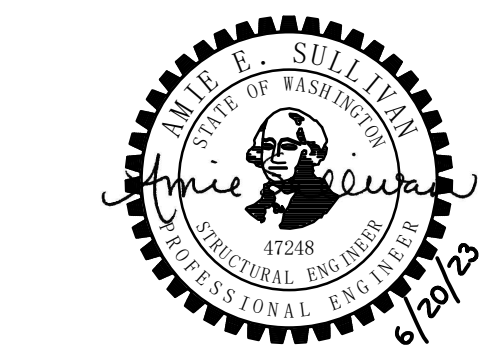
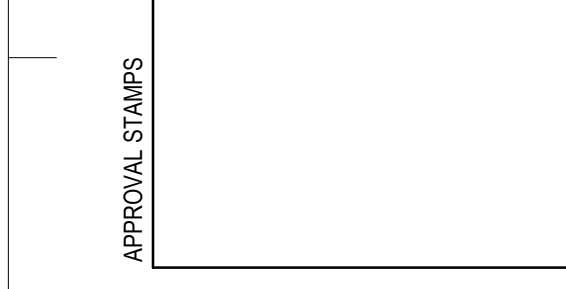


STRUCTURAL ABBREVIATIONS AND SYMBOLS



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

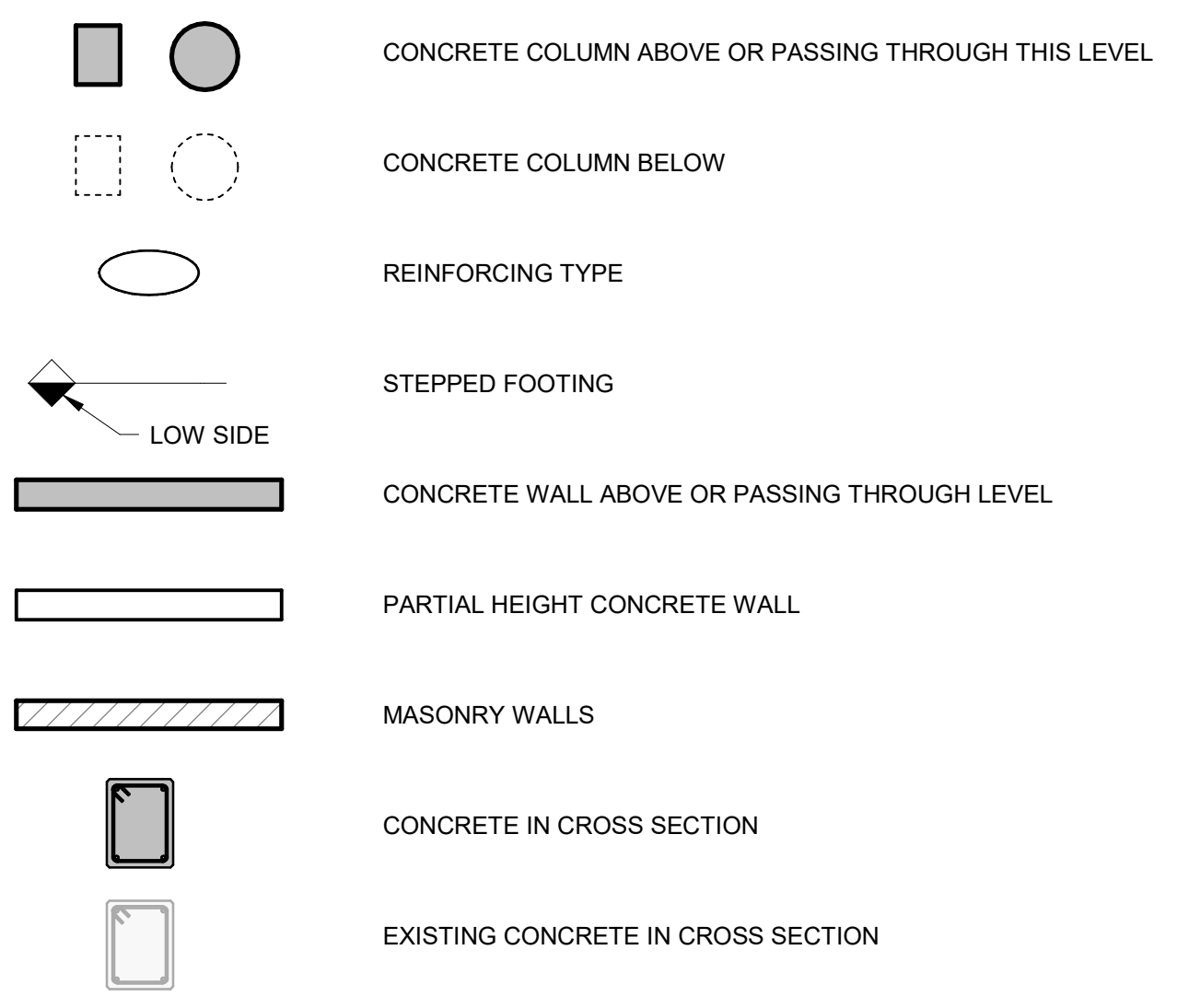
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C	06/22/2023	50% DD PRICE SET
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

MARK	DATE	DESCRIPTION
ISSUE INFORMATION		
PROJECT NO.:	2200048	
KPFF PRINCIPAL IN CHARGE:	AES	
KPFF PROJECT MANAGER:	JBL	
OWNER APPROVAL:		

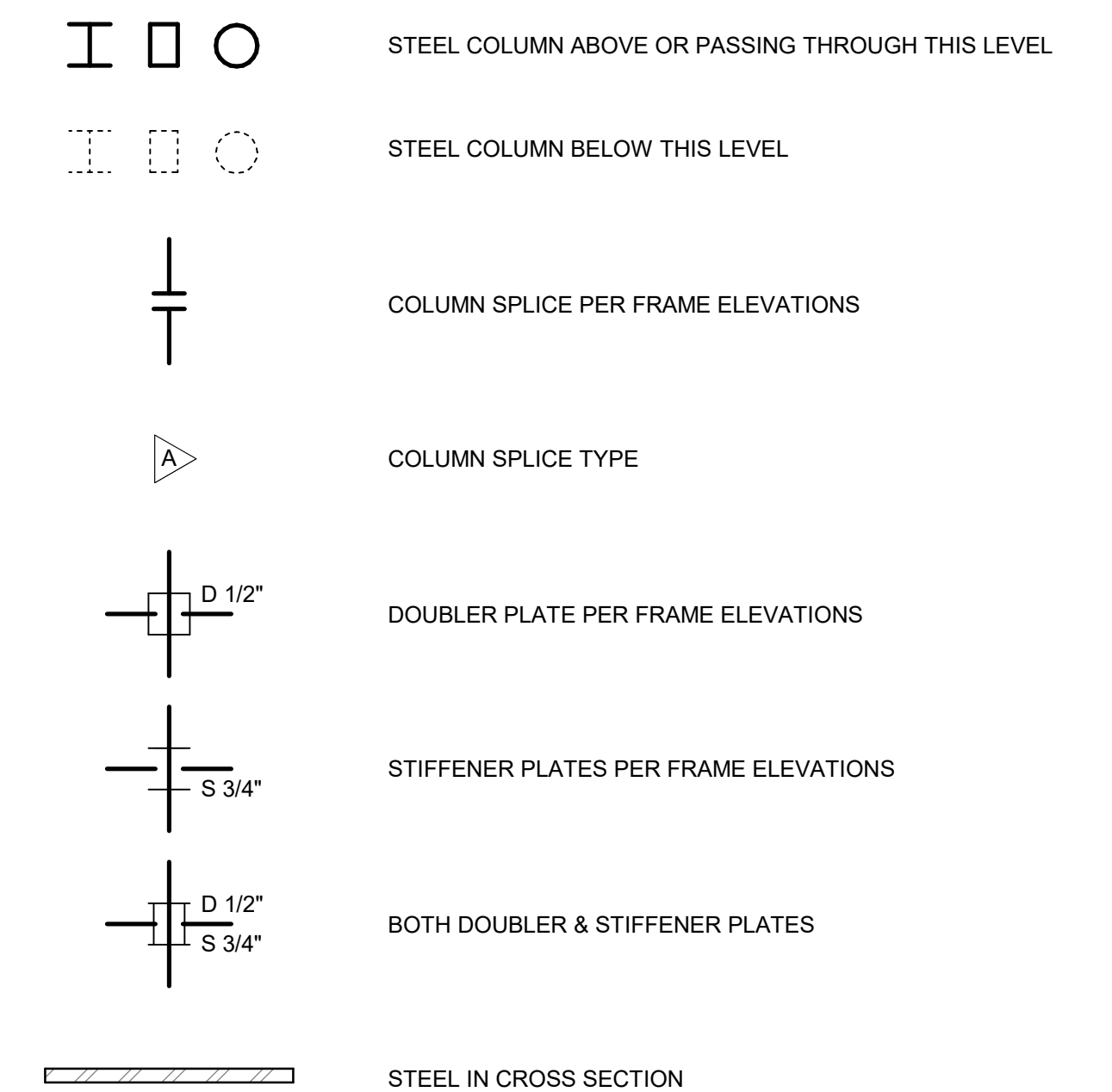
SHEET TITLE
STRUCTURAL ABBREVIATIONS AND SYMBOLS
SHEET NO.
S-003

AB	ANCHOR BOLT	IF	INSIDE FACE
ADDL	ADDITIONAL	IN	INCH
ADH	ADHESIVE	INFO	INFORMATION
ADJ	ADJUSTABLE	INT	INTERIOR
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	JST	JOIST
AFF	ABOVE FINISH FLOOR	JT	JOINT
AGG	AGGREGATE	K	KIP (1,000 LBS.)
ANCH	ANCHOR	KSF	KIPS PER SQUARE FOOT
ARCH	ARCHITECTURAL	LF	LINEAL FOOT
ARD	ADHESIVE REINFORCING DOWEL	LFH	LONG FACE HORIZONTAL
B/	BOTTOM OF	LLH	LONG LEG HORIZONTAL
BLDG	BUILDING	LLV	LONG LEG VERTICAL
BLKG	BLOCKING	LNGT	LONGITUDINAL
BM	BEAM	LP	LOW POINT
BN	DIAPHRAGM BOUNDARY NAILING	LSL	LAMINATED STRAND LUMBER
BOT	BOTTOM	LVL	LAMINATED VENEER LUMBER
BRG	BEARING	MAX	MAXIMUM
BSMT	BASEMENT	MECH	MECHANICAL
BTWN	BETWEEN	MFR	MANUFACTURER
BUR	BUILT-UP ROOF	MIN	MINIMUM
C	CAMBER	MISC	MISCELLANEOUS
CAP	CAPACITY	MOM	MOMENT
CC	CENTER TO CENTER	NIC	NOT IN CONTRACT
CD	CONTROLLED DENSITY FILL	NO	NUMBER
CFS	COLD-FORMED STEEL	NOM	NOMINAL
CIP	CAST-IN-PLACE	NS	NEAR SIDE
CJ	CONSTRUCTION OR CONTROL JOINT	NS	NONSHRINK
CJP	COMPLETE JOINT PENETRATION	NTS	NOT TO SCALE
CL	CENTERLINE	OC	ON CENTER
CLG	CEILING	OD	OUTSIDE DIAMETER
CLR	CLEAR	OF	OPENING
CLT	CROSS-LAMINATED TIMBER	OPNG	OPENING
CMU	CONCRETE MASONRY UNIT	OPP	OPOSITE
COL	COLUMN	P	POST
CONC	CONCRETE	PAF	POWER ACTUATED FASTENER
CONC	CONNECTION	PC	PIECE
CONST	CONSTRUCTION	PC	PILE CAP
CONT	CONTINUOUS	PEN	PENETRATION
CONTR	CONTRACTOR	PJP	PARTIAL JOINT PENETRATION
CONTY	CONTINUITY	PL	PROPERTY LINE
COORD	COORDINATE	PL	PLATE
CTR	CENTER	PLWD	PLYWOOD
CY	CUBIC YARD	PNL	PANEL
DB	DIVIDER BEAM	PSF	POUNDS PER SQUARE FOOT
DBA	DEFORMED BAR ANCHOR	PSI	POUNDS PER SQUARE INCH
DBL	DOUBLE	PT	POST-TENSIONED
DCW	DEMAND CRITICAL WELD	PT	PRESERVATIVE-TREATED
DEMO	DEMOLISH	PWT	PREFABRICATED WOOD TRUSS
DET	DETAIL	R	RADIUS
DF	DOUGLAS FIR	RD	ROOF DRAIN
DIA	DIAMETER	REINF	REINFORCING
DIAG	DIAGONAL	REN	REMAIN(ING)
DKG	DECKING	REQ'D	REQUIRED
DN	DOWN	RND	ROUND
DO	DITTO	RO	ROUGH OPENING
DWF	DEFORMED WIRE FABRIC	RTN	RETURN
DWG	DRAWING	SC	SLIP CRITICAL
DWL	DOWEL	SCHED	SCHEDULE
EA	EACH	SDCI	SEATTLE DEPARTMENT OF CONSTRUCTION AND INSPECTIONS
EF	EACH FACE	SDQ	SPECIAL DUCTILE QUALITY
EL	ELEVATION	SECT	SECTION
ELECT	ELECTRICAL	SFRS	SEISMIC FORCE-RESISTING SYSTEM
ELEV	ELEVATOR	SHT	SHEET
EN	PANEL EDGE NAILING	SHTG	SHEATHING
EQ	EQUAL	SIM	SIMILAR
EQUIP	EQUIPMENT	SOG	SLAB-ON-GRADE
ES	EACH SIDE	SP	SPACE
EW	EACH WAY	SPEC	SPECIFICATION
EX	EXISTING	SQ	SQUARE
EXP	EXPANSION	SST	STAINLESS STEEL
EXT	EXTERIOR	ST	SUSTAINED TENSION ANCHOR
F	FAHRENHEIT	STD	STANDARD
FD	FLOOR DRAIN	STIFF	STIFFENER
FDN	FOUNDATION	STIRR	STIRRUP
FF	FINISH FLOOR	STL	STEEL
FIN	FINISH	STRUCT	STRUCTURAL
FLG	FLANGE	SUPP	SUPPORT
FLR	FLOOR	SYM	SYMMETRICAL
FOB	FACE OF BUILDING	T&B	TOP AND BOTTOM
FS	FAR SIDE	T&G	TONGUE AND GROOVE
FT	FEET	T/	TOP OF
FTG	FOOTING	TB	TABLE
GA	GAUGE	THK	THICK(NESS)
GALV	GALVANIZED	THRU	THROUGH
GB	GRADE BEAM	TRANS	TRANSVERSE
GEN	GENERAL	TYP	TYPICAL
GL	GLUED LAMINATED TIMBER	UNO	UNLESS NOTED OTHERWISE
GOVT	GOVERNMENT	UT	ULTRASONIC TESTING
GR	GRADE	VERT	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
HF	HEM-FIR	W	W-SHAPE
HGR	HANGER	W/	WITH
HK	HOOK	W/O	WITHOUT
HORIZ	HORIZONTAL	WD	WOOD
HP	HIGH POINT	WHS	WELDED HEADED STUD
HSS	HOLLOW STRUCTURAL SECTION	WL	WATER LINE
IBC	INTERNATIONAL BUILDING CODE	WP	WORK POINT
ID	INSIDE DIAMETER	WSBC	WASHINGTON STATE BUILDING CODE
IE	INVERT ELEVATION		

