

PORT ORCHARD COMMERCIAL BUILDING LAND DEVELOPMENT ACTIVITY PERMIT

Legal Descriptions

TAX PARCEL 4062-005-002-0103
LOTS 2 AND 3, BLOCK 5, WHEELER'S ADDITION TO SIDNEY, CONVEYED BY
AUDITOR'S FILE NO. 1017734;
EXCEPT THE SOUTH 80 FEET.

TAX PARCEL 4062-005-002-0004
THE SOUTH 80 FEET OF LOT 2, BLOCK 5, WHEELER'S ADDITION TO SIDNEY,
ACCORDING TO PLAT RECORDED VOLUME 1 OF PLATS, PAGE 61, RECORDS OF
KITSAP COUNTY, WASHINGTON.

Curve Data

CURVE	DELTA	RADIUS	LENGTH
C1	1°27'37"	548.30'	13.97'
C2	3°23'31"	448.30'	26.54'
C3	13°10'31"	428.30'	98.49'
C4	8°08'46"	428.30'	60.90'
C5	0°53'18"	548.30'	8.50'

Temporary Bench Mark No. 1 Note

SET MAGNETIC NAIL AND 2" BRASS WASHER IN ASPHALT WALK 1.0'
EASTERLY OF THE TOP BACK OF CURB ON THE EASTERLY SIDE OF BETHEL
AVENUE AND AT THE APPROXIMATE INTERSECTION WITH THE WESTERLY
PROJECTION OF THE SOUTH RIGHT OF WAY LINE OF DEKALB STREET.
ELEVATION = 48.96 (NOT SHOWN HEREON)

PARCEL NO.	TAX ACCOUNT No.	AREA
PARCEL A	4062-005-002-0103	1,895 SF (0.04 AC)
PARCEL B	4062-005-002-0004	3,761 SF (0.09 AC)
PARCEL C	4062-005-007-0009	53,360 SF (1.22 AC)
PROSPECT ST. RIGHT-OF-WAY VACATION		6,066 SF (0.14 AC)
KITSAP ST. RIGHT-OF-WAY VACATION		1,200 SF (0.03 AC)
ALLEY VACATION		705 SF (0.02 AC)
TOTAL SITE AREA		66,987 SF (1.54 AC)

SITE DATA*

SITE IMPERVIOUS AREAS

BUILDING	5,000 SF (0.12 AC)
ASPHALT	24,598 SF (0.56 AC)
CONCRETE CURB, GUTTER, SIDEWALKS & DUMPSTER PAD	2,800 SF (0.06 AC)
TOTAL SITE IMPERVIOUS AREA	32,398 SF (0.74 AC)

SITE PERVIOUS AREAS

UNDISTURBED/RETAINED NATIVE VEGETATION	30,053 SF (0.69 AC)
SITE LANDSCAPE	4,536 SF (0.11 AC)
TOTAL SITE PERVIOUS AREA	34,589 SF (0.80 AC)
TOTAL SITE AREA	66,987 SF (1.54 AC)

OFF-SITE (WITHIN SR-166 ROW)

ASPHALT	667 SF (0.02 AC)
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PARKING

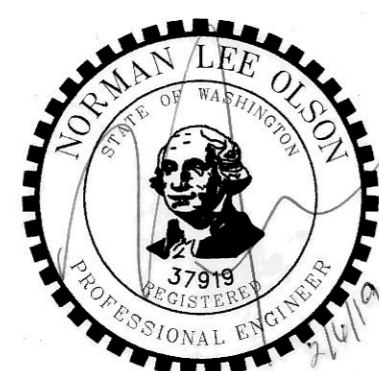
HANDICAP STALLS	2
STANDARD STALLS	48
TOTAL PARKING	50 (15,000 SF/300 SF PER STALL=50 STALLS REQUIRED)

ZONING

COMMERCIAL

* NOTE:
SITE DATA AND EARTHWORK QUANTITIES FOR
INFORMATION ONLY - NOT FOR CONSTRUCTION.

N.L Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



For: **Michael Broz**
2023 Edgewater Way
Santa Barbara, CA 93109
Phone: (805) 407-7691

APPROXIMATE EARTHWORK QUANTITY*

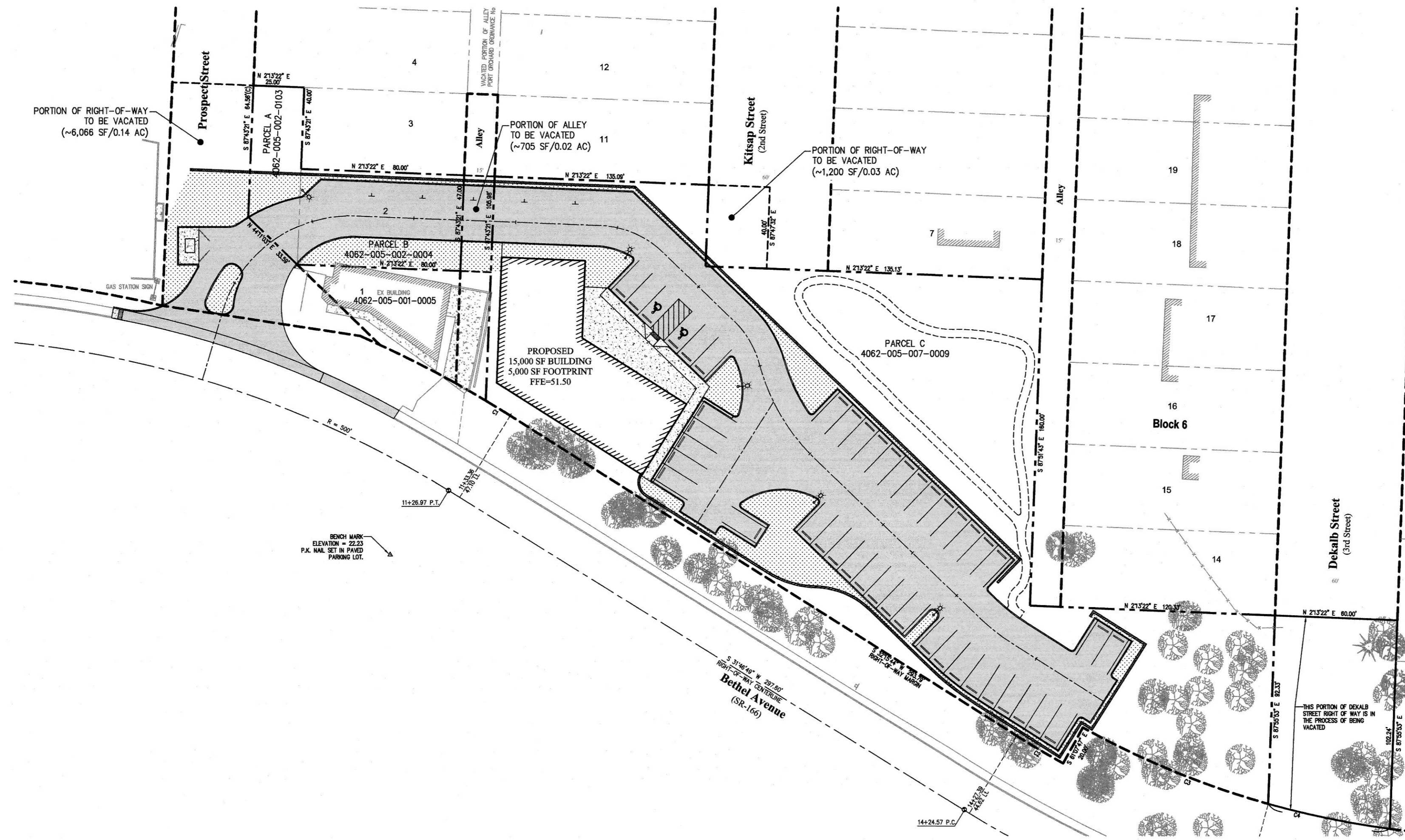
CUT QUANTITY = 10,800± C.Y.
FILL QUANTITY = 1,900± C.Y.

(CONTRACTOR TO VERIFY QUANTITIES
PRIOR TO CONSTRUCTION)

NOTE

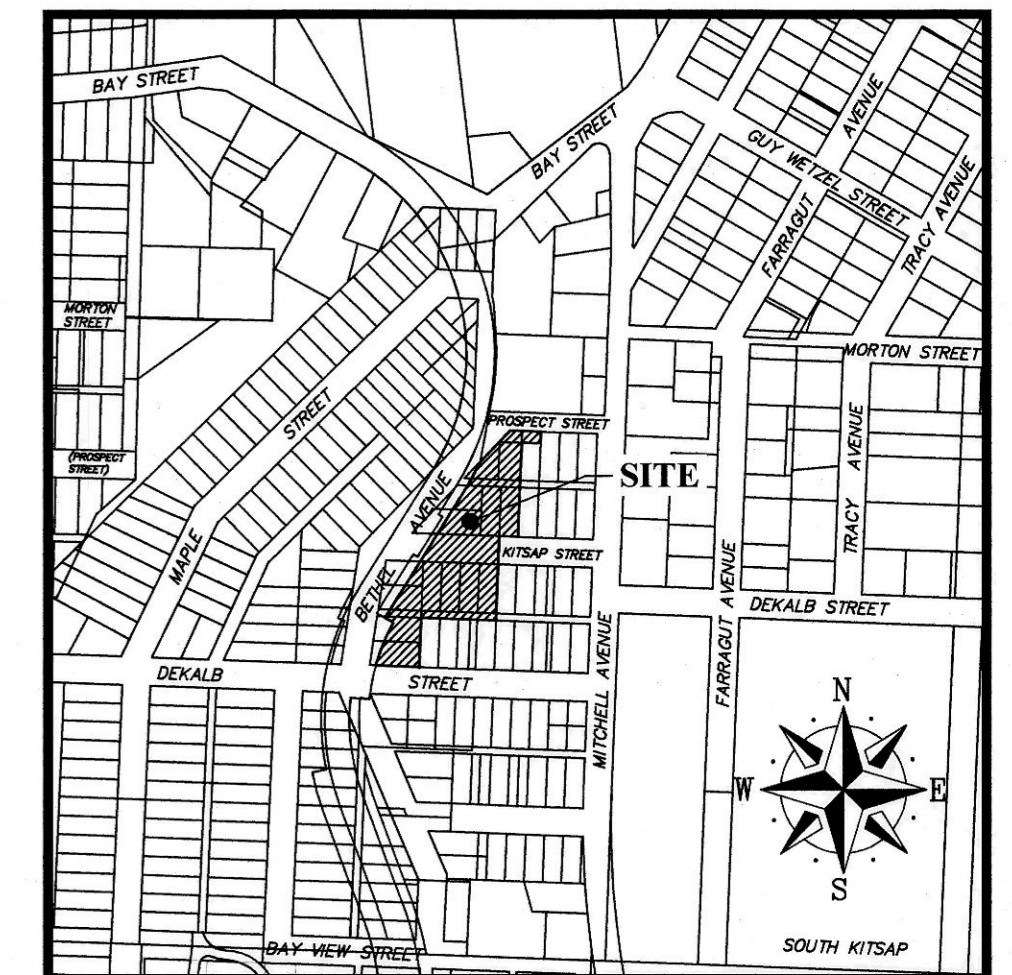
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ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY
TO DETERMINE THE LOCATION OF EXISTING UTILITIES PRIOR TO
COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE
TO LOCATE, PRESERVE AND PROTECT UNDERGROUND UTILITIES.

**CALL 48 HOURS
BEFORE YOU DIG
811**

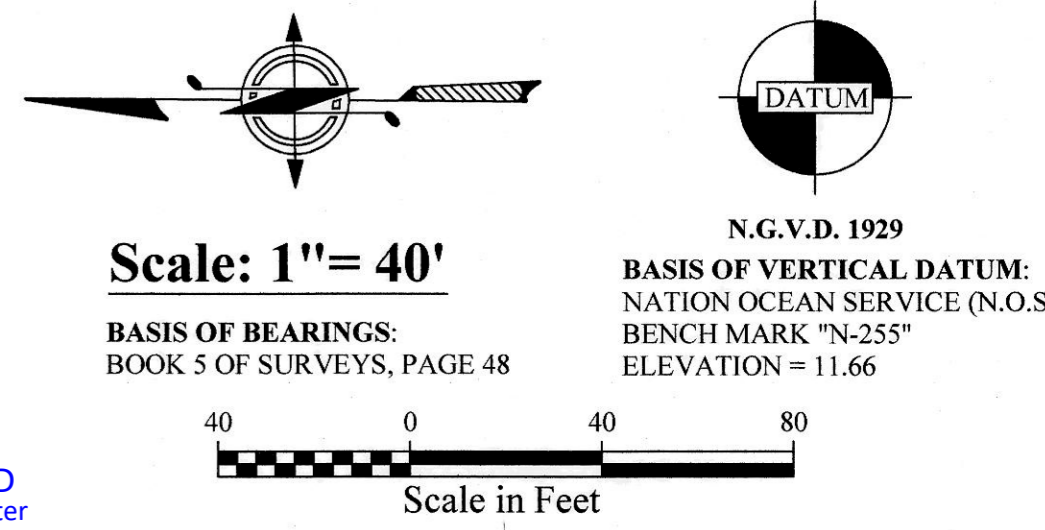


LEGEND

- | | | | | | | |
|---|--|--|--|-----------|--|--|
| ● | EXISTING CASED W.S.D.O.T. MONUMENT | ---322--- | EXISTING GROUND CONTOUR (2' INTERVALS) | [Pattern] | PROPOSED BIORETENTION CELL | |
| △ | MAGNETIC OR PK NAIL AS NOTED | + 402.6 | EXISTING GROUND SPOT ELEVATION | [Pattern] | PROPOSED BUILDING | |
| → | EXISTING DITCH / DRAINAGE COURSE | → | EXISTING SURFACE DRAINAGE FLOW DIRECTION | [Pattern] | PROPOSED CONCRETE | |
| ⊕ | EXISTING UTILITIES POLE & GUY ANCHOR | [Pattern] | EXISTING CONCRETE SURFACE | [Pattern] | PROPOSED HMA PAVEMENT | |
| ⊗ | EXISTING WATER VALVE | —X—X— | EXISTING CHAIN LINK FENCE | [Pattern] | PROPOSED LANDSCAPING | |
| ⊕ | EXISTING TRAFFIC SIGN | —X—X— | EXISTING BOARD/WIRE FENCE | [Pattern] | --- --- | SITE PROPERTY LINE/BOUNDARY |
| ☀ | CONIFER TREE, DIAMETER AND
TYPE AS NOTED | —X—X— | EXISTING ROCK RETAINING WALL | [Pattern] | --- | RIGHT-OF-WAY |
| ☀ | DECIDUOUS TREE, DIAMETER AS NOTED,
TYPE (IF KNOWN) SHOWN HEREON | —SS— | EXISTING SANITARY SEWER MANHOLE | [Pattern] | --- | PC CONCRETE CURB |
| | | —SS— | EXISTING SANITARY SEWER LINE | [Pattern] | --- </td <td>PC CONCRETE CURB AND GUTTER</td> | PC CONCRETE CURB AND GUTTER |
| | | —SS— | EXISTING STORM DRAIN MANHOLE | [Pattern] | --- </td <td>SYMBOL OF ACCESSIBILITY</td> | SYMBOL OF ACCESSIBILITY |
| | | —W— | EXISTING WATER LINE | [Pattern] | --- </td <td>PROPOSED WATER LINE</td> | PROPOSED WATER LINE |
| | | □ | EXISTING CATCH BASIN | [Pattern] | --- </td <td>PROPOSED SANITARY SEWER LINE</td> | PROPOSED SANITARY SEWER LINE |
| | | ○ | EXISTING UTILITIES POLE | [Pattern] | --- </td <td>PROPOSED STORM PIPE</td> | PROPOSED STORM PIPE |
| | | ▣ | EXISTING TELEPHONE RISER | [Pattern] | --- </td <td>PROPOSED ROOF DRAIN</td> | PROPOSED ROOF DRAIN |
| | | ⊗ | EXISTING JUNCTION BOX | [Pattern] | --- </td <td>PROPOSED FOOTING DRAIN</td> | PROPOSED FOOTING DRAIN |
| | | ⊕ | EXISTING LUMINAIRE | [Pattern] | ○CO | PROPOSED SANITARY SEWER CLEANOUT |
| | | ⊕ | EXISTING FIRE HYDRANT | [Pattern] | □ | PROPOSED STORM TYPE I CB |
| | | ⊕ | EXISTING WATER VALVE | [Pattern] | ⊕ | PROPOSED STORM TYPE I CB W/BEEHIVE GRATE |
| | | ⊕ | EXISTING WATER METER | [Pattern] | ⊕ | PROPOSED STORM TYPE II CB |
| | | --- | EXISTING ADJACENT LOT LINE | [Pattern] | ⊕ | PROPOSED SANITARY SEWER MANHOLE |
| | | --- </td <td>EASEMENT LINE</td> <td>[Pattern]</td> <td>⊕</td> <td>PROPOSED FIRE HYDRANT</td> | EASEMENT LINE | [Pattern] | ⊕ | PROPOSED FIRE HYDRANT |
| | | | | [Pattern] | ⊕ | PROPOSED BIKE RACK |
| | | | | [Pattern] | | RETAINING/LANDSCAPE WALL |



VICINITY MAP
PORTION OF SECTION 25 TOWNSHIP 24N, RANGE 1 EAST, WM
NOT TO SCALE



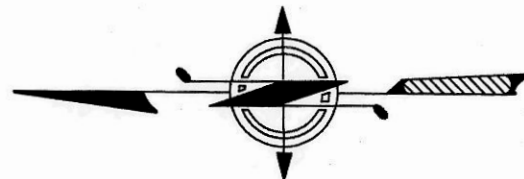
SHEET INDEX	
SHEET	DESCRIPTION
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY 1
C2.1	TOPOGRAPHIC SURVEY 2
C3.0	SITE PLAN
C3.1	SITE DETAILS AND SECTIONS
C3.2	SITE DETAILS
C3.3	ROAD PROFILE
C4.0	T.E.S.C. & DEMOLITION PLAN
C4.1	T.E.S.C. NOTES & DETAILS
C4.2	T.E.S.C. DETAILS
C5.0	STORM DRAINAGE & GRADING PLAN
C5.1	STORM DRAINAGE AND GRADING NOTES & DETAILS
C5.2	STORM NOTES & DETAILS
C5.3	STORM WATER QUALITY DETAILS
C6.0	UTILITY PLAN
C6.1	SANITARY SEWER NOTES & DETAILS
C6.2	SANITARY SEWER DETAILS
C6.3	WATER NOTES & DETAILS
C6.4	WATER DETAILS
C7.0	LANDSCAPE PLAN

PW20-041
PW20-042

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Scale: 1" = 20'

