

**CHAPTER 20.34**  
**RESIDENTIAL DISTRICTS**

**Sections:**

- 20.34.010 Residential 1 (R1)**
- 20.34.020 Residential 2 (R2)**
- 20.34.030 Residential 3 (R3)**
- 20.34.040 Residential 4 (R4)**
- 20.34.050 Residential 5 (R5)**
- 20.34.060 Residential 6 (R6)**

**20.34.010 Residential 1 (R1)**

(1) Intent. The R1 district is intended to accommodate single-family detached houses with a minimum lot size of 1,200 - 6,000 square feet. R1 may be applied in areas designated as Residential Low or Residential Medium in the Port Orchard Comprehensive Plan. Uses and building types that would substantially interfere with the single family residential nature of the district are not allowed.

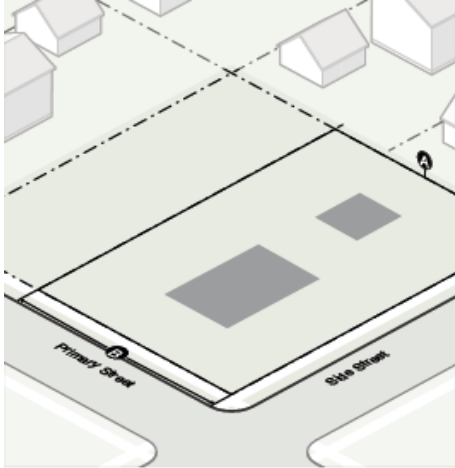
(2) Building Types Allowed. The allowed building types in the R1 zone are as follows:

- (a) Detached house (POMC 20.32.020)
- (b) Backyard Cottage (detached ADU) (POMC 20.32.030)
- (c) Accessory Buildings (POMC 20.32.010 (16))
- (d) Cottage Court (POMC 20.32.040)



**R1 Building Types**

(3) Lot Dimensions.



(a) Minimum lot size:

- i. Lots that take vehicular access from primary street: 6,000 square feet.
- ii. Lots that do not take vehicular access from primary street (lots with vehicular access from alley): 5,000 square feet.
- iii. Cottage Court: 1,200 square feet (See POMC 20.32.040).

(b) Minimum lot width: 50 feet.

(4) Maximum hard surface coverage is 50%.

(5) Principal Building Setbacks.

(a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40.020)

(b) Side Street: 10 feet minimum

(c) Side Interior: 5 feet minimum

(d) Rear: 10 feet minimum

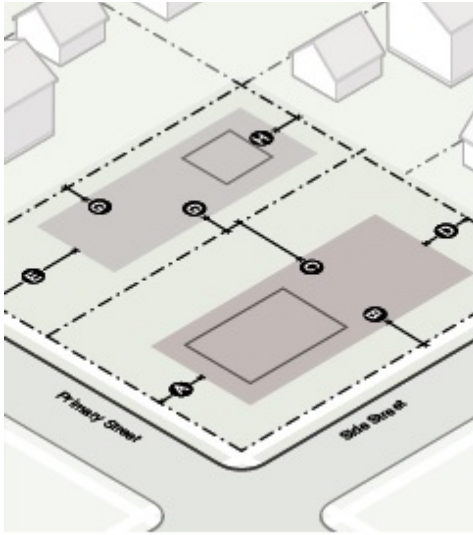
(6) Accessory Structure Setbacks.

(a) Primary Street: 40 feet minimum

(b) Side Street: 10 feet minimum

(c) Side Interior: 5 feet minimum

(d) Rear: 3 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)

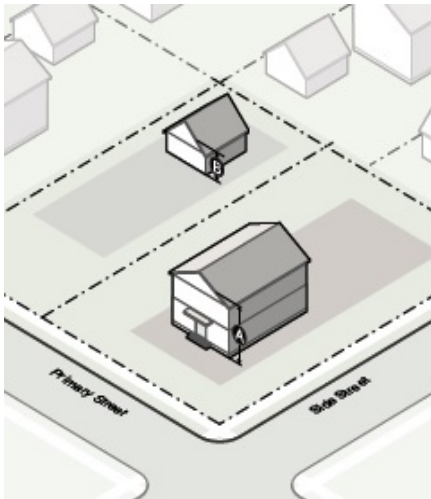


### R1 Building Placement

(7) Building height.