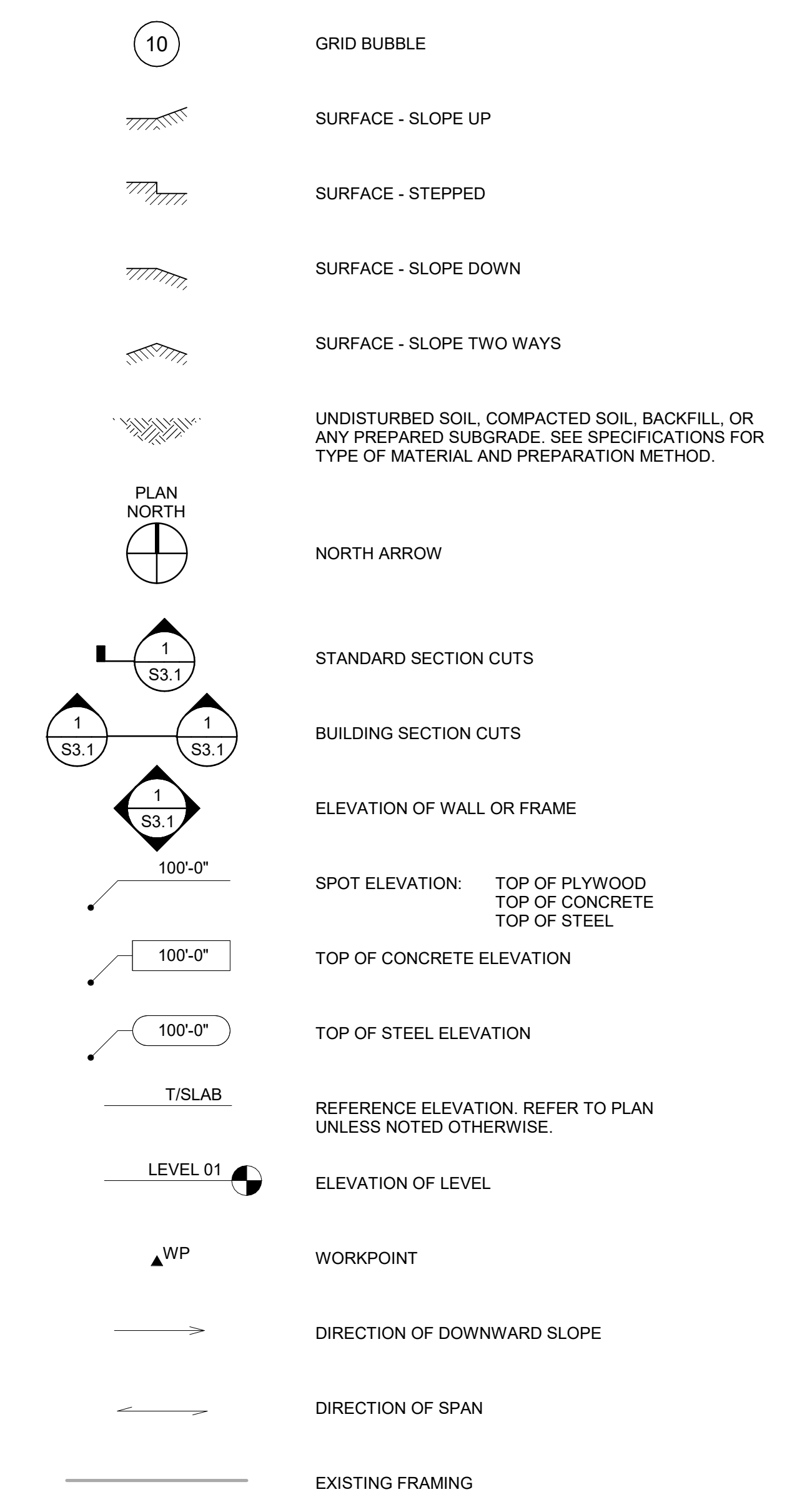
CONCRETE SYMBOLS



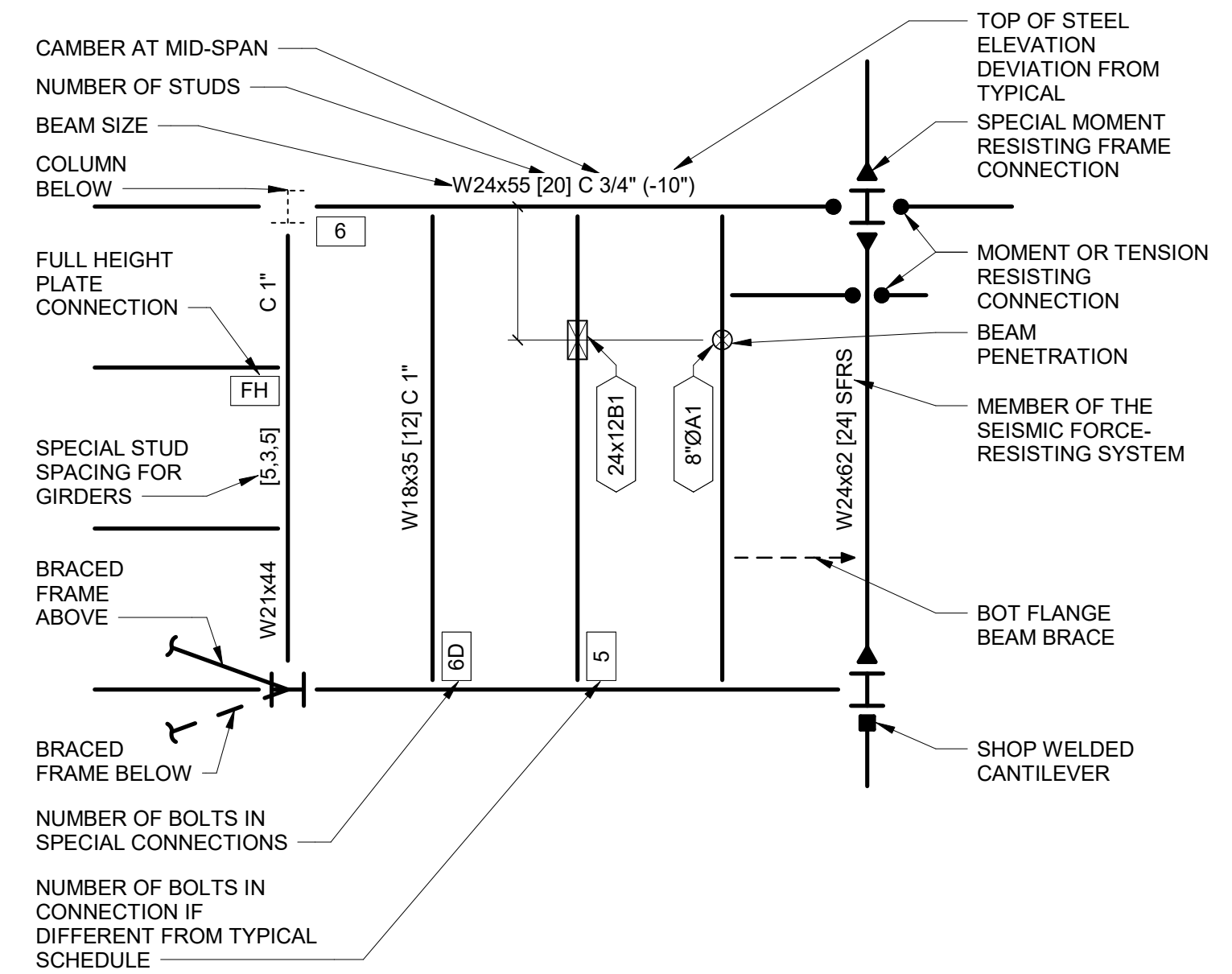
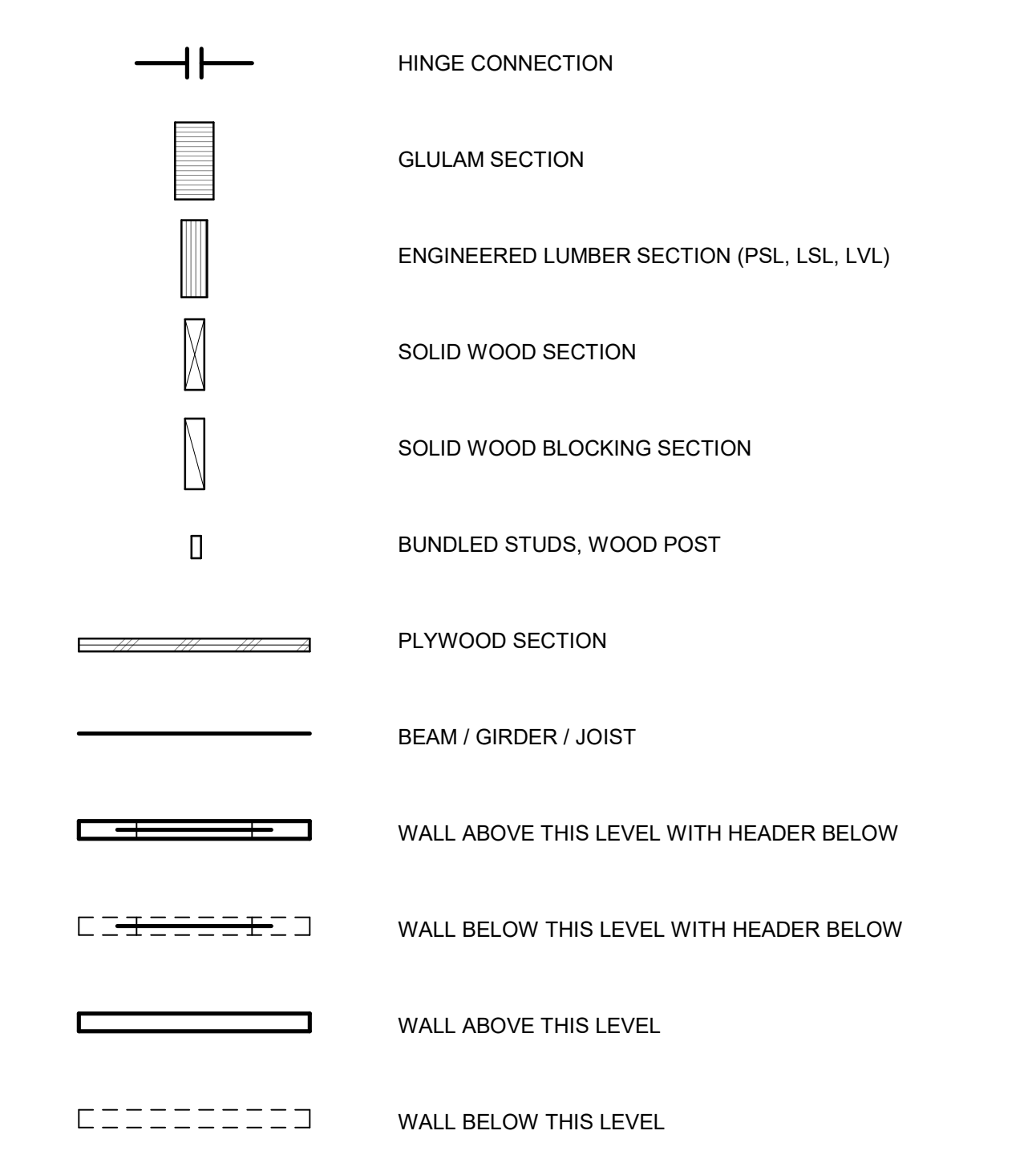
STEEL SYMBOLS



GENERAL SYMBOLS



WOOD SYMBOLS



PROJECT DATE/TIME: 06/20/23 11:00:00 AM

06.22.2023 - 50% DD SET



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

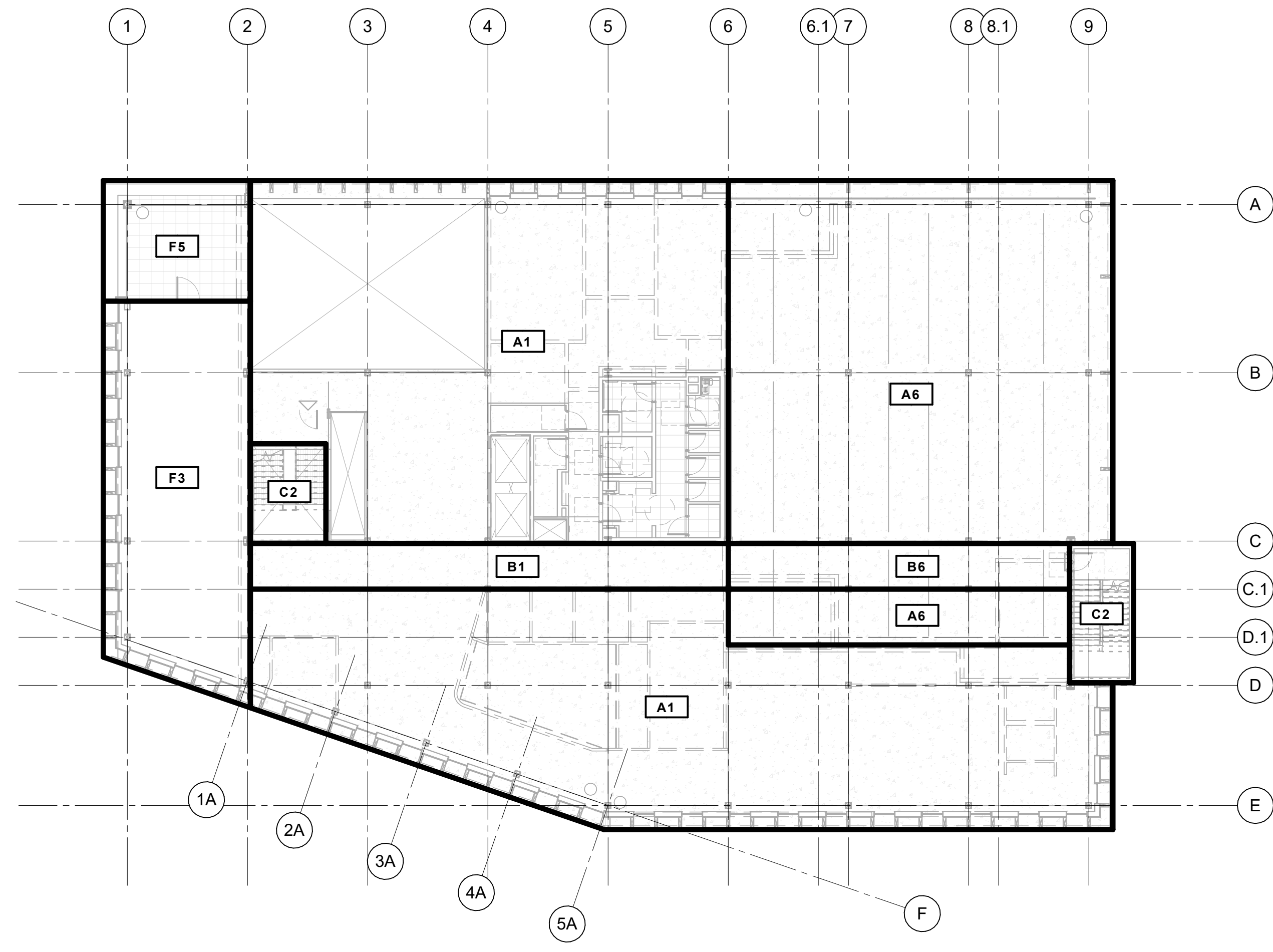
C 06/22/2023 50% DD PRICE SET
B 02/23/2023 SD PRICE SET
A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION
ISSUE INFORMATION