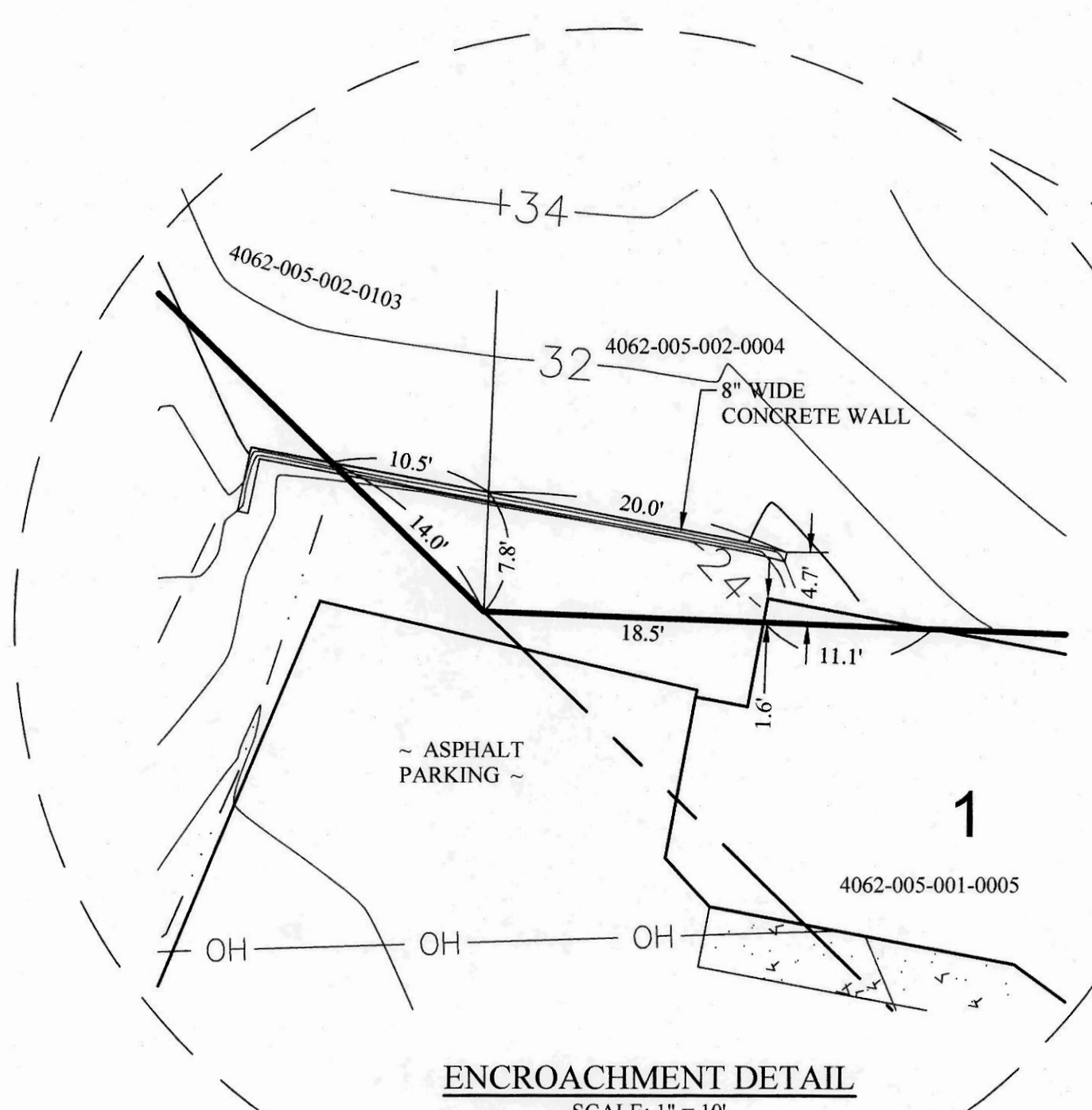
BASIS OF BEARINGS:
 BOOK 5 OF SURVEYS, PAGE 48



N.G.V.D. 1929
 BASIS OF VERTICAL DATUM:
 NATION OCEAN SERVICE (N.O.S.)
 BENCH MARK "N-255"
 ELEVATION = 11.66

Legend

- EXISTING CASED W.S.D.O.T. MONUMENT
- ▲ MAGNETIC OR PK NAIL AS NOTED
- ▨ EXISTING CONCRETE SURFACE
- ▩ EXISTING ASPHALT PAVED SURFACE
- - - EXISTING DITCH / DRAINAGE COURSE
- x-x-x EXISTING BOARD FENCE LINE
- EXISTING UTILITIES POLE & GUY ANCHOR
- EXISTING WATER VALVE
- ⊥ EXISTING TRAFFIC SIGN
- ⊙ SANITARY SEWER MANHOLE
- ⊕ MONITORING WELL

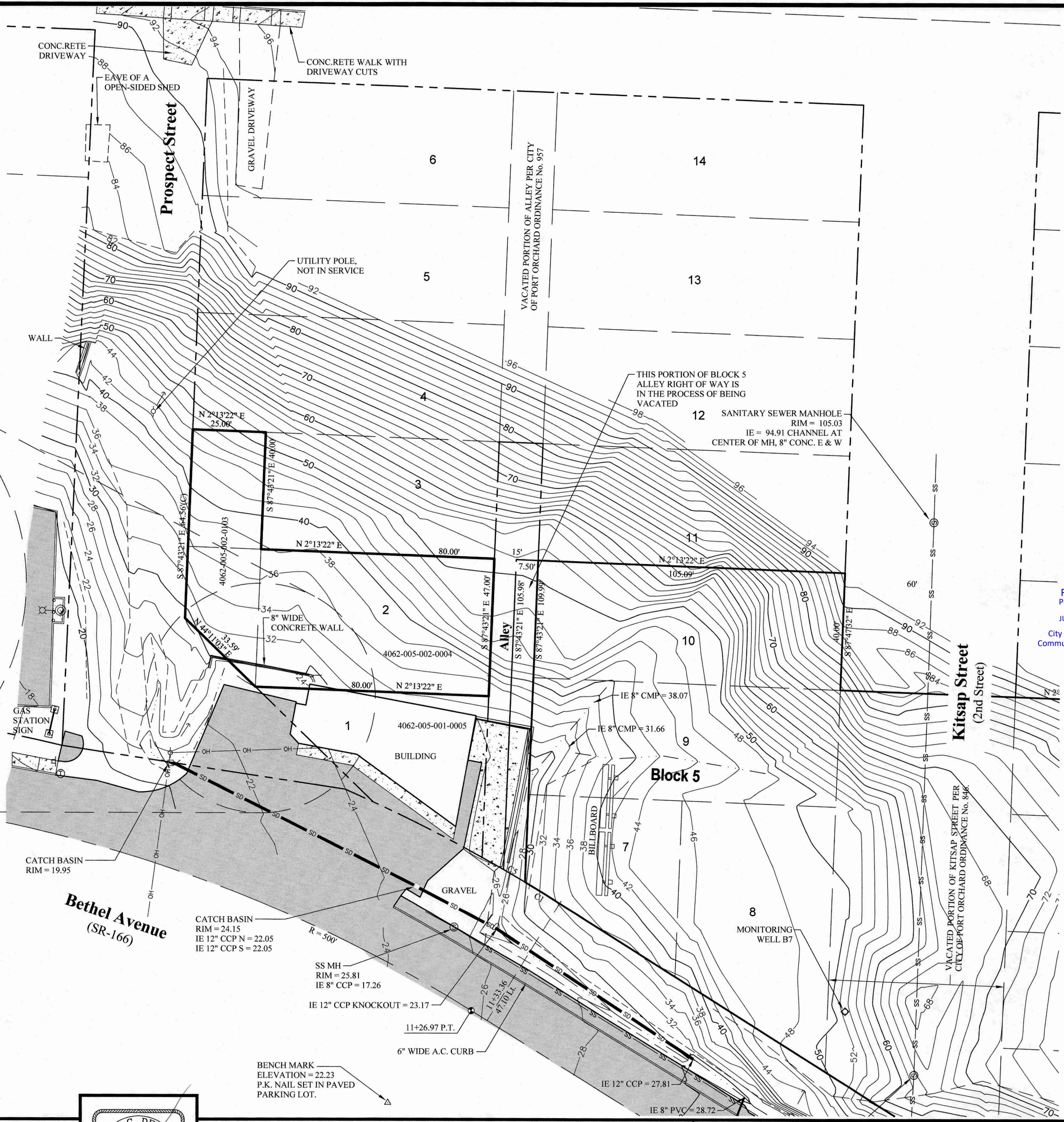
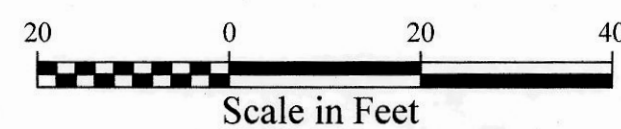


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 ELEVATION = 48.96 (SEE SHEET 2)

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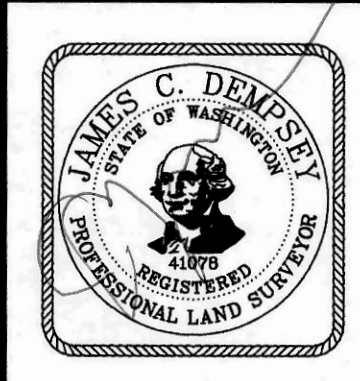


RECEIVED
 Permit Center
 JUL 28, 2020
 City of Port Orchard
 Community Development

PW20-041
 PW20-042

REVISIONS				BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	
1	4/17	DGP	TOPO AT PROSPECT ST.	DRAWN	GDP 12/16
2	7/17	DGP	TOPO LOTS 3-5, 11 & 12	CHECKED	JCD 12/16
3	8/18	DGP	REV. EDGE OF ASPHALT, ADDED DITCH	APPROVED	
4	1/19	DGP	SAN. SEWER, MON. WELL	ACCEPTED	

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 Engineering, Planning and Surveying
 (360) 876-2284
 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

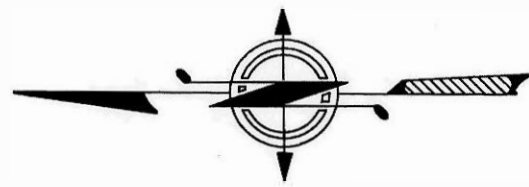


TOPOGRAPHIC SURVEY 1

1320 BAY STREET, PORT ORCHARD, WA
 Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
 Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:
Michael Broz
 2023 Edgewater Way
 Santa Barbara, CA 93109
 Phone: (805) 407-7691

SCALE: 1"=20'
DATE: Jan. 11, 2019
DRAWING NUMBER: 17-10120
SHEET C2.0



Scale: 1" = 20'

BASIS OF BEARINGS:
BOOK 5 OF SURVEYS, PAGE 48



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- ⊕ EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING MONITORING WELL

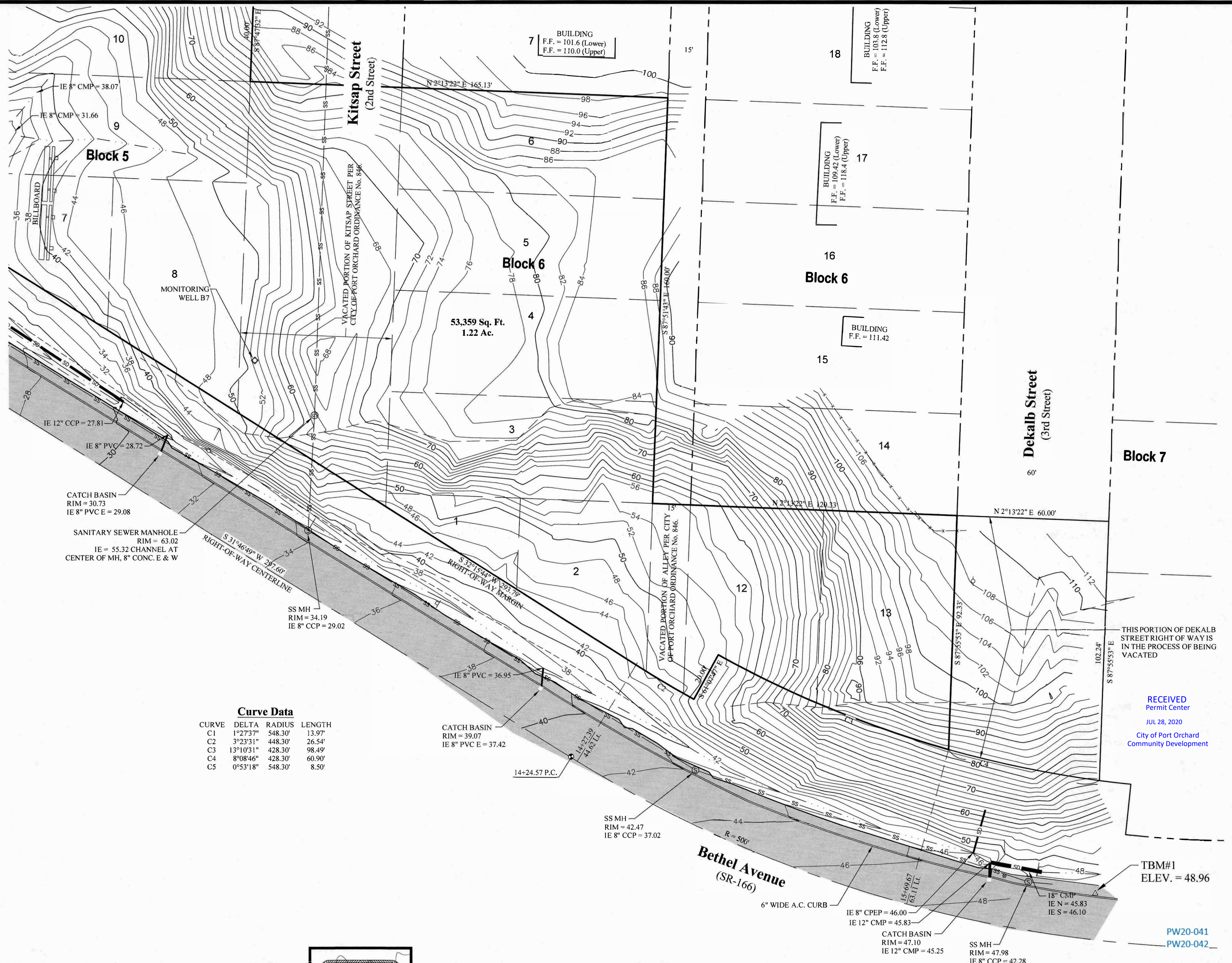
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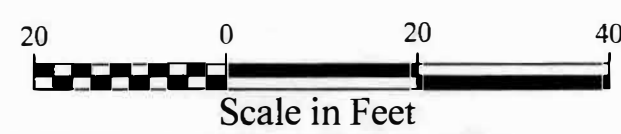
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THIS PORTION OF DEKALB STREET RIGHT OF WAY IS IN THE PROCESS OF BEING VACATED

RECEIVED
Permit Center
JUL 28, 2020
City of Port Orchard
Community Development

TBM#1
ELEV. = 48.96

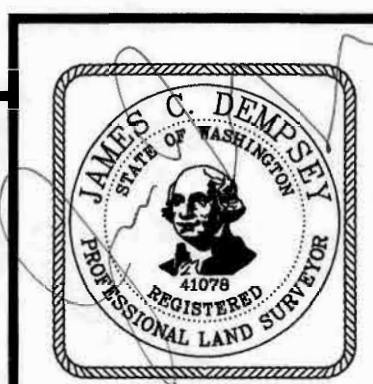
PW20-041
PW20-042



REVISIONS

NO.	DATE	BY	DESCRIPTION	DESIGNED	DRAWN	CHECKED	APPROVED	ACCEPTED
1	4/17	DGP	TOPO AT PROSPECT ST.					
2	7/17	DGP	TOPO LOTS 3-5, 11 & 12					
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TOPOGRAPHIC SURVEY 2

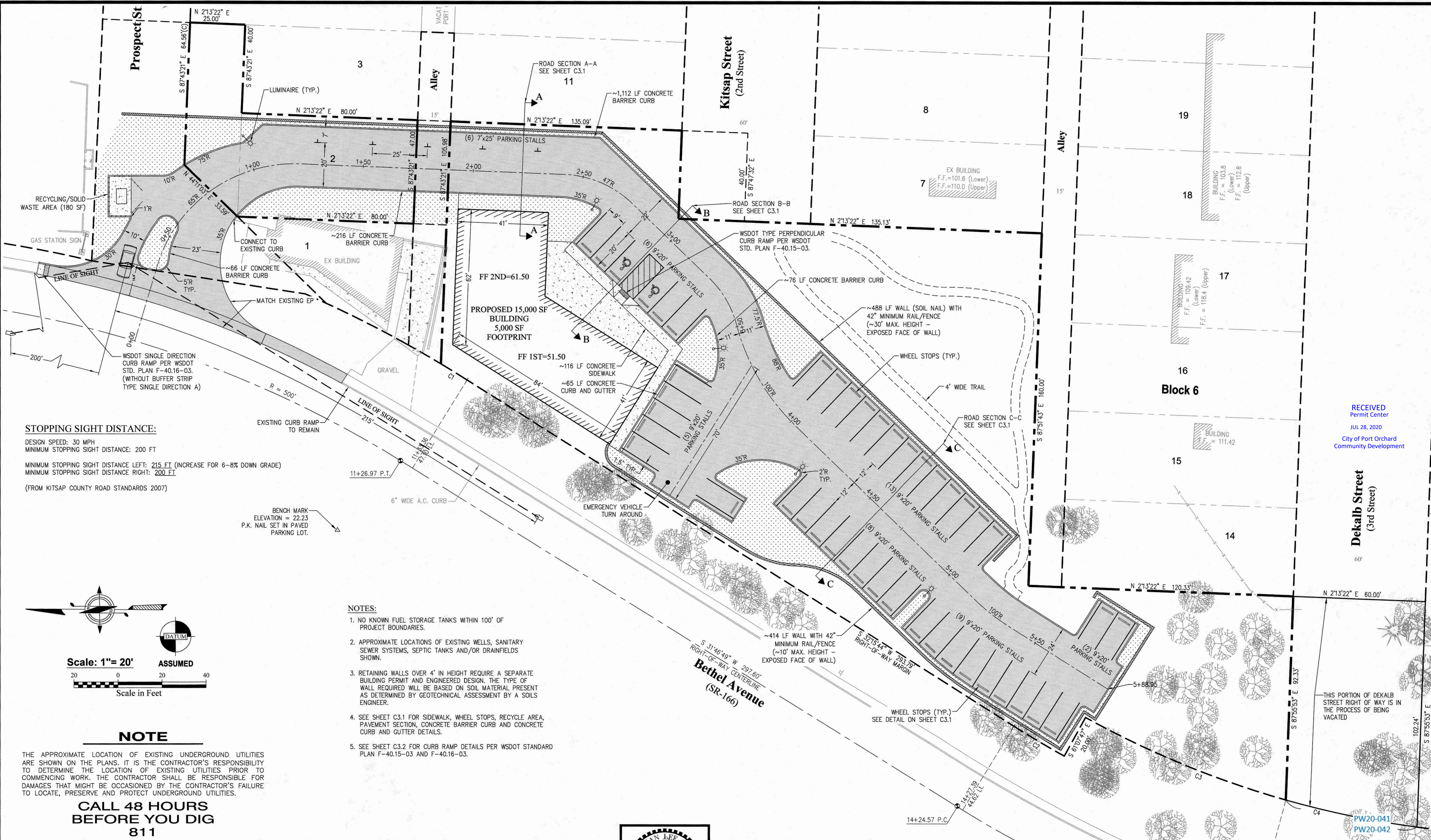
1320 BAY STREET, PORT ORCHARD, WA

Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:

Michael Broz
2023 Edgewater Way
Santa Barbara, CA 93109
Phone: (805) 407-7691

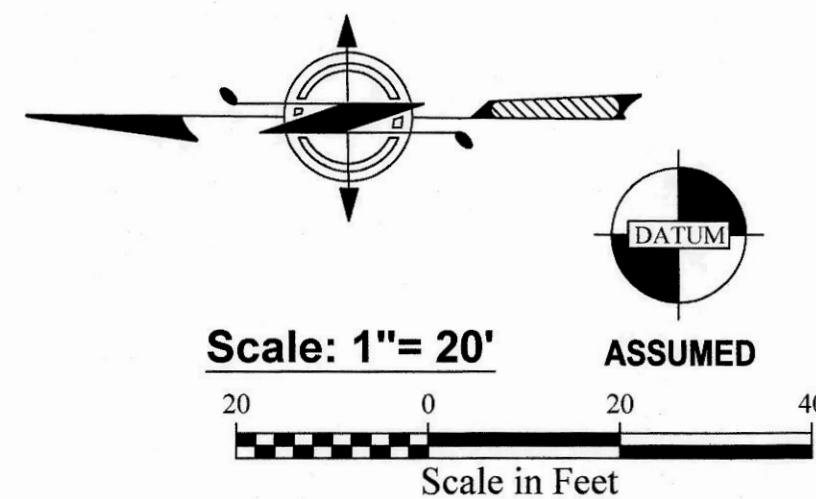
SCALE: 1"=20'
DATE: Jan. 11, 2019
DRAWING NUMBER:
17-10120
SHEET C2.1



STOPPING SIGHT DISTANCE:

DESIGN SPEED: 30 MPH
 MINIMUM STOPPING SIGHT DISTANCE: 200 FT
 MINIMUM STOPPING SIGHT DISTANCE LEFT: 215 FT (INCREASE FOR 6-8% DOWN GRADE)
 MINIMUM STOPPING SIGHT DISTANCE RIGHT: 200 FT
 (FROM KITSAP COUNTY ROAD STANDARDS 2007)

BENCH MARK
 ELEVATION = 22.23
 P.K. NAIL SET IN PAVED
 PARKING LOT.



