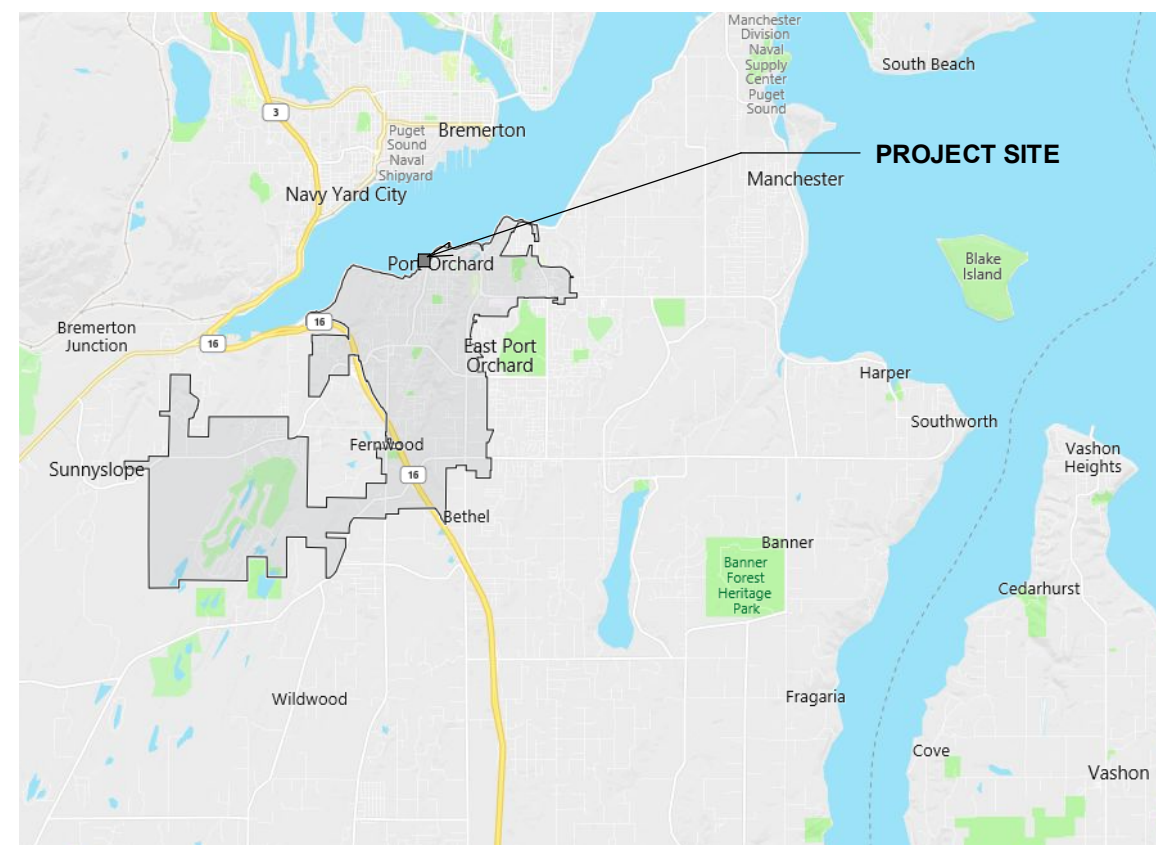
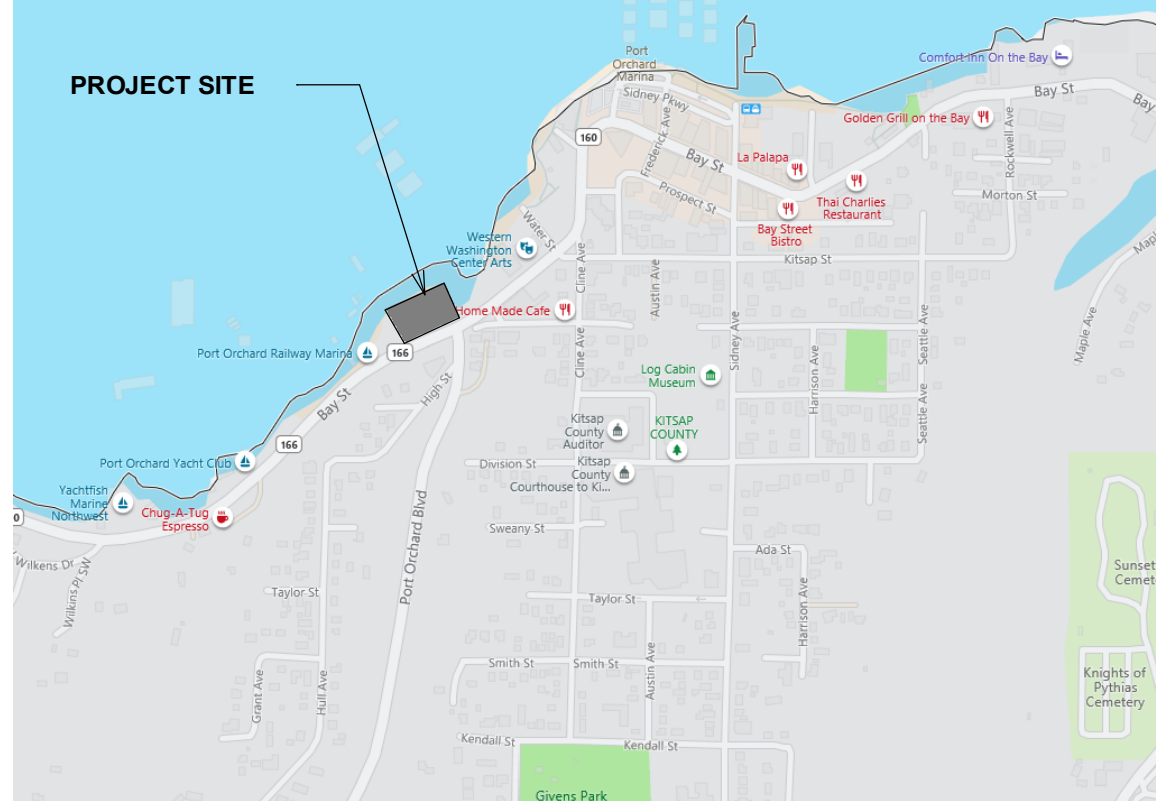


# BAY STREET APARTMENTS LDAP SUBMITTAL

June 26, 2020

## VICINITY MAP



## LEGAL DESCRIPTION

SEC 26, TWP 24, RNG 1E (SW/4) PARCEL A: THAT PORTION OF BLOCK 1, NOB HILL ADDITION TO PORT ORCHARD, ACCORDING TO PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 78, IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT POINT 11 FEET NORTH OF THE INTERSECTION OF THE CENTERLINE OF DEKALB STREET WITH THE WEST BOUNDARY OF WEST STREET; THENCE NORTH 76 FEET, THENCE SOUTH 72'33" WEST 135.5 FEET; THENCE SOUTH 88.9 FEET; THENCE ALONG THE NORTH MARGIN OF THE RIGHT OF WAY OF STATE HIGHWAY NO. 14, NORTH 72'33" EAST 79.0 FEET; THENCE FOLLOWING THE RIGHT OF WAY ALONG A CURVE TO THE LEFT FOR 61 FEET TO THE PLACE OF BEGINNING. >>>PARCEL B: THAT PORTION OF BLOCK 1, NOB HILL ADDITION, ACCORDING TO PLAT RECORDED IN VOLUME 2 OF PLATS, PAGE 78, IN KITSAP COUNTY, WASHINGTON, AND OF GOVERNMENT LOT 2, SECTION 26, TOWNSHIP 24 NORTH, RANGE 1 EAST, T.4M, IN KITSAP COUNTY, WASHINGTON AND OF THE TIDELANDS ADJOINING, DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF DEKALB STREET WATERWAY AS SHOWN ON THE PLAT OF SIDNEY TIDELANDS OF RECORD IN THE OFFICE OF THE KITSAP COUNTY AUDITOR AND THE WEST LINE OF WEST STREET, REPLAT OF CENTRAL ADDITION TO SIDNEY, ACCORDING TO PLAT RECORDED IN VOLUME 1 OF PLATS, PAGE 79; THENCE NORTH 46'15" WEST ALONG SAID WATERWAY 225.0 FEET TO INNER HARBOR LINE; THENCE SOUTH 43'45" WEST 331.51 FEET ALONG SAID INNER HARBOR LINE TO EAST LINE OF THE TRACT CONVEYED TO HORLUCK TRANSPORTATION COMPANY, INC., BY DEED RECORDED UNDER AUDITOR'S FILE NO. 825830; THENCE SOUTH 36'45" EAST TO THE NORTHERLY LINE OF STATE HIGHWAY NO. 14; THENCE EASTERLY ALONG SAID NORTHERLY LINE 175 FEET, MORE OR LESS, TO WEST LINE OF TRACT CONVEYED TO JOHN IRWIN MILLER, JR., BY DEED RECORDED UNDER AUDITOR'S FILE NO. 569444; THENCE NORTH ALONG SAID MILLER TRACT 88.9 FEET; THENCE NORTH 72'33" EAST 135.5 FEET; THENCE NORTH ALONG WEST LINE OF WEST STREET 12 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

## GENERAL PROJECT NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH THE CONTENT OF THESE DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PREVIEW DESIGN INTENT AS SUBSTANTIATED IN THESE DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL ISSUE REQUEST FOR INFORMATION (RFIs) INQUIRIES TO THE OWNER AND THE ARCHITECT WHERE DESIGN INTENT IS NOT SELF EVIDENT TO ELIMINATE DETRIMENTAL INTERPRETATIONS.
- IN THE EVENT THE CONTRACTOR FINDS A CONFLICT OR DISCREPANCY WITH THESE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING. SHOULD THE CONTRACTOR PROCEED WITHOUT NOTIFYING THE ARCHITECT OF SUCH CONFLICT, THE CONTRACTOR SHALL BE PROCEEDING AT THEIR OWN RISK & ASSOCIATED LIABILITY.
- THESE DRAWINGS SERVE TO REPRESENT DESIGN INTENT AS DIRECTED BY THE OWNER & COMPLIANT WITH GOVERNING JURISDICTIONAL LAW. IN NO WAY SHALL THESE DRAWINGS SERVE TO DICTATE METHODS OF CONSTRUCTION RELATIVE TO ADHERENCE TO EITHER. IT IS THE CONTRACTOR'S & OWNER'S RESPONSIBILITY TO WORK WITHIN THE PARAMETERS OF THE AGENCY APPROVED DOCUMENTS TO MAINTAIN THE INTEGRITY OF THE DESIGN INTENT AND AGENCY COMPLIANCE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE WSEC REQUIREMENTS AND MEET ANY AND ALL REQUIREMENTS FOR COMPLETING A PROPERLY INSULATED AND SEALED SHELL (WHERE APPLICABLE). THIS INCLUDES MEETING WSEC REQUIREMENTS FOR LIMITING AIR INFILTRATION.
- THE WSEC C406 OPTIONS USED ARE C406.9 REDUCED AIR INFILTRATION AND C406.3 REDUCED LIGHTING POWER.

