

KRM DWIGHT ST KITSAP RESCUE MISSION

PERMIT



PROJECT INFORMATION

PROJECT DESCRIPTION

INTERIOR REMODEL OF EXISTING 2-STORY PLUS BASEMENT STRUCTURE WITH 7 BEDROOMS, LIVING, DINING AND KITCHEN AREA.
SCOPE IS LIMITED TO UPGRADE OF FINISHES PLUS LIMITED RECONFIGURATION OF SPACE ON LEVEL 1 TO ADD (1) ACCESSIBLE BATHROOM AND RECONFIGURE (2) NON-ACCESSIBLE BATHROOMS. LEVEL 2 RECONFIGURATION IS LIMITED TO THE ADDITION OF (1) NON-ACCESSIBLE POWDER ROOM.
AN INTERIOR ACCESSIBLE RAMP IS BEING ADDED TO CONNECT THE STEPPED LIVING SPACES ON LEVEL 1. THERE IS NO SCOPE IN THE BASEMENT EXCEPT TO BLOCK THE WEST STAIRWAY TO LEVEL 1.

EXTERIOR SCOPE IS LIMITED TO THE ADDITION OF AN ACCESSIBLE RAMP TO ACCESS THE MAIN ENTRANCE OFF DWIGHT STREET.

SITE ADDRESS
623 DWIGHT ST
PORT ORCHARD, WA 98366

SITE ZONING
BUSINESS PROFESSIONAL MIXED USE (BPMU)

LEGAL DESCRIPTION

RESULTANT PARCEL B OF SURVEY FOR BOUNDARY LINE ADJUSTMENT RECORDED UNDER AUDITOR'S FILE NO. 201607050080, IN VOLUME 82 OF SURVEYS, PAGES 183 - 185, INCLUSIVE, RECORDS OF KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: LOTS 7 AND 10, BLOCK 6, S.M. STEVENS TOWN PLAT OF SIDNEY, AS RECORDED IN VOLUME 1 OF PLATS, PAGE 1, RECORDS OF KITSAP COUNTY, WASHINGTON; TOGETHER WITH THAT PORTION OF AUSTIN AVE RIGHT-OF-WAY WHICH ATTACHES BY OPERATION OF LAW PER VACATION BY ORDINANCE RECORDED UNDER AUDITORS FILE NO. 200702280004; EXCEPT THE WEST 5.00 FEET OF THE NORTH 40.00 FEET OF SAID LOT 7.

PARCEL NUMBER(S)
4650-006-007-005

AUTHORITY HAVING JURISDICTION
PORT ORCHARD DEPARTMENT OF COMMUNITY DEVELOPMENT
720 PROSPECT ST
PORT ORCHARD, WA 98366
(360) 874-5533

BUILDING INFORMATION
CONSTRUCTION TYPE: V-B
OCCUPANCY GROUP(S): R-2
GROSS AREA: 4,340 SF
HEIGHT ABOVE GRADE PLANE: 21'-10 1/2"

SEE CODE SUMMARY FOR ADDITIONAL INFORMATION.

VICINITY MAP



PROJECT DESIGN TEAM

OWNER
KITSAP RESCUE MISSION
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RICEfergusMILLER

ARCHITECTURE INTERIORS PLANNING VIZLAB

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BREMERTON, WA 98337

360-377-8773

RFMARCH.COM

COUNTER COMPLETE
Permit Center

JUN 03, 2024

City of Port Orchard
Community Development



KRM DWIGHT ST
KITSAP RESCUE MISSION
623 DWIGHT ST
PORT ORCHARD, WA 98366

PROJECT # 2023097

PERMIT

ISSUE DATE 05/24/2024

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

AHJ APPROVAL STAMP

PROJECT
INFORMATION,
VICINITY MAP,
PROJECT DESIGN
TEAM

SHEET #

A00.01

LU24-CUP-04

ABBREVIATIONS

--A-- AMP AA ART & ACCESSORIES AB ANCHOR BOLT AC AIR CONDITIONING ACST ACOUSTIC(AL) ACT ACOUSTIC CEILING TILE AD AREA DRAIN ADJ ADJACENT ADJ ADJUSTABLE AFF ABOVE FLOOR FINISH AHJ AUTHORITY HAVING JURISDICTION AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM AP ACCESS PANEL APPROX APPROXIMATELY ARCH ARCHITECTURAL ASPH ASPHALT AUTO AUTOMATIC AUX AUXILIARY AV AUDIO VISUAL	--F CONTINUED-- FIN FINISHED FITX FUTURE FLASH FLASHING FLR FLOOR FMF FLEXIBLE MEMBRANE FLASHING FOB FACE OF BRICK FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FP FIREPLACE FRP FIBER REINFORCED PANELS FRTW FIRE RETARDANT TREATED WOOD FRZ FREEZER FS FULL SIZE FCG FURNITURE-CASEGOODS FSG FURNITURE-SOFTGOODS FOOT FEET FTG FOOTING FURR FURRING	--M CONTINUED-- MTL METAL MUL MULLION MULT MULTIPLE MW MICROWAVE OVEN	--S CONTINUED-- SOL SOLID SURFACE STO STONE SPEC SPECIFICATION(S) SPKLR SPRINKLER SPKR SPEAKER SQ SQUARE SQIN SQUARE INCH SS SERVICE SINK SST SANITARY SEWER ST STAINLESS STEEL STREET ST ST STC STAIN SU SOUND TRANSMISSION CLASS STANDARD STL STEEL STOR STORAGE STRUCT STRUCTURAL SU SOLED UTILITY SUBFL SUBFLOOR SUSP SUSPENDED SW SOUTHWEST, SWITCH SYM SYMMETRICAL	--N-- N NORTH NA NOT APPLICABLE NE NORTHEAST NC NOISE CRITERIA NURSE CALL NURSE CALL ANNUNCIATOR PANEL NCAP NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST	--Q-- O OVER OA OVERALL OC ON CENTER OCC OCCUPANTS, OCCUPANT LOAD, OCCUPANCY OD OUTSIDE DIAMETER OFI OWNER FURNISHED & CONTRACTOR INSTALLED OFI OWNER FURNISHED & OWNER INSTALLED OFD OVERFLOW DRAIN OFF OFFICE OGL OBSCURE GLASS OH OVERHEAD OPH OPPOSITE HAND OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN	--P-- P PAINT(ED), PANTRY PC PORTLAND CEMENT PCC PRECAST CONCRETE PCF POUNDS PER CUBIC FOOT PED PEDESTAL PERF PERFORATED PERM PERMANENT PERP PERPENDICULAR PF PLUMBING FIXTURE PPF PREPARED FOR PAINT PIV POST INDICATOR VALVE PL PLATE, PROPERTY LINE PLAS PLASTER PLBG PLUMBING PLY PLYWOOD PMTL PAINTED METAL PNT POINT PP POWER POLE PR PAIR PRF PREFABRICATE PRELIM PRELIMINARY PRKG PARKING PROP PROPERTY PS PROJECTOR SCREEN PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PRESERVATIVE TREATED, PRESURE TREATED, POST TENSIONED PTN PARTITION PVC POLYVINYL CHLORIDE, POLYVINYL CHLORIDE PIPE PVD PROVIDE PVG PAVING PVMT PAVEMENT PVR PAVERS PWR POWER	--R-- R RISER, RA RESTROOM ACCESSORY RCP REFLECTED CEILING PLAN RD ROOF DRAIN REBAR REINFORCING BAR REC RECESSED REF REFERENCE, REFRIGERATOR REINF REINFORCE(D), REINFORCING RES RESILIENT RL LINE LOAD RET RETAINING REV REVISED, REVISION RF RAISED FLOORING) ROOM RM ROOM RO ROUGH OPENING ROW RIGHT OF WAY RP RADIUS POINT RR RESTROOM RS ROD & SHELF RS ROUGH SAWN RT RIGHT RVL REVEAL	--U-- UC UNDERCOUNTER, UNDERCABINET, UNDERCUT UGND UNDERGROUND UNO UNLESS NOTED OTHERWISE UP UTILITY POLE UTIL UTILITY V VOLT(AGE) V VENTILATE, VENTILATION VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VTO VENT TO OUTSIDE VTR VENT THROUGH ROOF W WASHING MACHINE, WEST, WIDE, WIDTH W WITH WID WASHER & DRYER W/O WITHOUT WB WALL BASE WC WATER CLOSET, WALL COVERING WCO WINDOW COVERING WD WOOD WDP WALL/ DOOR PROTECTION WF WIDE FLANGE WH WATER HEATER WIC WALK-IN CLOSET WIN WINDOW WM WIRE MOLD, WATER METER, WIRE MESH WO WALK-OFF FLOORING WP WORK POINT, WATERPROOFING, WEATHERPROOF WPM WATERPROOF MEMBRANE WR WATER REPELLENT, WATER RESISTANT WRB WATER RESISTANT BARRIER WSOT WANSOT WT WEIGHT WWF WELDED WIRE FABRIC	--Y-- YD YARD, YARD DRAIN
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SYMBOL LEGEND

--VIEW REFERENCE-- 1/A00.00 BUILDING SECTION 1/A00.00 WALL SECTION, PARTIAL BUILDING SECTION 1/A00.00 DETAIL SECTION 1/A00.00 EXTERIOR ELEVATION 1/A00.00 INTERIOR ELEVATION 1/A00.00 ENLARGED PLAN, DETAIL PLAN	--ANNOTATIONS-- BREAK LINE ELEVATION LEVEL GRAPHIC SCALE GRID LINE NORTH ARROW REVISION CLOUD W/ TAG SPOT ELEVATION	--CONSTRUCTION PHASE-- EXISTING ELEMENT TO REMAIN DEMOLITION ELEMENT NEW CONSTRUCTION ELEMENT	--MATERIAL SYMBOLS & PATTERNS-- ALUMINUM BATT INSULATION BLOCKING, SHIM BRICK (PLAN VIEW) CONCRETE CMU (PLAN VIEW) CONTINUOUS WOOD FRAMING EARTH BELOW GRADE GLASS (SECTION VIEW) GRAVEL GYPSUM WALL BOARD, GYPSUM SHEATHING OUT OF PROJECT SCOPE PLYWOOD RIGID INSULATION STEEL WOOD
--LINE STYLES-- BUILDING SETBACK LINE CENTERLINE CLEARANCE ELEMENT BEYOND HIDDEN ELEMENT MATCH LINE MATCH LINE OVERHEAD ELEMENT PROPERTY LINE	--TAGS-- CEILING TAG CEILING TAG DOOR TAG, CASED OPENING TAG FINISH MATERIAL TAG FLOOR TAG FURNITURE, FIXTURE, EQUIPMENT TAG GLAZING TAG KEYNOTE ROOF TAG ROOM TAG STOREFRONT TAG WALL TAG WINDOW TAG	--MATERIAL SYMBOLS & PATTERNS-- ALUMINUM BATT INSULATION BLOCKING, SHIM BRICK (PLAN VIEW) CONCRETE CMU (PLAN VIEW) CONTINUOUS WOOD FRAMING EARTH BELOW GRADE GLASS (SECTION VIEW) GRAVEL GYPSUM WALL BOARD, GYPSUM SHEATHING OUT OF PROJECT SCOPE PLYWOOD RIGID INSULATION STEEL WOOD	

DRAWING INDEX

SHEET #	SHEET NAME	MM/DD/YY SD	MM/DD/YY DD	MM/DD/YY CD	CURRENT REVISION
ARCHITECTURAL					
A00.01	PROJECT INFORMATION, VICINITY MAP, PROJECT DESIGN TEAM		5/22/2024		
A00.02	DRAWING INDEX, GENERAL INFORMATION		5/22/2024		
A00.03	CODE SUMMARY		5/22/2024		
A01.01	LIFE SAFETY PLAN		5/22/2024		
A03.01	ASSEMBLY TYPES & DOOR SCHEDULE		5/22/2024		
A04.01	ACCESSIBILITY GUIDELINES - BUILDING ELEMENTS 2017				
A11.01	SITE PLAN		5/22/2024		
A20.01	DEMOLITION FLOOR PLANS		5/22/2024		
A22.00	FLOOR PLAN - BASEMENT		5/22/2024		
A22.01	FLOOR PLAN - LEVEL 1		5/22/2024		
A22.02	FLOOR PLAN - LEVEL 2		5/22/2024		
A31.01	EXTERIOR ELEVATIONS		5/22/2024		
A34.01	INTERIOR ELEVATIONS		5/22/2024		
STRUCTURAL					
S00.01	GENERAL NOTES		5/22/2024		
S22.01	LEVEL 1 FRAMING PLAN		5/22/2024		
S22.02	LEVEL 2 FRAMING PLAN		5/22/2024		
S33.01	FRAMING DETAILS		5/22/2024		
TOTAL NUMBER OF SHEETS: 17					



PROJECT #	2023097
PERMIT	
ISSUE DATE	05/24/2024
REVISION SCHEDULE	

AHJ APPROVAL STAMP

DRAWING INDEX, GENERAL INFORMATION

- DRAWINGS HAVE BEEN PREPARED ON AN ORIGINAL SHEET SIZE OF 24" X 36".
- COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT AND OWNER FOR CLARIFICATION PRIOR TO BIDDING OR PERFORMING ANY WORK IN QUESTION.
- SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS, OR CHANGES TO ARCHITECT AND OWNER FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION. SEE PROJECT SPECIFICATIONS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- GO TO COORDINATE FURNITURE, SIGNAGE, GRAPHICS, TELECOMMUNICATIONS, DATA AND SECURITY SYSTEM INSTALLATIONS WITH ARCHITECT, OWNER, AND OWNER'S VENDORS TYPICAL. NOTIFY OWNER AND ARCHITECT OF COORDINATION ISSUES PRIOR TO FABRICATION AND INSTALLATION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.
- DO NOT SCALE DRAWINGS. THE WRITTEN DIMENSIONS GOVERN. IN THE CASE OF A CONFLICT, NOTIFY THE ARCHITECT FOR CLARIFICATION.
- PARTITIONS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND EQUIPMENT ITEMS AS ATTACHED, MOUNTED OR BRACED TO WALLS OR CEILINGS.
- DOORS SHALL BE TRIMMED AT THRESHOLD TO PROVIDE 1/4" MIN., 3/4" MAX. CLEARANCE (U.O.N.) ABOVE FLOOR FINISH MATERIAL TO ALLOW FOR FULL DOOR SWING.
- OPENING FORCE FOR INTERIOR SIDE-SWINGING DOORS WITHOUT CLOSERS SHALL NOT EXCEED A 5 POUND FORCE. FOR OTHER SIDE-SWINGING, SLIDING AND FOLDING DOORS, DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15 POUND FORCE APPLIED TO THE LATCH SIDE.
- DRAWINGS ARE THE PROPERTY OF RICE FERGUS MILLER AND HAVE BEEN PREPARED FOR THE USE IN THE EXECUTION OF THE ENCLOSED PROJECT. USE OR REPRODUCTION FOR AN OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RICE FERGUS MILLER IS PROHIBITED.

TYPICAL CODE REQUIRED SIGNAGE

TYPICAL CODE REQUIRED SIGNAGE INCLUDES THE FOLLOWING:

- BUILDING ADDRESS NUMBERS (REFERENCE IFC 506.1 AND PER LOCAL FIRE CODE).
- NO PARKING - FIRE LANE SIGNAGE (PER IFC 503.3 AND LOCAL FIRE CODE).
- INTERIOR AND EXTERIOR ACCESS TO SHAFTWAYS UNLESS "READILY DISCERNIBLE" (IFC 316.2).
- ACCESSIBLE LOADING, PARKING SPACES, AUTOMOBILE AND VAN ACCESSIBLE (REFERENCE IBC 1112.1).
- IDENTIFY TOILET ROOMS AND BATHING ROOMS WITH VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1. WHERE PICTOGRAMS ARE PROVIDED, THEY SHALL HAVE VISUAL CHARACTERS, RAISED CHARACTERS AND BRAILLE COMPLYING WITH ICC A117.1 (PER IBC 1112.2).
- ACCESSIBLE AND NON-ACCESSIBLE DIRECTIONAL, ROOM, SPACE, ELEMENT IDENTIFICATION SIGNS (REFERENCE IBC 1112.3).
- ASSEMBLY AREA ASSISTED LISTENING DEVICES (REFERENCE IBC 1112.4).
- OCCUPANCY LOAD FOR ASSEMBLY SPACES (REFERENCE IBC 1004.5 AND 1004.6).
- NON-ACCESSIBLE EXIT AND ELEVATOR IDENTIFICATION (REFERENCE IBC 1009.10).
- TACTILE EXIT SIGNS (REFERENCE IBC 1013.4).
- FLOOR IDENTIFICATION SIGNS (REFERENCE IBC 1023.11).
- AREA OF REFUGE COMMUNICATIONS SYSTEM INSTRUCTIONS (REFERENCE IBC 1009.8.2).
- AREA OF REFUGE IDENTIFICATION (REFERENCE IBC 1009.9, AND 1009.11).
- DOORS LOCKABLE FROM EGRESS SIDE (REFERENCE IBC 1010.2.4.3/3.2).
- DELAYED EGRESS DOORS (REFERENCE IBC 1010.2.1.3).
- DOOR IDENTIFICATION FOR SPRINKLER RISER ROOMS, FIRE ALARM EQUIPMENT, AND AIR CONDITIONING EQUIPMENT ROOMS (IBC 914.2, IFC 509.1 AND PER LOCAL FIRE CODE).
- FIRE EXTINGUISHERS, IF NOT READABLY VISIBLE (REFERENCE IFC 906.6).
- FLOOR LOADING (REFERENCE IBC 106.1).
- ELEVATOR MACHINE ROOM SIGNAGE (REFERENCE ASME A17.1).
- AREAS SUBJECT TO VIDEO OR AUDIO MONITORING. COORDINATE WITH SECURITY SYSTEM.
- FIRE ALARM ANNUNCIATOR PANEL SIGNAGE: CLEAR POCKET FOR 11 BY 17 INCH PAPER INSERT SHOWING BUILDING PLAN. LOCATE ADJACENT TO REMOTE FIRE ALARM ANNUNCIATOR PANEL AT FRONT ENTRY. VERIFY WITH LOCAL FIRE MARSHAL.
- FIRE RATED CONSTRUCTION IDENTIFICATION (REFERENCE IBC 703.5).
- ELEVATOR EMERGENCY SIGNS (REFERENCE IBC 3002.3).
- ACCESSIBLE SIGNAGE FOR ALL PERMANENT ROOMS AND SPACES (REFERENCE ADA ACCESSIBILITY GUIDELINES 216.1 AND IBC 703.1, 703.2, 703.5)

BUILDING CODE SUMMARY

BUILDING USE

CONGREGATE LIVING FACILITIES

OCCUPANCY CLASSIFICATION AND USE (CHAPTER 3)

RESIDENTIAL GROUP R-2, CONGREGATE LIVING FACILITIES

SPECIAL PROVISIONS FOR R-2 OCCUPANCY (SECTION 420)

THIS BUILDING IS AN EXISTING NON-SPRINKLERED 7 (PLUS-BEDROOM HOME. THERE ARE NO EXISTING FIRE SEPARATION WALLS BETWEEN FLOORS OR BETWEEN BEDROOMS. A NEW FIRE SPRINKLER SYSTEM PER NFPA 13R WILL BE INSTALLED FOR IMPROVED FIRE AND LIFE SAFETY.