(a) Principal building: 3 stories/35 ft max

(b) Accessory structure: 24 ft max



### R1 Building Height

## 20.34.020 Residential 2 (R2)

(1) Intent. The R2 district is primarily intended to accommodate detached house, duplex, and townhouse development with a minimum lot size that varies based on building type. The R2 district is intended to implement the residential medium density Comprehensive Plan designation. Additional building types that are allowed include backyard cottage (detached accessory dwelling unit), cottage court, duplex and attached house. Uses that would substantially interfere with the residential nature of the district are not allowed.

(2) Building Types Allowed. The allowed building types in the R2 zone are as follows:

(a) Detached house (POMC 20.32.020)

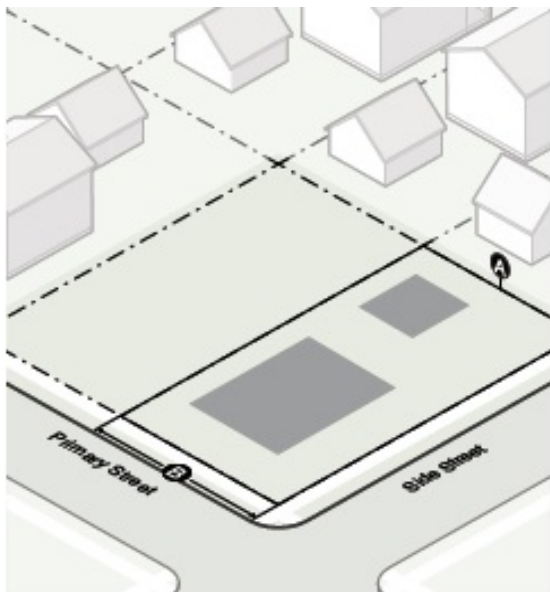
(b) Backyard Cottage (detached ADU) (POMC 20.32.030)

- (c) Cottage Court (POMC 20.32.040)
- (d) Duplex: Side by Side (POMC 20.32.050)
- (e) Duplex: Back to Back (POMC 20.32.060)
- (f) Attached House (POMC 20.32.070)
- (g) Townhouse (POMC 20.32.090) (3-4 units townhouse buildings only)
- (h) Accessory Buildings (POMC 20.32.010 (16))



**R2 Building Types**

(3) Lot Dimensions.



## R2 Lot Dimensions

### (a) Minimum Lot Size by building type:

- i. Detached house (POMC 20.32.020):
  - (A) Lots that take vehicular access from primary street: 5,000 square feet
  - (B) Lots that do not take vehicular access from primary street (lots with vehicular access from alley): 3,000 square feet
- ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable.
- iii. Cottage Court (POMC 20.32.040): 1,200 square feet
- iv. Duplex: Side by Side (POMC 20.32.050): 5,000 square feet
- v. Duplex: Back to Back (POMC 20.32.060): 5,000 square feet
- vi. Attached House (POMC 20.32.070): 2,500 square feet
- vii. Townhouse (POMC20.32.090): 2,000 square feet

### (b) Minimum Lot Width:

- i. Detached house (POMC 20.32.020):
  - A. Lots that take vehicular access from primary street: 50 feet
  - B. Lots that do not take vehicular access from primary street: 30 feet
- ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable
- iii. Cottage Court (POMC 20.32.040): 20 feet
- iv. Duplex: side by side (POMC 20.32.050):
  - A. Lots that take vehicular access from primary street: 60 feet
  - B. Lots that do not take vehicular access from primary street: 40 feet
- v. Duplex: back to back (POMC 20.32.060): 40 feet
- vi. Attached House (POMC 20.32.070):
  - A. Lots that take vehicular access from primary street: 30 feet
  - B. Lots that do not take vehicular access from primary street: 20 feet
- vii. Townhouse (POMC 20.32.090):
  - A. Lots that take vehicular access from primary street: 30 feet
  - B. Lots that do not take vehicular access from primary street: 20 feet
- viii.

(4) Maximum hard surface coverage is 70%.

### (5) Principal Building Setbacks.

(a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40.020)

(b) Side Street: 10 feet minimum

(c) Side Interior: 5 feet minimum (Except attached housing types with dwellings on individual lots such as townhouses or attached houses which do not require a side interior setback.)

