

Chapter 20.32

BUILDING TYPES

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20.32.005 Purpose.

The purpose of this chapter is to differentiate building types and provide standards for the construction of different building types to ensure a high quality public realm.

20.32.006 Applicability.

No new building may be erected within the City of Port Orchard except in conformance with this chapter.

20.32.007 Exceptions.

Mechanical equipment buildings associated with public utilities, such as well houses or sewer lift stations, shall be exempt from the standards in this chapter. This chapter shall not apply in the Light Industrial or Heavy Industrial zones (POMC 20.36).

20.32.010 Building Type Descriptions.

(1) Detached House.

- a. A building type that accommodates one dwelling unit on an individual lot with yards on all sides. A new manufactured home shall be considered a detached house for the purposes of this Title. "New manufactured home" means any manufactured home required to be titled under Title 46 RCW, which has not been previously titled to a retail purchaser, and is not a "used mobile home" as defined in RCW 82.45.032(2). A new manufactured home shall be treated as a detached house for the purposes of this Title.



b. Zones where permitted: R1, R2, R3, R6, NMU, BPMU, GB

(2) Backyard Cottage.

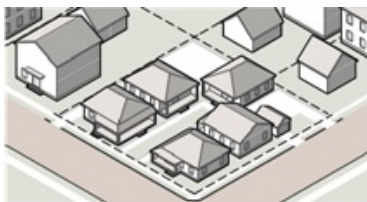
a. A small self-contained accessory dwelling located on the same lot as a detached house but physically separated.



b. Zones where permitted: R1, R2, R3, R6, NMU, BPMU, GB

(3) Cottage Court.

a. A building type that accommodates 5 to 12 detached dwelling units organized around an internal shared courtyard.



b. Zones where permitted: R1, R2, R3, R6, NMU, BPMU

(4) Duplex: Side by Side.

a. A building type that accommodates two dwelling units on an individual lot separated vertically side by side that share a common wall.



b. Zones where permitted: R2, R3, NMU, BPMU

(5) Duplex: Back to Back.

- a. A building type that accommodates two dwelling units on an individual lot separated vertically with one unit located directly behind the other unit that share a common wall.



- b. Zones where permitted: R2, R3, NMU, BPMU

(6) Attached House.

- a. A building type that accommodates two attached dwelling units located on two separate lots that share a common wall along a lot line.



- b. Zones where permitted: R2, R3, NMU, BPMU

(7) Four-Plex.

- a. A building type that accommodates 3 to 4 dwelling units vertically or horizontally integrated.



- b. Zones where permitted: R3, R4, R5, NMU

(8) Townhouse.

- a. A building type that accommodates 3 or more dwelling units where each unit is separated vertically by a common side wall and located on its own lot. Units cannot be vertically mixed. A subdivision or short subdivision may be required to construct townhouse units.



- b. Zones where permitted: R2 (2-3 dwelling unit buildings only), R3, R4, R5, NMU, CMU, GMU, BPMU

(9) Apartment.

- a. A building type that accommodates 5 or more dwelling units vertically and horizontally integrated.



- b. Zones where permitted: R3, R4, R5, NMU, CMU, GMU

(10) Live Work.

- a. A building type that accommodates 3 or more units. Units allow for residential and nonresidential uses in the same physical space. Units may be vertically or horizontally mixed.



- b. Zones where permitted: RMU, NMU, CMU, GMU, DMU, IF, CC

(11) Shopfront House.

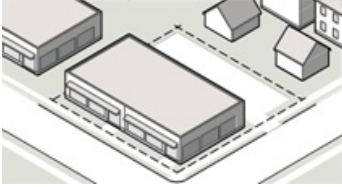
- a. A building type that typically accommodates ground floor retail, office or commercial uses with upper-story residential or office uses at a scale that complements the existing residential character of the area.



- b. Zones where permitted: NMU, CMU, RMU, GMU, CC, BPMU

(12) Single-Story Shopfront

- a. A single-story building type that typically accommodates retail or commercial uses.



- b. Zones where permitted: CMU, CC, CH, DMU, GMU

(13) Mixed Use Shopfront.

- a. A building type that typically accommodates ground floor retail, office or commercial uses with upper-story residential or office uses



- b. Zones where permitted: BPMU, CMU, DMU, CC

(14) General Building.

- a. A building type that typically accommodates ground floor retail, office, or commercial uses with upper-story residential or office uses.



- b. Zones where permitted: BPMU, CMU, GMU, CC, CH, IF, IL, IH, CI, PR, PF

(15) Manufactured or Mobile Home Park.

- a. A cluster of manufactured or mobile homes configured such that more than one mobile home is located on a lot, parcel, or tract. A manufactured or mobile home Park typically features land or un-subdivided lots leased or rented by the manufactured or mobile home owner.
- b. Zones where permitted: None. New manufactured or mobile home parks are not permitted. Existing legal nonconforming manufactured or mobile home parks may be maintained and the homes therein may be replaced.

(16) Accessory Building:

- a. An accessory building is any building of which the form and use are subordinate in both purpose and size, incidental to and customarily associated with a permitted principal building and use located on the same lot.

20.32.015 Building Type Zoning Matrix.

(1) Building Type Zoning Matrix Key:

- (a) Permitted Building Type (P). Indicates a building type is permitted in the zone.
- (b) Building Type not Permitted (--). Indicates a building type is not permitted in the zone.

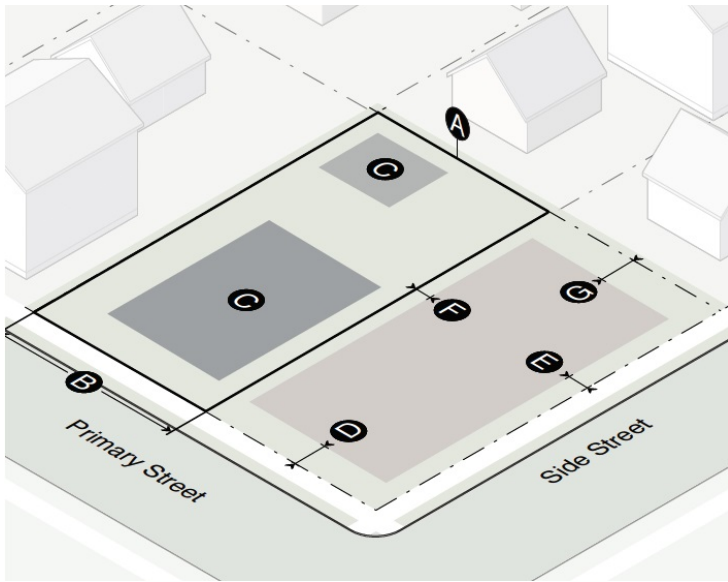
Building Type	R1	R2	R3	R4	R5	R6	GB	RMU	NMU	CMU	DMU	GMU	BPMU	CC	CH	IF	LI	HI	CI	PR	PF
Detached House	P	P	P	--	--	P	P	--	P	--	--	--	P	--	--	--	--	--	--	--	--
Backyard Cottage	P	P	P	--	--	P	P	--	P	--	--	--	P	--	--	--	--	--	--	--	--
Cottage Court	P	P	P	--	--	P	--	--	P	--	--	--	--	--	--	--	--	--	--	--	--
Duplex: Side by Side	--	P	P	--	--	--	--	--	P	--	--	--	P	--	--	--	--	--	--	--	--
Duplex: Back to Back	--	P	P	--	--	--	--	--	P	--	--	--	P	--	--	--	--	--	--	--	--
Attached House	--	P	P	--	--	--	--	--	P	--	--	--	P	--	--	--	--	--	--	--	--
Four-Plex	--	--	P	P	P	--	--	--	P	--	--	--	--	--	--	--	--	--	--	--	--
Townhouse	--	P*	P	P	P	--	--	P	--	P	--	P	P	--	--	--	--	--	--	--	--
Apartment	--	--	P	P	P	--	--	--	P	P	--	P	--	--	--	--	--	--	--	--	--
Live-Work	--	--	--	--	--	--	--	P	P	P	P	P	P	P	--	P	--	--	--	--	--
Shopfront House	--	--	--	--	--	--	--	--	P	P	P	P	P	P	--	--	--	--	--	--	--
Single-Story Shopfront	--	--	--	--	--	--	--	--	--	P	P	P	--	P	P	--	--	--	--	--	--
Mixed-Use Shopfront	--	--	--	--	--	--	--	--	--	P	P	P	P	P	--	--	--	--	--	--	--
General Building	--	--	--	--	--	--	--	--	--	P	--	P	P	P	P	P	P	P	P	P	P
Manufactured or Mobile Home Park	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--
Accessory Building	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P