ALLOWABLE BUILDING HEIGHT (TABLE 504.3)

GROUP R-2, TYPE VB, S13R: 60 FT
 MAXIMUM ALLOWABLE HEIGHT: 60 FT
 EXISTING BUILDING HEIGHT: 25'-0" 1/2" PER WSBC
 SEE BUILDING ELEVATIONS AND/OR SECTIONS FOR MORE INFO

ALLOWABLE NUMBER OF STORIES (TABLE 504.4)

GROUP R-2, TYPE VB, S13R: 3 STORIES
 EXISTING NUMBER OF STORIES: 3 PER IBC DEFINITION OF STORIES ABOVE GRADE PLANE
 SEE BUILDING ELEVATIONS AND/OR SECTIONS FOR MORE INFO

ALLOWABLE BUILDING AREA (TABLE 506.2)

GROUP R-2, TYPE VB, S13R: 7,000 SF
 EXISTING BUILDING AREA: 4,940 FT
 SEE SITE PLAN FOR MORE INFO

NONSEPARATED OCCUPANCIES (SECTION 508.3)

EXISTING BUILDING CONTAINS ADDITIONAL SPACES AT THE "BASEMENT" FOR STAFF USE. ENTIRE BUILDING WILL BE PROTECTED AS R2 OCCUPANCY PER CHAPTER 9.

CONSTRUCTION TYPE (CHAPTER 6)

TYPE VB

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENT (TABLE 601)

PRIMARY STRUCTURAL FRAME: 0 HOURS
 EXTERIOR BEARING WALLS: 0 HOURS
 INTERIOR BEARING WALLS: 0 HOURS
 NON-BEARING WALLS: 0 HOURS
 FLOOR CONSTRUCTION: 0 HOURS
 ROOF CONSTRUCTION: 0 HOURS

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS (TABLE 705.5)

10 ≤ X < 30 FT, TYPE VB, GROUP B: 0 HOURS
 X ≥ 30 FT, TYPE VB, GROUP B: 0 HOURS
 ALL EXTERIOR WALLS ARE GREATER THAN 10 FT FROM THE PROPERTY LINE. SEE SITE PLAN.

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY (TABLE 803.13)

GROUP R-2, SPRINKLERED, C

OCCUPANT LOAD (SECTION 1004)

SEE LIFE SAFETY PLAN AND OCCUPANT LOAD CHART

MEANS OF EGRESS SIZING (SECTION 1005)

SEE LIFE SAFETY PLAN AND DOOR INFORMATION

NUMBER OF EXITS AND EXIT ACCESS DOORWAYS (SECTION 1006)

BASEMENT:
 1 EXIT REQUIRED PER WSBC 1006.3.4, ITEM 2, 1 EXISTING EXIT PROVIDED.
 MAX COMMON PATH OF EGRESS TRAVEL: 125 FT.

LEVEL 1:
 2 EXITS REQUIRED PER WSBC 1006.3.3, 3 EXISTING EXITS PROVIDED.
 MAX COMMON PATH OF EGRESS TRAVEL: 125 FT.

LEVEL 2:
 1 EXIT REQUIRED PER WSBC 804.4.1.1, ITEM 2.1, 1 EXISTING EXIT PROVIDED.
 MAX COMMON PATH OF EGRESS TRAVEL: 75 FT.

SEE LIFE SAFETY PLAN FOR EXIT LOCATIONS AND TRAVEL DISTANCES

EXIT ACCESS TRAVEL DISTANCE (SECTION 1017)

R2 SPRINKLERED: 250 FT.

ACCESSIBILITY FOR R-2 CONGREGATE LIVING (SECTION 1108.6.2.3)

PER TABLE 1108.6.1.1: 1 TO 25 UNITS REQUIRE 1 ACCESSIBLE UNIT.
 1 ACCESSIBLE BATHROOM WITH ROLL-IN SHOWER AND 1 KITCHEN IS BEING ADDED TO SERVE 3 ACCESSIBLE BEDROOMS.
 THE REMAINING 4 OUT OF 7 EXISTING BEDROOMS ARE NON-ACCESSIBLE.

PLUMBING SYSTEMS (CHAPTER 29)

BUSINESS AREAS:
 1 PER 25 WATER CLOSET = 20 OCCUPANTS/25 = 1 REQUIRED
 1 PER 40 LAVATORY = 20 OCCUPANTS/40 = 1 REQUIRED

RESIDENTIAL AREAS:
 1 PER 10 WATER CLOSET = 22 OCCUPANTS/10 = 3 REQUIRED
 1 PER 10 LAVATORY = 22 OCCUPANTS/10 = 3 REQUIRED

1 PER 8 BATHSHOWERS = 22 OCCUPANTS/8 = 3 REQUIRED

TOTAL REQUIRED: 4 WC, 4 LAV, 3 BATHSHOWERS

EXISTING TO REMAIN: 2 WC, 2 LAV, 2 BATHSHOWERS

NEW FIXTURES TO BE ADDED: 4 WC, 5 LAV, 3 SHOWERS

TOTAL PROVIDED: 6 WC, 7 LAV, 5 BATHSHOWERS

SPECIAL INSPECTIONS

NO SPECIAL INSPECTIONS REQUIRED PER SECTIONS 1704 & 1705

APPLICABLE CODES

PORT ORCHARD MUNICIPAL CODE
 WASHINGTON STATE AMENDMENTS
 2021 INTERNATIONAL ENERGY CONSERVATION CODE, COMMERCIAL (WSEC)
 2021 INTERNATIONAL BUILDING CODE (IBC)
 2021 INTERNATIONAL MECHANICAL CODE (IMC)
 2021 INTERNATIONAL FIRE CODE (IFC)
 2021 UNIFORM PLUMBING CODE (UPC)
 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
 2020 NATIONAL ELECTRICAL CODE (NEC)
 2017 ICC A117.1 ACCESSIBILITY STANDARD

DEFERRED SUBMITTALS

MECHANICAL, PLUMBING, ELECTRICAL, FIRE SPRINKLER & FIRE ALARMS

SEISMIC & RISK CATEGORY

SEISMIC ZONE D
 RISK CATEGORY II

FIRE DISTRICT

SOUTH KITSAP FIRE AND RESCUE
 1914 FIREST DRIVE SE
 PORT ORCHARD, WA 98366

ZONING CODE SUMMARY

ZONE:
 BUSINESS PROFESSIONAL MIXED USE (BPMU)

ALLOWED USE: PER 20.39.040
 CONGREGATE LIVING FACILITY
 CONDITIONAL USE

EXISTING BUILDING TYPE:
 DETACHED HOUSE

SITE AREA
 17,860 SF OR 0.41 ACRES

BUILDING SETBACK REQUIREMENTS
 FRONT - 10 FT MINIMUM TO 30 FT MAXIMUM
 SIDE - 10 FT MINIMUM TO 30 FT MAXIMUM
 REAR - 10 FT MINIMUM

EXISTING BUILDING SETBACK (NO CHANGE PROPOSED)
 FRONT - 18 FT
 SIDE - 19 FT
 REAR - 5'-0" 10"
 SEE SITE PLAN FOR MORE INFO

ALLOWABLE BUILDING HEIGHT
 3 STORIES / 40 FT MAXIMUM

OVERLAY
 DOWNTOWN HEIGHT OVERLAY DISTRICT 3
 MAX HEIGHT: 3 STORIES / 48 FT

EXISTING BUILDING HEIGHT
 PER POMIC - 21'-10" 11"
 PER WSBC - 25'-0" 1/2"
 SEE EXTERIOR ELEVATIONS FOR MORE INFO

PARKING REQUIREMENT
 PER POMIC 29.124.140
 CONGREGATE LIVING FACILITY PER BEDROOM: NOT REQUIRED

REQUIRED BICYCLE PARKING = 0.125 PER BED
 12 BEDS x 0.125 = 2 BICYCLE STALLS MIN.

PROPOSED PARKING COUNT
 8 EXISTING STALLS
 2 BICYCLE STALLS
 SEE SITE PLAN FOR MORE INFO

IMPERVIOUS SITE AREA
 MAXIMUM IS 75%
 3,889 SF / 17,860 SF = 22%

BUILDING FACADE
 50% OF LOT WIDTH MINIMUM (153' x 0.5 = 76.5' MINIMUM)
 92.6 FT / 153 FT = 60.5%

EXISTING BUILDING CODE

PROJECT WILL COMPLY WITH ALTERATION LEVEL 2

- SEE BUILDING CODE SUMMARY FOR ADDITIONAL INFORMATION ON IBC CODE COMPLIANCE.
- USE AND OCCUPANCY: EXISTING BUILDING WAS ORIGINALLY BUILT AS A RESIDENCE. LAST TENANT WAS A LAW OFFICE. PROPOSED USE IS A CONGREGATE LIVING FACILITY.
- NO ADDITIONS.
- NO CHANGE IN LIVE LOADS OR SNOW LOADS.
- ACCESSIBILITY:
- EXISTING BUILDING HAS NO EXISTING ACCESSIBLE ENTRANCE/EGRESS. A NEW ACCESSIBLE PATIO AND RAMP WILL BE ADDED TO MAKE THE MAIN ENTRANCE AT LEVEL 1 ACCESSIBLE.
- EXISTING LEVEL 1 IS SPLIT BY STEPS BETWEEN THE WEST AND EAST AREA. AN ACCESSIBLE RAMP IS BEING ADDED TO CONNECT THE SPLIT LEVELS.
- IMPROVEMENTS ARE BEING MADE TO PROVIDE 1 ACCESSIBLE BATHROOM AND KITCHEN TO SERVE 3 ACCESSIBLE BEDROOMS.
- WORK AREA IS LESS THAN 50% OF THE BUILDING AREA
 TOTAL EXISTING BUILDING AREA = 4,940 SF
 ALTERATION WORK AREA = 400 SF = 8%
- EXISTING BUILDING IS NOT SPRINKLERED. A NEW SPRINKLER SYSTEM PER NFPA 13R WILL BE ADDED.
- NO WINDOWS ARE BEING REPLACED. SOME INTERIOR DOORS ARE BEING MODIFIED OR ADDED.
- THERE ARE NO EXISTING FIRE RATED ASSEMBLIES IN THIS BUILDING.
- EXISTING NON-FIRE RATED STAIRWAYS CONNECTING 2 LEVELS ARE ALLOWED PER 2021 IBC 712.1.9. THIS IS ACCEPTABLE PER 2021 IBC 802.2.1, EXCEPTION 1.
- EXISTING ROOF TO REMAIN AS IS.

ricefergusmiller
 ARCHITECTURE INTERIORS PLANNING VIZLAB

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 360-377-8773
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COUNTER COMPLETE
 Permit Center
 JUN 03, 2024

City of Port Orchard
 Community Development



KRM DWIGHT ST
 KITSAP RESCUE MISSION
 623 DWIGHT ST
 PORT ORCHARD, WA 98366

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ISSUE DATE 05/24/2024

REVISION SCHEDULE

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AHJ APPROVAL STAMP

CODE SUMMARY

SHEET #

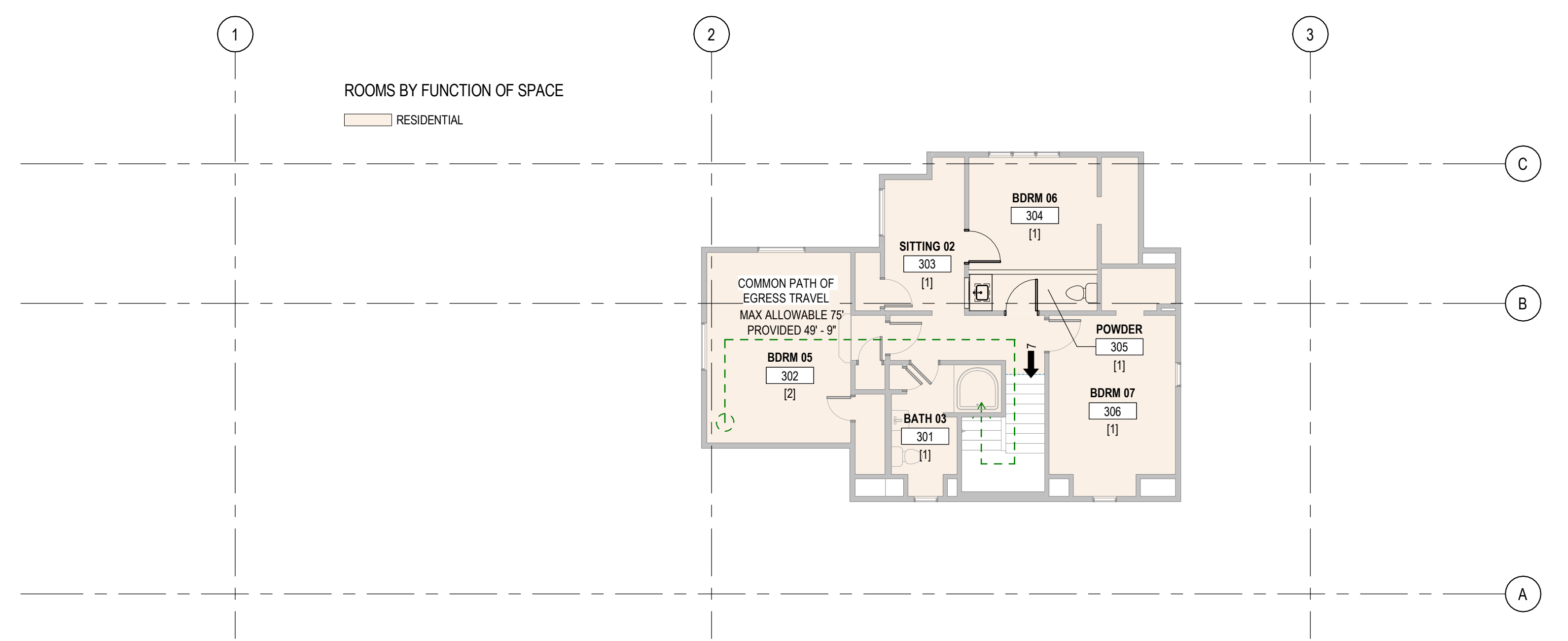
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LU24-CUP-04