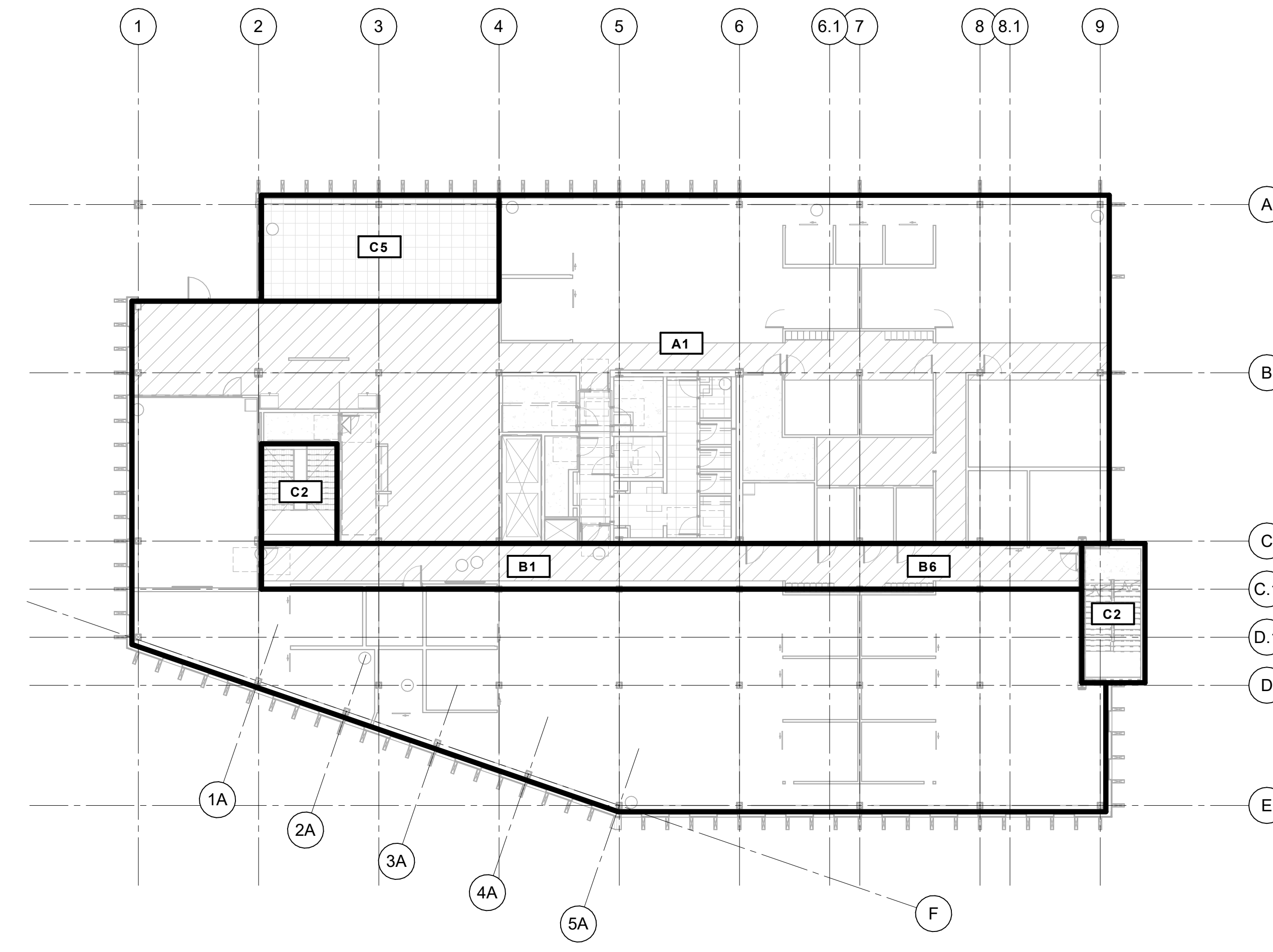
PROJECT NO. **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
LOAD MAPS

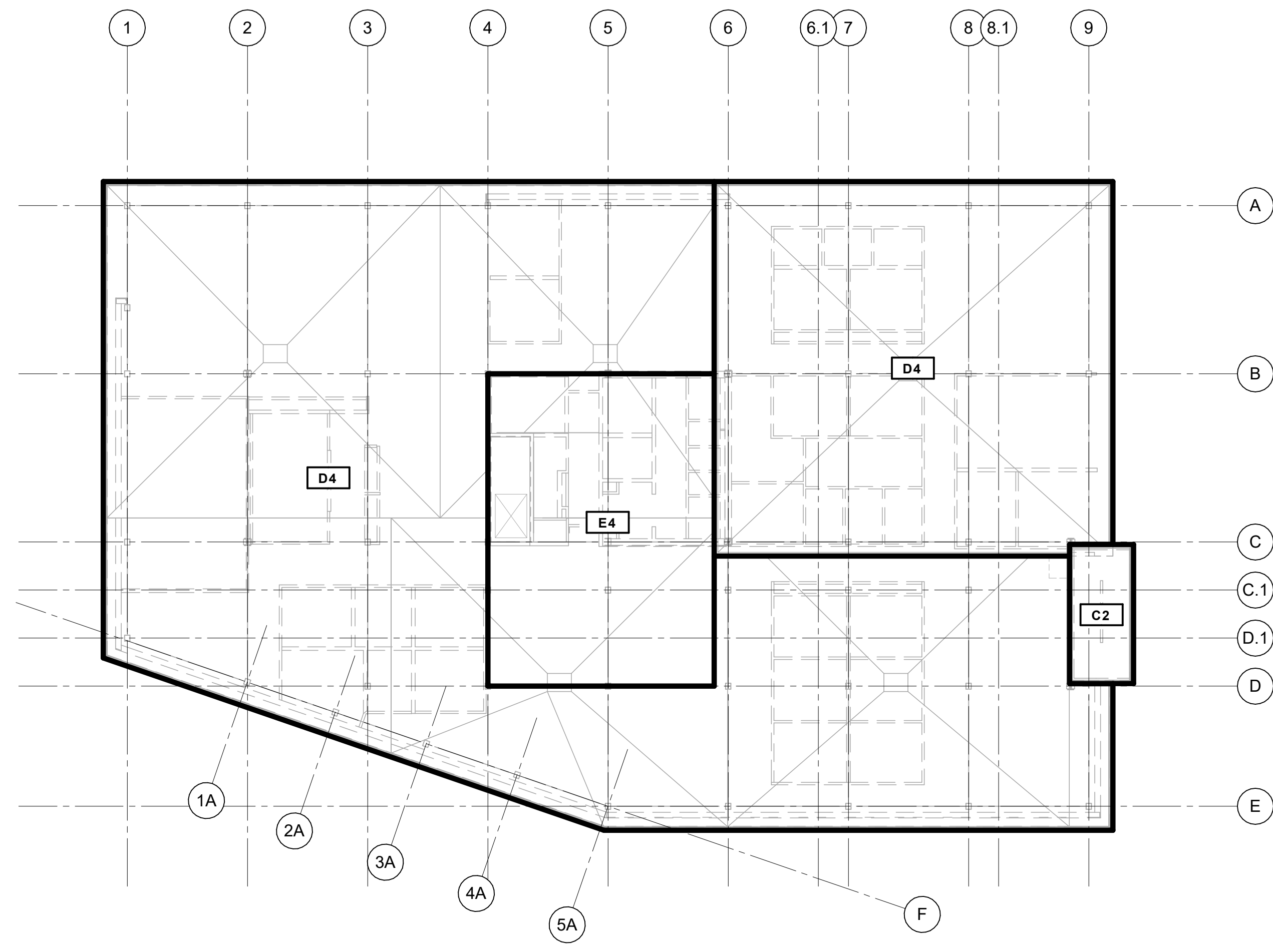
SHEET NO.
S-010



1 LEVEL 2 LOAD MAP
1/16" = 1'-0"



2 LEVEL 3 LOAD MAP
1/16" = 1'-0"



3 ROOF LOAD MAP
1/16" = 1'-0"

SUPERIMPOSED DEAD LOAD SCHEDULE			
TYPE MARK	DESCRIPTION	LOAD, PSF	TYPE COMMENTS
1	OFFICE	15	-
2	STAIRS	40	-
3	GYM	20	-
4	ROOF	35	-
5	TERRACE	30	-
6	PARKING	20	-

LIVE LOAD SCHEDULE			
TYPE MARK	DESCRIPTION	LOAD, PSF (R=REDUCIBLE)	TYPE COMMENTS
A	OFFICE	50 (R) + 15	-
B	CORRIDORS	80 (R)	-
C	STAIRS/TERRACE	100 (R)	-
D	ROOF	20 LIVE 30 SNOW	-
E	MECHANICAL	150	-
F	GYM	100	-

- LOAD SCHEDULE NOTES:**
- INDICATES LIVE LOAD AND SUPERIMPOSED LOAD PER SCHEDULES. LOADING OCCURS WITHIN REGIONS BOUND BY BOLD LINES.
 - A1** LIVE LOAD
 - A1** SUPERIMPOSED DEAD LOAD
 - (R) INDICATES LIVE LOADS ARE REDUCED IN ACCORDANCE WITH BUILDING CODE PROVISIONS.
 - + 15 INDICATES 15 PSF NON REDUCIBLE PARTITION LOAD.
 - EXTERIOR BALCONIES AND DECKS ARE DESIGNED FOR 1.5 TIMES THE OCCUPANCY SERVED, 100 PSF MAXIMUM.
 - WHERE EQUIPMENT WEIGHTS EXCEED 150 PSF, FLOORS ARE DESIGNED FOR ACTUAL EQUIPMENT WEIGHT + 40 PSF HOUSEKEEPING PAD + 40 PSF IN OPEN AREAS.
 - REFER TO IBC TABLE 1607.1 FOR RELEVANT CONCENTRATED LIVE LOADS.
 - SDL INCLUDES 15 PSF FOR PV PANELS.
 - TOTAL SDL IS THE SOIL OR WATER DEPTH TIMES THE LISTED DENSITY IN PCF, PLUS THE ADDITIONAL SDL LISTED IN THE SCHEDULE.

06.22.2023 - 50% DD SET



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APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

C 06/22/2023 50% DD PRICE SET
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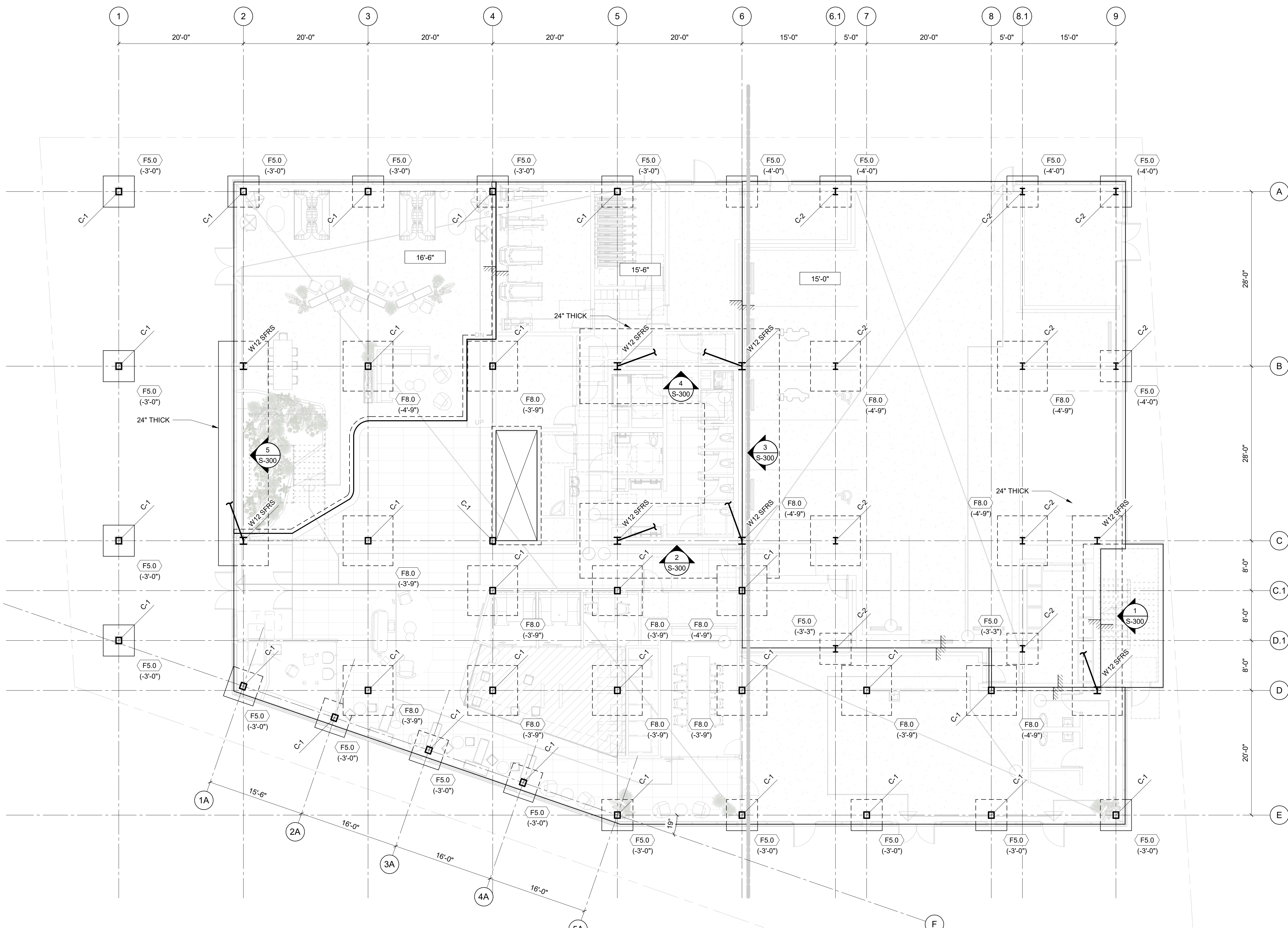
MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO. **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
FOUNDATION PLAN

SHEET NO.
S-111



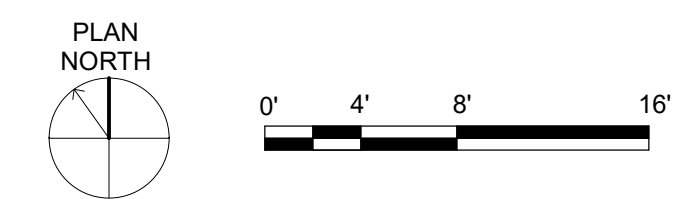
GENERAL PLAN NOTES:
G1. REFERENCE DRAWINGS:
S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
S1.0X - LOAD MAPS
S4.0X - TYPICAL CONCRETE DETAILS
S5.0X - TYPICAL STEEL DETAILS
S7.0X - TYPICAL WOOD DETAILS
S8.0X - TYPICAL COLD-FORMED STEEL DETAILS
G2. INDICATES COLUMN ABOVE PER SCHEDULE.

FOUNDATION PLAN NOTES:
F1. TOP OF SLAB-ON-GRADE ELEVATIONS ARE NOTED ON PLAN.
F2. SLAB-ON-GRADE SHALL BE 4" THICK WITH #4 @ 12" OC EW. UNDO. BASE FOR SLAB-ON-GRADE SHALL CONSIST OF VAPOR BARRIER OVER 6" COMPACTED GRAVEL FILL.
F3. (F10.0) INDICATES FOOTING TYPE AND BOTTOM OF FOOTING ELEVATION. SEE 8/S-401 AND 12/S-401. (99'-0")
F4. GROUND IMPROVEMENTS ARE REQUIRED FOR FOOTING SIZES NOTED ON PLAN. SEE GETOECHEMICAL REPORT.