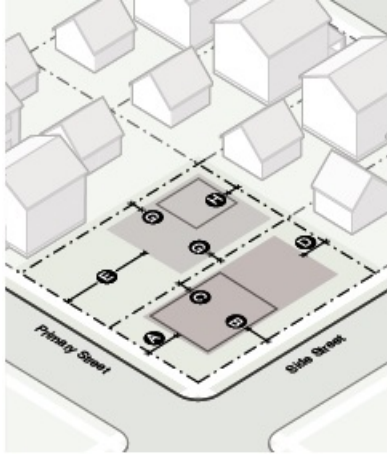
(d) Rear: 10 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)

### (6) Accessory Structure Setbacks.

(a) Primary Street: 40 feet minimum

(b) Side Street: 10 feet minimum

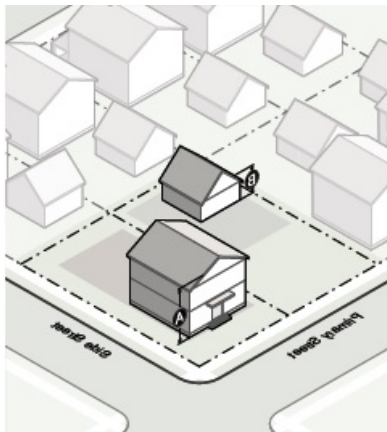
- (c) Side Interior: 5 feet minimum (Except attached housing types with dwellings on individual lots such as townhouses or attached houses which do not require a side interior setback.)
- (d) Rear: 10 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)



**R2 Building Placement**

(7) Building height.

Principal building	3 stories/35 ft max	(A)
Accessory structure	24 ft max	(B)



**R2 Building Height**

**20.34.030 Residential 3 (R3)**

(1) Intent. The R3 district is intended to accommodate a variety of residential options limited to 3 stories in height. The R3 zone should be applied in areas designated as residential medium density in the Port Orchard Comprehensive Plan. Uses that would substantially interfere with the residential nature of the district are not allowed.

(2) Building Types Allowed. The allowed building types in the R3 zone are as follows:

- (a) Detached house (POMC 20.32.020)
- (b) Backyard Cottage (detached ADU) (POMC 20.32.030)
- (c) Cottage Court (POMC 20.32.040)
- (d) Duplex: Side by Side (POMC 20.32.050)
- (e) Duplex: Back to Back (POMC 20.32.060)
- (f) Attached House (POMC 20.32.070)
- (g) Four-plex (POMC 20.32.080)
- (h) Townhouse (POMC 20.32.090)
- (i) Apartment (POMC 20.32.100)
- (j) Accessory Buildings (POMC 20.32.010 (16))



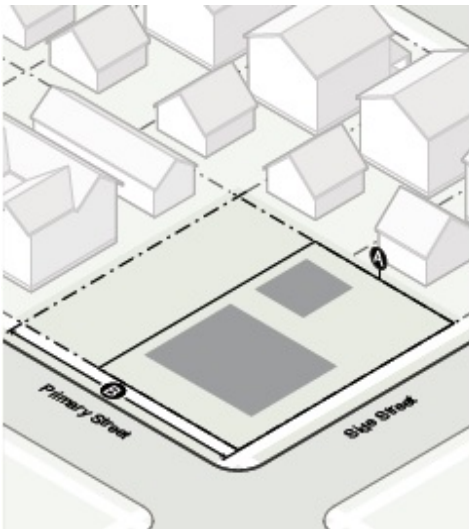
**R3 Building Types**

(3) Lot Dimensions.

(a) Minimum Lot Size by building type:

- i. Detached house (POMC 20.32.020):
  - A. Lots that take vehicular access from primary street with 3 or more side by side enclosed parking stalls (3-car garage): 5,000 square feet
  - B. Lots that take vehicular access from primary street with 2 side by side enclosed parking stalls (2-car garage): 4,000 square feet
  - C. Lots that take vehicular access from primary street with 1 side by side enclosed parking stall (1-car garage or tandem configuration 2-car garage): 2,800 square feet
  - D. Lots that do not take vehicular access from primary street (lots with access from alley): 2,400 square feet
- ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable.
- iii. Cottage Court (POMC 20.32.040): 1,200 square feet
- iv. Duplex: Side by Side (POMC 20.32.050): 5,000 square feet
- v. Duplex: Back to Back (POMC 20.32.060): 5,000 square feet