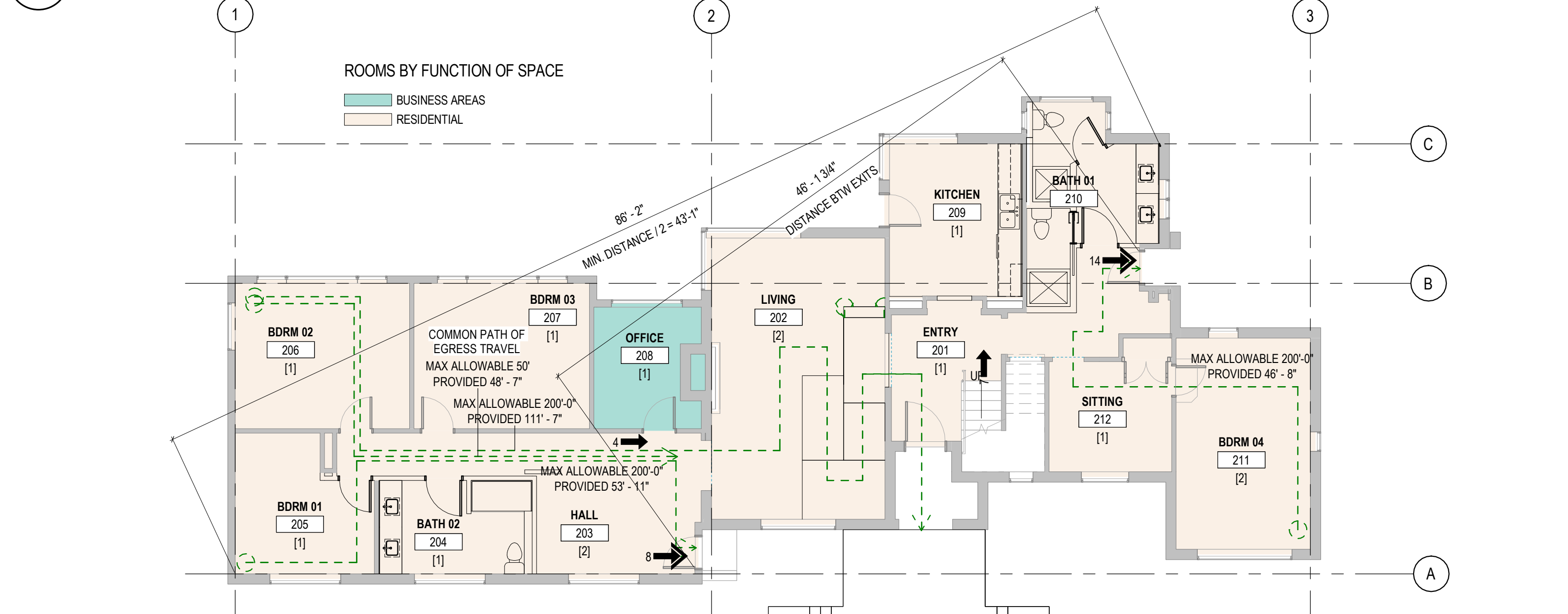
NO.	DATE	DESCRIPTION

OCCUPANT LOAD CHART BY ROOM

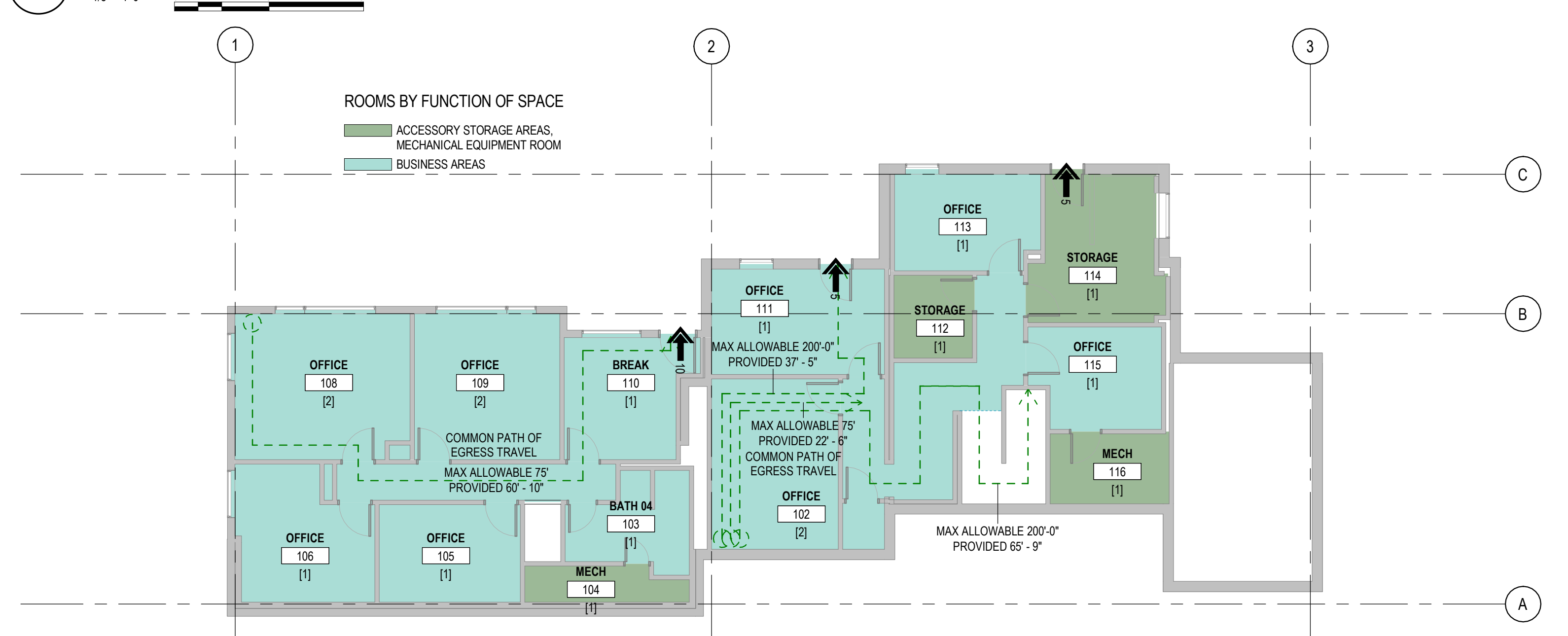
NUMBER	ROOM INFORMATION		OCCUPANCY CLASSIFICATION	IBC 2018 TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT			OCCUPANT LOAD
	NAME	AREA		FUNCTION OF SPACE	LOAD FACTOR	GROSS/ NET	
101	HALL	164 SF	R-2	BUSINESS AREAS	150 SF GROSS		2
102	OFFICE	158 SF	R-2	BUSINESS AREAS	150 SF GROSS		2
111	OFFICE	132 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
112	STORAGE	48 SF	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 SF GROSS		1
114	STORAGE	126 SF	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 SF GROSS		1
115	OFFICE	92 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
116	MECH	61 SF	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 SF GROSS		1
103	BATH 04	72 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
104	MECH	40 SF	R-2	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	300 SF GROSS		1
105	OFFICE	100 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
106	OFFICE	124 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
107	HALL	74 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
108	OFFICE	185 SF	R-2	BUSINESS AREAS	150 SF GROSS		2
109	OFFICE	154 SF	R-2	BUSINESS AREAS	150 SF GROSS		2
110	BREAK	106 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
113	OFFICE	100 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
BASEMENT							20
206	BDRM 02	183 SF	R-2	RESIDENTIAL	200 SF GROSS		1
207	BDRM 03	185 SF	R-2	RESIDENTIAL	200 SF GROSS		1
208	OFFICE	98 SF	R-2	BUSINESS AREAS	150 SF GROSS		1
205	BDRM 01	128 SF	R-2	RESIDENTIAL	200 SF GROSS		1
204	BATH 02	103 SF	R-2	RESIDENTIAL	200 SF GROSS		1
203	HALL	232 SF	R-2	RESIDENTIAL	200 SF GROSS		2
202	LIVING	350 SF	R-2	RESIDENTIAL	200 SF GROSS		2
201	ENTRY	176 SF	R-2	RESIDENTIAL	200 SF GROSS		1
212	SITTING	99 SF	R-2	RESIDENTIAL	200 SF GROSS		1
211	BDRM 04	205 SF	R-2	RESIDENTIAL	200 SF GROSS		2
210	BATH 01	132 SF	R-2	RESIDENTIAL	200 SF GROSS		1
209	KITCHEN	147 SF	R-2	RESIDENTIAL	200 SF GROSS		1
LEVEL 1							15
301	BATH 03	73 SF	R-2	RESIDENTIAL	200 SF GROSS		1
302	BDRM 05	235 SF	R-2	RESIDENTIAL	200 SF GROSS		2
303	SITTING 02	150 SF	R-2	RESIDENTIAL	200 SF GROSS		1
304	BDRM 06	135 SF	R-2	RESIDENTIAL	200 SF GROSS		1
306	BDRM 07	179 SF	R-2	RESIDENTIAL	200 SF GROSS		1
305	POWDER	35 SF	R-2	RESIDENTIAL	200 SF GROSS		1
LEVEL 2							7
TOTAL							42



3 LIFE SAFETY PLAN - LEVEL 2
1/8" = 1'-0"



1 LIFE SAFETY PLAN - LEVEL 1
1/8" = 1'-0"



2 LIFE SAFETY PLAN - BASEMENT
1/8" = 1'-0"

GROSS BUILDING AREA

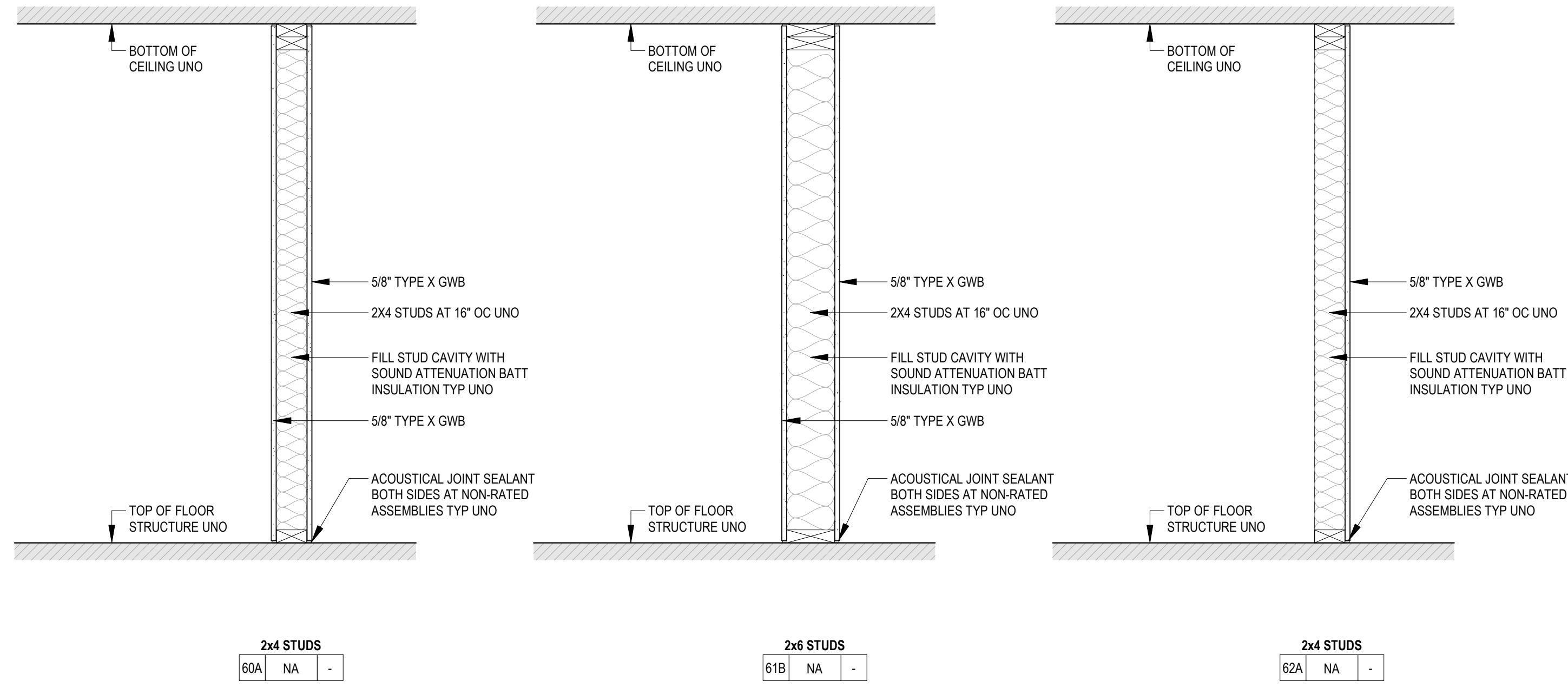
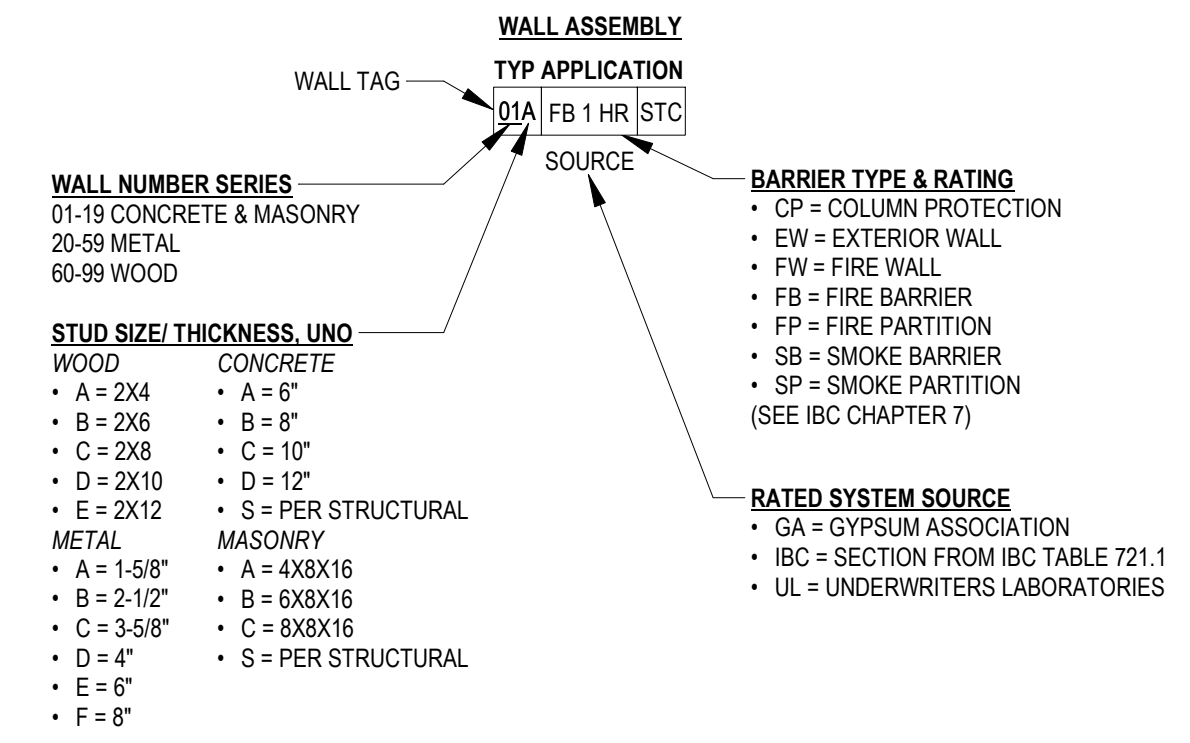
LEVEL	OCCUPANCY CLASSIFICATION	AREA
BASEMENT	GROUP B	1,940 SF
LEVEL 1	R-2	2,170 SF
LEVEL 2	R-2	830 SF
BUILDING TOTAL		4,940 SF

NOTES & LEGEND - LIFE SAFETY PLAN

- PROVIDE EXIT SIGNAGE PER 2018 IBC 1009.9, 1009.10, 1009.11, AND 1013.
 - PROVIDE MEANS OF EGRESS ILLUMINATION PER 2018 IBC 1008.
 - RATED WALLS MAY BE LABELED ONLY AS NEEDED FOR CLARITY.
- | | |
|-----------------------------------|---------------------------------|
| FIRE RATED DOOR | EXIT SIGN |
| MEANS OF EGRESS CAPACITY | FIRE EXTINGUISHER |
| WIDTH PROVIDED
WIDTH REQUIRED | EGRESS PATH |
| FP 1 HR
FIRE PARTITION, 1-HOUR | EXIT ACCESS
OCCUPANT LOAD |
| FB 1 HR
FIRE BARRIER, 1-HOUR | EXIT DISCHARGE
OCCUPANT LOAD |
| FB 2 HR
FIRE BARRIER, 2-HOUR | AREA OF REFUGE |
| FB 3 HR
FIRE BARRIER, 3-HOUR | |

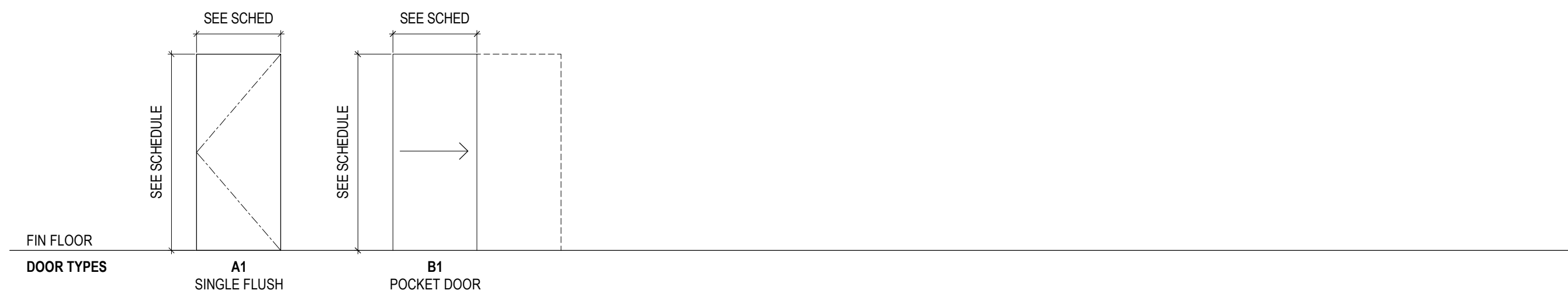


NOTES & LEGEND - ASSEMBLY TYPES



1 INTERIOR PARTITION TYPES - WOOD
1" = 1'-0"

DOOR SCHEDULE												
DOOR #	ROOM		DOOR INFORMATION						FRAME INFORMATION	FIRE RATING	HARDWARE GROUP	COMMENTS
	NUMBER	NAME	TYPE	MATERIAL	GLAZING	HEIGHT	WIDTH	THICKNESS				
204A	204	BATH 02	A1	WD	N/A	6'-8"	3'-0"	1 3/4"	WD			
205A	205	BDRM 01	A1	WD	N/A	6'-8"	2'-8"	1 3/4"	WD			
210A	210	BATH 01	A1	WD	N/A	6'-8"	3'-0"	1 3/4"	WD			
210B	210	BATH 01	B1	WD	N/A	6'-8"	2'-8"	1 3/8"				
210C	210	BATH 01	A1	WD	N/A	6'-8"	2'-8"	1 3/4"	WD			
304A	304	BDRM 06	A1	WD	N/A	6'-8"	2'-8"	1 3/4"	WD			
305A	305	POWDER	A1	WD	N/A	6'-8"	2'-8"	1 3/4"	WD			



DOOR TYPES

KRM DWIGHT ST
KITSAP RESCUE MISSION
623 DWIGHT ST
PORT ORCHARD, WA 98366

PROJECT # 2023097

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NO.	DATE	DESCRIPTION

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ASSEMBLY TYPES &
DOOR SCHEDULE