## PROJECT CODE ANALYSIS

**APPLICABLE CODES**  
2015 INTERNATIONAL BUILDING CODE  
(including IBC 2015-WIBC Amendments, July 1, 2016, w/IEBC-2015 and ANSI-2009)

2015 INTERNATIONAL MECHANICAL CODE  
(including IMC 2015-WIBC Amendments, July 1, 2016, w/ IFGC-2015, NFPA-54, NFPA-58)

2015 INTERNATIONAL FIRE CODE  
(including IFC 2015-WIBC Amendments, July 1, 2016)

2015 UNIFORM PLUMBING CODE  
(including UPC 2015-WIBC Amendments, July 1, 2016)

2014 NATIONAL ELECTRICAL CODE (NFPA 70) - SEE DEPT. OF L&I ADOPTION/ AMENDMENTS

2015 INTERNATIONAL FUEL GAS CODE (WAC 51-50)

2015 WASHINGTON STATE ENERGY CODE (WAC 51-11C)

ICC / ANSI A.117-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
(including IBC 2015-WIBC Amendments, July 1, 2016, w/IEBC-2015 and ANSI-2009)

CITY CODE - PORT ORCHARD MUNICIPAL CODE (POMC)

**PROJECT NAME** 429 BAY STREET APARTMENTS

**PROJECT DESCRIPTION** NEW FOUR STORY MULTI-FAMILY, MIXED USE, BUILDING. FIRST STORY PARKING CONCRETE PODIUM w/ THREE WOOD FRAMED STORIES ABOVE. TOTAL OF 39 UNITS, 500 SF COMMERCIAL ON GROUND FLOOR, ROOF DECK ON LEVEL 4, AND NEW STREET PARKING.

EXISTING COMMERCIAL RESTAURANT BUILDING TO BE DEMOLISHED IS 9,254 SF. FULL SITE IS CURRENTLY PAVED PARKING.

**ADDRESS** 429 BAY STREET, PORT ORCHARD, WA 98366

**JURISDICTION** CITY OF PORT ORCHARD

**ZONE** GMU (Gateway Mixed Use) - Unincorporated City Overlay District - DHOD-4 Shoreline Overlay Designation - High Intensity

**FLOOD PLAIN** Whole site under 100 yr flood plain, AE Zone

**PARCEL NUMBER** 4044-001-001-0007

**SITE AREA** 1.35 Acres (58,806 sq. ft.)

**IBC OCCUPANCY CLASS** S-2; parking garage; R-2; multi-family - mixed use

**IBC CONSTRUCTION TYPE** 1A - Parking, VB (SM) - Residential

**FIRE SPRINKLER** Yes, per IBC 903.3.1.1

**SEPARATION** Non-separated occupancies, IBC 508.3

**ALLOWABLE AREA** Unlimited area per section 507, Table 506.2:  
S-2, SM, TYPE 1A = unlimited  
R-2, SM, TYPE VB = 21,000

**STORIES AND HEIGHT** DHOD-4: 4 stories, or 48'-0" height  
Provided - 4 stories, 47'-10" height

**SETBACKS** POMC 20.35.050 (5)  
Front Yard (Baystreet) = none  
Side Yard = none  
Shoreline = 75' (non water related uses)  
Pedestrian walkway = 10' setback, (20.127.180)

**BUILD TO ZONE** POMC 20.35.050 (6)  
Primary street building facade: 80% of lot width  
Side street building facade: 40% of lot width

IMPERVIOUS CALCULATIONS	POMC 20.35.050
SITE AREA	87,457 SF
ONSITE IMPERVIOUS	22,673 SF
26% of lot area, max allowed 90%	

OVERALL BUILDING AREAS			
LEVEL	OCC	AREA	COMMENTS
Exterior Area			
2nd Flr			
DECK	Exterior	1128.6 SF	
3rd Flr			
DECK	Exterior	1128.4 SF	
4th Flr			
DECK	Exterior	3624.7 SF	
		5881.7 SF	
Gross Building Area			
1st Flr			
LEVEL 1	S-2	16613.2 SF	
2nd Flr			
LEVEL 2	R-2	16157.2 SF	
3rd Flr			
LEVEL 3	R-2	16157.0 SF	
4th Flr			
LEVEL 4	R-2	13638.5 SF	
Rf Plate			
LEVEL 5	R-2	384.0 SF	
		62949.9 SF	
		68831.7 SF	

**PORT ORCHARD MUNICIPAL CODE: PARKING**  
**TABLE 20.124.050:**  
(Beginning Jan 1 2020) 10% parking needs to be electrical vertical charging stations (reg size stall), 7 provided

**TABLE 20.124.100:**  
Two way aisle must be at least 20' wide

**TABLE 20.124.120:**  
Up to 40% of parking may be compact parking  
41'(40)=17, 16 provided

**TABLE 20.124.260:**  
Minimum Parking Stall Dimensions:  
Compact stall = 8'x16', Standard Stall = 9'x20'

**Table 20.124.140**  
1 bed = 1.5 spaces per unit, 25 units, 38 required  
2 bed = 1.75 spaces per unit, 12 units, 21 required  
3 bed = 2 spaces per unit, 2 units, 4 required  
Mercantile: 5 per 1,000 sf, area=500 sf, 3 required  
Bicycle parking: 1 per unit, 39 units, not to exceed 24  
Total parking required: 66 stalls  
Per Type 2 Administrative Variance LU19-VAR ADMIN-01 approved 5/13/19, 41 on-site, 8 off-site approved  
Provided - On-site 41 spaces, including 1 ADA and 1 VAN off-site 8 spaces

## UNIT AREAS

RESIDENTIAL UNIT AREAS				
UNIT TYPE	TYPE	COUNT	UNIT AREA	COMMENTS
2nd Flr				
UNIT A	2 Bedroom	1	1105 SF	
UNIT B	2 Bedroom	1	1046 SF	
UNIT C	1 Bedroom	1	733 SF	
UNIT D	1 Bedroom	1	748 SF	Type A - ADA
UNIT E	2 Bedroom	1	1021 SF	
UNIT F	1 Bedroom	1	792 SF	
UNIT Ga	1 Bedroom	1	827 SF	
UNIT Gb	1 Bedroom	1	854 SF	
UNIT H	1 Bedroom	2	794 SF	
UNIT H	1 Bedroom	2	795 SF	
UNIT J	2 Bedroom	1	1129 SF	
UNIT K	3 Bedroom	1	1511 SF	
14				
3rd Flr				
UNIT A	2 Bedroom	1	1108 SF	
UNIT B	2 Bedroom	1	1046 SF	
UNIT C	1 Bedroom	1	733 SF	
UNIT D	1 Bedroom	1	748 SF	Type A - ADA
UNIT E	2 Bedroom	1	1021 SF	
UNIT F	1 Bedroom	1	792 SF	
UNIT Ga	1 Bedroom	1	827 SF	
UNIT Gb	1 Bedroom	1	854 SF	
UNIT H	1 Bedroom	2	794 SF	
UNIT H	1 Bedroom	2	795 SF	
UNIT J	2 Bedroom	1	1129 SF	
UNIT K	3 Bedroom	1	1511 SF	
14				
4th Flr				
UNIT A	2 Bedroom	1	1108 SF	
UNIT B	2 Bedroom	1	1046 SF	
UNIT C	1 Bedroom	1	733 SF	
UNIT D	1 Bedroom	1	748 SF	Type A - ADA
UNIT E	2 Bedroom	1	1021 SF	
UNIT F	1 Bedroom	1	792 SF	
UNIT H	1 Bedroom	2	794 SF	
UNIT H	1 Bedroom	2	795 SF	
UNIT J	2 Bedroom	1	1129 SF	
11				
39				

UNIT BEDROOM COUNT	
TYPE	COUNT
2nd Flr	
1 Bedroom	9
2 Bedroom	4
3 Bedroom	1
14	
3rd Flr	
1 Bedroom	9
2 Bedroom	4
3 Bedroom	1
14	
4th Flr	
1 Bedroom	7
2 Bedroom	4
11	
39	

## PREVIOUS APPLICATIONS / PERMITS / SUBMITTALS

THE FOLLOWING APPLICATIONS HAVE BEEN PREVIOUSLY SUBMITTED:

- Design Review
- Shoreline Substantial Development Permit
- Conditional Use Permit (CUP)
- Parking Type 2 Administrative Variance, LU19-VAR ADMIN-01, 5/13/19

## INCLUDED IN THIS SUBMITTAL

THE FOLLOWING DRAWINGS / FORMS ARE BEING SUBMITTED:

- ARCHITECTURE DRAWINGS
- WSEC ENV-15-V4 FORM
- STRUCTURAL DRAWINGS
- STRUCTURAL CALCS
- MECHANICAL DRAWINGS
- WSEC MECH-15-V2
- HVAC LOAD CALCULATIONS
- PLUMBING DRAWINGS
- ELECTRICAL DRAWINGS
- WSEC LTG15-V4, NREC
- CIVIL ON-SITE DRAWINGS
- CIVIL OFF-SITE DRAWINGS
- CIVIL WSDOT SUBMITTAL
- CIVIL STORM DRAINAGE REPORT
- LANDSCAPE DRAWINGS

## SEPARATE SUBMITTAL PERMITS

THE FOLLOWING SEPARATE PERMIT SUBMITTALS SHALL BE DESIGNED BY ENGINEERS OR SUBMITTED BY THE SELECTED DESIGN-BUILD SUBCONTRACTOR:

- STREET LIGHTING DRAWINGS
- FIRE SPRINKLER UNDERGROUND DRAWINGS
- FIRE SPRINKLER STANDPIPE SYSTEM
- EMERGENCY RESPONDER RADIO ENHANCEMENT SYSTEM
- FIRE ALARM SYSTEM
- SECURITY SYSTEM PLANS
- SIGNAGE:  
Stairway identification per IBC 1023.9, stair level identification per ANSI117.1-09 section 504.9
- PRE-ENGINEERED WOOD TRUSS JOISTS
- PRE-ENGINEERED METAL LIGHT FRAMING FOR WALLS ON MAIN FLOOR PARKING
- PRE-ENGINEERED GUARD RAILS ON DECKS

## SHEET INDEX

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G1.02	PERSPECTIVES	
G1.03	PERSPECTIVES	
G2.01	AREAS - OVERALL BUILDING	
G2.11	AREAS - FIRE/LIFE SAFETY	
G2.12	AREAS - FIRE/LIFE SAFETY	
G2.13	CODE SYNOPSIS	
G2.31	TRINITY ENVELOPE PRODUCT MATRIX	
GE2.21	ENERGY SHEETS	
GE2.22	ENERGY SHEETS	
GE2.23	ENERGY SHEETS	
GE2.24	ENERGY SHEETS	
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C2.00	TESC AND DEMOLITION PLAN	
C2.01	NOTES AND DETAILS	
C2.02	TESC AND DEMOLITION NOTES AND DETAILS	
C3.00	GRADING AND DRAINAGE PLAN	
C3.01	GRADING AND DRAINAGE NOTES AND DETAILS	
C4.00	PAVING, UTILITIES AND HORIZONTAL CONTROL PLAN	
C4.01	PAVING DETAILS	
C5.00	BAY STREET ROAD AND DRAINAGE PLAN AND PROFILE	
C5.01	BAY STREET ROAD AND DRAINAGE PLAN AND PROFILE	
C5.02	BAY STREET CHANNELIZATION PLAN	
C5.03	BAY STREET NOTES AND DETAILS	
PPFA-1	WSDOT PLAN FOR APPROVAL	
SURV	SURVEY	
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L1.1	PLANT SCHEDULE, NOTES AND DETAILS	
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D1.01	SITE DEMOLITION PLAN	
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A1.02	SHORELINE REVISION AREAS	
A1.03	SITE DETAILS	
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A2.01a	PT SLAB & COLUMN DIMENSION PLAN	
A2.02	SECOND FLOOR PLAN	
A2.03	THIRD FLOOR PLAN	
A2.04	FOURTH FLOOR PLAN	
A2.05	ROOF PLAN	
A2.21	STAIR 1 & ELEVATOR PLANS	
A2.22	STAIR 1 & ELEVATOR SECTIONS	
A2.23	STAIR 2 PLANS & SECTIONS	
A2.51	UNIT PLANS - A & B	
A2.52	UNIT PLANS - C, D, E & F	
A2.53	UNIT PLANS - Ga & Gb	
A2.54	UNIT PLANS - H	
A2.55	UNIT PLANS - K & J	
A2.61	CLUB ROOM / ROOF DECK PLAN	
A3.01	ELEVATIONS	
A3.02	ELEVATIONS	
A4.01	DOOR SCHEDULE	
A4.02	WINDOW & ROOM FINISH SCHEDULE	
A5.01	FIRST FLOOR RCP	
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A5.03	THIRD FLOOR RCP	
A5.04	FOURTH FLOOR RCP	
A6.01	BUILDING SECTIONS	
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A6.11	WALL SECTIONS	
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A7.01	EXTERIOR CONCRETE DETAILS	
A7.02	EXTERIOR WALL DETAILS	
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A7.11	EXTERIOR ROOF DETAILS	
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A7.13	EXTERIOR ROOF DETAILS	
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A7.31	WINDOW DETAILS - EXTERIOR	
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E4.3	ENLARGED UNIT PLANS	
E4.4	ENLARGED UNIT PLANS	
E4.5	ENLARGED UNIT PLANS	
E4.6	ENLARGED UNIT PLANS	
E4.7	ENLARGED UNIT PLANS	
E4.8	ENLARGED UNIT PLANS	



# Sinclair Inlet

Port Orchard Class I Wildlife Habitat Conservation Areas, and Critical Saltwater Habitat, buffer is 75' from OHWM

**SITE AREA**  
87457 SF

IMPERVIOUS CALCULATIONS POMC 20.35.050	
SITE AREA	87,457 SF
ONSITE IMPERVIOUS	22,673 SF
26% of lot area, max allowed 90%	

LANDSCAPE HARDSCAPE	
Family and Type	Area
1st Flr	
Onsite	
Hardscape	
Floor: ASPH4.0=ASPH4.0 Exterior Road	94.4 SF
Floor: ASPH4.0=ASPH4.0 Exterior Road	19969.2 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	3890.7 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	235.3 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	24189.6 SF
Onsite	
Building Footprint	
Floor: F1 - Exterior - CONC9.0 Parking	16528.3 SF
Hardscape	
Floor: ASPH4.0=ASPH4.0 Exterior Road	1188.5 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	124.0 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	64.3 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	4766.8 SF
Floor: CONC4.0=CONC4.0 Exterior Sidewalk	22671.9 SF

WA_PARKING COUNT	
PARKING SIZE	COUNT
Public Place	
Parking Space-ADA w Van-Double stall: 8' x 20', 11' Van, 5' Aisle	2
Parking Space: 8' x 16' - 90 deg Compact	16
Parking Space: 9'-2" x 20' - 90 deg	23
Parking Space: On Street - 20' x 8' - parallel	8
	49

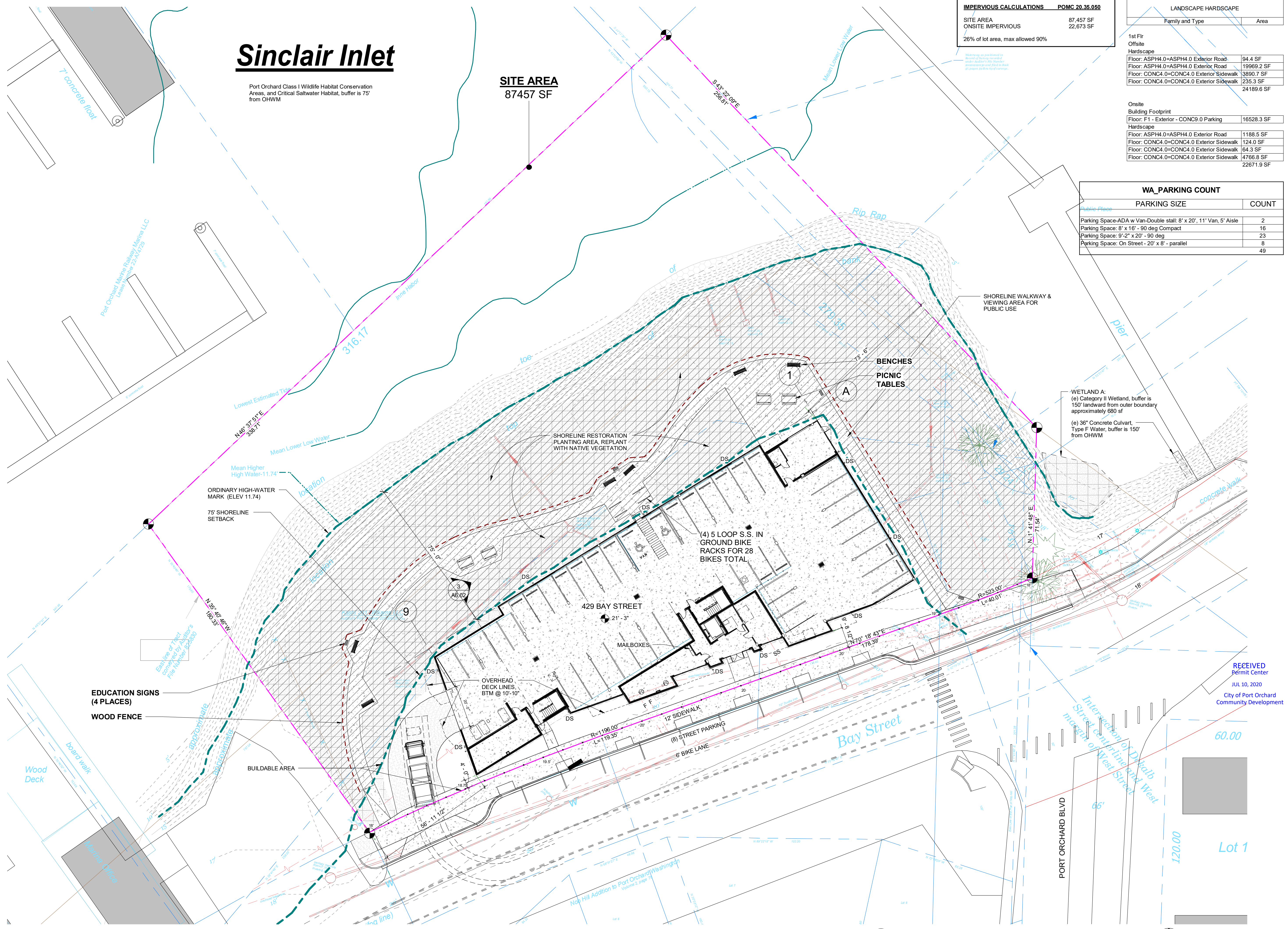
**WEDDERMANN ARCHITECTURE**  
JENNIFER WEDDERMANN, AIA, LEED AP  
2302 A STREET  
TACOMA, WA 98405  
(253) 973-6611  
JENNIFER@WEDDERMANN.COM

REGISTERED ARCHITECT  
7815  
JENNIFER WEDDERMANN  
STATE OF WASHINGTON

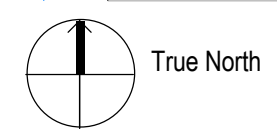
**PROJECT**  
Ali Kashi  
**Bay Street Apartments**  
429 Bay Street  
Port Orchard, WA 98366

REVISIONS	INFO
Rev#	Date
Rev#	Description
10/11/18	1876
	Bay Street Apts rvt
	City of Port Orchard Community Development
	JUL 10, 2020
	RECEIVED Permit Center
	06/20/2023 3:34:20 PM

