



CITY OF PORT ORCHARD Public Works Department

Permit Center
216 Prospect Street, Port Orchard, WA 98366
Ph.: (360) 874-5533 • permitcenter@portorchardwa.gov

NOTICE OF APPLICATION

This is a public notice of a development proposal that may interest you. You have the right to comment on this application, receive notice, request a copy of the decision once made and appeal the project decision. Included in this notice is a summary of the proposal, code reference for associated permits that may be required, and the targeted timeframe for City review and decision. Please be aware there are deadlines for comments and appeal; if you do not adhere to these deadlines, your comments may not be considered and/or you may lose your right of appeal. Please read this notice carefully and call the Staff Contact listed in this notice if you have questions.

Date of Issuance: April 2, 2024

File Number: PW24-011, PW24-012, PW24-016, PW24-017

Project Name: McCormick West Division 15 (Clear & Grade, & Site Development)

Type of Application: Major Land Disturbing Activity & Storm Drainage Permit (Type II)

Assessor Parcel Number: 5706-000-275-0004, 5696-000-134-0007, 5696-000-150-0006, 5706-000-276-0003, 5706-000-283-0004

Applicant: Contour Engineering LLC PO BOX 949 Gig Harbor, WA 98336

Applicant Representative: Contour Engineering LLC, Jeremy Haug PO BOX 949 Gig Harbor, WA 98336

Date of Application: February 13, 2024 & March 12, 2024

Date Application was Determined Technically Complete: March 19th 2024

Site Description: Location: At SW Old Clifton Rd & McCormick Village Dr
Nearest road intersection: At SW Old Clifton Rd & McCormick Village Dr
Size: 31 Acres
Zoning District: R3 (Residential 3)
Shoreline Designation: N/A

Project Permits included with Application: N/A

Description of Proposed Project:
Construction of infrastructure improvements (roads, storm, sanitary sewer, water, grading, & erosion control) for approximately 159 single family lots

Preliminary State Environmental Policy Act (SEPA) Determination:

Pursuant to WAC 197-11-630 and 965, a Notice of Adoption of Existing Environmental Documents was issued for this proposal as part of a group of projects known as the McCormick Urban Village under the South Kitsap Urban Growth Area / ULID #6 Supplemental Environmental Impact Statement (EIS). The ULID #6 DSEIS was issued October 26, 2001 and the ULID #6 FSEIS was issued January 9, 2002 by Kitsap County.

Existing Studies and Environmental Documents Evaluating the Proposal: Geotechnical Report, Storm Drainage Report, Wetland Mitigation Plan, Wetland Delineation Technical Memo.

Other Applicable Codes Which May Require Additional Project Review / Permits:

Port Orchard Municipal Code Title 12, Title 13, Title 20

Public Comment Period and Appeals:

Any interested person may comment on this application. The comment period will remain open for 14 days. The deadline to submit comments is April 16, 2024. Any interested person may request notification of any hearings or meetings and request a copy of the decision once made. Requests must be addressed to City of Port Orchard Permit Center, Attn: Public Works Permit Clerk, 216 Prospect Street, Port Orchard, WA 98366.

Any interested party may appeal a Type II decision to the Hearing Examiner within 14 calendar days of the Notice of Decision. The Notice of Decision will be provided to all parties of record.

Examination of File:

The application file may be examined at the Permit Center, 720 Prospect Street, Port Orchard, WA 98366, by appointment between the hours of 8 AM and 4 PM, Monday through Friday, except holidays. To schedule an appointment please call 360-874-5533 and indicate the Permit Number and Project Name for the file you would like to examine.

Staff Contact for this Application:

Chris Hammer
City Engineer
kchammer@portorchardwa.gov
360-876-4991

Review Authority:

The Public Works Director. A Type II permit is an administrative decision and shall be reviewed consistent with the requirements of POMC 20.24.