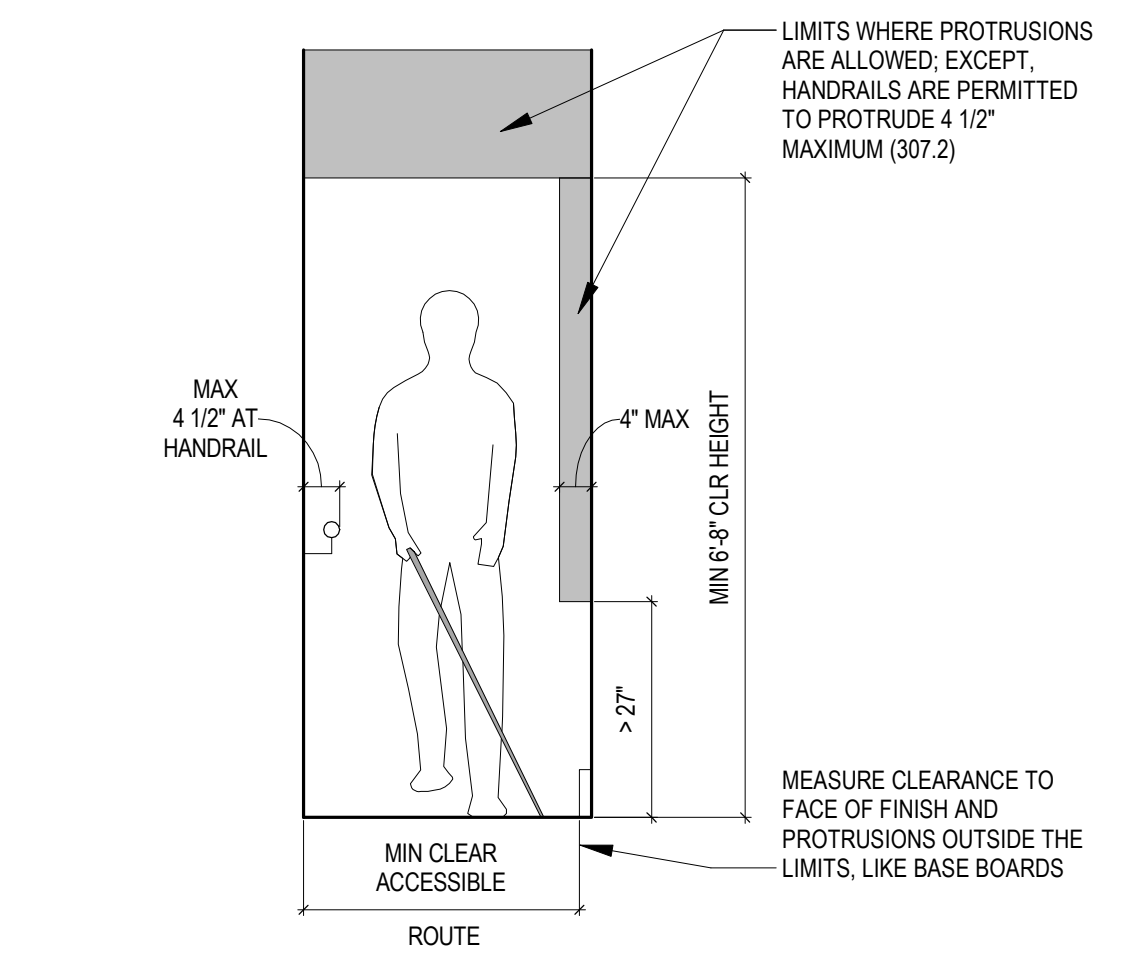
SHEET #

A03.01

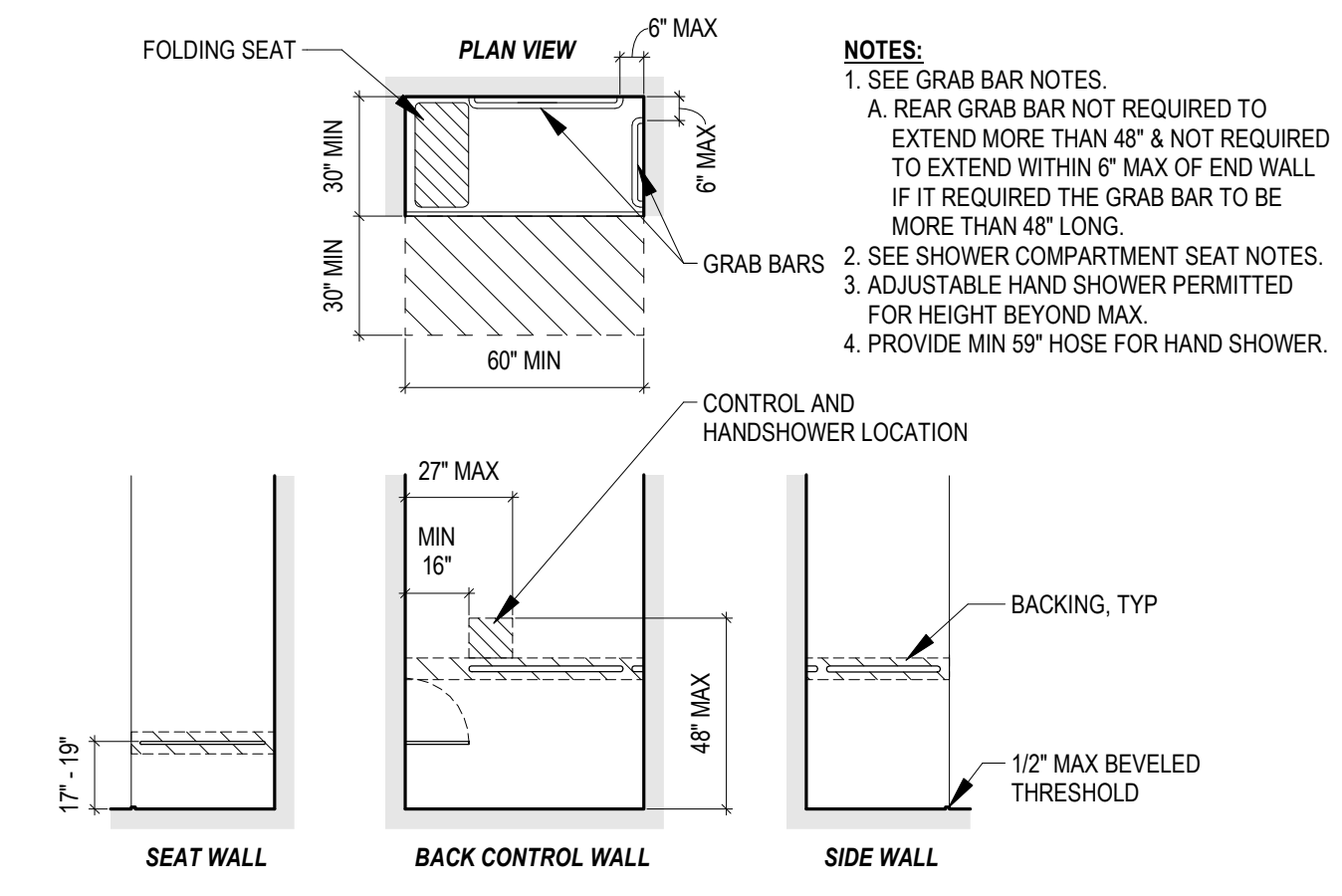
LU24-CUP-04

NOTES - ACCESSIBILITY DETAILS

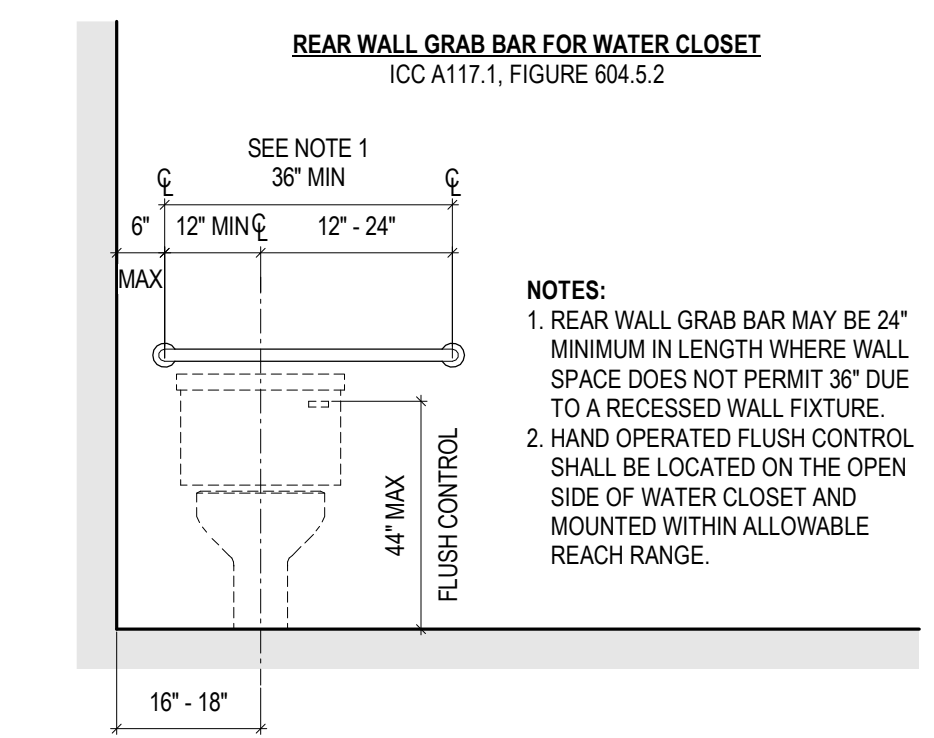
- ACCESSIBILITY REQUIREMENTS ARE BASED ON THE FOLLOWING CODE EDITIONS:
• 2017 ICC A117.1
• 2021 IBC (WAC 51-50)
- INFORMATION ON THIS SHEET ARE GENERIC REQUIREMENTS. REFER TO PROJECT FLOOR PLANS AND INTERIOR ELEVATIONS FOR ACTUAL LAYOUT AND DIMENSIONS.
- DIMENSIONS ARE CLEAR FROM FINISH TO FINISH, UNLESS NOTED OTHERWISE.
- REFER TO CIVIL DRAWINGS FOR SITE AND PARKING RELATED ACCESSIBILITY REQUIREMENTS.