**SHEET NAME**  
SITE PLAN  
**SHEET NO.**  
A1.01  
PERMIT SUBMITTAL - 061520



**1 SITE PLAN**  
1" = 20'-0"



PW20-037  
PW20-038



# Sinclair Inlet

Port Orchard Class I Wildlife Habitat Conservation Areas, and Critical Saltwater Habitat, buffer is 75' from OHWM

<b>SITE AREA</b>	87,457 SF
<b>WATER AREA</b>	29,293 SF
<b>(e) BUILDING FOOTPRINT AREA</b>	7,800 SF
<b>BUILDABLE AREA</b>	16,528 SF
<b>75' NATIVE AREA</b>	35,390 SF
<b>PUBLIC SURFACE AREA</b>	4,767 SF
<b>WETLAND A (680 sf)</b>	
<b>150' FULL AREA</b>	22,623 SF
<b>150' AREA OVERLAP</b>	7,233 SF
<b>PERCENT OVERLAP</b>	32 %
<b>PROPOSED REPLACEMENT AREA</b>	7,282 SF

**WEDDERMANN ARCHITECTURE**  
 JENNIFER WEDDERMANN, AIA, LEED AP  
 2302 A STREET  
 TACOMA, WA 98405  
 (253) 973-6611  
 JENNIFER@WEDDERMANN.COM

REGISTERED ARCHITECT  
 7815  
 Jennifer Weddermann  
 JENNIFER WEDDERMANN  
 STATE OF WASHINGTON

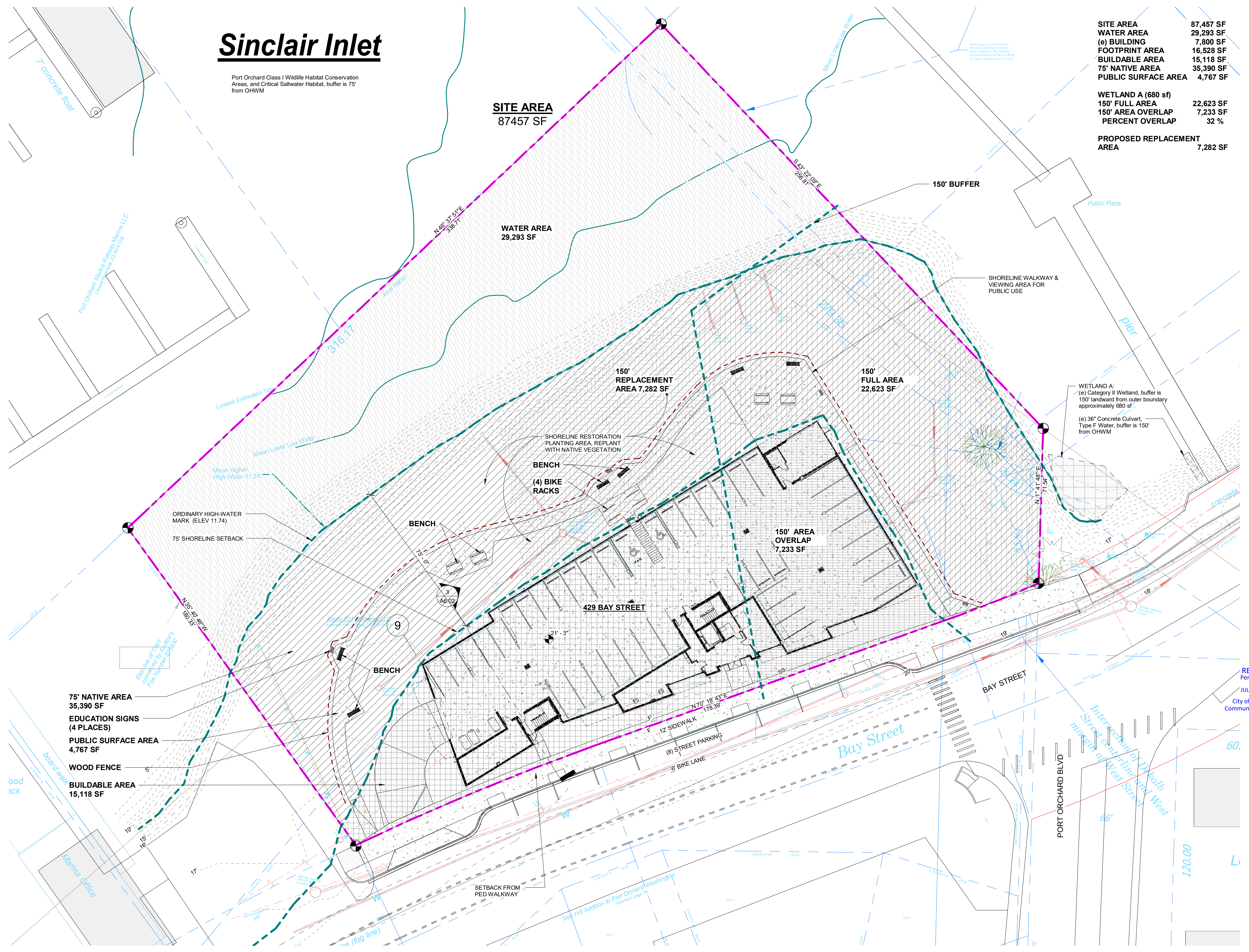
**PROJECT**  
 Ali Kashi  
**Bay Street Apartments**  
 429 Bay Street  
 Port Orchard, WA 98366

**REVISIONS**

**INFO**  
 10/11/18  
 1876  
 Bay Street Apts rvt  
 City of Port Orchard  
 Community Development

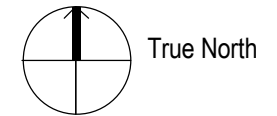
**SHEET NAME**  
 SHORELINE REVISION AREAS  
 PERMIT SUBMITTAL - 061520

**SHEET NO.**  
 A1.02



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1 SHORELINE REVISION - SITE PLAN  
 1" = 20'-0"







1 PERSPECTIVE SOUTH



2 PERSPECTIVE NORTH

**WEDDERMANN ARCHITECTURE**  
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7815 REGISTERED ARCHITECT  
*Jenny Weddermann*  
 JENNIFER WEDDERMANN  
 STATE OF WASHINGTON

**PROJECT**  
 Ali Kashi  
**Bay Street Apartments**  
 429 Bay Street  
 Port Orchard, WA 98366

**REVISIONS**

Rev#	Date	Description

**INFO**  
 10/11/18 1876  
 Bay Street Apts.rvt  
 Project Number  
 0/0 Name  
 0/0 Date  
 0/0 Date

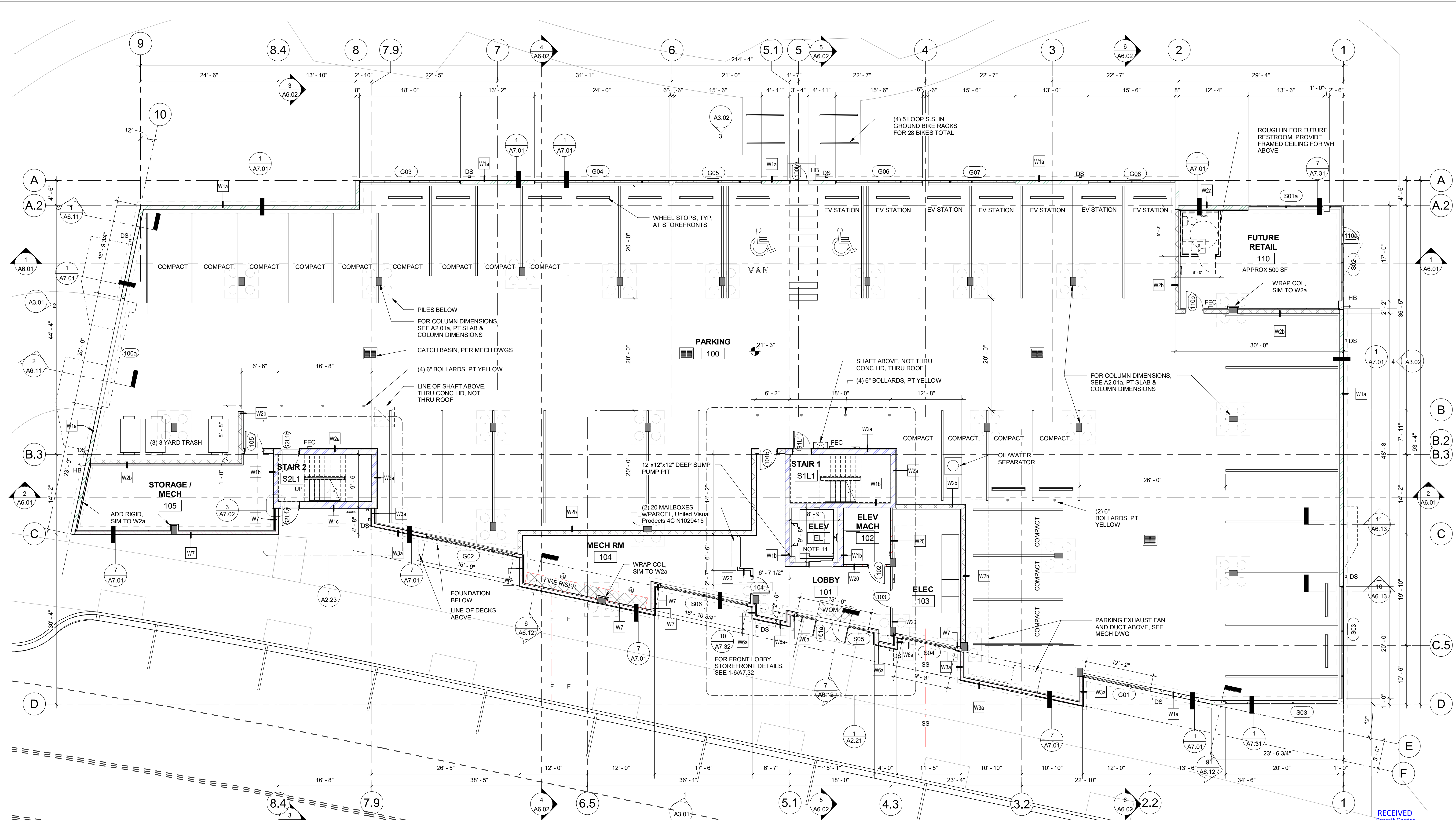
**SHEET NAME**  
 PERSPECTIVES  
 PERMIT SUBMITTAL - 061520

**SHEET NO.**  
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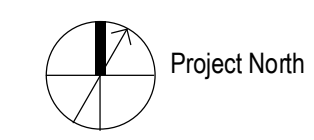








**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"



**PORT ORCHARD MUNICIPAL CODE: PARKING**  
**TABLE 20.124.050:**  
(Beginning Jan 1 2020) 10% parking needs to be electrical vehicle charging stations (reg size stall), 7 provided