NOTES:

1. NO KNOWN FUEL STORAGE TANKS WITHIN 100' OF PROJECT BOUNDARIES.
2. APPROXIMATE LOCATIONS OF EXISTING WELLS, SANITARY SEWER SYSTEMS, SEPTIC TANKS AND/OR DRAINFIELDS SHOWN.
3. RETAINING WALLS OVER 4' IN HEIGHT REQUIRE A SEPARATE BUILDING PERMIT AND ENGINEERED DESIGN. THE TYPE OF WALL REQUIRED WILL BE BASED ON SOIL MATERIAL PRESENT AS DETERMINED BY GEOTECHNICAL ASSESSMENT BY A SOILS ENGINEER.
4. SEE SHEET C3.1 FOR SIDEWALK, WHEEL STOPS, RECYCLE AREA, PAVEMENT SECTION, CONCRETE BARRIER CURB AND CONCRETE CURB AND GUTTER DETAILS.
5. SEE SHEET C3.2 FOR CURB RAMP DETAILS PER WSDOT STANDARD PLAN F-40.15-03 AND F-40.16-03.

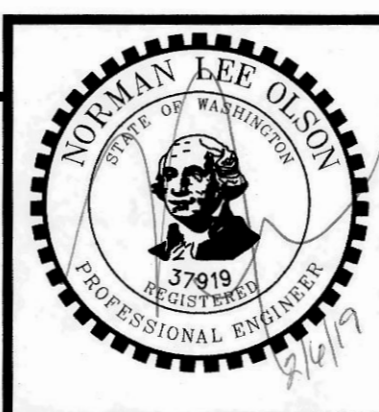
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CALL 48 HOURS BEFORE YOU DIG
811

REVISIONS				BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	JFK 2/19
				DRAWN	AUE 2/19
				CHECKED	NLOII 2/19
				APPROVED	
				ACCEPTED	

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 (360) 876-2284
 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



SITE PLAN

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Portion of the Southeast Quarter of the Southeast Quarter of Section 25, Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:

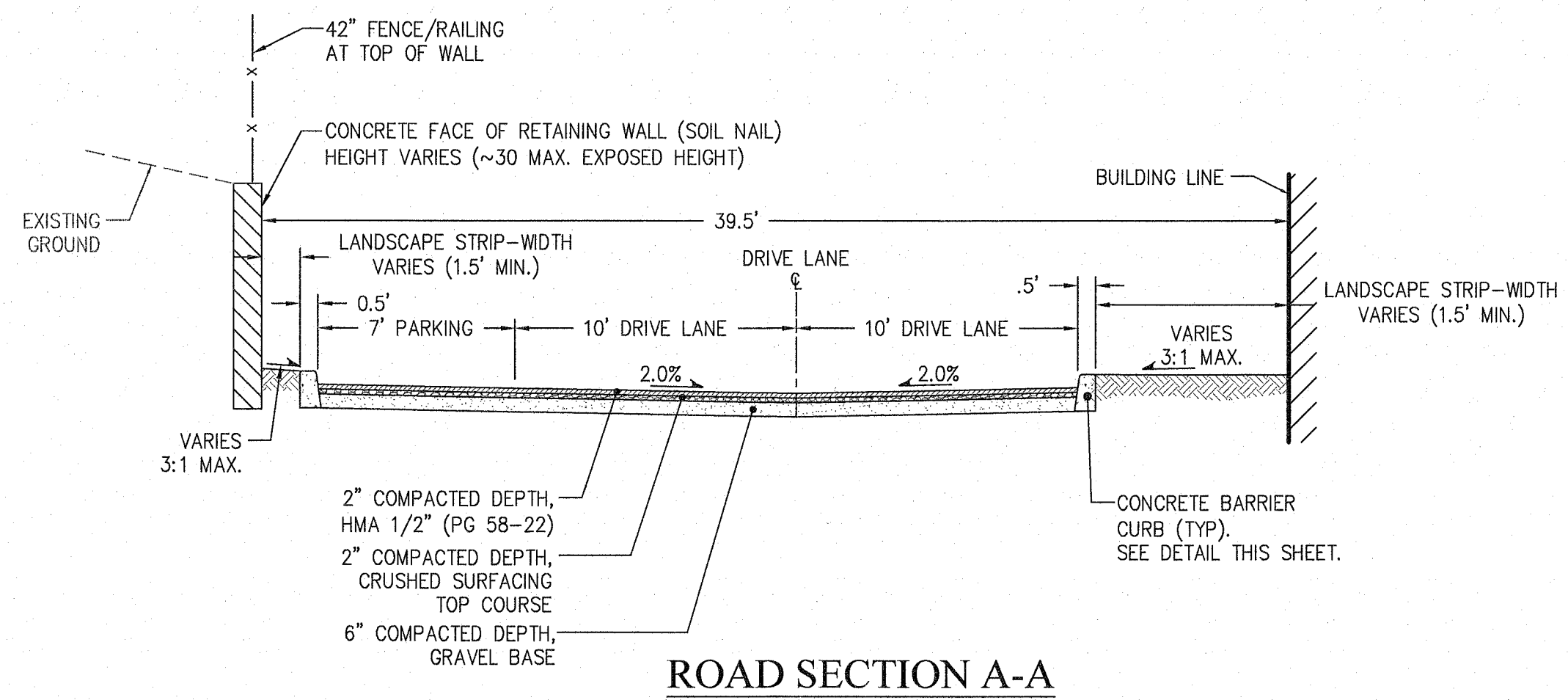
Michael Broz
 2023 Edgewater Way
 Santa Barbara, CA 93109
 Phone: (805) 407-7691

SCALE: 1"=20'
 DATE: Feb. 6, 2019
 DRAWING NUMBER:
17-10120
 SHEET C3.0

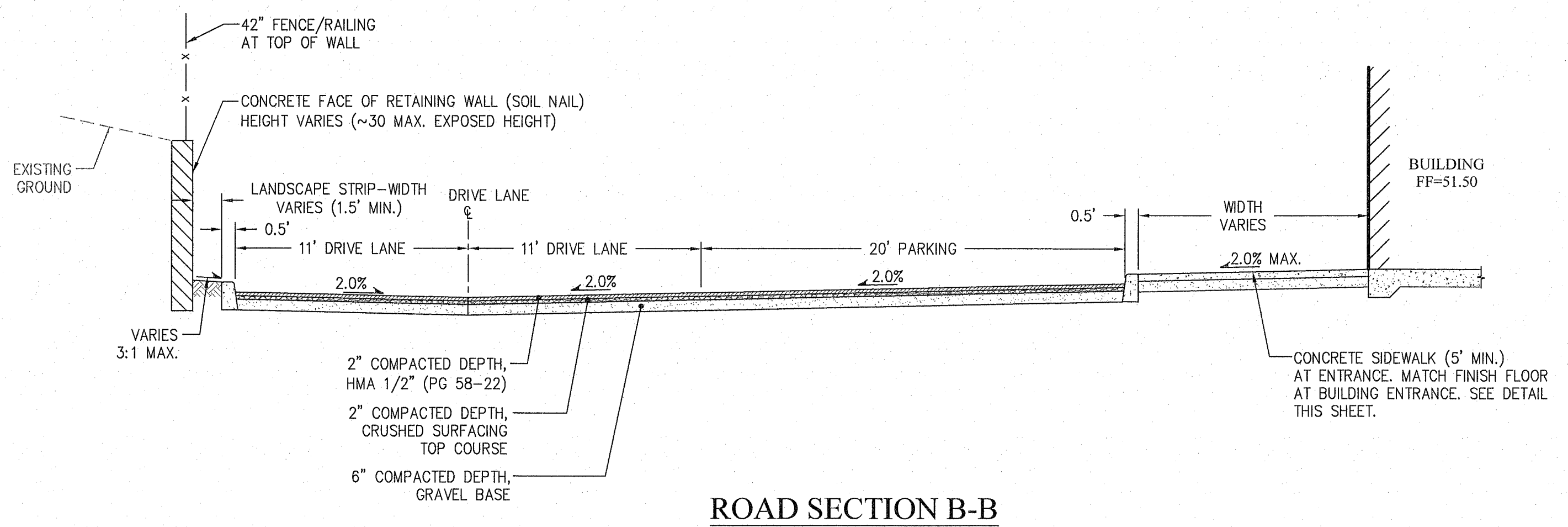
RECEIVED
 Permit Center
 JUL 28, 2020
 City of Port Orchard
 Community Development

Dekalb Street
 (3rd Street)

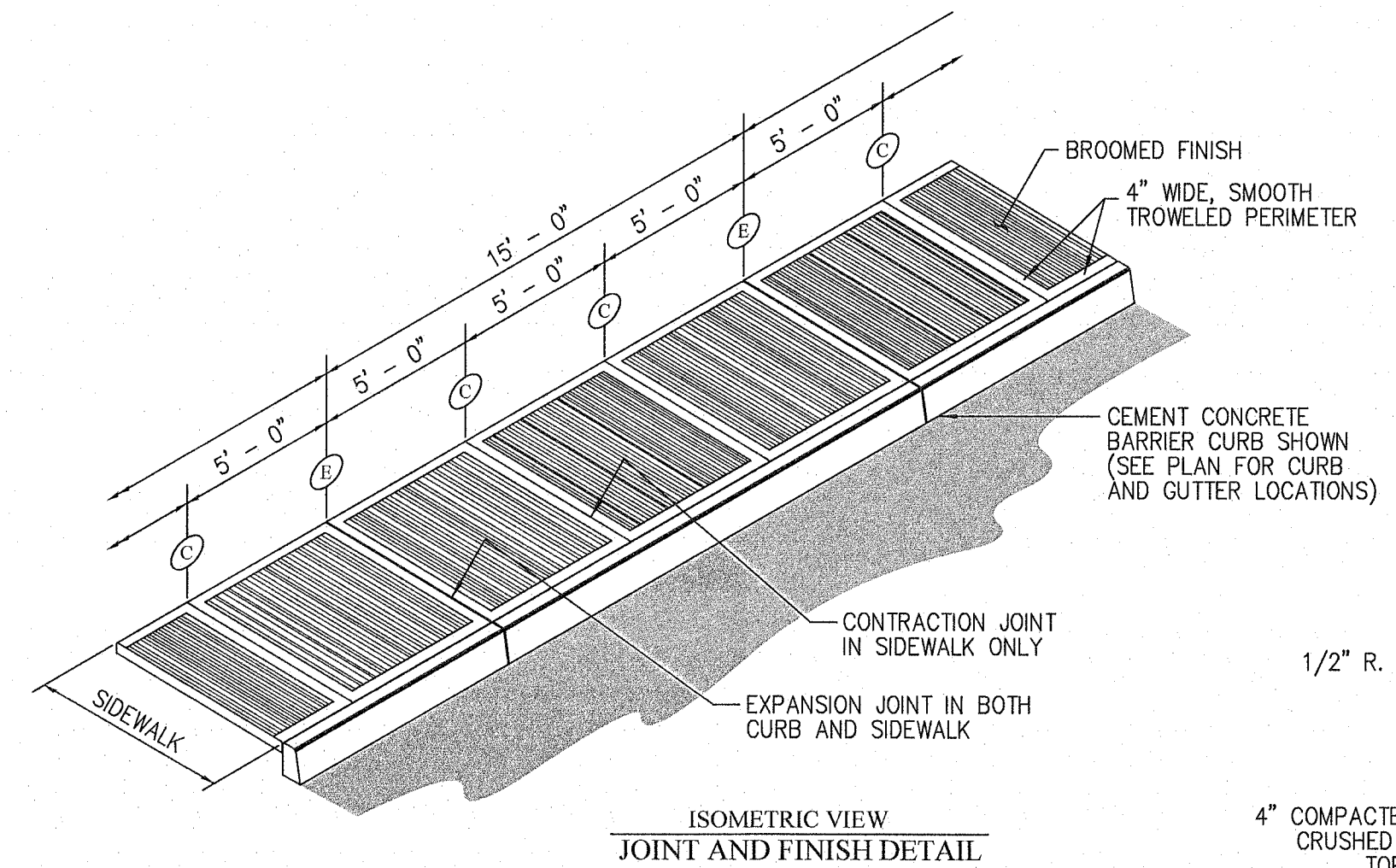
PW20-041
 PW20-042



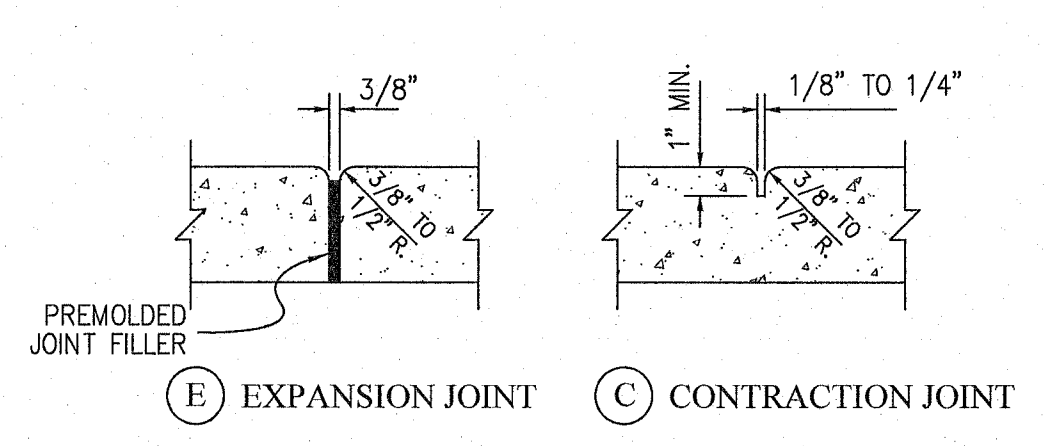
ROAD SECTION A-A
SCALE: 1"=5'



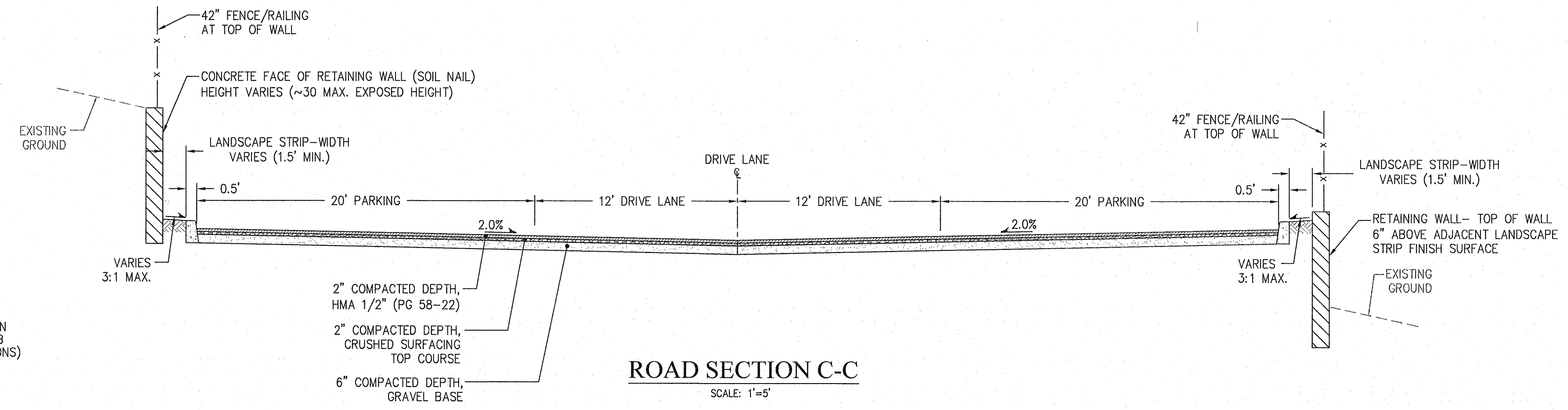
ROAD SECTION B-B
SCALE: 1"=5'



ISOMETRIC VIEW
JOINT AND FINISH DETAIL

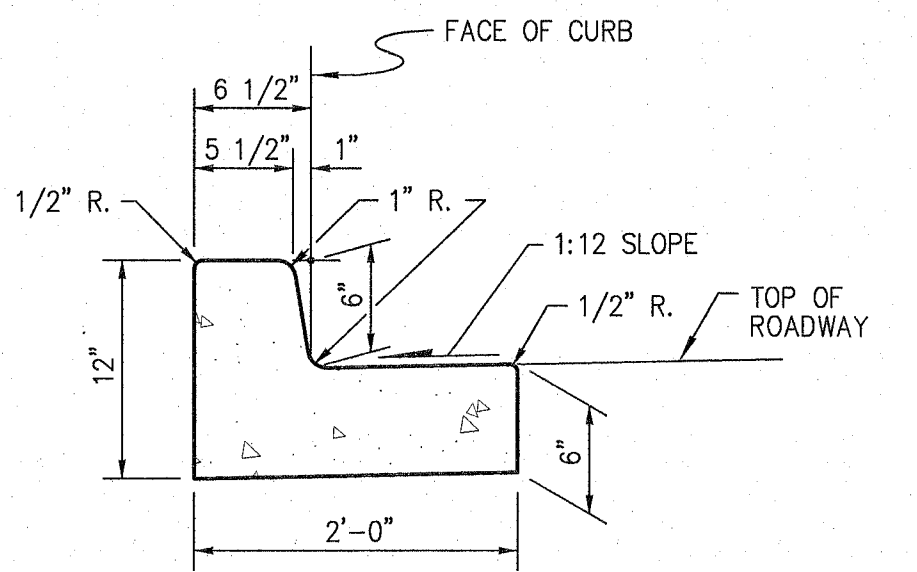


(B) EXPANSION JOINT (C) CONTRACTION JOINT

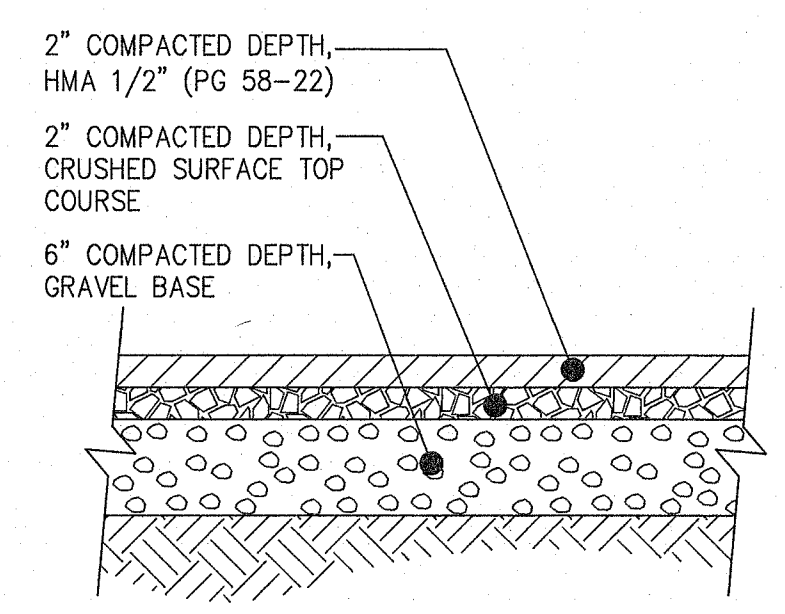


ROAD SECTION C-C
SCALE: 1"=5'

