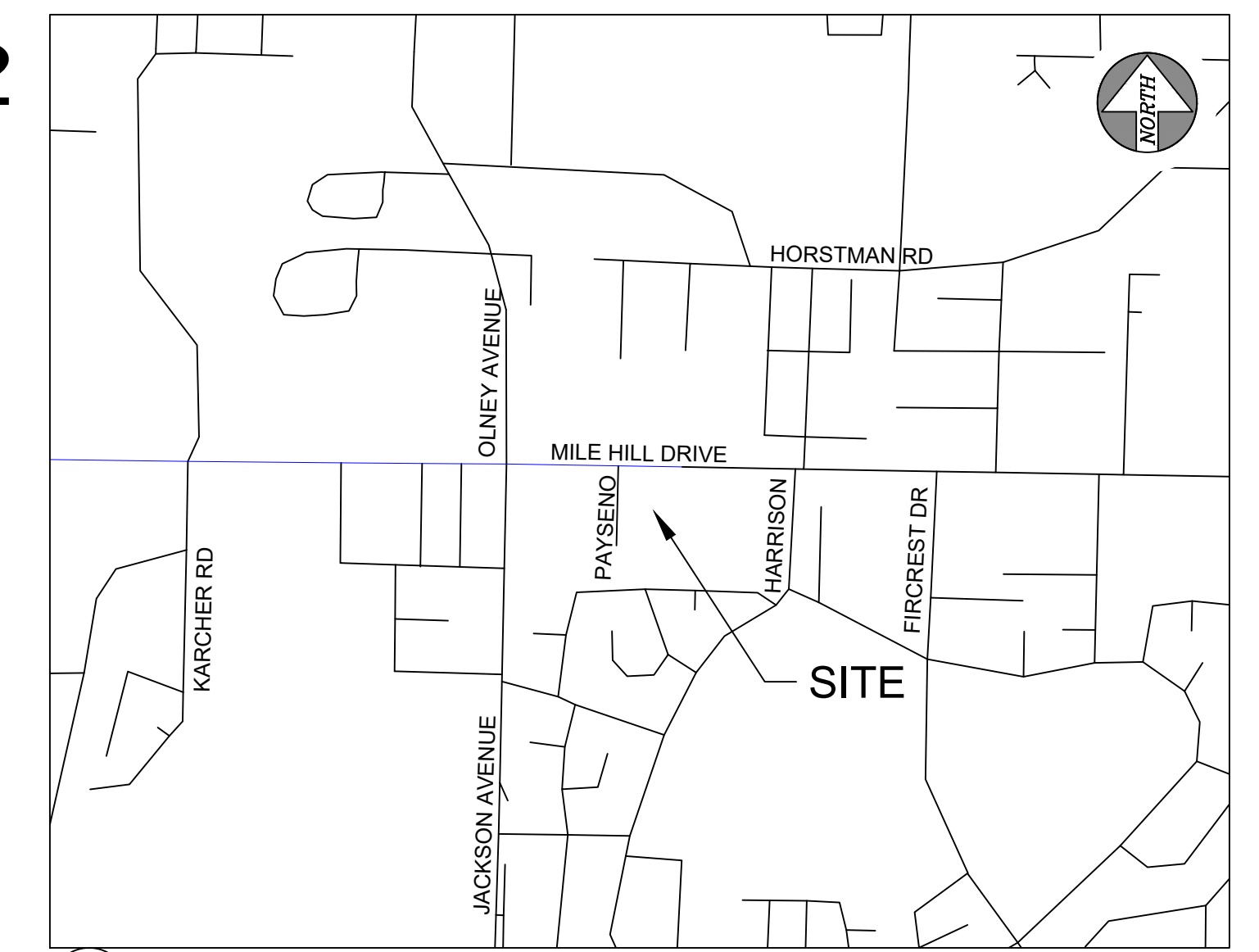


ONE-CALL (# 1-800-424-5555):  
 BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2 COVER SHEET

A PORTION OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M.  
 KITSAP COUNTY, WASHINGTON



1 VICINITY MAP  
 NTS

**TAX PARCEL NUMBERS:**

312402-2-003-2002  
 312402-2-016-2007

RECEIVED  
 Permit Center

JUL 08, 2021

City of Port Orchard  
 Community Development

**LEGAL DESCRIPTION:**

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31; THENCE SOUTH 88°36'51" EAST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 660.00 FEET; THENCE SOUTH 1°28'15" WEST ALONG THE EAST LINE OF THE WEST 660 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31, FOR A DISTANCE OF 155.75 FEET, SAID EAST LINE BEING ALSO THE CENTERLINE OF PAYSENO LANE, A COUNTY ROAD ACCORDING TO INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 910262; THENCE SOUTH 88°37'48" EAST 30.00 FEET TO THE TRUE POINT OF BEGINNING ON THE EAST LINE OF THE AFORESAID PAYSENO LANE; THENCE NORTH 80°43'48" EAST 159.99 FEET; THENCE SOUTH 88°38'42" EAST 179.08 FEET; THENCE SOUTH 01°02'43" WEST 298.80 FEET; THENCE NORTH 88°38'48" WEST 284.86 FEET; THENCE NORTH 23°45'51" WEST 569.96 FEET; THENCE NORTH 88°31'45" WEST 29.34 FEET TO THE EAST LINE OF THE ABOVE MENTIONED PAYSENO LANE; THENCE ALONG SAID EAST LINE, SOUTH 01°28'15" WEST 89.04 FEET; THENCE SOUTH 88°37'48" EAST 417.05 FEET ALONG A LINE WHICH IS PARALLEL WITH AND 200 FEET NORTH OF THE NORTH LINE OF PARKWOOD SECOND ADDITION, ACCORDING TO PLAT RECORDED IN VOLUME 10 OF PLATS, PAGES 51, 52 AND 53, RECORDS OF KITSAP COUNTY, WASHINGTON; THENCE NORTH 1°06'38" EAST ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31, A DISTANCE OF 407.14 FEET TO THE SOUTHERLY RIGHT OF WAY OF STATE HIGHWAY NUMBER 160 ( FORMERLY STATE HIGHWAY NUMBER 14 ); THENCE FOLLOWING SAID RIGHT OF WAY LINE WITH THE FOLLOWING COURSES, NORTH 88°41'14" WEST 366.64 FEET; THENCE NORTH 1°18'46" EAST 30.00 FEET; THENCE NORTH 88°41'14" WEST 47.77 FEET; THENCE LEAVE SAID RIGHT OF WAY LINE AND PROCEED SOUTH 1°28'15" WEST ALONG THE EAST LINE OF THE ABOVE MENTIONED PAYSENO LANE, A DISTANCE OF 130.09 FEET TO THE TRUE POINT OF BEGINNING.

THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31; THENCE SOUTH 88°36'51" EAST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 660.00 FEET; THENCE SOUTH 1°28'15" WEST ALONG THE EAST LINE OF THE WEST 660 FEET OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 31, FOR A DISTANCE OF 155.75 FEET, SAID EAST LINE BEING ALSO THE CENTERLINE OF PAYSENO LANE, A COUNTY ROAD ACCORDING TO INSTRUMENT RECORDED UNDER AUDITOR'S FILE NO. 910262; THENCE SOUTH 88°37'48" EAST 30.00 FEET TO THE TRUE POINT OF BEGINNING ON THE EAST LINE OF THE AFORESAID PAYSENO LANE; THENCE NORTH 80°43'48" EAST 159.99 FEET; THENCE SOUTH 88°38'42" EAST 179.08 FEET; THENCE SOUTH 01°02'43" WEST 298.80 FEET; THENCE NORTH 88°38'48" WEST 284.86 FEET; THENCE NORTH 23°45'51" WEST 569.96 FEET; THENCE NORTH 88°31'45" WEST 29.34 FEET TO THE EAST LINE OF THE ABOVE MENTIONED PAYSENO LANE; THENCE ALONG SAID EAST LINE, NORTH 01°28'15" EAST 217.59 FEET TO THE TRUE POINT OF BEGINNING.

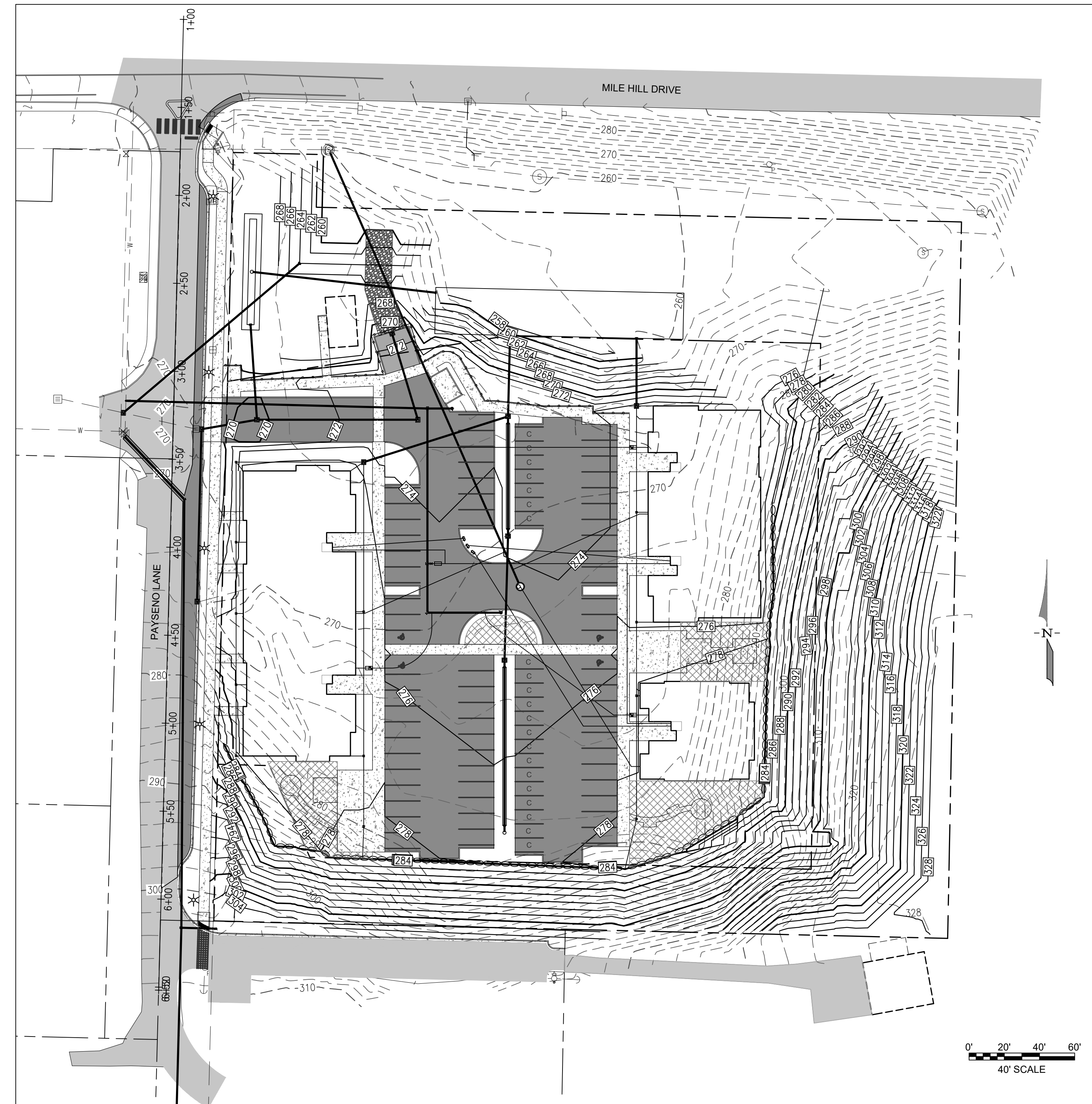
**TOPOGRAPHY NOTE:**

THE TOPOGRAPHIC INFORMATION SHOWN IS A BLEND OF KITSAP COUNTY LIDAR AND ELEVATION DATA OBTAINED THROUGH FIELD SURVEYS PERFORMED BY WESTSOUND ENGINEERING. ALL DATA PRESENTED IS BASED ON THE NAVD88 DATUM.

**DATUM & BENCHMARKS:**

NAVD 88  
 BM-1 REBAR & CAP  
 1202330.84 N  
 199344.20 E  
 302.29' ELEV  
 BM-2 PK NAIL  
 1202320.95 N  
 199623.39 E  
 269.93' ELEV

- LEGEND:**
- EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - PROPOSED MAJOR CONTOUR
  - PROPOSED MINOR CONTOUR
  - APPLICANT'S PARCEL LINES
  - NEIGHBORING PARCELS
  - EXISTING ASPHALT
  - PROPOSED ASPHALT
  - POWER POLES AND GUY WIRE
  - WATER TEE AND 90° ELBOW
  - WATER GATE VALVE
  - FIRE HYDRANT
  - WATER METER
  - EXISTING SANITARY SEWER MANHOLE
  - PROPOSED SANITARY SEWER MANHOLE
  - TYPE 1 CATCH BASIN



**SHEET INDEX**

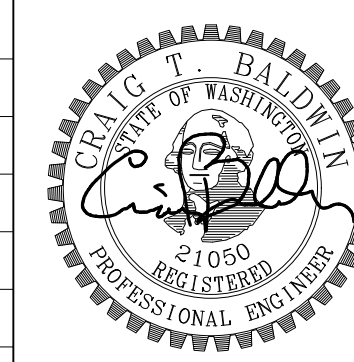
- C1 - COVER SHEET
- C2 - BOUNDARY AND TOPOGRAPHIC SURVEY
- C3 - SITE PLAN
- C4 - SWPPP
- C5 - SWPPP NOTES AND DETAILS
- C6 - GRADING AND DRAINAGE PLAN
- C7 - GRADING AND DRAINAGE PLAN
- C8 - CROSS-SECTIONS
- C9 - DRAINAGE NOTES AND DETAILS
- C10 - DRAINAGE NOTES AND DETAILS
- C11 - ROAD NOTES AND DETAILS
- C12 - UTILITY PLAN
- C13 - WATER NOTES AND DETAILS
- C14 - SANITARY SEWER NOTES AND DETAILS
- C15 - OFFSITE IMPROVEMENTS PLAN AND PROFILE
- C16 - PAYSENO LANE CROSS-SECTIONS

NOTE:  
 SIDEWALKS SHALL BE CONSTRUCTED PRIOR TO ROADWAY PAVING.

**MONUMENT REMOVAL PERMIT PROCESS**

NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY ACCESSIBLE) BEFORE A PERMIT IS OBTAINED FROM THE DEPARTMENT OF NATURAL RESOURCES (DNR). WAC 332-120-030(2) STATES "IT IS THE RESPONSIBILITY OF THOSE PERFORMING CONSTRUCTION WORK OR OTHER ACTIVITY (INCLUDING ROAD AND STREET RESURFACING PROJECTS) TO ADEQUATELY SEARCH THE RECORDS AND THE PHYSICAL AREA OF THE PROPOSED CONSTRUCTION WORK OR OTHER ACTIVITY FOR THE PURPOSE OF LOCATING AND REFERENCING ANY KNOWN OR EXISTING SURVEY MONUMENTS." CONSTRUCTION SHALL NOT COMMENCE UNTIL WAC OUTLINED IN CHAPTER 332-120 IS COMPLIED WITH.

DESIGNED BY	CTB				
DRAWN BY	PWB				
CHECKED BY	CTB				
SEC	31	TWN	24N	R	2E
SCALE	1"=40'				
REV.		DESCRIPTION		DATE	BY
DATE SEALED	6/30/2021				



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 COVER SHEET

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

PW21-023  
 PW21-024



217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com  
 Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

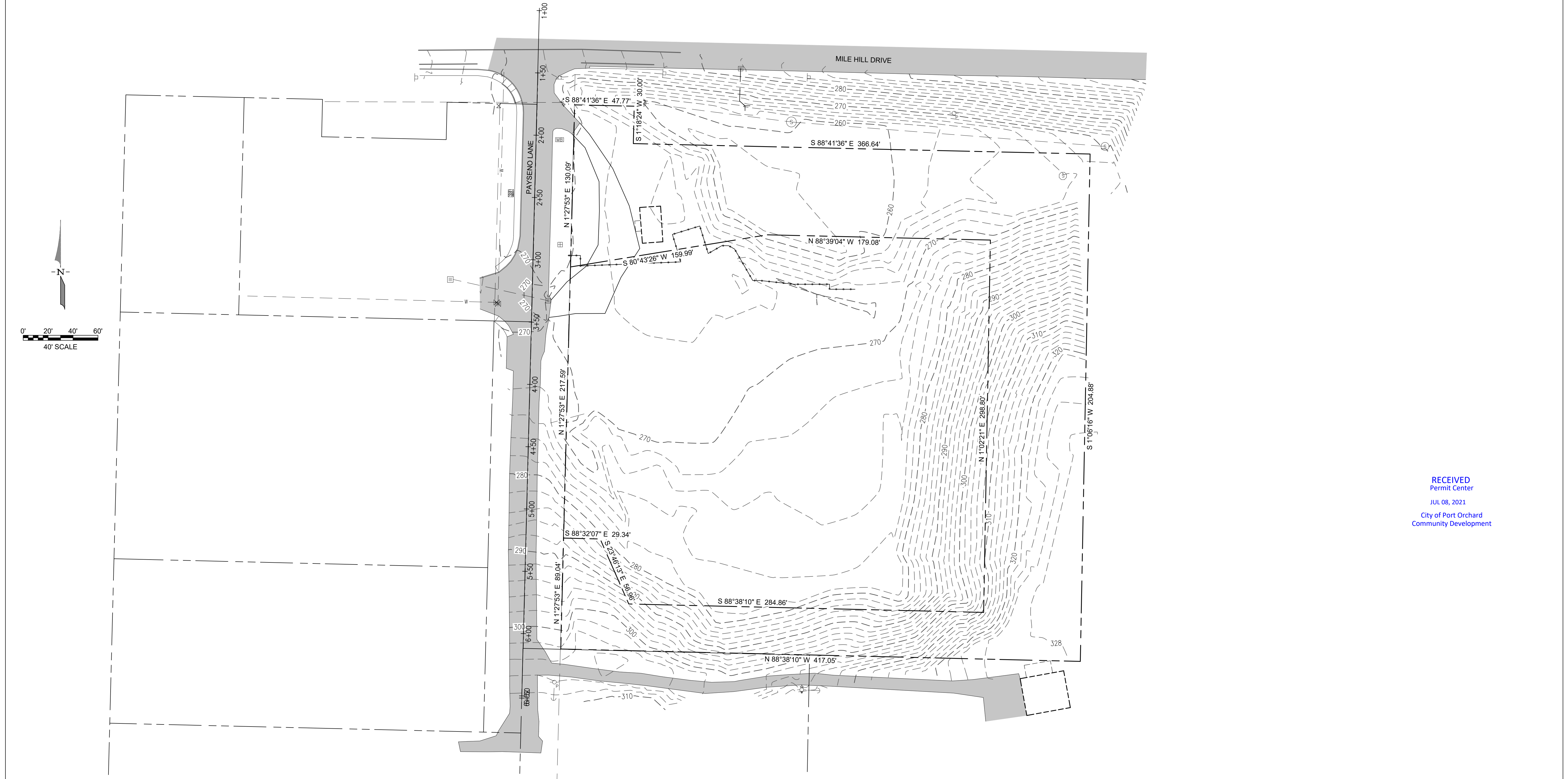
JOB No. **2657** SHT **C1** OF **16** SHTS

ONE-CALL (# 1-800-424-5555):  
 BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND  
 VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING,  
 ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF  
 EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2

## BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF SECTION 31, TOWNSHIP 24 NORTH, RANGE 2 EAST, W.M.  
 KITSAP COUNTY, WASHINGTON



RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

**MONUMENT REMOVAL PERMIT PROCESS**  
 NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR  
 COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY  
 ACCESSIBLE) BEFORE A PERMIT IS OBTAINED FROM THE DEPARTMENT OF NATURAL RESOURCES  
 (DNR). WAC 332-120-030(2) STATES "IT IS THE RESPONSIBILITY OF THOSE PERFORMING  
 CONSTRUCTION WORK OR OTHER ACTIVITY (INCLUDING ROAD AND STREET RESURFACING  
 PROJECTS) TO ADEQUATELY SEARCH THE RECORDS AND THE PHYSICAL AREA OF THE PROPOSED  
 CONSTRUCTION WORK OR OTHER ACTIVITY FOR THE PURPOSE OF LOCATING AND REFERENCING  
 ANY KNOWN OR EXISTING SURVEY MONUMENTS." CONSTRUCTION SHALL NOT COMMENCE UNTIL  
 WAC OUTLINED IN CHAPTER 332-120 IS COMPLIED WITH.