11 LIMITS OF PROTRUDING OBJECTS
1/2" = 1'-0"

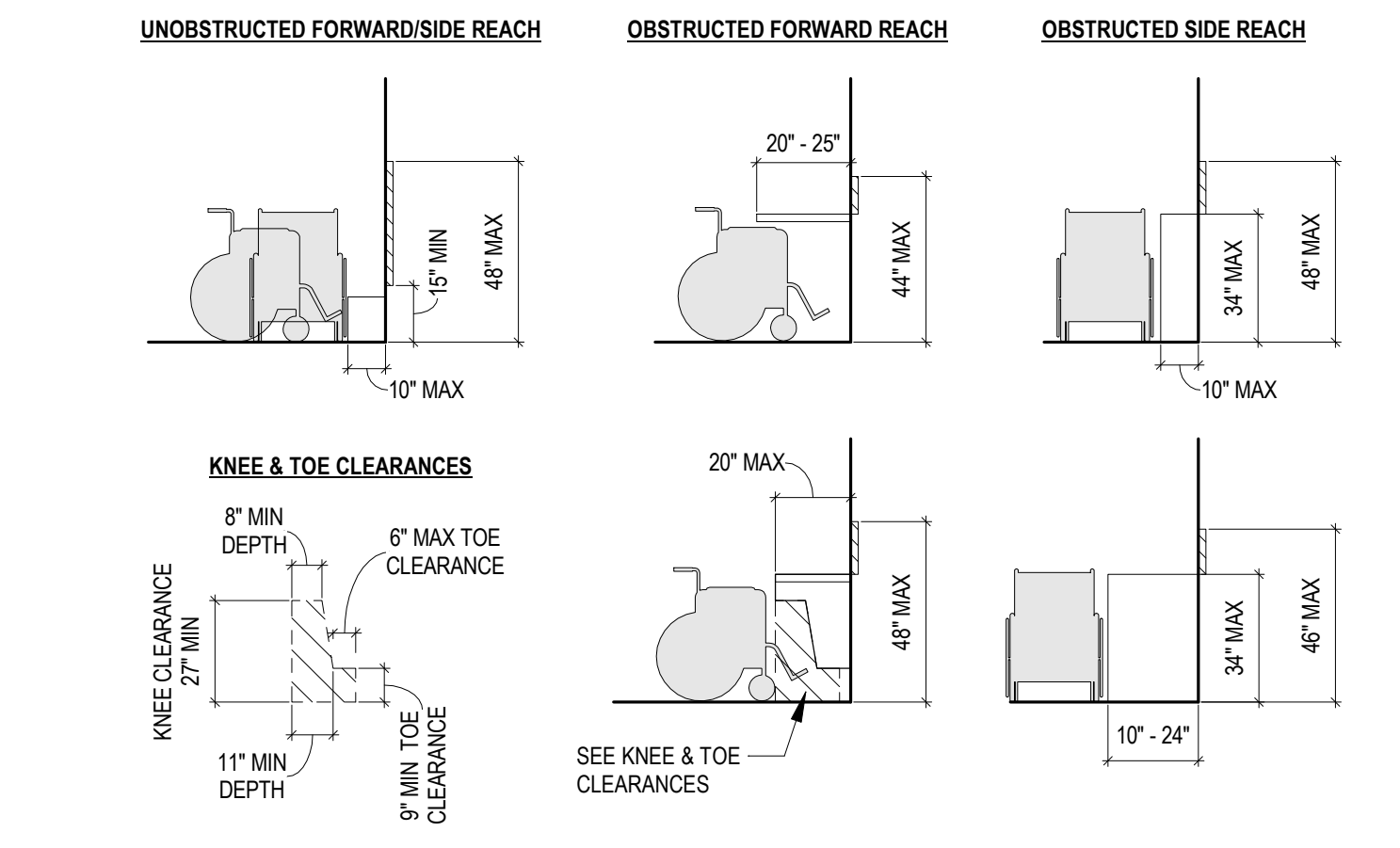


7 STANDARD ROLL-IN TYPE SHOWER

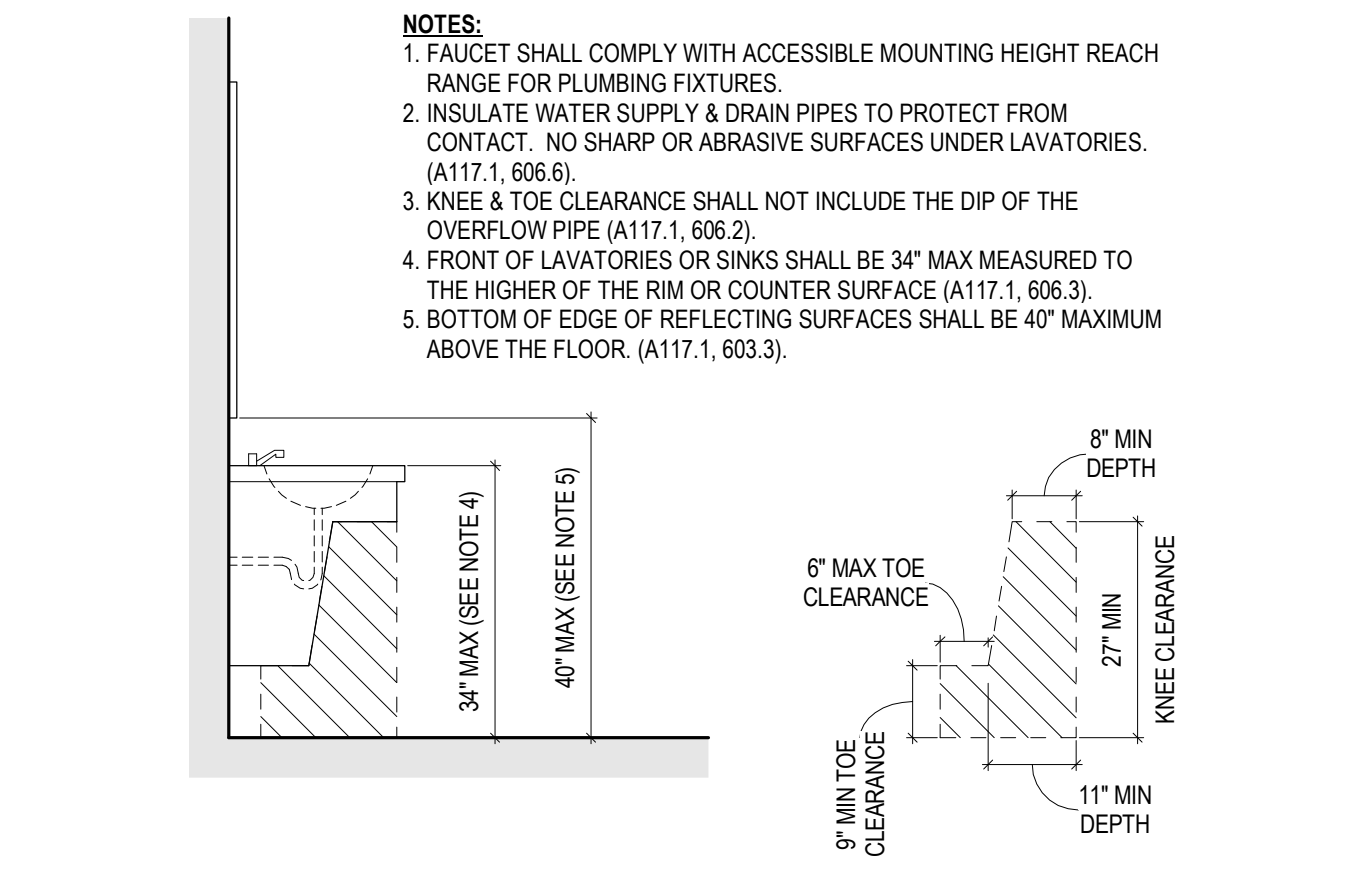


3 WATER CLOSET REAR WALL

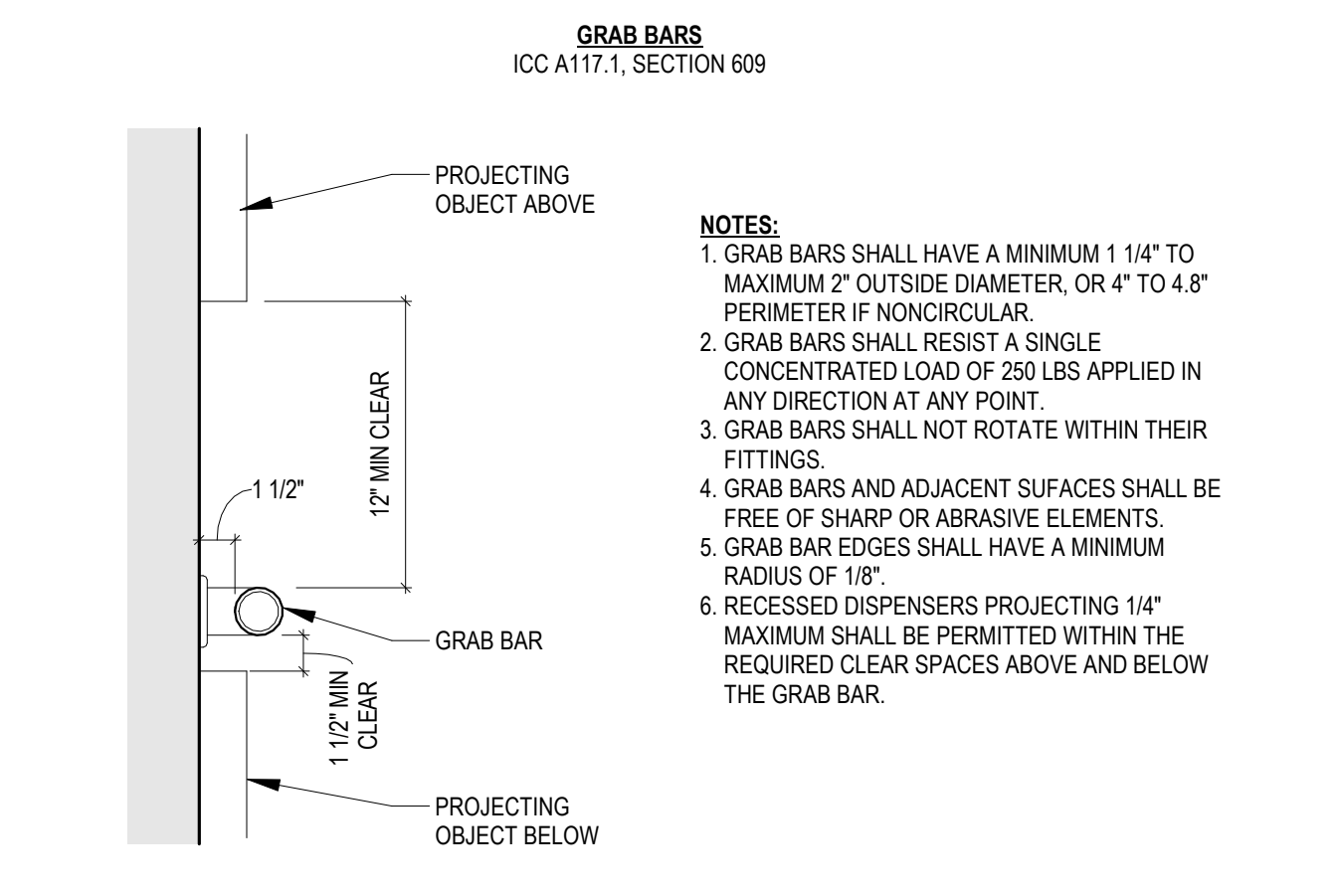
- NOTES:**
THE FOLLOWING SHALL BE MOUNTED WITHIN AN ACCESSIBLE REACH RANGE PER ICC A117.1, 308:
- ACCESSIBLE SPACES WITHIN TYPE 'A' DWELLING UNITS:
- LIGHTING CONTROLS
 - ELECTRICAL PANELBOARDS, SWITCHES AND ELECTRICAL OUTLET
 - ENVIRONMENTAL CONTROLS
 - *APPLIANCE CONTROLS
 - *OPERABLE WINDOW HARDWARE (WITH EXCEPTIONS PER 1103.13)
 - *PLUMBING FIXTURES
 - USER CONTROLS FOR SECURITY OR INTERCOM SYSTEMS
- * ITEMS WITH ASTERISK ARE NOT REQUIRED WITHIN TYPE 'B' DWELLING UNITS. SEE 1104.9 FOR EXCEPTIONS.



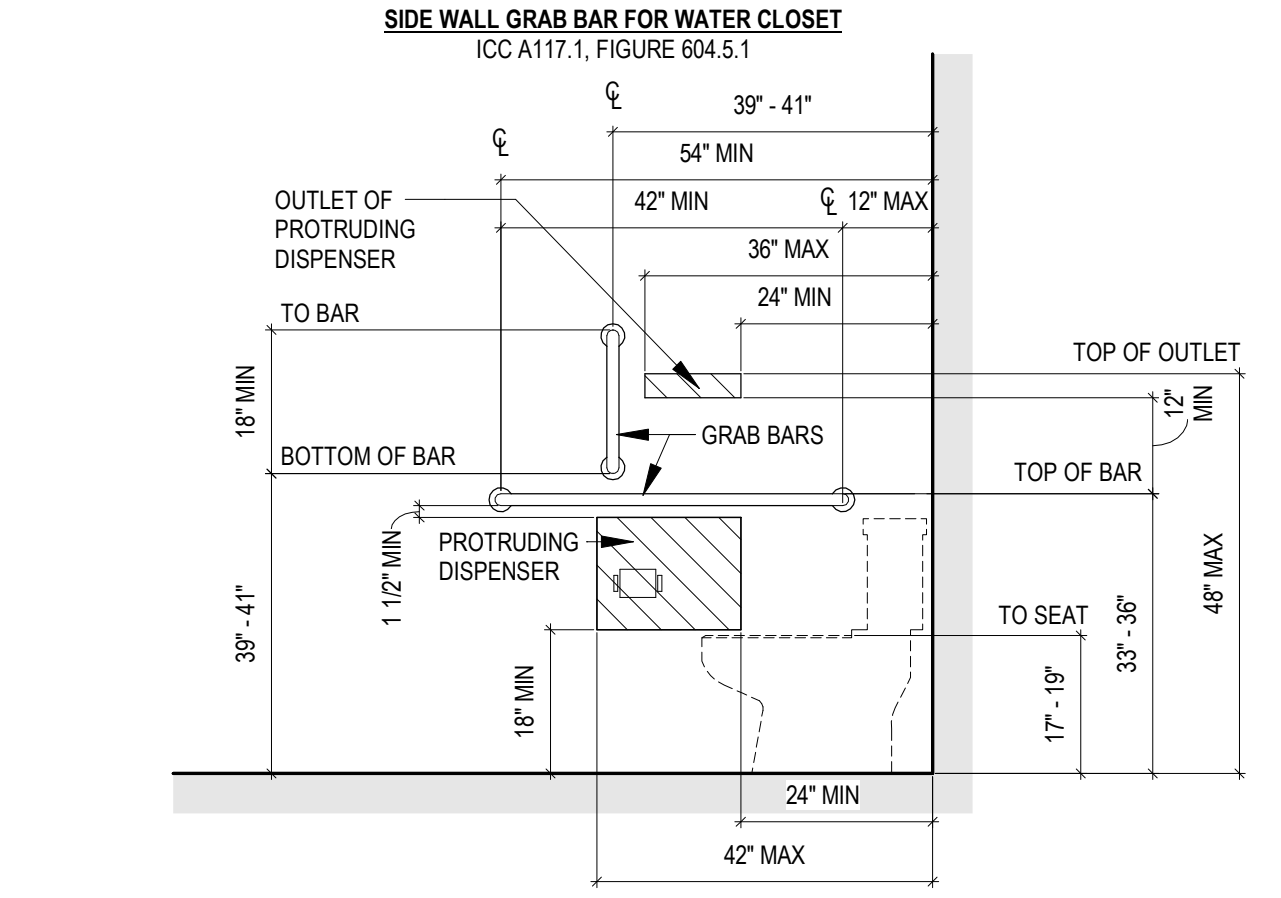
9 MOUNTING HEIGHTS & OPERABLE PARTS
1/4" = 1'-0"



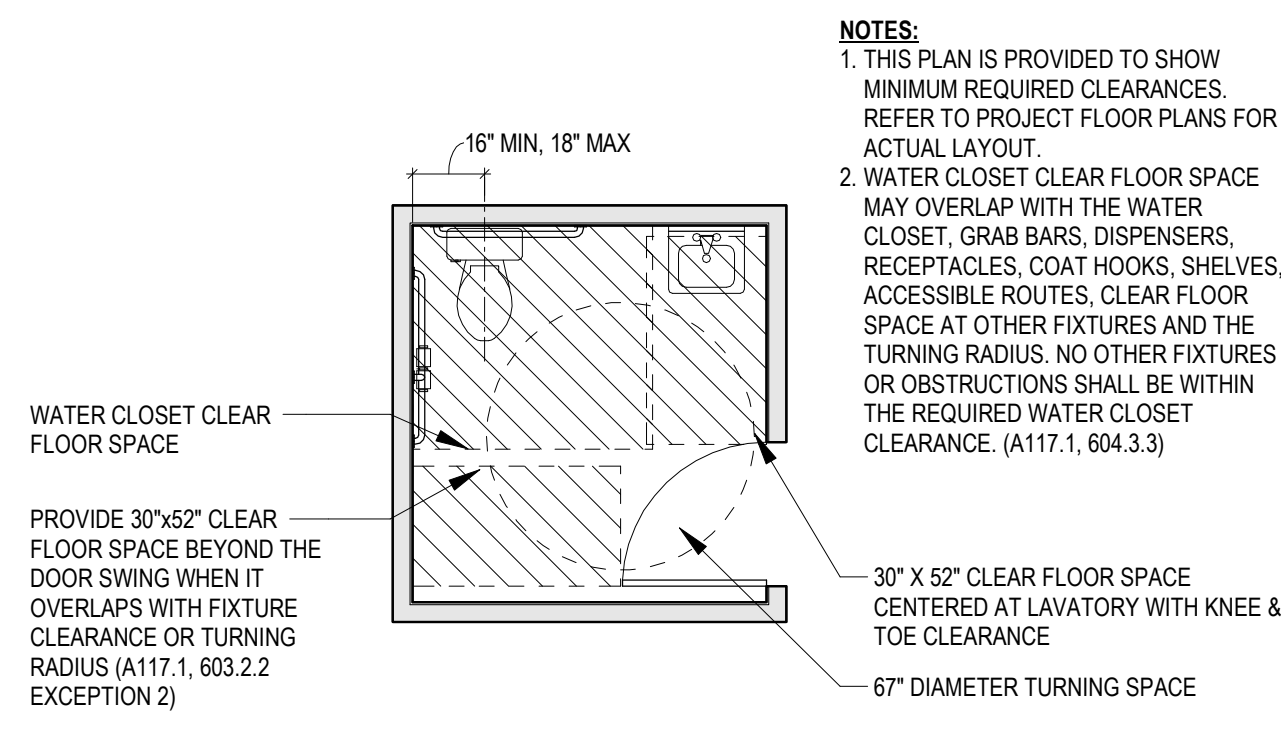
6 MOUNTING HEIGHTS & OPERABLE PARTS



5 GRAB BAR CROSS SECTION



2 WATER CLOSET SIDE WALL



1 RESTROOM CLEARANCES

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ACCESSIBILITY GUIDELINES - BUILDING ELEMENTS 2017

SHEET #

A04.01

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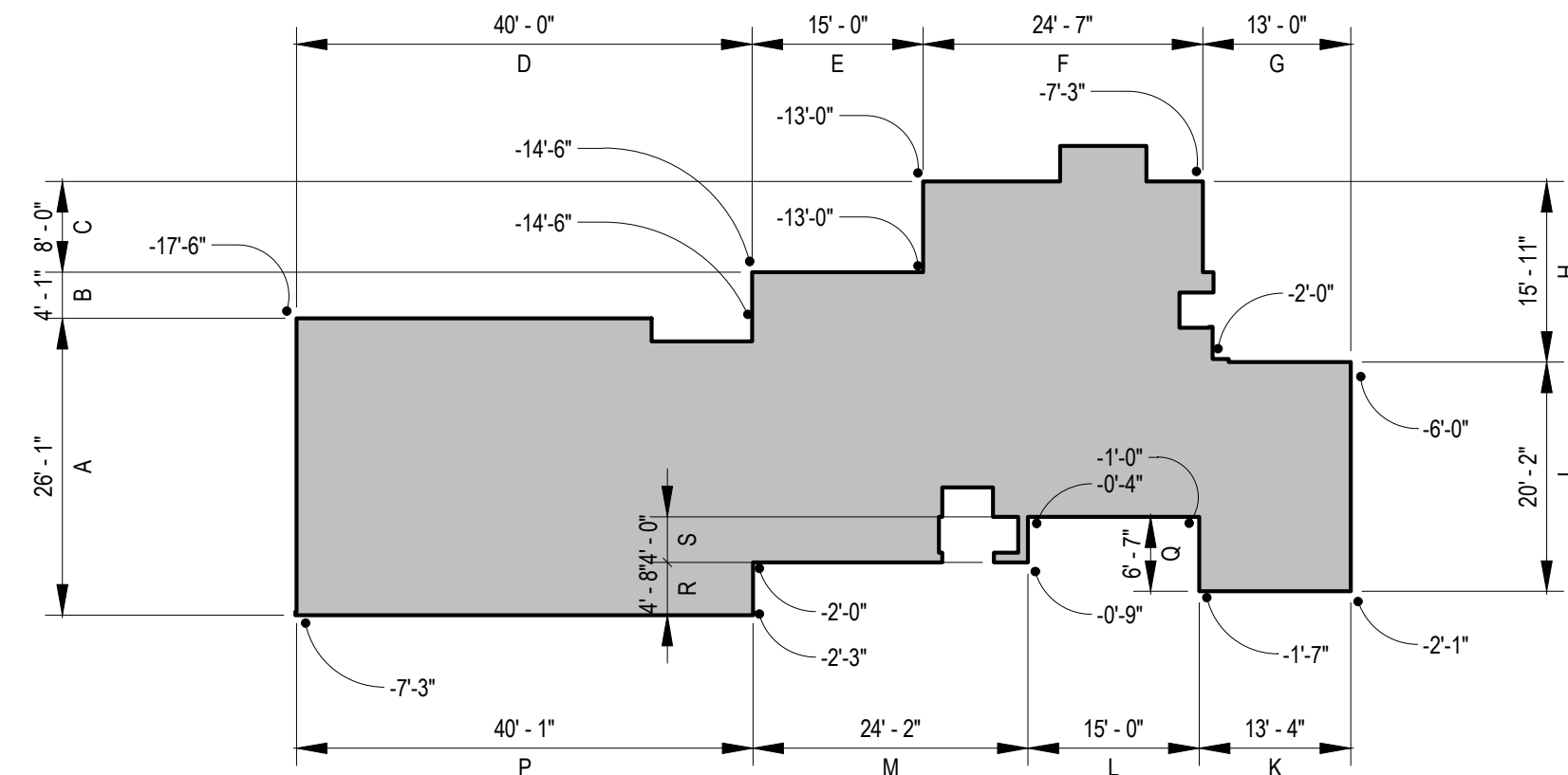
AHJ APPROVAL STAMP

SITE PLAN

NUMBER	NOTE DESCRIPTION
14	EXISTING PARKING STALL
16	(2) BICYCLE STALLS

NOTES & LEGEND - SITE PLAN

- LANDSCAPING
- DRIVEWAY/ SIDEWALK
CONTROL JOINTS PER PLAN
- PROPERTY LINE
- BUILDING SETBACK
- BUILDING OUTLINE
- ROOF OVERHANG

