

DESIGN GUIDELINES

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16.55.010 Purpose.

The purpose of this section is to ensure that developments are compact, pedestrian friendly, provide necessary infrastructure and services, and contribute to the character of the town and surrounding neighborhoods. These guidelines do not alter the land uses or densities allowed in the underlying zoning districts defined in the preceding sections of this code. Projects shall comply with all relevant criteria set forth in this chapter.

16.55.020 Block and lot layouts.

(1) Blocks should have sufficient width to provide for a maximum of two tiers of lots of appropriate depths. Exceptions should be permitted in blocks adjacent to major streets, railroads, waterways, or involving unique site conditions that make this requirement impractical.

(2) Lots to be created within a proposed site plan or subdivision should comply with the following requirements:

(a) Every lot should have a minimum frontage of 25 feet on a public or privately dedicated right-of-way. A repair and maintenance access should be provided to all lots by site plan or plat easement and property deed. Required easements shall be shown on the face of the site plan or plat.

(b) Lot lines should be at right angles to street lines or radial to curvilinear streets unless a variation will result in a better street or lot plan.

(c) Dimensions of corner lots should be large enough to allow for front yard setbacks off both streets.

(d) Corner lots should be graded to provide sufficient sight clearance at intersections.

16.55.030 Roadway elements.

(1) Right-of-Way Dedications.

(a) All site plans and subdivisions should provide direct access to at least one existing improved and publicly dedicated street.

(b) When a proposed site plan or subdivision is abutting an existing street or streets with a right-of-way of lesser width than specified by city code, the applicant may be required as a condition of approval to deed additional right-of-way width and to improve said right-of-way to the design specifications of the city engineer. The city may require dedication of right-of-way in excess of standards in the following cases:

(i) Where additional width is necessary to maintain continuity with the adjoining rights-of-way; and

(ii) Where additional width is necessary to maintain alignment with adjoining streets and sidewalks improvements.

(iii) Dead-end streets shall be used on access streets only and shall terminate in a cul-de-sac. Streets which dead-end and which would normally be continued if the adjacent property were developed should be shown as temporary turnarounds. The land beyond the normal right-of-way for such streets shall revert to the abutting property owners when the street is continued.

(c) Half-streets shall not be allowed.

(2) Street Layouts.

(a) The street within and adjacent to a site plan or subdivision should be classified and designed to comply with the road standards as adopted by city resolution or ordinance, comprehensive plan and major street map of the city. Major streets should refer to designated arterial and collector streets and minor streets should refer to access streets and cul-de-sacs.

(b) Proposed streets should extend to the boundary lines of the proposed site plan or subdivision in order to provide for the future development of adjacent tracts unless prevented by natural or manmade conditions or unless such extension is determined to be unnecessary or undesirable by the planning commission or city council.

(c) The street pattern for commercial site plans and subdivisions should be designed to expedite traffic movement, reduce conflicts between various types of land uses including pedestrian access, and coordinate the location of proposed buildings with vehicular loading and parking facilities. To the extent practical and feasible, commercial site plans should provide common driveways and integral access through or between the property and adjacent properties and surrounding residential neighborhoods.

(d) The street pattern for industrial site plans and subdivisions should be designed to expedite traffic movement, reduce conflicts between various types of land uses including pedestrian access, and coordinate the location of proposed buildings with airport, railroad, waterfront, and vehicular loading and parking facilities.

(3) Street Signage. Public street names shall conform to the city of Port Orchard system. Street signs shall be installed as designated by the city engineer before final site plan or plat approval.

16.55.040 Site plan elements.

(1) Grading and Storm Drainage.

(a) Structures, roadways, and other site improvements should be designed to blend with the natural topography with the minimum amount of site disturbance and grade changes. Large cuts and fills requiring tall or long retaining walls or rockeries are not appropriate.

(b) Major drainage corridors and detention facilities should be graded and landscaped to blend with the natural landscape in accordance with the provisions of Chapter 15.32 POMC. Where possible, stormwater facilities should be incorporated into the site's design as aesthetic amenities, enhanced portions of walkway or trail corridors, and/or special visual accents.

(c) Where retention/detention ponds are highly visible or used as a design feature, water levels within the pond should be maintained during the dry season for visual accent purposes.

(2) Landforms and View Sheds.

(a) Buildings should be fit into the existing topography to appear to be an integral part of the natural landform. On sloping sites, buildings should be stepped into the slope to reflect the sloping grade.

(b) Buildings should be placed to preserve and frame views of natural features including the waterfront and mountain ranges, and significant townscapes including the downtown and significant architectural landmarks from other properties within the surrounding view shed.

(3) Parking Lots and Areas.

(a) Parking areas or lots should be located along the side, rear or in courtyard configurations to retain a building frontage along road corridors and control the scale of the streetscape.

(b) Parking lot aisles should be aligned perpendicular to commercial, retail, and office building entries to provide protected walking spaces and visual focus on building entrances.

