



CITY OF PORT ORCHARD Public Works Department

Permit Center
216 Prospect Street, Port Orchard, WA 98366
Ph.: (360) 874-5533 • permitcenter@portorchardwa.gov

NOTICE OF APPLICATION

This is a public notice of a development proposal that may interest you. You have the right to comment on this application, receive notice, request a copy of the decision once made and appeal the project decision. Included in this notice is a summary of the proposal, code reference for associated permits that may be required, and the targeted timeframe for City review and decision. Please be aware there are deadlines for comments and appeal; if you do not adhere to these deadlines, your comments may not be considered and/or you may lose your right of appeal. Please read this notice carefully and call the Staff Contact listed in this notice if you have questions.

Date of Issuance: August 10, 2023

File Number: PW23-047, PW23-048, PW23-041

Project Name: Kitsap Bank Office Headquarters

Type of Application: Major Land Disturbing Activity, Storm Drainage Permit & Concurrency Review (Type II)

Assessor Parcel Number: 4650-012-001-0009 & 4650-012-003-0007

Applicant: GGLO Design, 1301 Fifth Ave, Suite 2200 Seattle, WA 98101

Applicant Representative: GGLO Design, Mitch Ptacek, 1301 Fifth Ave, Suite 2200 Seattle, WA 98101

Date of Application: June 26, 2023

Date Application was Determined Technically Complete: July 27, 2023

Site Description: Location: 625 & 639 Bay St
Nearest road intersection: Bay St & Orchard Ave
Size: .49 Acres (Total)
Zoning District: Downtown Mixed-Use (DMU)
Shoreline Designation: High Intensity

Project Permits included with Application: An application for water, sewer, and transportation capacity reservation certificate has been received by the city.

Description of Proposed Project:

Site Development for a new three-story office building for a retail bank branch and potential retail space.

Preliminary State Environmental Policy Act (SEPA) Determination:

On August 14, 2020, under RCW 43.21C.440, the City issued a SEPA Determination of Significance (DS) for the Downtown Port Orchard Subarea Plan and updated regulations as a Planned Action. On April 26, 2021, the City issued a Final Environmental Impact Statement (FEIS) for the Subarea Plan and updated regulations. This FEIS adequately addresses the significant impacts of the updated Subarea Plan and regulations as well as implementation of development projects within the subarea. Consistent with RCW 43.21C.440(1)(b)(i), the Planned Action is in conjunction with a subarea plan adopted under Chapter 36.70A RCW and has had its significant impacts adequately addressed by an EIS under the requirements of SEPA, Chapter 43.21C RCW.

The subject project is determined to qualify as a Planned Action and shall proceed in accordance with the applicable permit review procedures specified in POMC Chapter 20.22, except that no SEPA threshold determination, EIS or additional SEPA review shall be required.

Existing Studies and Environmental Documents Evaluating the Proposal: Wetland and Fish and Wildlife Habitat Assessment, Storm Drainage Analysis, Preliminary Geotechnical Engineering Report, City of Port Orchard Downtown Port Orchard Subarea Plan Final Environmental Impact Statement

Other Applicable Codes Which May Require Additional Project Review / Permits:

Port Orchard Municipal Code (POMC) Title 12, Title 13, Title 20, and the Shoreline Master Program (adopted as POMC 20.164).

Public Comment Period and Appeals:

Any interested person may comment on this application. The comment period will remain open for 14 days. The deadline to submit comments is August 24, 2023. Any interested person may request notification of any hearings or meetings and request a copy of the decision once made. Requests must be addressed to City of Port Orchard Permit Center, Attn: Public Works Permit Clerk, 216 Prospect Street, Port Orchard, WA 98366.

Any interested party may appeal a Type II decision to the Hearing Examiner within 14 calendar days of the Notice of Decision. The Notice of Decision will be provided to all parties of record.

Examination of File:

The application file may be examined at the Permit Center, 720 Prospect Street, Port Orchard, WA 98366, by appointment between the hours of 8 AM and 4 PM, Monday through Friday, except holidays. To schedule an appointment please call 360-874-5533 and indicate the Permit Number and Project Name for the file you would like to examine.

Staff Contact for this Application:

Ian Smith, PE
Assistant City Engineer
ismith@portorchardwa.gov
360-876-4991

Review Authority:

The Public Works Director. A Type II permit is an administrative decision and shall be reviewed consistent with the requirements of POMC 20.24.

Project Site Plan: Attached.