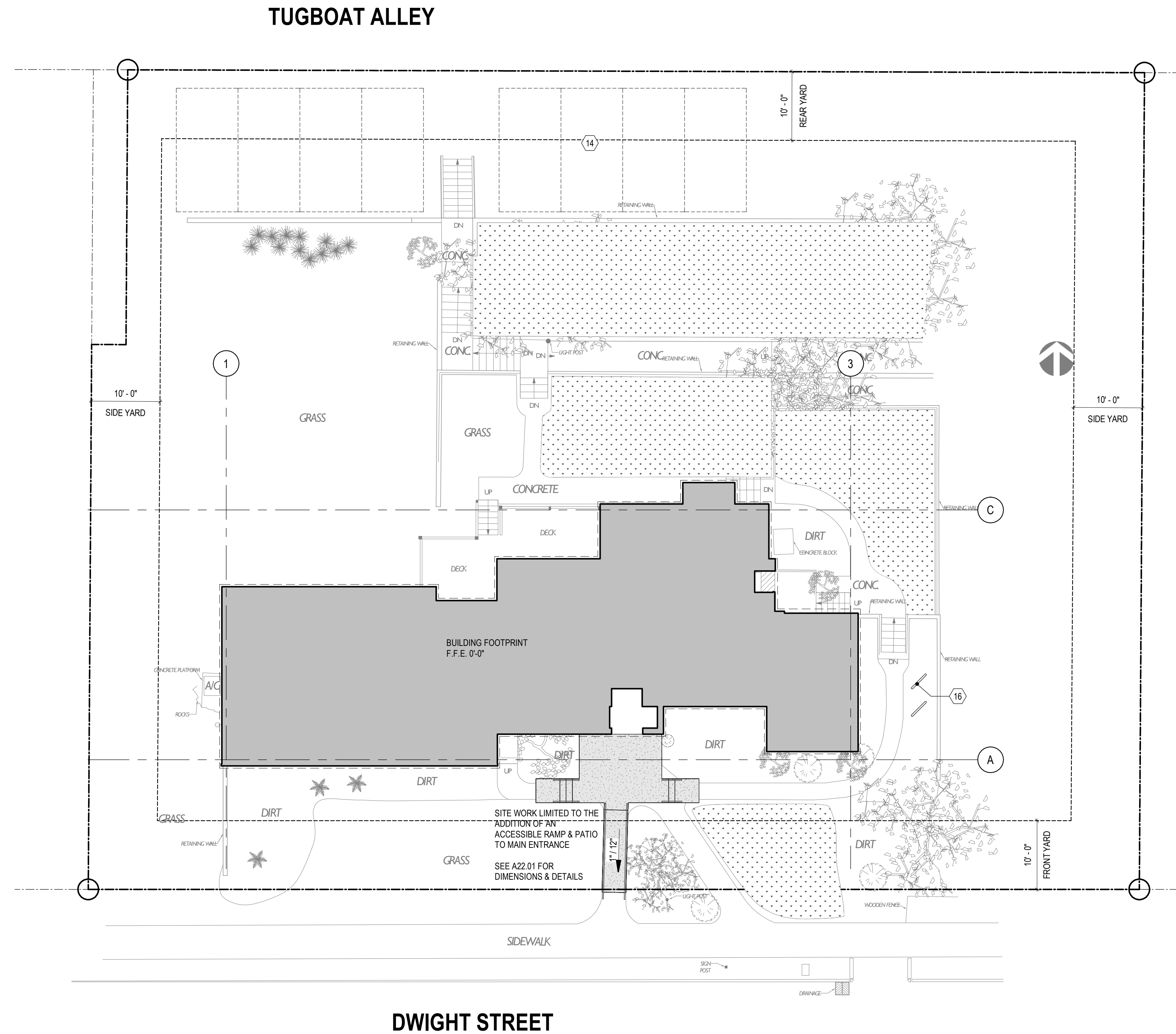


- A -- (-7'-3" + -17'-6")/2 x 26'-1" = -322'-9"
- B -- (-14'-6" + -14'-6")/2 x 4'-1" = -59'-2"
- C -- (-13'-0" + -13'-0")/2 x 8'-0" = -104'-0"
- D -- (-17'-6" + -14'-6")/2 x 40'-0" = -640'-0"
- E -- (-14'-6" + -13'-0")/2 x 15'-0" = -206'-3"
- F -- (-13'-0" + -7'-3")/2 x 24'-7" = -248'-11"
- G -- (-2'-0" + -6'-0")/2 x 13'-0" = -52'-0"
- H -- (-7'-3" + -2'-0")/2 x 15'-11" = -73'-8"
- J -- (-2'-1" + -6'-0")/2 x 20'-2" = -81'-5"
- K -- (-1'-7" + -2'-1")/2 x 13'-4" = -24'-5"
- L -- (-0'-4" + -1'-0")/2 x 15'-0" = -10'-0"
- M -- (-2'-0" + -0'-9")/2 x 24'-2" = -33'-2"
- P -- (-7'-3" + -2'-3")/2 x 40'-1" = -190'-4"
- Q -- (-1'-7" + -1'-0")/2 x 6'-7" = -8'-6"
- R -- (-2'-3" + -2'-0")/2 x 4'-8" = -9'-11"
- S -- (-0'-9" + -0'-4")/2 x 4'-0" = -2'-2"

-2066'-9" / 275'-5" = -7'-6" AVERAGE GRADE

TOTAL PERIMETER = 275'-5"

AVG GRADE CALCULATION

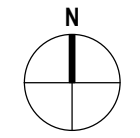


SITE WORK LIMITED TO THE ADDITION OF AN ACCESSIBLE RAMP & PATIO TO MAIN ENTRANCE
SEE A22.01 FOR DIMENSIONS & DETAILS

DWIGHT STREET

1 SITE PLAN

SCALE 1" = 10'-0"



COUNTER COMPLETE
Permit Center

JUN 03, 2024

City of Port Orchard
Community Development



KRM DWIGHT ST
KITSAP RESCUE MISSION
623 DWIGHT ST
PORT ORCHARD, WA 98366

PROJECT # 2023097

PERMIT

ISSUE DATE 05/24/2024

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DEMOLITION FLOOR PLANS

SHEET #

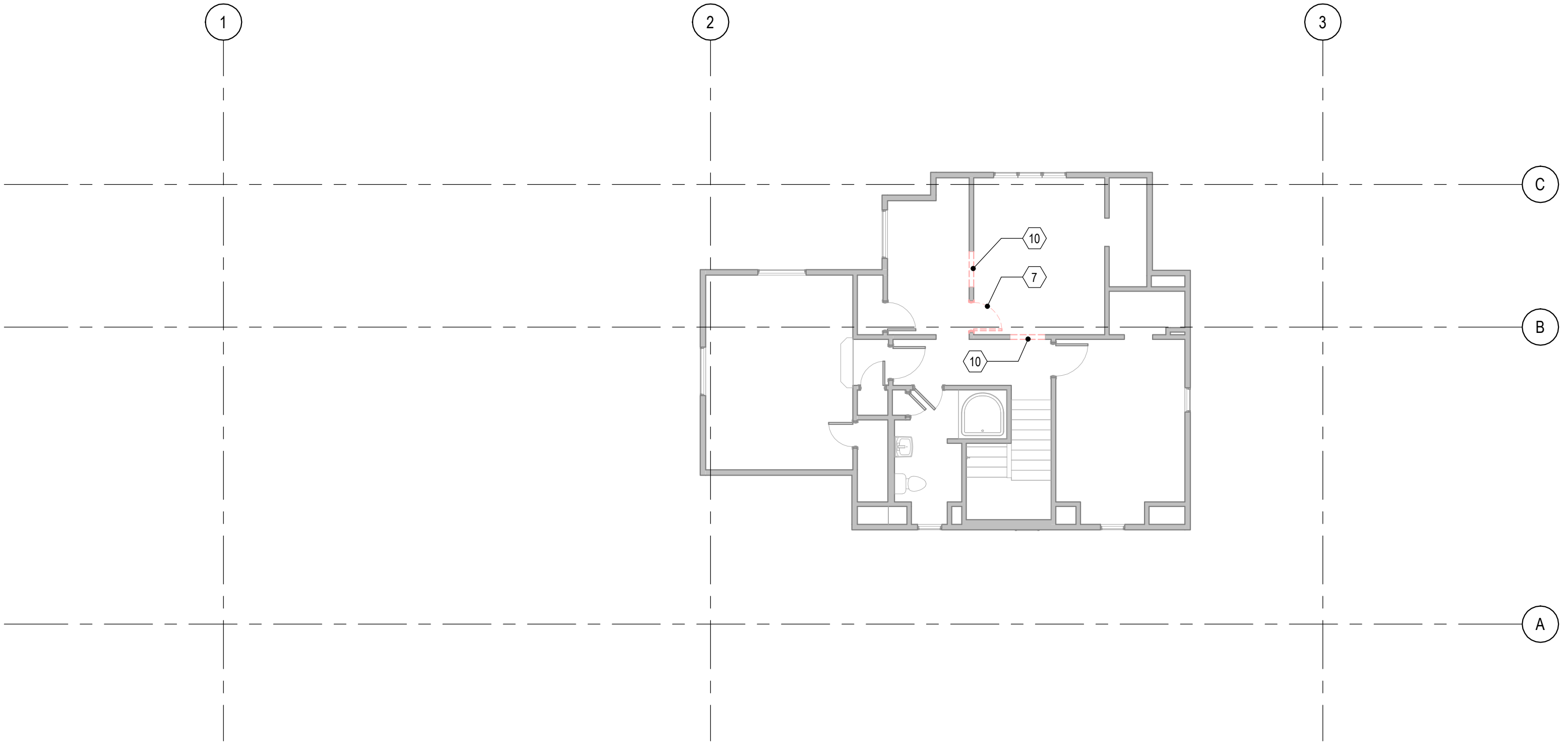
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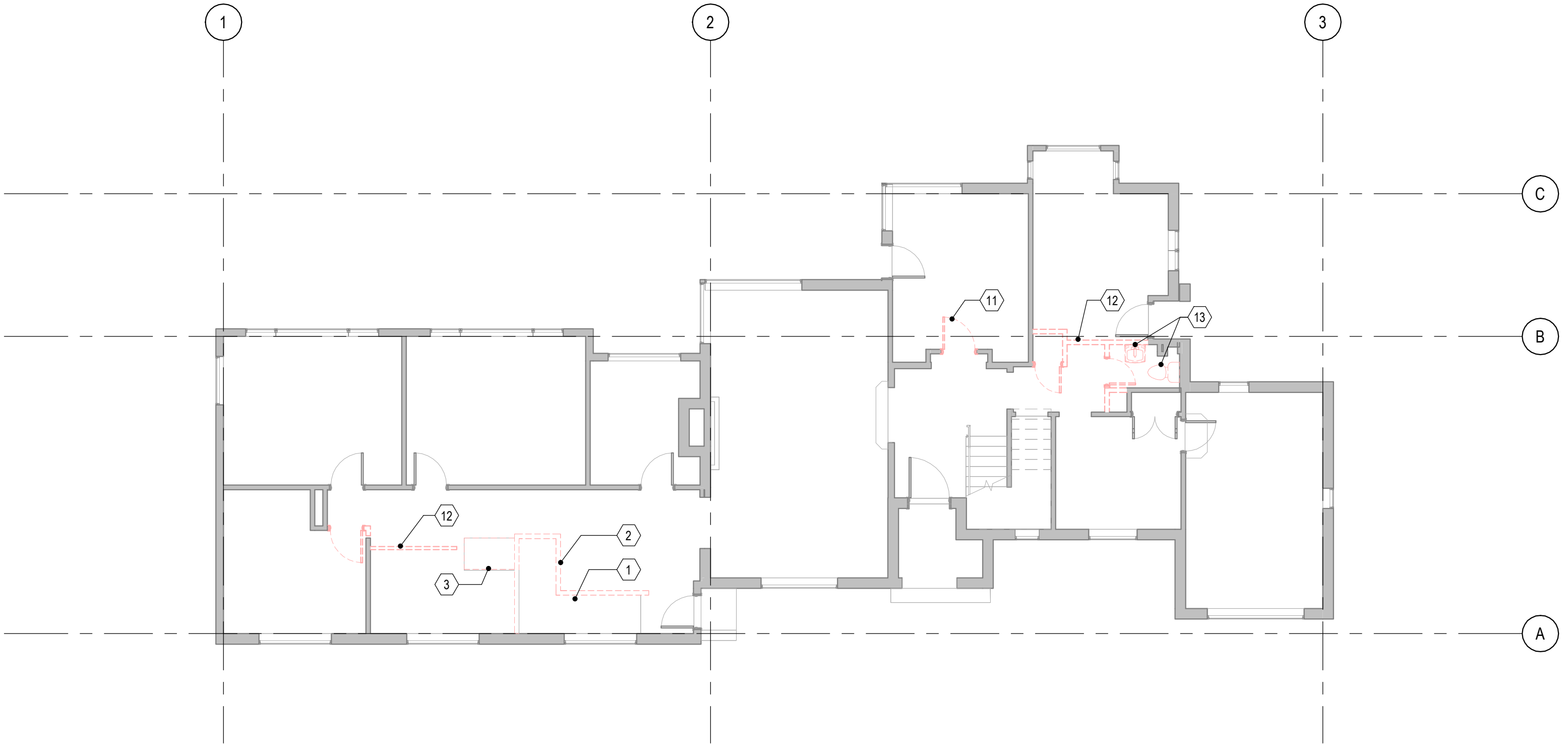
KEYNOTE SCHEDULE	
NUMBER	NOTE DESCRIPTION
1	FILL IN FLOOR OVER EXISTING STAIR OPENING - REFERENCE STRUCTURAL FOR REQ'D FRAMING; MATCH EXISTING FINISH
2	DEMO EXISTING HALF WALL; PATCH & REPAIR REMAINING WALL, FLOOR, & CEILING AS REQ'D TO MATCH EXISTING
3	REVISE EXISTING FLOOR FRAMING PER STRUCTURAL TO ALLOW ROLL-IN SHOWER
7	DEMO EXISTING DOOR; PATCH TO MATCH EXISTING FRAMING & FINISH
10	DEMO OPENING IN EXISTING WALL TO INSTALL DOOR
11	REMOVE DOOR AND HINGES, FRAME TO REMAIN; PATCH & REPAIR AS REQ'D
12	DEMO EXISTING WALL; PATCH & REPAIR REMAINING WALL, FLOOR, & CEILING AS REQ'D TO MATCH EXISTING
13	DEMO EXISTING TOILET & SINK

NOTES & LEGEND - DEMO PLAN

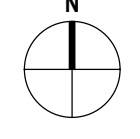
- 1. FIELD VERIFY EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO BEGINNING WORK.
- 2. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC AT AREAS OF WORK.
- 3. PRESERVE AND PROTECT EXISTING CONSTRUCTION AND LIFE SAFETY SYSTEMS TO REMAIN.
- 4. COORDINATE REMOVAL AND STORAGE OF EXISTING FURNITURE, FIXTURES, EQUIPMENT AND ASSOCIATED HARDWARE TO BE SALVAGED AND STORED DURING CONSTRUCTION WITH OWNER.



2 DEMOLITION FLOOR PLAN - LEVEL 2
1/8" = 1'-0"



1 DEMOLITION FLOOR PLAN - LEVEL 1
1/8" = 1'-0"



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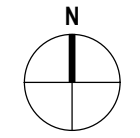
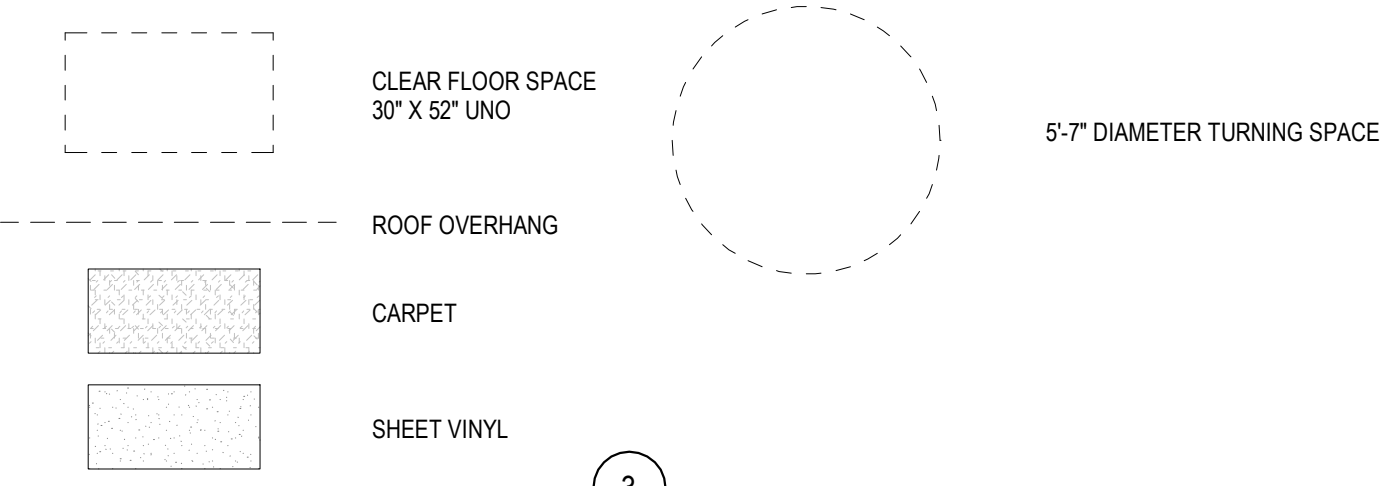
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FLOOR PLAN -
BASEMENT

NUMBER	NOTE DESCRIPTION
--------	------------------

NOTES & LEGEND - FLOOR PLAN

1. DIMENSIONS ARE TO ROUGH FRAMING OR TO FACE OF EXISTING FINISHES, TYP UNO.
2. DIMENSIONS INDICATED AS "MIN" OR "CLR" ARE FROM NEAREST FINISH SURFACE, INCLUDING TRIM.
3. ROUGH DOOR OPENINGS ARE LOCATED 4" FROM NEAREST INTERSECTING WALL FRAMING, TYP UNO.