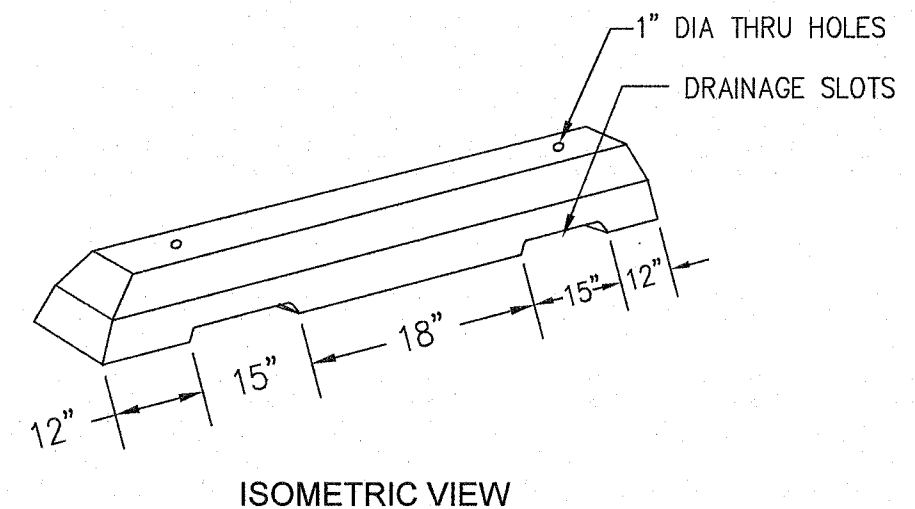
CEMENT CONCRETE SIDEWALK
ADJACENT TO CURB



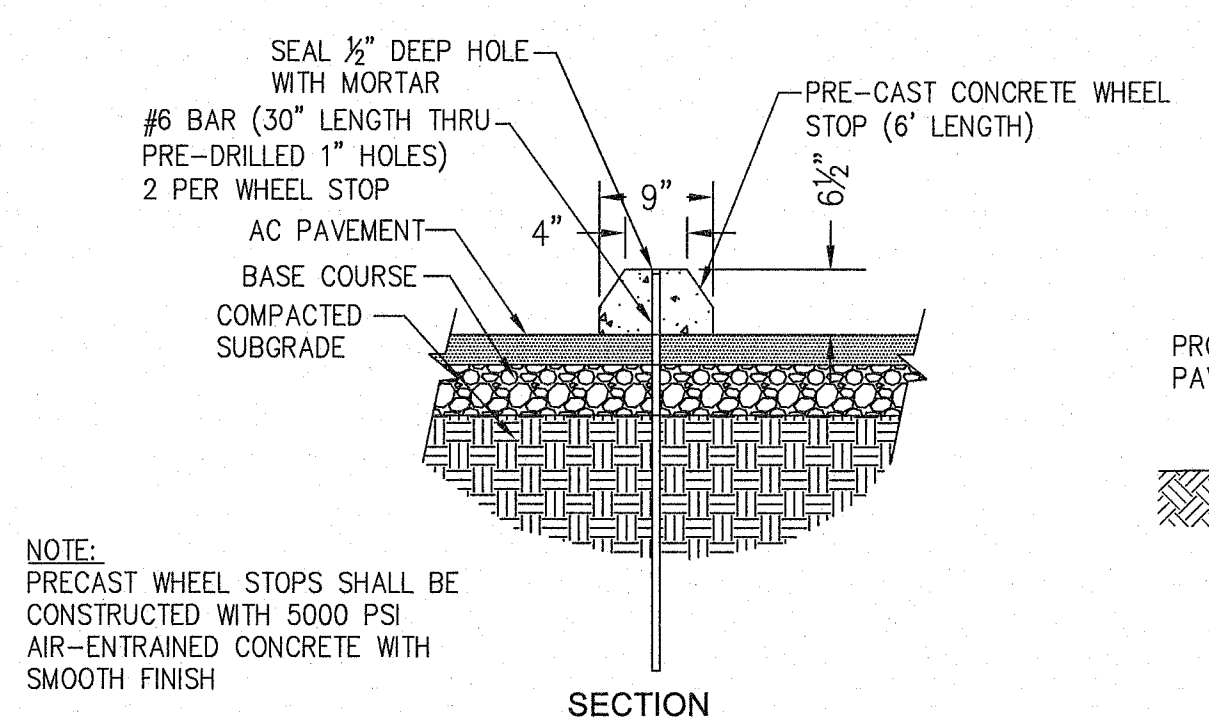
CEMENT CONCRETE TRAFFIC CURB AND GUTTER
NOT TO SCALE



AC PAVEMENT SECTION
NOT TO SCALE

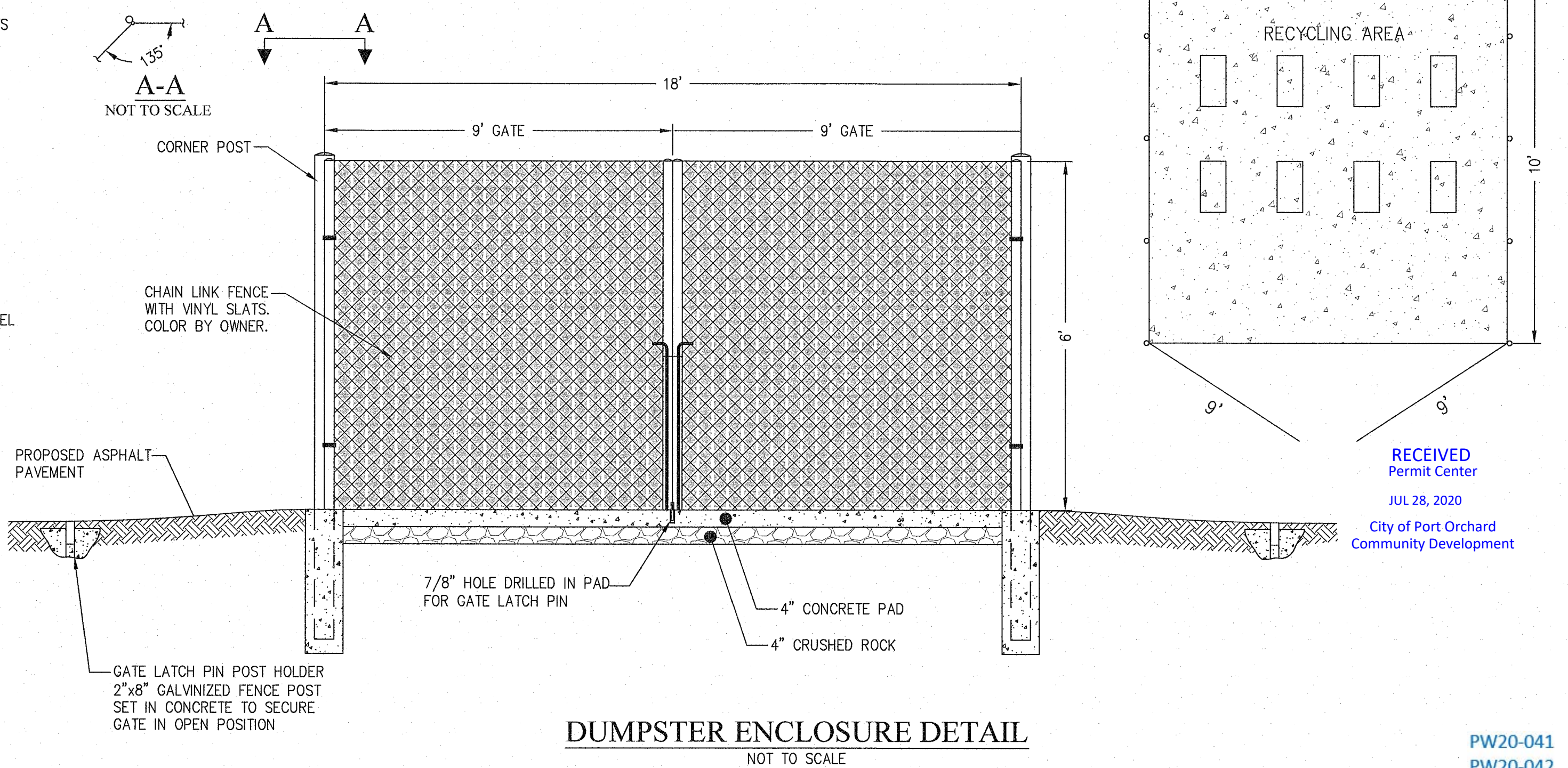


ISOMETRIC VIEW

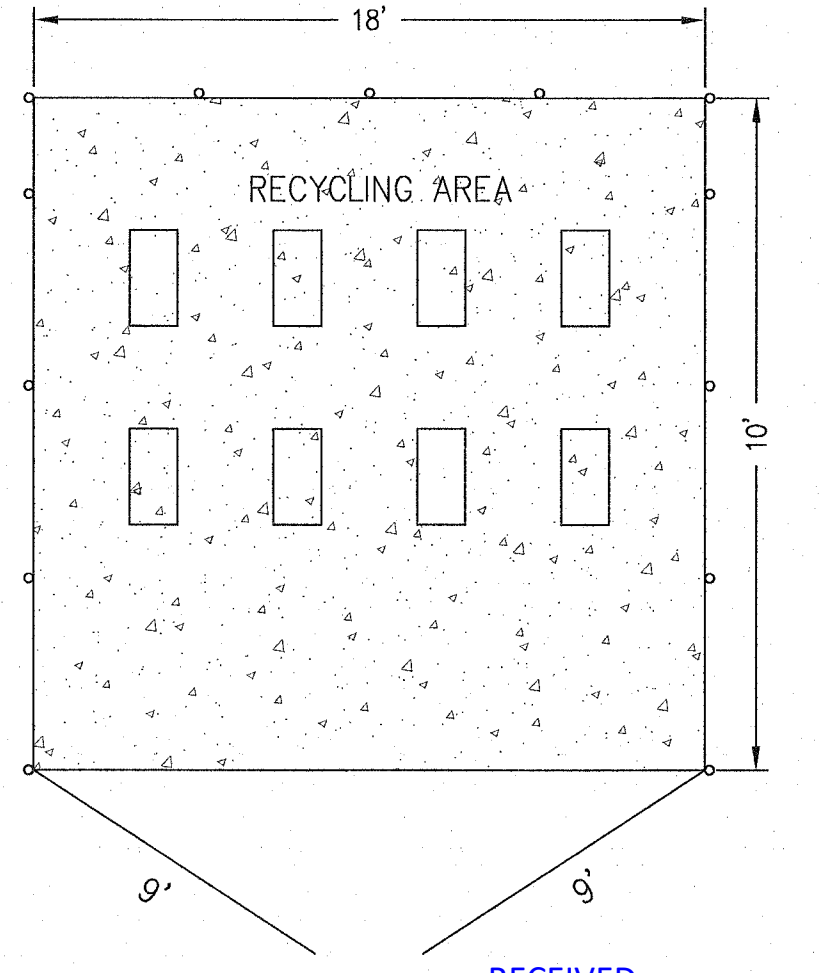


NOTE:
PRECAST WHEEL STOPS SHALL BE
CONSTRUCTED WITH 5000 PSI
AIR-ENTRAINED CONCRETE WITH
SMOOTH FINISH

PRECAST CONCRETE WHEEL STOPS
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



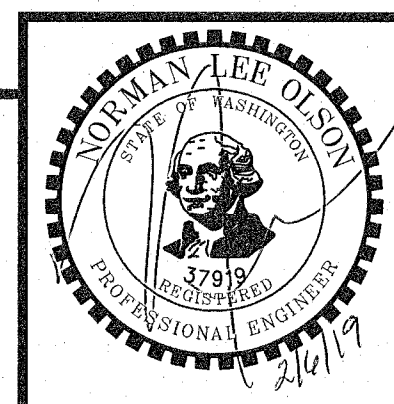
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City of Port Orchard
Community Development