DESIGNED BY	CTB					
DRAWN BY	TJB					
CHECKED BY	CTB					
SEC	31	TWN	24N	R	2E	
SCALE	1"=40'					
REV.		DESCRIPTION		DATE	BY	DATE SEALED
						6/30/2021



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 BOUNDARY AND TOPOGRAPHIC SURVEY

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

**PW21-023**  
**PW21-024**

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com

Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

JOB No. **2657** SHT **C2** OF **16** SHTS

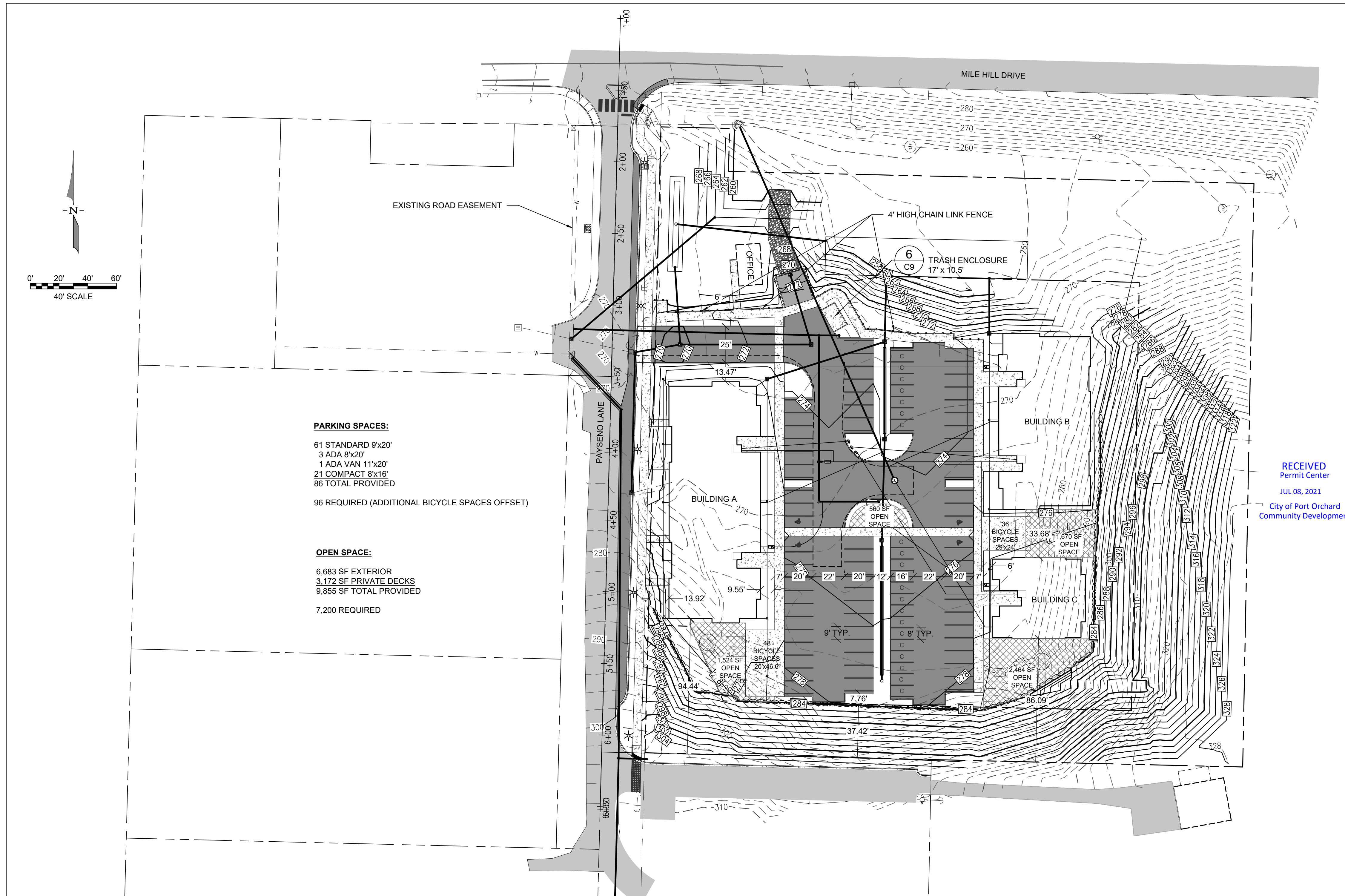
File: X:\Projects\Active\2021\0657 - Payseno Apartments Phase 2\Design\0657 - 0657-FIXED-SITE-PARKING.dwg Layout: 2 Date: 07-07-2021 @ 15:11 Login: User

ONE-CALL (# 1-800-424-5555):  
 BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2

## SITE PLAN

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CURRENTLY ADOPTED WSDOT AND APWA SPECIFICATIONS AND PLANS, AND THE CITY OF PORT ORCHARD MUNICIPAL CODE, THE CURRENTLY ADOPTED CITY OF PORT ORCHARD DEVELOPER'S HANDBOOK, THE CURRENTLY ADOPTED SURFACE WATER DESIGN MANUAL AND THE CONDITIONS OF PRELIMINARY SUBDIVISION APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY OF PORT ORCHARD.
  - THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE PORT ORCHARD DESIGN STANDARDS. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE CITY OF PORT ORCHARD CITY ENGINEER. ANY DEVIATION FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF PORT ORCHARD CITY ENGINEER, PRIOR TO CONSTRUCTION.
  - APPROVAL OF THESE ENGINEERING PLANS SUCH AS FOR ROADS, GRADING, OR DRAINAGE DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER DESIGN (E.G., WATER, SEWER, GAS, ELECTRICAL, ETC.).
  - BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE CITY OF PORT ORCHARD PUBLIC WORKS DEPARTMENT, THE APPLICANT AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
  - PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY OF PORT ORCHARD PRIOR TO THE PRECONSTRUCTION MEETING.
  - A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
  - CONSTRUCTION NOISE SHALL COMPLY WITH THE CURRENT POMC SECTION 9.24.050.
  - IT SHALL BE THE APPLICANT/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL RIGHT-OF-WAY PERMITS AND CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK WITHIN A CITY OF PORT ORCHARD STREET RIGHT-OF-WAY.
  - FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS IS SUBMITTED TO THE CITY OF PORT ORCHARD PRIOR TO CONSTRUCTION.
  - THE VERTICAL DATUM SHALL BE NAVD 1988 AND THE HORIZONTAL DATUM SHALL BE NAD 1983 HARN STATE PLANE WASHINGTON NORTH FIPS 4601 FEET.
  - GROUNDWATER SYSTEM CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION.
  - ALL UTILITY TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE CITY OF PORT ORCHARD STANDARDS.
  - ALL ROADWAY SUBGRADE SHALL BE BACKFILLED, COMPACTED TO 95% MAXIMUM DENSITY AND PREPARED FOR SURFACING IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION 2-06.3.
  - OPEN CUTTING OF EXISTING ROADWAYS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF PORT ORCHARD CITY ENGINEER AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH THE CITY OF PORT ORCHARD STANDARD SPECIFICATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. REFER TO "TRAFFIC CONTROL" OF THE WSDOT STANDARD SPECIFICATIONS SHALL APPLY IN ITS ENTIRETY. TRAFFIC CONTROL PLANS SHALL FOLLOW THE CURRENTLY ADOPTED MUTCD MANUAL AS APPLICABLE. TO PROTECT SIGNIFICANT TREES FROM THE IMPACTS OF THE PROPOSED DEVELOPMENT, THE APPLICANT SHALL PROVIDE THE BEST PROTECTION FOR SIGNIFICANT TREES PER THE REGULATIONS. AT A MINIMUM, ANY SIGNIFICANT TREES TO BE RETAINED SHALL BE FENCED TWO FEET OUTWARD FROM THE IDENTIFIED DRIP LINE. TREES THAT SUSTAIN DAMAGE DURING CONSTRUCTION SHALL BE REPLACED PURSUANT TO POMC. A REPRESENTATIVE OF THE CITY OF PORT ORCHARD DCD STAFF SHALL VERIFY PROTECTIVE FENCING PLACEMENT PER THIS CONDITION PRIOR TO ISSUANCE OF A NOTICE TO PROCEED FOR GRADING AND CLEARING. THE CITY SHALL INSPECT FOR COMPLIANCE WITH THE TREE PLAN PRIOR TO A FINAL INSPECTION. THE INSPECTION SHALL ALSO EVALUATE THE CONDITION OF RETAINED TREES AND ANY AND ALL CORRECTIONS WILL BE REQUIRED TO BE COMPLETED PRIOR TO A FINAL INSPECTION AND RELEASE OF ANY POST FINANCIAL GUARANTEES FOR THE SITE.
- STRUCTURAL NOTES:**
- (ALSO REFER TO CITY OF PORT ORCHARD STANDARDS AND SPECIFICATIONS CHAPTER 8 STRUCTURES); THESE PLANS ARE APPROVED FOR CONSTRUCTION OF THE STANDARD ROAD AND DRAINAGE IMPROVEMENTS ONLY. PLANS FOR STRUCTURES SUCH AS BRIDGES, VAULTS, AND RETAINING WALLS REQUIRE A SEPARATE REVIEW, APPROVAL AND BUILDING PERMIT BY THE CITY OF PORT ORCHARD DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO CONSTRUCTION.
  - ROCKERIES ARE CONSIDERED TO BE A METHOD OF BANK STABILIZATION AND EROSION CONTROL. ROCKERIES SHALL NOT BE CONSTRUCTED IN FILL CONDITIONS TO SERVE AS RETAINING WALLS. ALL ROCKERIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ROCK WALL CONSTRUCTION GUIDELINES PUBLISHED BY THE ASSOCIATED ROCKERY CONTRACTORS.
  - MECHANICALLY STABILIZED EARTH, OR REINFORCED SOIL, WALLS SHALL BE DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN WASHINGTON STATE.
- RECOMMENDED CONSTRUCTION SEQUENCE:**
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE PUBLIC WORKS DEPARTMENT.
  - POST "NOTICE OF CONSTRUCTION ACTIVITY" SIGN WITH NAME AND PHONE NUMBER OF THE CESCL.
  - FLAG OR FENCE CLEARING LIMITS AND SIGNIFICANT TREES.
  - INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
  - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
  - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
  - CONSTRUCT SEDIMENT PONDS AND TRAPS.
  - GRADE AND STABILIZE CONSTRUCTION ROADS.
  - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DITCHES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
  - MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE CITY OF PORT ORCHARD STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
  - RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES, OR INSTALL NEW MEASURES TO ENSURE THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF PORT ORCHARD EROSION AND SEDIMENT CONTROL STANDARDS.
  - COVER ALL AREAS THAT WILL BE IDLE FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, OR EQUIVALENT.
  - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
  - SEED OR SOD ANY AREAS TO REMAIN IDLE UNTIL SEED OR SOD IS ESTABLISHED.
  - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED, IF APPROPRIATE.



**PARKING SPACES:**

- 61 STANDARD 9'x20'
- 3 ADA 8'x20'
- 1 ADA VAN 11'x20'
- 21 COMPACT 8'x16'
- 86 TOTAL PROVIDED

96 REQUIRED (ADDITIONAL BICYCLE SPACES OFFSET)

**OPEN SPACE:**

- 6,683 SF EXTERIOR
- 3,172 SF PRIVATE DECKS
- 9,855 SF TOTAL PROVIDED

7,200 REQUIRED

RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

**MONUMENT REMOVAL PERMIT PROCESS**  
 NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY ACCESSIBLE) BEFORE A PERMIT IS OBTAINED FROM THE DEPARTMENT OF NATURAL RESOURCES (DNR). WAC 332-120-030(2) STATES "IT IS THE RESPONSIBILITY OF THOSE PERFORMING CONSTRUCTION WORK OR OTHER ACTIVITY (INCLUDING ROAD AND STREET RESURFACING PROJECTS) TO ADEQUATELY SEARCH THE RECORDS AND THE PHYSICAL AREA OF THE PROPOSED CONSTRUCTION WORK OR OTHER ACTIVITY FOR THE PURPOSE OF LOCATING AND REFERENCING ANY KNOWN OR EXISTING SURVEY MONUMENTS." CONSTRUCTION SHALL NOT COMMENCE UNTIL WAC OUTLINED IN CHAPTER 332-120 IS COMPLIED WITH.

DESIGNED BY	CTB					
DRAWN BY	PWB					
CHECKED BY	CTB					
SEC	31	TWN	24N	R	2E	
SCALE	1"=40'					
REV.		DESCRIPTION		DATE	BY	
DATE SEALED	6/30/2021					



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 SITE PLAN

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

**PW21-023**  
**PW21-024**

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com

Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

JOB No. **2657** SHT **C3** OF **16** SHTS

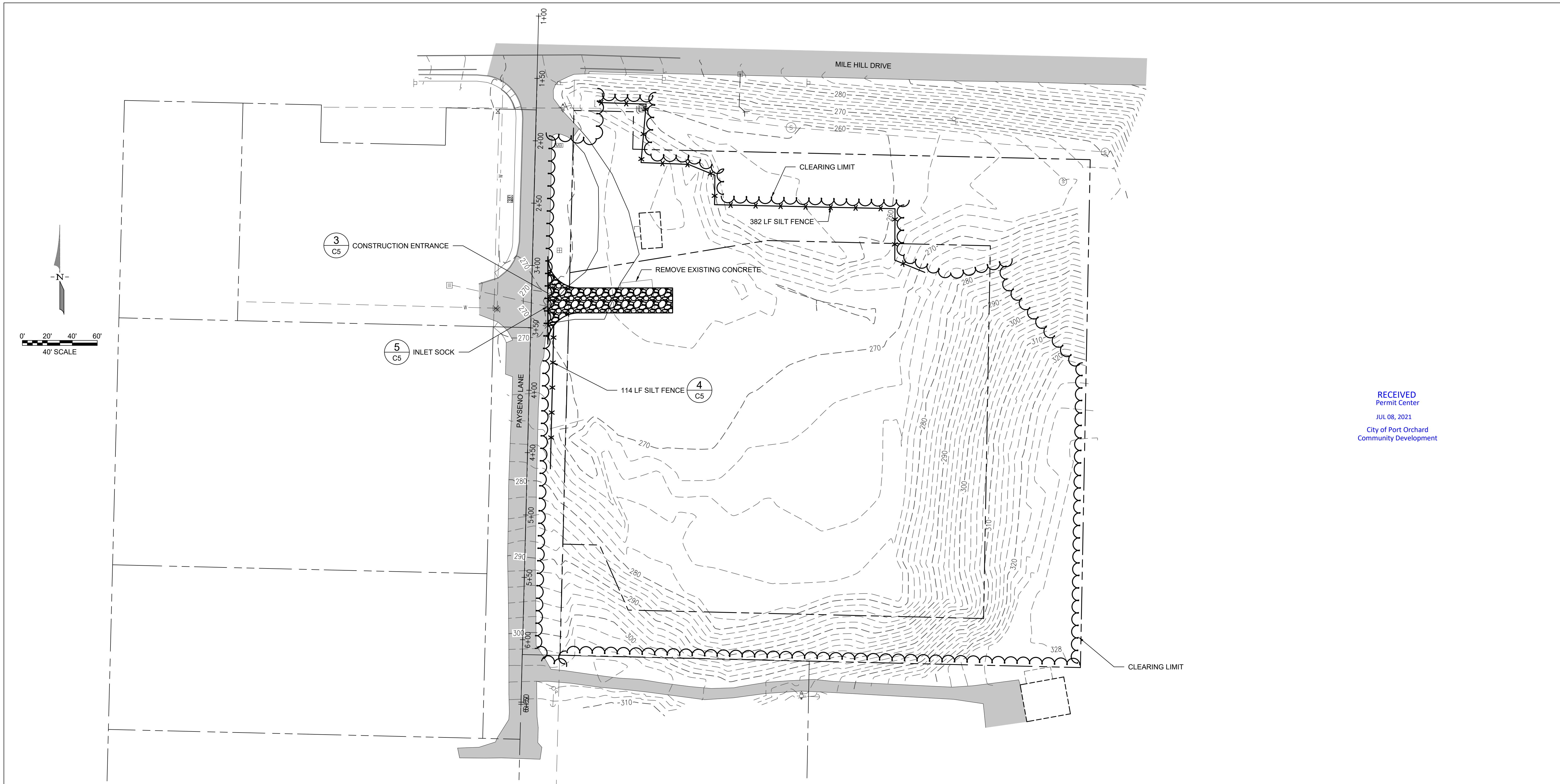
File: X:\Projects\Active\265702657 - Payseno Apartments Phase 2\Design\2657 0558-Fixed-SITE-PARKING.dwg Layout: 3 Date: 07/07/2021 @ 15:11 Login: User

ONE-CALL (# 1-800-424-5555):

BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2

## SWPPP



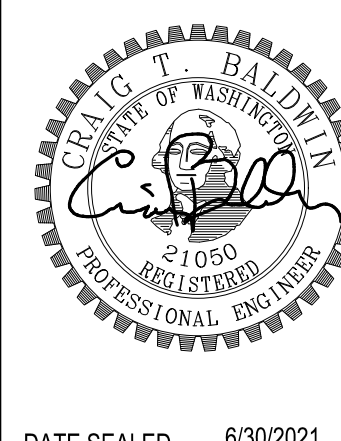
RECEIVED  
Permit Center  
JUL 08, 2021  
City of Port Orchard  
Community Development

### MONUMENT REMOVAL PERMIT PROCESS

NO SURVEY MONUMENT SHALL BE REMOVED OR DESTROYED (THE PHYSICAL DISTURBANCE OR COVERING OF A MONUMENT SUCH THAT THE SURVEY POINT IS NO LONGER VISIBLE OR READILY ACCESSIBLE) BEFORE A PERMIT IS OBTAINED FROM THE DEPARTMENT OF NATURAL RESOURCES (DNR). WAC 332-120-030(2) STATES "IT IS THE RESPONSIBILITY OF THOSE PERFORMING CONSTRUCTION WORK OR OTHER ACTIVITY (INCLUDING ROAD AND STREET RESURFACING PROJECTS) TO ADEQUATELY SEARCH THE RECORDS AND THE PHYSICAL AREA OF THE PROPOSED CONSTRUCTION WORK OR OTHER ACTIVITY FOR THE PURPOSE OF LOCATING AND REFERENCING ANY KNOWN OR EXISTING SURVEY MONUMENTS." CONSTRUCTION SHALL NOT COMMENCE UNTIL WAC OUTLINED IN CHAPTER 332-120 IS COMPLIED WITH.

DESIGNED BY CTB  
DRAWN BY PWB  
CHECKED BY CTB  
SEC 31 TWN 24N R 2E  
SCALE 1"=40'

REV.	DESCRIPTION	DATE	BY



TITLE: PAYSENO LANE APARTMENTS PHASE 2  
SWPPP

CLIENT: DAVE BURK  
7583 CLOVER VALLEY ROAD SE  
PORT ORCHARD, WA 98367  
360-340-6636

PW21-023  
PW21-024

DATE SEALED 6/30/2021

**WSE WestSound Engineering, Inc**  
ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
Phone (360) 876-3770 Fax (360) 876-0439  
E-mail: wse@wsengineering.com http://www.wsengineering.com

JOB No. **2657** SHT **C4** OF **16** SHTS

**EROSION AND SEDIMENT CONTROL NOTES:**

(ALSO REFER TO CITY OF PORT ORCHARD STANDARDS AND SPECIFICATIONS CHAPTER 9 SURFACE WATER DRAINAGE):

27. APPROVAL OF THESE TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) PLANS DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).

28. THE IMPLEMENTATION OF THESE TESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE TESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CESCL UNTIL ALL CONSTRUCTION IS APPROVED.

29. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THESE PLANS SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/CESCL FOR THE DURATION OF CONSTRUCTION.

30. STABILIZED CONSTRUCTION ENTRANCES, IN ACCORDANCE WITH STANDARD DETAILS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK-OUT TO STREET RIGHT-OF-WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.

31. THE TESC FACILITIES SHOWN ON THESE PLANS MUST BE CONSTRUCTED PRIOR TO ALL CLEARING AND GRADING TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS REDUCED TO REQUIRED LEVELS.

32. THE TESC FACILITIES SHOWN ON THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE TESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G., ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ADDITIONAL PERIMETER PROTECTION, ETC.), AS DIRECTED BY THE CITY ENGINEER.

33. THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CESCL AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES AND OF SAMPLES TAKEN DURING THE WET SEASON (OCTOBER 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPTEMBER 30).

34. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED TESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).

35. ANY AREA NEEDING TESC MEASURES NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.

36. THE TESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN TWENTY-FOUR (24) HOURS FOLLOWING A STORM EVENT.

37. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO FINAL INSPECTION. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO A DOWNSTREAM SYSTEM.

38. ANY PERMANENT FLOW CONTROL FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE (3) FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

39. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2 TO 3 INCHES.

40. PRIOR TO THE BEGINNING OF THE WET SEASON (OCTOBER 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH AREAS CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. - A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE CITY OF PORT ORCHARD CITY ENGINEER. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.

**1 EROSION AND SEDIMENT CONTROL NOTES**

# PAYSENO LANE APARTMENTS PHASE 2

## SWPPP NOTES AND DETAILS

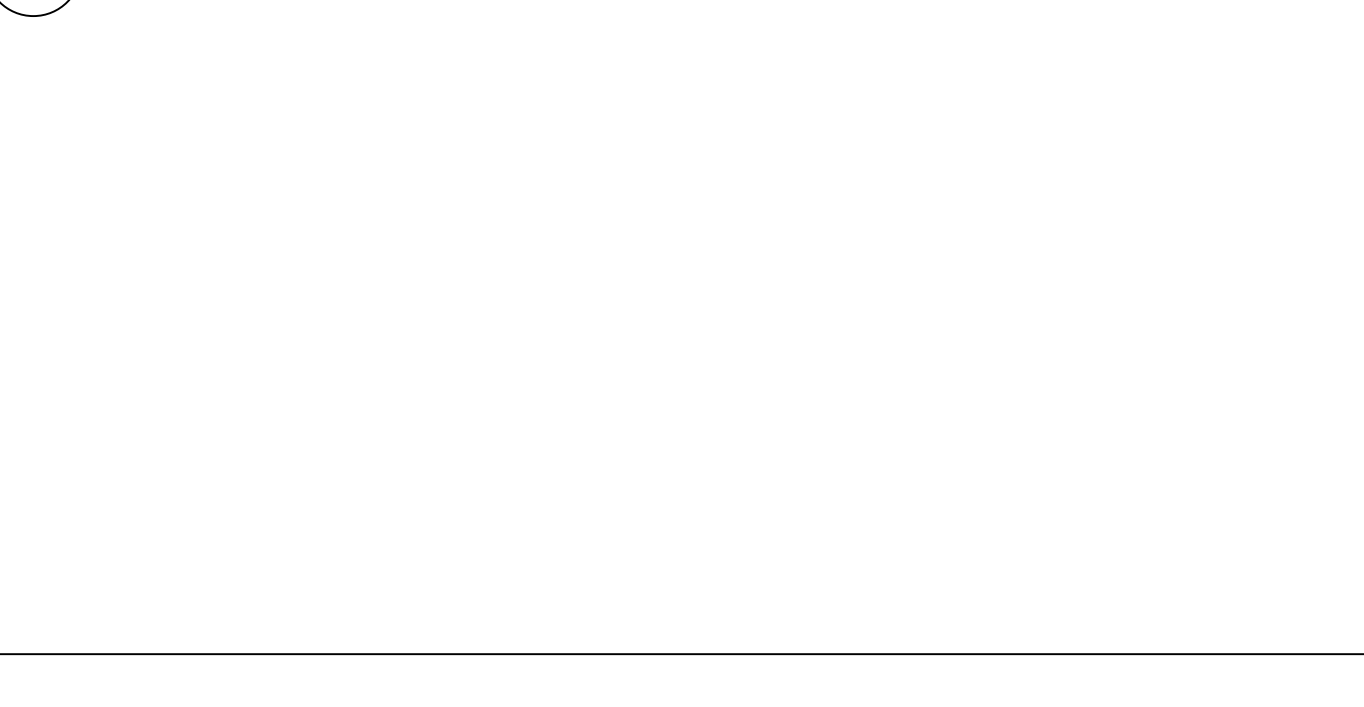
**TESC MAINTENANCE REQUIREMENTS:**

1. EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND DAILY DURING PROLONGED RAINFALL.
2. NECESSARY REPAIRS OR REPLACEMENT OF FACILITIES SHALL BE ACCOMPLISHED PROMPTLY.
3. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE MAXIMUM POTENTIAL DEPTH.
4. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE ESC FACILITIES ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
5. TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED BY

OWNER: DAVE BURK  
 NAME: DAVE BURK  
 ADDRESS: 7583 CLOVER VALLEY ROAD SE  
 CITY, STATE, ZIP: PORT ORCHARD, WA 98367  
 PHONE: 360-340-6636

OWNER REP:  
 NAME:  
 ADDRESS:  
 CITY, STATE, ZIP:  
 PHONE:

**2 TESC MAINTENANCE REQUIREMENTS**

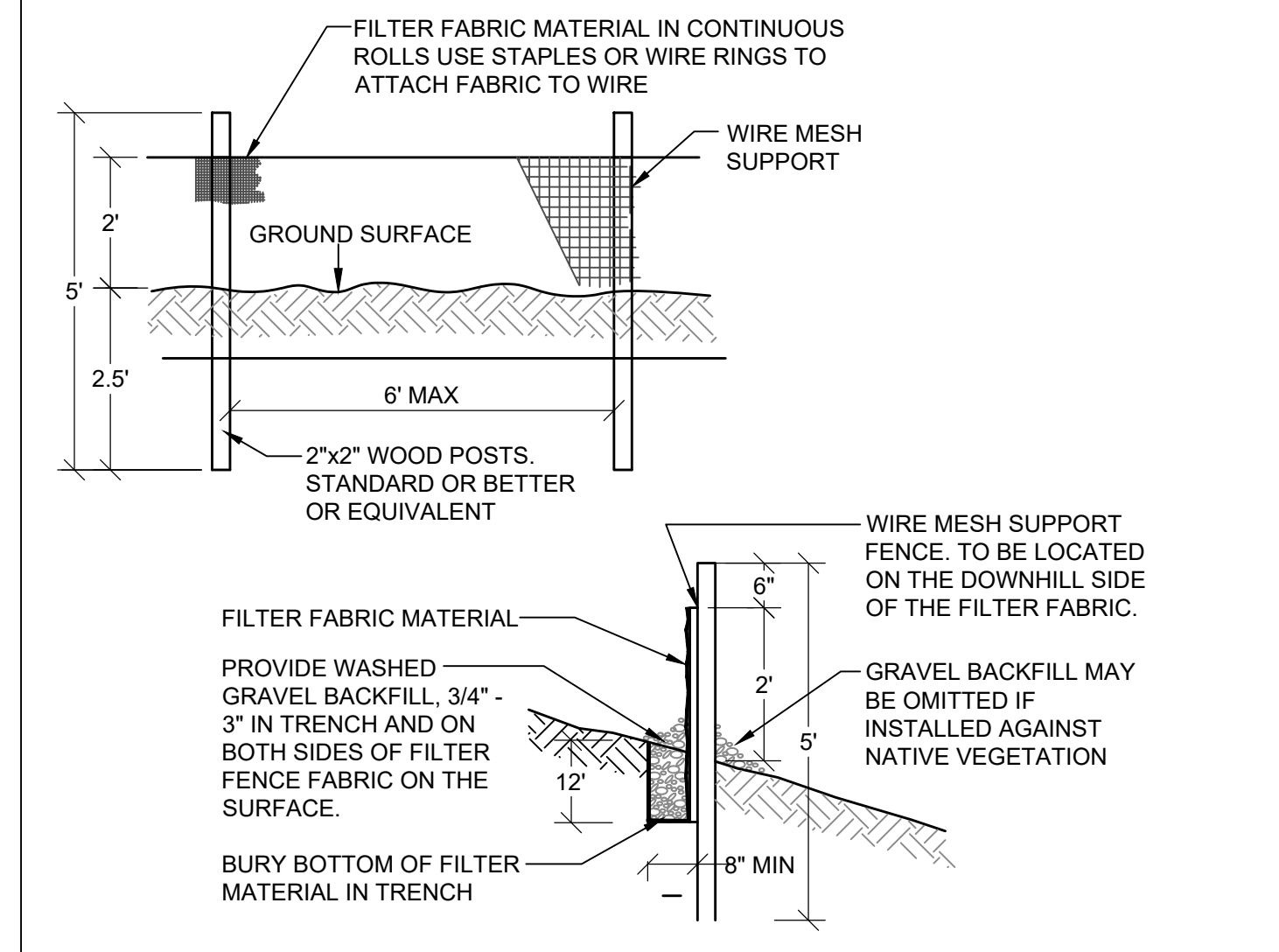


- NOTES:
1. SEPARATION GEOTEXTILE (MARAFI 180N) SHALL BE PLACED UNDER THE SPALLS TO PREVENT FINE SEDIMENT FROM PUMPING INTO THE ROCK PAD.
  2. INSTALL ON FIRM COMPACTED SUBGRADE WHERE ABLE.
  3. REFRESH SPALLS AS NEEDED TO MAINTAIN ENTRANCE IN ACCORDANCE WITH THIS DETAIL.
  4. ANY SEDIMENT TRANSPORT OUTSIDE OF SITE AND ENTRANCE SHALL BE REMOVED AND THE AREA SWEEPED FREE OF SEDIMENT.
  5. LOOSE SPALLS THAT ARE TRANSPORTED OR DISPLACED TO ROADWAY SHALL BE COLLECTED AND RETURNED TO THE SITE.
  6. NO ACCESS POINTS NOT PROVIDED WITH A CONSTRUCTION ENTRANCE SHALL BE USED DURING THE CONSTRUCTION ACTIVITY. PROVIDE FENCING TO RESTRICT ACCESS IF NEEDED.

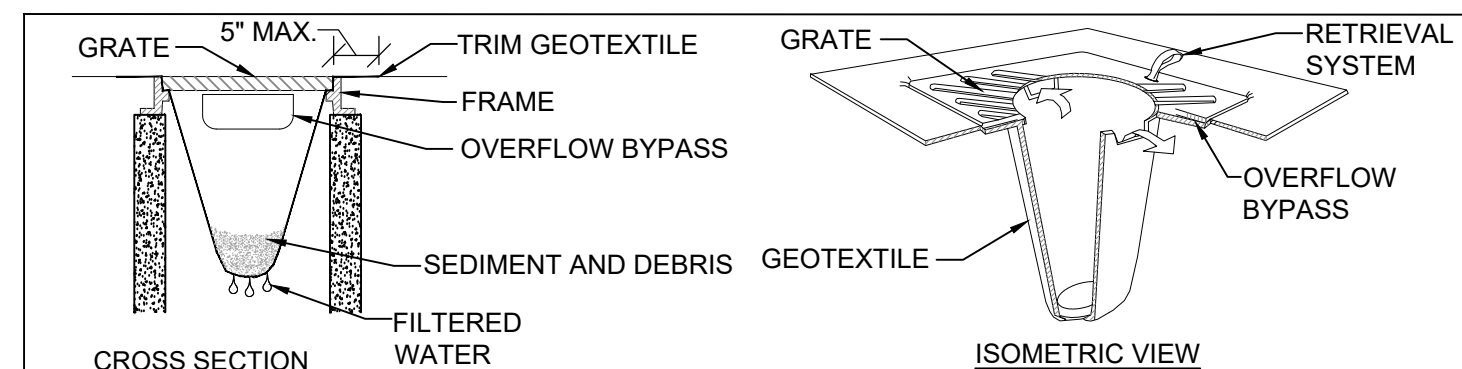
**3 TEMPORARY CONSTRUCTION ENTRANCE**

**SILT FENCE NOTES:**

1. FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY FASTENED AT BOTH ENDS TO POSTS.
2. POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
3. A TRENCH SHALL BE EXCAVATED - APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP ALONG THE LINE OF POSTS AND UP SLOPE FROM THE BARRIER. THIS TRENCH SHALL BE BACKFILLED WITH WASHED GRAVEL.
4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UP SLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
6. WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.
7. FILTER FABRIC FENCES SHALL NOT BE REMOVED BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
8. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
9. SILT FENCES WILL BE INSTALLED PARALLEL TO ANY SLOPE CONTOURS.
10. CONTRIBUTING LENGTH TO FENCE WILL NOT BE GREATER THAN 100 FEET.
11. DO NOT INSTALL BELOW AN OUTLET PIPE OR WEIR.
12. INSTALL DOWN SLOPE OF EXPOSED AREAS.
13. DO NOT DRIVE OVER OR FILL OVER SILT FENCES.



**4 SILT FENCING DETAIL**



1. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.3(15).
2. SIZE THE BELOW GRATE INLET DEVICE (BGID) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
3. THE BGID SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
4. THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BGID WITHOUT SPILLING THE COLLECTED MATERIAL.

**5 INLET PROTECTION SOCK DETAIL**

RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

File: X:\Projects\active\06010657 - Payseno Apartments Phase 2\Design\0657-055-Fixed-SITE-MARKING.dwg Layout: 5 Date: 07-07-2021 @ 15:11 Login: User

DESIGNED BY	CTB						
DRAWN BY	PWB						
CHECKED BY	CTB						
SCALE	31 TWN 24N R 2E	REV.		DESCRIPTION	DATE	BY	
					DATE SEALED	6/30/2021	

TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 SWPPP NOTES AND DETAILS

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

PW21-023  
 PW21-024

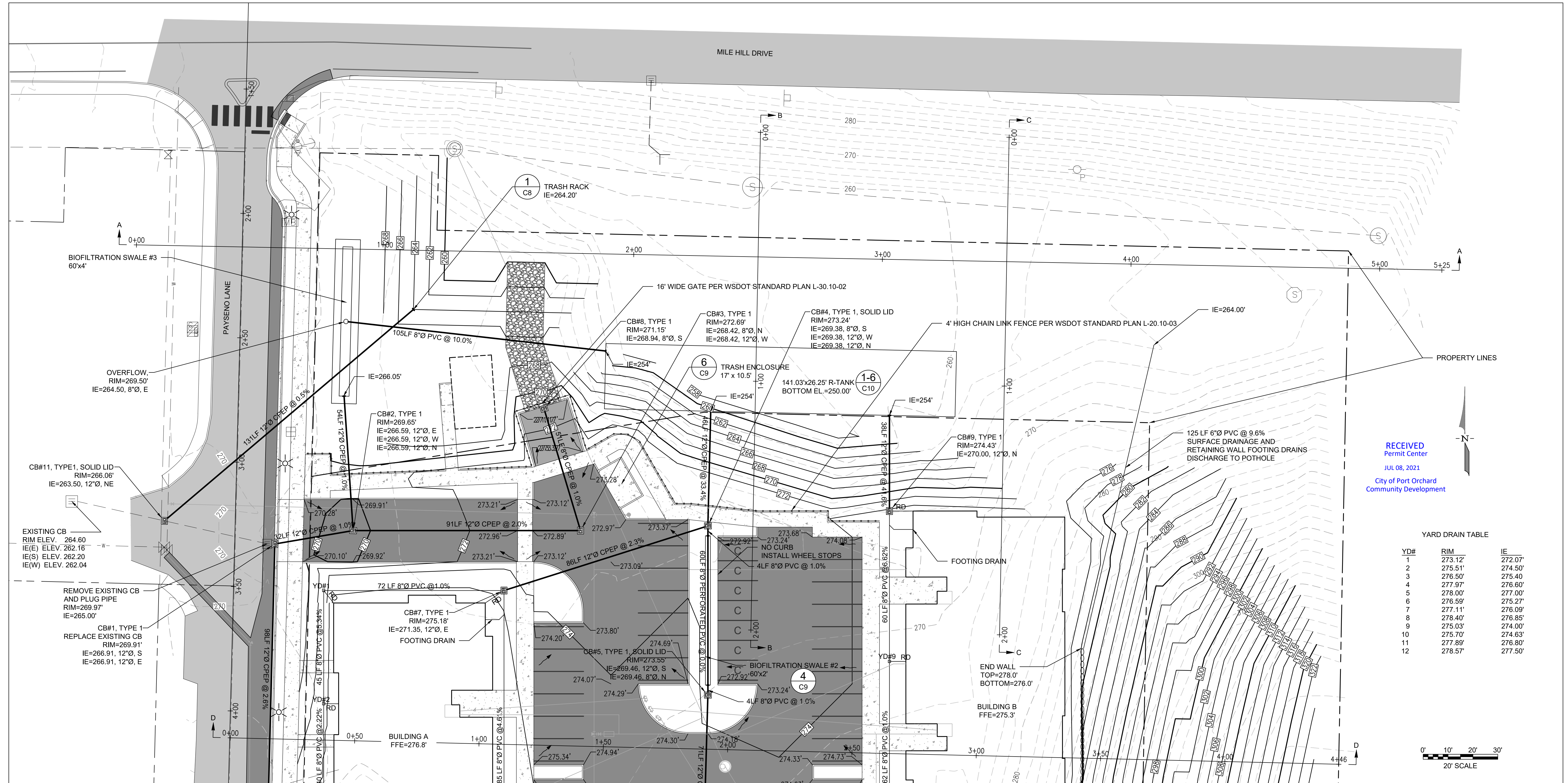
**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
 Phone (360) 876-3770 Fax (360) 876-0439  
 E-mail: wse@wsengineering.com http://www.wsengineering.com

JOB No. **2657** SHT **C5** OF **16** SHTS

# PAYSENO LANE APARTMENTS PHASE 2

## GRADING AND DRAINAGE PLAN



**RECEIVED**  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

**YARD DRAIN TABLE**

YD#	RIM	IE
1	273.12'	272.07'
2	275.51'	274.50'
3	276.50'	275.40'
4	277.97'	276.60'
5	278.00'	277.00'
6	276.59'	275.27'
7	277.11'	276.09'
8	278.40'	276.85'
9	275.03'	274.00'
10	275.70'	274.63'
11	277.89'	276.80'
12	278.57'	277.50'

File: X:\Projects\Active\2657 - Payseno Apartments Phase 2\Design\2657-055-Fixed-SITE-PARKING.dwg Layout: 5 Date: 07-07-2021 @ 15:12 Login: User

DESIGNED BY	CTB
DRAWN BY	PWB
CHECKED BY	CTB
SEC	31 TWN 24N R 2E
SCALE	1"=20'
REV.	
DESCRIPTION	
DATE	
BY	
DATE SEALED	6/30/2021