FOOTING SCHEDULE					
TYPE MARK	LENGTH	DIMENSIONS		REINFORCING	TYPE COMMENTS
F5.0	5'-0"	5'-0"	2'-0"	(6) - #7 EW	-
F8.0	8'-0"	8'-0"	2'-9"	(7) - #9 EW	-

COLUMN SCHEDULE	
C-1	GL 10 3/4x12
C-2	W12x53

1 FOUNDATION PLAN
1/8" = 1'-0"



06.22.2023 - 50% DD SET



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625 BAY ST PORT ORCHARD WA 98366

OWNER:
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619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION

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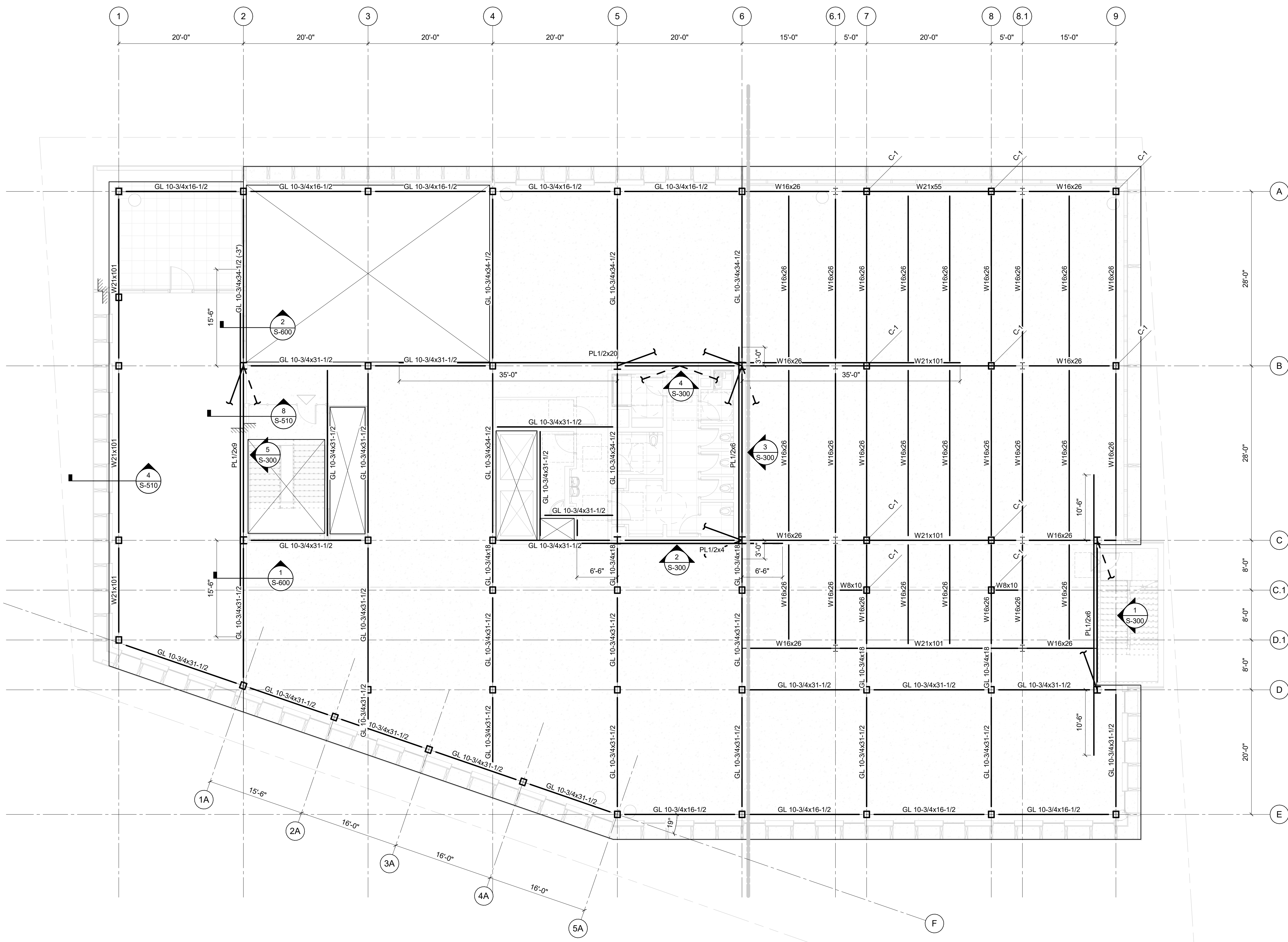
MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
LEVEL 2 FRAMING PLAN

SHEET NO.
S-112



GENERAL PLAN NOTES:
G1. REFERENCE DRAWINGS:
S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
S0.1X - LOAD MAPS
S4.0X - TYPICAL CONCRETE DETAILS
S5.0X - TYPICAL STEEL DETAILS
S7.0X - TYPICAL WOOD DETAILS
S8.0X - TYPICAL COLD-FORMED STEEL DETAILS
G2. INDICATES COLUMN ABOVE PER SCHEDULE.

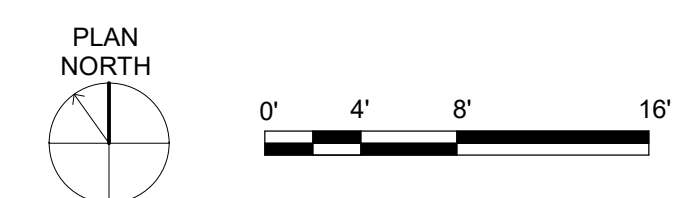
STEEL FRAMING PLAN NOTES:
S1. TOP OF STEEL SHALL BE 32'-5 3/8" AT CLT DECK AND 33'-1" AT COMPOSITE DECK THIS LEVEL. UNO.
S2. SLAB SHALL BE 2 1/2" CONCRETE OVER 20 GAUGE TYPE W COMPOSITE STEEL DECK, 5 1/2" TOTAL THICKNESS WITH #4@12" OC EW.

WOOD FRAMING PLAN NOTES:
W1. TOP OF CLT SHALL BE 33'-6" THIS LEVEL. UNO.
W2. FLOOR SHALL CONSIST OF 7-PLY CLT PANELS, 9 1/4" TOTAL DEPTH.

COLUMN SCHEDULE

C-1	GL 10 3/4x12
C-2	W12x53

1 LEVEL 2 FRAMING PLAN
1/8" = 1'-0"



06.22.2023 - 50% DD SET



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PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

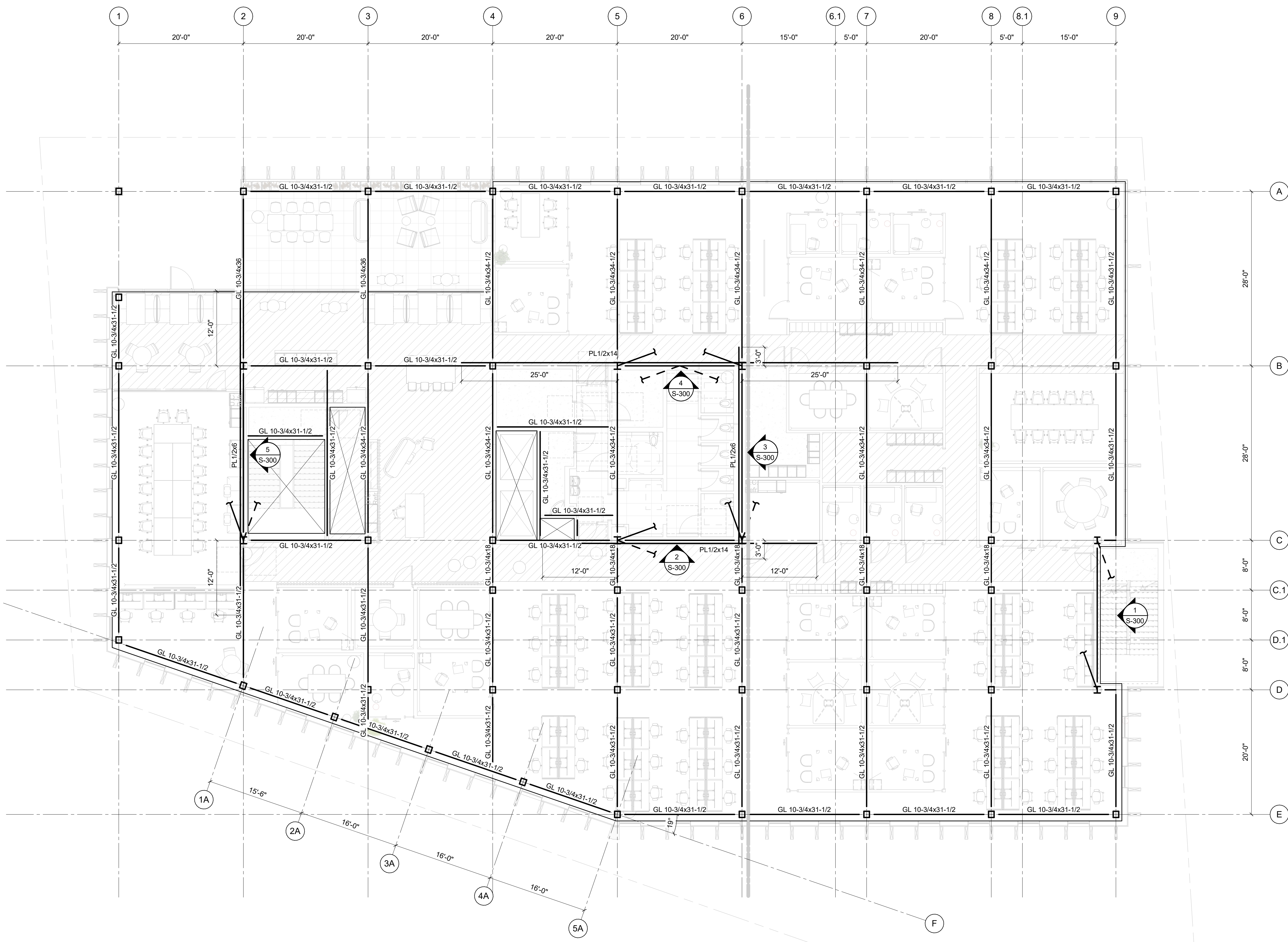
MARK	DATE	DESCRIPTION
C	06/22/2023	50% DD PRICE SET
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ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
LEVEL 3 FRAMING PLAN

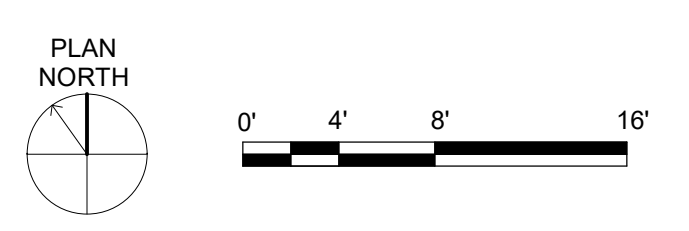
SHEET NO.
S-113



GENERAL PLAN NOTES:
G1. REFERENCE DRAWINGS:
S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
S0.1X - LOAD MAPS
S4.0X - TYPICAL CONCRETE DETAILS
S5.0X - TYPICAL STEEL DETAILS
S7.0X - TYPICAL WOOD DETAILS
S8.0X - TYPICAL COLD-FORMED STEEL DETAILS
G2. INDICATES COLUMN ABOVE PER SCHEDULE.

WOOD FRAMING PLAN NOTES:
W1. TOP OF GLULAM SHALL BE 46'-11 3/8" THIS LEVEL, UNO.
W2. TOP OF CLT SHALL BE 47'-9" THIS LEVEL, UNO.
W3. FLOOR SHALL CONSIST OF 7-PLY CLT PANELS, 9 1/4" TOTAL DEPTH.

1 LEVEL 3 FRAMING PLAN
1/8" = 1'-0"



06.22.2023 - 50% DD SET



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APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

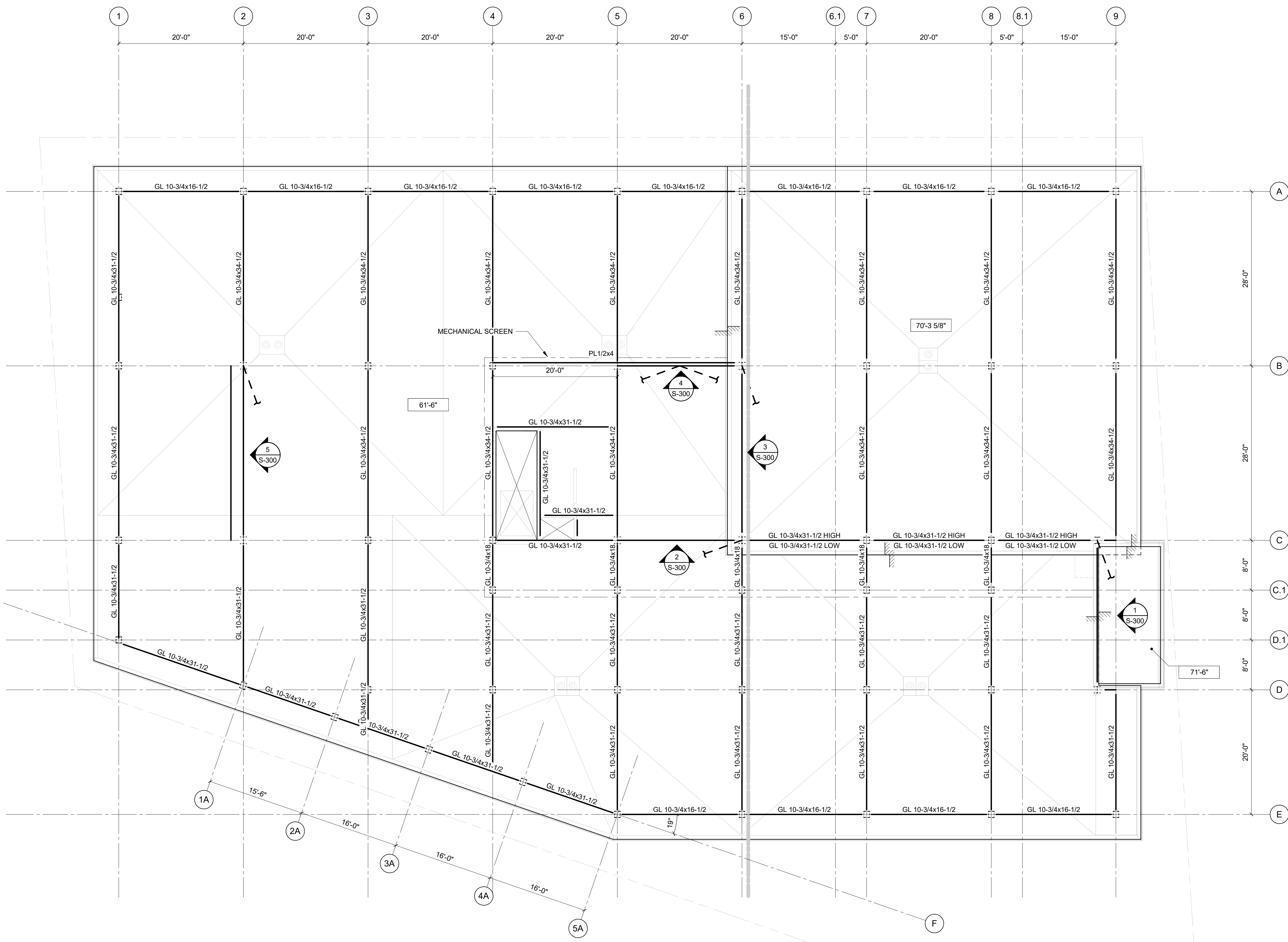
C	06/22/2023	50% DD PRICE SET
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A	03/01/2022	CONCEPT DESIGN PRICE SET

ISSUE INFORMATION

PROJECT NO.:	2200048
KPFF PRINCIPAL IN CHARGE:	AES
KPFF PROJECT MANAGER:	JBL
OWNER APPROVAL:	

SHEET TITLE
ROOF FRAMING PLAN

SHEET NO.
S-114

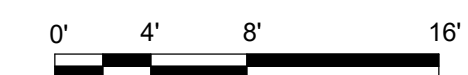


- GENERAL PLAN NOTES:**
- G1. REFERENCE DRAWINGS:
 - S0.0X - STRUCTURAL NOTES, SPECIAL INSPECTION SCHEDULE, SYMBOLS AND ABBREVIATIONS
 - S0.1X - LOAD MAPS
 - S4.0X - TYPICAL CONCRETE DETAILS
 - S5.0X - TYPICAL STEEL DETAILS
 - S7.0X - TYPICAL WOOD DETAILS
 - S8.0X - TYPICAL COLD-FORMED STEEL DETAILS
 - G2. INDICATES COLUMN ABOVE PER SCHEDULE.