PW20-041
PW20-042

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REVISIONS				BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	JFK 2/19
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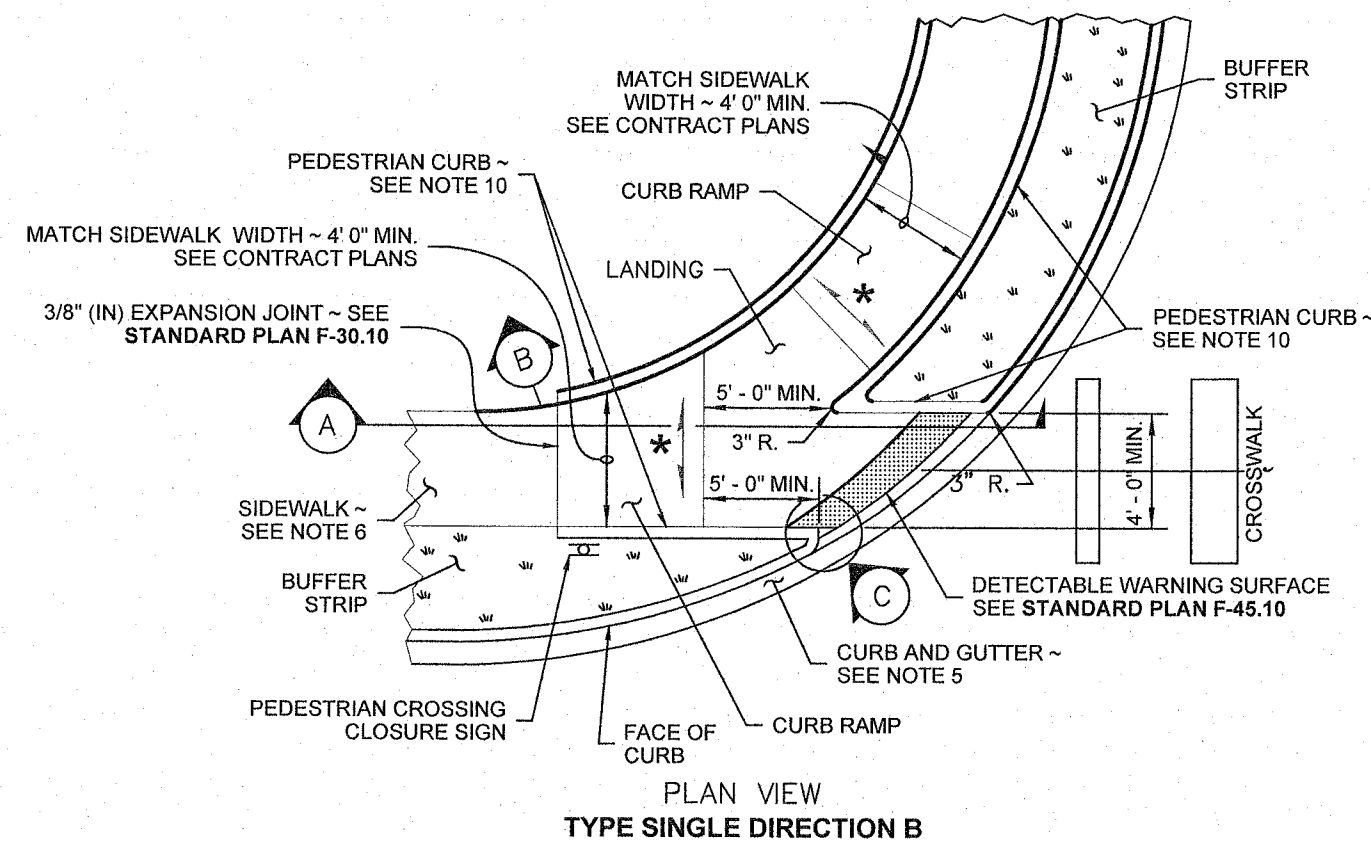
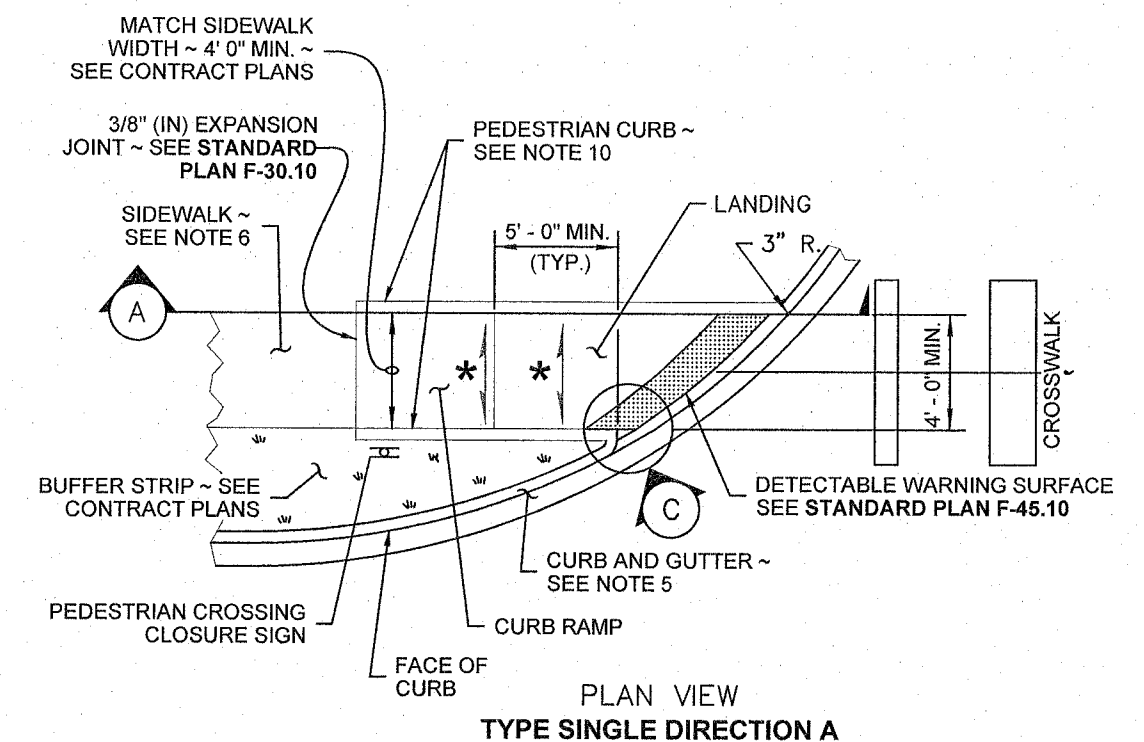
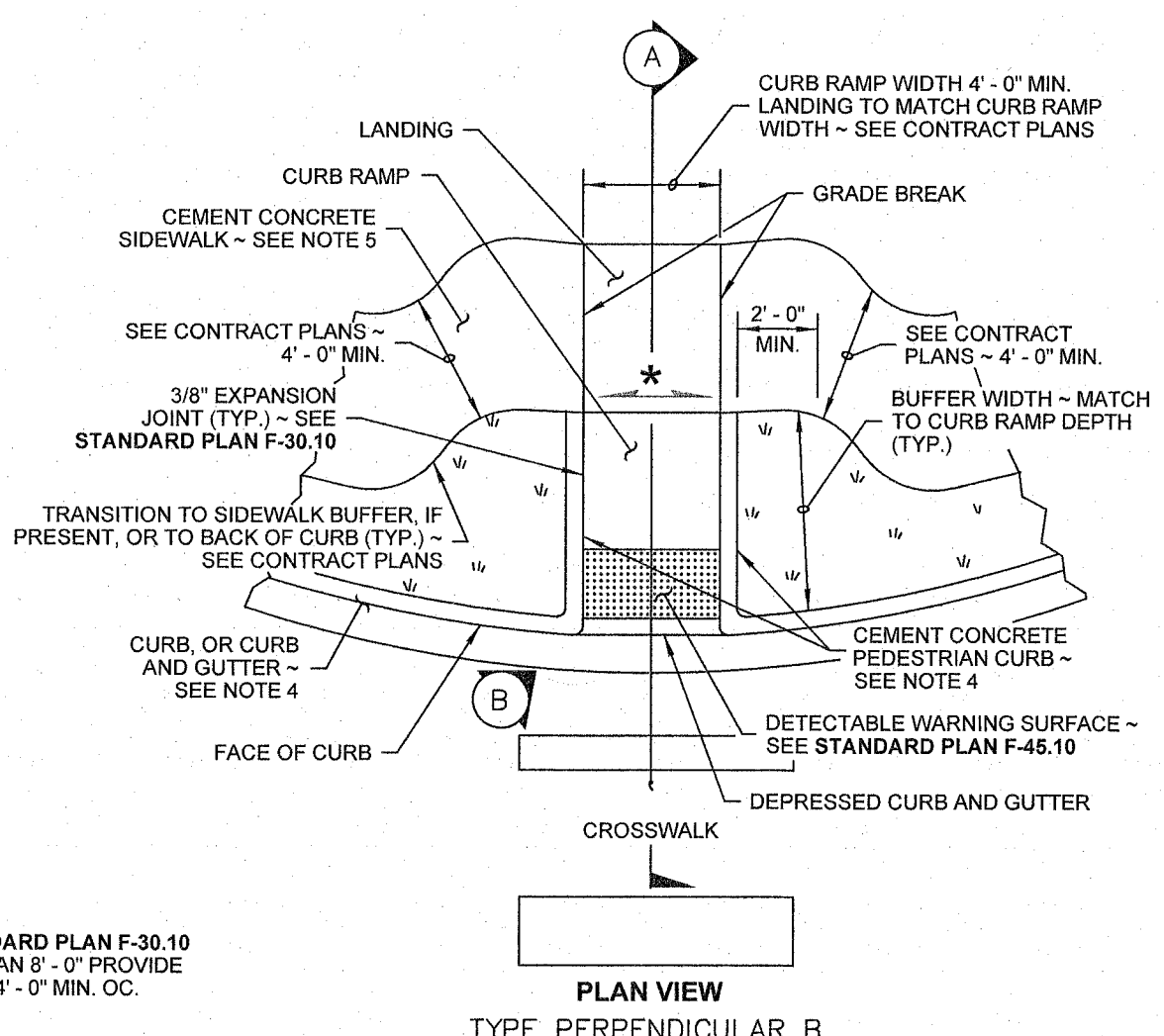
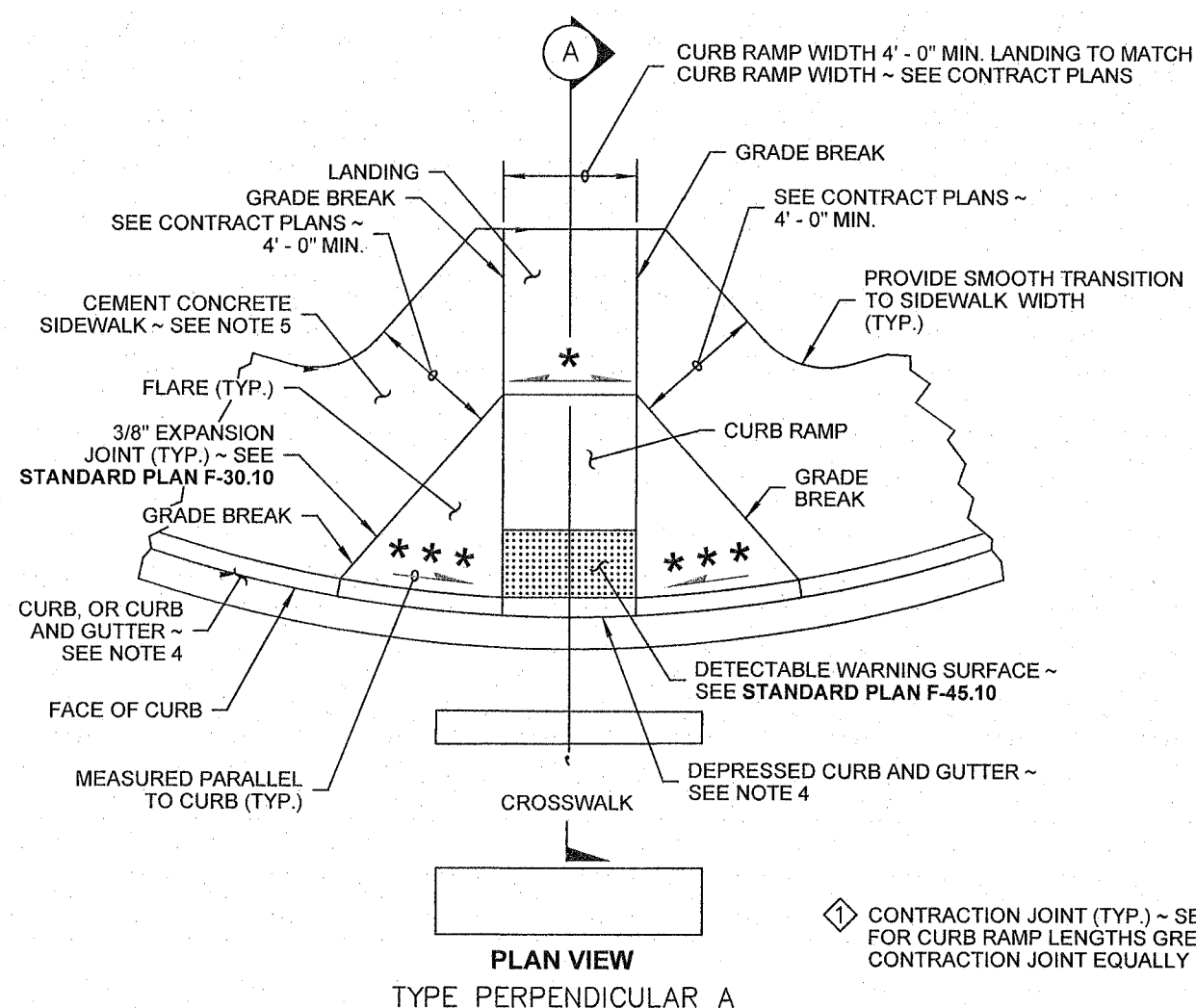
N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



SITE DETAILS AND SECTIONS
1320 BAY STREET, PORT ORCHARD, WA
Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:
Michael Broz
2023 Edgewater Way
Santa Barbara, CA 93109
Phone: (805) 407-7691

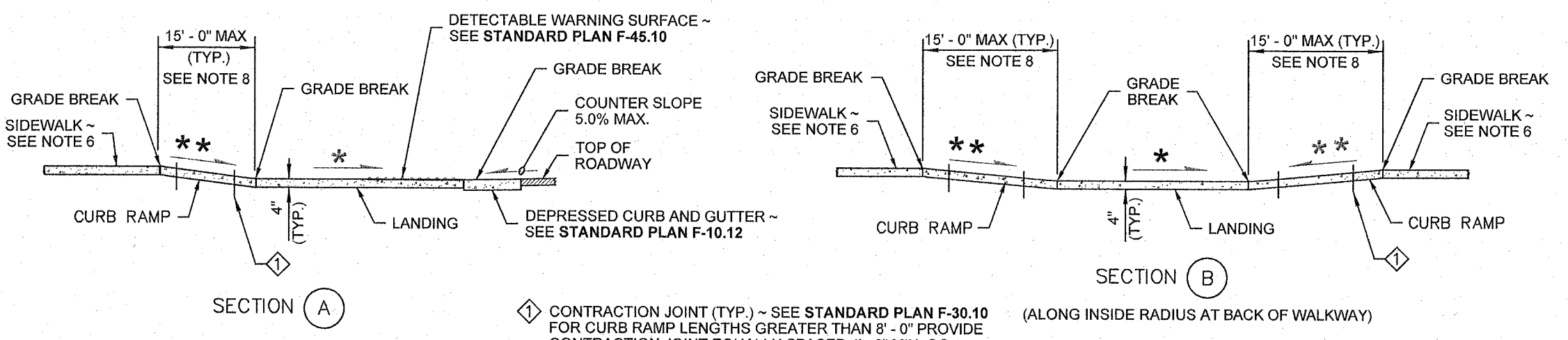
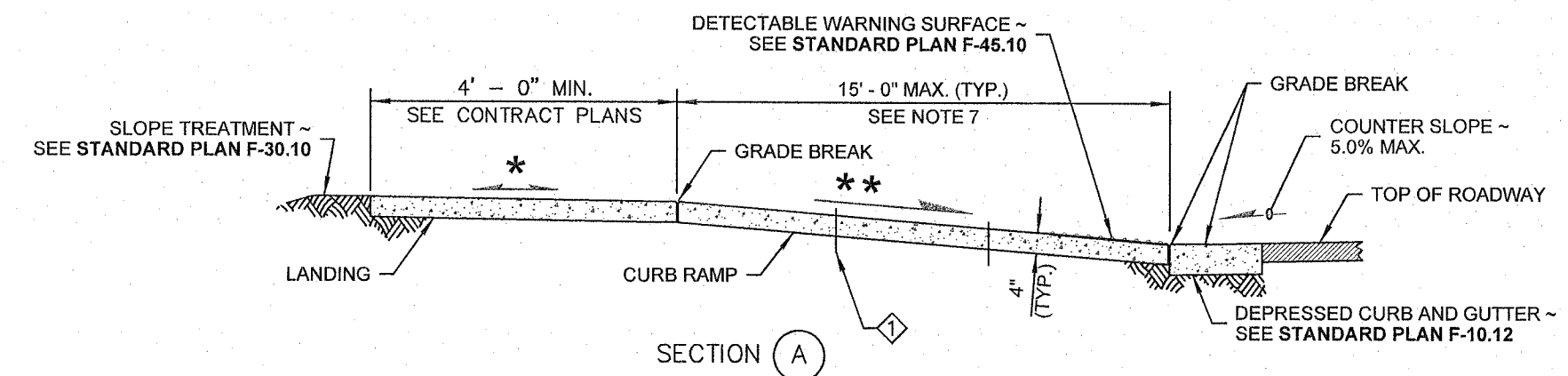
SCALE: AS SHOWN
DATE: Feb. 6, 2019
DRAWING NUMBER:
17-10120
SHEET C3.1



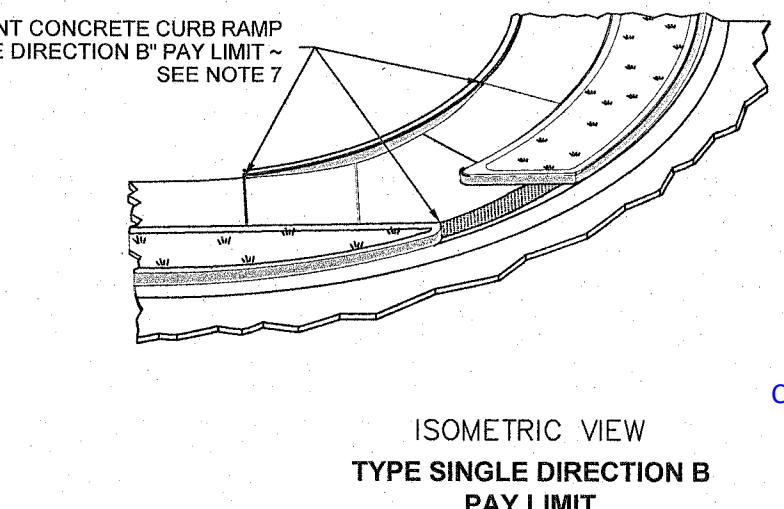
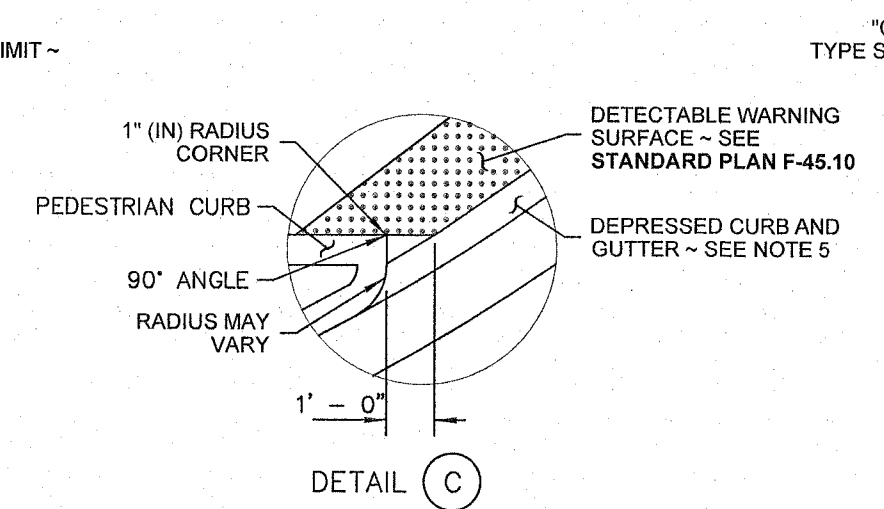
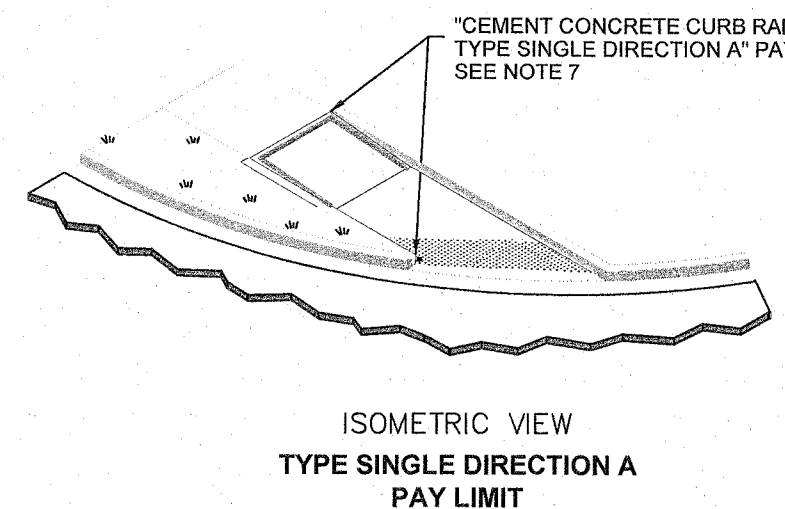
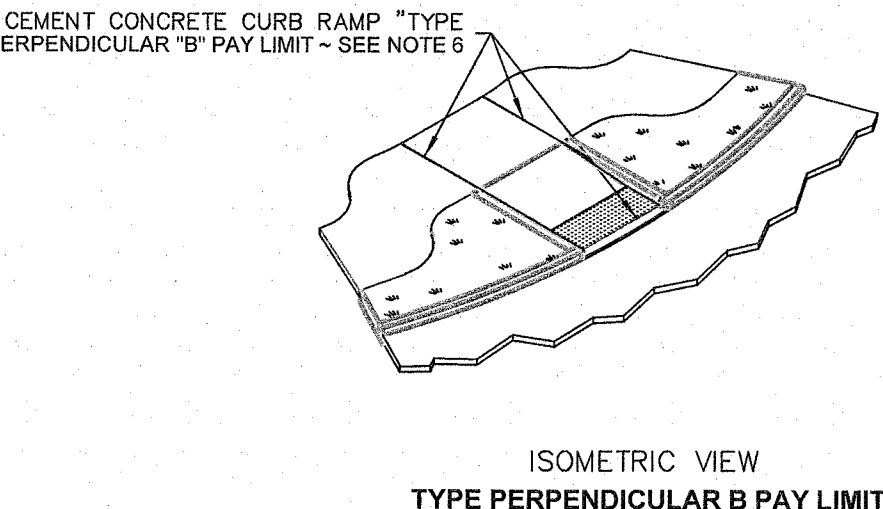
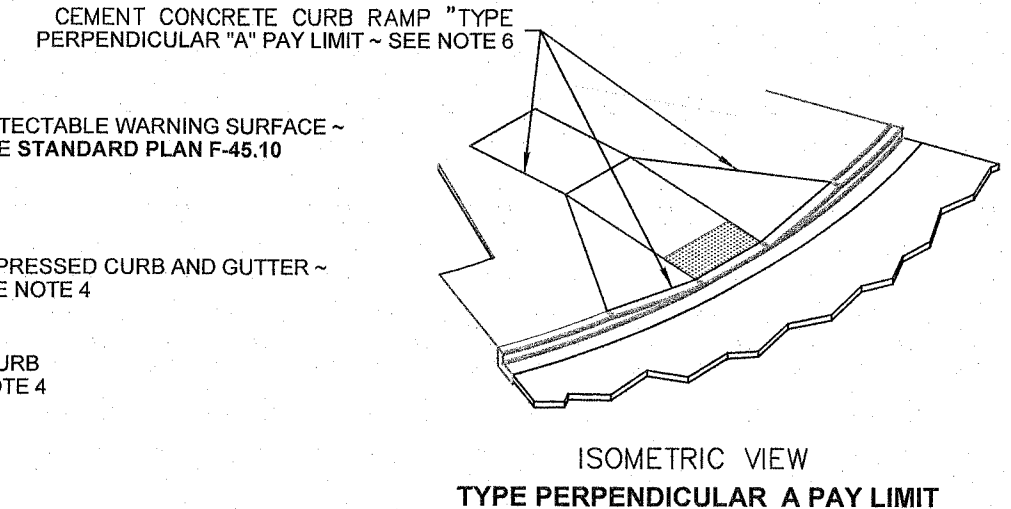
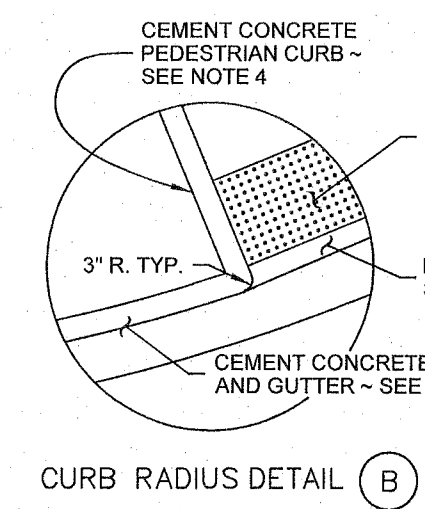
- NOTES**
1. This plan is to be used where pedestrian crossing in one direction is not permitted.
 2. At marked crosswalks, the connection between the Landing and the roadway must be contained within the width of the crosswalk markings.
 3. Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
 4. Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp or Landing or in the Depressed Curb and Gutter where the Landing connects to the roadway.
 5. See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb, Gutter and Pedestrian Curb details.
 6. See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
 7. The Bid Item "Cement Concrete Curb Ramp Type ..." does not include the adjacent Curb, Curb and Gutter, Depressed Curb and Gutter, Pedestrian Curb, or Sidewalks.
 8. The Curb Ramp length is not required to exceed 15 feet (unless shown otherwise in the Contract Plans). When applying the 15-foot max. length (measured from back of sidewalk) the running slope of the curb ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet.
 9. Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
 10. Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp or Landing and there will not be material to retain.