**TITLE** PAYSENO LANE APARTMENTS PHASE 2  
 GRADING AND DRAINAGE PLAN

**CLIENT** DAVE BURK  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

**PW21-023**  
**PW21-024**

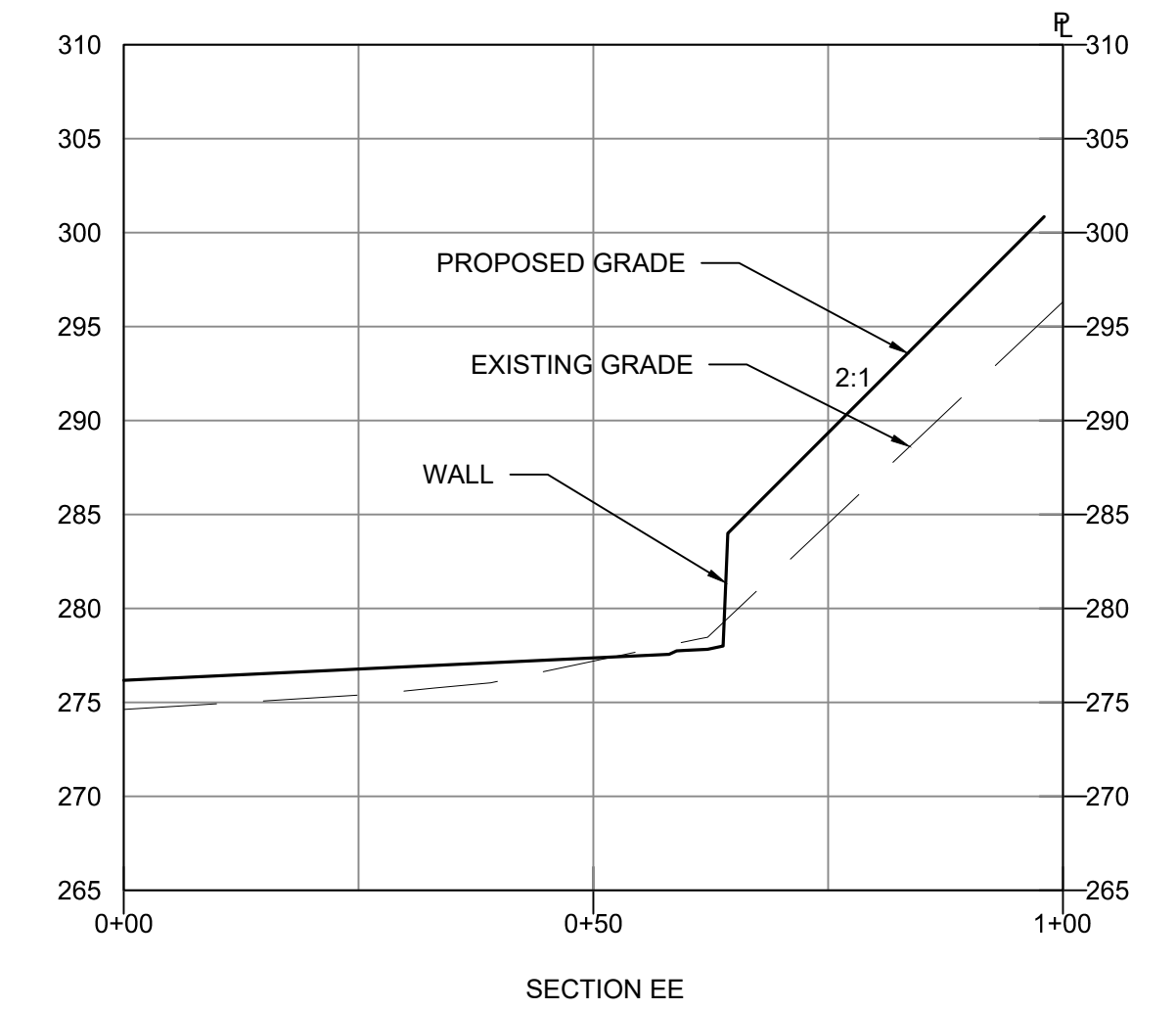
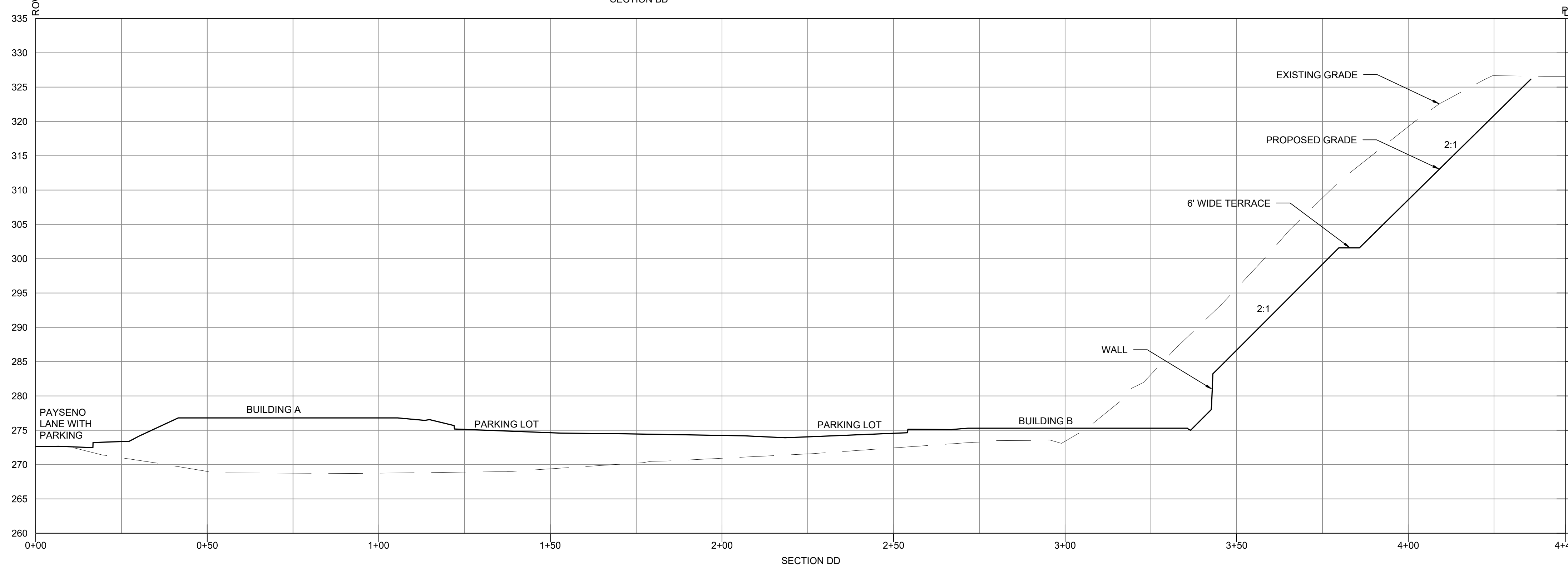
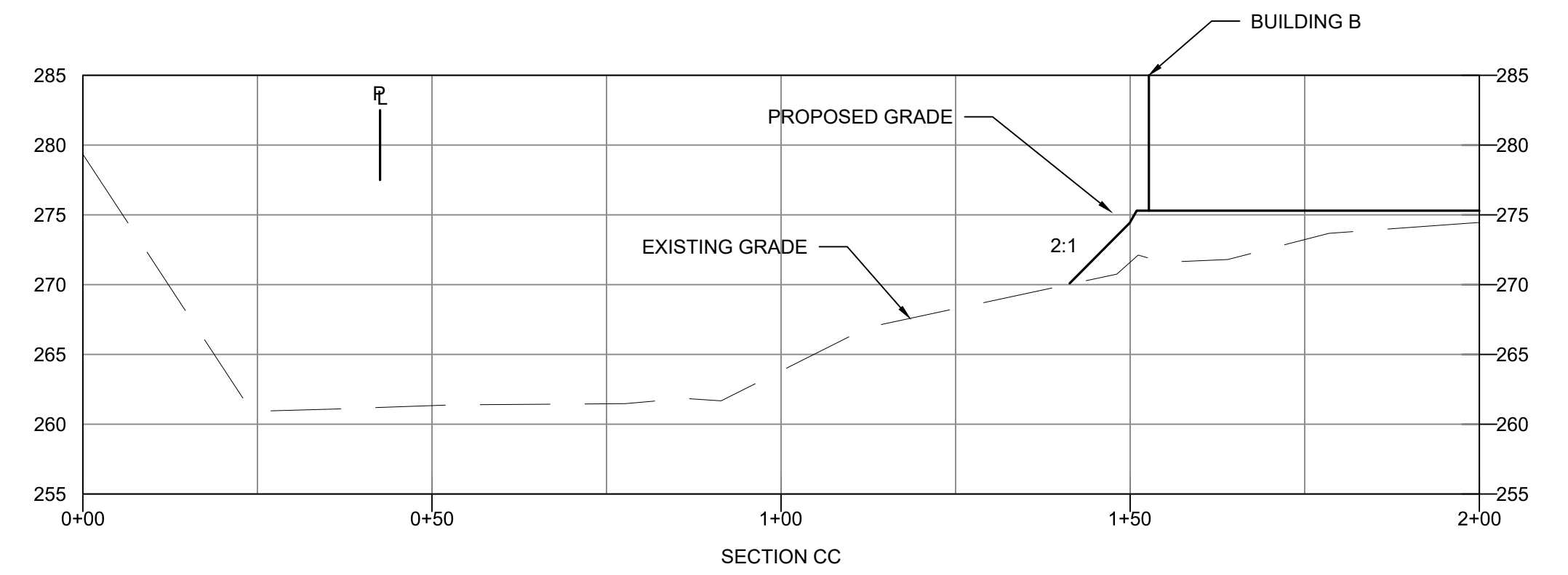
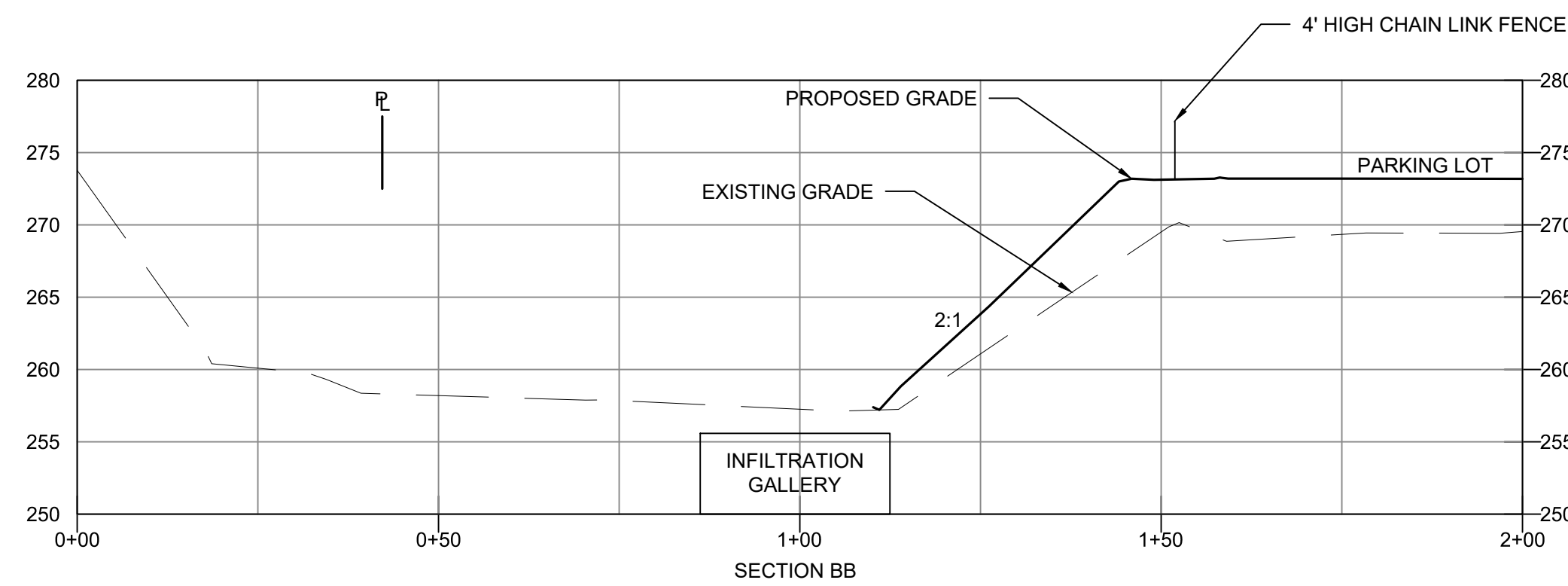
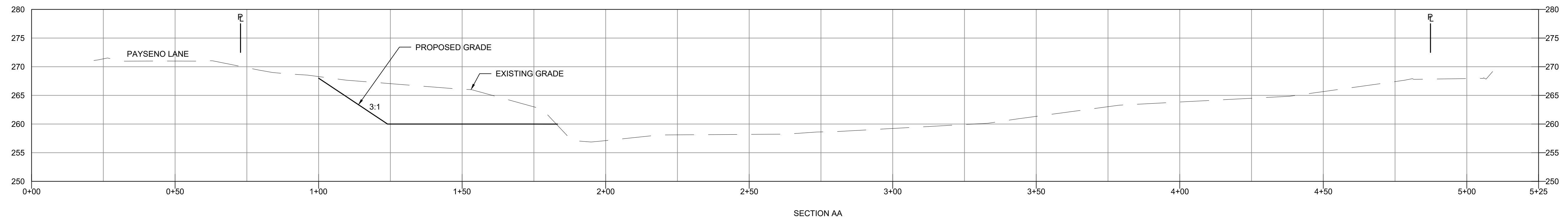
**WestSound Engineering, Inc.**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
 Phone (360) 876-3770 Fax (360) 876-0439  
 E-mail: wse@wsengineering.com http://www.wsengineering.com

**JOB No. 2657**      SHT **C6** OF **16** SHTS



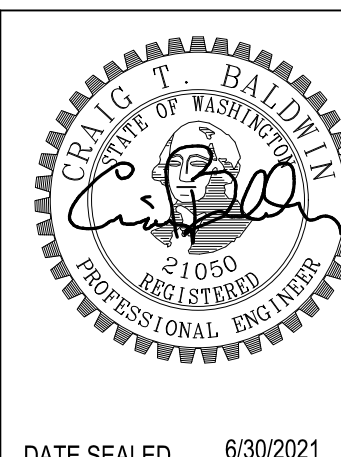
# PAYSENO LANE APARTMENTS PHASE 2 CROSS-SECTIONS



RECEIVED  
Permit Center  
JUL 08, 2021  
City of Port Orchard  
Community Development

DESIGNED BY CTB  
DRAWN BY PWB  
CHECKED BY CTB  
SEC 31 TWN 24N R 2E  
SCALE 1"=##

REV.	DESCRIPTION	DATE	BY



TITLE **PAYSENO LANE APARTMENTS PHASE 2**  
CROSS-SECTIONS

CLIENT **DAVE BURK**  
7583 CLOVER VALLEY ROAD SE  
PORT ORCHARD, WA 98367  
360-340-6636

PW21-023  
PW21-024

DATE SEALED 6/30/2021

**WSE WestSound Engineering, Inc**  
ENGINEERING, PLANNING AND SURVEYING

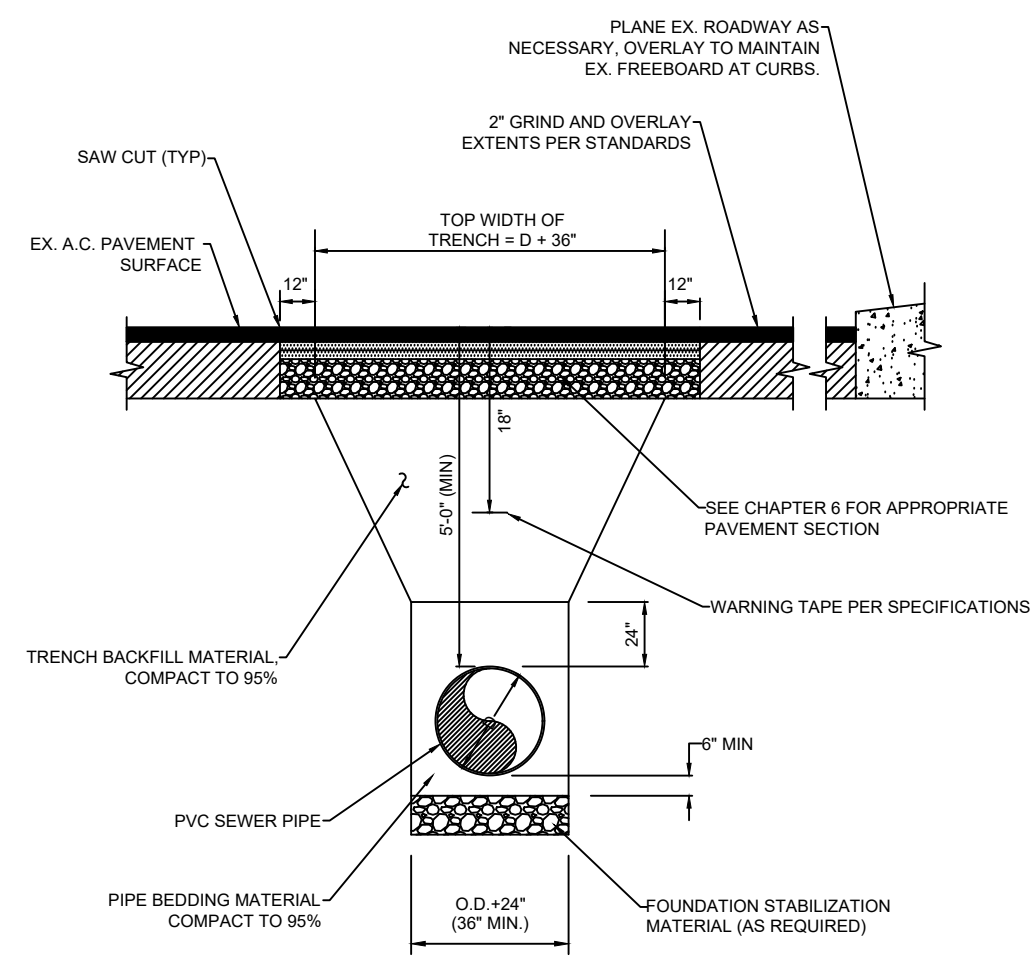
217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
Phone (360) 876-3770 Fax (360) 876-0439  
E-mail: wse@wsengineering.com http://www.wsengineering.com

JOB No. **2657** SHT **C8** OF **16** SHTS



# PAYSENO LANE APARTMENTS PHASE 2

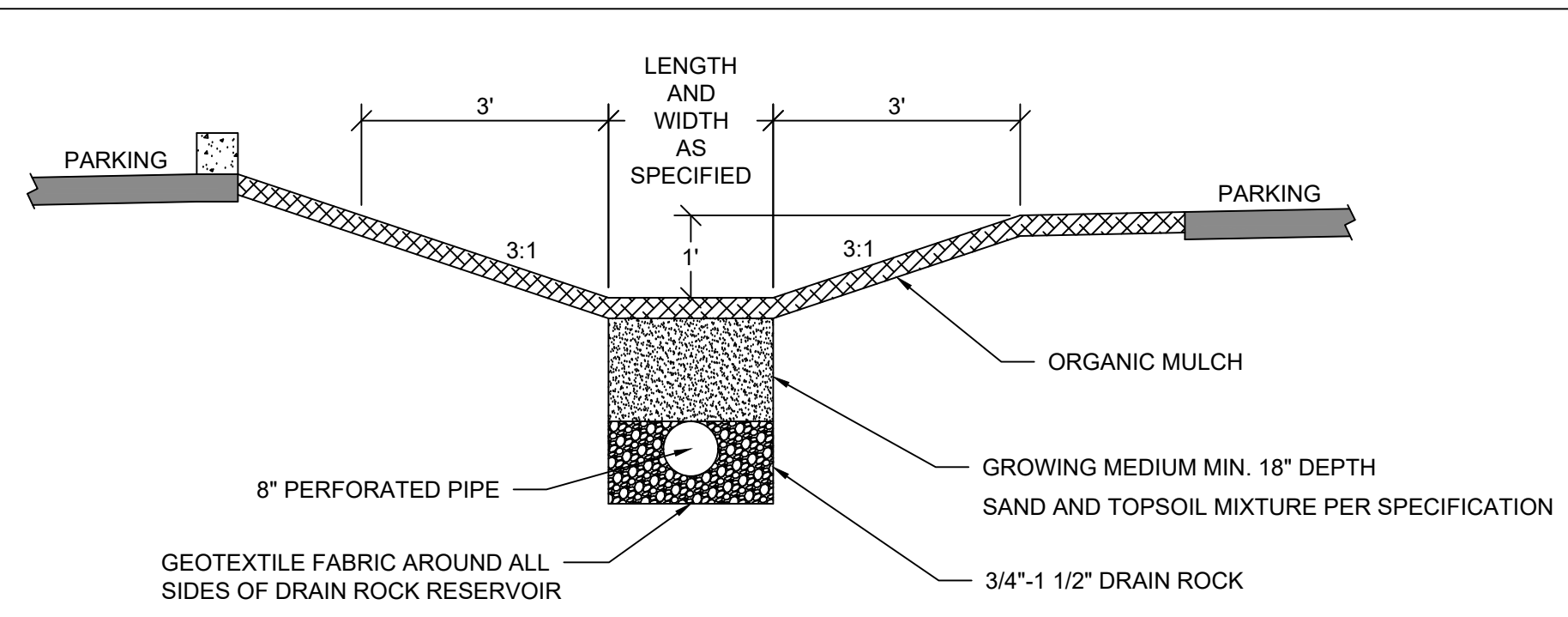
## DRAINAGE NOTES AND DETAILS



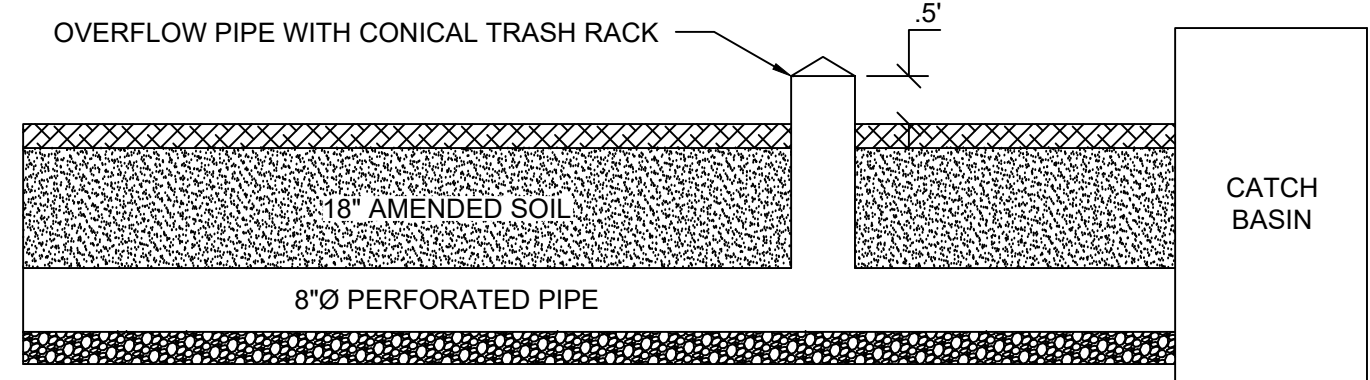
NOTES:  
 1) BED THE ENTIRE WIDTH OF THE TRENCH PAVEMENT  
 2) RESTORATION SHALL BE PER THE APPROPRIATE SECTION IN CHAPTER 6 (PAVEMENT SURFACING).

