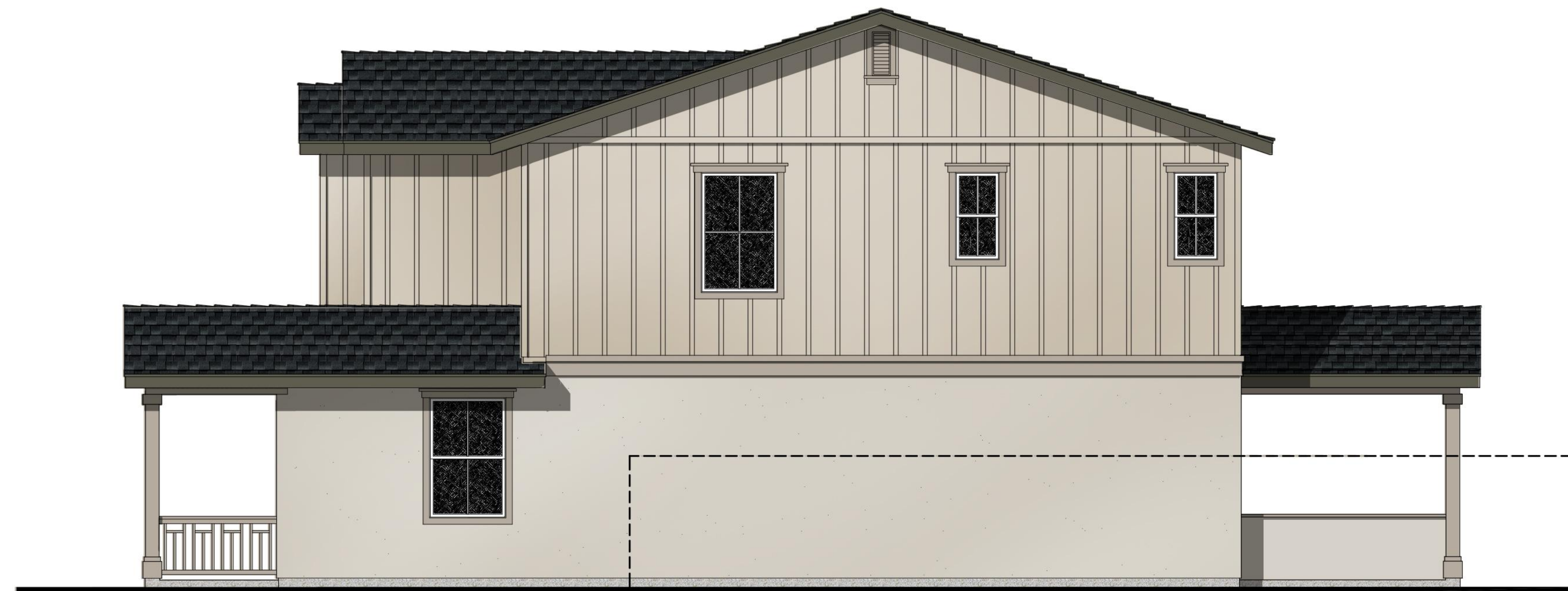
Roof Plan - 4 Farmhouse
SCALE: 1/8" = 1'-0"