(c) Where feasible, parking lots should be varied in grade, bermed, and/or differentiated with planting materials to reduce the visible extent of paved surfaces.

(d) Parking structures should be integrated into surrounding buildings or streetscapes using facades, artworks, landscaping, or other means that visually filter the view of parked cars from pedestrian walkways and trails, adjacent building occupants, and the commercial roadway.

(e) Downtown streets will be reserved for short-term, customer oriented parking spaces, particularly during off-peak traffic hours and prime retail hours and events. Where possible and practical, loading activities should be accomplished from a side street or back property location to reserve through access streets for customer parking use.

16.55.050 Streetscape elements.

(1) Walkways and Trails.

(a) Buildings should front onto walkways or trails to be developed within each district in accordance with the nonmotorized transportation element of the comprehensive plan.

(b) The walkways or trails should be incorporated into the site development as the principal, publicly accessible pedestrian space and design focus of the development and between the development and adjacent properties and surrounding residential neighborhoods.

(c) The walkways or trails should integrally connect each development, particularly retail and commercial projects, with adjacent properties and residential neighborhoods.

(d) The walkways or trails should extend through parking lots and parking areas in separated medians or other placements that protect pedestrians from vehicular traffic.

(2) Walkway and Trail Corridor Zones. A minimum width of five feet of any walkway or trail corridor will be clear of any temporary furnishings in order to accommodate pedestrians. The periphery sections of the corridors, which may be combined on one side, may be used to display advertising signage, flower pots or other moveable plantings, and/or outdoor seating areas on a temporary, special event basis.

(3) Building Entry and Access.

(a) Building entry and access shall be provided within the private property beyond the public walkway or trail corridor.

(b) Vestibules and other recessed areaways should be used to define and provide pedestrian access apart from the public walkway space. Vestibules and recessed areaways should visually alert pedestrians within the public walkway or trail corridor and be sufficiently attractive to invite visual interest.

(4) Outdoor Activities.

(a) As an amenity, ground floor outdoor spaces such as plazas, squares, eating, seating areas, and/or retail alcoves and inner courtyard spaces or greens should be provided as integral parts of the development.

(b) The ground floor outdoor spaces should adjoin and be accessible from, and may occasionally spill over into, the public walkway or trail corridor space – but may not include permanent improvements or uses of the public walkway or trail corridor space.

(5) Streetscape Furnishings.

(a) Improvements to the public walkway or trail corridor spaces may utilize the public streetscape furnishings palette selected for the corridor.

(b) Improvements to the adjoining private spaces should incorporate or continue the materials, colors, and/or styles of the public furnishings palette in order to provide design continuity.

(c) Where appropriate, project developments should provide pedestrian scaled lighting fixtures to illuminate walkways, trails, parking areas, and other people spaces. Lighting shields should direct illumination onto pedestrian spaces and away from adjacent properties or uses. Generally, freestanding fixtures should not exceed 14 feet in height.

(6) Public Artworks.

(a) Building and property developments should incorporate outdoor artwork.

(b) Artwork may be permanently incorporated into functional areas that are accessible to the public including parking lots, accessory buildings and structures, as well as building entries.

(c) Where the building or site is of historical or cultural interest, interpretive signage and other exhibits or monuments should be incorporated into building or site improvements that are physically and visually accessible to the public.

16.55.060 Commercial and Mixed-Use Design Guidelines ~~Architectural elements.~~

(1) Building Frontages.

(a) Buildings that face onto commercial parking streets and/or public walkway and trail corridors should be built to front onto the pedestrian space or activity area to create continuous frontages of interest to the corridor.

(b) Buildings may abut or share common sidewalls subject to International Building Code (IBC), fire code and emergency access requirements.

(2) Building Heights. Building elevations facing public areas should incorporate offsets, modulations, and additional setbacks above the second story to reduce massing at the pedestrian scale. The purpose of this is to prevent imposing or tunnel-like effects and to visually break up long, continuous facades. It also encourages more aesthetically pleasing architecture.

(3) Modulation and Articulation.

(a) Building elevations should be horizontally modulated in no larger than 40- to 60-foot increments to create architectural relief and interest.

(b) Vestibules, entries, and other architectural adaptations should provide further visual definition and reduce the mass of larger commercial and industrial structures.

~~(c) Residential buildings should provide architectural details that create pedestrian scale and interest, such as porches, stoops, bay windows and dormers, and window and siding trim.~~

(4) Building Entries.

(a) Building entrances should be visually defined from access walkways, fronting streets, and parking areas. Building designs may use columns, arches, porches, recesses, or other concepts to create architectural focus and interest.

(b) The principal building entrance should be accessed from major walkways or trail corridors or other pedestrian ways, or otherwise address the street, opposed to the building's parking lots and access roads.

(5) Ground Floor Activities – Mixed Use Developments.