- LEGEND**
- SLOPE IN EITHER DIRECTION
 - * 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
 - ** 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.)
 - *** 9.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (10% MAX.)

- NOTES**
1. At marked crosswalks, the connection between the curb ramp and the roadway must be contained within the width of the crosswalk markings.
 2. Where "GRADE BREAK" is called out, the entire length of the grade break between the two adjacent surface planes shall be flush.
 3. Do not place Gratings, Junction Boxes, Access Covers, or other appurtenances on any part of the Curb Ramp where it connects to the roadway.
 4. See Contract Plans for the curb design specified. See **Standard Plan F-10.12** for Curb, Curb and Gutter, Depressed Curb and Gutter, and Pedestrian Curb details.
 5. See **Standard Plan F-30.10** for Cement Concrete Sidewalk Details. See Contract Plans for width and placement of sidewalk.
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 8. Curb Ramps and Landings shall receive a broom finish. See **Standard Specifications 8-14**.
 9. Pedestrian Curb may be omitted if the ground surface at the back of the Curb Ramp and/or Landing will be at the same elevation as the Curb Ramp or Landing and there will not be material to retain.



- LEGEND**
- SLOPE IN EITHER DIRECTION
 - * 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
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 - *** 9.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (10% MAX.)



WSDOT STANDARD PLAN F-40.15-03
PERPENDICULAR CURB RAMP DETAIL
 NOT TO SCALE

WSDOT STANDARD PLAN F-40.16-03
SINGLE DIRECTION CURB RAMP DETAIL
 NOT TO SCALE

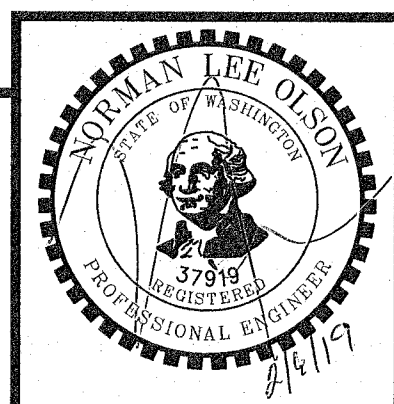
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 Community Development

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REVISIONS				BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	JFK 2/19
				DRAWN	AUE 2/19
				CHECKED	NLOII 2/19
				APPROVED	
				ACCEPTED	

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 Engineering, Planning and Surveying
 (360) 876-2284
 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

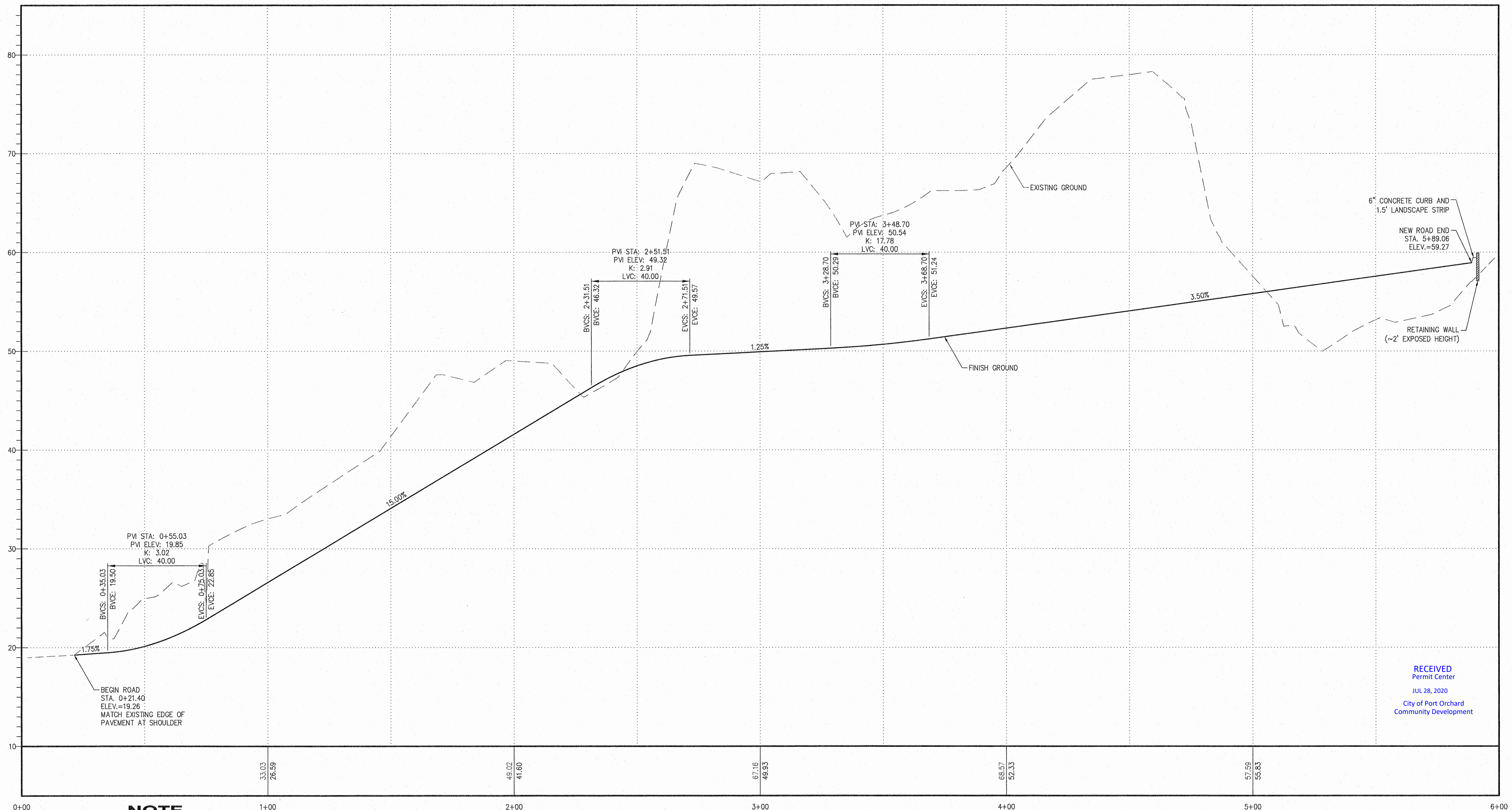


SITE DETAILS
 1320 BAY STREET, PORT ORCHARD, WA
 Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
 Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR: **Michael Broz**
 2023 Edgewater Way
 Santa Barbara, CA 93109
 Phone: (805) 407-7691

SCALE: AS SHOWN
 DATE: Feb. 6, 2019
 DRAWING NUMBER:
 17-10120
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City of Port Orchard
Community Development

ROAD PROFILE (STA. 0+21.40 - 5+89.06)
SCALE: HORIZ. 1"=20'
VERT. 1"=5'

NOTE
THE APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE, PRESERVE AND PROTECT UNDERGROUND UTILITIES.

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PW20-042

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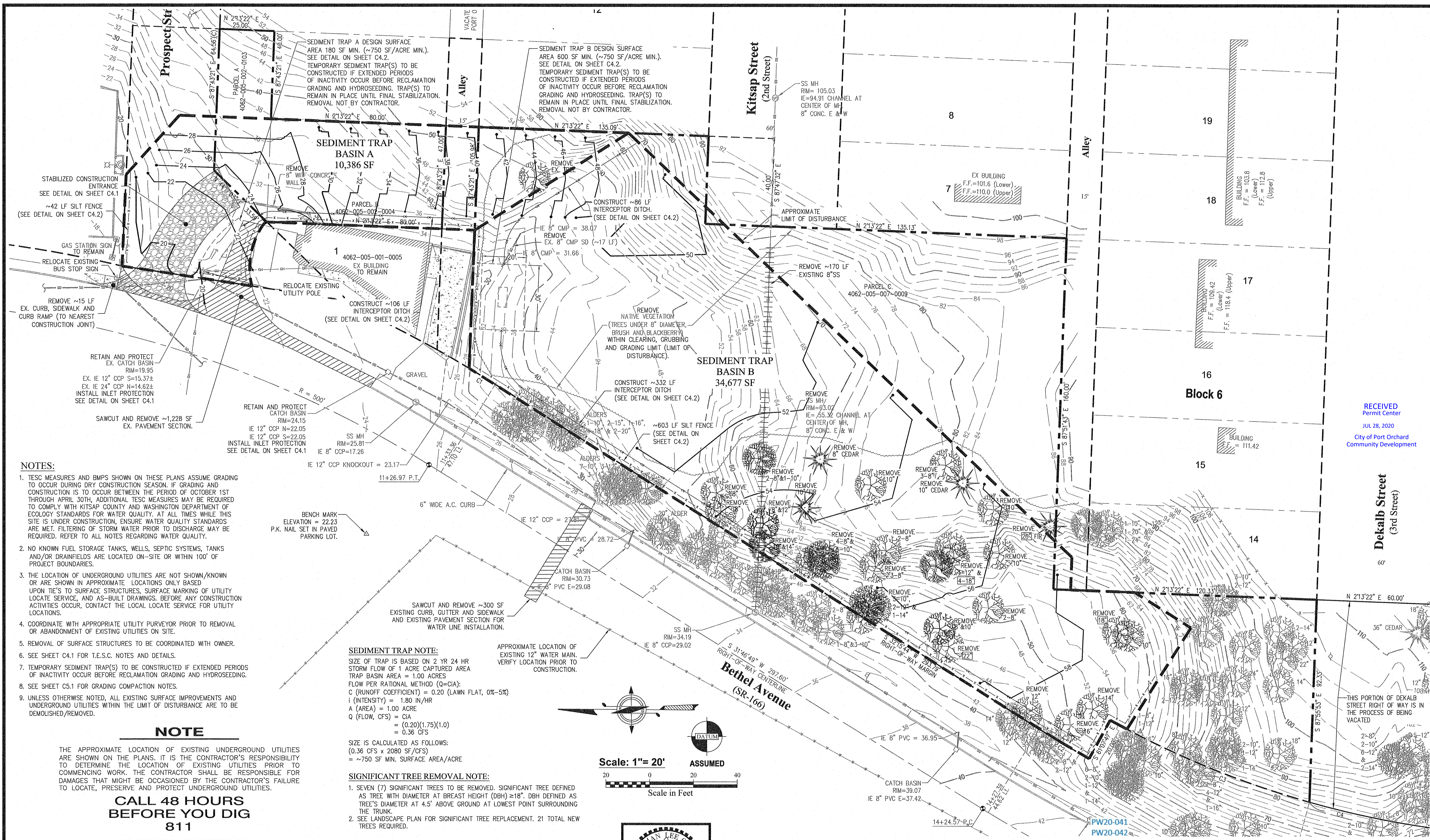
N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
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2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



ROAD PROFILE
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Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

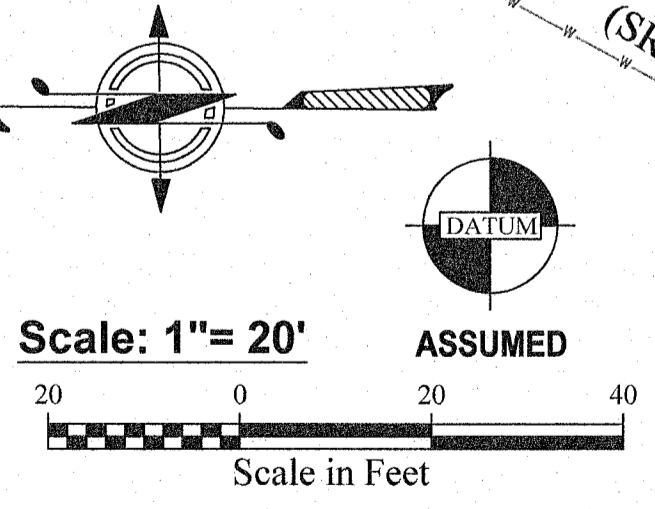
FOR:
Michael Broz
2023 Edgewater Way
Santa Barbara, CA 93109
Phone: (805) 407-7691

SCALE:	AS SHOWN
DATE:	Feb. 6, 2019
DRAWING NUMBER:	17-10120
SHEET	C3.3



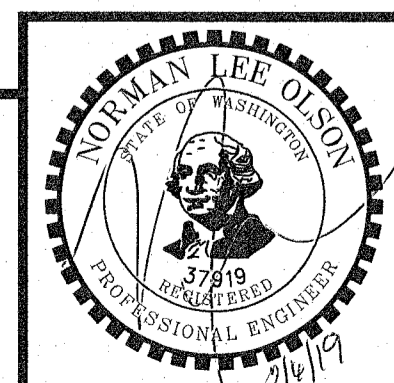
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Dekalb Street
(3rd Street)



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				APPROVED	
				ACCEPTED	

N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



T.E.S.C. AND DEMOLITION PLAN
1320 BAY STREET, PORT ORCHARD, WA
Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:
Michael Broz
2023 Edgewater Way
Santa Barbara, CA 93109
Phone: (805) 407-7691

SCALE: 1"=20'
DATE: Feb. 6, 2019
DRAWING NUMBER:
16-10120
SHEET C4.0

GENERAL EROSION AND SEDIMENTATION CONTROL (ESC) NOTES

THE FOLLOWING EROSION AND SEDIMENTATION CONTROL NOTES APPLY TO ALL CONSTRUCTION SITE ACTIVITIES AT ALL TIMES, UNLESS OTHERWISE SPECIFIED IN THESE PLANS:

- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT CONSTITUTE AN ACCEPTANCE OF THE PERMANENT ROAD OR DRAINAGE DESIGN.
- THE OWNER AND HIS/HER CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES FOR PREVENTING SILT-LADEN RUNOFF FROM DISCHARGING FROM THE PROJECT SITE. FAILURE BY THE OWNER AND/OR CONTRACTOR CAN RESULT IN A FINE. THE DESIGNATED TEMPORARY CONTACT PERSON NOTED ON THIS PLAN MUST BE AVAILABLE FOR CONTACT BY TELEPHONE ON A 24 HOUR BASIS THROUGHOUT CONSTRUCTION AND UNTIL THE PROJECT HAS BEEN COMPLETED AND ACCEPTED BY THE CITY.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR FROM THE BEGINNING OF CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY THE CITY AND THE SITE IS STABILIZED.
- PRIOR TO BEGINNING ANY WORK ON THE PROJECT SITE, A PRE-CONSTRUCTION CONFERENCE MUST BE HELD, AND SHALL BE ATTENDED BY THE GENERAL CONTRACTOR, THE PROJECT ENGINEER, REPRESENTATIVES FROM THE AFFECTED UTILITIES, AND A REPRESENTATIVE OF THE CITY.
- THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOWN ON THIS PLAN ARE TO BE CONSIDERED ADEQUATE BASIC REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. DURING CONSTRUCTION, DEVIATIONS FROM THIS PLAN MAY BE NECESSARY IN ORDER TO MAINTAIN WATER QUALITY. MINOR DEPARTURES FROM THIS PLAN ARE PERMITTED SUBJECT TO THE APPROVAL OF THE CITY INSPECTOR. HOWEVER, EXCEPT FOR EMERGENCY SITUATIONS, ALL OTHER DEVIATIONS FROM THIS PLAN MUST BE DESIGNED BY THE PROJECT ENGINEER AND APPROVED BY CITY PRIOR TO INSTALLATION.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER AND/OR CONTRACTOR ON A FREQUENT BASIS AND IMMEDIATELY AFTER EACH RAINFALL, AND MAINTAINED AS NECESSARY TO INSURE THEIR CONTINUED FUNCTIONING. ALL SEDIMENT MUST BE REMOVED FROM THE SILT FENCES, STRAW BALES, SEDIMENT PONDS, ETC. PRIOR TO THE SEDIMENT REACHING 1/2 ITS MAXIMUM POTENTIAL DEPTH.
- AT NO TIME SHALL CONCRETE, CONCRETE BYPRODUCTS, VEHICLE FLUIDS, PAINT, CHEMICALS, OR OTHER POLLUTING MATTER BE PERMITTED TO DISCHARGE TO THE TEMPORARY OR PERMANENT DRAINAGE SYSTEM, OR TO DISCHARGE FROM THE PROJECT SITE.
- PERMANENT DETENTION/RETENTION PONDS, PIPES, TANKS OR VAULTS MAY ONLY BE USED FOR SEDIMENT CONTAINMENT WHEN SPECIFICALLY INDICATED ON THESE PLANS.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE MOST CURRENT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION PREPARED BY WSDOT AND APWA AS ADOPTED BY THE CITY.
- ANY REVISIONS TO THE ACCEPTED CONSTRUCTION PLANS SHALL BE REVIEWED AND APPROVED BY THE CITY PRIOR TO IMPLEMENTATION IN FIELD.
- THE CONTRACTOR SHALL MAINTAIN A SET OF ACCEPTED CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES WHILE CONSTRUCTION IS IN PROGRESS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY PRIOR TO COMMENCING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL AT ALL TIMES DURING CONSTRUCTION ALONGSIDE OR WITHIN ALL PUBLIC ROADWAYS. TRAFFIC FLOW ON EXISTING PUBLIC ROADWAYS SHALL BE MAINTAINED AT ALL TIMES, UNLESS PERMISSION IS OBTAINED FROM THE CITY FOR ROAD CLOSURE AND/OR DETOURS.
- CONSTRUCTION SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING INVESTIGATION PREPARED BY N.L. OLSON AND ASSOCIATES DATED JANUARY, 2019.

CONSTRUCTION SEQUENCE

- APPLY FOR AND PICK UP ANY REQUIRED ROAD APPROACH, OR RIGHT OF WAY PERMITS FROM THE CITY.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S).
- CONSTRUCT FILTER FENCE BARRIERS.
- CONSTRUCT SEDIMENTATION BASINS AND DISCHARGE PIPES.
- CONSTRUCT RUNOFF INTERCEPTION AND DIVERSION DITCHES.
- CLEAR AND GRADE THE MINIMUM SITE AREA REQUIRED FOR CONSTRUCTION OF THE VARIOUS PHASES OF WORK.
- PROVIDE TEMPORARY HYDROSEEDING OR OTHER SOURCE CONTROL STABILIZATION MEASURES ON ALL DISTURBED SOILS.
- MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL FACILITIES TO PROVIDE THE REQUIRED PROTECTION OF DOWNSTREAM WATER QUALITY.
- PROVIDE PERMANENT SITE STABILIZATION.
- EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL NOT BE REMOVED UNTIL CONSTRUCTION IS COMPLETE AND ACCEPTED BY THE CITY.