**TABLE 20.124.100:**  
Two way aisle must be at least 20' wide

**TABLE 20.124.120:**  
Up to 40% of parking may be compact parking  
41'(40)=17, 16 provided

**TABLE 20.124.260:**  
Minimum Parking Stall Dimensions:  
Compact stall = 8'x16', Standard Stall = 9'x20'

**Table 20.124.140**  
1 bed = 1.5 spaces per unit, 25 units, 38 required  
2 bed = 1.75 spaces per unit, 12 units, 21 required  
3 bed = 2 spaces per unit, 2 units, 4 required  
Mercantile: 5 per 1,000 sq ft, area=500 sq ft, 3 required  
Bicycle parking: 1 per unit, 39 units, not to exceed 24  
Total parking required: 66 stalls  
Per Type 2 Administrative Variance LU19-VAR ADMIN-01 approved 5/13/19, 41 on-site, 8 off-site approved  
Provided - On-site 41 spaces, including 1 ADA and 1 VAN off-site 8 spaces

UNIT BEDROOM COUNT	
TYPE	COUNT
2nd Flr	
1 Bedroom	9
2 Bedroom	4
3 Bedroom	1
	14
3rd Flr	
1 Bedroom	9
2 Bedroom	4
3 Bedroom	1
	14
4th Flr	
1 Bedroom	7
2 Bedroom	4
	11
	39

WA PARKING COUNT	
PARKING SIZE	COUNT
Parking Space-ADA w Van-Double stall: 8' x 20', 11' Van, 5' Aisle	2
Parking Space: 8' x 16' - 90 deg Compact	16
Parking Space: 9'-2" x 20' - 90 deg	23
Parking Space: On Street - 20' x 8' - parallel	8
	49

- GENERAL NOTES - PLANS**
- DIMENSIONS ARE TO GRID, FACE OF CONCRETE OR FACE OF STUD
  - FOR WALL ASSEMBLY TYPES, SEE SHEET A8.01 THRU A8.04
  - FOR COMMERCIAL & UNIT DOOR AND FRAME TYPES, SEE SHEET A4.01
  - FOR WINDOW SCHEDULE, SEE SHEET A4.02
  - FOR ENLARGED UNIT PLANS AND UNIT DOOR SCHEDULES, SEE A2.51 THRU A2.55
  - FOR ENLARGED CLUB ROOM & ROOF DECK, SEE A2.61
  - FOR MECHANICAL LAYOUT, SEE MECHANICAL DRAWINGS
  - FOR PLUMBING LAYOUT, SEE PLUMBING DRAWINGS
  - FOR ELECTRICAL LAYOUT, SEE ELECTRICAL DRAWINGS
  - RANGE HOOD: AKDY 30" 343 CFM, OR APPROVED EQUAL
  - PROPOSED ELEVATOR: THYSSENKRUPP SYNERGY, BUILDING SUPPORTED, 4500, 200 FPM. TWO HOUR SHAFT.

PLAN / SECTION LEGEND	
	30 MINUTE ASSEMBLY
	ONE HOUR ASSEMBLY
	TWO HOUR ASSEMBLY
	THREE HOUR ASSEMBLY
	NEW WALL
	CONCRETE WALL

fconc - face of conc  
 fcs - face of stud  
 ffgwb - face of gwb

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**PROJECT**  
Ali Kashi  
**Bay Street Apartments**  
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Port Orchard, WA 98366

**REVISIONS**

Rev#	Date	Description
1	10/11/18	1876
		Bay Street Apts rvt

**INFO**

Sheet Name: FIRST FLOOR PLAN  
Project Number: Bay Street Apts rvt  
Date: 10/11/18  
Rev# 1

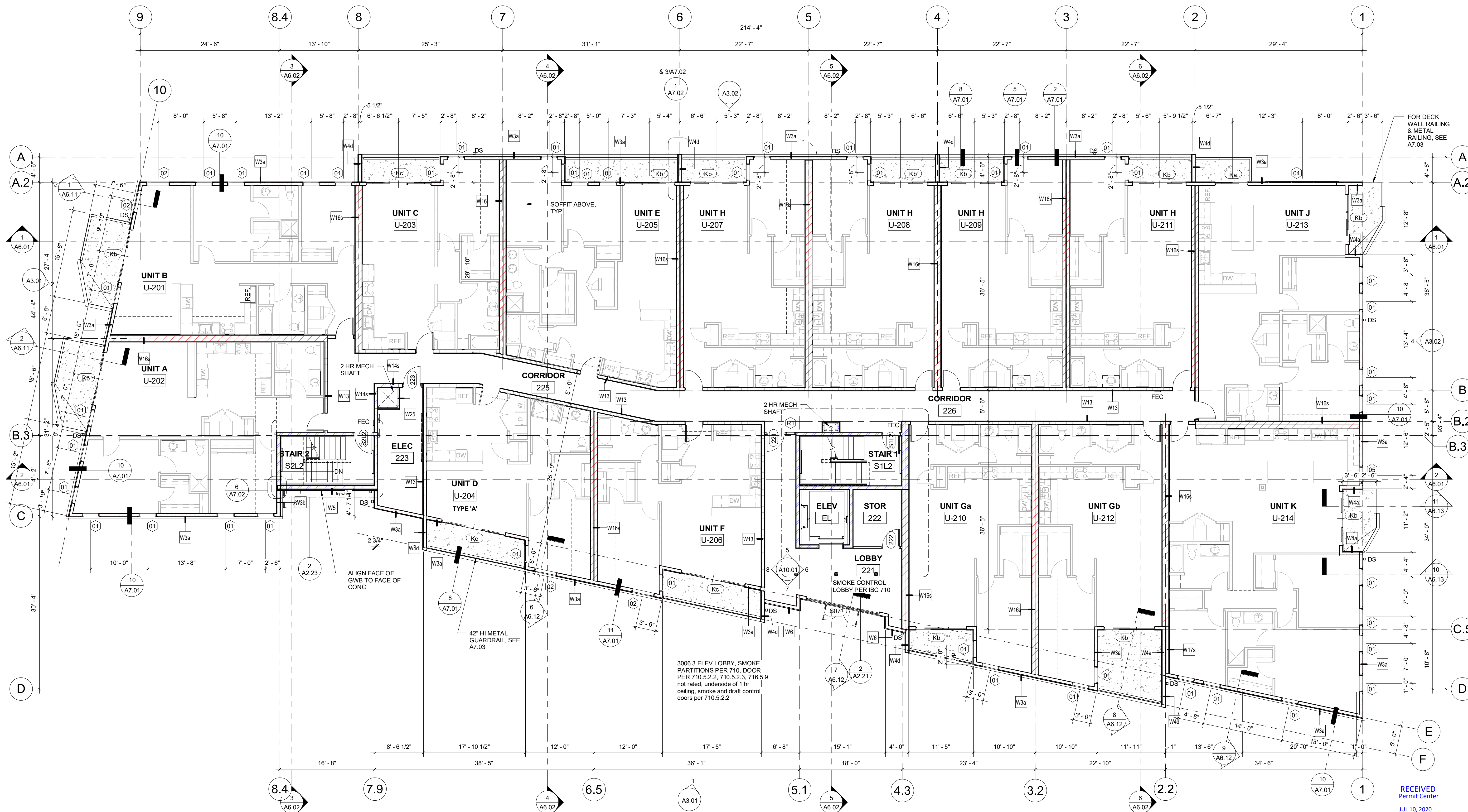
**SHEET NAME**  
FIRST FLOOR PLAN

PERMIT SUBMITTAL - 061520

**SHEET NO.**  
A2.01

PW20-037  
PW20-038





**1 SECOND FLOOR PLAN**  
 1/8" = 1'-0"  
 Project North

**GENERAL NOTES - PLANS**

1. DIMENSIONS ARE TO GRID, FACE OF CONCRETE OR FACE OF STUD
2. FOR WALL ASSEMBLY TYPES, SEE SHEET A8 01 THRU A8 04
3. FOR COMMERCIAL & UNIT DOOR AND FRAME TYPES, SEE SHEET A4 01
4. FOR WINDOW SCHEDULE, SEE SHEET A4 02
5. FOR ENLARGED UNIT PLANS AND UNIT DOOR SCHEDULES, SEE A2 51 THRU A2 55
6. FOR ENLARGED CLUB ROOM & ROOF DECK, SEE A2 61
7. FOR MECHANICAL LAYOUT, SEE MECHANICAL DRAWINGS
8. FOR PLUMBING LAYOUT, SEE PLUMBING DRAWINGS
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**PLAN / SECTION LEGEND**