* See restriction in POMC 20.32.090.

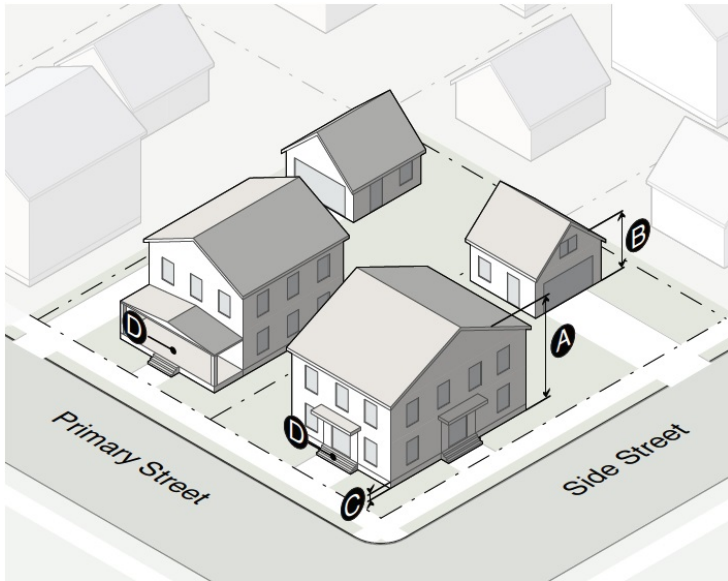
20.32.020 Detached House.



- (1) Definition: A building type that accommodates one dwelling unit on an individual lot with yards on all sides.
- (2) Districts where allowed: GB, R1, R2, R3, R6, NMU, BPMU
- (3) Lot and Placement:



- a. Minimum/Maximum Lot Area: Set by District.
 - b. Minimum Lot Width. Set by District.
 - c. Maximum Lot Coverage: Set by District.
 - d. Building and Structure Setback from Primary Street lot line: Set by District.
 - e. Building and Structure Setback from Side Street lot line: Set by District.
 - f. Building and Structure Setback from Side Interior lot line: Set by District.
 - g. Building and Structure Setback from Rear lot line: Set by District
- (4) Maximum dwelling units per lot: 1 Primary, 1 Accessory
- (5) Build to Zone (BTZ)
- a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
- (6) Height and Form:



- a. Maximum Principal Building Height: 3 stories / 35 feet max
- b. Accessory Structure: 24 feet max
- c. Minimum Ground Floor Elevation: 2 Feet Minimum
- d. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- e. Building Elements Allowed:
 - i. Balcony. See section 20.122.030
 - ii. Porch. See section 20.122.060
 - iii. Stoop. See section 20.122.070
- f. Parking Location:
 - i. Front/corner yard restrictions: See 20.122.070
 - ii. Garage door restrictions: See 20.122.070

20.32.030 Backyard Cottage



- (1) Definition: A small self-contained accessory dwelling located on the same lot as a detached house but physically separated, for use as a complete, independent living facility, with provisions for cooking, sanitation and sleeping.
- (2) Districts where allowed: R1, R2, R3, R6, NMU, RMU, BPMU, GB
- (3) Lot and Placement:



- a. Minimum/Maximum Lot Area: Set by District.
 - b. Minimum Lot Width: Set by District.
 - c. Maximum Lot Coverage: Set by District.
 - d. Building and Structure Setback from Primary Street lot line: Set by District.
 - e. Building and Structure Setback from Side Street lot line: Set by District.
 - f. Building and Structure Setback from Side Interior lot line: Set by District.
 - g. Building and Structure Setback from Rear lot line: Set by District
 - h. Minimum Building separation: 10'
 - i. Maximum Size: A backyard cottage shall not exceed 40 percent of the total square footage of the primary dwelling/detached house (excluding any garage area and other non-living areas such as workshops or greenhouses), or 1,000 square feet, whichever is less.
- (4) Max dwelling units per lot: 1 backyard cottage may be permitted as an accessory use to 1 detached house or manufactured home on a lot. Backyard cottages are not permitted in manufactured or mobile home parks.
 - (5) Build to Zone (BTZ)
 - a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
 - (6) Height and Form:



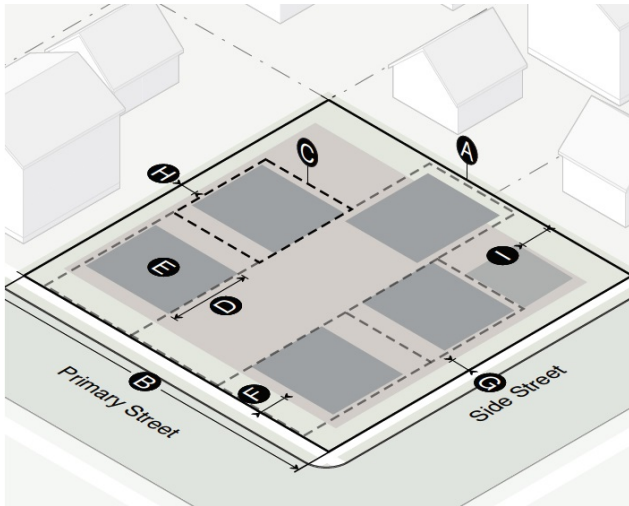
- a. Maximum Accessory Structure Height: 24 Feet
- b. Minimum Ground Floor Elevation: 2 Feet Minimum
- c. Pedestrian Access:
 - i. Entrance facing primary street: Does not apply.
- d. Building Elements Allowed:
 - i. Balcony. Does not apply.
 - ii. Porch. Does not apply.
 - iii. Stoop. Does not apply.
- e. Parking Location:
 - i. Front/corner yard restrictions: Does not apply.
 - ii. Garage door restrictions: See Chapter 20.139 of this Title.
 - iii. Additional on-site parking required: See Chapter 20.68 of this Title.