NOTE

THE APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE, PRESERVE AND PROTECT UNDERGROUND UTILITIES.

CALL 48 HOURS BEFORE YOU DIG 811

MINIMUM EROSION AND SEDIMENTATION CONTROL REQUIREMENTS

- STABILIZATION AND SEDIMENT TRAPPING.** ALL EXPOSED AND UNWORKED SOILS, INCLUDING SOIL STOCKPILES, SHALL BE STABILIZED BY SUITABLE APPLICATION OF BMP'S WHICH PROTECT SOIL FROM THE EROSION FORCES OF RAINFALL IMPACT AND FLOWING WATER. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO VEGETATIVE ESTABLISHMENT, MULCHING, PLASTIC COVERING, AND THE EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED. FROM OCTOBER 1 TO APRIL 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30, NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS.
- AT ALL TIMES OF THE YEAR, THE CONTRACTOR SHALL HAVE SUFFICIENT MATERIALS, EQUIPMENT AND LABOR ON-SITE TO STABILIZE AND PREVENT EROSION FROM ALL DENuded AREAS WITHIN 12-HOURS AS SITE AND WEATHER CONDITIONS DICTATE.
- FROM OCTOBER 1ST TO APRIL 30TH, THE PROJECT ENGINEER SHALL VISIT THE DEVELOPMENT SITE A MINIMUM OF ONCE PER WEEK FOR THE PURPOSE OF INSPECTING THE EROSION AND SEDIMENTATION CONTROL FACILITIES, REVIEWING THE PROGRESS OF CONSTRUCTION, AND VERIFYING THE EFFECTIVENESS OF THE EROSION CONTROL MEASURES BEING UNDERTAKEN. THE PROJECT ENGINEER SHALL IMMEDIATELY INFORM THE CITY OF ANY PROBLEMS OBSERVED DURING SAID SITE VISITS, AND ANY RECOMMENDED CHANGES IN THE EROSION CONTROL MEASURES TO BE UNDERTAKEN. WHEN REQUESTED BY THE CITY, THE PROJECT ENGINEER SHALL PROVIDE THE CITY WITH WRITTEN RECORDS OF SAID WEEKLY SITE VISITS, INCLUDING DATES OF VISITS AND NOTED SITE OBSERVATIONS.
- IN THE EVENT THAT THE GROUND ON A PROJECT SITE IS LEFT BARE AFTER SEPTEMBER 30TH, THE CITY MAY ISSUE A STOP WORK ORDER FOR THE ENTIRE PROJECT UNTIL SATISFACTORY CONTROLS ARE PROVIDED. IN ADDITION, THE OWNER WILL BE SUBJECT TO THE PENALTIES PROVIDED IN CHAPTER 15.30 OF THE CITY OF PORT ORCHARD MUNICIPAL CODE.
- IN THE EVENT THAT GROUND ON A PROJECT SITE IS LEFT BARE AFTER SEPTEMBER 30TH, AND THE CITY IS UNSUCCESSFUL IN CONTACTING THE OWNER OR HIS/HER DESIGNATED EMERGENCY CONTACT PERSON, THE CITY MAY ENTER THE PROJECT SITE AND INSTALL TEMPORARY GROUND COVER MEASURES AND BILL THE OWNER FOR ALL EXPENSES INCURRED BY THE CITY. THESE COSTS WILL BE IN ADDITION TO ANY MONETARY PENALTIES LEVIED AGAINST THE OWNER.
- DELINEATION OF CLEARING AND EASEMENT LIMITS.** CLEARING LIMITS, SETBACKS, BUFFERS AND SENSITIVE OR CRITICAL AREAS SUCH AS STEEP SLOPES, WETLANDS AND RIPARIAN CORRIDORS SHALL BE CLEARLY MARKED IN THE FIELD AND INSPECTED BY CITY PRIOR TO COMMENCEMENT OF LAND CLEARING ACTIVITIES.
- PROTECTION OF ADJACENT PROPERTIES.** ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES OR MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMP'S.
- TIMING AND STABILIZATION OF SEDIMENT TRAPPING MEASURES.** SEDIMENT PONDS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER BMP'S INTENDED TO TRAP SEDIMENT ON-SITE SHALL BE CONSTRUCTED AS A FIRST STEP IN GRADING. THIS BMP'S SHALL BE FUNCTIONAL BEFORE LAND DISTURBING ACTIVITIES TAKE PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS SHALL BE STABILIZED ACCORDING TO THE TIMING INDICATED IN ITEM (1) ABOVE.
- SLOPE STABILIZATION.** CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. ROUGHENED SOIL SURFACES ARE PREFERRED TO SMOOTH SURFACES. INTERCEPTORS SHOULD BE CONSTRUCTED AT THE TOP OF LONG, STEEP SLOPES WHICH HAVE SIGNIFICANT AREAS ABOVE THAT CONTRIBUTE RUNOFF. CONCENTRATED RUNOFF SHOULD NOT BE ALLOWED TO FLOW DOWN THE FACE OF A CUT OR FILL SLOPE UNLESS CONTAINED WITHIN AN ADEQUATE CHANNEL OR PIPE SLOPE DRAIN. WHEREVER A SLOPE FACE CROSSES A WATER SEEPAGE PLANE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHOULD BE PROVIDED. IN ADDITION, SLOPES SHOULD BE STABILIZED IN ACCORDANCE WITH ITEM (1) ABOVE.
- CONTROLLING OFF-SITE EROSION.** PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY, AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM THE DEVELOPMENT SITE BY THE IMPLEMENTATION OF APPROPRIATE BMP'S TO MINIMIZE ADVERSE DOWNSTREAM IMPACTS.

TEMPORARY & PERMANENT HYDROSEEDING

- ALL AREAS CLEARED OR OTHERWISE DISTURBED SHALL BE APPROPRIATELY STABILIZED IN ACCORDANCE WITH THE NOTES & DETAILS SPECIFIED HEREWITH, AND THE TIMES SPECIFIED BY SECTION 8-01.3 OF THE CURRENT EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION.
- PERMANENT HYDROSEEDING - IN AREAS NOT INCLUDED WITHIN THE PROJECT BOUNDARY OR NOT INCLUDED IN THE PROPOSED LANDSCAPE PLAN SHALL ADHERE TO THE FOLLOWING SPECS:
 MINIMUM 80 LBS./ACRE MIXTURE OF:
 15% KENTUCKY BLUEGRASS
 40% TALL FESCUE
 30% PERENNIAL RYE
 15% CHEWINGS FESCUE
 FERTILIZER - 400 LBS./ACRE OF 10-20-20
 MULCH - 2000 LBS./ACRE
- TEMPORARY HYDROSEEDING - IN ALL AREAS DISTURBED DURING CONSTRUCTION THAT WILL RECEIVE PERMANENT LANDSCAPING SHALL BE SEEDDED WITH RYE GRASS AS REQUIRED TO PRODUCE A SUITABLE TEMPORARY GROUND COVER.

DRAINAGE NOTES

- THE CONTRACTOR SHALL ENSURE THAT THE DRAINAGE IS INSTALLED AND OPERATIONAL PRIOR TO COMMENCEMENT OF PAVING WORK.
- ALL STEEL PIPE AND PARTS SHALL BE GALVANIZED. ALL SUBMERGED STEEL PIPES AND PARTS SHALL BE GALVANIZED AND HAVE ASPHALT TREATMENT #1 OR BETTER.
- DRAINAGE STUB OUTS ON INDIVIDUAL LOTS SHALL BE LOCATED WITH A FIVE FOOT HIGH 2"x4" STAKE MARKED "STORM". THE STUB OUT SHALL EXTEND ABOVE SURFACE LEVEL AND BE SECURED TO THE STAKE.

INSPECTION SCHEDULE

- THE CONTRACTOR SHALL NOTIFY THE CITY TO ARRANGE FOR INSPECTION OF THE VARIOUS PHASES OF WORK CHECKED BELOW. ALL INSPECTIONS SHALL BE COMPLETED PRIOR TO PROCEEDING WITH THE NEXT PHASE OF WORK.
 - LOCATION OF THE ROAD APPROACH
 - CLEARING LIMITS
 - IMPLEMENTATION OF THE VARIOUS PHASES OF THE EROSION AND SEDIMENTATION CONTROL PLAN
 - PLACEMENT OF DRAINAGE STRUCTURES PRIOR TO BACK FILLING, INCLUDING POND EMBANKMENTS
 - PRIOR TO PLACEMENT OF THE DETENTION OUTLET CONTROL STRUCTURE
 - INSPECTION OF PREPARED SUB-GRADE
 - INSPECTION OF GRAVEL BASE PLACEMENT
 - INSPECTION OF FINE-GRADING PRIOR TO PAVING
 - INSPECTION OF PAVING OPERATIONS
 - FINAL INSPECTION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK PERFORMED AND SHALL ENSURE THAT CONSTRUCTION IS ACCEPTABLE TO THE CITY.
- IF INSPECTION IS NOT CALLED FOR PRIOR TO COMPLETION OF ANY ITEM OF WORK SO DESIGNATED, SPECIAL DESTRUCTIVE AND/OR NON-DESTRUCTIVE TESTING PROCEDURES MAY BE REQUIRED TO ENSURE THE ACCEPTABILITY OF THE WORK. IF SUCH PROCEDURES ARE REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE TESTING AND/OR RESTORATION OF THE WORK.

T. E. S. C. MAINTENANCE REQUIREMENTS

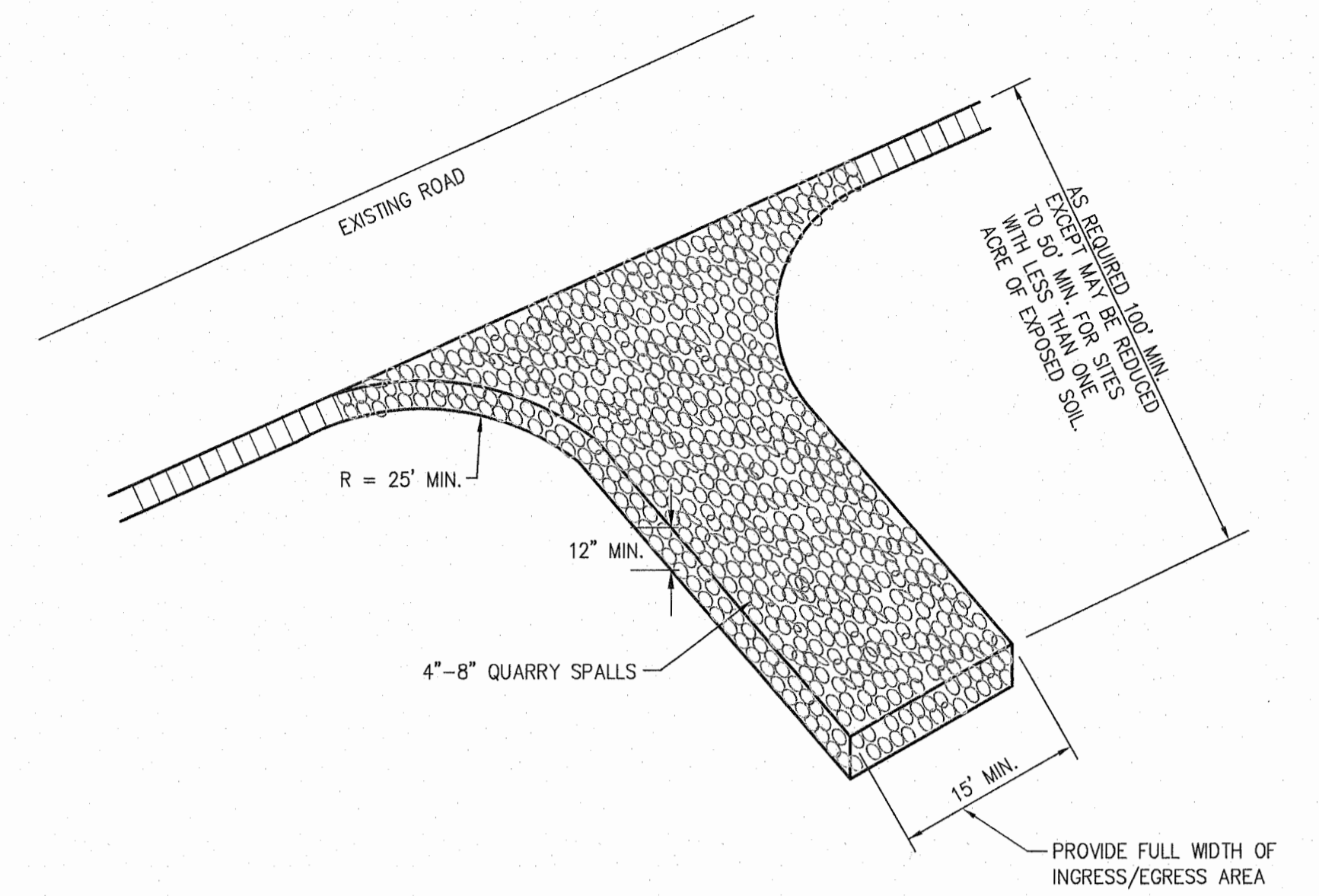
- EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSPECTED AFTER EACH STORM EVENT AND DAILY DURING PROLONGED RAINFALL.
- NECESSARY REPAIRS OR REPLACEMENT OF FACILITIES SHALL BE ACCOMPLISHED PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE MAXIMUM POTENTIAL DEPTH.
- SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE ESC FACILITIES ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED BY:

EMERGENCY PHONE NUMBER _____

THE OWNER'S REPRESENTATIVE SHALL BE:

EMERGENCY PHONE NUMBER _____

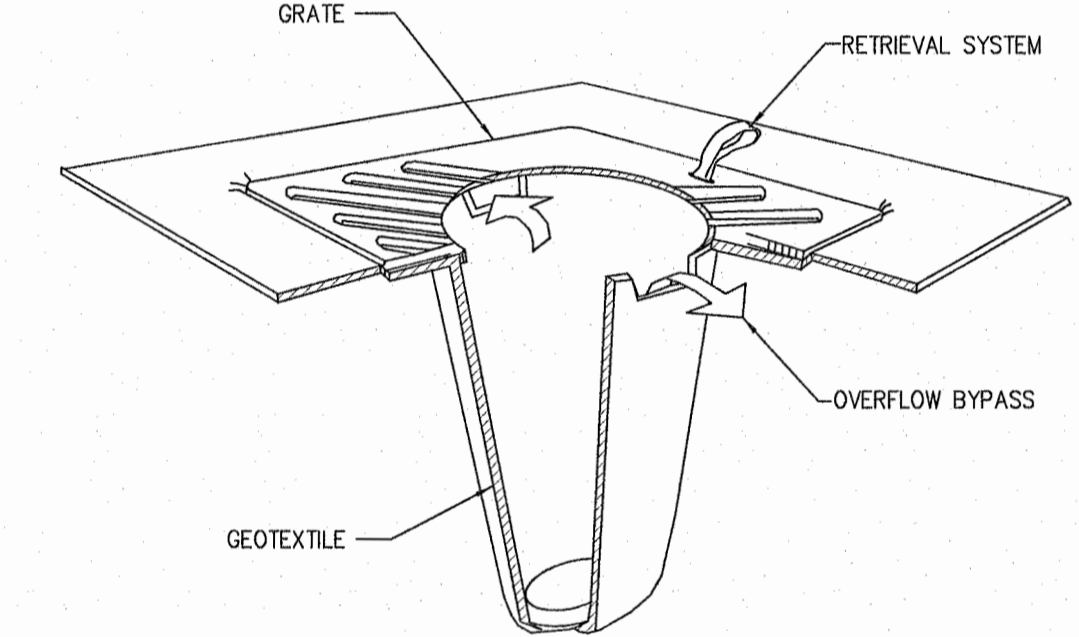
- THE LOCATIONS OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONTACT THE "UNDERGROUND LOCATE" CENTER AT PH: 1-800-424-5555, AND NON-SUBSCRIBING INDIVIDUAL UTILITY COMPANIES 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING UTILITIES FROM DAMAGE CAUSED BY THE CONTRACTOR'S OPERATIONS.
- ROCKERIES OR OTHER RETAINING FACILITIES EXCEEDING 4 FT. IN HEIGHT (TOP OF WALL TO BOTTOM OF FOOTING) REQUIRE A SEPARATE PERMIT FROM CITY OF PORT ORCHARD BUILDING DEPARTMENT.
- A "FORESTRY PRACTICES" PERMIT MAY BE REQUIRED PRIOR TO CLEARING OF THE SITE. CONTACT CITY OF PORT ORCHARD DEPARTMENT OF COMMUNITY DEVELOPMENT FOR FURTHER INFORMATION.



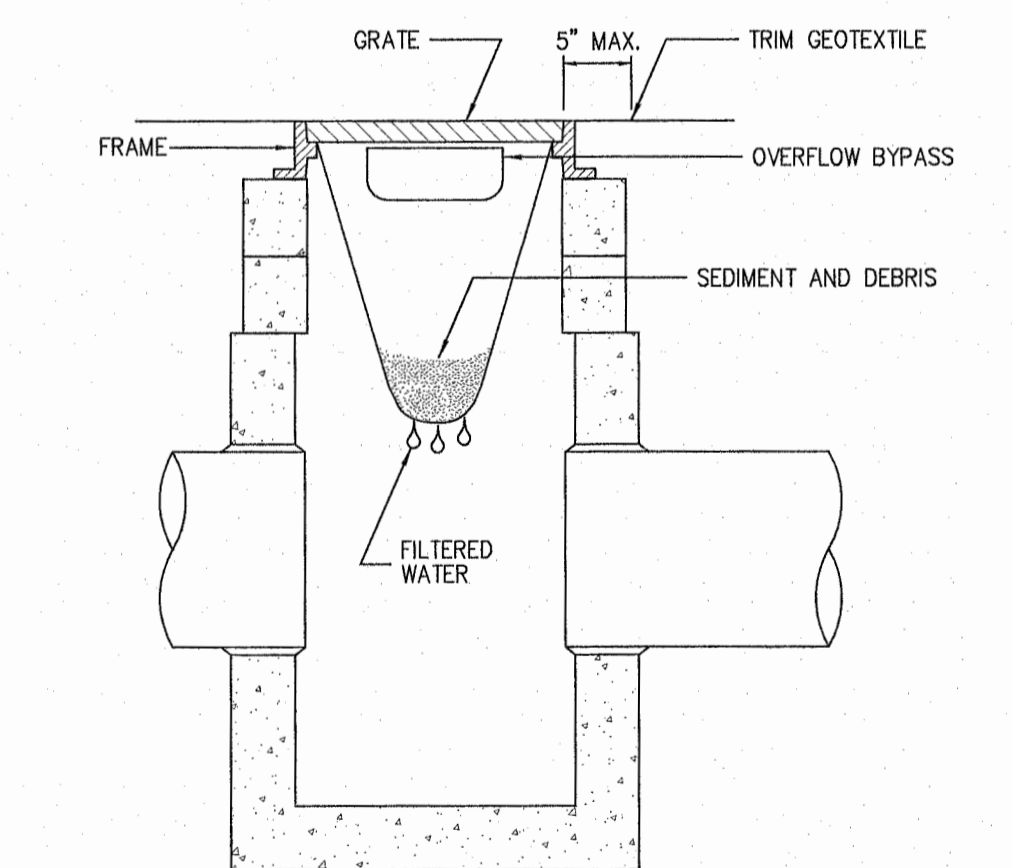
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE
(BMP E2.10)

- PERFORM MAINTENANCE IN ACCORDANCE WITH W.S.D.O.T. STANDARD SPECIFICATION 8-01.3(15).
- SIZE THE BELOW GRATE INLET DEVICE (BGID) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
- THE BGID SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
- THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BGID WITHOUT SPILLING THE COLLECTED MATERIAL.