(a) First or ground floors should be devoted to retail, commercial or a similar public use with pedestrian appeal where the building fronts onto a commercial street or the public pedestrian walkway or trail corridor. Activities that serve the elderly or handicapped may be located or accessed from the ground floor or street level of proposed developments.

(b) Upper floors may be commercial or office where the building has a double frontage, but generally should be residential where the building is not publicly accessible.

(c) The first or ground floor should be at least 12 feet and preferably 14 feet in height where the ground floor use is retail or commercial, and the building fronts onto a commercial street or the public pedestrian walkway or trail corridors.

(d) Upper floors may be 10, 12 or 14 feet in height depending on occupant uses and exterior appearances.

(6) Upper Floor Balconies, Alcoves, Decks. Upper floors should incorporate balconies, alcoves, decks or other outdoor spaces to provide an amenity and increase visual definition to the building – particularly of the building frontages that face onto commercial streets and the public pedestrian walkway or trail corridors.

(7) Awnings and Canopies.

(a) As an amenity, commercial or retail developments may provide permanent or retractable awnings, overhangs, arcades or skylights sheltering pedestrians and shoppers from the elements where the public walkway or trail corridor traverses through the site.

(b) The design of awnings and canopies should provide natural lighting and openness and continuous protection from the elements but not overly obscure or shadow the walkway or trail corridor.

(c) Awnings or canopies should be hung above the display window space at least 10 to 14 feet above the public walkway with a minimum eight-foot vertical clearance.

(d) Structural supports for awnings or canopies will be provided from the building or adjacent private property. Such awnings or canopies may be supported by posts or columns within the public walkway or trail corridor with variance approval.

(8) Display Windows.

(a) Ground floor retail and commercial spaces along the public walkway or trail corridors should provide display window space to showcase commercial, retail or other public uses and wares in a storefront style typical of main street or marketplace architecture. Window space coverings should be translucent materials to provide pedestrians views into ground floor spaces and activities.

(b) The corners of buildings that are located at the intersections on commercial streets and principal public walkway or trail corridors should provide some form of visual interest such as window displays, artwork or signage.

(9) Signage.

(a) Building advertising signs may be hung from below the awnings perpendicular to the building (but no lower than a height eight feet above the walkway at the bottom of the sign), or on the face of the awning or canopy, or in the window of the retail establishment in a style and scale common of main street or marketplace architecture.

(b) Signs may be mounted on the face of the building, provided the advertising does not detract or overpower the building architecture and scale.

(c) Signs should incorporate graphics, colors, logos, and other elements as much as possible to provide visual interest and reduce “word clutter.”

(d) Within mixed use districts outside of the downtown overlay district (DOD), signs may be mounted on the face of the building, provided the advertising does not detract or overpower the building architecture and scale, and reflects the building’s elevational modulations.

(10) Accessory Buildings. Independent parking structures, storage buildings or other accessory enclosures should be designed to complement the principal, adjacent buildings in form, detail, color, and material. Generally, accessory buildings and structures should be designed with similar or complementary roof slopes and building materials as the primary structure.

(11) Rooftop Equipment. Roof-mounted mechanical equipment and other accessories that are not to be accessed or viewed from adjacent properties or public corridors should be screened and integrated into the building structure and shell.

(12) Solar Orientations. Building designs, particularly within new developments, should be located to maximize the use of passive solar potentials. Where possible, major window areas and outdoor activities should be oriented along the south-facing facades and yards.

16.55.070 Single-family residential and duplex design guidelines.

(1) Applicability. The standards in this chapter shall apply to detached single-family uses, accessory dwelling units, and duplexes in any zone they are built within.

(2) Detached single-family uses.

(a) Garage Placement and Design.

1. Where lots front on a public street and where vehicular access is from the street, garages or carports shall be set back at least five feet behind the front wall of the house or front edge of an unenclosed porch.

Exceptions:

a. Garages may project up to six feet closer to the street than the front wall of the house or front edge of an unenclosed porch provided it is set back at least 18 feet from the street and incorporates at least two of the design/detail features below. Garages placed flush with the front wall of the house shall incorporate at least one of the design/detail features below:

i. A decorative trellis or arbor over the entire garage face, above and surrounding the garage door.

ii. A balcony that extends out over the garage and includes columns.

iii. Two separate doors for two car garages instead of one large door.

iv. Decorative windows on the garage door.

v. Decorative details on the garage door. Standard squares on a garage door will not qualify as a decorative detail.

vi. A garage door color (other than white) that matches or complements the color of the house.

vii. Other design techniques that effectively deemphasize the garage, as determined by the director.

b. Garages may be placed closer to the street than the front wall of the house or front edge of an unenclosed porch, provided the garage door faces an interior lot line and features a window facing the street, so that it appears to be habitable.

2. The garage face shall occupy no more than 50 percent of the ground-level facade facing the street.

32. Where lots abut an alley, the garage or off-street parking area shall take access from the alley, unless precluded by steep topography. This requirement shall not apply to unopened alleys.