Building Section A-A



Plan 4 Farmhouse With Optional California Room



Plan 4 Farmhouse Right Side Elevation - Lot 1



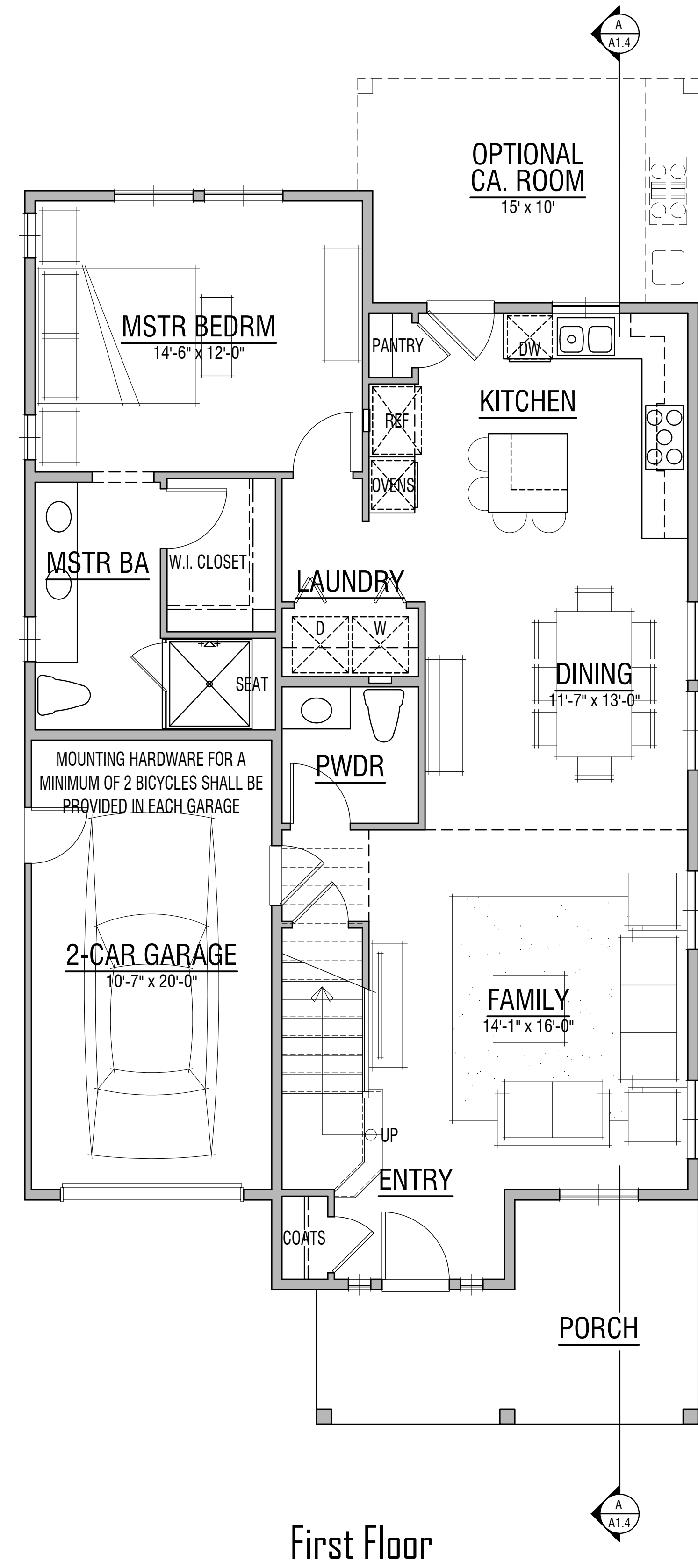
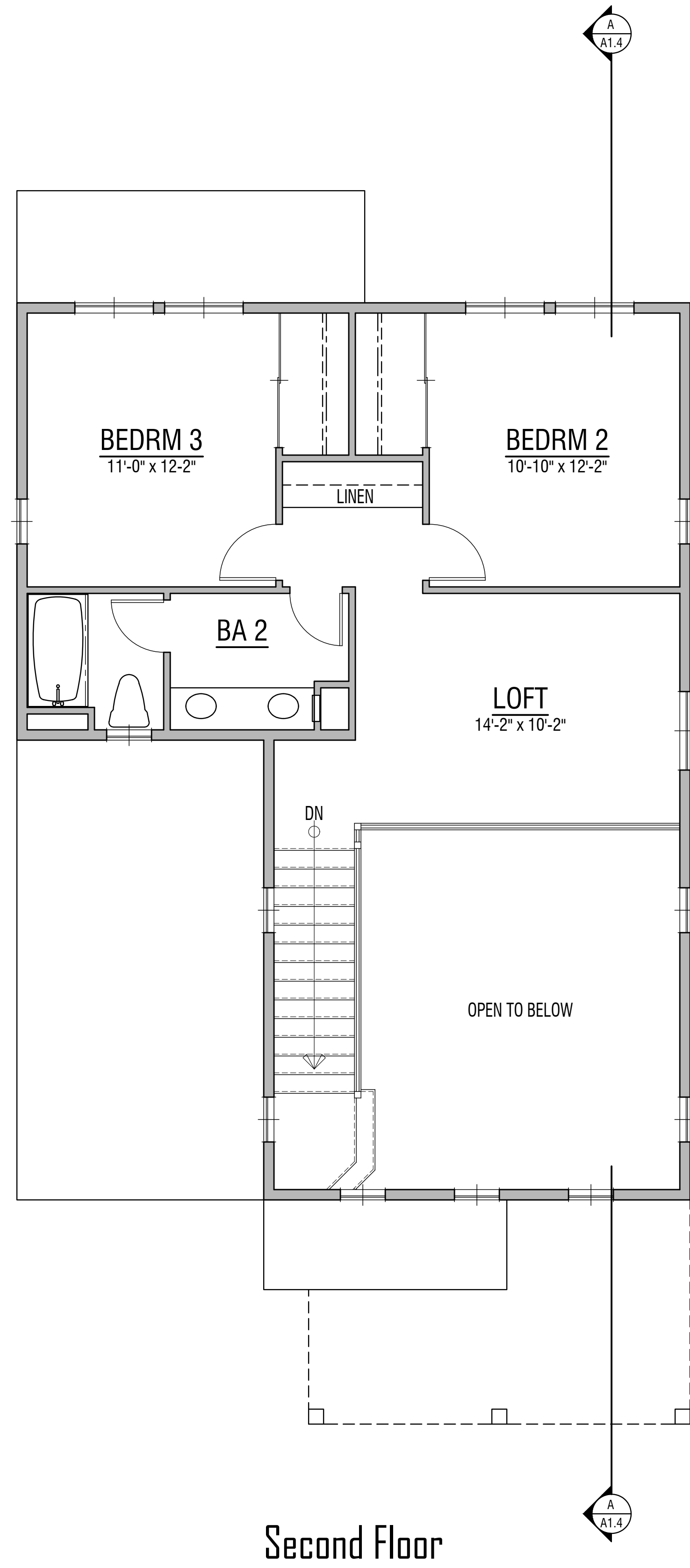
Plan 4 Farmhouse Rear Elevation - Lot 1