- WOOD FRAMING PLAN NOTES:**
- W1. TOP OF GLULAM SHALL BE 60'-8 3/8" THIS LEVEL, UNO.
 - W2. TOP OF CLT SHALL BE 61'-6" THIS LEVEL, UNO.
 - W3. FLOOR SHALL CONSIST OF 7-PLY CLT PANELS, 9 1/4" TOTAL DEPTH.

1 ROOF FRAMING PLAN

1/8" = 1'-0"



06.22.2023 - 50% DD SET



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APPROVAL STAMPS

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REVISIONS

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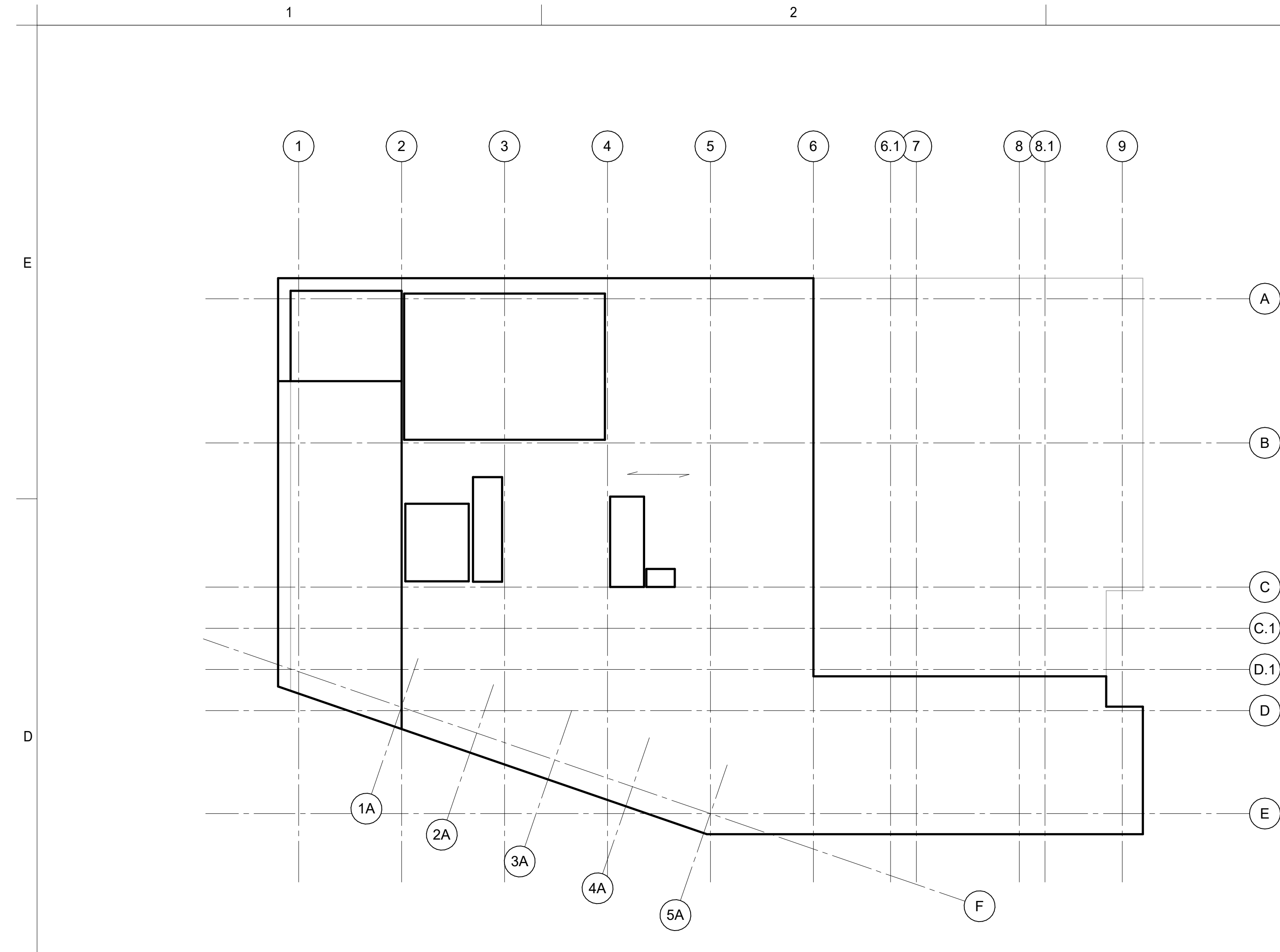
ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

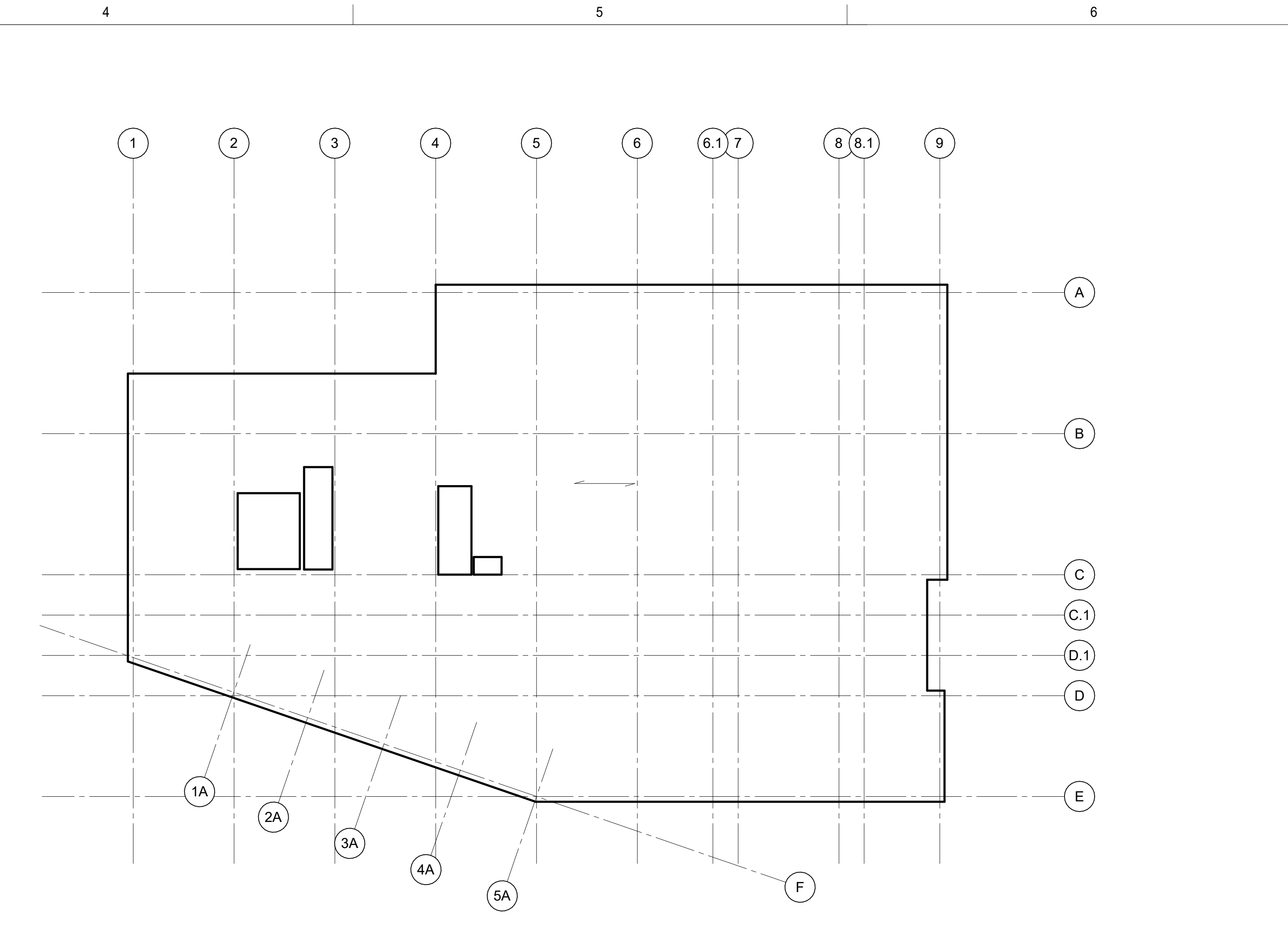
SHEET TITLE
CLT PANEL LAYOUTS

SHEET NO.
S-120

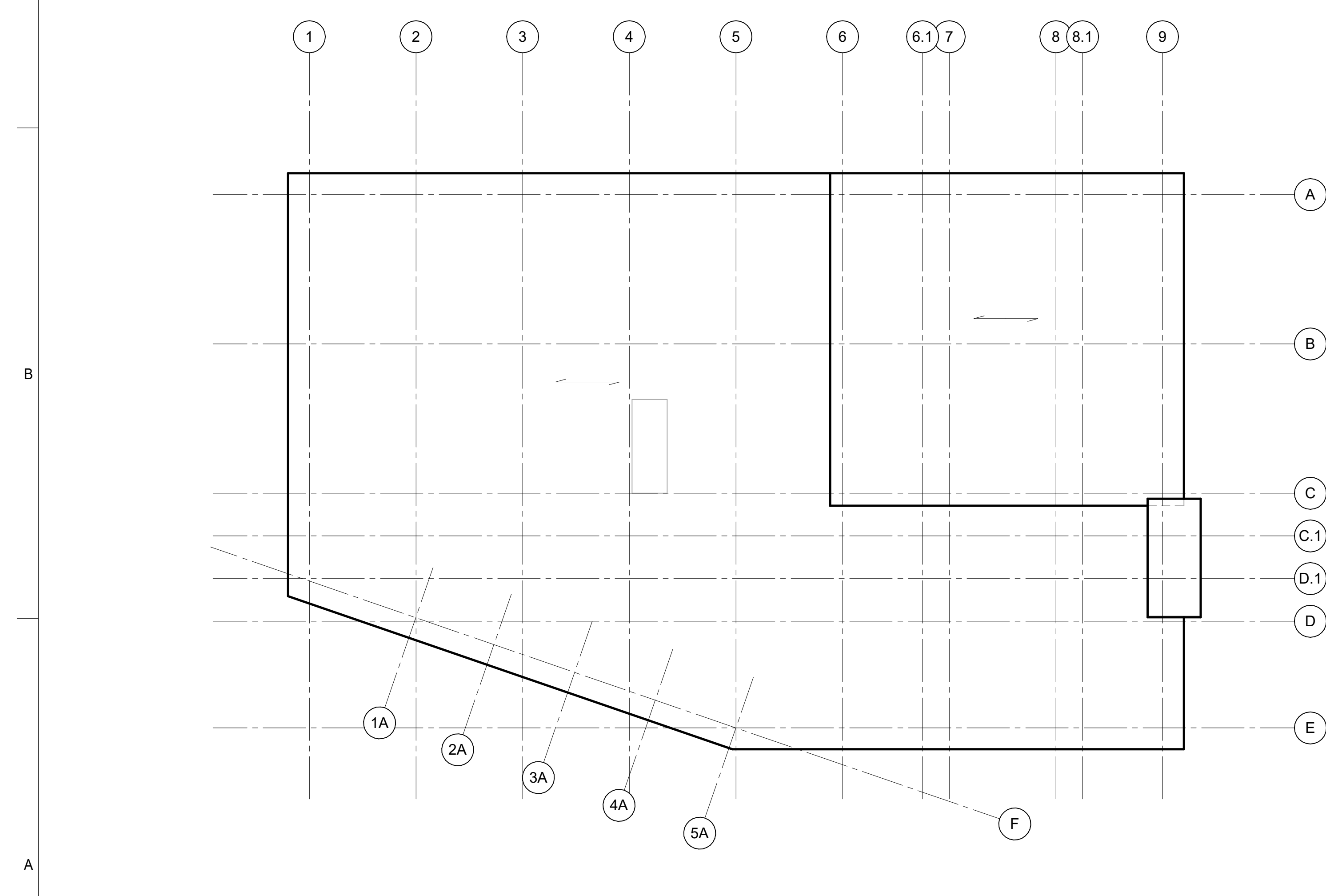
06.22.2023 - 50% DD SET



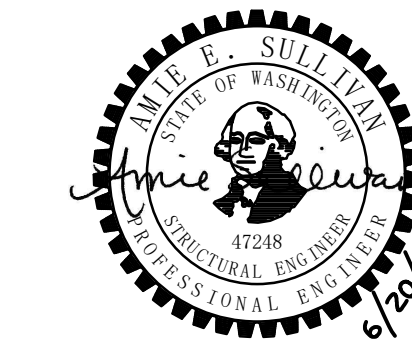
1 LEVEL 2 CLT PANEL LAYOUT
1/16" = 1'-0"



2 LEVEL 3 CLT PANEL LAYOUT
1/16" = 1'-0"



3 ROOF CLT PANEL LAYOUT
1/16" = 1'-0"



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APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

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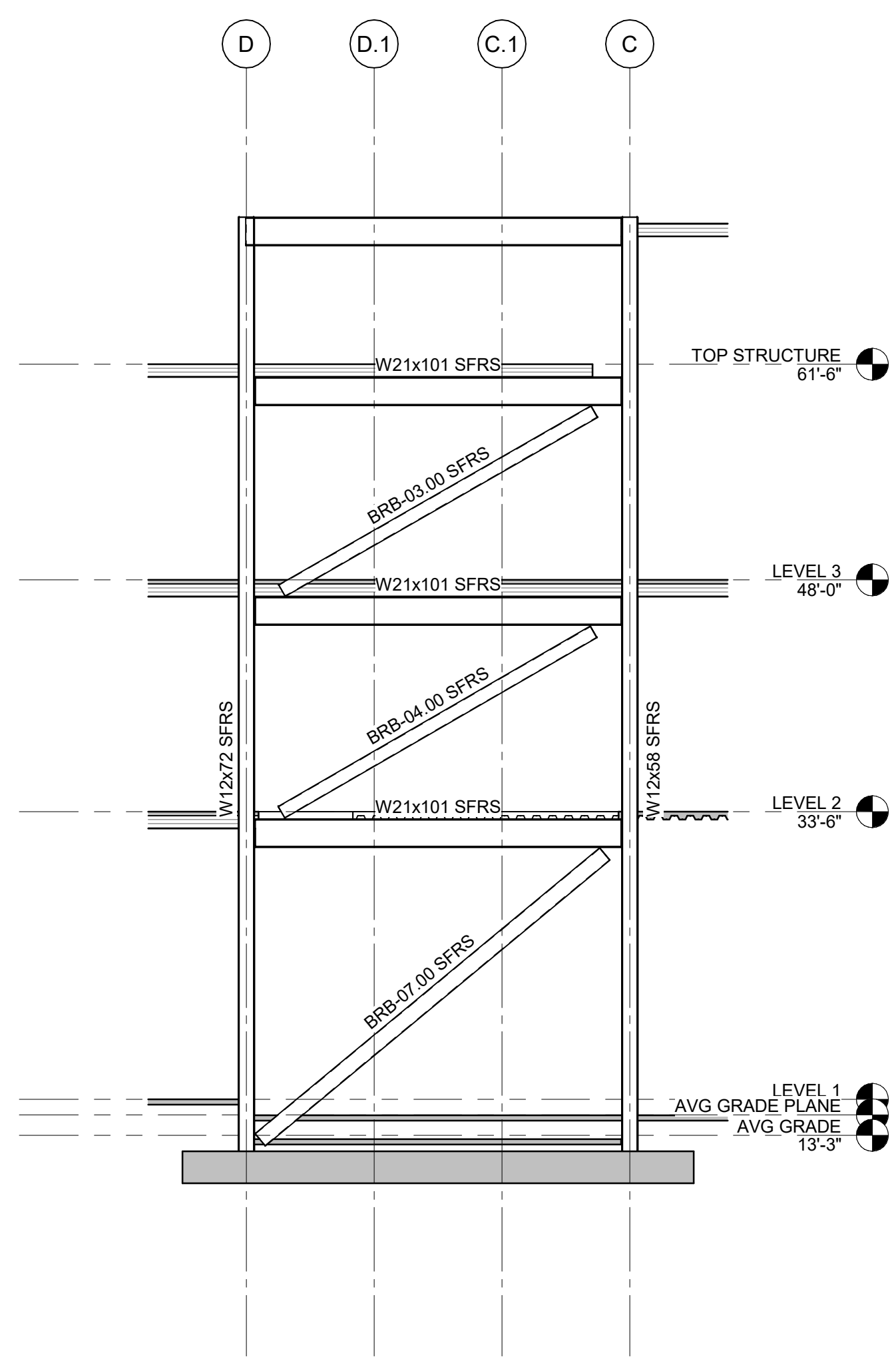
MARK DATE DESCRIPTION