GENERAL SITE PLAN NOTES

1. SITE INFORMATION CONTAINED HEREIN, INCLUDING BUT NOT LIMITED TO, DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES, IS BASED ON THE SURVEY ON SHEET V-001 AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ITS ACCURACY.
2. VERIFY LOCATION OF ALL EXISTING UTILITIES. DO NOT DAMAGE OR DISTURB EXISTING UTILITIES.
3. FOR EXISTING INFORMATION SEE SHEET G-035.



PROJECT:
KITSAP BANK HEADQUARTERS
 PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY
 OWNER:
KITSAP BANK
 619 BAY STREET
 PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

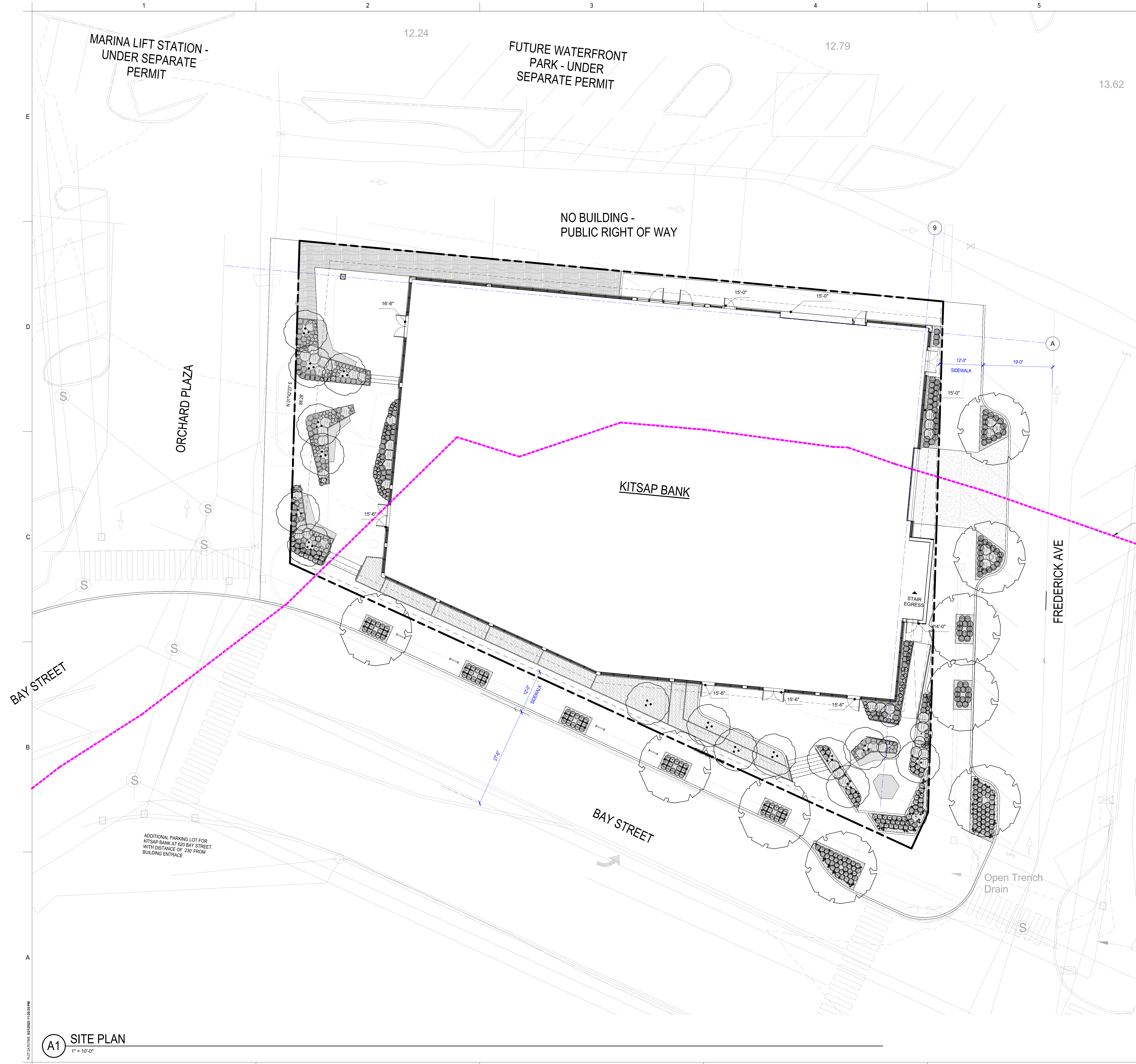
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: JF
 GGLO PROJECT MANAGER: MP
 OWNER APPROVAL:

SHEET TITLE
SITE PLAN

SHEET NO.
A-100

COPYRIGHT GGLO. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 30"X42"



A1 SITE PLAN
1" = 10'-0"

06.22.2023 - BUILDING PERMIT SET