Farmhouse Elevation

Manufacturer: Sea Gull Lighting
 Product Name: Barn Light Collection
 Product Number: 853740IEN3-78D
 Finish: Black
 Dimensions: D: 8" W: 8" H: 10"

Option, Building Section, Enhanced Elevations and Roof Plan



Square Footage Tabulation

First Floor:	1,095 Sq. Ft.
Second Floor:	661 Sq. Ft.
Total Living Area:	1,756 Sq. Ft.
Garage Area:	225 Sq. Ft.
Porch Area:	134 Sq. Ft.
Optional CA. Room	150 Sq. Ft.

Plan 5 Farmhouse

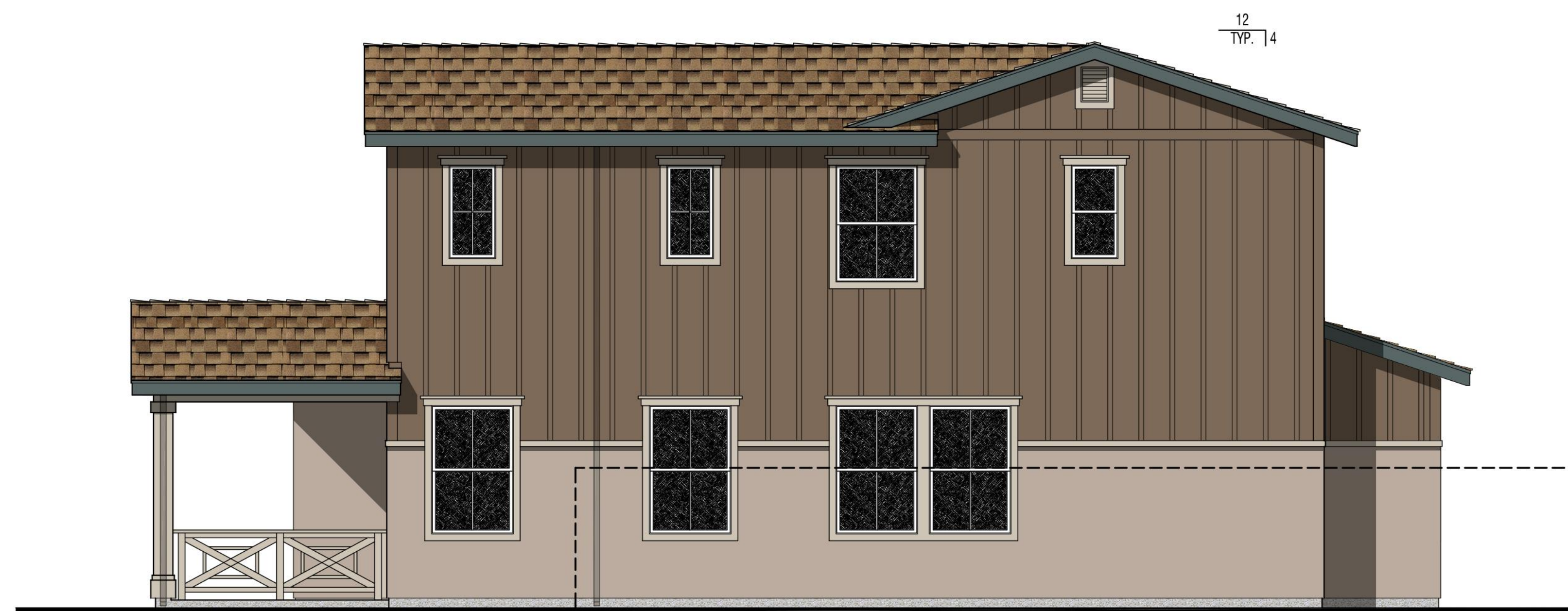
Conceptual Floor Plans
(Lots 6, 11, 13, 16 & 22)