ISSUE INFORMATION

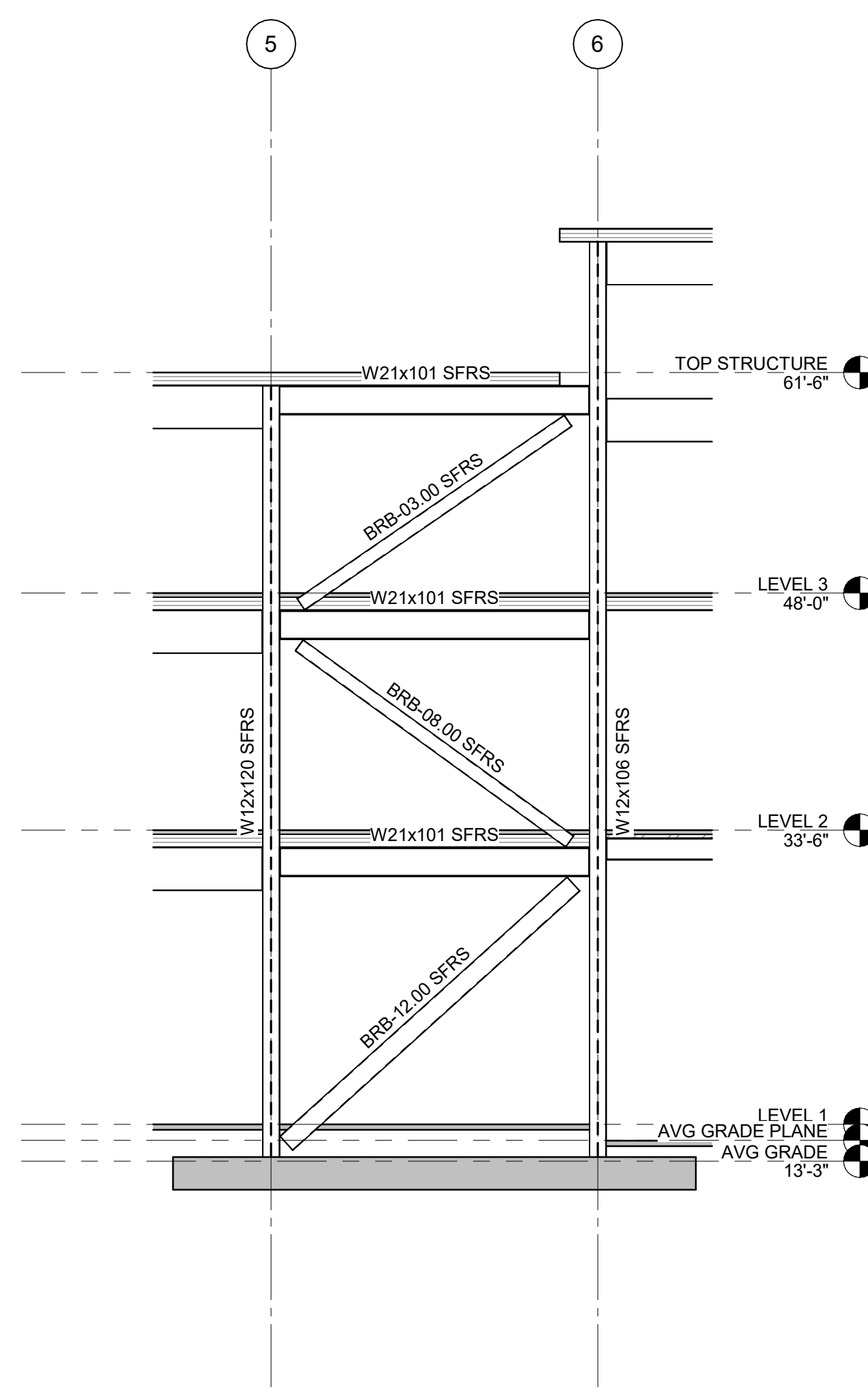
PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: **AES**
KPFF PROJECT MANAGER: **JBL**
OWNER APPROVAL:

SHEET TITLE
BRACED FRAME ELEVATIONS

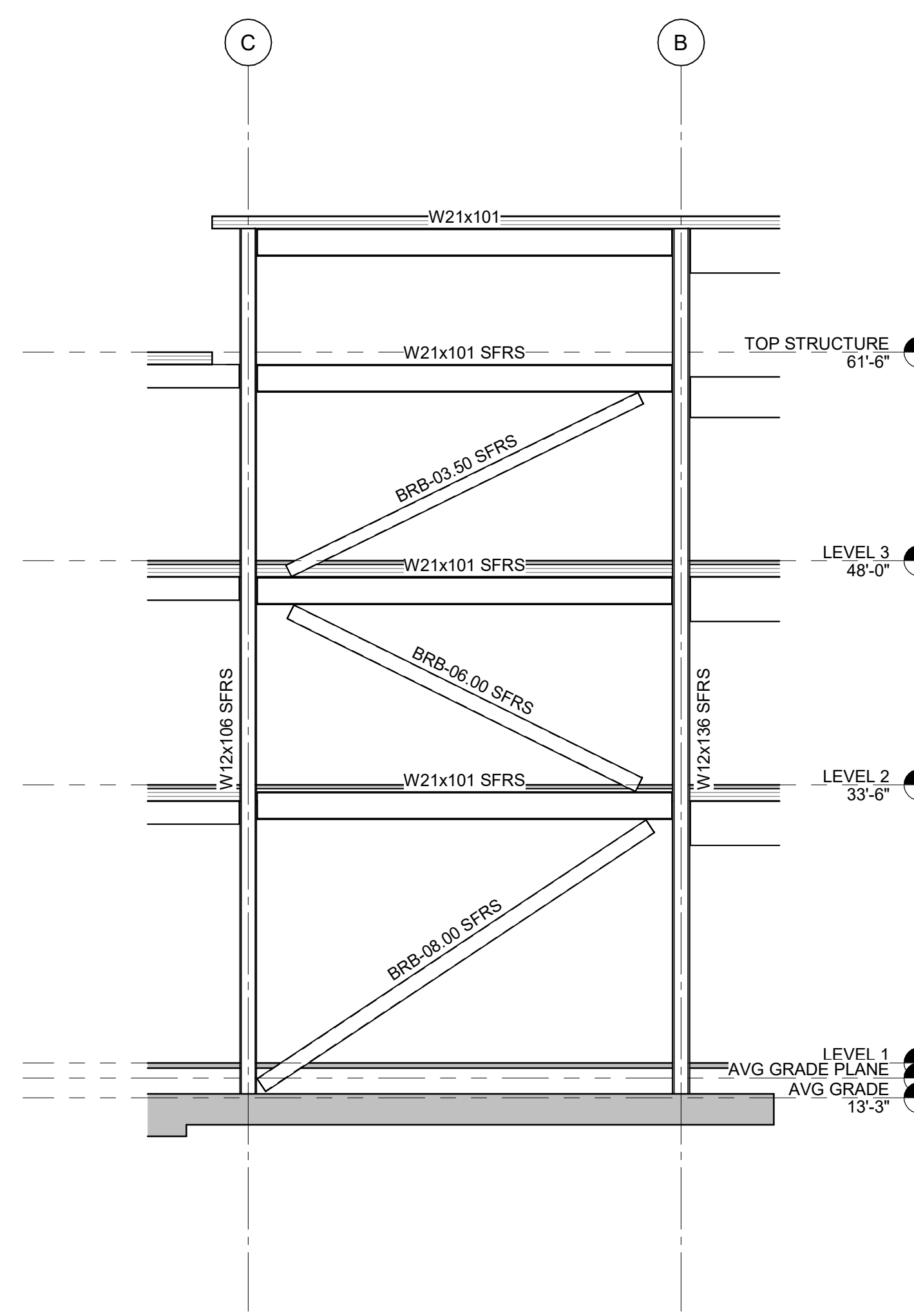
SHEET NO.
S-300



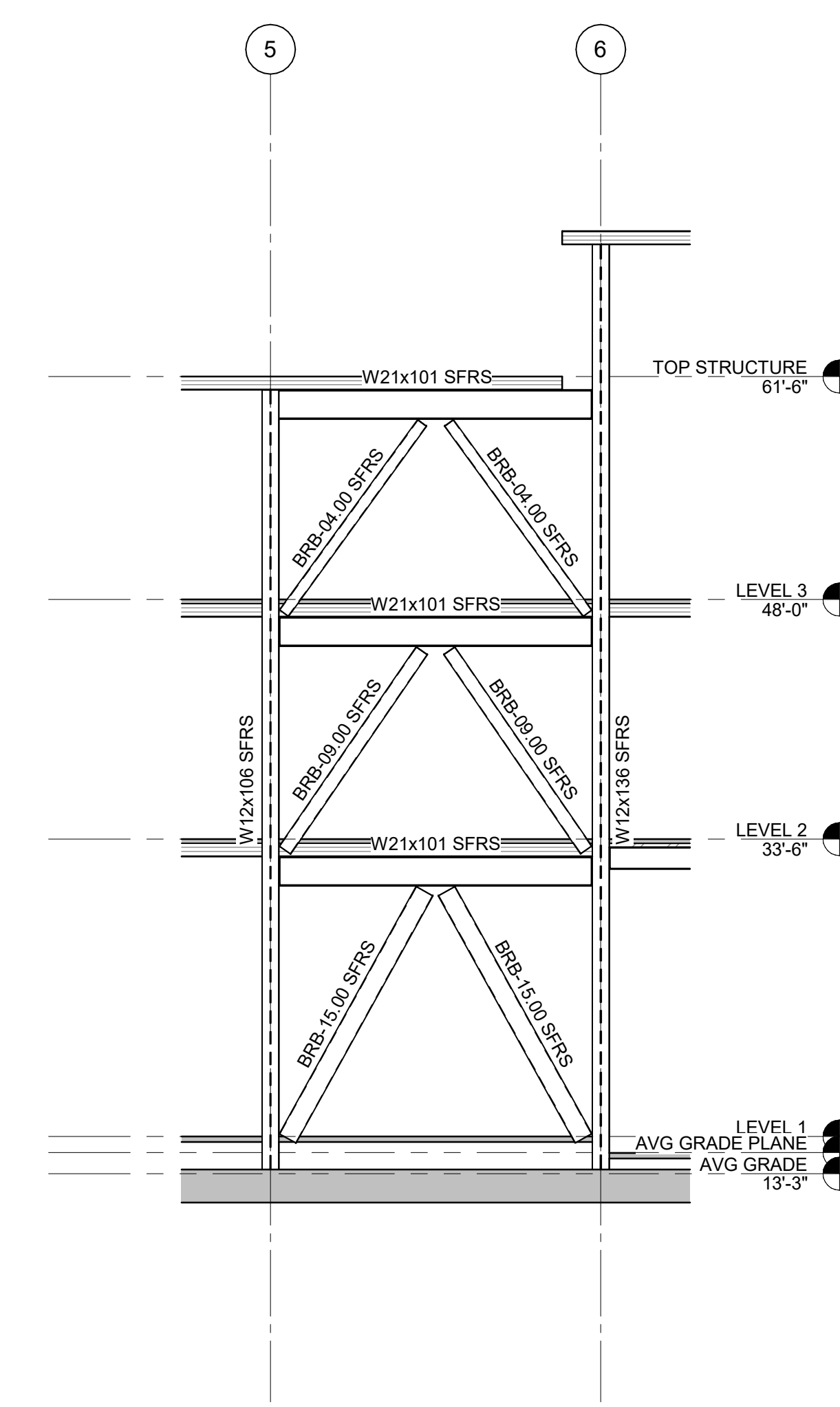
1 BRACED-FRAME @ GRID 1
1/8" = 1'-0"



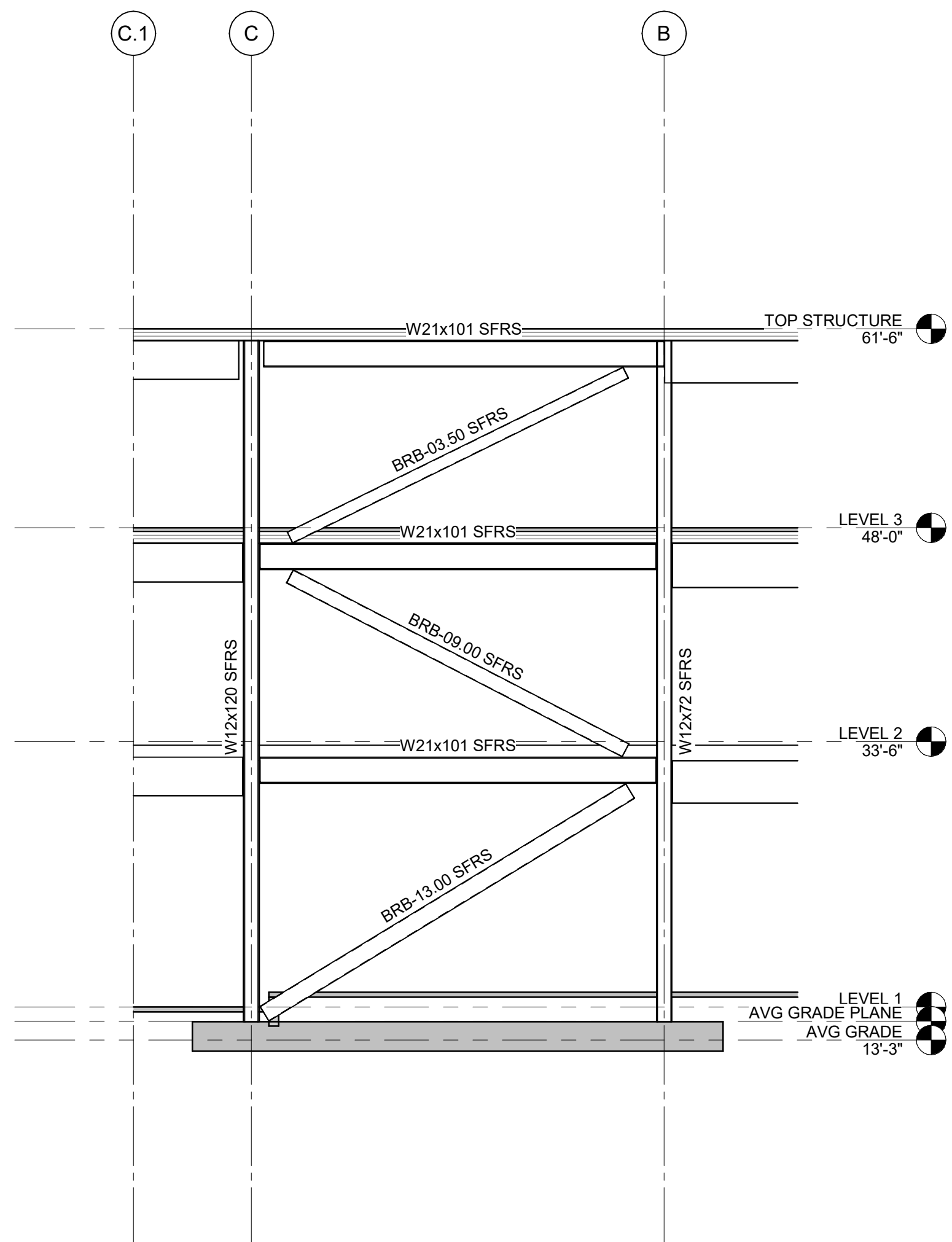
2 BRACED-FRAME AT GRID C
1/8" = 1'-0"