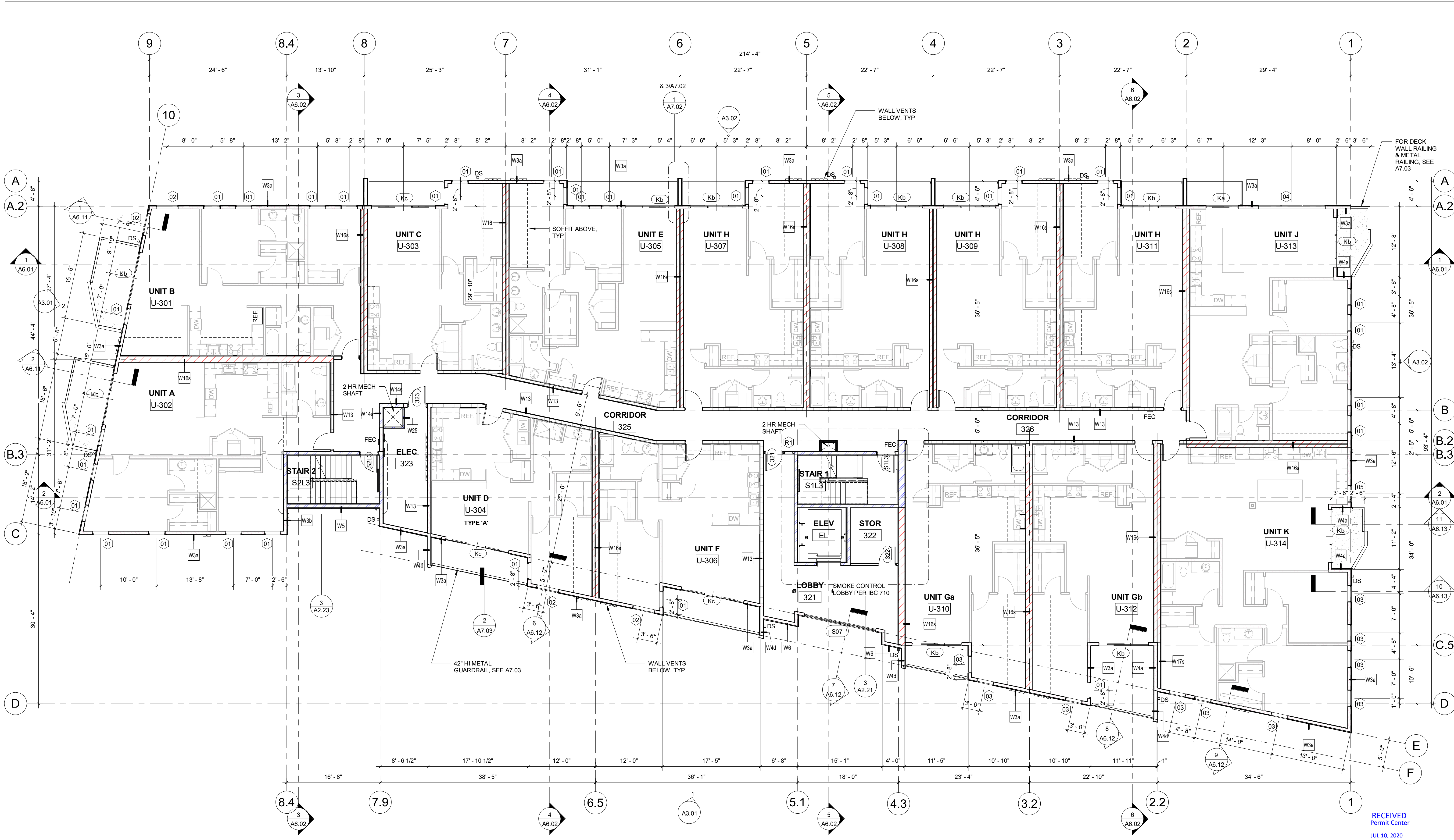
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	NEW WALL
	CONCRETE WALL

foconc - face of conc  
 fos - face of stud  
 fogwb - face of gwb

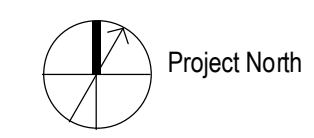
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<b>REVISIONS</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev#</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev#	Date	Description												
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<b>INFO</b>	10/11/18 1876 Bay Street Apts.rvt Project Number 06/20/2014 2:42:22 PM PWD:DWG															
<b>SHEET NAME</b>	SECOND FLOOR PLAN PERMIT SUBMITTAL - 061520															
<b>SHEET NO.</b>	A2.02															





**1 THIRD FLOOR PLAN**  
1/8" = 1'-0"



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**PLAN / SECTION LEGEND**

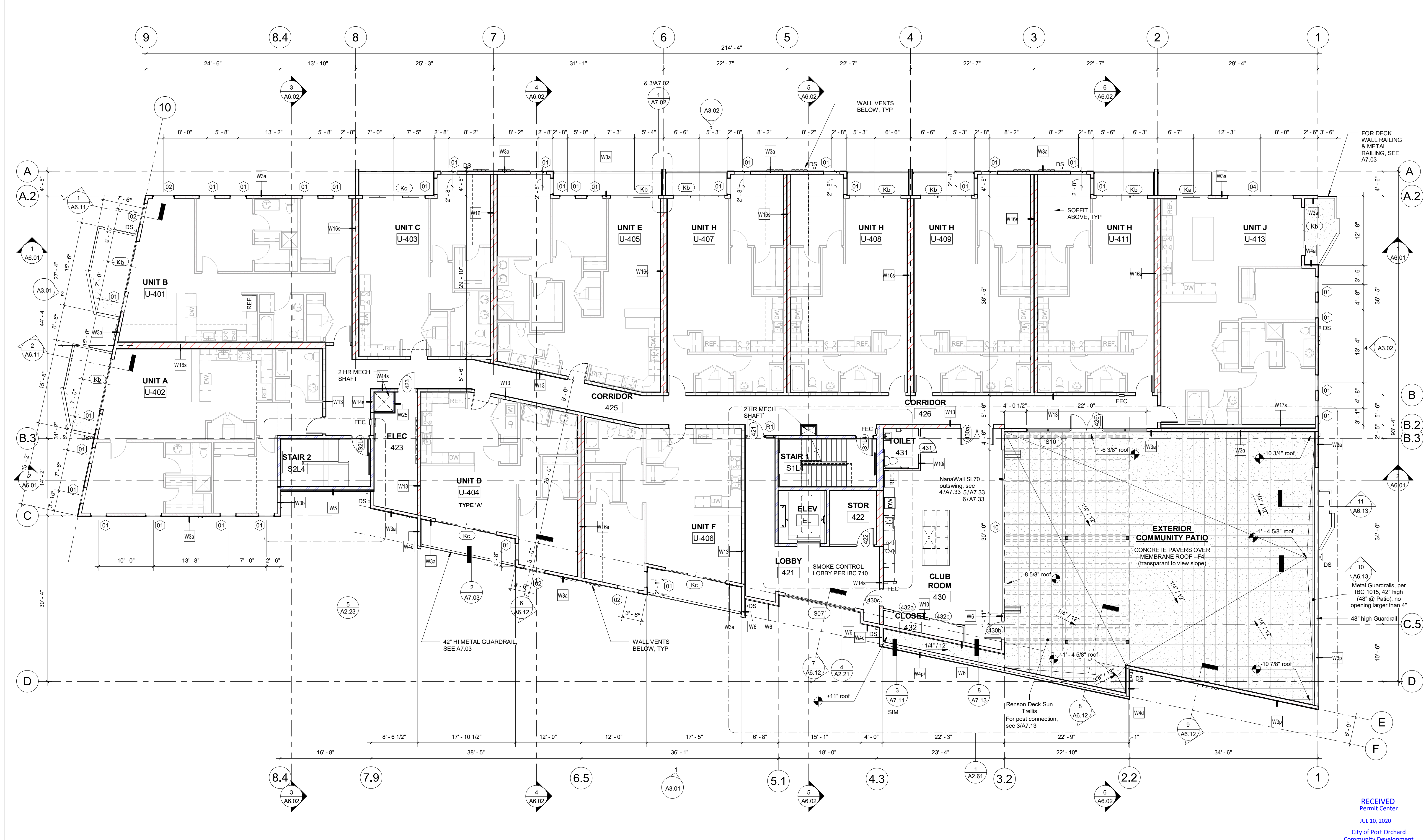
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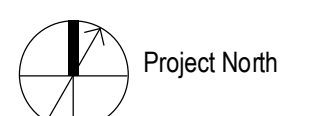
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<b>PROJECT</b>	Ali Kashi Bay Street Apartments 429 Bay Street Port Orchard, WA 98366
<b>REVISIONS</b>	
<b>INFO</b>	Rev# Date Description 10/11/18 1876 Bay Street Apts.rvt PWJ/DAK 06/20/2024 242.R PM
<b>SHEET NAME</b>	THIRD FLOOR PLAN
<b>SHEET NO.</b>	A2.03
	PERMIT SUBMITTAL - 061520





**1** FOURTH FLOOR PLAN  
1/8" = 1'-0"



**RENSON PATIO NOTES**

- CAMARGUE ROOFS (in four sections)
- FOUR COLUMNS, WALL KNIFE PLATES
- SIDE PANELS, LOGGIALU PLANO
- PROTECTO ON EACH ROOF
- LED BLADE LIGHTS, (3 per roof)
- UP/DOWN LIGHTS

CONTACT: JOHN SHAW, SDR, 206-280-4286  
john@shawdesignerresources.com

MNFR: LACEY GLASS, 360-459-8411

**METAL GUARDRAIL NOTES**

RAILING DETAILS SHOWN ARE DESIGN INTENT. RAILINGS TO BE PRE-ENGINEERED, PRE-FABRICATED, ALUMINUM, WELDED, POWDER COATED, ALL STAINLESS STEEL FASTENERS.

- AT DECKS (cable railing) - MIN. 42" HIGH
- AT DECKS (wall railing) - MIN. 48" HIGH
- AT PATIO DECK - MIN 48" HIGH

SEE SHEET A7.03 FOR DETAILS PER IBC 1015, NO OPENING LARGER THAN 4" dia.