PUD WORKING PLAN - CLOVER SITE
PETALUMA, CALIFORNIA
URBAN GREEN INVESTMENTS

0 2 4 8
SCALE: 1/4" = 1'
June 24, 2020
REV. October 1, 2020

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A5.1



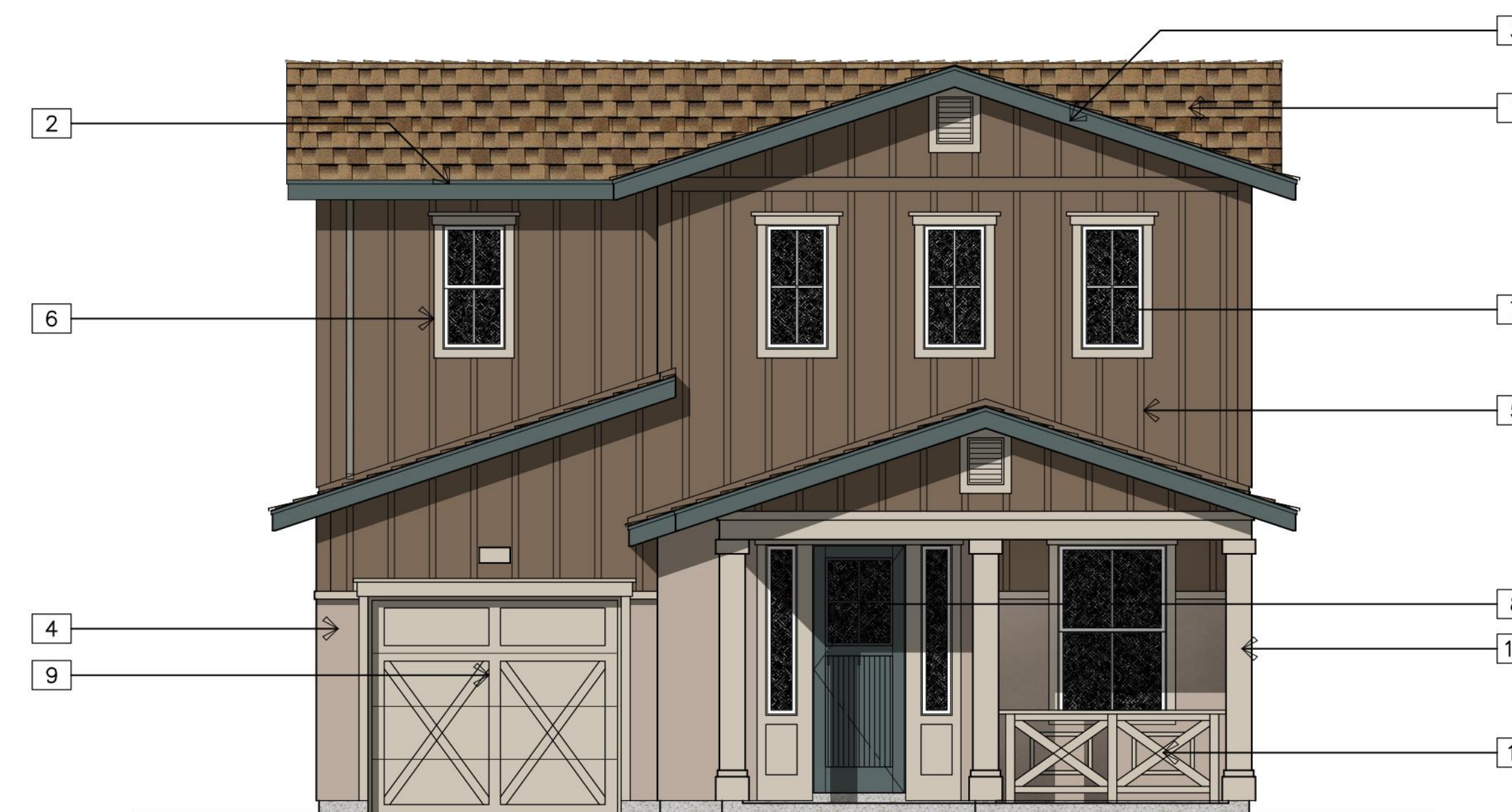
Right Side Elevation



Rear Elevation



Left Side Elevation



Front Elevation

Exterior Materials

- Roof: 1 High Profile Composition Shingle
- Fascia: 2 Gutter o/ 2x8 Eave Board
- Barge: 3 2x8 Rake Board
- Walls: 4 1-Coat Stucco - Heavy Sand Finish
- Trim: 5 Fiber Cement Panel & Batt Siding
- 6 2x4 Flat O/ 2x4 Head
- 2x4 Jamb
- 2x4 Sill

- Windows: 7 Vinyl Frame w/ Dual Pane Glass
- Doors: 8 Insulated Fiberglass Panel
- Garage Door: 9 Insulated Metal Roll-up
- Accents: 10 Wood Columns @ Porch
- 11 Wood Railing @ Porch

Notes:

1. Trim to be Fiber Cement (size as indicated on Exterior Material Table).
2. Glass Shown at Garage Door is a Buyer Option.