20.32.040 Cottage Court.



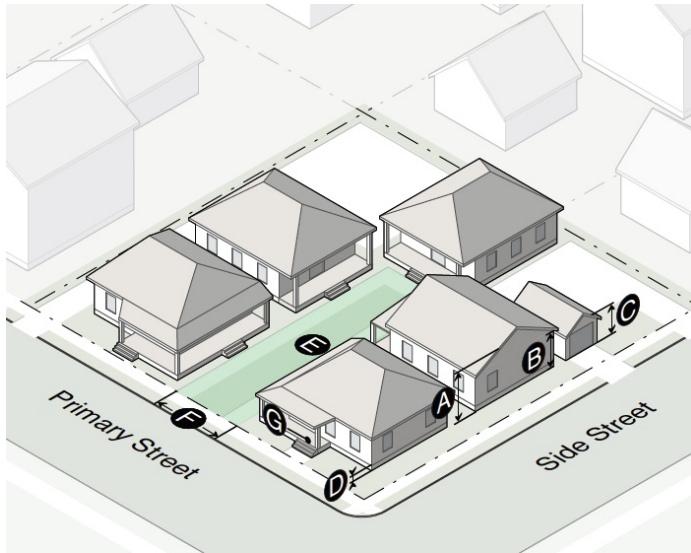


- (1) Definition: A building type that accommodates 5 to 12 detached dwelling units on individual lots organized around an internal shared courtyard. Cottage courts require an approved subdivision or short subdivision (depending on the total number of lots proposed).
- (2) Districts where allowed: R1, R2, R3, R6, RMU, NMU
- (3) Lot and Placement:



- a. Minimum Site Area: 22,500 square feet
- b. Minimum Site Width and Depth: 150'
- c. Minimum Lot Area: 1,200 square feet
- d. Minimum Lot Width: 20'
- e. Maximum Principal Building Footprint: 1,200 square feet
- f. Building and Structure Setback from Primary Street lot line: Set by District.
- g. Building and Structure Setback from Side Street lot line: Set by District.
- h. Building and Structure Setback from Side Interior lot line: Set by District.

- i. Building and Structure Setback from Rear lot line: Set by District
- (4) Maximum Dwelling Units allowed per site: 5-12
- (5) Additional site area required per dwelling unit beyond 5: 4,500 square feet
- (6) Maximum Lot Coverage: Does not apply
- (7) Build to Zone (BTZ)
 - a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
- (8) Height and Form:

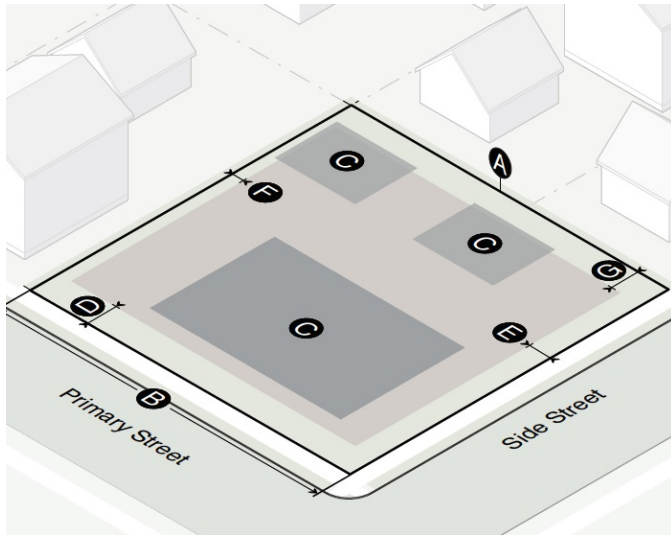


- a. Maximum Principal Building Height: 1.5 stories / 24 feet max
- b. Maximum Building Wall Plate Height: 18 feet
- c. Maximum Accessory Structure Height: 18 feet
- d. Minimum Ground Floor Elevation: 2 feet
- e. Courtyard Area:
 - i. Minimum Area: 3,000 square feet
 - ii. Additional Minimum Courtyard Area per dwelling unit beyond 5 units: 600 square foot minimum.
 - iii. Courtyard cannot be parked or driven on, except for emergency access and as permitted for temporary events.
- f. Minimum Courtyard Width:
 - i. 40 feet
- g. Building Elements Allowed:
 - i. Balcony. See section 20.122.030
 - ii. Porch. See section 20.122.060
 - iii. Stoop. See section 20.122.070
- h. Parking Location:
 - i. Front/corner yard restrictions: Not allowed.

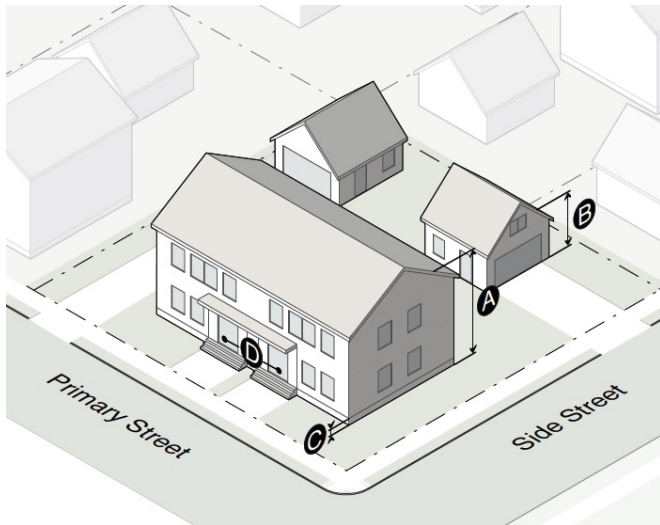
20.32.050 Duplex: Side by Side.



- (1) Definition: A building type that accommodates two dwelling units on an individual lot separated vertically side by side that share a common wall.
- (2) Districts where allowed: R2, R3, NMU, BPMU
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by district.
 - b. Minimum Lot Width: Set by district.
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
- (4) Dwellings allowed per lot: 2 min, 2 max
- (5) Build to Zone (BTZ)
- a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
- (6) Height and Form:



- a. Maximum Principal Building Height: 3 stories / 35 feet
- b. Maximum Accessory Structure Height: 24' feet

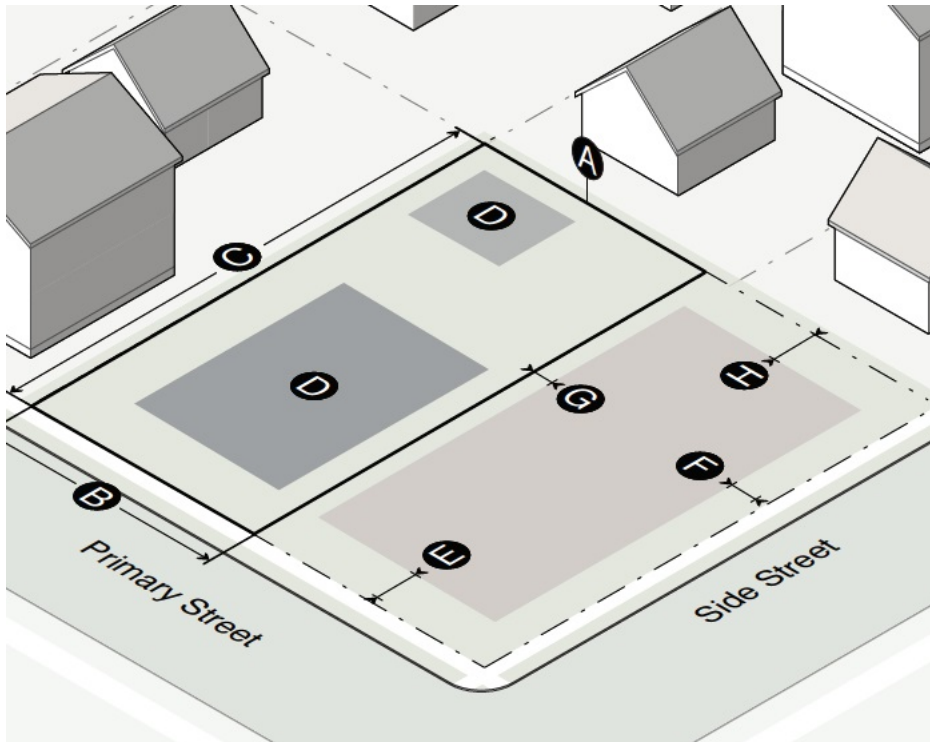
- c. Minimum Ground Floor Elevation: 2 feet Minimum
- d. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- e. Building Elements Allowed:
 - i. Balcony. See section 20.122.030
 - ii. Porch. See section 20.122.060
 - iii. Stoop. See section 20.122.070
- f. Parking Location:
 - i. Front/corner yard restrictions: See 20.32.070
 - ii. Garage door restrictions: See 20.32.070
- g. Maximum Garage Door Width for garage bays facing primary street: 10 feet.