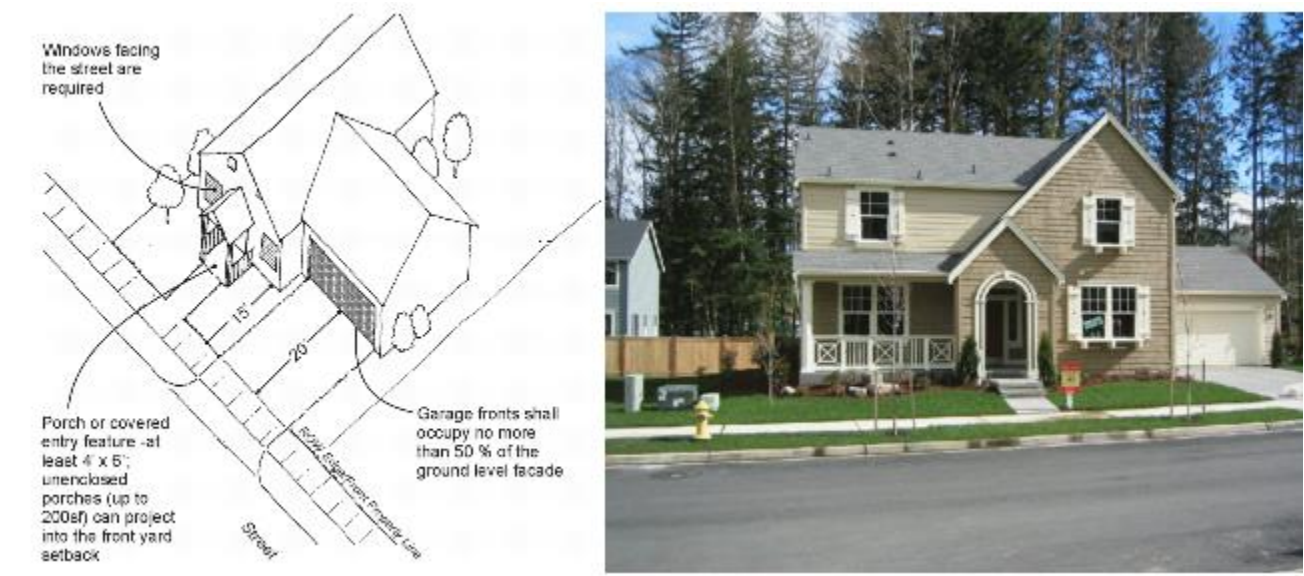


Figure 1. Garage placement/frontage standards and design.



Figure 2. Garage design/detail examples.

(b) Vehicular Access and Driveway Standards. All lots with alleys shall take vehicular access from the alley. Standards for all other lots without alleys:

1. No more than one driveway per dwelling unit (not including accessory dwelling units) shall be permitted on each street or alley frontage.
2. Driveways for individual lots 50 feet or wider may be up to 20 feet in width. [If a home will have a garage with three or more vehicle bays, the driveway may be up to 28 feet in width.](#)
3. Driveways for individual lots less than 50 feet wide may be up to [12-16](#) feet in width. Tandem parking configurations may be used to accommodate two-car garages. [Garages with more than two vehicle bays are not permitted on lots less than 50 feet wide except in tandem configurations.](#)
4. Shared driveways between two adjacent lots are permitted. No shared driveway shall exceed 24 feet in width for adjacent lots that are each less than 50 feet wide. When one or both lots are 50 feet or more in width, a shared driveway may be up to 30 feet wide.
5. Driveways shall be a minimum of 18 feet in length from the sidewalk (property line if no sidewalk is present) to the garage door or wall of the structure.

(3) Building Design.

(a) Covered Entry.

1. Front doors (excluding garage doors) should be protected by a deep recess, porch or other covered element.

2. The front doors shall be designed as a focal point on the front elevation.

All houses shall provide a covered entry with a minimum dimension of four feet by six feet. Porches up to 200 square feet in size may project into the required front yard by up to six feet. See Figure 1 for an example.

(b) Windows and Transparency.

1. Transparent windows and/or doors facing the street are required. To meet this requirement, at least 10 percent of the facade must be transparent. The facade is measured from the base of the house to the start of the roofline and any other vertical walls facing the street, except for gabled portions of the facade not containing livable floor area (see Figure 4 for clarification). Garages facing the street shall count as part of the facade.

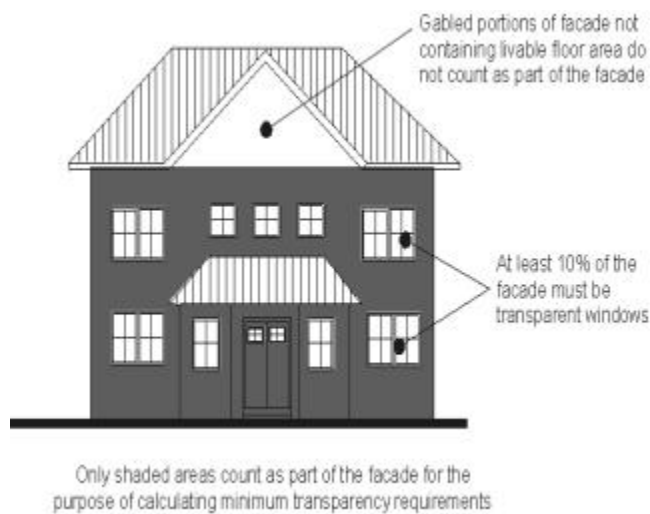


Figure 3. Facade transparency.