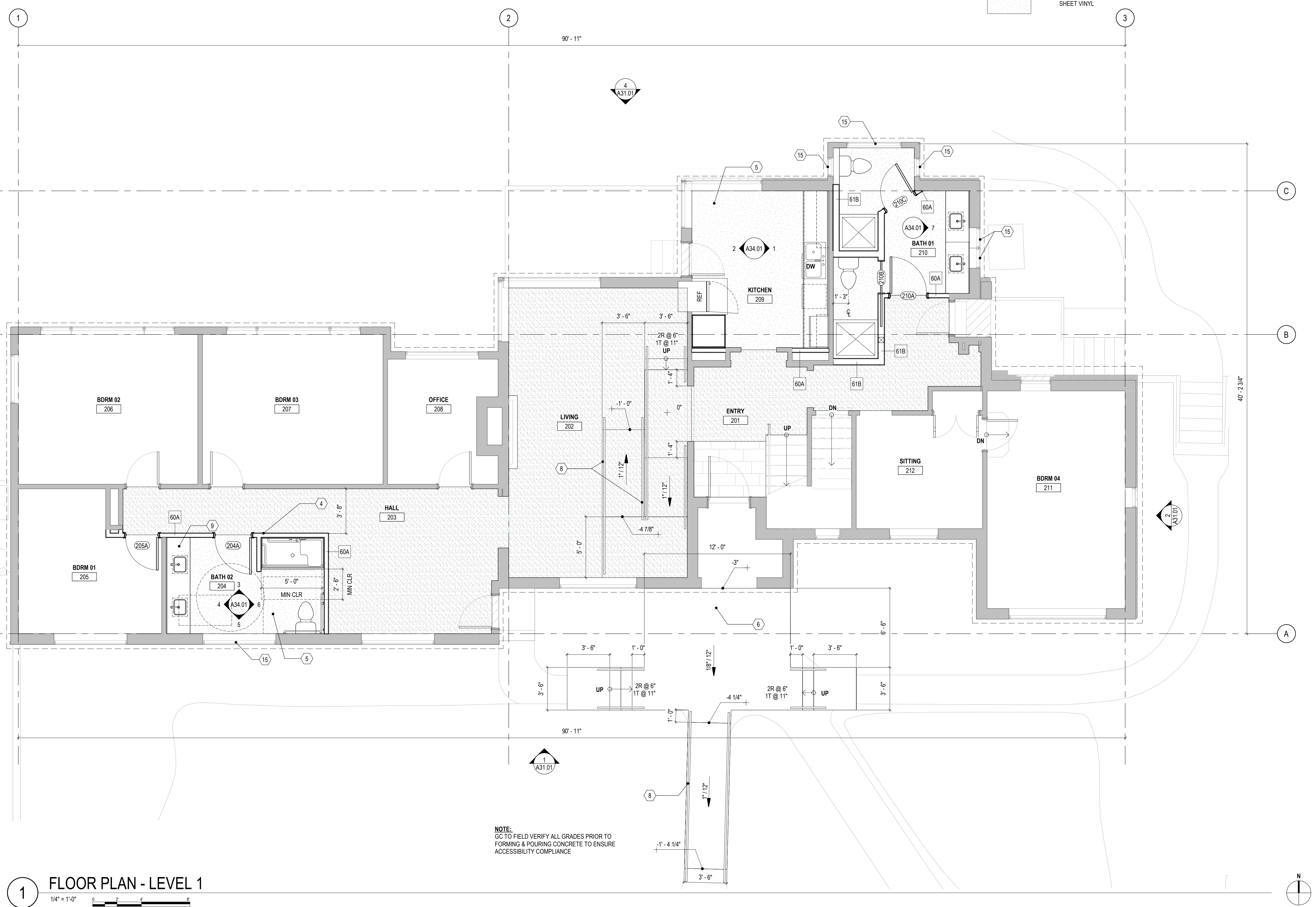
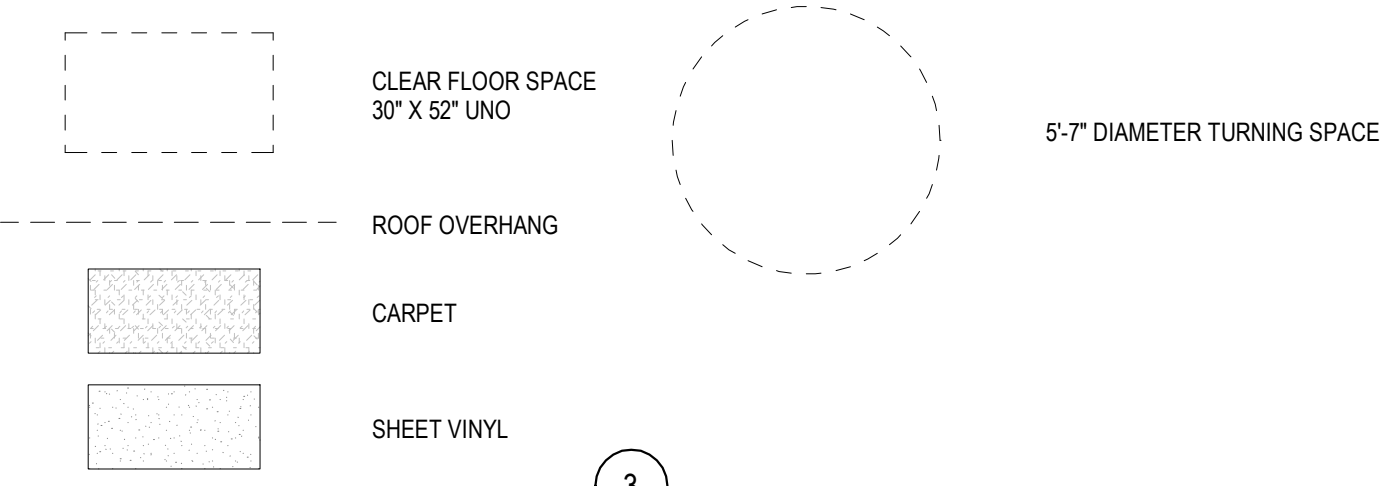
NO.	DATE	DESCRIPTION



NUMBER	NOTE DESCRIPTION
4	WALL TO MATCH EXIST FINISH OF ADJACENT WALLS
5	SHEET VINYL FLOORING
6	ALIGN SLAB W/ TOP OF ADJACENT, EXISTING SLAB
8	1 1/2" DIA HANDRAIL 36" ABOVE FINISH FLOOR
9	34" COUNTER HEIGHT WITH KNEE CLEARANCE BELOW
15	APPLY FROSTED TINT TO EXISTING BATHROOM WINDOW

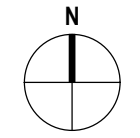
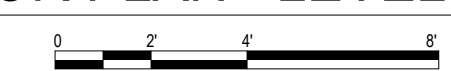
NOTES & LEGEND - FLOOR PLAN

- DIMENSIONS ARE TO ROUGH FRAMING OR TO FACE OF EXISTING FINISHES, TYP UNO.
- DIMENSIONS INDICATED AS "MIN" OR "CLR" ARE FROM NEAREST FINISH SURFACE, INCLUDING TRIM.
- ROUGH DOOR OPENINGS ARE LOCATED 4" FROM NEAREST INTERSECTING WALL FRAMING, TYP UNO.



NOTE:
GC TO FIELD VERIFY ALL GRADES PRIOR TO FORMING & POURING CONCRETE TO ENSURE ACCESSIBILITY COMPLIANCE

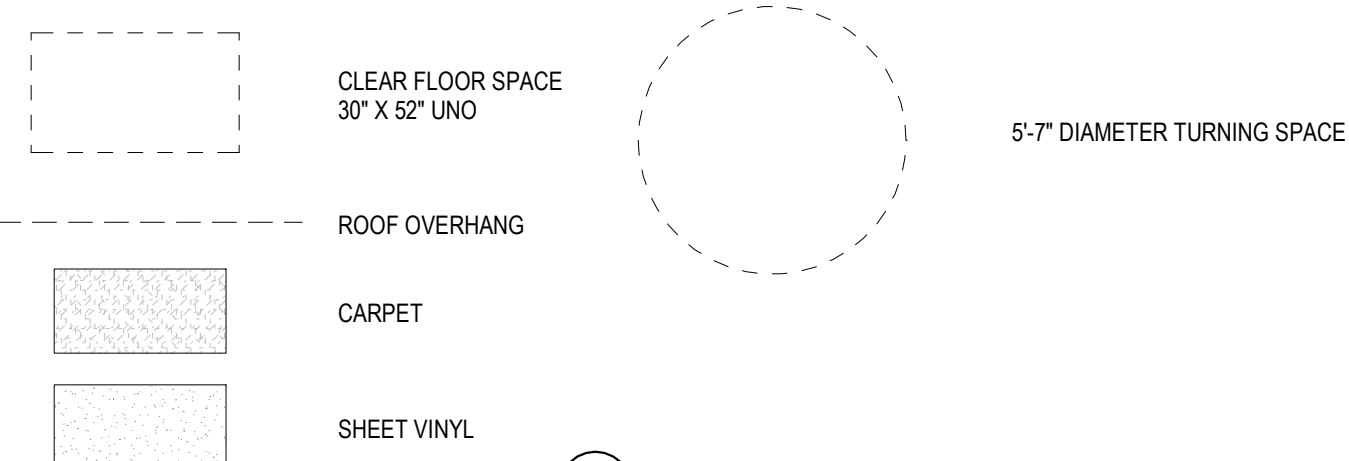
1 FLOOR PLAN - LEVEL 1
1/4" = 1'-0"



KEYNOTE SCHEDULE	
NUMBER	NOTE DESCRIPTION
4	WALL TO MATCH EXIST FINISH OF ADJACENT WALLS

NOTES & LEGEND - FLOOR PLAN

- 1. DIMENSIONS ARE TO ROUGH FRAMING OR TO FACE OF EXISTING FINISHES, TYP UNO.
- 2. DIMENSIONS INDICATED AS "MIN" OR "CLR" ARE FROM NEAREST FINISH SURFACE, INCLUDING TRIM.
- 3. ROUGH DOOR OPENINGS ARE LOCATED 4" FROM NEAREST INTERSECTING WALL FRAMING, TYP UNO.



RICEfergusMILLER
 ARCHITECTURE INTERIORS PLANNING VIZLAB
 275 FIFTH STREET, SUITE 100
 BREMERTON, WA 98337
 360-377-8773
 RFMARCH.COM

COUNTER COMPLETE
 Permit Center
 JUN 03, 2024
 City of Port Orchard
 Community Development



KRM DWIGHT ST
KITSAP RESCUE MISSION
 623 DWIGHT ST
 PORT ORCHARD, WA 98366

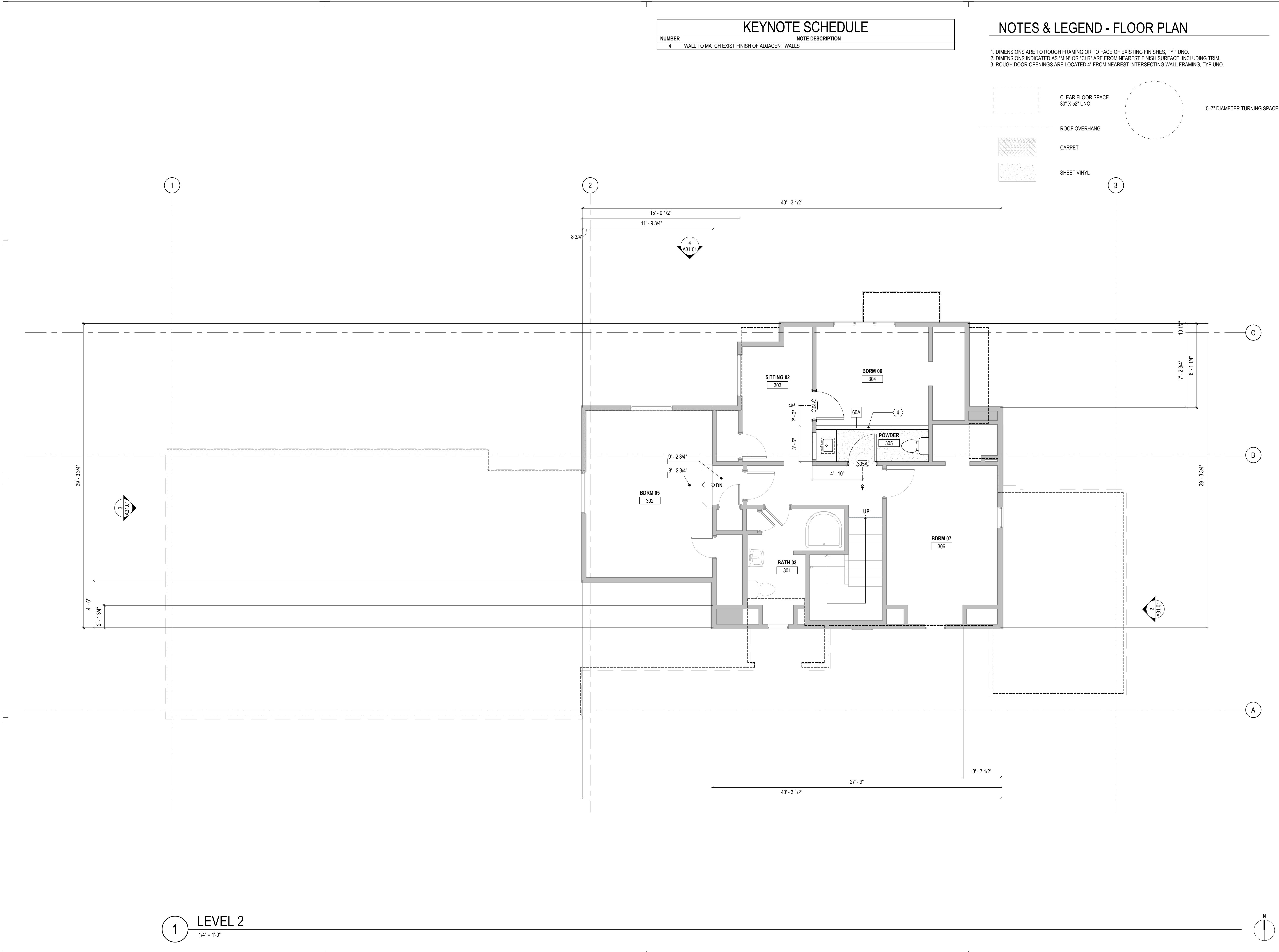
PROJECT #	2023097
PERMIT	
ISSUE DATE	05/24/2024

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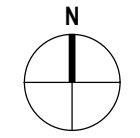
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FLOOR PLAN - LEVEL 2