### 1 TRENCH

NTS



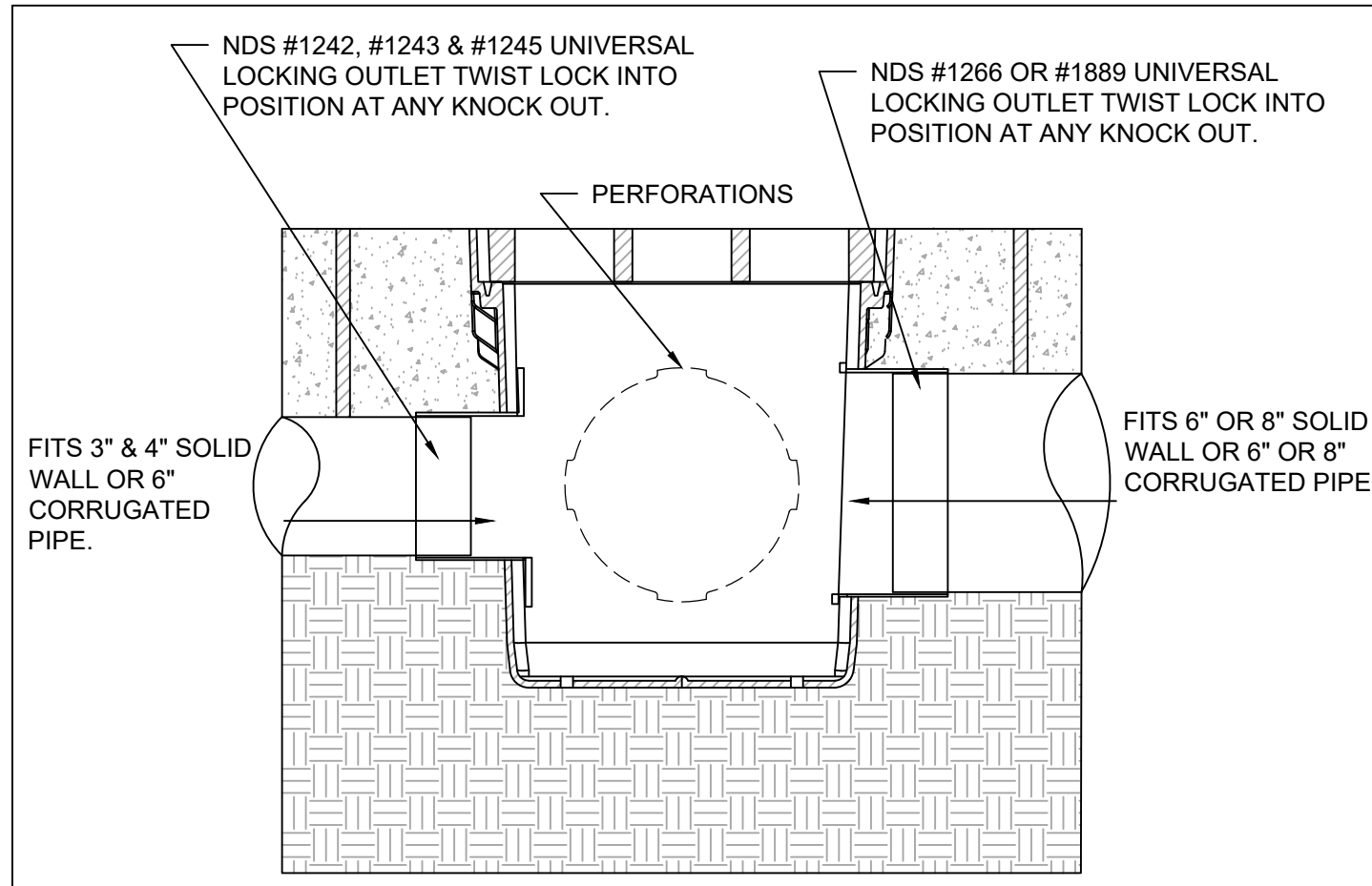
BIOFILTRATION SWALE CROSS-SECTION



BIOFILTRATION SWALE PROFILE

### 4 BIOFILTRATION SWALE

NTS



NOTE:  
 • NDS ADAPTERS THAT FIT THIS BASIN ARE AS FOLLOWS. #1242, #1243, #1245, #1266 & #1889. USE #1206 IF PLUGGING AN OUTLET.  
 • PERFORATIONS ON NON OPEN SIDES AND BTM. TO BE CUT OUT WHEN ADDING EXTRA OUTLETS.

### 5 NDS 12" SQ YARD DRAIN

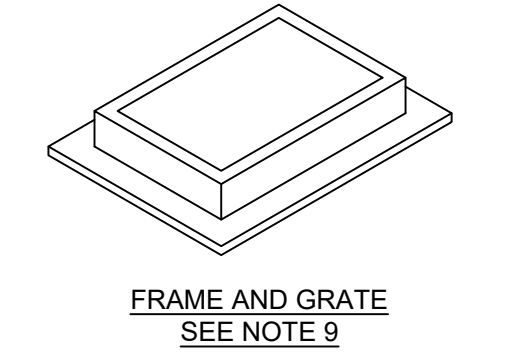
NTS

**DRAINAGE NOTES:**  
 (ALSO REFER TO CITY OF PORT ORCHARD STANDARDS AND SPECIFICATIONS CHAPTER 9 SURFACE WATER DRAINAGE):  
 16. ALL STORM PIPE AND APPURTENANCES SHALL BE LAID IN ACCORDANCE WITH CITY OF PORT ORCHARD DESIGN AND CONSTRUCTION STANDARDS. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL AND ANY REQUIRED BEDDING TO A UNIFORM GRADE SO THAT THE ENTIRE DRAINAGE FACILITY IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.  
 17. ALL STORM PIPE SHALL BE SUBJECT TO A LOW-PRESSURE AIR TEST IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATION 7-04.3(1)F AND A VIDEO INSPECTION IN ACCORDANCE WITH THE PORT ORCHARD DESIGN STANDARDS.  
 18. STORM PIPE COVER, MEASURED FROM THE FINISHED GRADE ELEVATION TO THE TOP OF THE OUTSIDE SURFACE OF THE PIPE, SHALL BE 2 FEET MINIMUM, UNLESS AUTHORIZED BY THE CITY OF PORT ORCHARD CITY ENGINEER UNDER THE FOLLOWING CIRCUMSTANCES:  
 A. UNDER DRIVEWAYS THE PIPE COVER MAY BE REDUCED TO 1 FOOT MINIMUM IF THE 2-FEET CANNOT BE ACHIEVED AND THE COVER IS CONSISTENT WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS.  
 B. IN AREAS NOT SUBJECT TO VEHICULAR LOADS, SUCH AS LANDSCAPE PLANTERS AND YARDS, THE PIPE COVER MAY BE REDUCED TO 1 FOOT MINIMUM.  
 C. IF DUCTILE IRON PIPE OR C900 PIPE IS USED, THE PIPE COVER MAY BE REDUCED TO 1 FOOT MINIMUM.  
 19. STEEL PIPE SHALL BE GALVANIZED AND HAVE ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUT (WSDOT STANDARD SPECIFICATION 9-05.4(3)).  
 20. ANY DRAINAGE STRUCTURE, SUCH AS A CATCH BASIN OR A MANHOLE, NOT RECEIVING SURFACE RUNOFF AND NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK SHALL HAVE A SOLID LOCKING LID. ANY DRAINAGE STRUCTURE ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY, NOT RECEIVING SURFACE RUNOFF, SHALL HAVE A SOLID LOCKING LID.  
 21. ALL CATCH BASIN GRATES SHALL CONFORM TO THE CURRENTLY ADOPTED STORMWATER MANAGEMENT MANUAL AND THE WSDOT STANDARD PLANS WHEN LOCATED WITHIN THE RIGHT-OF-WAY, AND SHALL INCLUDE A COMBINATION INLET FRAME (OPEN-CURB-FACE FRAME), WHEN LOCATED IN A SUMP CONDITION OR BEFORE AN INTERSECTION WITH A 4% GRADE OR ABOVE, A HERRINGBONE GRATE MAY BE USED OUTSIDE THE RIGHT-OF-WAY. ALL CATCH BASINS WITHIN THE GUTTER LINE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF PORT ORCHARD STANDARD DETAILS AS APPLICABLE. MAXIMUM CATCH BASIN HEIGHT FROM FINISHED GRADE TO PIPE INVERT SHALL BE PER THE APPLICABLE DETAIL.  
 22. FOR ANY CURB GRADE LESS THAN 0.8% (0.0080 FT/FT), INCLUDING CURB RETURNS, A PROFESSIONAL LAND SURVEYOR, CURRENTLY LICENSED IN THE STATE OF WASHINGTON, SHALL VERIFY THAT THE CURB FORMS OR STRING LINES ARE AT THE GRADES NOTED ON THE APPROVED PLANS PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR IS RESPONSIBLE FOR SURVEY COORDINATION AND COSTS.  
 23. FOR ANY DRAINAGE PIPE GRADE LESS THAN 0.5% (0.0050 FT/FT), A PROFESSIONAL LAND SURVEYOR, CURRENTLY LICENSED IN THE STATE OF WASHINGTON, SHALL VERIFY THAT THE AS-BUILT PIPE MATCHES THE GRADES NOTED ON THE APPROVED PLANS PRIOR TO COMPLETION OF SUBGRADE. THE CONTRACTOR IS RESPONSIBLE FOR SURVEY COORDINATION AND COSTS.  
 24. ALL DRIVEWAY CULVERTS LOCATED WITHIN THE CITY OF PORT ORCHARD RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE.  
 25. ROCK FOR EROSION PROTECTION OF DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF ONE FOOT (1'), AND MUST MEET THE FOLLOWING SPECIFICATIONS: 100% MUST PASS THE 8" SIEVE, 40% MAXIMUM CAN PASS THE 3" SIEVE AND 10% MAXIMUM CAN PASS THE 3/4" SIEVE.  
 26. DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, EXCEPT FOR THOSE LOTS APPROVED FOR INFILTRATION BY THE CITY OF PORT ORCHARD. STUB-OUTS SHALL CONFORM TO THE FOLLOWING:  
 A. EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.  
 B. OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT-HIGH, 2" X 4" STAKE MARKED "STORM" OR "DRAIN". THE STUB-OUT SHALL EXTEND ABOVE SURFACE LEVEL, BE VISIBLE, AND BE SECURED TO THE STAKE.  
 C. PIPE MATERIAL SHALL BE IN ACCORDANCE WITH PORT ORCHARD DESIGN STANDARDS. IF NON-METALLIC, THE PIPE SHALL CONTAIN A WIRE OR USE OTHER ACCEPTABLE MEANS OF DETECTION.  
 D. DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.  
 E. THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB OUT CONVEYANCE LINES WITH RESPECT TO OTHER UTILITIES (E.G., POWER, GAS, TELEPHONE, TELEVISION, ETC.).  
 F. ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOMEOWNER.

### 6 DRAINAGE NOTES

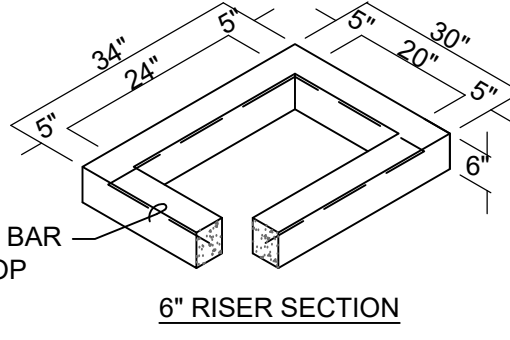
NTS

RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development



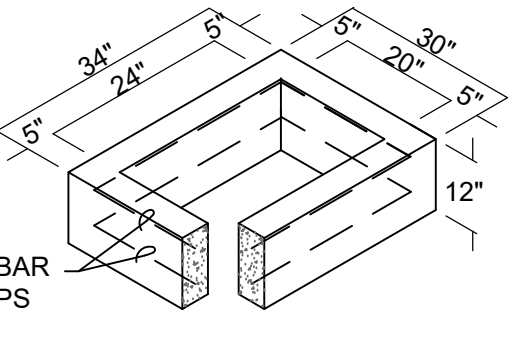
FRAME AND GRATE  
 SEE NOTE 9

NOTES:  
 1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ASTM C478 (AASHTO M 199) & C890 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.



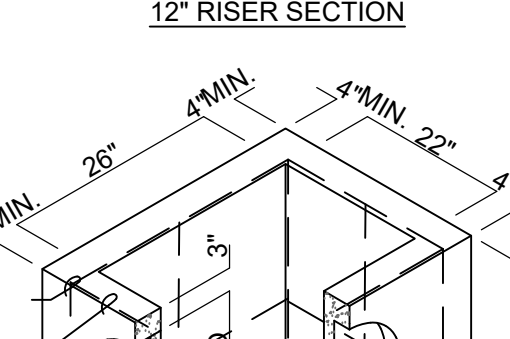
6" RISER SECTION

2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQUARE INCHES PER FOOT MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.



12" RISER SECTION

3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.



PRECAST BASE SECTION  
 (MEASUREMENT AT THE TOP OF THE BASE)

4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNROUTED KNOCKOUTS NEED NOT BE GROUTED IF WALL IS LEFT INTACT.

5. KNOCKOUTS OR CUTOUTS SHALL BE PER MANUFACTURERS SPECIFICATIONS.

6. ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20". KNOCKOUTS MAY BE EITHER ROUND OR "D" SHAPE.

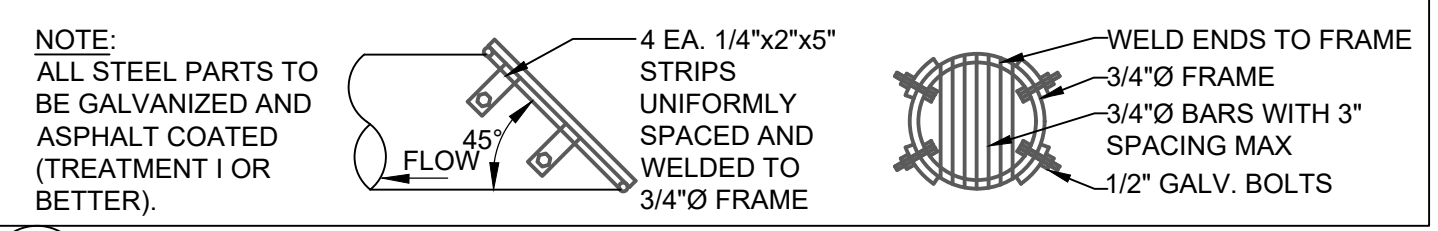
7. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2"/FT.

8. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD DETAILS "THRU CURB FRAME AND GRATE" OR "THRU CURB FRAME AND VANED GRATE". MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.

9. NON CONCRETE PIPES SHALL BE INSTALLED WITH A SANDCOLLAR.

### 2 TYPE 1 CATCH BASIN

NTS



### 3 TRASH RACK DETAIL

NTS

NOTE:  
 ALL STEEL PARTS TO BE GALVANIZED AND ASPHALT COATED (TREATMENT 1 OR BETTER).

DESIGNED BY	CTB				
DRAWN BY	PWB				
CHECKED BY	CTB				
SCALE	31 TWN 24N R 2E				
REV.		DESCRIPTION	DATE	BY	
DATE SEALED	6/30/2021				



TITLE: PAYSENO LANE APARTMENTS PHASE 2  
 DRAINAGE NOTES AND DETAILS

CLIENT: DAVE BURK  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

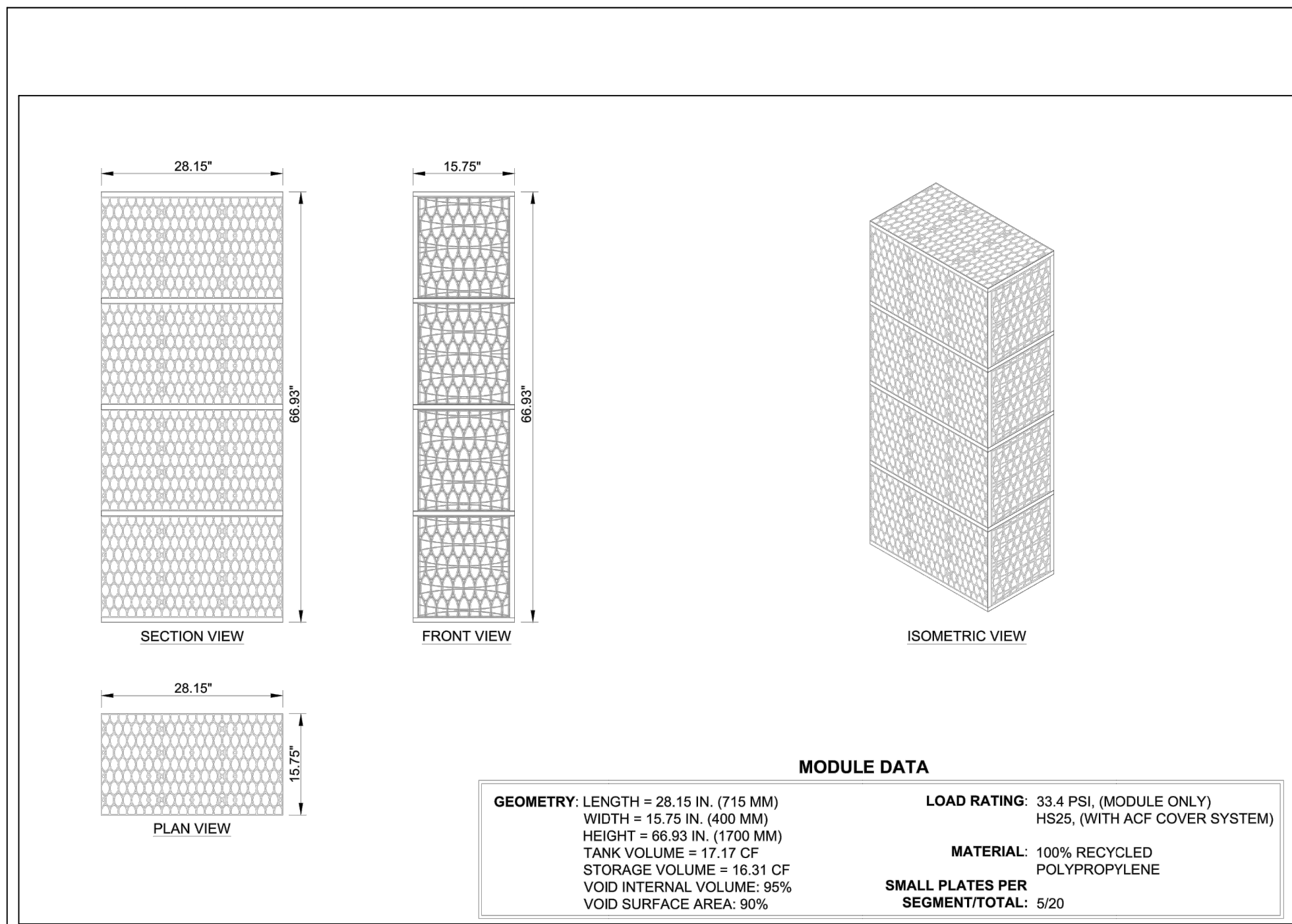
217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com

Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

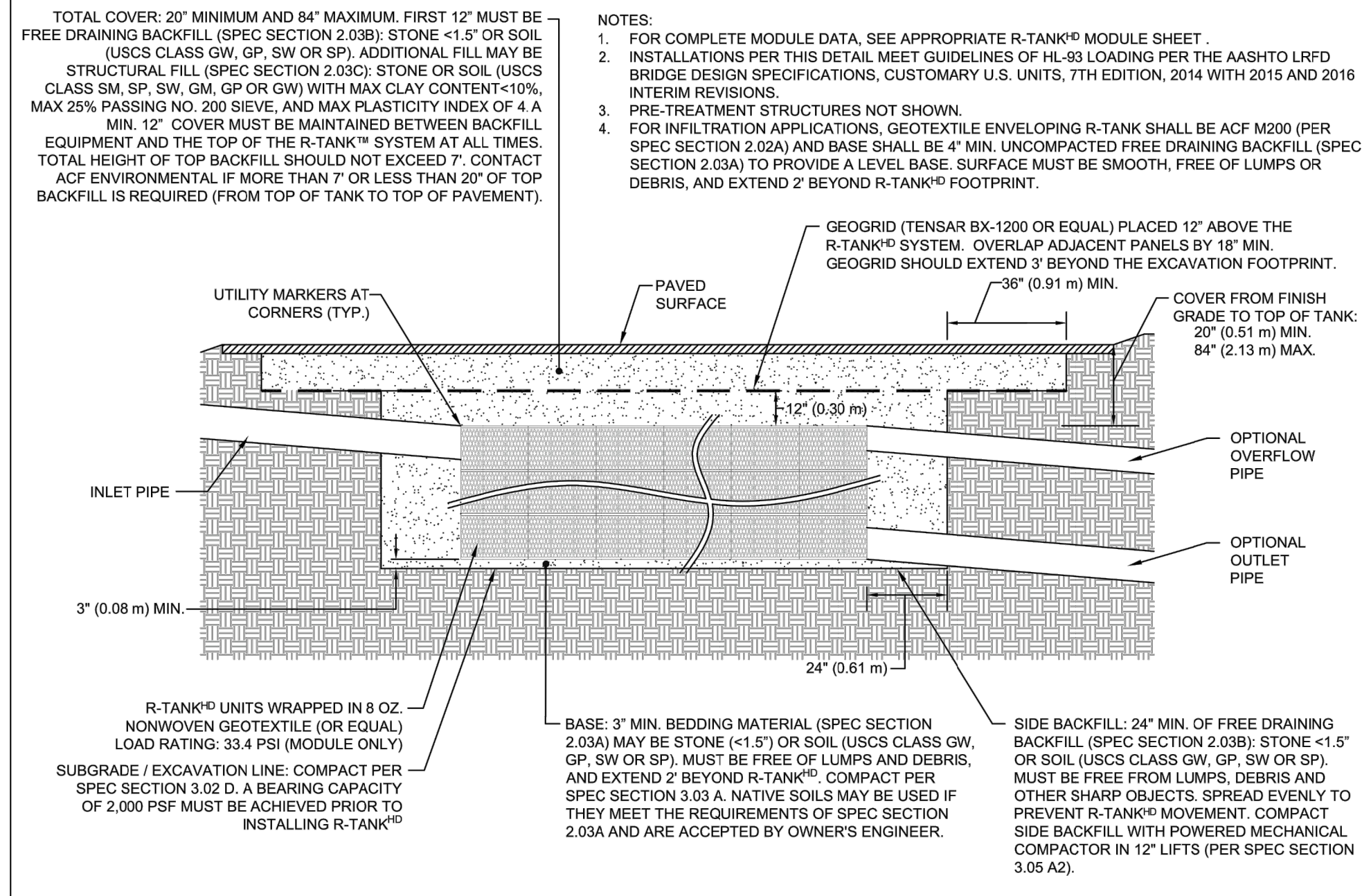
JOB No. **2657** SHT **C9** OF **16** SHTS

# PAYSENO LANE APARTMENTS PHASE 2

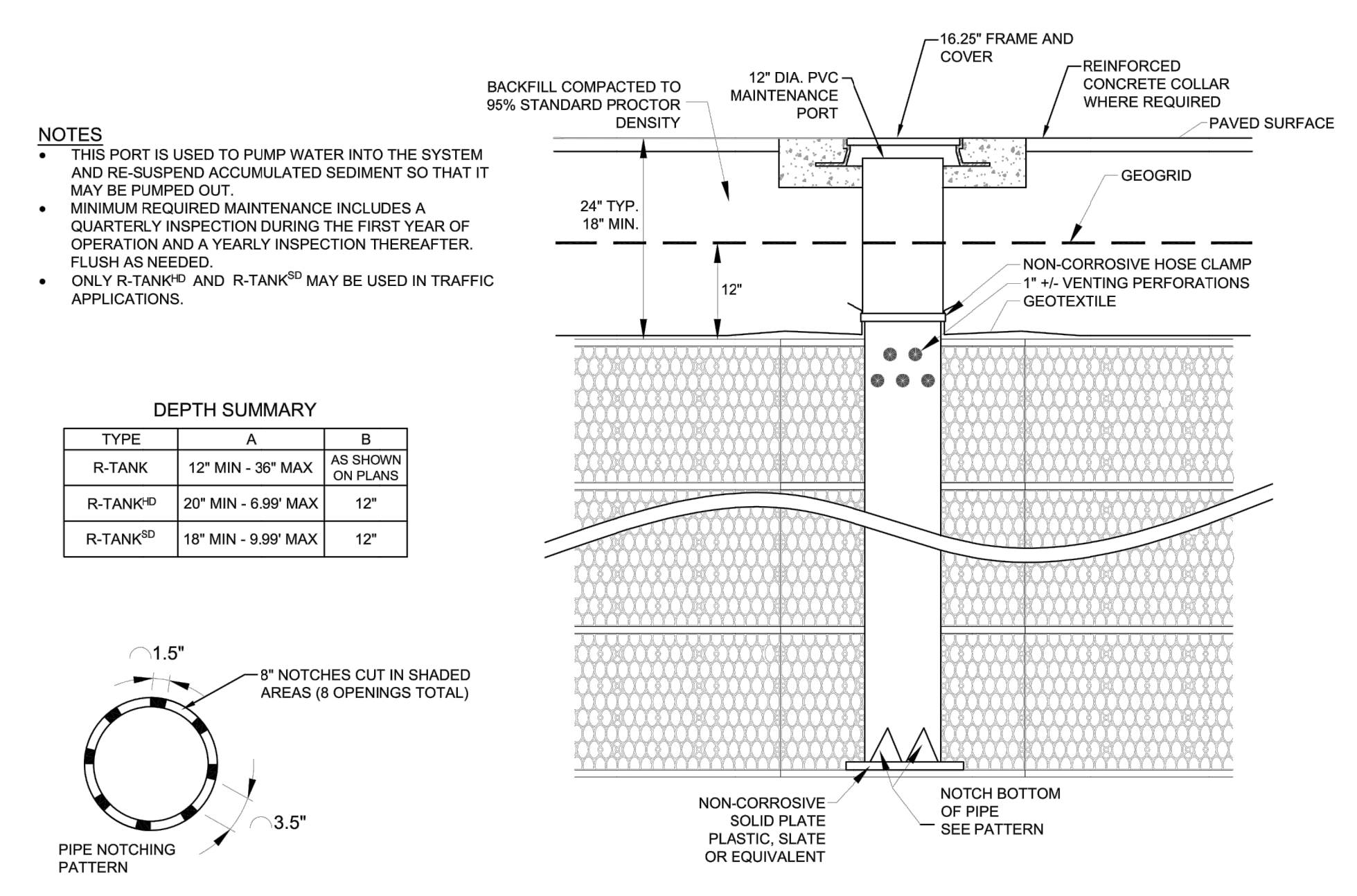
## DRAINAGE NOTES AND DETAILS



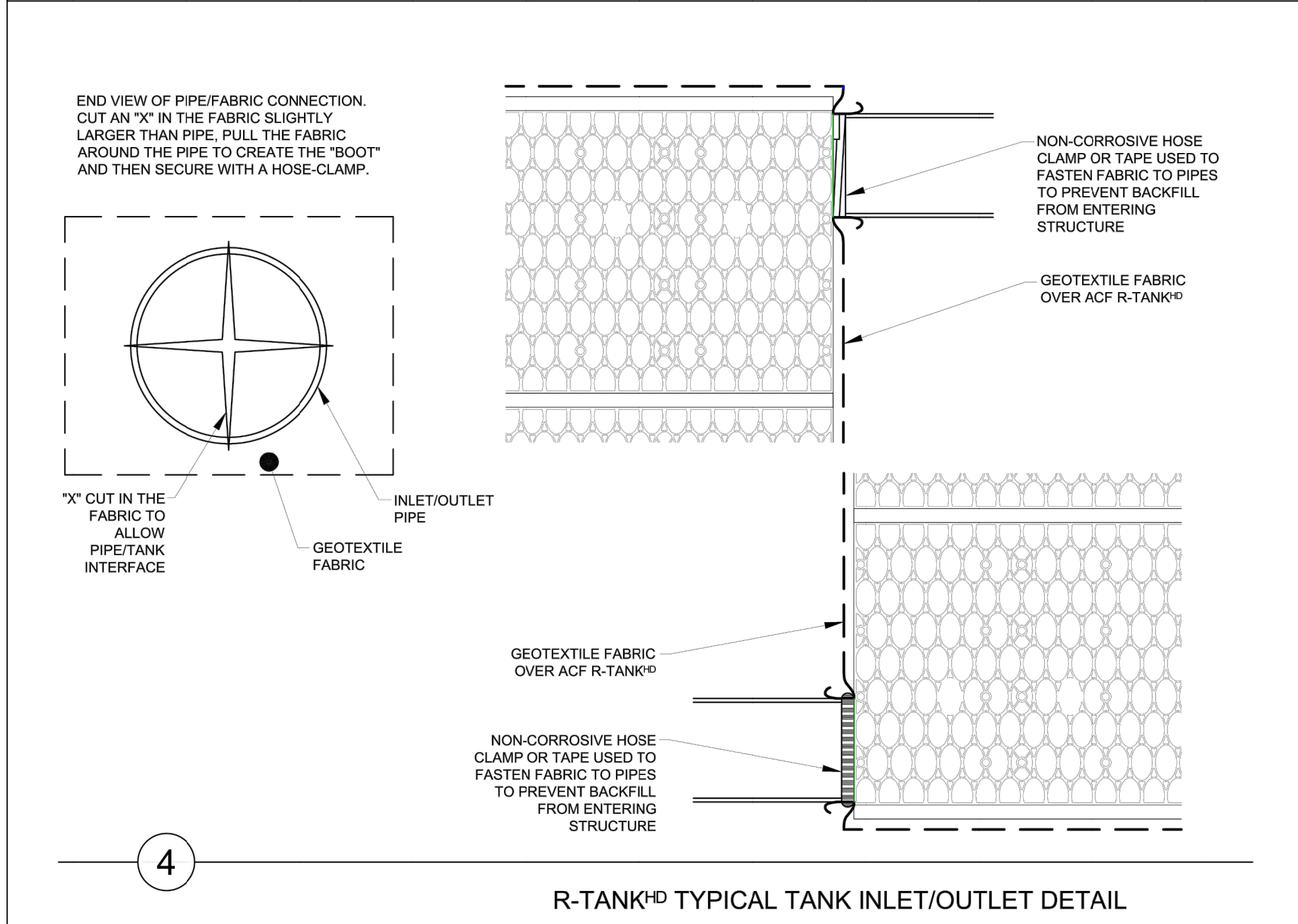
1 R-TANK - MODULE DETAIL



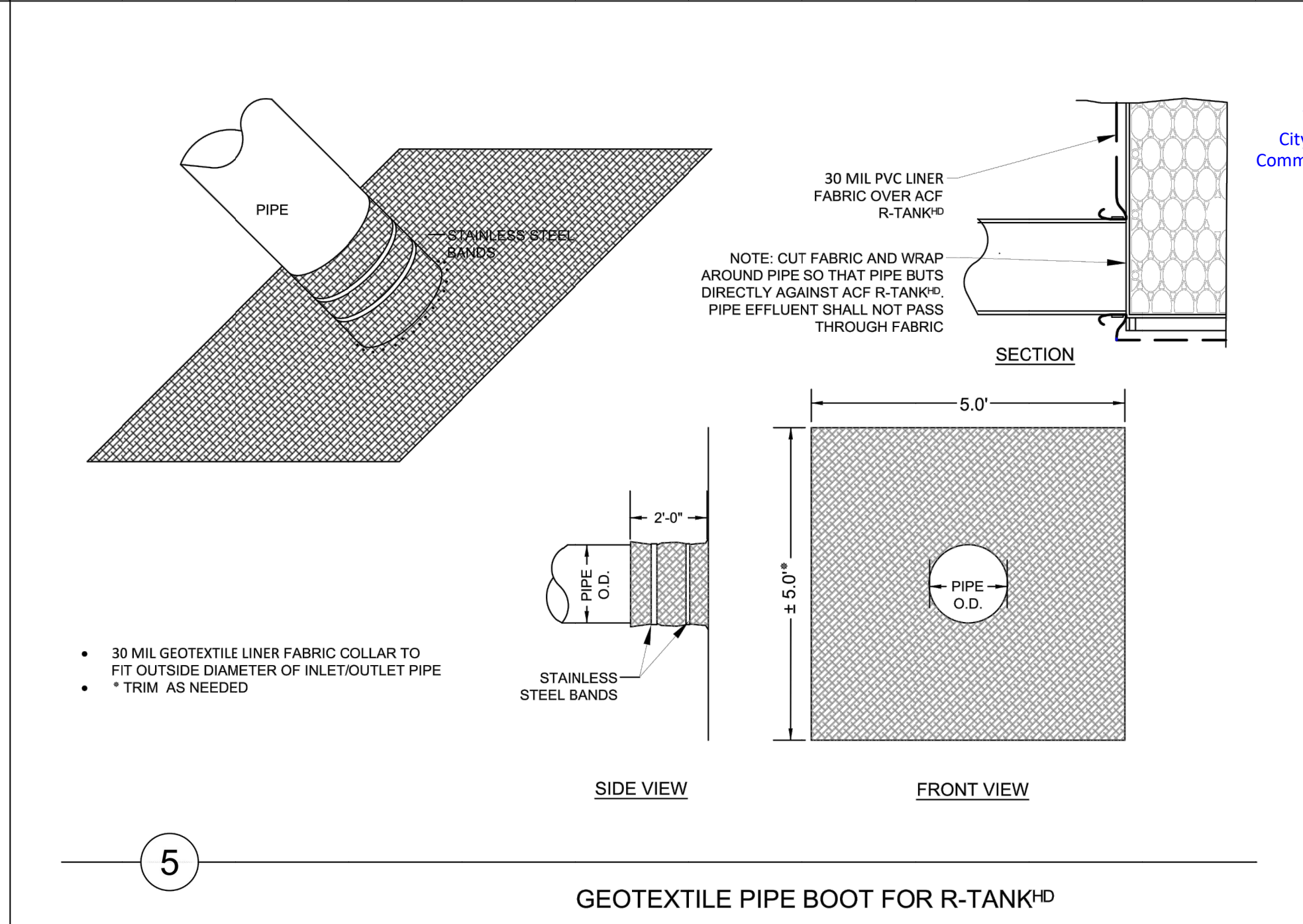
2 R-TANK<sup>®</sup> & H-20 LOADS - SECTION VIEW



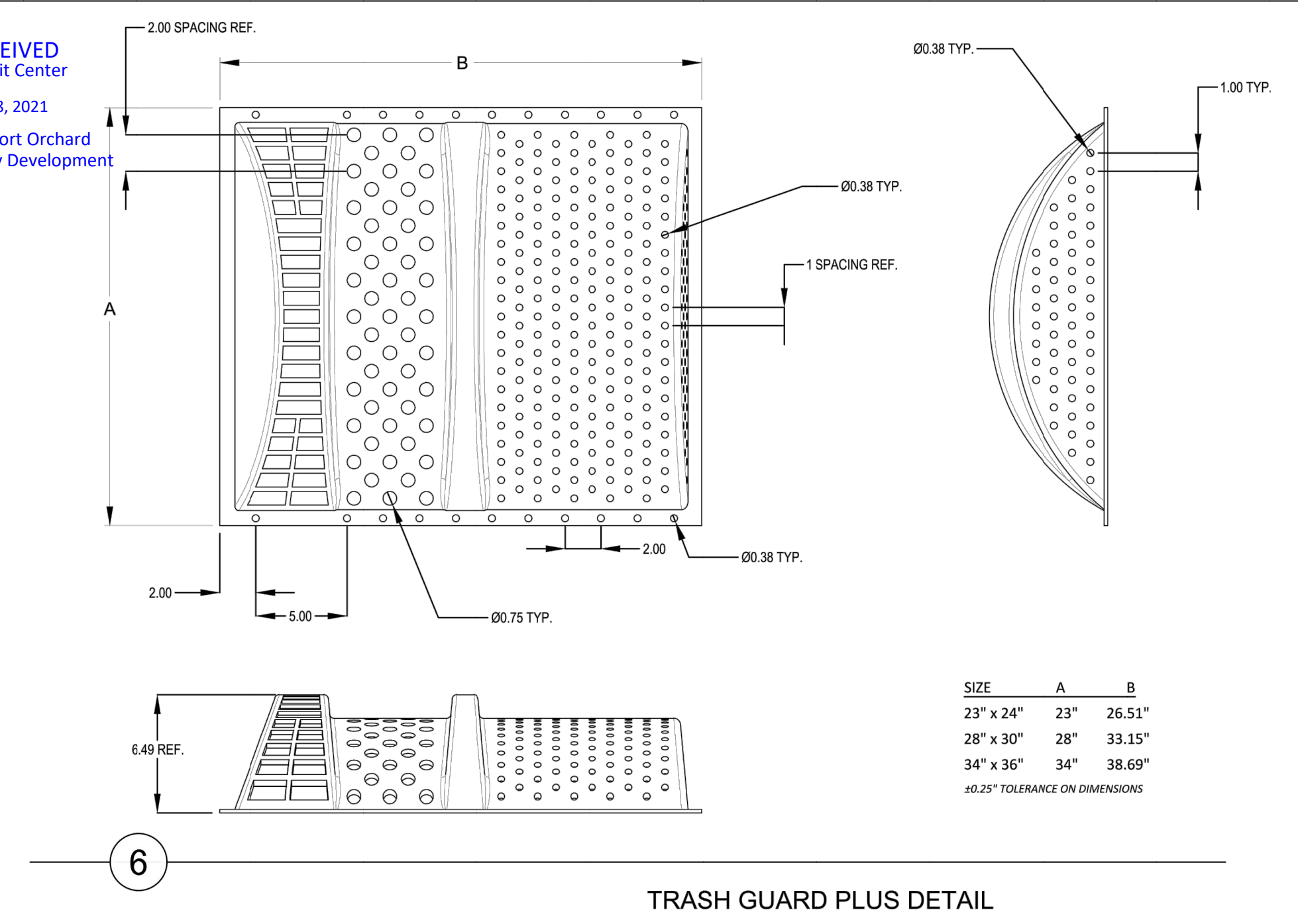
3 R-TANK<sup>®</sup> TYPICAL MAINTENANCE PORT



4 R-TANK<sup>®</sup> TYPICAL TANK INLET/OUTLET DETAIL



5 GEOTEXTILE PIPE BOOT FOR R-TANK<sup>®</sup> & H-20



6 TRASH GUARD PLUS DETAIL

DESIGNED BY	CTB					
DRAWN BY	PWB					
CHECKED BY	CTB					
SEC	31	TWN	24N	R	2E	
SCALE		REV.		DESCRIPTION	DATE	BY
					DATE SEALED	6/30/2021