- vi. Attached House (POMC 20.32.070): 2,000 square feet
  - vii. Four-plex: 7,000 square feet
  - viii. Townhouse (POMC 20.32.090): 800 square feet
  - ix. Apartment (POMC 20.32.100): 10,000 square feet
- (b) Minimum Lot Width:
- i. Detached house (POMC 20.32.020):
    - A. Lots that take vehicular access from primary street: 36 feet
    - B. Lots that do not take vehicular access from primary street: 26 feet
  - ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable
  - iii. Cottage Court (POMC 20.32.040): 20 feet
  - iv. Duplex: Side by Side (POMC 20.32.050):
    - A. Lots that take vehicular access from primary street: 60 feet
    - B. Lots that do not take vehicular access from primary street: 40 feet
  - v. Duplex: Back to Back (POMC 20.32.060): 40 feet
  - vi. Attached House (POMC 20.32.070):
    - A. Lots that take vehicular access from primary street: 30 feet
    - B. Lots that do not take vehicular access from primary street: 20 feet
  - vii. Four-plex (POMC 20.32.080): 60 feet
  - viii. Townhouse:
    - A. Lots that take vehicular access from primary street: 30 feet
    - B. Lots that do not take vehicular access from primary street: 16 feet
  - ix. Apartment: 80 feet



**R3 Lot Dimensions**

- (4) Maximum hard surface coverage is 80%.
- (5) Principal Building Setbacks.
  - (a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40.020)
  - (b) Side Street: 10 feet minimum
  - (c) Side Interior: 5 feet minimum (Except attached housing types with dwellings on individual lots such as townhouses or attached houses which do not require a side interior setback.)



(d) Rear: 10 feet minimum

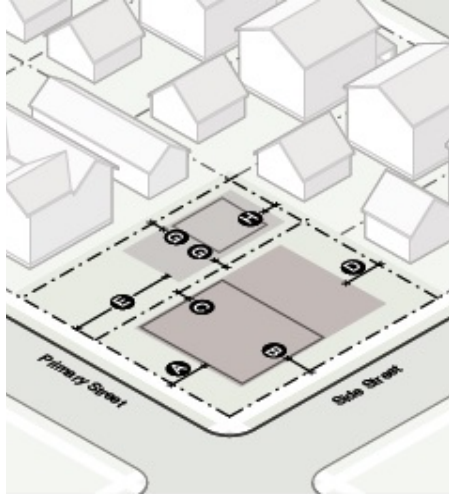
(6) Accessory Structure Setbacks.

(a) Primary Street: 40 feet minimum

(b) Side Street: 10 feet minimum

(c) Side Interior: 5 feet minimum

(d) Rear: 10 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)



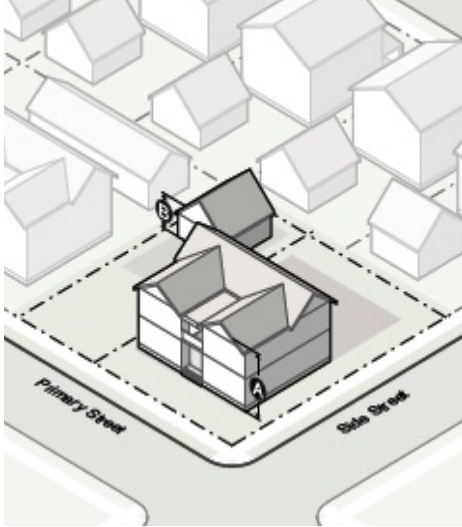
### R3 Building Placement

(7) Building height.

Principal building      3 stories/35 ft max      (A)

Note: If a property is located within an area designated by the City as a receiving site for the transfer of development rights, additional height for apartment buildings may be allowed. Refer to Chapter 20.41, Transfer of Development Rights, for additional information.

Accessory structure      24 ft max      (B)



### **R3 Building Height**

### **Residential 4 (R4)**

(1) Intent. The R4 district is intended to accommodate a variety of multifamily residential options at heights of 45 feet or less. Uses that would substantially interfere with the residential nature of the district are not allowed.