20.32.060 Duplex: Back to Back.



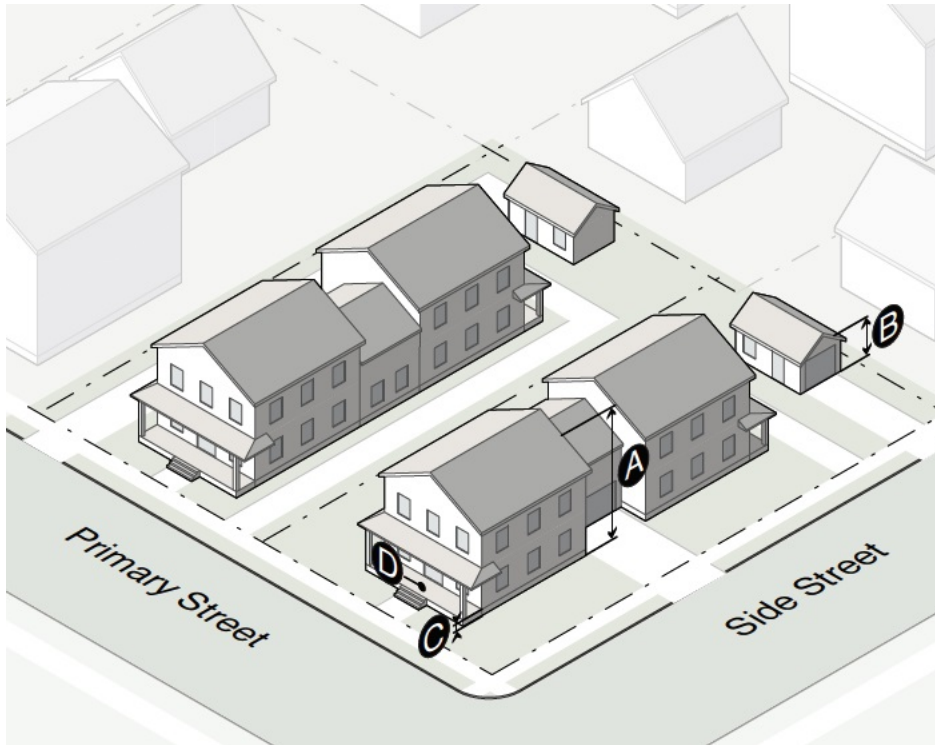


- (1) Definition: A building type that accommodates two dwelling units on an individual lot separated vertically with one unit located directly behind the other unit that share a common wall.
- (2) Districts where allowed: R2, R3, NMU, BPMU
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
- b. Minimum Lot Width: Set by District
- c. Maximum Lot Coverage: Set by District
- d. Primary Street Setback: Set by District.
- e. Side Street Setback: Set by District.
- f. Side Interior Setback: Set by District.

- g. Rear Setback: Set by District
- (4) Dwellings allowed per lot: 2 min, 2 max
- (5) Build to Zone (BTZ)
 - a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
- (6) Height and Form:

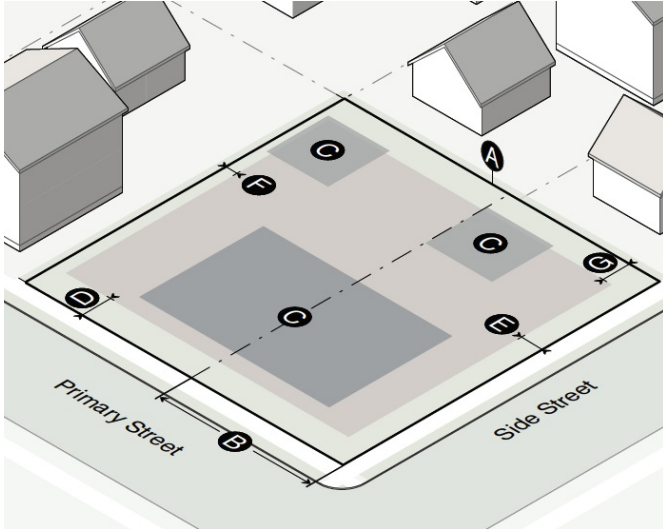


- a. Maximum Principal Building Height: 3 stories / 35 feet Max
- b. Maximum Accessory Structure Height: 24 feet Max
- c. Minimum Ground Floor Elevation: 2 feet Minimum
- d. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- e. Building Elements Allowed:
 - i. Balcony. See section 20.32.070
 - ii. Porch. See section 20.32.070
 - iii. Stoop. See section 20.32.070
- f. Parking Location:
 - i. Front/corner yard restrictions: See 20.32.070
 - ii. Garage door restrictions: See 20.32.070

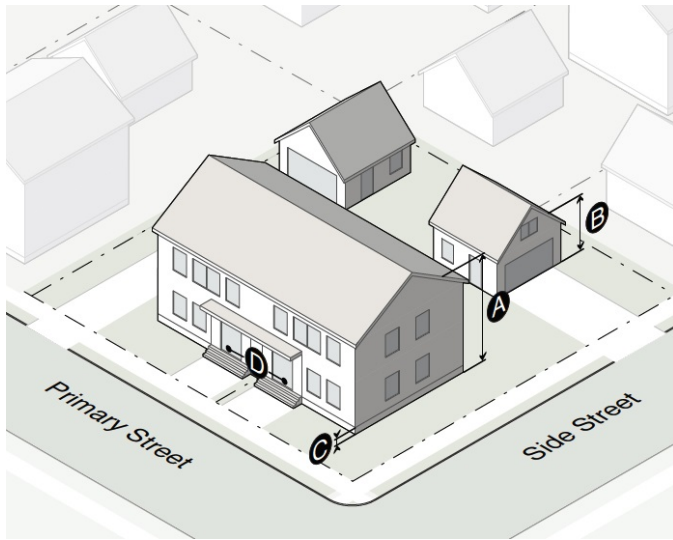
POMC 20.32.070 Attached House



- (1) Definition: A building type that accommodates two attached dwelling units located on two separate lots that share a common wall along a lot line. An attached house may require a subdivision or short subdivision.
- (2) Districts where allowed: R2, R3, NMU, BPMU
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
- (4) Dwellings allowed per lot: 1 min, 1 max
 - (5) Build to Zone (BTZ)
 - a. Building Façade in primary street BTZ: Does not apply.
 - b. Building façade in secondary street BTZ: Does not apply.
 - (6) Height and Form:



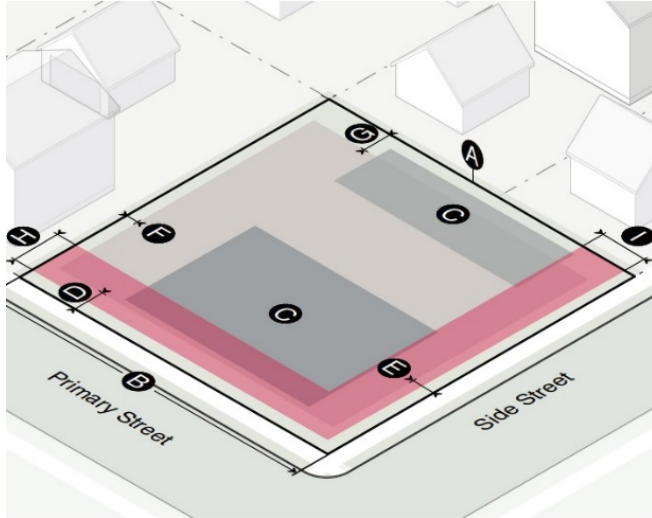
- a. Maximum Principal Building Height: 3 stories / 35 feet
- b. Maximum Accessory Structure Height: 24 feet
- c. Minimum Ground Floor Elevation: 2 feet Minimum
- d. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- e. Building Elements Allowed:
 - i. Balcony. See section 20.32.070
 - ii. Porch. See section 20.32.070
 - iii. Stoop. See section 20.32.070
- f. Parking Location:
 - i. Front/corner yard restrictions: See 20.32.070
 - ii. Garage door restrictions: See 20.32.070

20.32.080 Four-Plex.





- (1) Definition: A building type that accommodates 3-4 dwelling units vertically or horizontally integrated.
- (2) Districts where allowed: R3, R4, R5, NMU
- (3) Lot and Placement:



- a. Minimum Lot Area: 7,000 square feet
- b. Minimum Lot Width: 65'
- c. Maximum Lot Coverage: Set by District
- d. Primary Street Setback: Set by District.
- e. Side Street Setback: Set by District.
- f. Side Interior Setback: Set by District.
- g. Rear Setback: Set by District

(4) Dwellings allowed per lot: Minimum 3, Maximum 4

(5) Build to Zone (BTZ)

- a. Building Façade in primary street BTZ: Set by District.
- b. Building façade in secondary street BTZ: Set by District.

(6) Height and Form:



- a. Maximum Principal Building Height: 3 stories / 35 feet
- b. Maximum Accessory Structure Height: 24 feet
- c. Minimum Ground Floor Elevation: 2 feet
- d. Minimum Ground Floor Transparency: 20%

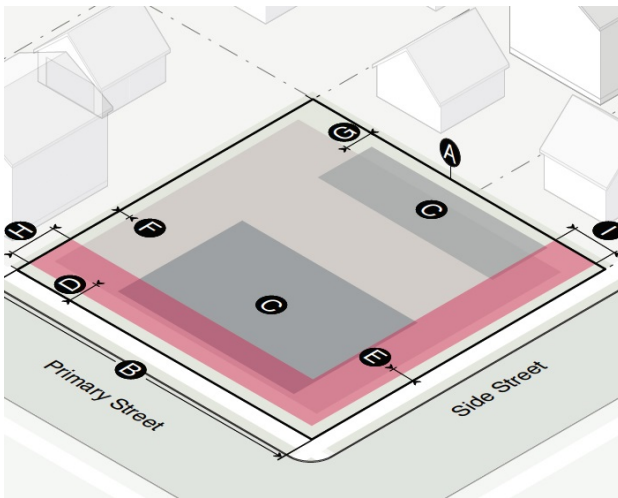
- e. Minimum Upper Floor Transparency: 20%
- f. Maximum Blank Wall Area: 35'
- g. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- h. Building Elements Allowed:
 - i. Awning/canopy. See Section 20.32.160
 - ii. Balcony. See section 20.32.070
 - iii. Porch. See section 20.32.070
 - iv. Stoop. See section 20.32.070
- i. Parking Location:
 - i. Front/corner yard restrictions: Parking Not allowed in front/corner yards.
 - ii. Garage Door Restrictions: See section 20.32.170.

20.32.090 Townhouse





- (1) Definition: A building type that accommodates 2 or more dwelling units where each unit is separated vertically by a common side wall and located on its own lot. Units cannot be vertically mixed. A subdivision or short subdivision may be required to construct townhome units.
- (2) Districts where allowed: R2 (3-4 unit residential attached only), R3, R4, R5, RMU, CMU, GMU, BPMU
- (3) Lot and Placement:



- a. Minimum Site Area: 5,000 SF Min
 - b. Minimum Site Width: 70'
 - c. Minimum Lot Area: Set by district.
 - d. Minimum Lot Width Set by district.
 - e. Maximum Lot Coverage: Set by District
 - f. Primary Street Setback: Set by District.
 - g. Side Street Setback: Set by District.
 - h. Side Interior Setback: Set by District.
 - i. Rear Setback: Set by District
- (4) Dwellings allowed per site/lot: 1 min, no max

(5) Build to Zone (BTZ)

- a. Building Façade in primary street BTZ: Set by District
- b. Building façade in secondary street BTZ: Set by District

(6) Height and Form:



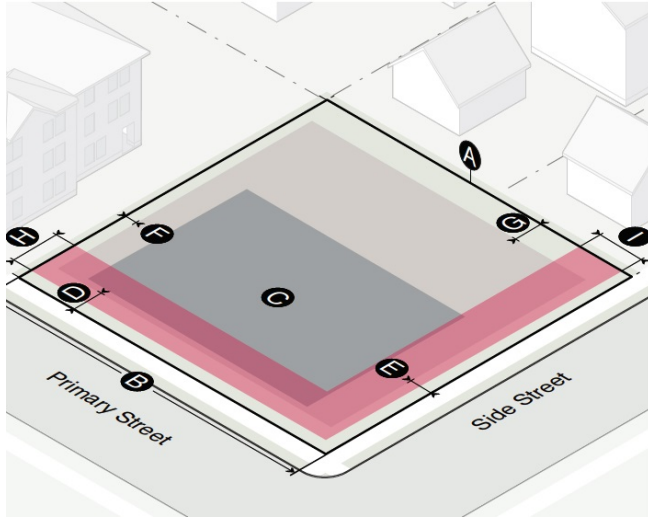
- a. Maximum Principal Building Height: 3 stories / 35 feet Max
- b. Accessory Structure: 24 feet Max
- c. Minimum Ground Floor Elevation: 2 feet Minimum
- d. Unit Width: 20 foot Min
- e. Number of Units Permitted in a row: 6 max
- f. Transparency ground story: 20% minimum
- g. Transparency upper story: 20% minimum
- h. Blank wall area: 35 feet max.
- i. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- j. Building Elements Allowed:
 - i. Awning/canopy: See section 20.32.170
 - ii. Balcony. See section 20.32.170
 - iii. Porch. See section 20.32.170
 - iv. Stoop. See section 20.32.170
- k. Parking Location:
 - i. Front/corner yard restrictions: Not allowed in front/corner yards.
 - ii. Garage door restrictions: See section 20.32.170.

20.32.100 Apartment.



(1) Definition: A building type that accommodates 5 or more dwelling units vertically and horizontally integrated.