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- 

**PLAN / SECTION LEGEND**

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	ONE HOUR ASSEMBLY
	TWO HOUR ASSEMBLY
	THREE HOUR ASSEMBLY
	NEW WALL
	CONCRETE WALL

facec - face of conc  
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Rev#	Date	Description
10	A6.13	
11	A6.13	

**INFO**

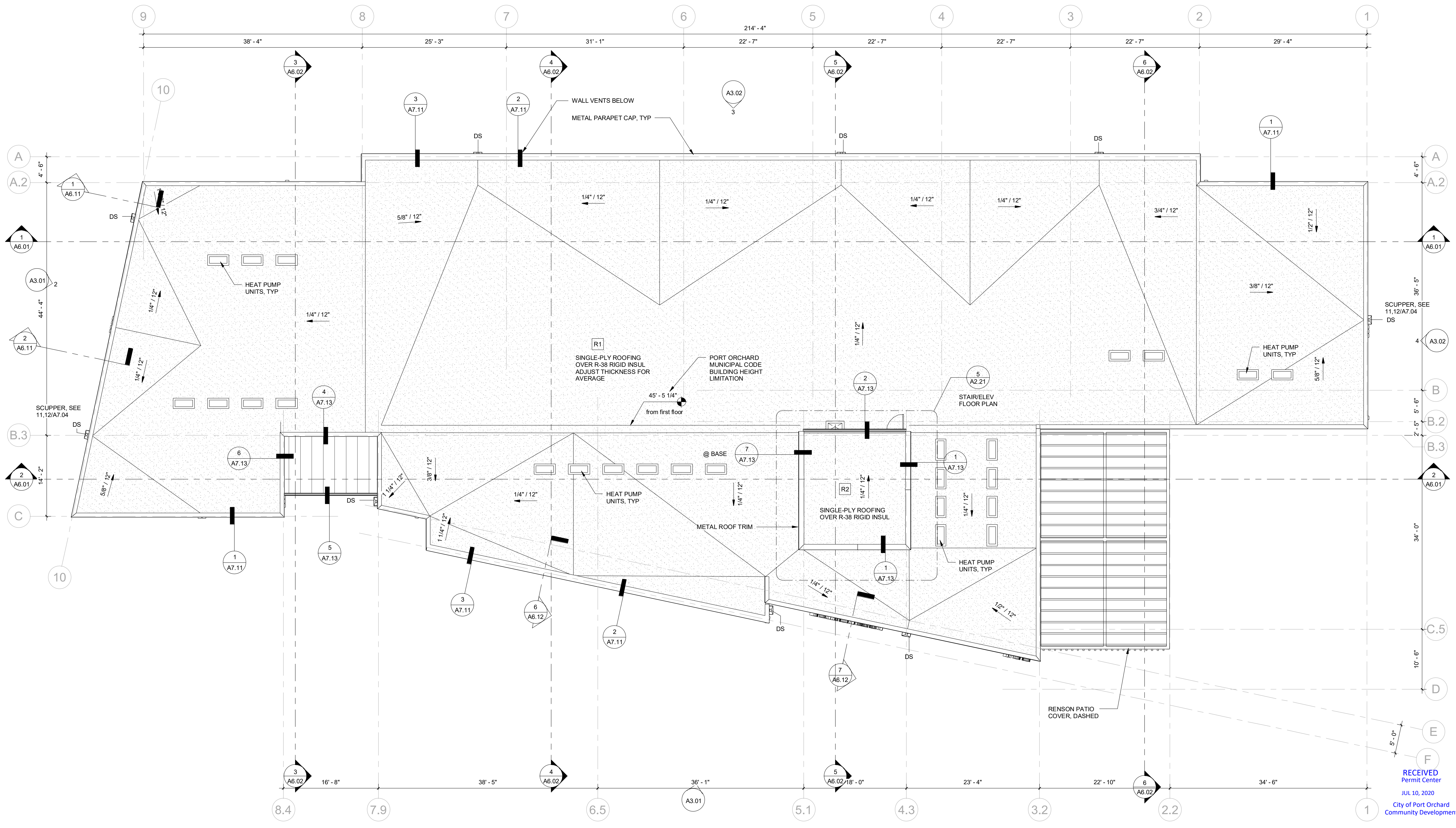
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Project Number	1876
Project Name	Bay Street Apts rvt
File Name	
Plot Date	06/20/2024 2:42:27 PM

**SHEET NAME**  
FOURTH FLOOR PLAN

**SHEET NO.**  
A2.04

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**1 ROOF PLAN**  
1/8" = 1'-0"

Project North

ROOF DRAINAGE SCHEDULE					
2015 UPC Table 1101.12, Rainfall rate, 10 yr = 2.1", 100 yr = 3.3" per hour max storm.					
LARGEST ROOF AREA	#DS	ROOF AREA PER DS	SIZE OF DOWNSPOUT	SIZE OF SCUPPER	REMARKS
3215 SF	1	3215 SF	5" w x 4" d (6 si)	18" w x 8" d x 8" h	

- Table 1105.1(2): Distance of scupper bottoms above roof, for flat roof is 3" max. Section 1105.1(9): Scupper openings shall be minimum 4" high, width not less than downspout width.
- Overflow: Top of scupper to be 2" above roof drainage height.
- Square pipe shall enclose equivalent round pipe. Rectangular pipe shall have same area as round pipe, dimension ratio not exceed 3 to 1.
- 3" dia (7,069 si) vertical pipe capacity, 92 gpm, max roof area, 2,665 sf
- 4" dia (12,566 si) vertical pipe capacity, 192 gpm, max roof area, 5,575 sf
- 5" dia (19,635 si) vertical pipe capacity, 360 gpm, max roof area, 10,480 sf
- 6" dia (28,274 si) vertical pipe capacity, 563 gpm, max roof area, 16,360 sf

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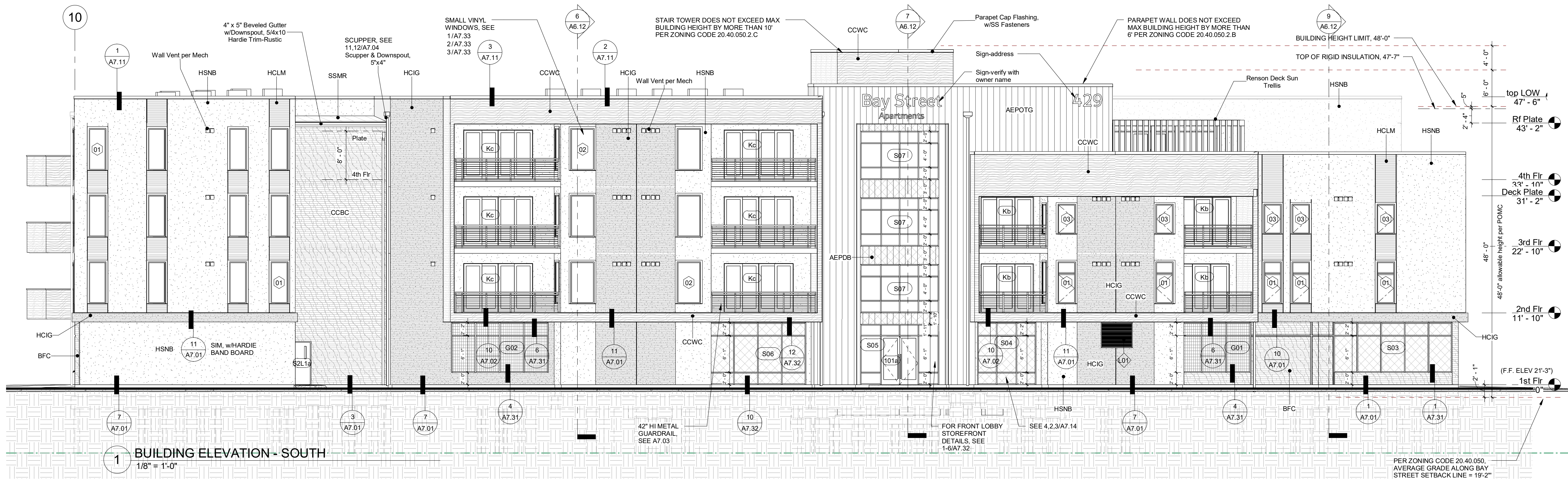
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10/11/18	1876	Bay Street Apts.rvt

**SHEET NAME**  
ROOF PLAN  
PERMIT SUBMITTAL - 061520

**SHEET NO.**  
A2.05

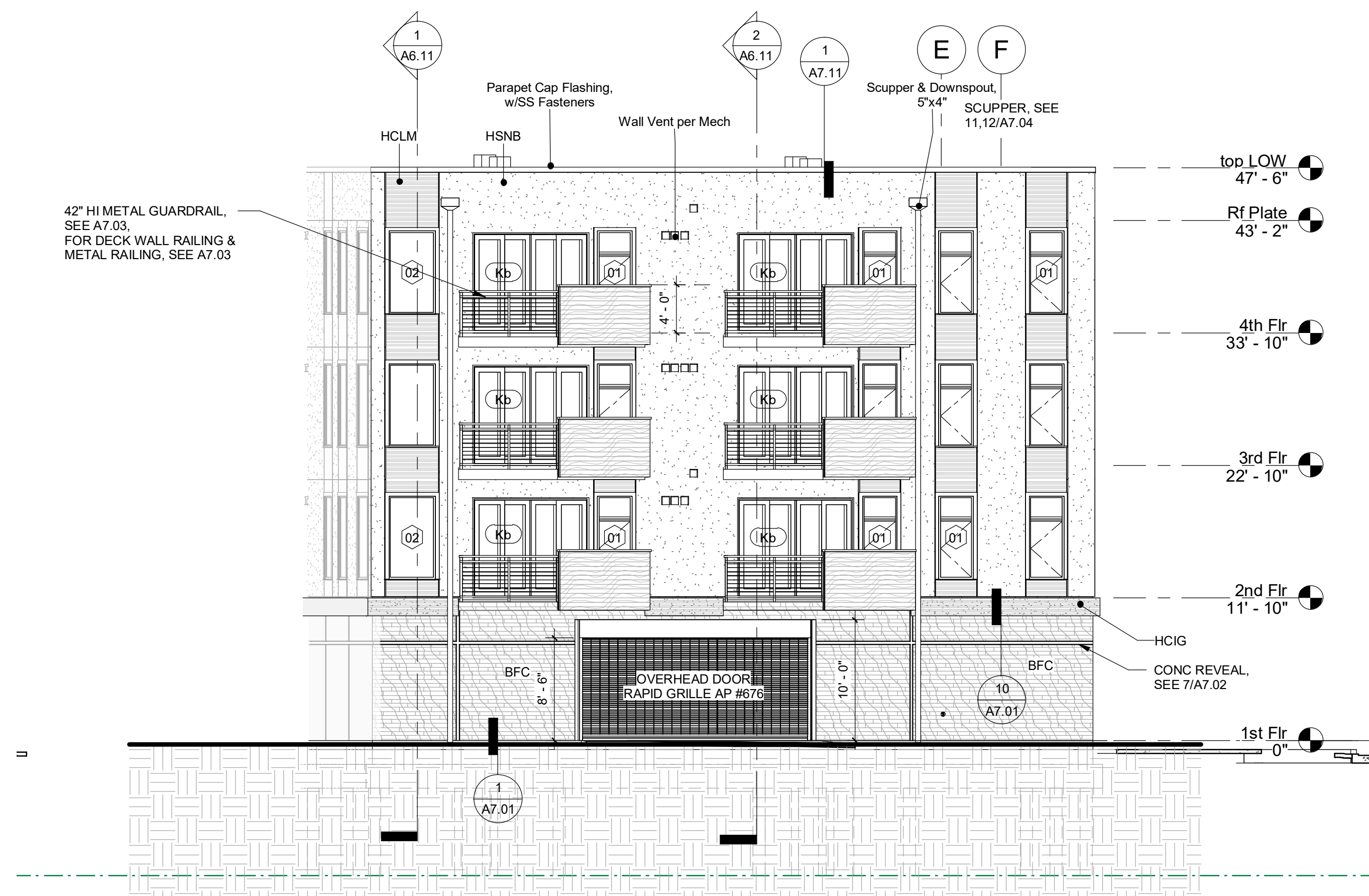
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**1 BUILDING ELEVATION - SOUTH**