(2) Building Types Allowed. The allowed building types in the R4 zone are as follows:

- (a) Cottage Court (POMC 20.32.040)
- (b) Four-plex (POMC 20.32.080)
- (c) Townhouse (POMC 20.32.090)
- (d) Apartment (POMC 20.32.100)
- (e) Accessory Buildings (POMC 20.32.010 (16))



#### **R4 Building Types**

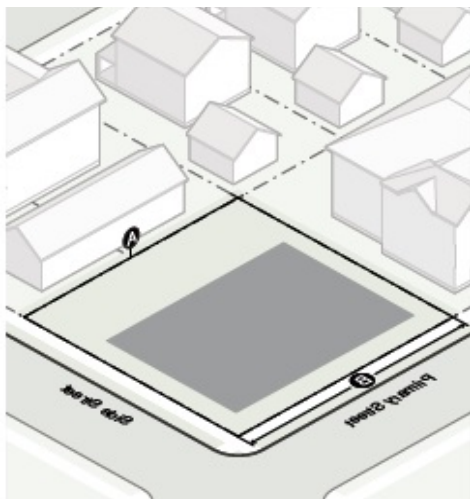
#### **(3) Lot Dimensions.**

##### **(a) Minimum Lot Size by building type:**

- i. Cottage Court (POMC 20.32.040): 1,200 square feet
- ii. Four-plex: 7,000 square feet
- iii. Townhouse (POMC 20.32.090): 800 square feet
- iv. Apartment (POMC 20.32.100): 10,000 square feet

##### **(b) Minimum Lot Width:**

- i. Cottage Court (POMC 20.32.040): 20 feet
- ii. Four-plex (POMC 20.32.080): 60 feet
- iii. Townhouse:
  - A. Lots that take vehicular access from primary street: 30 feet
  - B. Lots that do not take vehicular access from primary street: 16 feet
- iv. Apartment: 80 feet



### R4 Lot Dimensions

(4) Maximum hard surface coverage is: 80%.

(5) Building Setbacks.

(a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40.020)

(b) Side Street: 10 feet minimum

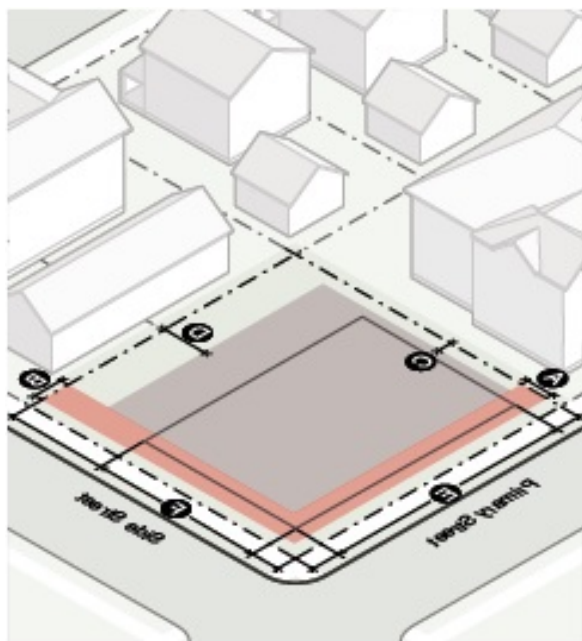
(c) Side Interior: 5 feet minimum (Except attached housing types with dwellings on individual lots such as townhouses which do not require a side interior setback.)

(d) Rear: 10 feet minimum (4 feet minimum where abutting an alley).

(6) Build-to-Zone (BTZ).

(a) Building façade in primary street: 60% min BTZ (% of lot width)

(b) Building façade in side street: 30% min BTZ (% of lot width)



### R4 Building Placement

(7) Building height:

- (a) All buildings and structures: 4 stories/45 feet maximum

Note: If a property is located within an area designated by the City as a receiving site for the transfer of development rights, additional height for apartment buildings may be allowed. Refer to Chapter 20.41, Transfer of Development Rights, for additional information.



**R4 Building Height**

**Residential 5 (R5)**

(1) Intent. The R5 district is intended to accommodate a variety of multifamily residential options at heights of 55 feet or less. Uses that would substantially interfere with the residential nature of the district are not allowed.

(2) Building Types Allowed. The allowed building types in the R5 zone are as follows:

- (a) Cottage Court (POMC 20.32.040)
- (b) Four-plex (POMC 20.32.080)
- (c) Townhouse (POMC 20.32.090)
- (d) Apartment (POMC 20.32.100)
- (e) Accessory Buildings (POMC 20.32.010 (16))



### R5 Building Types

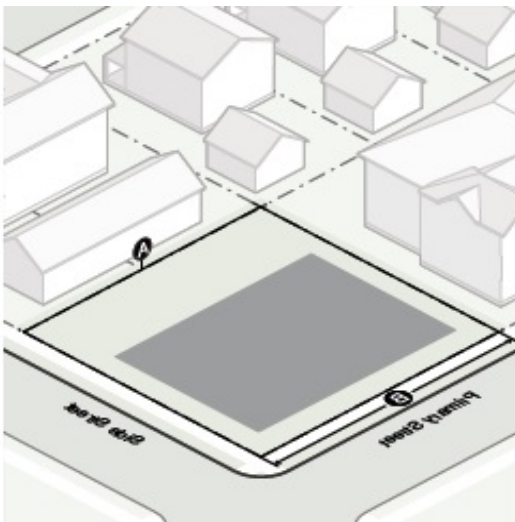
#### (3) Lot Dimensions.