- (2) Districts where allowed: R3, R4, R5, NMU, GMU, CMU,
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
- (4) Dwellings allowed per lot: 5 min, no max
 - (5) Build to Zone (BTZ)
 - a. Building Façade in primary street BTZ: Set by district.
 - b. Building façade in secondary street BTZ: Set by district.
 - (6) Height and Form:



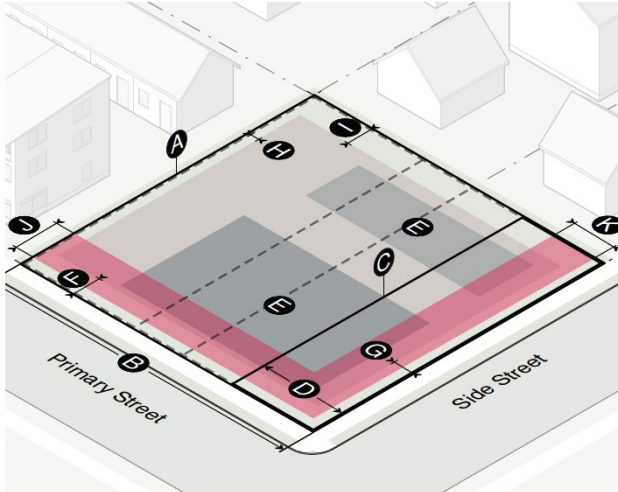
- a. Maximum building and structure height: Set by district
- b. Minimum Ground Floor Elevation: 2 feet Minimum
- c. Maximum building length:
- d. Minimum ground story transparency: 20%
- e. Minimum upper story transparency: 20%
- f. Maximum blank wall area: 35'
- g. Pedestrian Access:
 - i. Entrance facing primary street: Required.
 - ii. Entrance spacing along primary street: 100' max.
- h. Building Elements Allowed:
 - i. Awning/canopy: See section 20.32.170
 - ii. Balcony. See section 20.32.170
 - iii. Forecourt: See section 20.32.170
 - iv. Porch. See section 20.32.170
 - v. Stoop. See section 20.32.170
- i. Parking Location:
 - i. Front/corner yard restrictions: Not allowed.

20.32.110 Live Work.

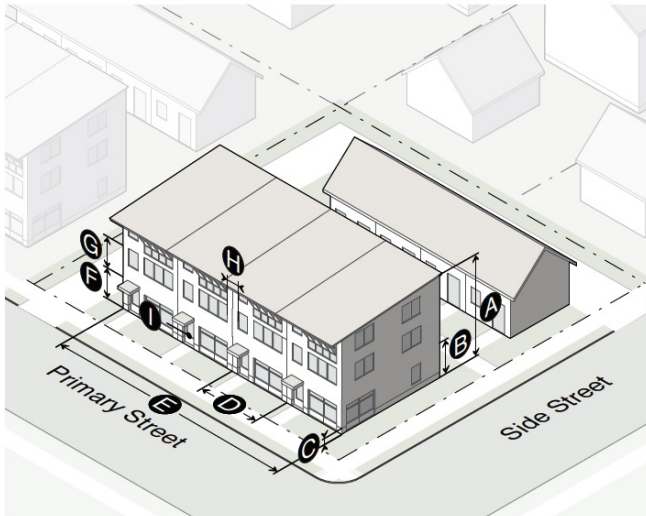




- (1) Definition: A building type that accommodates 3 or more units. Units allow for residential and nonresidential uses in the same physical space. Units may be vertically or horizontally mixed.
- (2) Districts where allowed: RMU, NMU, BPMU, CMU, GMU, DMU, IF, CC
- (3) Lot and Placement:



- a. Minimum Site Area: 4,000 square feet
 - b. Minimum Site Width: 55 feet
 - c. Minimum Lot size: Set by District.
 - d. Minimum Lot Width: 16 feet Min
 - e. Maximum Lot Coverage: Set by District
 - f. Primary Street Setback: Set by District.
 - g. Side Street Setback: Set by District.
 - h. Side Interior Setback: Set by District.
 - i. Rear Setback: Set by District
- (4) Units per lot: 1 min / no max
- (5) Build to Zone (BTZ)
- a. Building Façade in primary street BTZ: Set by District.
 - b. Building façade in secondary street BTZ: Set by District.
- (6) Height and Form:



- a. Maximum Building and Structure Height: 3 stories / 35 feet
- b. Minimum Ground Story Height: 12 feet

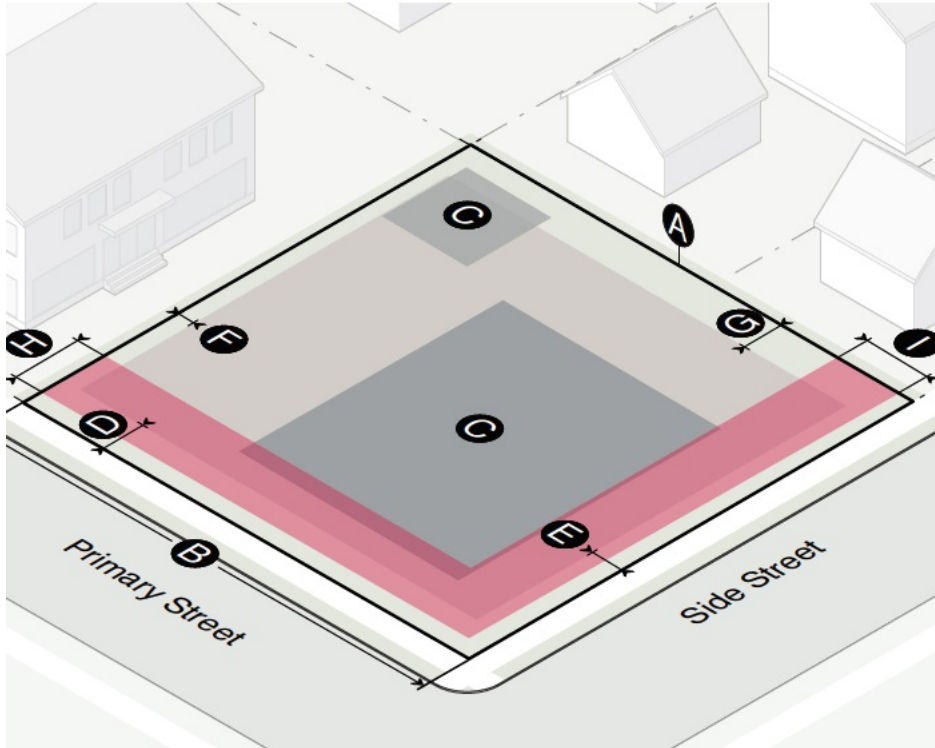
- c. Minimum Ground Floor Elevation: 2 feet
- d. Unit Width: 15 feet Min / 30 feet Max
- e. Number of Units Permitted in a Row: 6
- f. Minimum ground story transparency: 20%
- g. Minimum upper story transparency: 20%
- h. Maximum blank wall area: 35 feet
- i. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- j. Building Elements Allowed:
 - i. Awning/Canopy: See 20.32.170
 - ii. Balcony. See section 20.32.170
 - iii. Porch. See section 20.32.170
 - iv. Stoop. See section 20.32.170
- k. Parking Location:
 - i. Front/corner yard restrictions: See 20.32.170
 - ii. Garage Door Restrictions: See section 20.32.170