SHEET #
A22.02
 LU24-CUP-04



1 LEVEL 2
 1/4" = 1'-0"

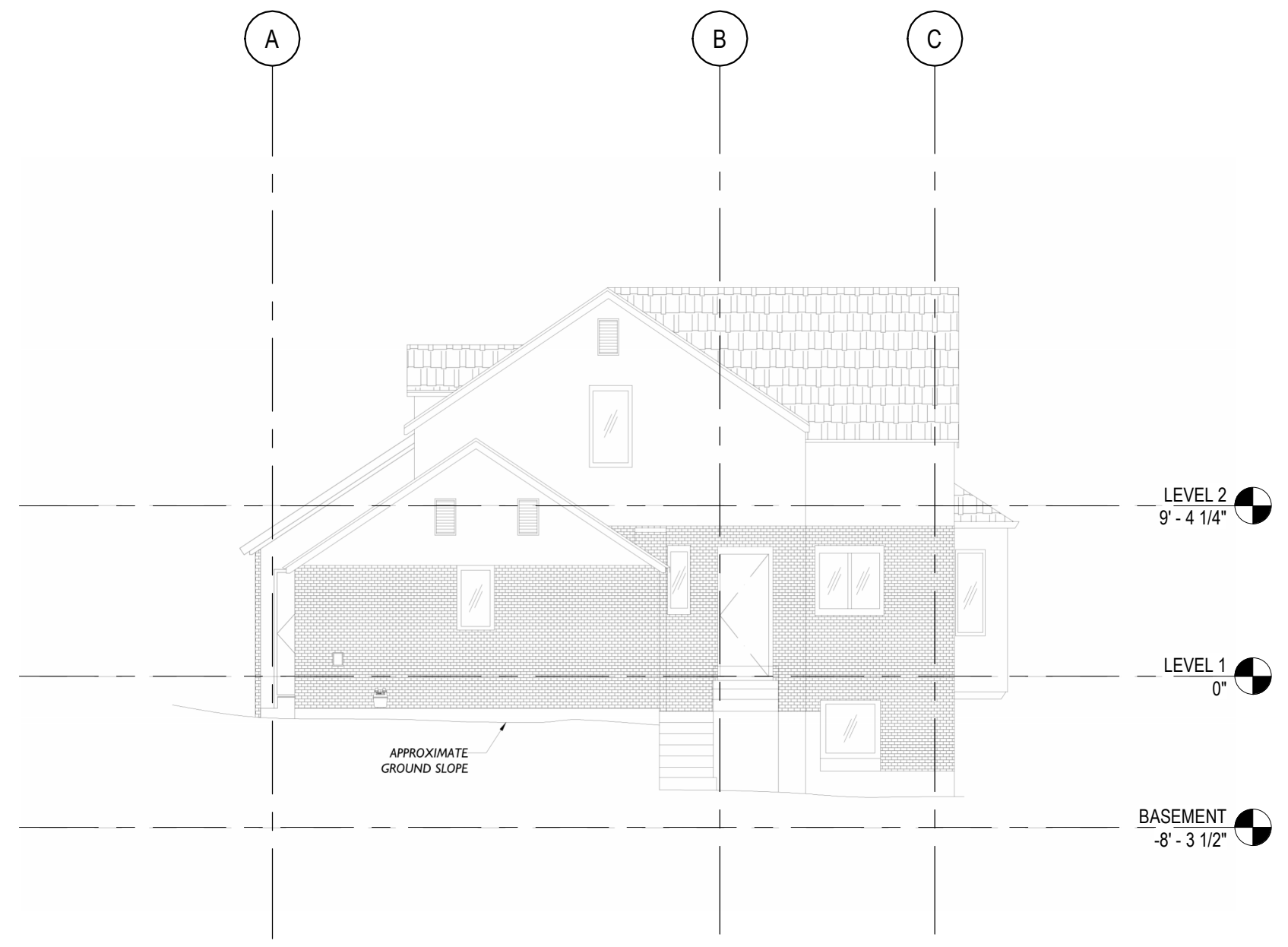


NUMBER	NOTE DESCRIPTION
8	1 1/2" DIA HANDRAIL 36" ABOVE FINISH FLOOR

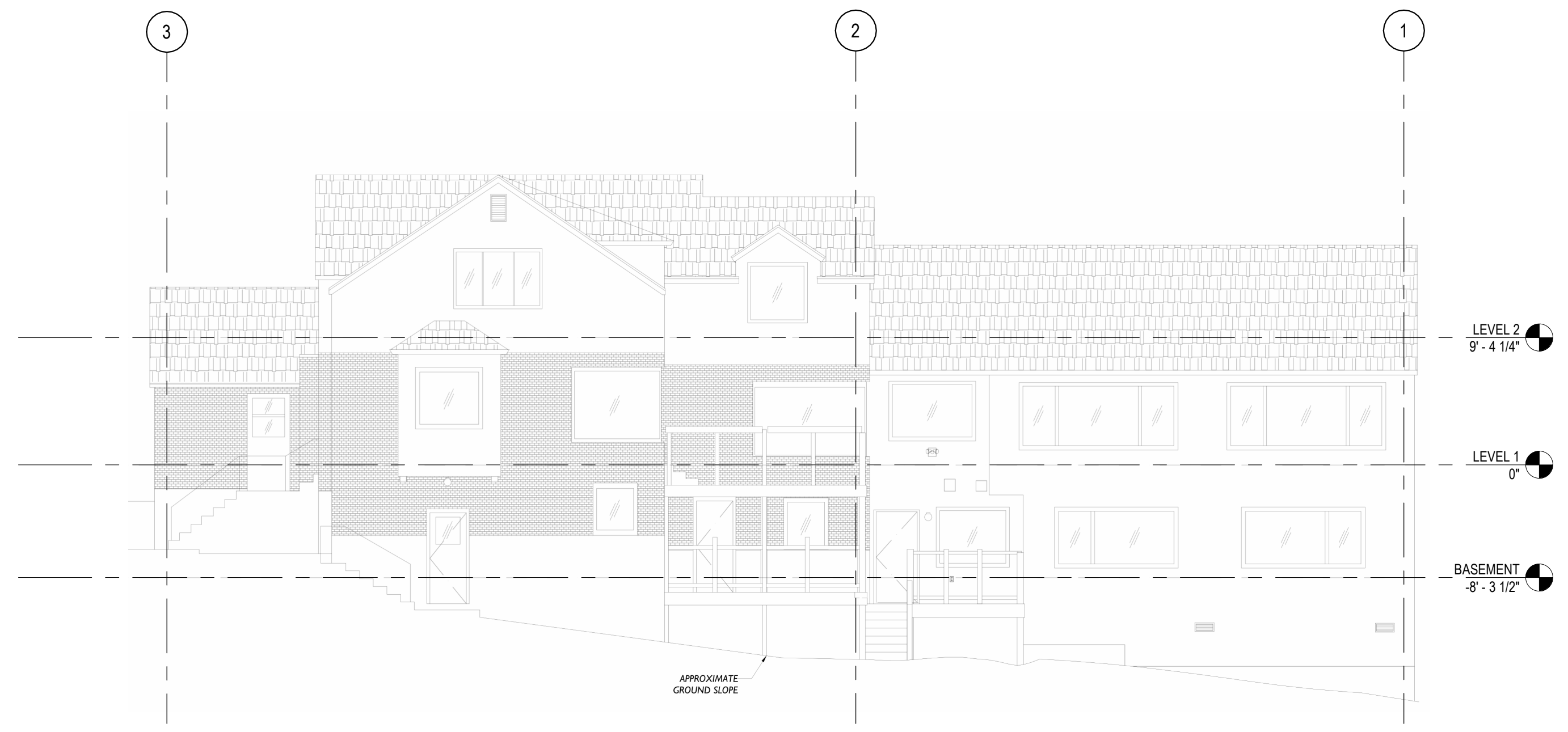
NOTES & LEGEND - EXTERIOR ELEVATION

1. GRAPHIC REPRESENTATION OF EXTERIOR MATERIALS AND/OR LIGHTING MAY BE NOT TO SCALE.

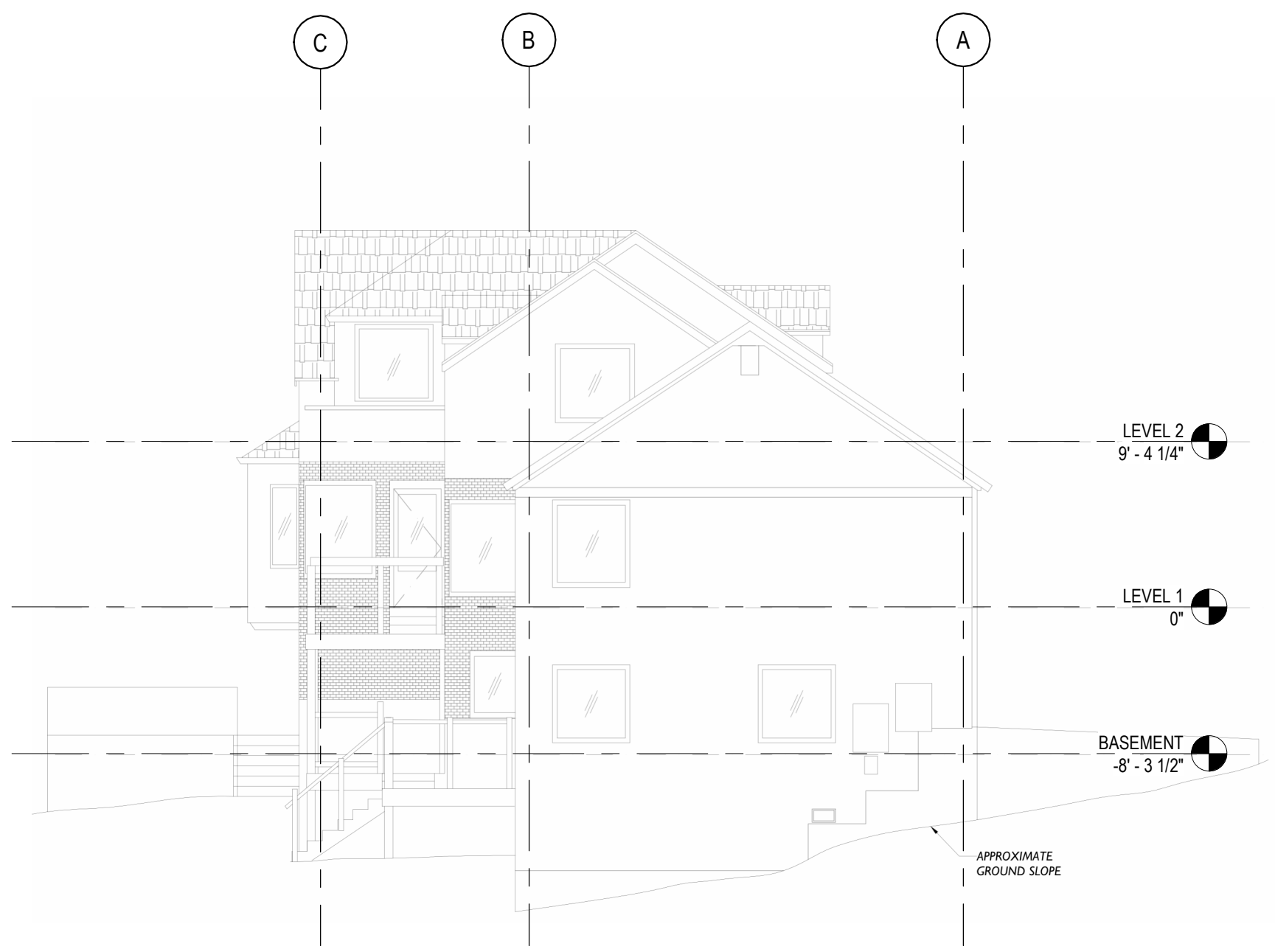
	HORIZONTAL SIDING		EXTERIOR LIGHTING, SIZES MAY VARY - SEE ELEC
	VERTICAL SIDING		LOUVER, SIZES MAY VARY - SEE MECH
	WOOD PANEL		
	CONTROL JOINT		



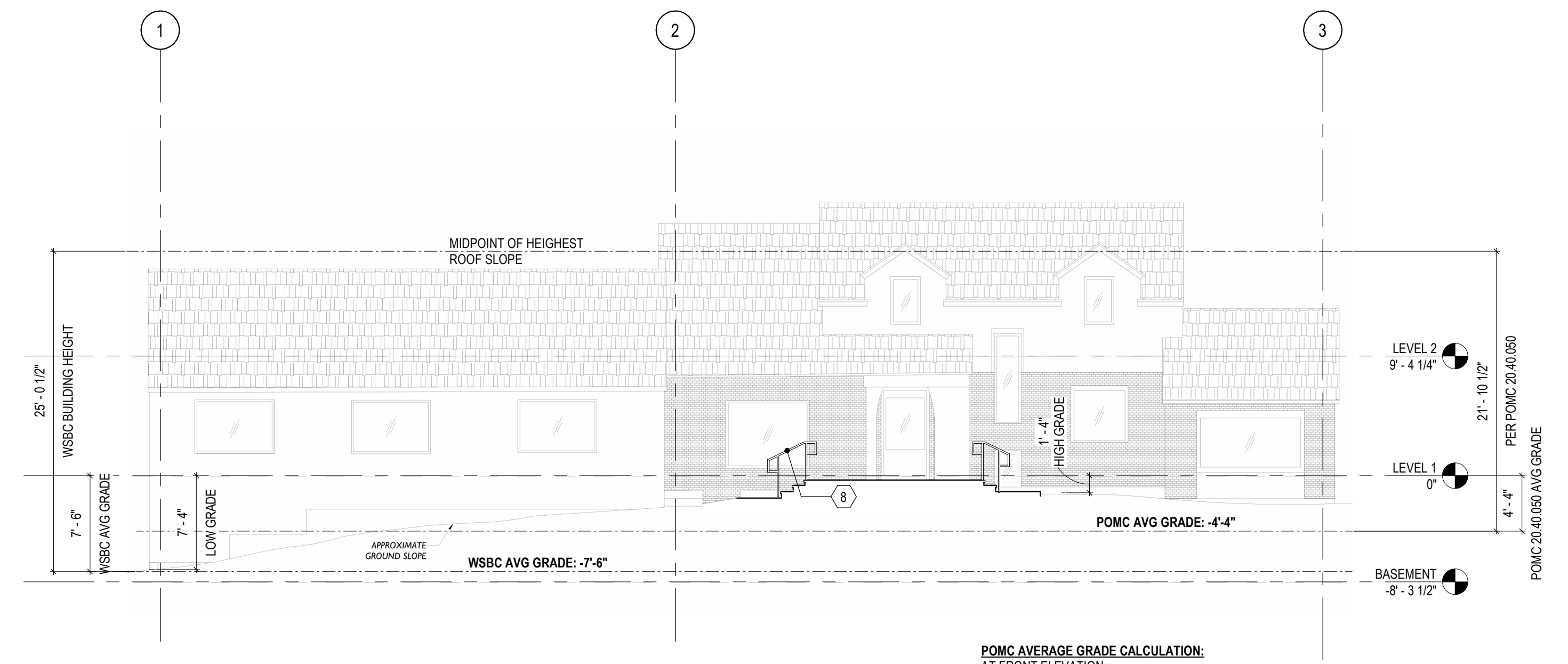
2 EXTERIOR ELEVATION - EAST NOTE: NO SCOPE OF WORK. FOR REFERENCE ONLY
1/8" = 1'-0"



4 EXTERIOR ELEVATION - NORTH NOTE: NO SCOPE OF WORK. FOR REFERENCE ONLY
1/8" = 1'-0"



3 EXTERIOR ELEVATION - WEST NOTE: NO SCOPE OF WORK. FOR REFERENCE ONLY
1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH NOTE: NO SCOPE OF WORK. FOR REFERENCE ONLY
1/8" = 1'-0"

POMC AVERAGE GRADE CALCULATION:
AT FRONT ELEVATION:
HIGHEST GRADE IS -1'-4"
LOWEST GRADE IS -7'-4"
 $-8'-8" / 2 = -4'-4"$ AVERAGE GRADE

PROJECT # 2023097

PERMIT

ISSUE DATE 05/24/2024

REVISION	DESCRIPTION

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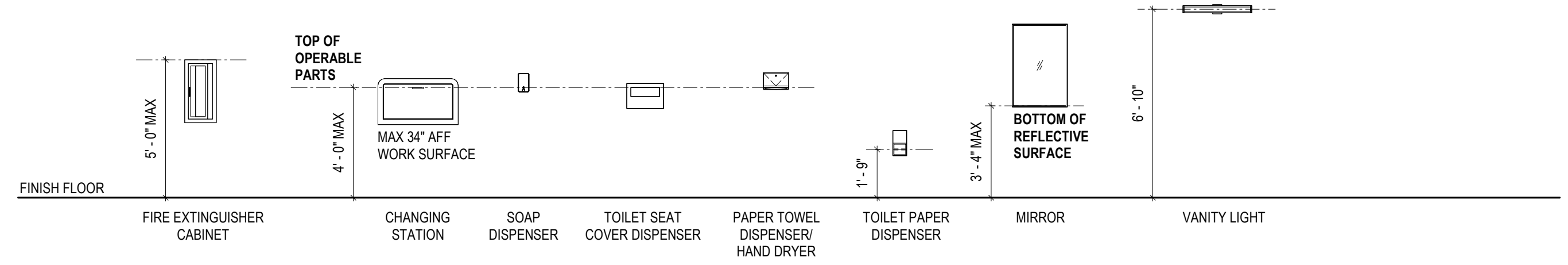
EXTERIOR ELEVATIONS

SHEET #

A31.01

LU24-CUP-04

TYPICAL MOUNTING HEIGHTS

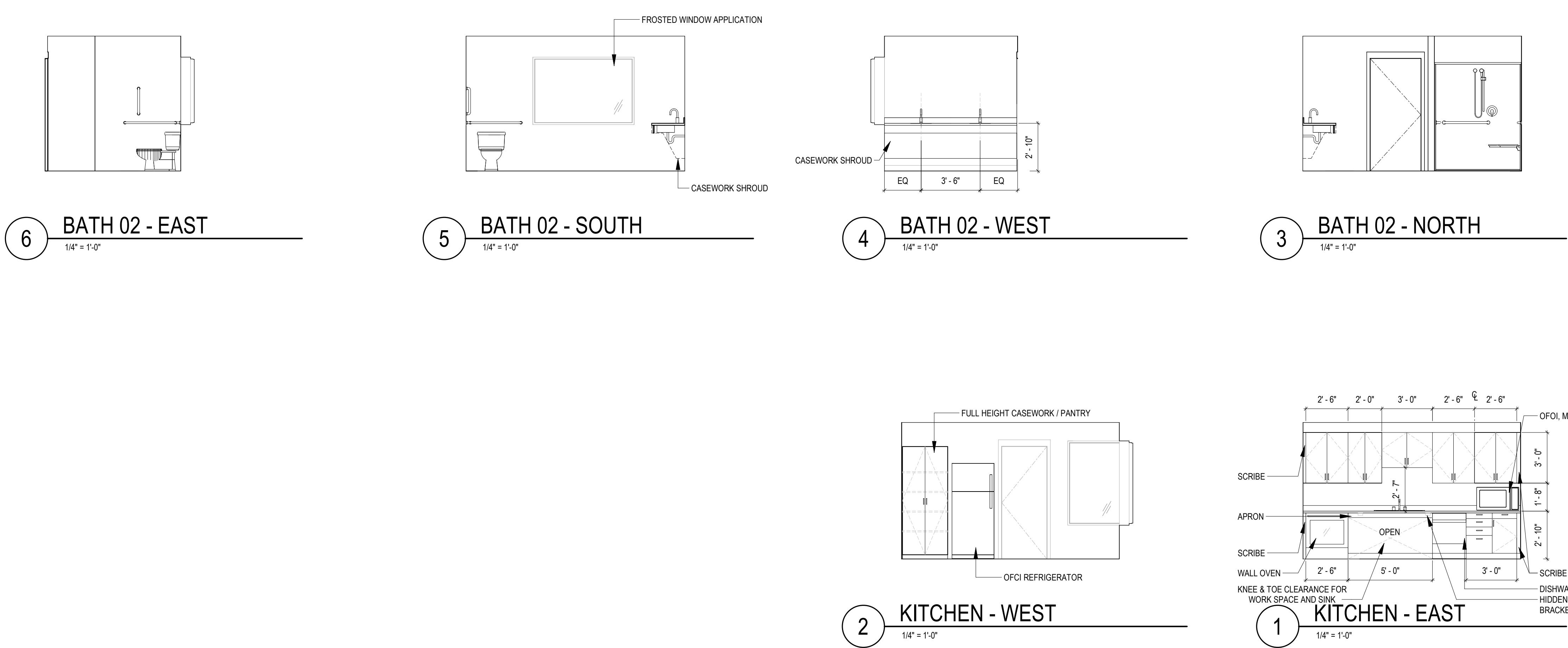
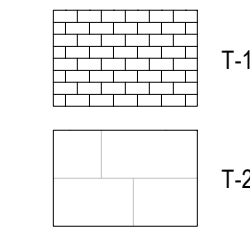


KEY NOTES - INTERIOR ELEVATIONS

#	NOTE DESCRIPTION
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NOTES & LEGEND - INTERIOR ELEVATIONS

1. REFERENCE FINISH PLAN OR FINISH SCHEDULE FOR TYPICAL ROOM FINISHES NOT SHOWN.
2. REFERENCE TYPICAL MOUNTING HEIGHTS UNLESS MOUNTING HEIGHT IS NOTED OTHERWISE.
3. GRAPHIC REPRESENTATION OF MATERIALS AND/OR FIXTURES MAY NOT BE TO SCALE.



PROJECT # 2023097

PERMIT

ISSUE DATE 05/24/2024

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

AHJ APPROVAL STAMP

INTERIOR ELEVATIONS

SHEET #

A34.01

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