2. Building facades visible from a public street shall employ techniques to recess or project individual windows above the ground floor at least two inches from the facade or incorporate window trim at least four inches in width that features color that contrasts with the base building color. Exceptions will be considered where buildings employ other distinctive window or facade treatment that adds depth and visual interest to the building.



Figure 4. Acceptable (left and middle) and unacceptable (right) window design.

(c) Architectural Details. Provide for architectural details that add visual interest to the neighborhood and are well proportioned to achieve good human scale. Specifically, incorporate at least three of the following detail elements into the facade of the house:

1. Decorative porch design, including decorative columns or railings.
2. Bay windows or balconies.
3. Decorative molding/framing details around all ground floor windows and doors.
4. Decorative door design including transom and/or side lights or other distinctive feature.
5. Decorative roofline elements including brackets, multiple dormers, and chimneys.
6. Decorative building materials, including decorative masonry, shingle, brick, tile, stone, or other materials with decorative or textural qualities.
7. Landscaped trellises or other decorative elements that incorporate landscaping near the building entry.
8. Distinctive paint schemes.
9. Exceptions: Other decorative facade elements or details that meet the intent and standards as determined by the director.



Figure 5. Examples of how houses can meet architectural detail criteria. Image A includes decorative windows, building material treatment, and roofline elements. Image B includes decorative brick use, window treatments, entry design, and ventilation circles. Image C includes decorative building materials, door/entry feature, windows, and roofline elements.

(d) Architectural Variety. Developments shall achieve architectural variety by accommodating a variety of architectural styles, variations of the same architectural style, and through the use of multiple design elements. Specifically:

1. Duplicative house designs adjacent to each other are prohibited. Simple reverse configurations of the same house design on adjacent lots are not sufficient to meet architectural variety goals. Exceptions may be granted by the director in special circumstances where similar architectural consistency provides a distinct character for a cluster of homes surrounding an open space or on a particular street (cottage homes around a common open space are an example).

2. Generally, the more houses in a subdivision, the greater the number of different facade elevations will be required. Specifically:

a. Ten to 19 homes, a minimum of four different facade elevations shall be used.

b. Twenty to 39 homes, a minimum of five different facade elevations shall be used.

c. Forty to 69 homes, a minimum of six different facade elevations shall be used.

d. Seventy or more homes, a minimum of seven different facade elevations shall be used.



Figure 6. Examples of homes featuring different facade elevations. Notice the different rooflines, entry features, window designs/locations, exterior materials, and colors.

3. In order to qualify as a different facade elevation, dwellings shall have different roofline configurations, different color palettes, and different porch/entry design. In addition, a minimum of two of the following alternatives shall be utilized:

- a. Different window openings (location and design).
- b. One and two story houses.
- c. Different exterior materials and finishes.
- d. Different garage location, configuration, and design.

4. Exceptions: Other different design element that helps to distinguish one facade elevation from another as determined by the planning director.

(e) Exterior Materials.

- 1. Traditional materials consistent with local and regional architectural styles are encouraged (including, but not limited to, horizontal wood siding and brick).
- 2. Stucco and other troweled finishes should be trimmed in masonry or wood.
- 3. Mirrored glass and exposed concrete block (except for foundation/crawl space walls where not visible from the street) are prohibited. Board form concrete is acceptable.
- 4. T-111 siding and other plywood types of siding (board and batten is an exception) shall not be used for facades adjacent to or directly viewable from a street or public place.

(f) Roof Design.

A variety of articulated roof forms shall be provided for each individual home that emphasize building form to create visual interest to the neighborhood and to avoid a monotonous series of rooflines. Roof

should exhibit variety between different plans by using front-to-rear and side-to-side gabled and hipped roofs, and/or by the introduction of single-story elements. Roof materials, colors and treatments should correspond to the individual character or style of the home and should be compatible with the overall look of the neighborhood.

Provide pitched or articulated roof line, or other roof element such as eyebrow roof forms or dormers that emphasize building form and help it to fit in with neighboring structures with prominent roofs. Simple hip, shed or gable configurations are preferred. The use of alternating dormers, stepped roofs, gables or other roof elements can be used to add visual relief and articulation to the overall building form.