##### (a) Minimum Lot Size by building type:

- i. Cottage Court (POMC 20.32.040): 1,200 square feet
- ii. Four-plex: 7,000 square feet
- iii. Townhouse (POMC 20.32.090): 1,000 square feet
- iv. Apartment (POMC 20.32.100): 10,000 square feet

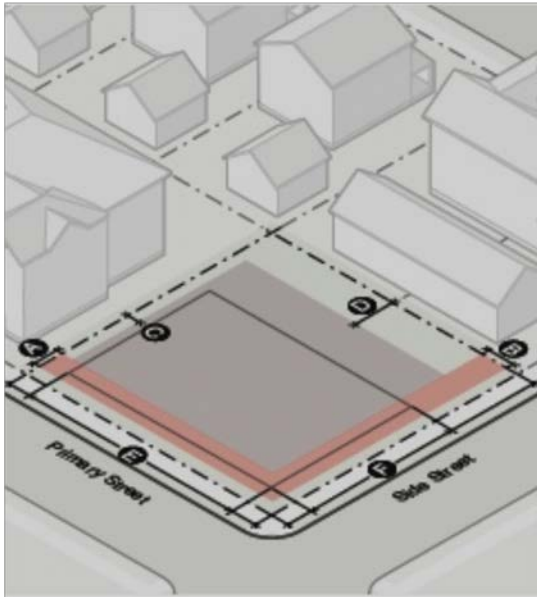
##### (b) Minimum Lot Width:

- v. Cottage Court (POMC 20.32.040): 20 feet
- vi. Four-plex (POMC 20.32.080): 60 feet
- vii. Townhouse:
  - i. Lots that take vehicular access from primary street: 30 feet
  - ii. Lots that do not take vehicular access from primary street: 16 feet
- viii. Apartment: 80 feet



## R5 Lot Dimensions

- (4) Maximum hard surface coverage is 80%.
- (5) Principal Building Setbacks.
  - (a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40.020)
  - (b) Side Street: 10 feet minimum
  - (c) Side Interior: 5 feet minimum (Except attached housing types with dwellings on individual lots such as townhouses which do not require a side interior setback.)
  - (d) Rear: 10 feet minimum (4 feet minimum where abutting an alley).
- (6) Build-to-Zone (BTZ).
  - (a) Building façade in primary street: 60% min BTZ (% of lot width)
  - (b) Building façade in side street: 30% min BTZ (% of lot width)



## R5 Building Placement

- (7) Building height.
    - (a) All buildings and structures: 5 stories/55 feet maximum
- Note: If a property is located within an area designated by the City as a receiving site for the transfer of development rights, additional height for apartment buildings may be allowed. Refer to Chapter 20.41, Transfer of Development Rights, for additional information.



**R5 Building Height**

#### **20.34.020 Residential 6 (R6)**

(1) Intent. The R6 district is primarily intended to accommodate detached house development with a minimum lot size that varies based on building type. The R6 district is intended to implement the residential medium density Comprehensive Plan designation in selected parts of the McCormick Woods master planning area. Additional building types that are allowed include backyard cottage (detached accessory dwelling unit), cottage court, duplex and attached house. Uses that would substantially interfere with the residential nature of the district are not allowed.