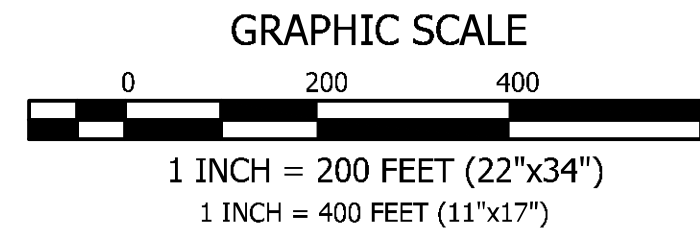
Project Site Plan: Attached. [Insert site plan drawing or aerial map](#)

MCCORMICK WEST, DIVISION 15

A PORTION OF SECTION 8, TOWNSHIP 23N, RANGE 01 E, W.M., CITY OF PORT ORCHARD, KITSAP COUNTY, WASHINGTON

SITE DATA

TOTAL NORTH PHASE III AREA: 115.74 ACRES
PARCEL NUMBER(S): 052301-4-013-2000, 052301-4-029-2002,
AND 052301-3-011-2005
AREA OF MODIFICATION PARCELS: 51.04 ACRES
ZONING: R3 - RESIDENTIAL 3
CMU - COMMERCIAL MIXED USE
TOTAL NUMBER OF LOTS: 159
BUILDING SETBACKS: FRONT = 10 FEET
SIDE = 5 FEET
REAR = 10 FEET



APPLICANT

GREG KRABBE
McCORMICK COMMUNITIES LLC
805 KIRKLAND AVE, SUITE 200
KIRKLAND, WA 98033

ENGINEER/SURVEYOR

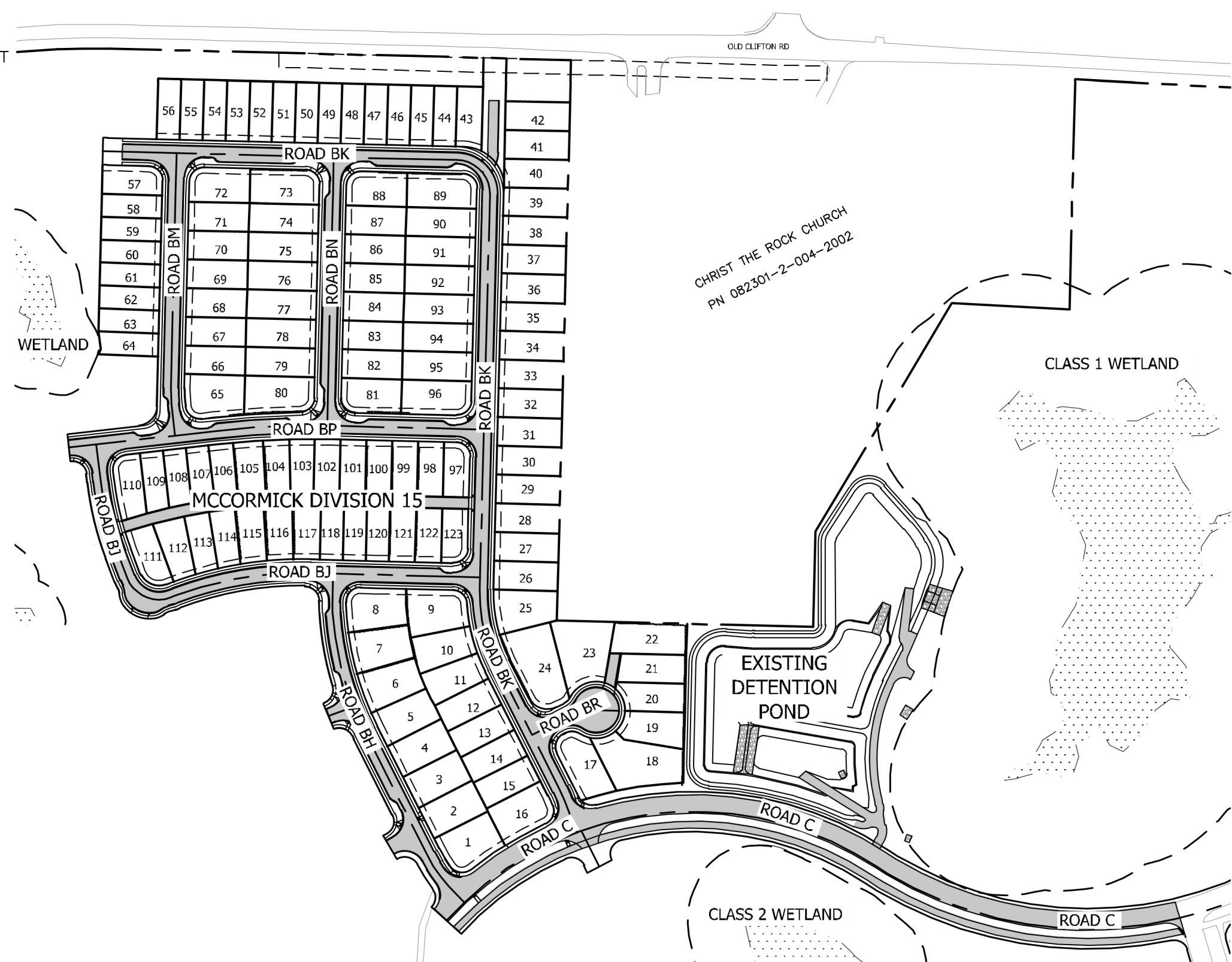
JEREMY HAUG / STEVE WOODS
CONTOUR ENGINEERING LLC
P.O. BOX 949 GIG HARBOR, WA 98335
(253) 857-5454