All buildings with pitched roofs shall have a minimum slope of four (4) feet vertical rise for every twelve (12) feet of horizontal run on the primary roof of the building. A continuous pitched roof shall extend no more than 35 linear feet unless it contains roof elements. Roof elements may include at least one of the following:

- Dormers
- Cupolas
- Gable or hip projection

Hipped roofs or similar construction are encouraged alongside yards in neighborhoods with closely-adjacent homes to maximize solar access to neighboring homes and/or private open space, as shown below.

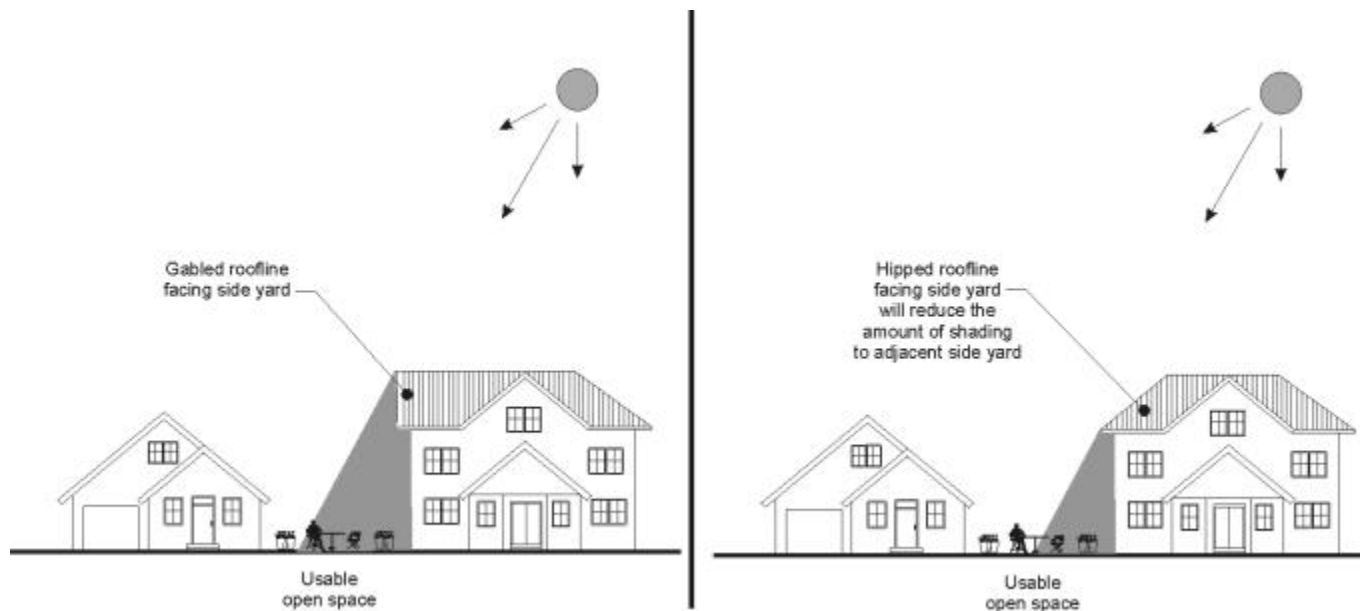


Figure 7. Encourage rooflines along the side yard that maximize solar access to adjacent homes and/or private open space.

(g) Accessory Buildings.

Accessory buildings (including detached garages) with more than 200 square feet of floor area shall be designed to be compatible with the house in scale, size, materials, detailing, and roofline, as determined by the director. Accessory buildings of any size that have more than one story (such as a loft, mezzanine or attic space), and accessory buildings that will be located within a required fire separation according to the IRC, may require a building permit.

(3) Duplexes.

Duplexes should be designed similar in nature to single-family homes and shall feature a visible entry and windows facing the street. The visibility of driveways and garages shall be minimized. Specifically, duplexes shall comply with all detached single-family design standards in this section with the following exceptions and additional provisions:

(a) For sites without alleys, duplexes may include a 20-foot-wide shared driveway or two 12-foot driveways on opposite ends of the lot.

(b) Separate covered entries for each unit are required with a minimum dimension of four feet by six feet. Porches up to 200 square feet may project into the required front yard by up to six feet.

(c) Duplexes on corner lots shall place pedestrian entries on opposite streets.

(d) At least 10 percent of the street-facing facade shall be windows or other glazing (e.g., door glazing).