20.32.120 Shopfront House.

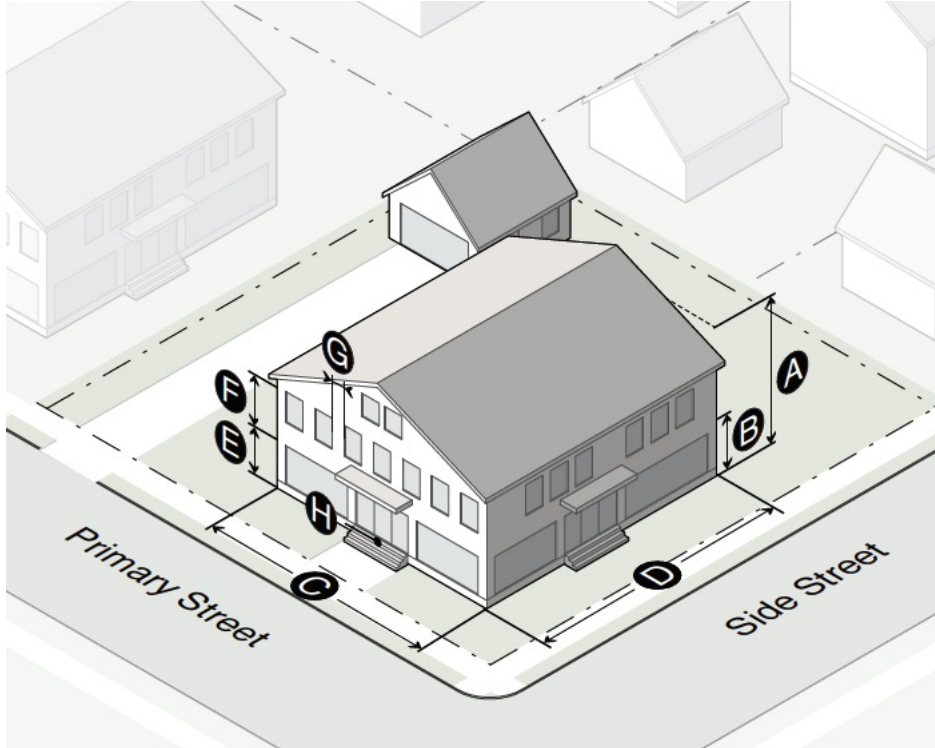




- (1) Definition: A building type that typically accommodates ground floor retail, office or commercial uses with upper-story residential or office uses at a scale that complements the existing residential character of the area.
- (2) Districts where allowed: NMU, CMU, RMU, GMU, CC, BPMU
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
- (4) Dwellings allowed per lot: 2 min, 2 max
- (5) Build to Zone (BTZ):
- a. Building Façade in primary street BTZ: Set by District
 - b. Building façade in secondary street BTZ: Set by District.



(6) Height and Form:

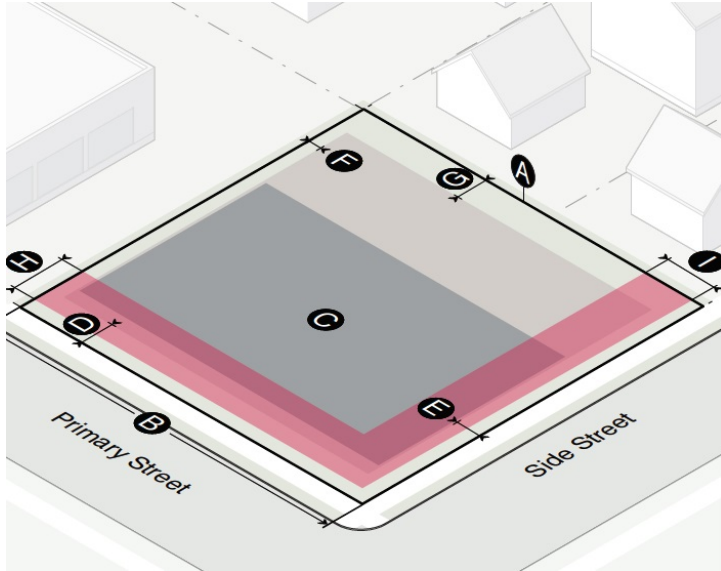
- a. Maximum Principal Building Height: 3 stories / 35 feet
- b. Minimum Ground Story Height: 10 feet
- c. Maximum Building Length: 50 feet
- d. Maximum Building depth: 75 feet
- e. Minimum ground story transparency: 40%
- f. Minimum upper story transparency: 20%
- g. Pedestrian Access:
 - i. Entrance facing primary street: Required.
- h. Building Elements Allowed:
 - i. Awning/canopy: See 20.32.170
 - ii. Balcony. See section 20.32.170
 - iii. Porch. See section 20.32.170
 - iv. Stoop. See section 20.32.170
- i. Parking Location:
 - i. Front/corner yard restrictions: Not allowed.
 - ii. Garage door restrictions: See 20.32.170.

20.32.130 Single Story Shopfront

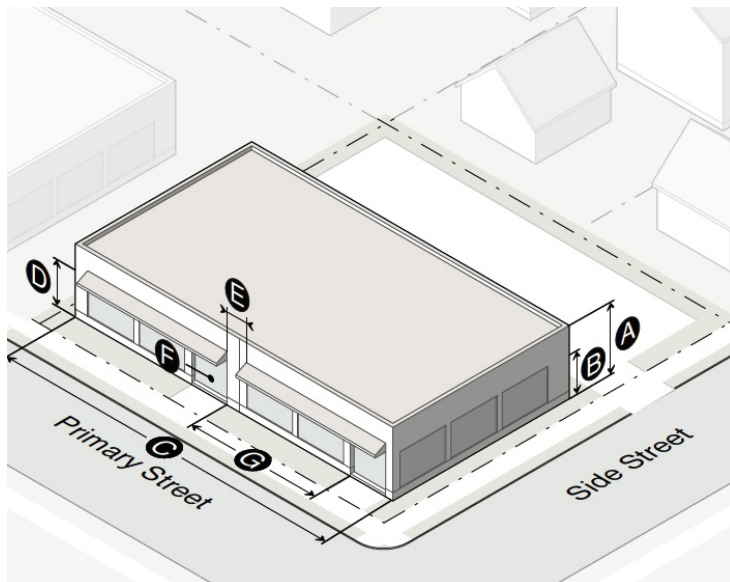


(1) Definition: A single story building type that typically accommodates retail or commercial uses.

- (2) Districts where allowed: CMU, CC, CH, DMU, GMU
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
- (4) Build to Zone (BTZ):
 - a. Building Façade in primary street BTZ: Set by district.
 - b. Building façade in secondary street BTZ: set by district.
 - (5) Height and Form:



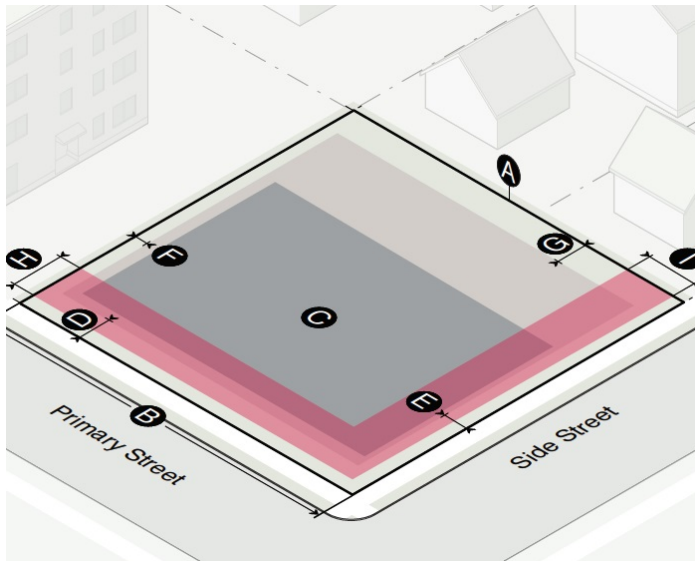
- a. Maximum Principal Building Height: 1 stories / 24 feet
- b. Minimum ground story height: 12 feet
- c. Maximum building length: 150 feet
- d. Ground story transparency:
 - i. Ground Story: 60% min
 - ii. Ground Story w/building footprint 20,000 square feet or more: 30% min
- e. Maximum Blank Wall Width:
 - i. Building footprint less than 20,000 square feet: 25 feet max width
 - ii. Building footprint 20,000 square feet or more: 75 feet max width
- f. Pedestrian Access - Entrance facing primary street: Required.
- g. Entrance spacing along primary street:
 - i. 75' max
 - ii. Building footprint of 20,000 sf or more: 125 feet max
- h. Building Elements Allowed:
 - i. Balcony. See section 20.32.170
 - ii. Forecourt. See section 20.32.170
 - iii. Gallery. See section 20.32.170
- i. Parking Location:
 - i. Front/corner yard restrictions: Set by district.