3 BRACED-FRAME AT GRID 6
1/8" = 1'-0"

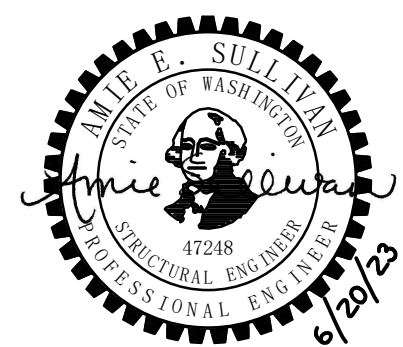


4 BRACED-FRAME AT GRID B
1/8" = 1'-0"



5 BRACED-FRAME @ GRID 2
1/8" = 1'-0"

06.22.2023 - 50% DD SET



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

C 06/22/2023 50% DD PRICE SET
B 02/23/2023 SD PRICE SET
A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFf PRINCIPAL IN CHARGE: AES
KPFf PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
TYPICAL CONCRETE DETAILS

SHEET NO.
S-400
COPYRIGHT GGLO. ALL RIGHTS RESERVED. ORIGINAL SHEET SIZE IS 36"x48"

$f'_c = 4,000$ PSI
 $f_y = 60,000$ PSI

SIZE	Ld	Ldt	Lb	Lbt	Ldh
#4	19 (28)	25 (37)	25 (37)	32 (48)	9
#5	24 (36)	31 (46)	31 (46)	40 (60)	12
#6	28 (43)	37 (55)	37 (55)	48 (72)	14
#7	42 (62)	54 (81)	54 (81)	70 (105)	17
#8	47 (71)	62 (92)	62 (92)	80 (120)	19
#9	54 (80)	70 (104)	70 (104)	90 (136)	21
#10	60 (90)	78 (117)	78 (117)	102 (153)	24
#11	67 (100)	87 (130)	87 (130)	113 (170)	27
#14	80 (120)	104 (157)	N/A	N/A	32
#18	107 (161)	139 (209)	N/A	N/A	43

- NOTES:**
- USE THE LENGTHS IN THIS SCHEDULE, UNLESS NOTED OTHERWISE.
 - USE LENGTH IN () WHEN BAR COVER IS d_b OR LESS OR BAR CLEAR SPACING IS $2d_b$ OR LESS.
 - A TOP BAR IS A HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.
 - FOR GRADE 80 BARS, MULTIPLY ABOVE VALUES BY 1.33.

$f'_c = 3,000$ PSI
 $f_y = 60,000$ PSI

SIZE	Ld	Ldt	Lb	Lbt	Ldh
#4	22 (33)	28 (43)	28 (43)	37 (56)	11
#5	27 (41)	36 (53)	36 (53)	46 (69)	14
#6	33 (49)	43 (64)	43 (64)	56 (83)	16
#7	48 (72)	62 (93)	62 (93)	81 (121)	19
#8	55 (82)	71 (107)	71 (107)	93 (139)	22
#9	62 (93)	80 (120)	80 (120)	104 (157)	25
#10	70 (104)	90 (136)	90 (136)	118 (176)	28
#11	77 (116)	100 (151)	100 (151)	131 (196)	31
#14	93 (139)	121 (181)	N/A	N/A	37
#18	124 (185)	161 (241)	N/A	N/A	49

- NOTES:**
- USE THE LENGTHS IN THIS SCHEDULE, UNLESS NOTED OTHERWISE.
 - USE LENGTH IN () WHEN BAR COVER IS d_b OR LESS OR BAR CLEAR SPACING IS $2d_b$ OR LESS.
 - A TOP BAR IS A HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.
 - FOR GRADE 80 BARS, MULTIPLY ABOVE VALUES BY 1.33.

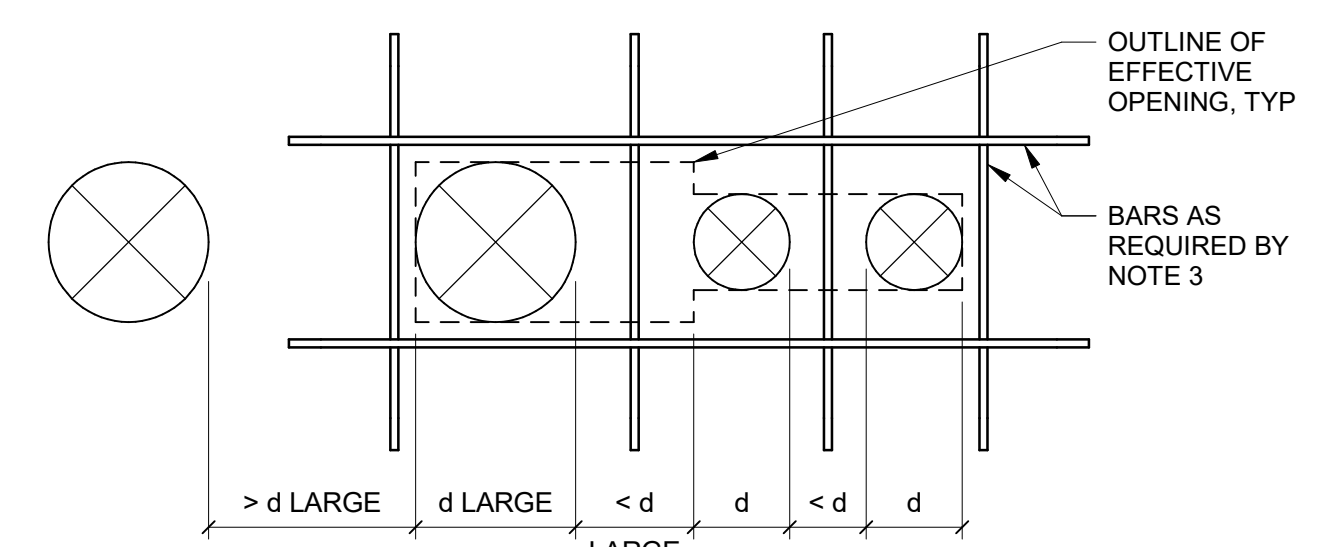
ABBREVIATIONS

d_b = BAR DIAMETER
 L_d = TENSION DEVELOPMENT LENGTH FOR A TOP BAR
 L_{dt} = TENSION DEVELOPMENT LENGTH FOR A TOP BAR
 L_b = CLASS B LAP SPLICE LENGTH, 1.3 L_d
 L_{bt} = CLASS B LAP SPLICE LENGTH FOR A TOP BAR, 1.3 L_{dt}
 L_{dh} = TENSION DEVELOPMENT LENGTH FOR A STANDARD HOOK

NOTES:

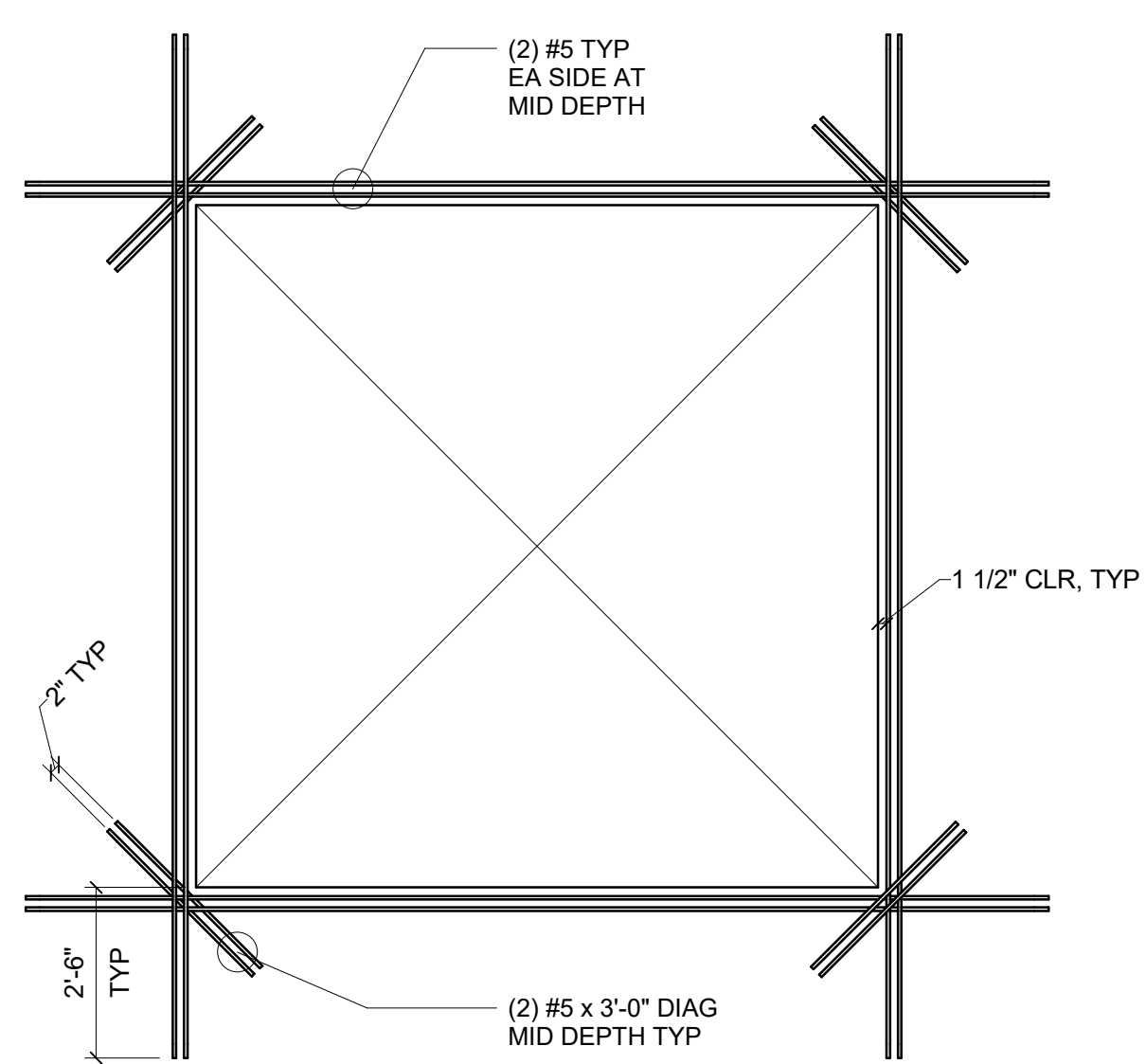
- USE THE LENGTHS IN THIS SCHEDULE, UNLESS NOTED OTHERWISE.
- USE LENGTH IN () WHEN BAR COVER IS d_b OR LESS OR BAR CLEAR SPACING IS $2d_b$ OR LESS.
- A TOP BAR IS A HORIZONTAL BAR WITH MORE THAN 12" OF FRESH CONCRETE CAST BELOW IT.

2 ABBREVIATIONS
NO SCALE

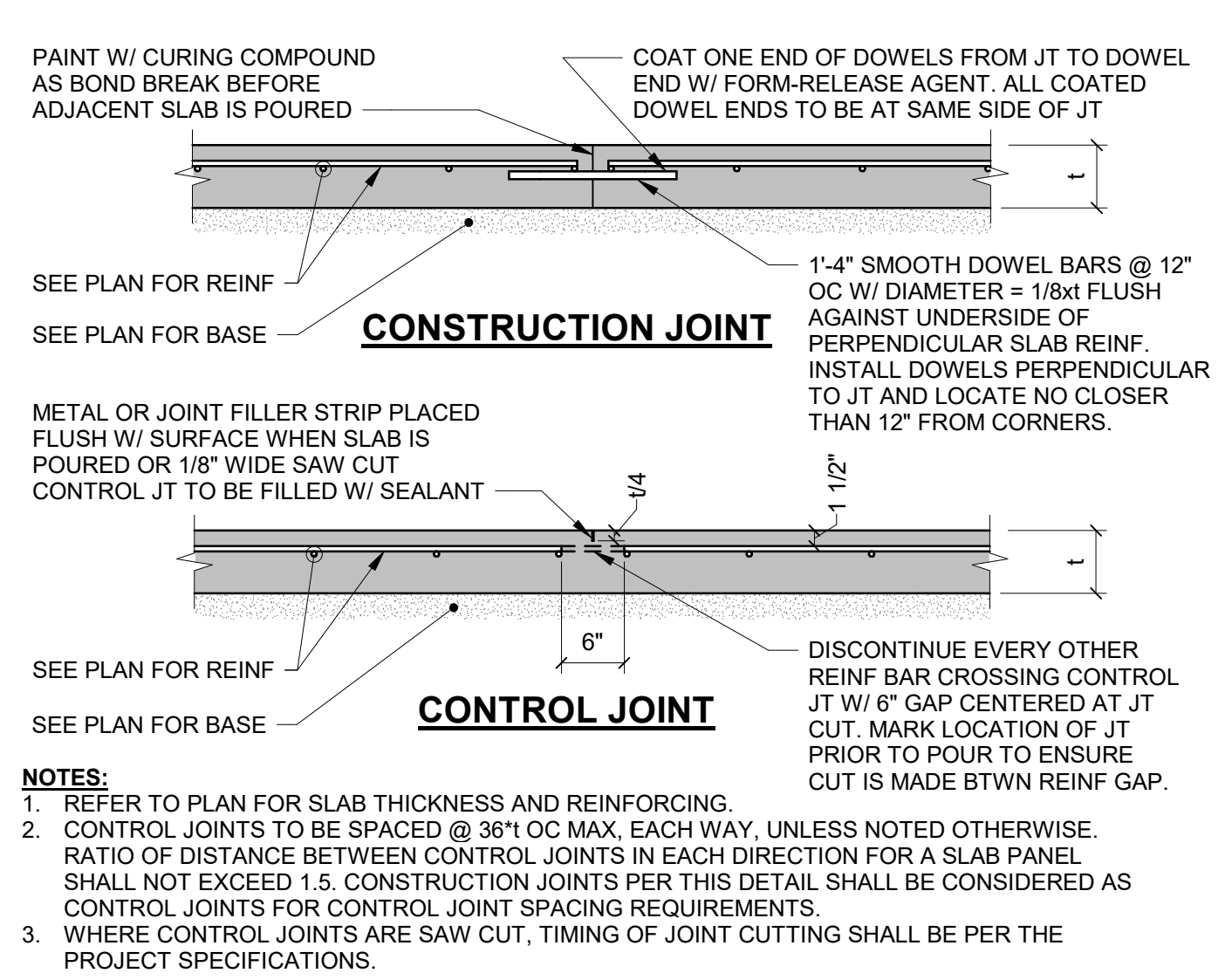


- NOTES:**
- DETAIL FOR USE WHERE PENETRATIONS ARE LESS THAN 1'-0" LONG AND WIDE. IF THE EFFECTIVE OPENING LENGTH OR WIDTH IS GREATER THAN 1'-0", FOLLOW THE TRIM REQUIREMENTS PER AND/OR
 - SPREAD INTERRUPTED REINFORCING AROUND PENETRATIONS.
 - AT MULTIPLE SLAB PENETRATIONS, WHERE THE CLEAR DISTANCE BETWEEN ADJACENT PENETRATIONS IS LESS THAN THE DIAMETER OF THE LARGER PENETRATION, PROVIDE (1) #4 TOP AND BOTTOM TRIM BARS ALL AROUND THE EFFECTIVE OPENING AND BETWEEN PENETRATIONS. EXTEND TRIM BARS 1'-0" PAST THE EFFECTIVE OPENING EDGE. DIAGONAL BARS ARE NOT REQUIRED AT THESE CONDITIONS.
 - THE CLEAR DISTANCE BETWEEN ADJACENT PENETRATIONS SHALL NOT BE LESS THAN THE GREATER OF 1/2x DIAMETER OF THE PENETRATION OR 2".
 - SEE TYPICAL PENETRATIONS NEAR TENDON ANCHORS WHEN PENETRATIONS ARE ADJACENT TO TENDON ANCHORAGE.
 - PROVIDE A MINIMUM OF 3" CLEAR FROM THE EDGE OF THE EFFECTIVE OPENING TO ANY PT TENDON.
 - PENETRATIONS ARE NOT PERMITTED WITHIN 4'-0" OF COLUMNS UNLESS NOTED OTHERWISE OR APPROVED BY ENGINEER.
 - PENETRATIONS MUST REMAIN AT LEAST ONE DIAMETER CLEAR OF ADJACENT SLAB EDGES.
 - CONDUIT THAT SWEEPS OUT OF SLAB VERTICALLY SHOULD BE TREATED AS A PENETRATION.