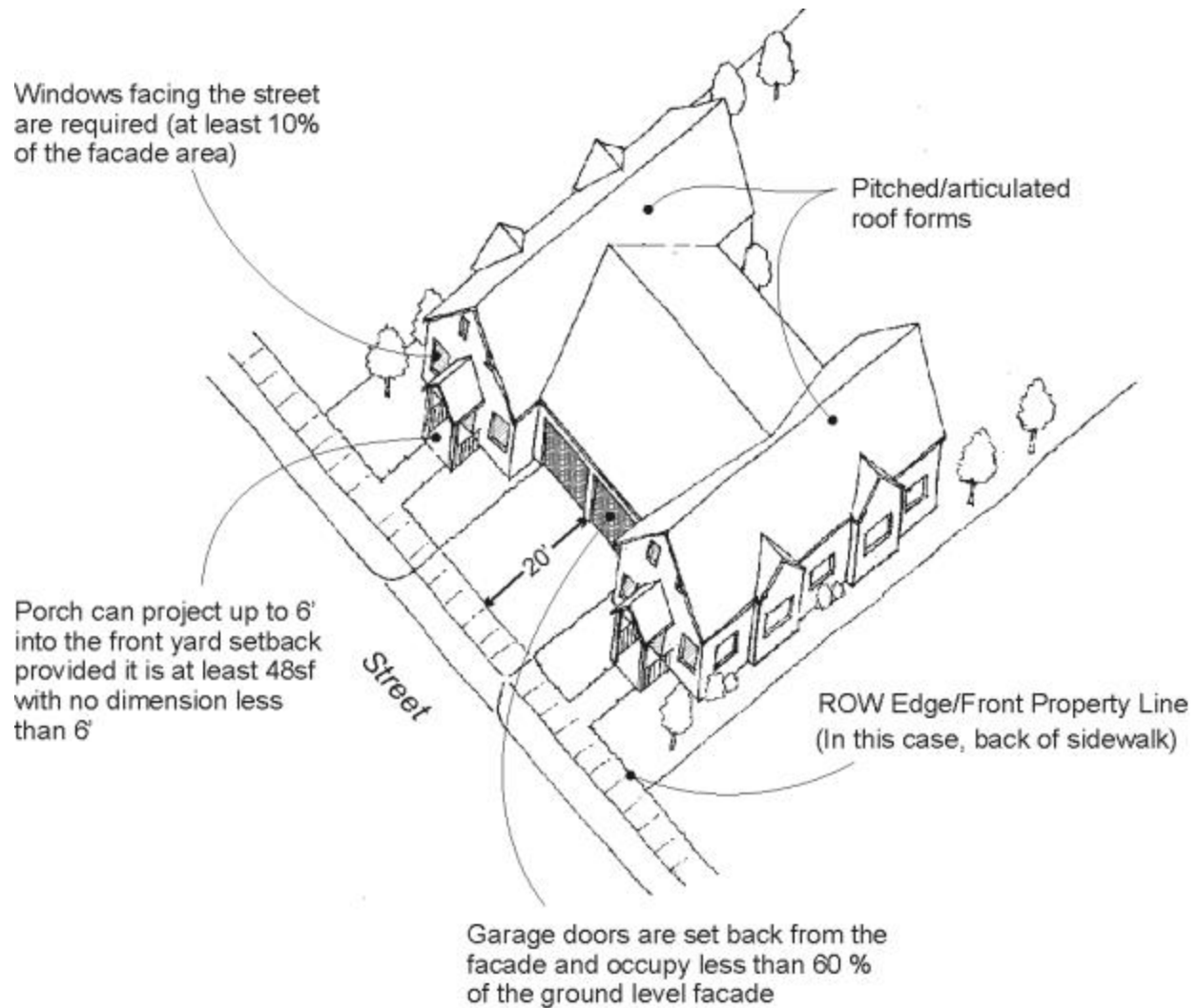


Figure 8. Duplex design standards.

16.55.080 Residential Wall and Fence Design Guidelines.

(1) General Standards.

The following standards shall apply to all residential development:

(a) Fences over 6 feet in height, retaining walls that are greater than 4 feet in height, or retaining walls of any height that support a surcharge, require a building permit and must satisfy all engineering design requirements.

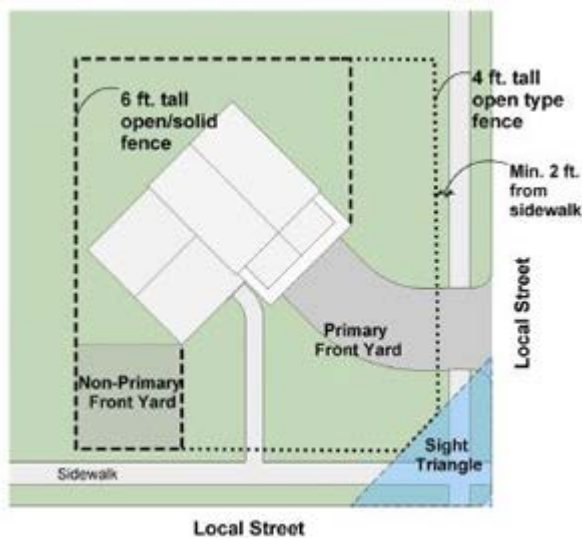
(b) Fences and walls shall either be finished (i.e. without exposed supports or stringers) on both sides, or else shall be installed so that the finished side faces any street.

(c) Fences and walls shall follow the contour of the ground as far as practicable. Adjustments for grade shall occur at the bottom of the fence to every extent possible.

(d) Permanent fencing and walls shall not be erected which restricts access by emergency equipment to any building.