20.32.140 Mixed Use Shopfront.

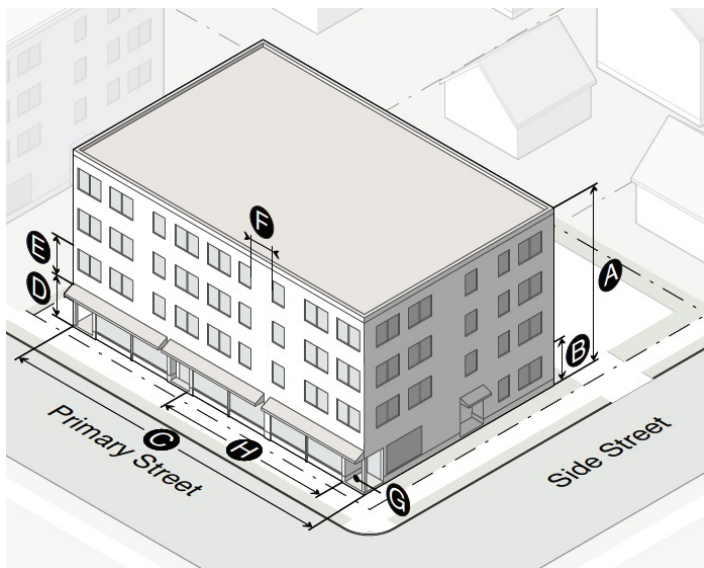




- (1) Definition: A building type that typically accommodates ground floor retail, office or commercial uses with upper-story residential or office uses
- (2) Districts where allowed: BPMU, CMU, DMU, GMU, CC
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
 - h. Build to Zone (BTZ) - Building Façade in primary street BTZ: Set by district.
 - i. Build to Zone (BTZ) - Building façade in secondary street BTZ: Set by district.
- (4) Dwellings allowed per lot: No Limit
- (5) Height and Form:



- a. Maximum Building and Structure Height: Set by District
- b. Minimum ground story height: 12 feet
- c. Maximum building length: 120 feet

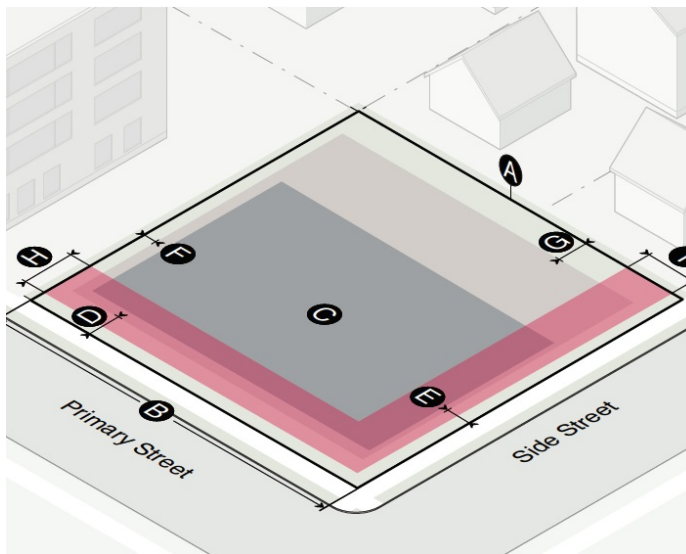
- d. Minimum ground story transparency: 60%
- e. Minimum upper story transparency: 20%
- f. Blank wall area: 25 feet max
- g. Pedestrian Access - Entrance facing primary street: Required.
- h. Entrance spacing along primary street: 75 feet max
- i. Building Elements Allowed:
 - i. Awning/Canopy. See section 20.32.170
 - ii. Forecourt. See section 20.32.170
 - iii. Gallery. See section 20.32.170
- j. Parking Location: Set by District

20.32.150 General Building



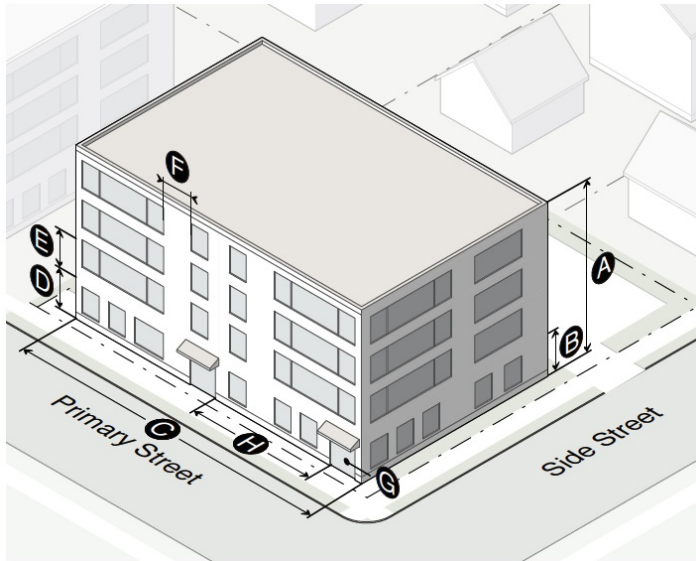


- (1) Definition: A building type that accommodates commercial, office, agricultural, or industrial uses.
- (2) Districts where allowed: BPMU, CMU, GMU, CC, CH, IF, IL, IH, CI, PR, PF
- (3) Lot and Placement:



- a. Minimum Lot Area: Set by District
 - b. Minimum Lot Width: Set by District
 - c. Maximum Lot Coverage: Set by District
 - d. Primary Street Setback: Set by District.
 - e. Side Street Setback: Set by District.
 - f. Side Interior Setback: Set by District.
 - g. Rear Setback: Set by District
 - h. Build to Zone (BTZ) - Building Façade in primary street BTZ: set by district.
 - i. Build to Zone (BTZ) - Building façade in secondary street BTZ: set by district.
- (4) Dwellings allowed per lot: Not Permitted

(5) Height and Form:



- a. Maximum Building and structure Height: Set by district
- b. Minimum Ground Story Height: 10 feet
- c. Maximum building length: 120 feet
- d. Minimum ground story transparency: 40%
- e. Minimum upper story transparency: 20%
- f. Maximum blank wall area: 50 feet
- g. Pedestrian Access - Entrance facing primary street: Required.
- h. Pedestrian Access – Entrance Spacing along Primary Street 125 feet max.
- k. Building Elements Allowed:
 - iv. Awning/Canopy. See section 20.32.170
 - v. Forecourt. See section 20.32.170
 - vi. Gallery. See section 20.32.170
- i. Parking Location: Set by district.