(2) Building Types Allowed. The allowed building types in the R6 zone are as follows:

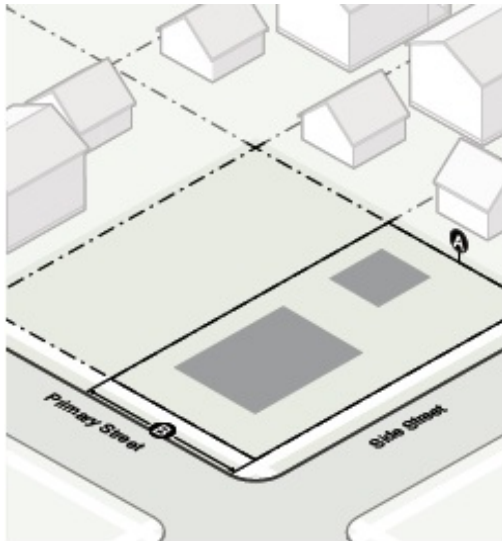
- (a) Detached house (POMC 20.32.020)
- (b) Backyard Cottage (detached ADU) (POMC 20.32.030)
- (c) Cottage Court (POMC 20.32.040)
- (d) Duplex: Side by Side (POMC 20.32.050)
- (e) Duplex: Back to Back (POMC 20.32.060)
- (f) Attached House (POMC 20.32.070)
- (g) Accessory Buildings (POMC 20.32.010 (16))





### R6 Building Types

(3) Lot Dimensions.



### R6 Lot Dimensions

(a) Minimum Lot Size by building type:

- i. Detached house (POMC 20.32.020): 4,000 square feet
- ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable.
- iii. Duplex: Side by Side (POMC 20.32.050): 5,000 square feet
- iv. Duplex: Back to Back (POMC 20.32.060): 5,000 square feet  
Attached House (POMC 20.32.070): 2,500 square feet

(b) Minimum Lot Width:

- i. Detached house (POMC 20.32.020): 40 feet
- ii. Backyard Cottage (detached ADU) (POMC 20.32.030): Not Applicable
- iii. Duplex: side by side (POMC 20.32.050):
  - A. Lots that take vehicular access from primary street: 60 feet
  - B. Lots that do not take vehicular access from primary street: 40 feet
- ix. Duplex: back to back (POMC 20.32.060): 40 feet
- x. Attached House (POMC 20.32.070):
  - A. Lots that take vehicular access from primary street: 30 feet
  - B. Lots that do not take vehicular access from primary street: 20 feet

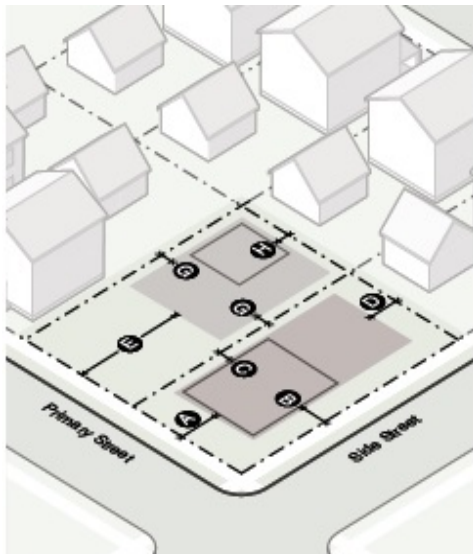
(4) Maximum hard surface coverage is 75%.

(5) Principal Building Setbacks.

- (a) Primary Street: 10 feet minimum or average front setback (See POMC 20.40)
- (b) Side Street: 10 feet minimum
- (c) Side Interior: 5 feet minimum
- (d) Rear: 10 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)

(6) Accessory Structure Setbacks.

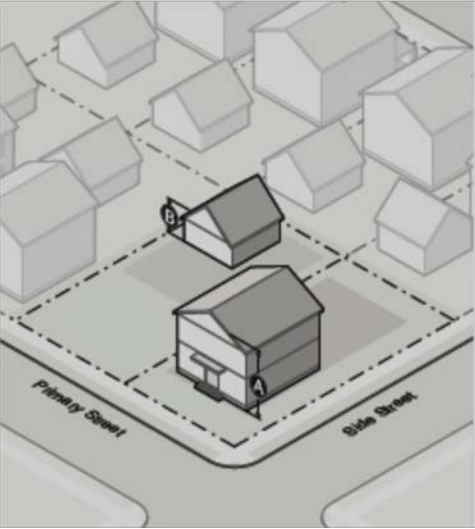
- (a) Primary Street: 40 feet minimum
- (b) Side Street: 10 feet minimum
- (c) Side Interior: 5 feet minimum
- (d) Rear: 10 feet minimum (Rear setback for an accessory structure abutting an alley may be reduced to 2 feet)



**R6 Building Placement**

(7) Building height.

- (a) Principal building: 3 stories/35 ft max
- (b) Accessory structure: 24 ft max



**R6 Building Height**