**TITLE** PAYSENO LANE APARTMENTS PHASE 2  
 DRAINAGE NOTES AND DETAILS

**CLIENT** DAVE BURK  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

**RECEIVED**  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

**PW21-023**  
**PW21-024**

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com

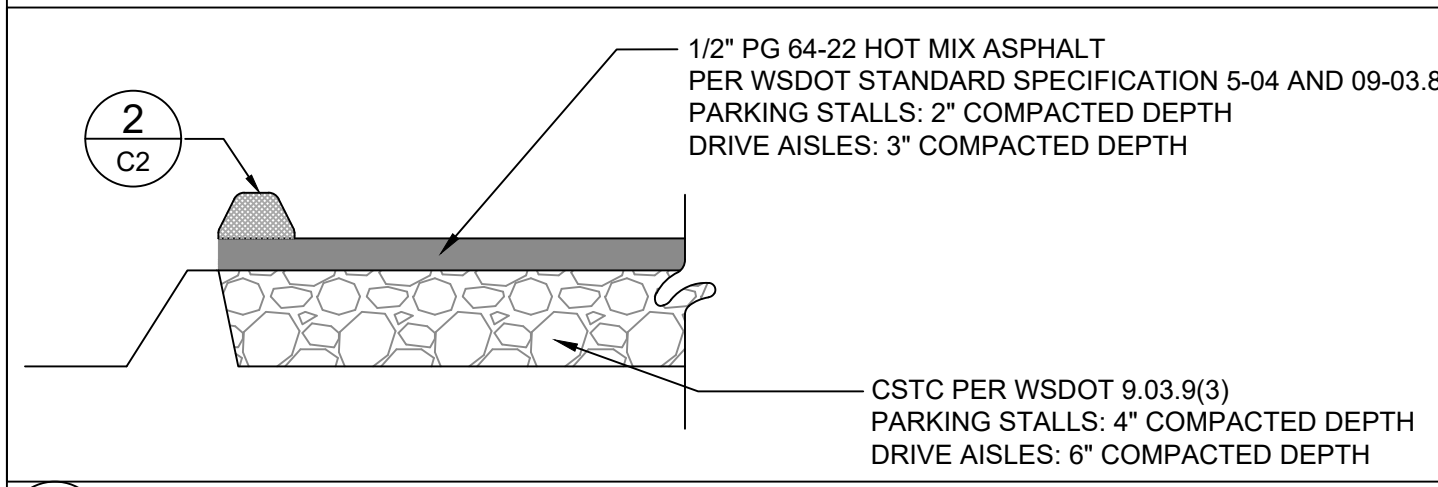
Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

**JOB No. 2657**      **SHT C10 OF 16**      **SHTS**

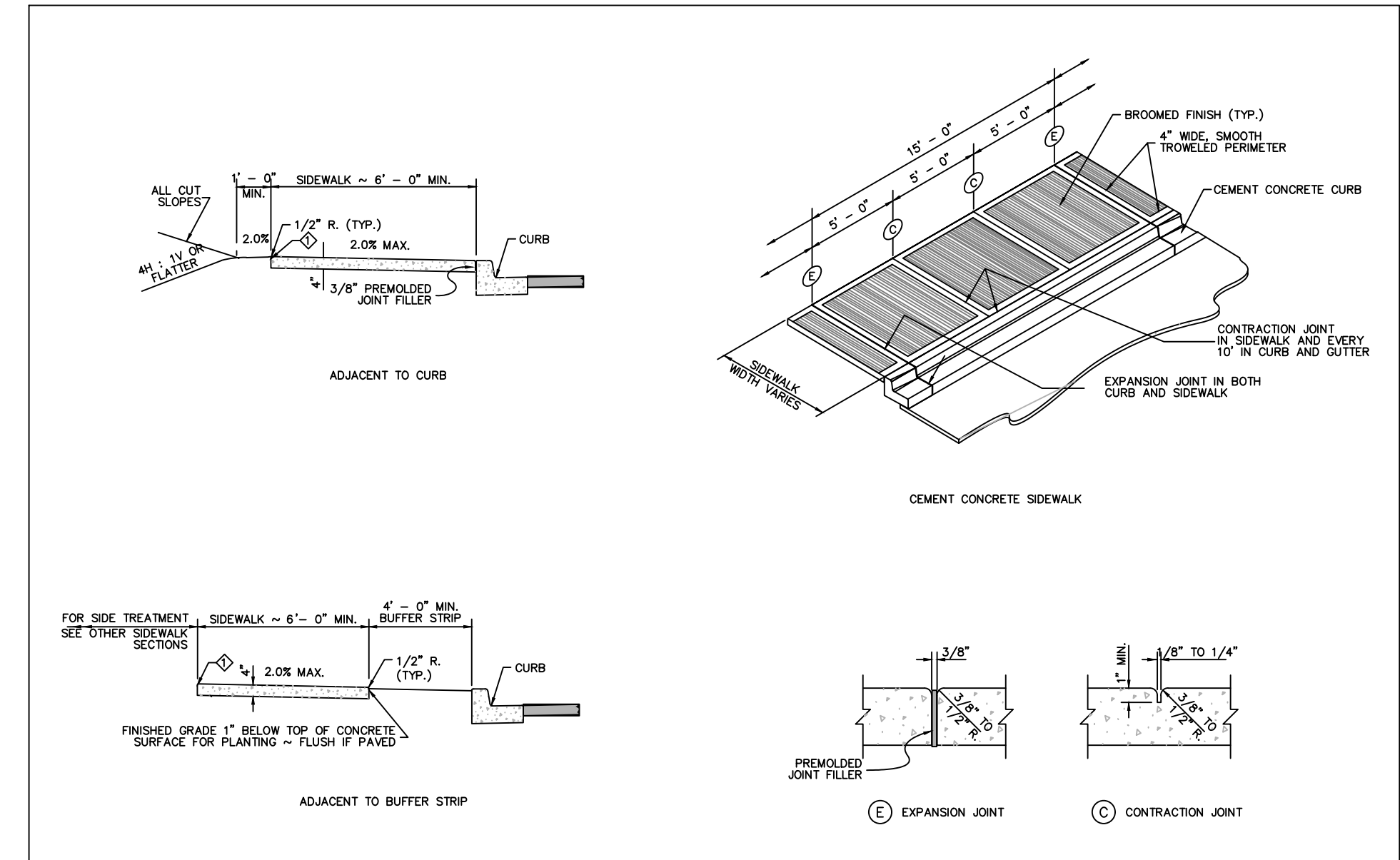
File: X:\Projects\Active\2657 - Payseno Apartments Phase 2\Design\2657 - 0515-FIXED-SITE-PARKING.dwg    Layout: 10    Date: 07/07/2021 @ 15:12    Login: User

# PAYSENO LANE APARTMENTS PHASE 2

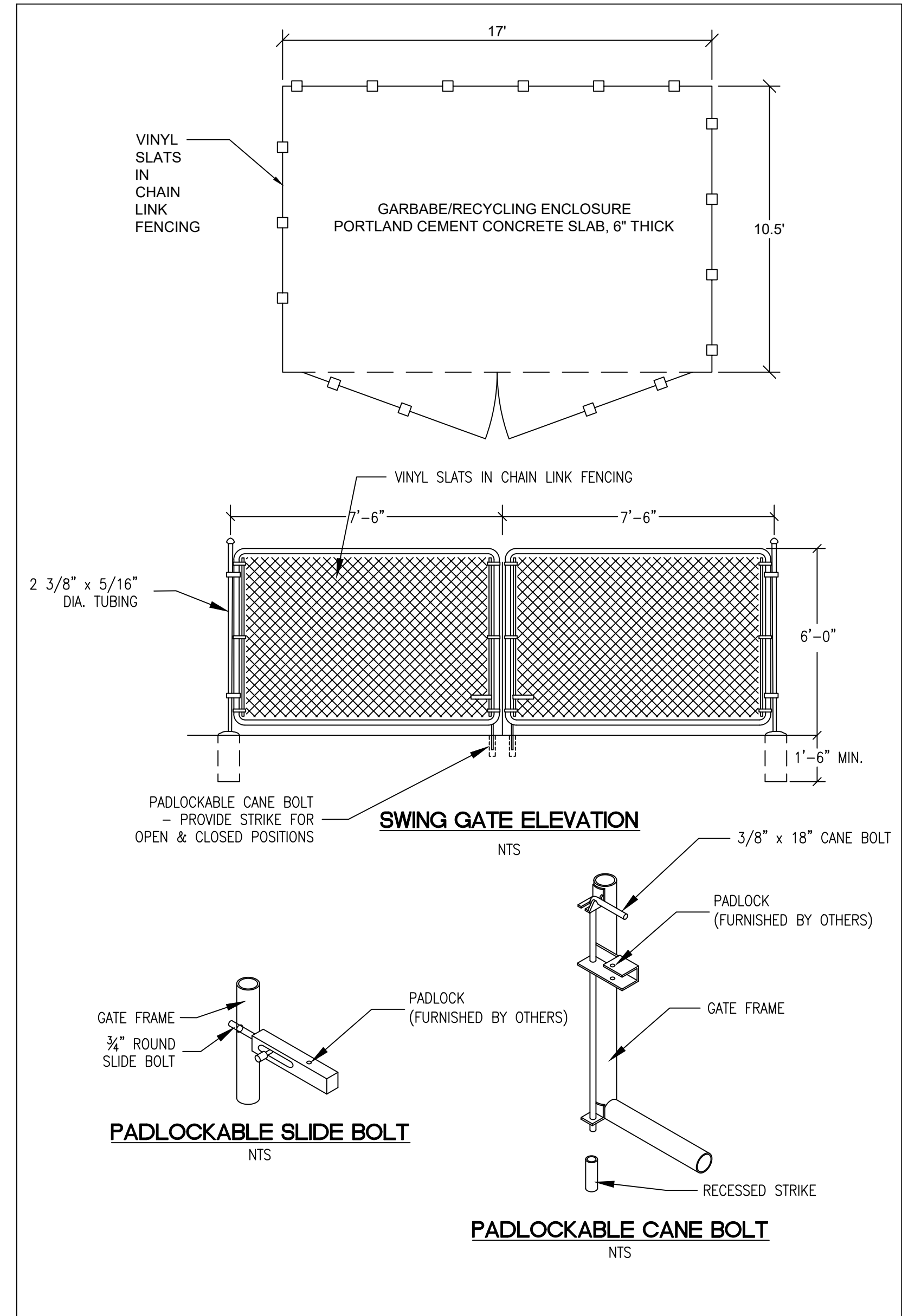
## ROAD NOTES AND DETAILS



**1 TYPICAL ASPHALT PAVING SECTION**  
NTS



**2 CEMENT CONCRETE SIDEWALK**  
NTS



**3 TRASH ENCLOSURE**  
NTS

RECEIVED  
Permit Center  
JUL 08, 2021  
City of Port Orchard  
Community Development

File: X:\Projects\Active\2020\0257 - Payseno Apartments Phase 2\Design\0257-055-FIXED-SITE-PARKING.dwg Layout: 11 Date: 07-07-2021 @ 15:12 Login: User

DESIGNED BY	CTB					
DRAWN BY	PWB					
CHECKED BY	CTB					
SEC	31	TWN	24N	R	2E	
SCALE		REV.	DESCRIPTION	DATE	BY	DATE SEALED 6/30/2021



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
ROAD NOTES AND DETAILS

CLIENT: **DAVE BURK**  
7583 CLOVER VALLEY ROAD SE  
PORT ORCHARD, WA 98367  
360-340-6636

**PW21-023**  
**PW21-024**

**WSE WestSound Engineering, Inc**  
ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
Phone (360) 876-3770 Fax (360) 876-0439  
E-mail: wse@wsengineering.com http://www.wsengineering.com

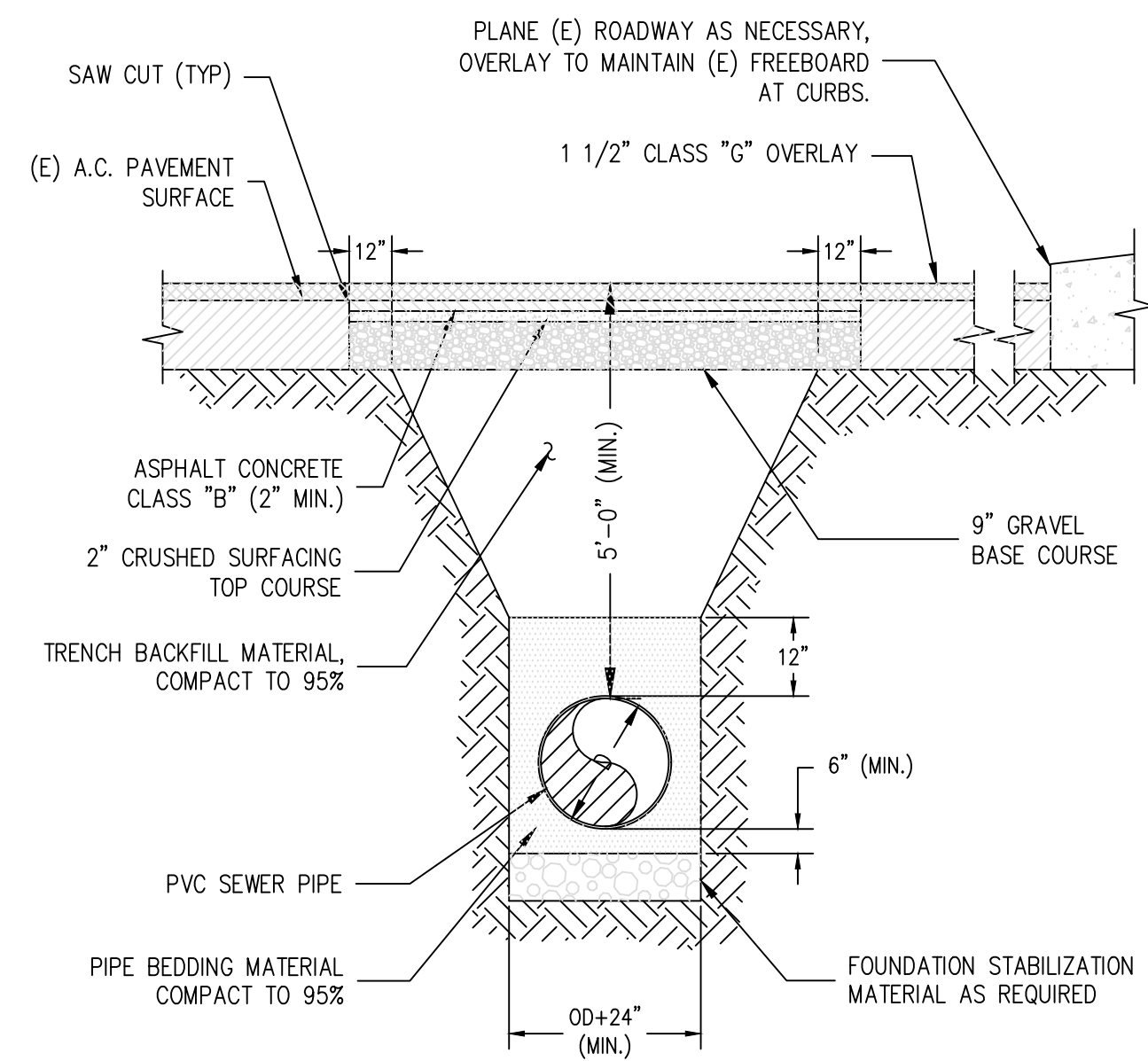
JOB No. **2657** SHT **C11** OF **16** SHTS





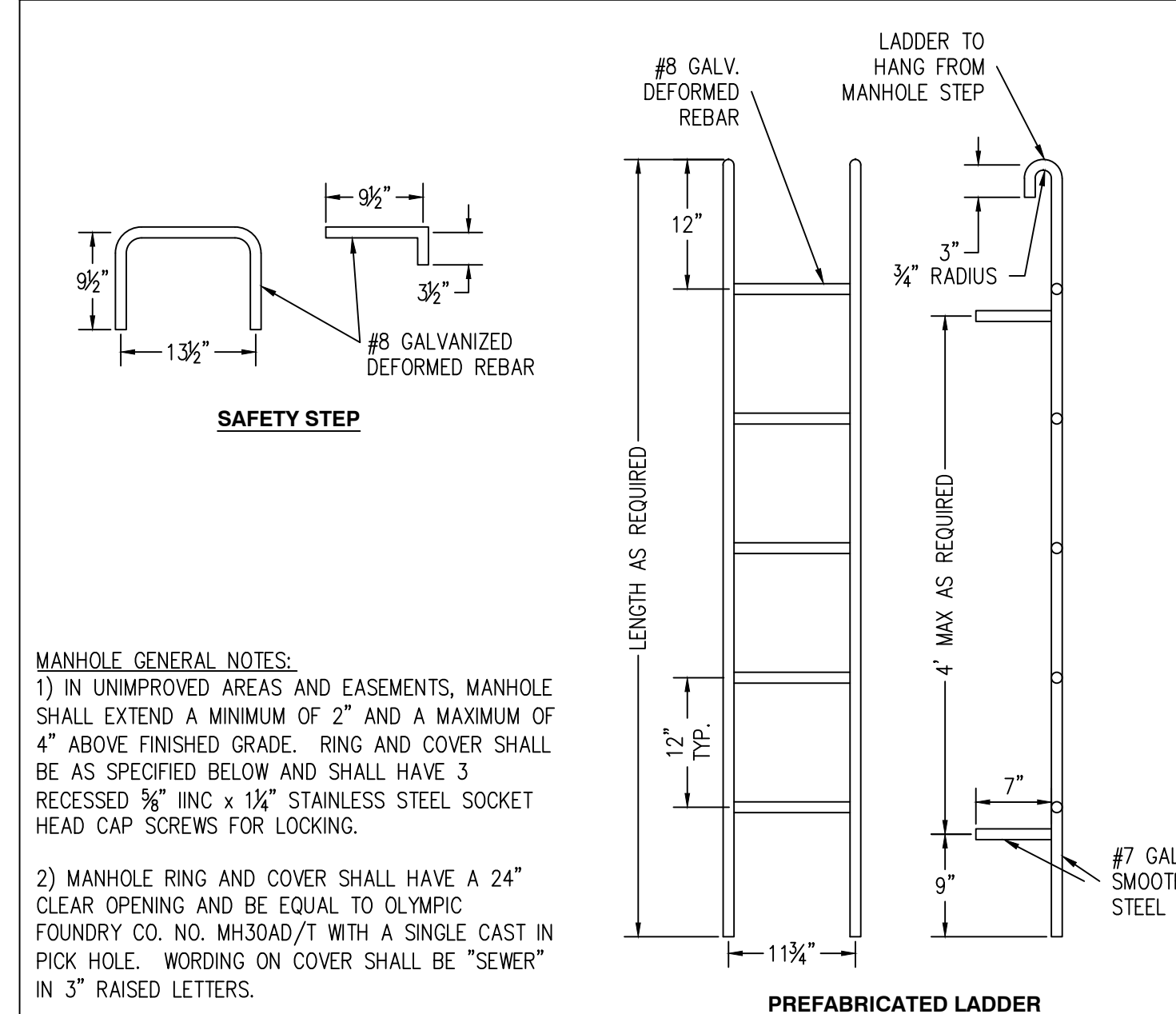
# PAYSENO LANE APARTMENTS PHASE 2

## SANITARY SEWER NOTES AND DETAILS



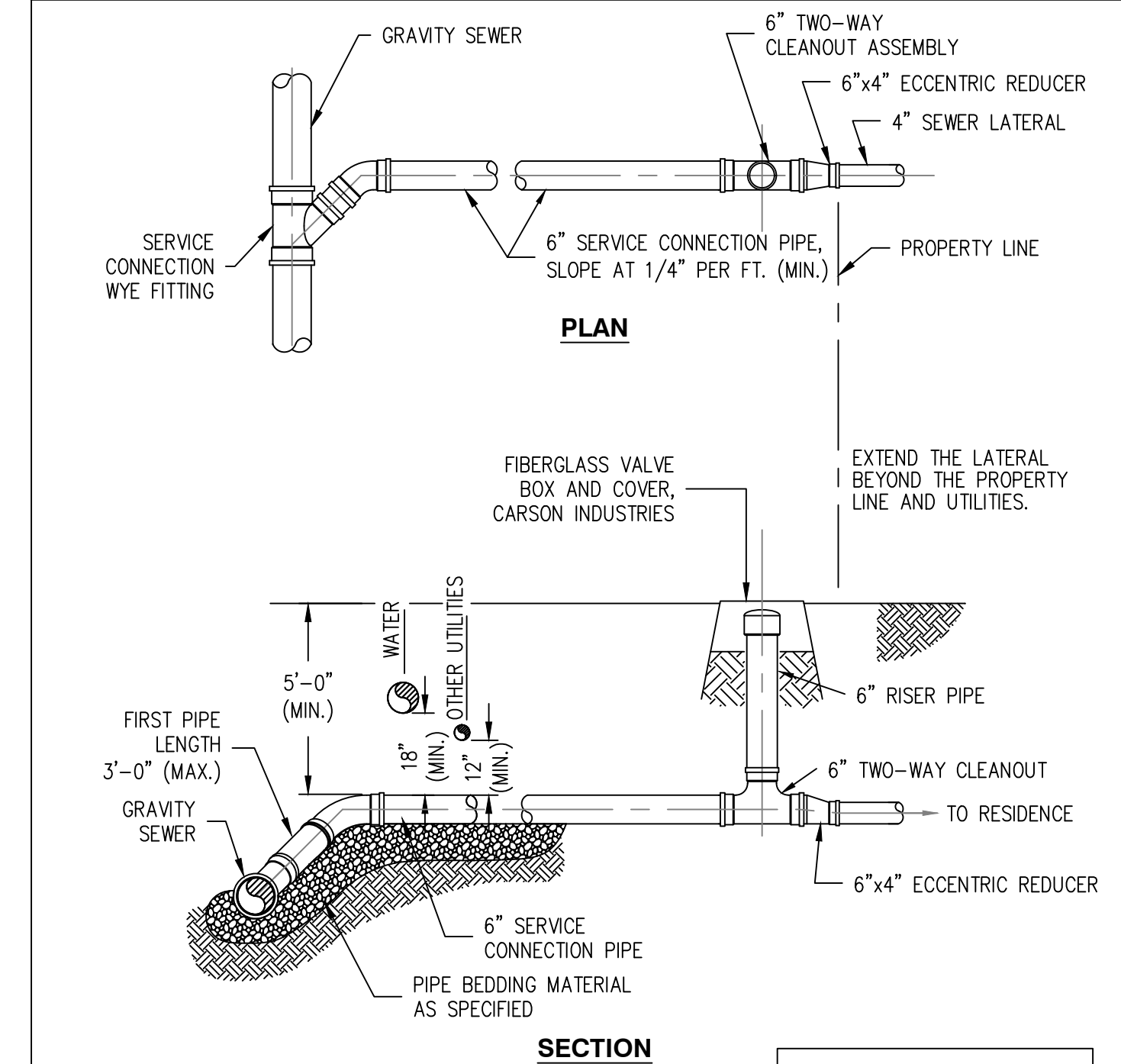
- NOTES:
- 1) BED THE ENTIRE WIDTH OF THE TRENCH
  - 2) PAVEMENT RESTORATION MAY VARY DEPENDING ON PERMIT REQUIREMENTS OF GOVERNING AGENCY.