(e) Solid fencing or wall sections more than 200 feet long located along a street shall include architectural features, such as masonry, brick or wood-framed columns for every 50 feet of length. The minimum separation between those features shall be no less than 10 feet.

(f) Approved columns or posts may exceed the height of the fence by 1 foot and must meet all permit and setback requirements.



(2) Fence Height

The following standards shall apply to all residential development:

(a) All fence heights shall be measured from the lowest finished grade at the location of the fence, wall or structure.

(b) If a minimum linear distance of 10 feet separates a fence and retaining wall, a fence may be erected to a height of 6 feet above the highest finished grade.

(c) All fences in the primary front yard of single-family, duplex and attached residential uses shall not exceed 4 feet in height and a minimum 50 percent open area (See Figure 10).

(d) All fences in the rear yard, side yard, non-primary front of single-family, duplex, attached residential, and multifamily uses may be solid and shall not exceed 6 feet in height. (See Figure 11)

(e) Fences in the front yard for multifamily uses may be 6 feet in height and shall be 50 percent open. Fence in the front yard for multifamily uses may be solid at the discretion of the Director.

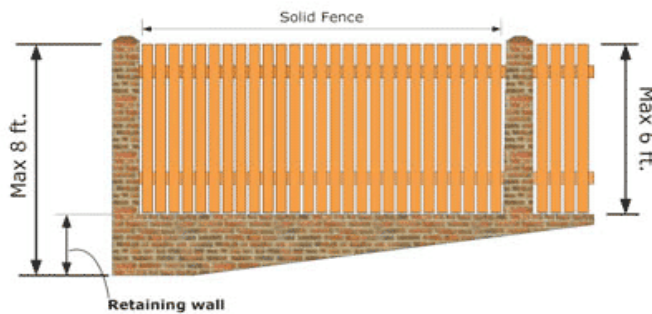
(f) A combination fence and retaining wall may be erected to a height of 6 feet above the highest

finished grade or 8 feet above the lowest finished grade, at the location of the fence, except that at no time shall the fence portion exceed 6 feet above the highest finished grade at any point (See Figure 11).

(g) A retaining wall may not elevate a fence to any height more than allowed by this section.

(h) An entry feature or trellis may have a maximum height of 10 feet and maximum width of 10 feet.

(3) Fence and Wall Placement



The following standards shall apply to all residential development:

(a) No portion of a fence shall extend beyond the property line of the fenced property into the public right-of-way unless allowed by a right-of-way use permit.

(b) All fences and walls including fence support systems such as posts, pillars and columns shall be set back at least to the property line and a minimum of 2 feet from the back edge of the

Figure 10

sidewalk to allow for safe passage by persons on a sidewalk or traveled walkway or where no sidewalk exists then 2 feet behind the edge of asphalt.

(c) Vehicular gates must be setback at a minimum 20 feet from the travel surface of the street or back of curb in order to meet vehicle stacking requirements.

(d) Gates adjacent to sidewalks, alleys and public rights-of-way shall open inward to the private property.

(e) A fence along common property lines maybe be placed at the furthest point forward of the adjacent property if the adjacent property allows for fence placement that differs from the neighbors.

(f) All fence locations on through lots shall be reviewed and approved on a case-by-case basis by the Director.

(g) Solid fences and walls may be erected to a height of 8 feet to separate a property from an arterial street or a frontage road adjacent to a highway. The Director shall consider the aesthetic, visual, and noise reduction characteristics of the fence or wall.

(h) Where a corner lot is permitted to have a solid fence along a non-primary front property line that coincides with an adjacent property's primary front yard, no fence will be permitted that creates a site distance hazard for vehicles exiting that property or for pedestrians walking along a sidewalk or traveled walkway.

(4) Fence and Wall Materials

The following standards shall apply to all residential development:

(a) Approved materials for fence construction include, but are not limited to, commercial quality wood, brick, masonry, metal, stone, wrought iron, manufactured vinyl or PVC fence material or any other material approved by the Director, unless otherwise prohibited by this ordinance.

(b) Barbed wire or razor wire is not allowed on any property used for residential purposes or any property that has residential zoning.

(c) Electrical fencing is allowed only on properties where agricultural uses are permitted by the Zoning Ordinance and shall be used solely for the enclosure of livestock.

(d) Combination fences of lattice and other decorative materials may be used in conjunction; however, at no time shall the combination exceed the overall fence height limitation.

(e) All material used in wood fences shall be either naturally rot resistant (such as cedar), or pressure treated for rot resistance.

(f) Prohibited fence materials shall include, but are not limited to, aluminum siding, vehicle parts, smooth face concrete masonry units/blocks, cloth or plastic tarps, scrap wood or any other material not customarily sold for fencing.

(g) Plastic or temporary construction fence may not be used as a permanent fence material.

(h) Approved materials for wall construction include, but are not limited to: commercial quality brick, decorative masonry units, or decorative concrete or any other material approved by the Director unless otherwise prohibited by this ordinance.