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Permit Center
JUL 28, 2020
City of Port Orchard
Community Development

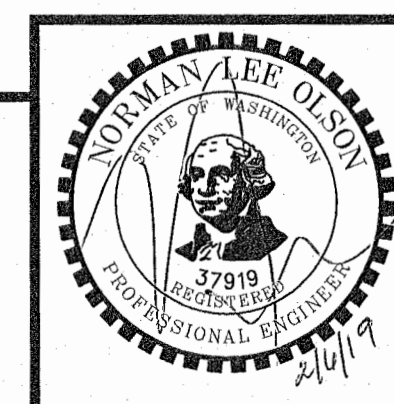


INLET PROTECTION DETAIL

NOT TO SCALE

REVISIONS				NO.	DATE	BY	DESCRIPTION

N.L. Olson & Associates, Inc.
 Engineering, Planning and Surveying
 (360) 876-2284
 2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

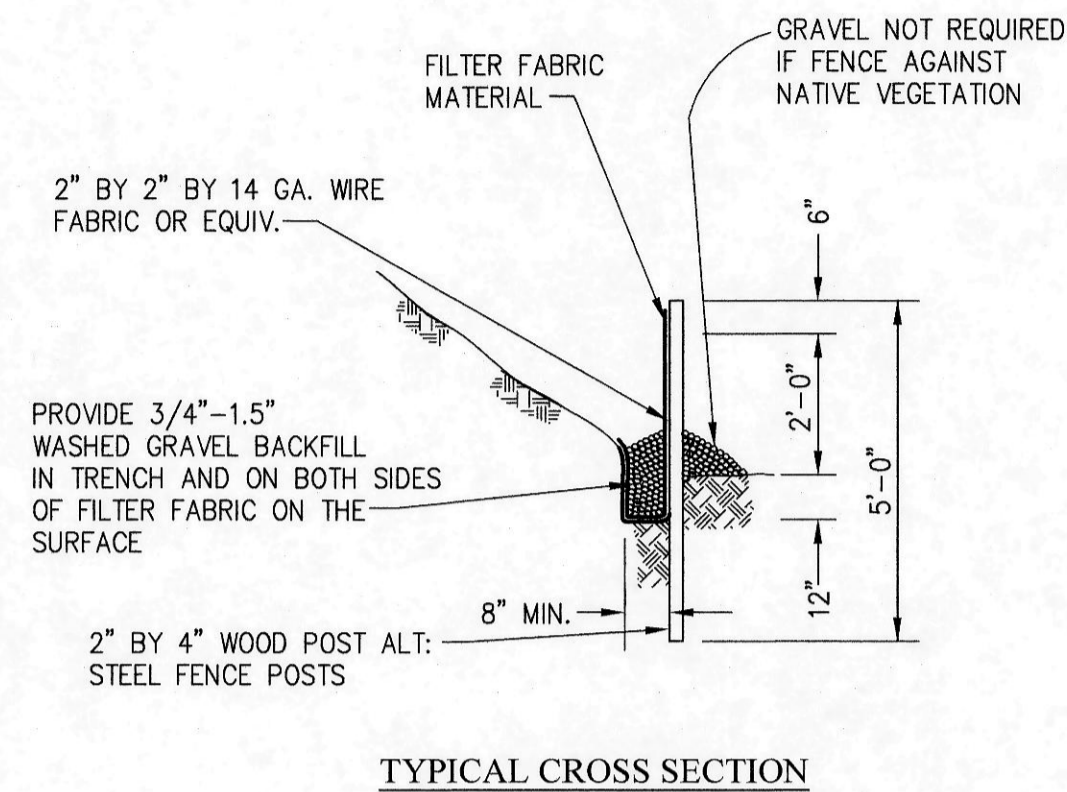
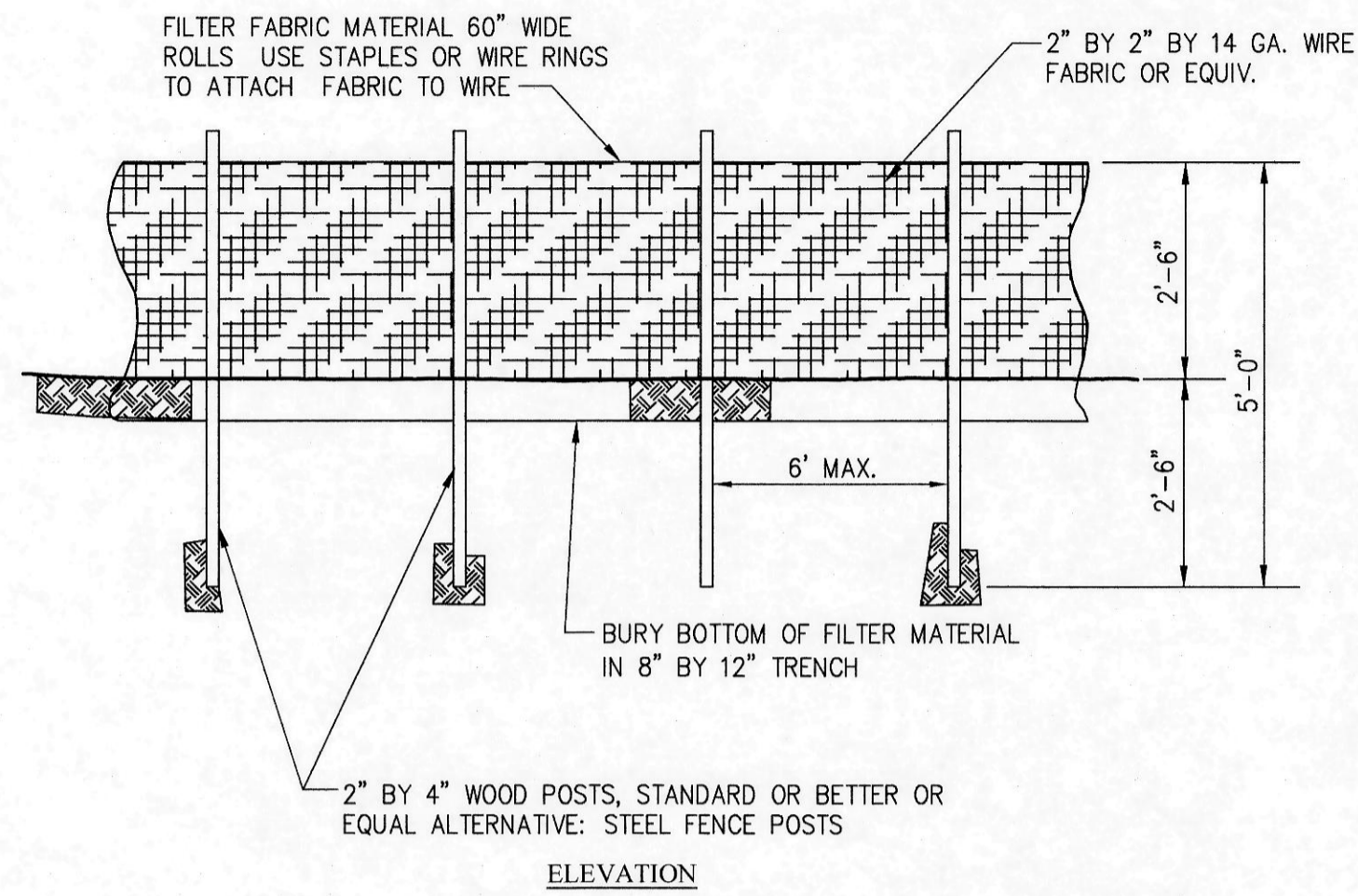


T.E.S.C. NOTES AND DETAILS
 1320 BAY STREET, PORT ORCHARD, WA
 Portion of the Southeast Quarter of the Southeast Quarter of Section 25,
 Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR: **Michael Broz**
 2023 Edgewater Way
 Santa Barbara, CA 93109
 Phone: (805) 407-7691

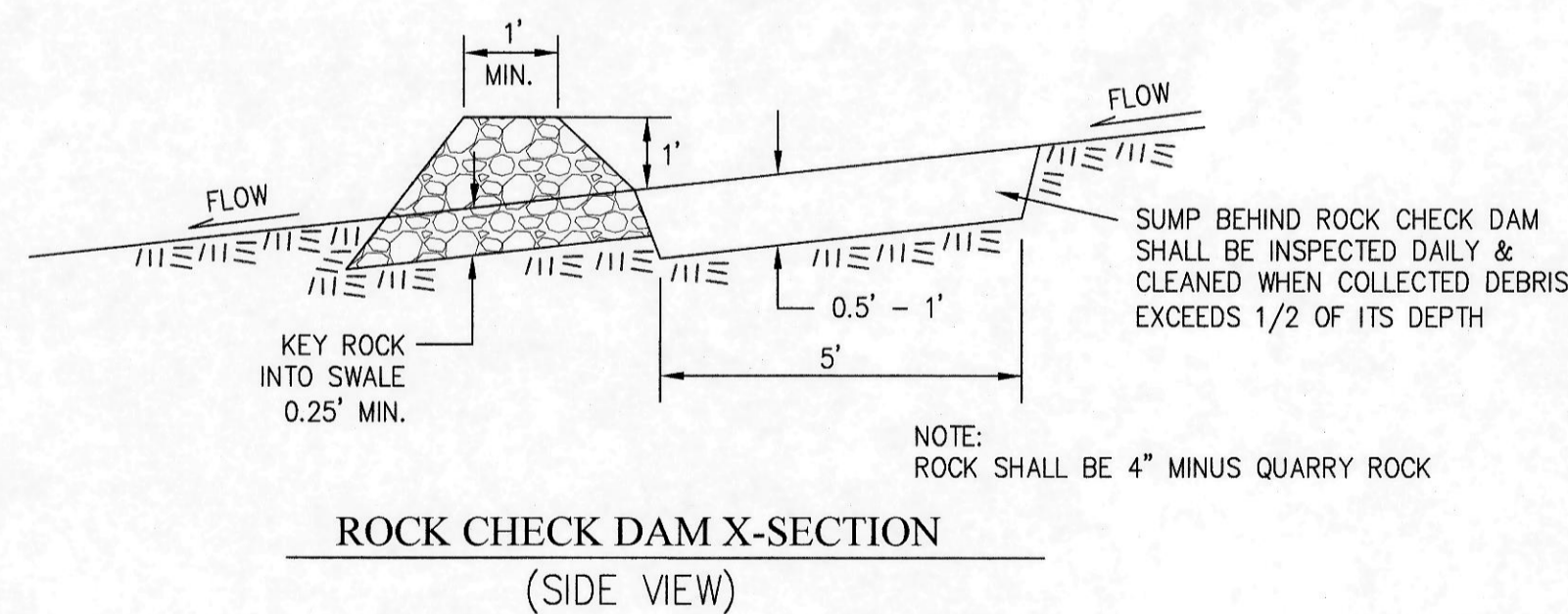
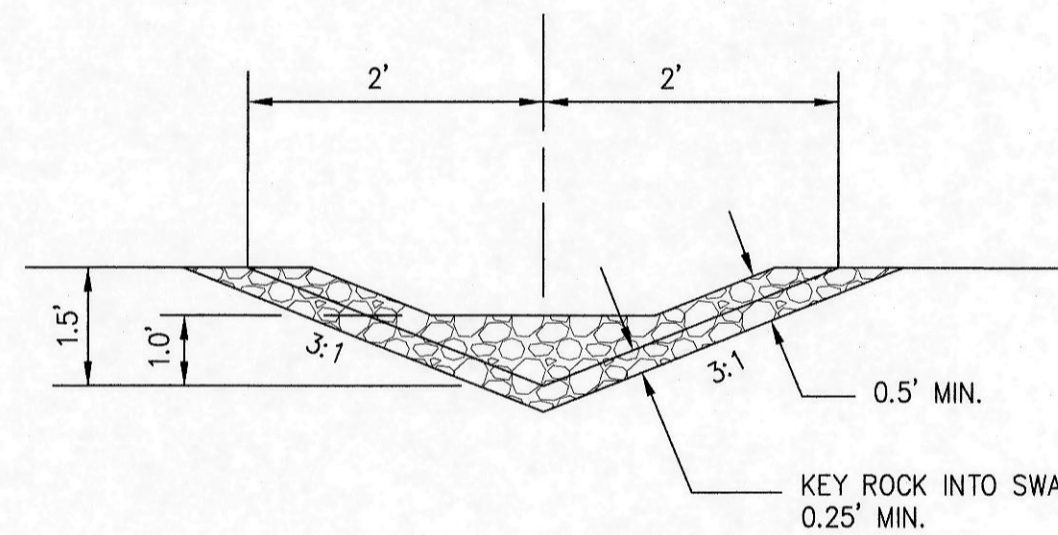
SCALE: AS SHOWN
DATE: Feb. 6, 2019
DRAWING NUMBER: 17-10120
SHEET C4.I

I:\SERVER\AutoCAD Projects\9700 BR02\9700F S2A\9700F C4.I T.E.S.C. NOTES & DETAILS.dwg, 2/5/2019 8:34:11 AM, A:lbms

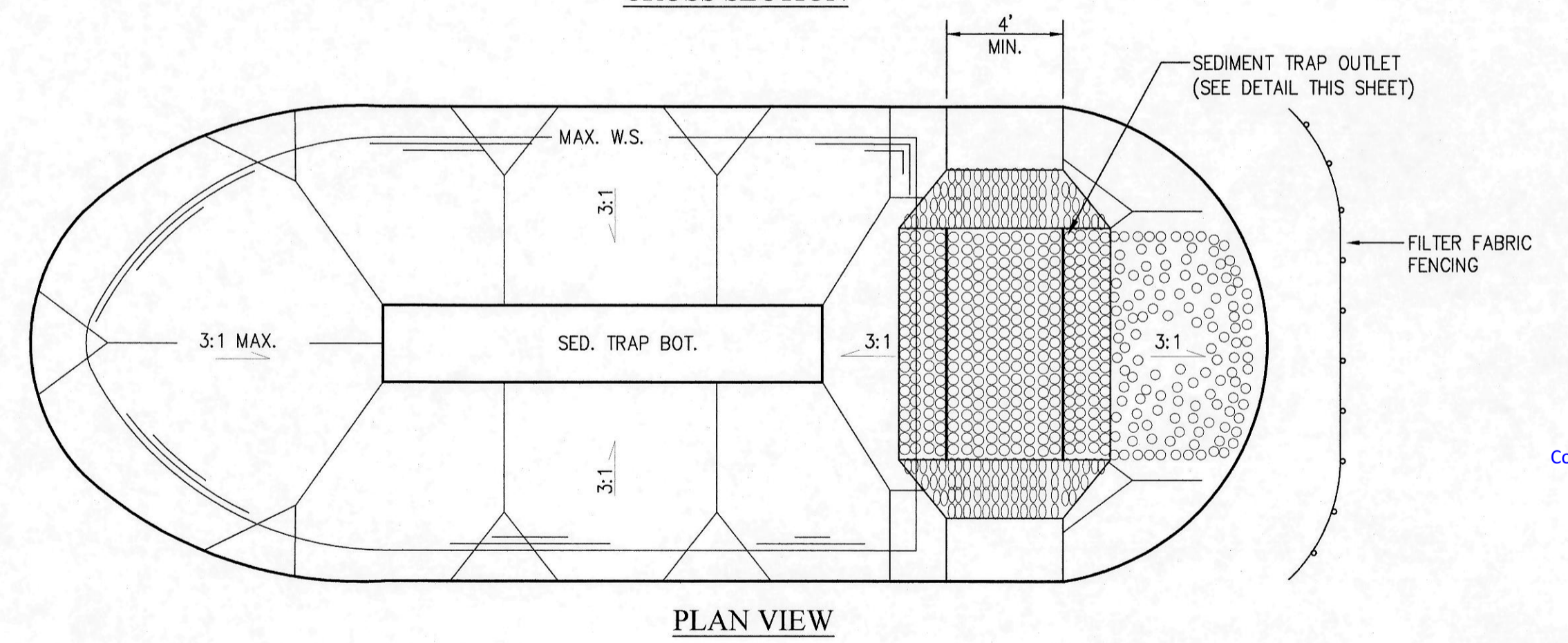
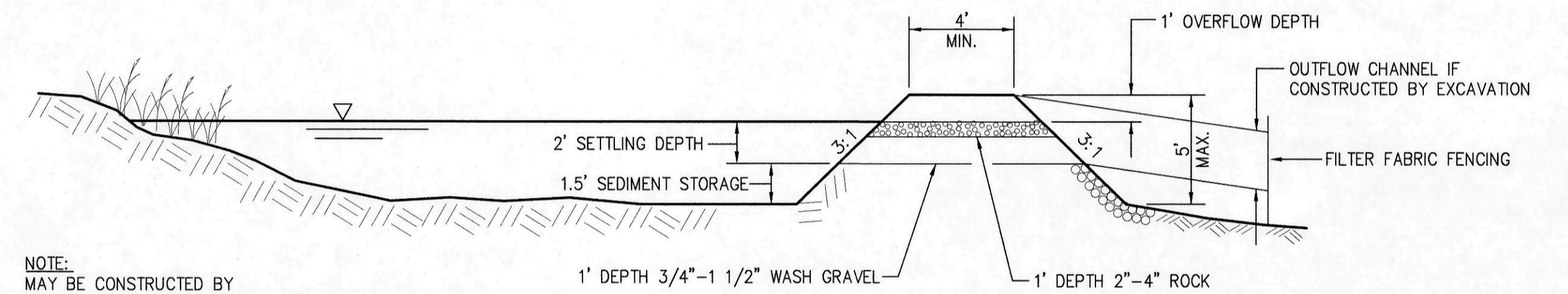


FILTER FABRIC FENCE
NOT TO SCALE
(BMP E3.10)

DITCH SLOPE	CHECK DAM SPACING
0 - 5%	150'
5 - 10%	100'
> - 10%	50'



TYPICAL INTERCEPTOR DITCH W/ROCK CHECK DAM
NOT TO SCALE



SEDIMENT TRAP
NOT TO SCALE

NOTE

THE APPROXIMATE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE, PRESERVE AND PROTECT UNDERGROUND UTILITIES.

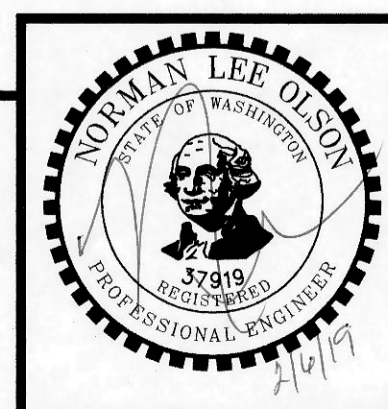
CALL 48 HOURS BEFORE YOU DIG 811

RECEIVED
Permit Center
JUL 28, 2020
City of Port Orchard
Community Development

PW20-041
PW20-042

REVISIONS				BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	JFK 2/19
				DRAWN	AUE 2/19
				CHECKED	NLOH 2/19
				APPROVED	
				ACCEPTED	

N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



T.E.S.C. DETAILS

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Portion of the Southeast Quarter of the Southeast Quarter of Section 25, Township 24 North, Range 1 East, W.M. in Kitsap County, Washington

FOR:

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2023 Edgewater Way
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SCALE:	AS SHOWN
DATE:	Feb. 6, 2019
DRAWING NUMBER:	17-10120
SHEET	C4.2