**1 SEWER TRENCH DETAIL**  
NTS



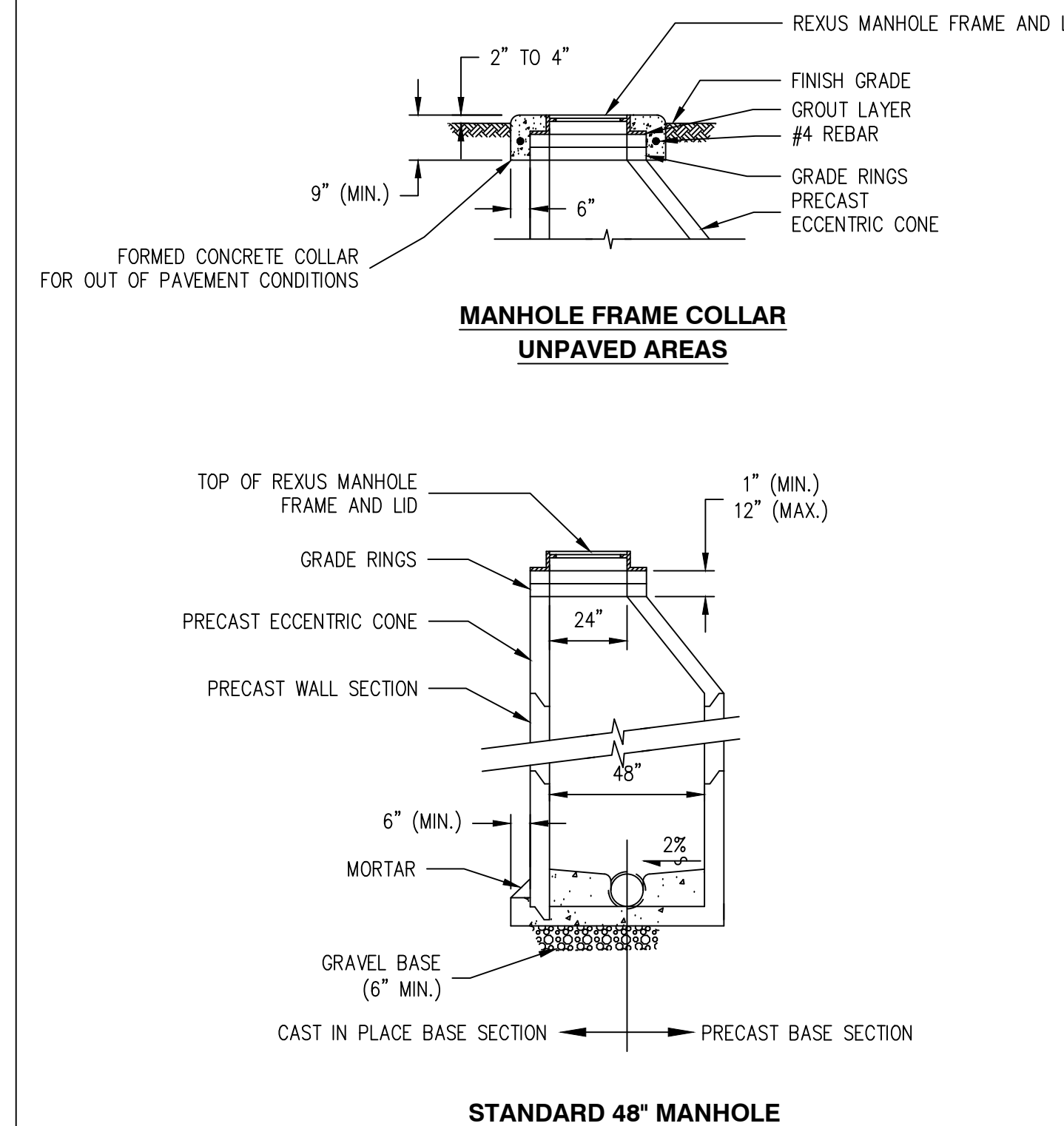
- MANHOLE GENERAL NOTES:**
- 1) IN UNIMPROVED AREAS AND EASEMENTS, MANHOLE SHALL EXTEND A MINIMUM OF 2" AND A MAXIMUM OF 4" ABOVE FINISHED GRADE. RING AND COVER SHALL BE AS SPECIFIED BELOW AND SHALL HAVE 3 RECESSED 5/8" IINC x 1 1/4" STAINLESS STEEL SOCKET HEAD CAP SCREWS FOR LOCKING.
  - 2) MANHOLE RING AND COVER SHALL HAVE A 24" CLEAR OPENING AND BE EQUAL TO OLYMPIC FOUNDRY CO. NO. MH30AD/T WITH A SINGLE CAST IN PICK HOLE. WORDING ON COVER SHALL BE "SEWER" IN 3" RAISED LETTERS.
  - 3) ALL MANHOLE JOINTS SHALL USE A CONFINED ROUND RUBBER GASKET MEETING ASTM C-443 SPECIFICATIONS.
  - 4) ALL PVC PIPE THROUGH MANHOLE WALL SHALL HAVE A PVC MANHOLE ADAPTER EQUAL TO GPK. PIPE SHALL BE GROUTED INTO PLACE FROM EACH SIDE.

**3 MANHOLE DETAILS 3**  
NTS



- NOTE:  
CONNECT ALL SERVICE CONNECTIONS 8" AND LARGER AT MANHOLE. DETAILS TO BE APPROVED BY ENGINEER.

**5 SINGLE SERVICE CONNECTION**  
NTS



**2 MANHOLE DETAILS 2**  
NTS

RECEIVED  
Permit Center  
JUL 08, 2021  
City of Port Orchard  
Community Development

File: X:\Projects\Active\20210627 - Payseno Apartments Phase 2\Design\20210627 - 0519-FIXED-SITE-PARKING.dwg Layout: 14 Date: 07-07-2021 @ 15:13 Login: User

DESIGNED BY	CTB					
DRAWN BY	PWB					
CHECKED BY	CTB					
SCALE	31 TWN 24N R 2E					
REV.		DESCRIPTION	DATE	BY	DATE SEALED	6/30/2021



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
SANITARY SEWER NOTES AND DETAILS

CLIENT: **DAVE BURK**  
7583 CLOVER VALLEY ROAD SE  
PORT ORCHARD, WA 98367  
360-340-6636

PW21-023  
PW21-024

**WSE WestSound Engineering, Inc**  
ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive  
Phone (360) 876-3770  
E-mail: wse@wsengineering.com

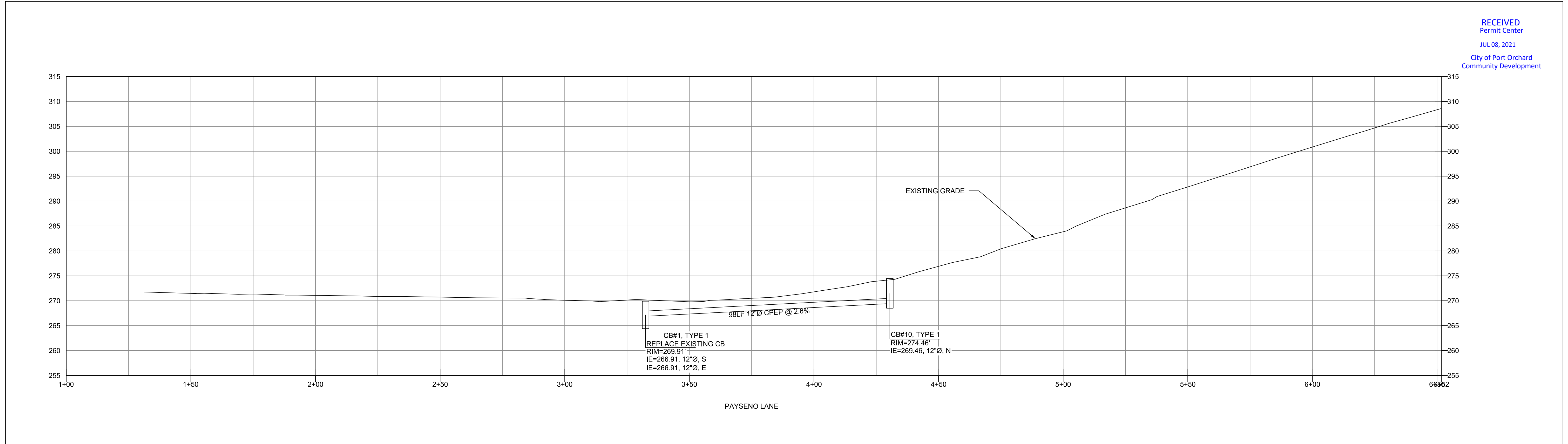
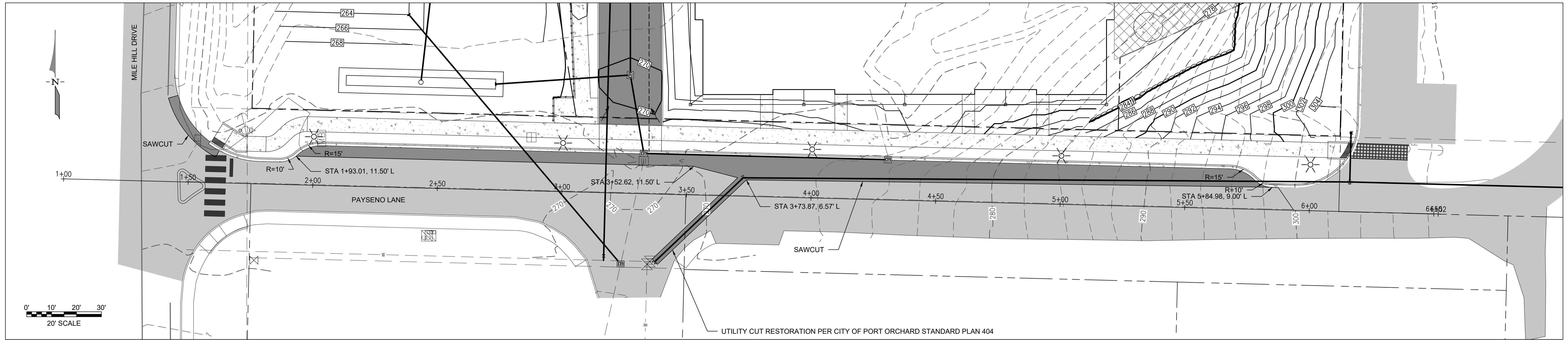
Port Orchard, Wa. 98366  
Fax (360) 876-0439  
http://www.wsengineering.com

JOB No. **2657** SHT **C14** OF **16** SHTS

ONE-CALL (# 1-800-424-5555):  
 BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND  
 VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING,  
 ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF  
 EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2

## OFFSITE IMPROVEMENTS PLAN AND PROFILE



RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

File: X:\Projects\Active\20210627 - Payseno Apartments Phase 2\Design\20210627 0555-FIXED-SITE-PARKING.dwg Layout: 15 Date: 07/07/2021 @ 15:13 Login: User

DESIGNED BY	CTB				
DRAWN BY	PWB				
CHECKED BY	CTB				
SEC	31	TWN	24N	R	2E
SCALE	1"=20'				
REV.		DESCRIPTION	DATE	BY	DATE SEALED
					6/30/2021



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 OFFSITE IMPROVEMENTS PLAN AND PROFILE

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

PW21-023  
 PW21-024

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive  
 Phone (360) 876-3770  
 E-mail: wse@wsengineering.com

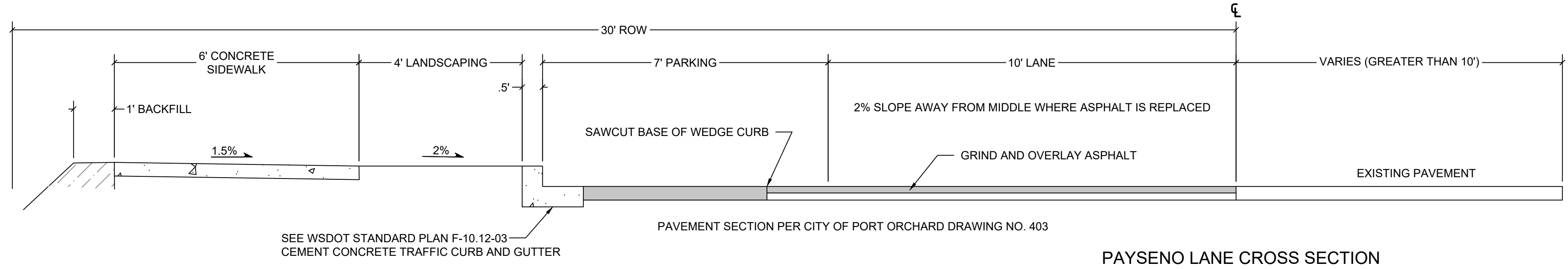
Port Orchard, Wa. 98366  
 Fax (360) 876-0439  
 http://www.wsengineering.com

JOB No. **2657** SHT **C15** OF **16** SHTS

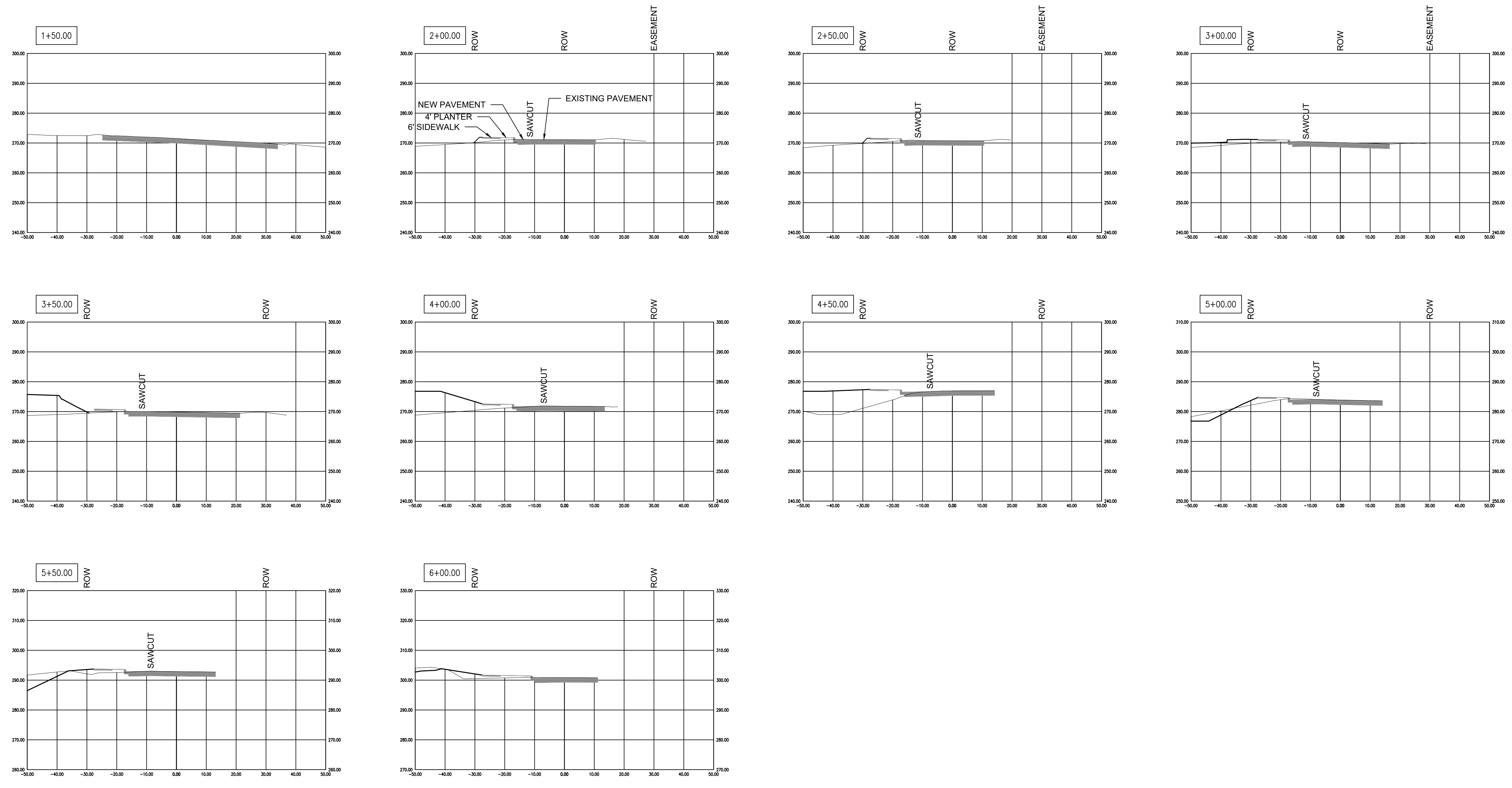
ONE-CALL (# 1-800-424-5555):  
 BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS FURNISHED BY OTHERS AND  
 VERIFIED WHERE POSSIBLE BY FEATURES LOCATED IN THE FIELD. WESTSOUND ENGINEERING,  
 ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS, OR FOR THE FINAL LOCATION OF  
 EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN.

# PAYSENO LANE APARTMENTS PHASE 2

## PAYSENO LANE CROSS-SECTIONS



PAYSENO LANE CROSS SECTION



RECEIVED  
 Permit Center  
 JUL 08, 2021  
 City of Port Orchard  
 Community Development

File: X:\Projects\Active\20210257 - Payseno Apartments Phase 2\Design\20210257-055-FIXED-SITE-PARKING.dwg Layout: 16 Date: 07/07/2021 @ 15:13 Login: User

DESIGNED BY	CTB					
DRAWN BY	PWB					
CHECKED BY	CTB					
SEC	31	TWN	24N	R	2E	
SCALE	1"=20'					
REV.		DESCRIPTION		DATE	BY	
				DATE SEALED	6/30/2021	



TITLE: **PAYSENO LANE APARTMENTS PHASE 2**  
 PAYSENO LANE CROSS-SECTIONS

CLIENT: **DAVE BURK**  
 7583 CLOVER VALLEY ROAD SE  
 PORT ORCHARD, WA 98367  
 360-340-6636

PW21-023  
 PW21-024

**WSE WestSound Engineering, Inc**  
 ENGINEERING, PLANNING AND SURVEYING

217 S.W. Wilkins Drive Port Orchard, Wa. 98366  
 Phone (360) 876-3770 Fax (360) 876-0439  
 E-mail: wse@wsengineering.com http://www.wsengineering.com

JOB No. **2657** SHT **C16** OF **16** SHTS