1/8" = 1'-0"



**2 BUILDING ELEVATION - WEST**

1/8" = 1'-0"

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**EXTERIOR MATERIAL LEGEND**

	BFC	BOARD FORMED CONCRETE
	CCBC	CERACLAD RAINSCREEN BOARD FORMED CONCRETE
	CCWC	CERACLAD RAINSCREEN RUSTIC WOOD - CARAMEL
	HSNB	HARDIE SMOOTH NAVAJO BEIGE
	HCLM	HARDIE SELECT CEDARMILL LIGHT MIST
	HCIG	HARDIE SELECT CEDARMILL IRON GRAY
	AEPOTG	AEP SPAN PRESTIGE SERIES, 12" NO REVEAL w/2 PENCIL RIBS ALUMINUM PANEL, OLD TOWN GRAY
	AEPDB	AEP SPAN PRESTIGE SERIES, 12" NO REVEAL w/2 PENCIL RIBS ALUMINUM PANEL, DARK BRONZE
	SSMR	AEP SPAN SELECT SEAM WIDE BATTEN, OLD TOWN GRAY
		PERFORATED METAL PANEL - PARKING VENTILATION
		CURTAIN PANEL - INSULATED GLAZING
		CURTAIN PANEL - SPANDREL

NOTE: For typical Hardie, CeraClad and Concrete reveals and expansion joints, see 7/A7.02

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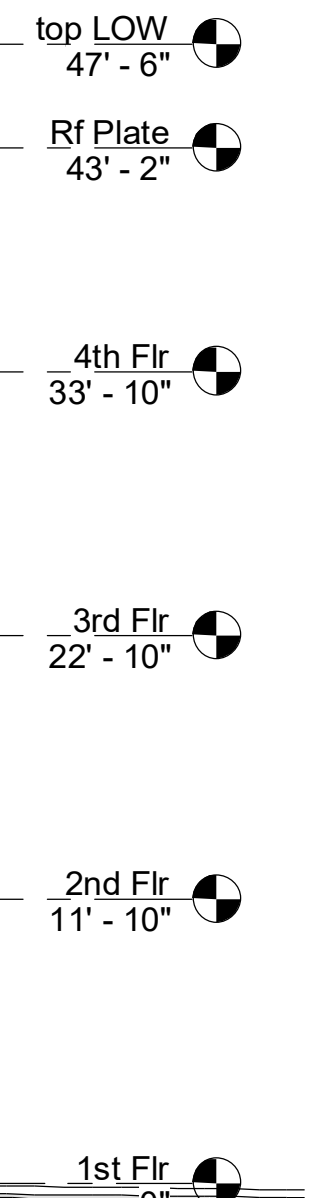
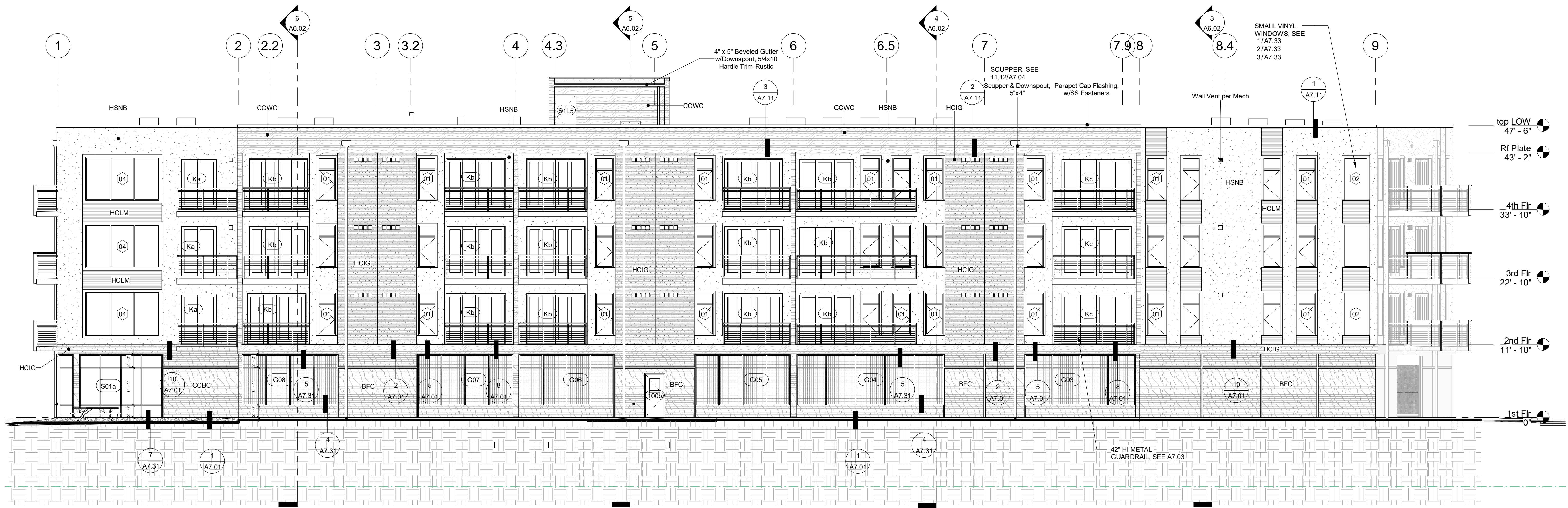
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ELEVATIONS

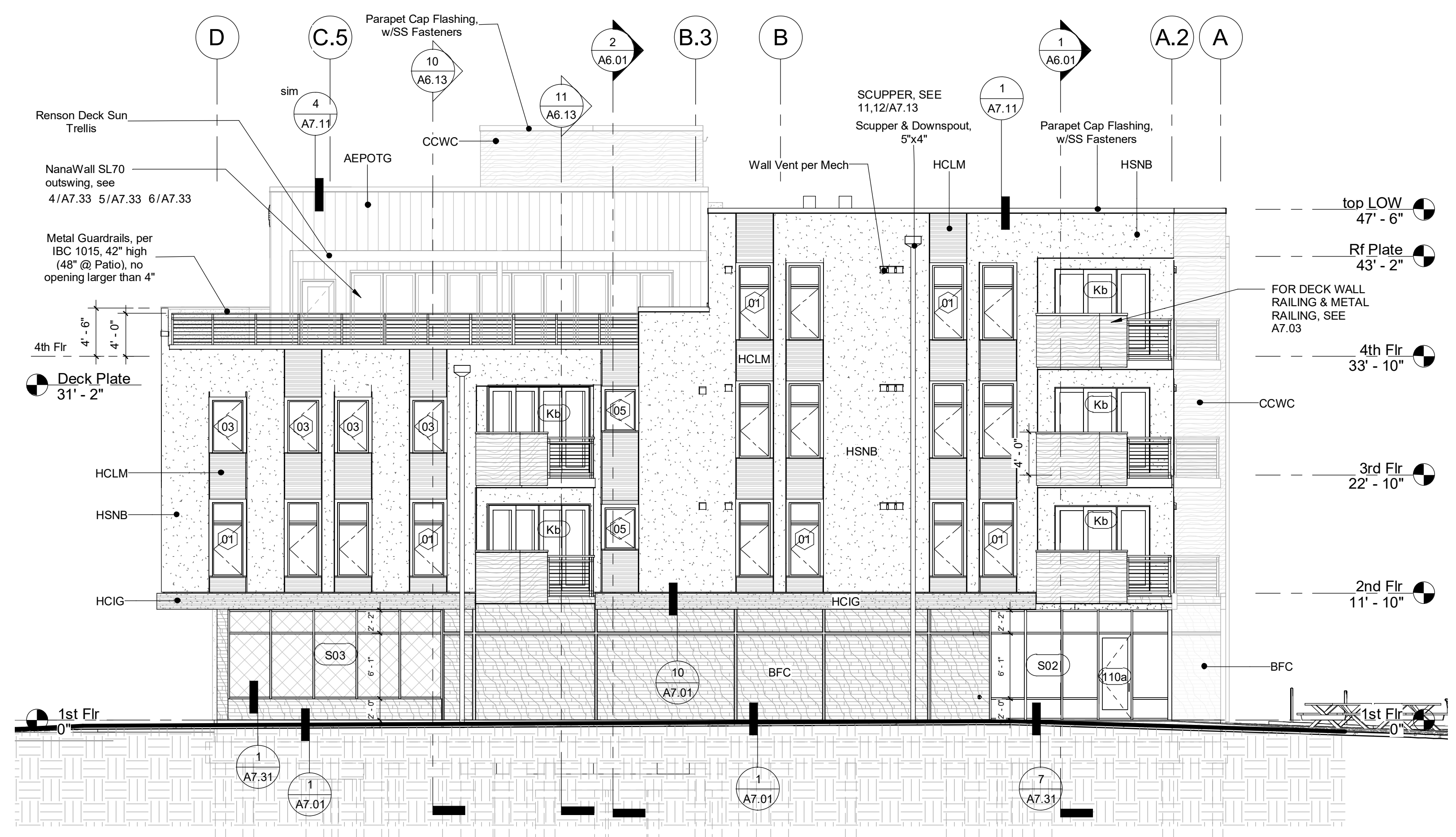
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**SHEET NO.**  
A3.01





**3 BUILDING ELEVATION - NORTH**  
1/8" = 1'-0"



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		CURTAIN PANEL - SPANDEL

NOTE: For typical Hardie, CeraClad and Concrete reveals and expansion joints, see 7/A7.02

**4 BUILDING ELEVATION - EAST**  
1/8" = 1'-0"

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**INFO**

Sheet Name: ELEVATIONS  
Project Number: Bay Street Apts rvt  
Date: 10/11/18  
Rev# 1876  
Rev# 1876  
Rev# 1876

**SHEET NAME**  
ELEVATIONS  
PERMIT SUBMITTAL - 061520

**SHEET NO.**  
A3.02

PW20-037  
PW20-038