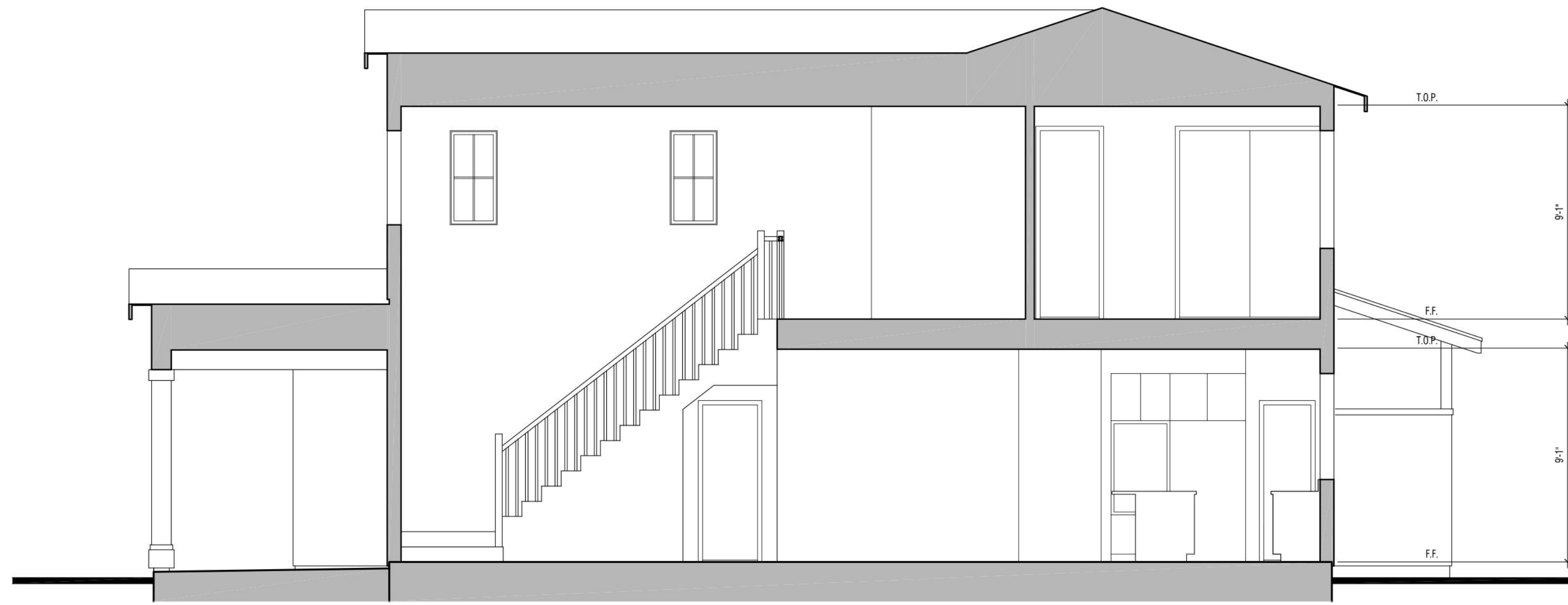
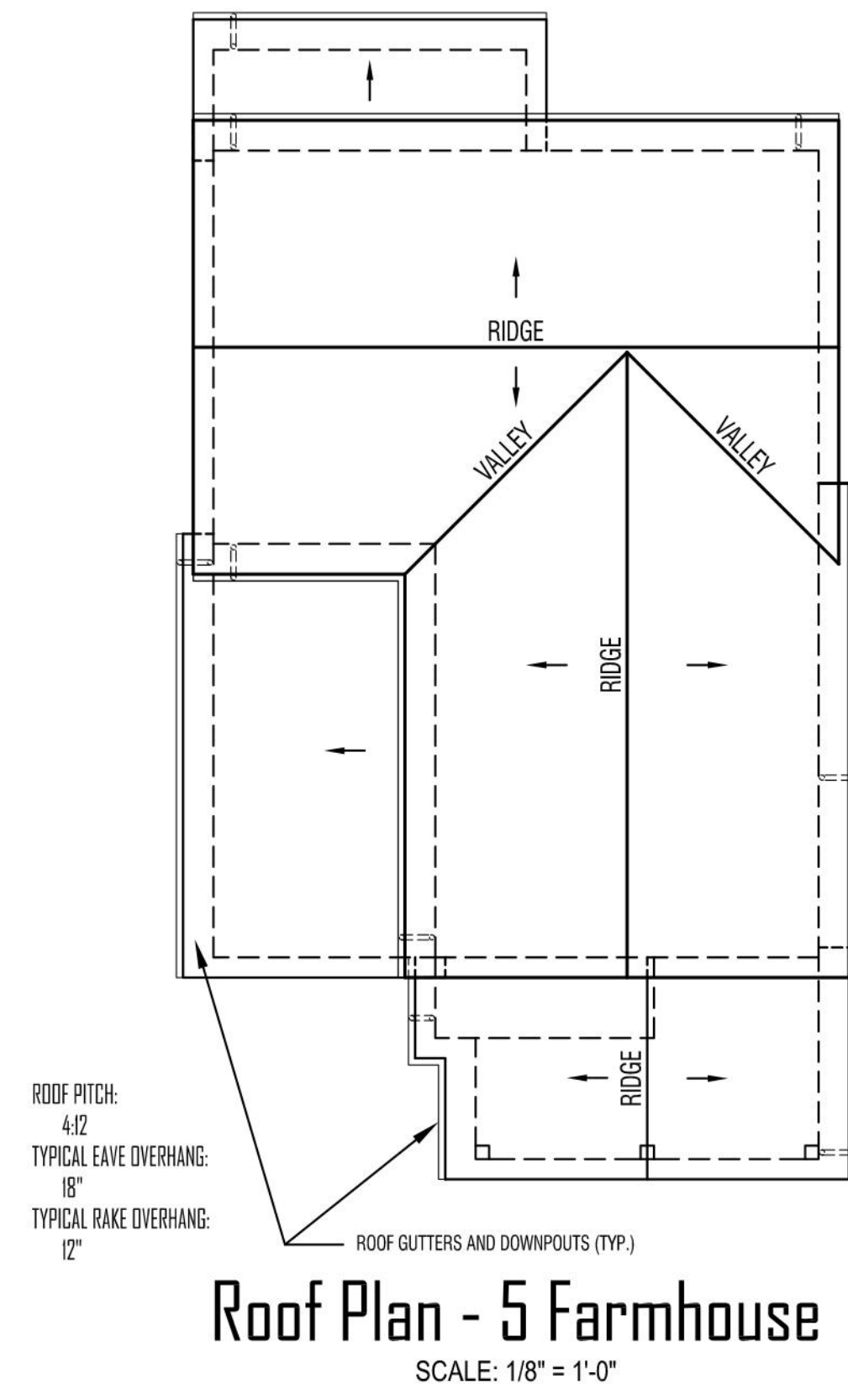
Plan 5 Farmhouse
ELEVATION RENDERED USING COLOR SCHEME #3.
 SEE SHEET CS FOR MORE INFORMATION.
Conceptual Exterior Elevations
 (Lots 6, 11, 13, 16 & 22)

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV. October 1, 2020

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A5.2



Building Section A-A



5 Farmhouse W/ Optional California Room



Farmhouse Elevation

Manufacturer: Sea Gull Lighting
 Product Name: Barn Light Collection
 Product Number: 8537401ENG-78D
 Finish: Black
 Dimensions: D: 8" W: 8" H: 10"

Option, Building Section and Roof Plan

PUD WORKING PLAN - CLOVER SITE
 PETALUMA, CALIFORNIA
 URBAN GREEN INVESTMENTS

0 2 4 8
 SCALE: 1/4" = 1'
 June 24, 2020
 REV: October 1, 2020

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A5.3