GEOTECHNICAL ENGINEER

RILEY GROUP
17522 BOTHELL WAY NE,
BOTHELL, WA 98011
(425) 415-0551

WETLAND BIOLOGIST

SOUNDVIEW CONSULTANTS
2907 HARBORVIEW DR., SUITE D
GIG HARBOR, WA 98335
(253) 514-8952



LEGEND

SURVEY	PROPOSED
	CONTOURS
	PROPERTY LINE/RIGHT-OF-WAY
	RIGHT-OF-WAY DEDICATION
	RIGHT-OF-WAY CENTERLINE
	EASEMENT
	BUILDING SETBACK
	STORM DRAIN LINE
	SANITARY SEWER LINE
	ROOF DRAIN LINE
	SANITARY SEWER FORCE MAIN LINE
	COMMON UTILITY TRENCH
	OVERHEAD POWER LINE
	UNDERGROUND POWER LINE
	GAS LINE
	WATER LINE
	TYPE 2 CATCHBASIN
	TYPE 1/TYPE 1L CATCHBASIN
	STORM DRAIN CLEANOUT (SDCO)
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT (SSCO)
	HYDRANT
	WATER VALVE
	WATER METER
	FIRE STAND PIPE (FSP)
	FIRE DEPARTMENT CONNECTION (FDC)
	PRESSURE RELEASE VALVE (PRV)
	GAS MARKING POST
	GAS METER (GM)
	GAS VALVE (GV)
	MONUMENT
	POWER POLE (PP)
	GUY WIRE (GW)
	WATER MARKING POST (WMP)
	LIGHT STANDARD/YARD LIGHT (LS/YL)
	POWER MANHOLE (PMH)
	POWER VAULT
	TRANSFORMER PAD
	TELEPHONE JUNCTION BOX
	CABLE JUNCTION BOX (CJB)
	SIGNAL BOX (SB)
	WHEEL STOP
	SIGN
	BOLLARD
	ASPHALT
	CONCRETE
	GRAVEL

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VERIFICATION NOTE

ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

CONTOUR ENGINEERING • LLC
CIVIL ENGINEERS • SURVEYORS • LAND PLANNERS
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com
Mailing Address: P.O. Box 949, Gig Harbor, WA 98335
Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332

9 February 2024

SHEET TITLE: COVER SHEET

MCCORMICK WEST, DIVISION 15
CLIENT: MCCORMICK COMMUNITIES LLC
805 KIRKLAND AVE, SUITE 200
KIRKLAND, WA 98033
CONTACT: GREG KRABBE

DESIGNER: M. GOULARTE
ENGINEER: J. HAUG
DRAWN: V. KRAL
DATE: 9 February 2024
REVISED:

PROJECT: 23-121
DWG NAME: 23-121-C

SHEET	REV.
C1	1

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