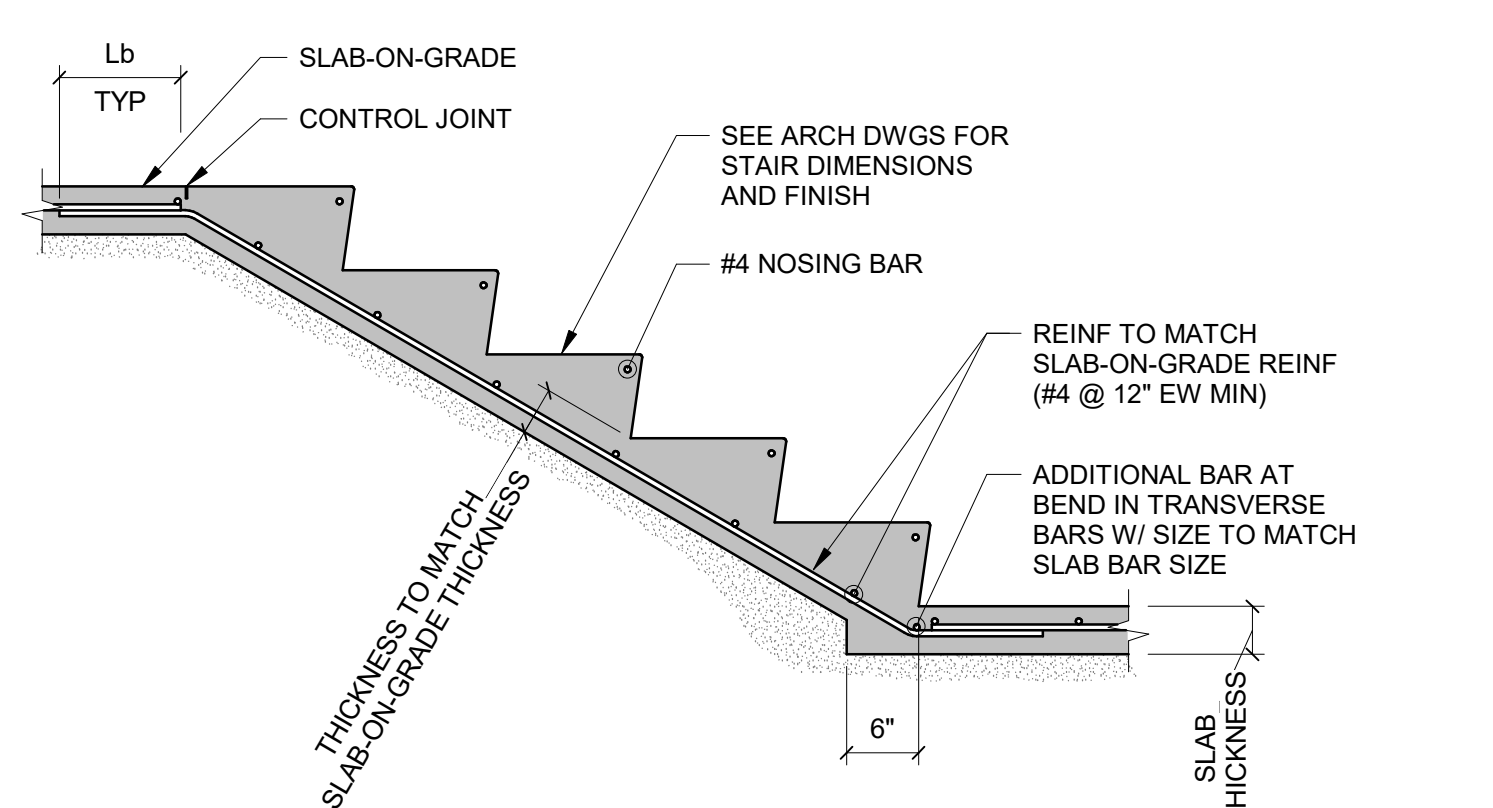
3 ACI 318-14 DEVELOPMENT AND SPLICE LENGTH SCHED
NO SCALE



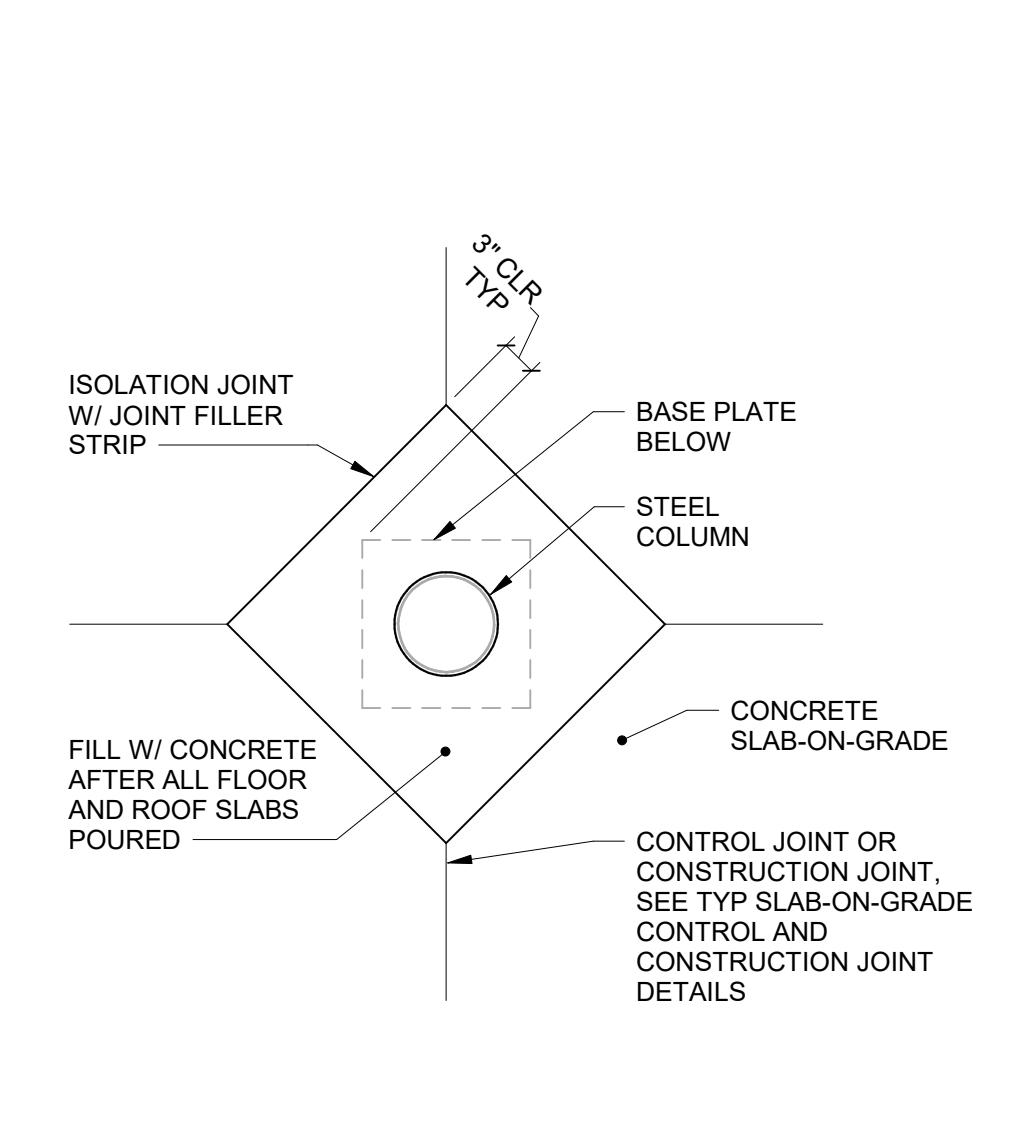
7 TYP SOG CONTROL & CONSTRUCTION JOINTS
NO SCALE



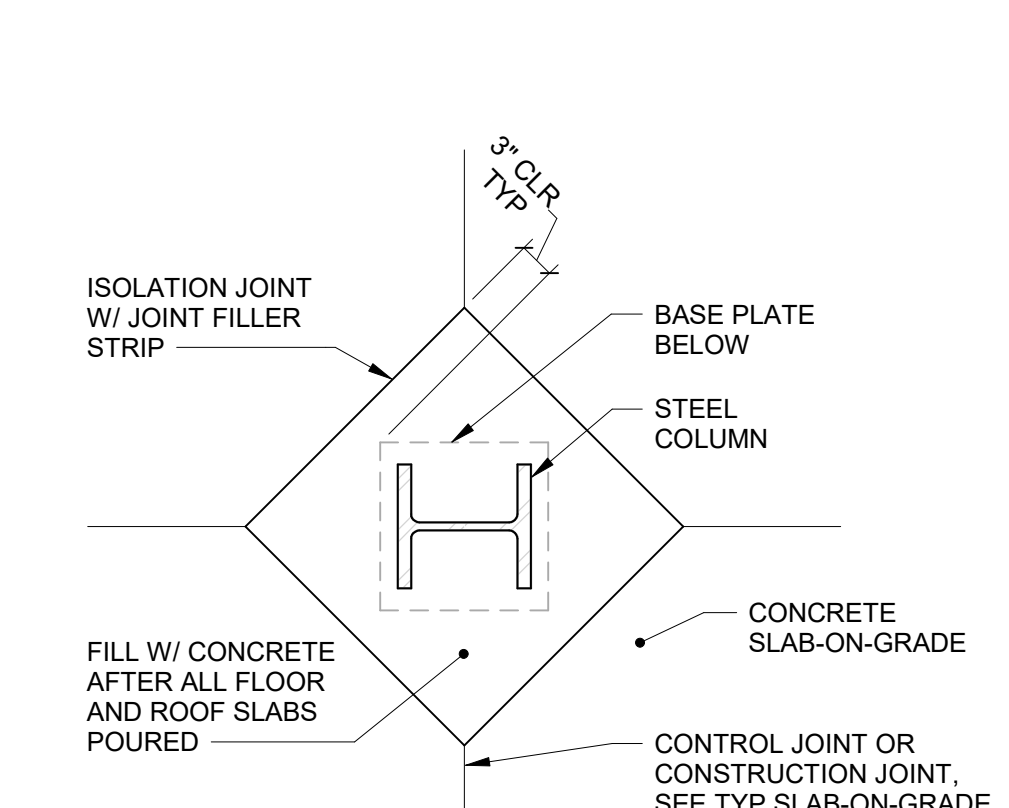
6 SLAB-ON-GRADE TRIM REINFORCEMENT
NO SCALE



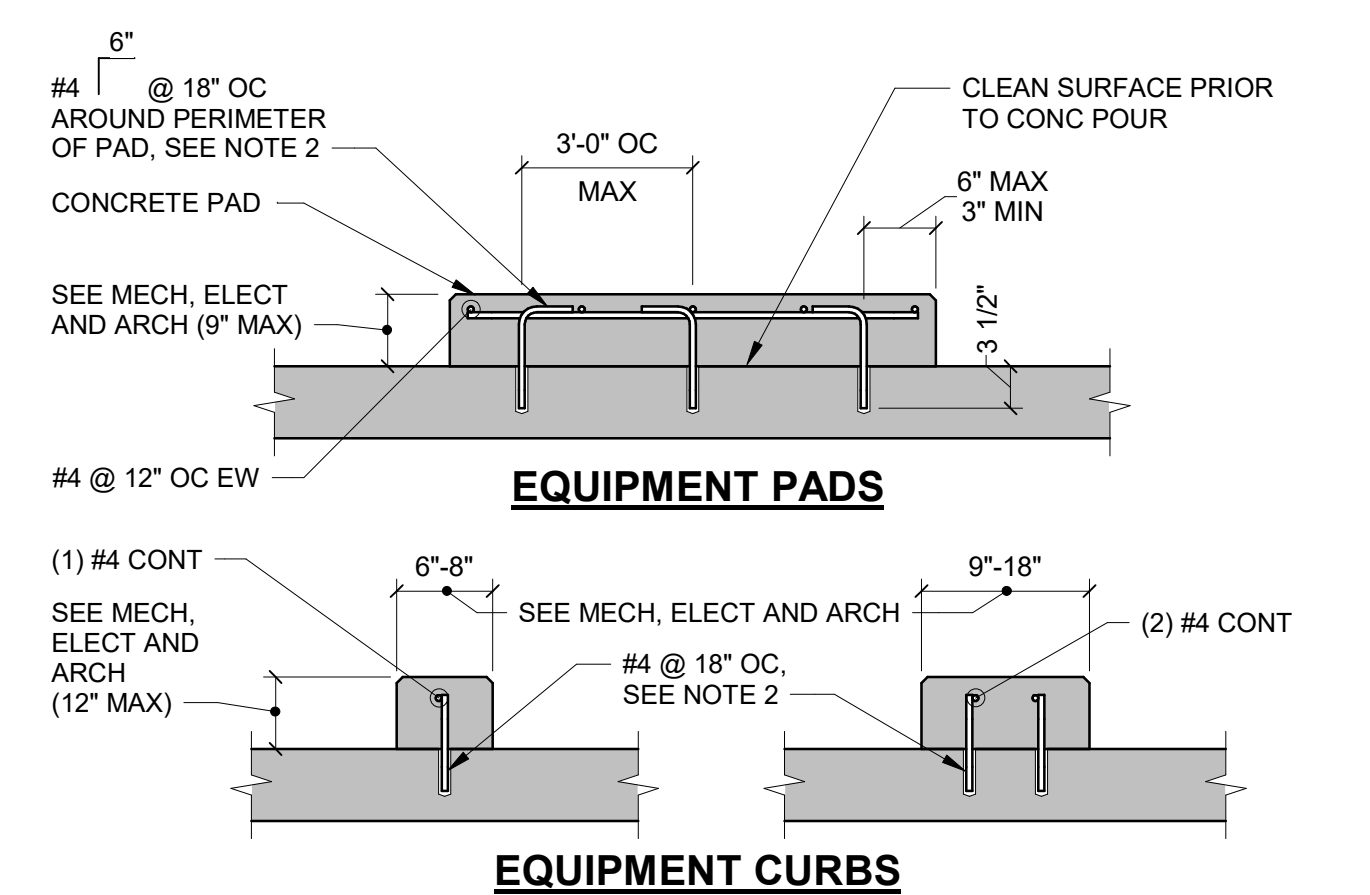
4 ACI 318-14 DEVELOPMENT AND SPLICE LENGTH SCHED
12" = 1'-0"



8 TYP ISOLATION JOINT AT STEEL COL
NO SCALE

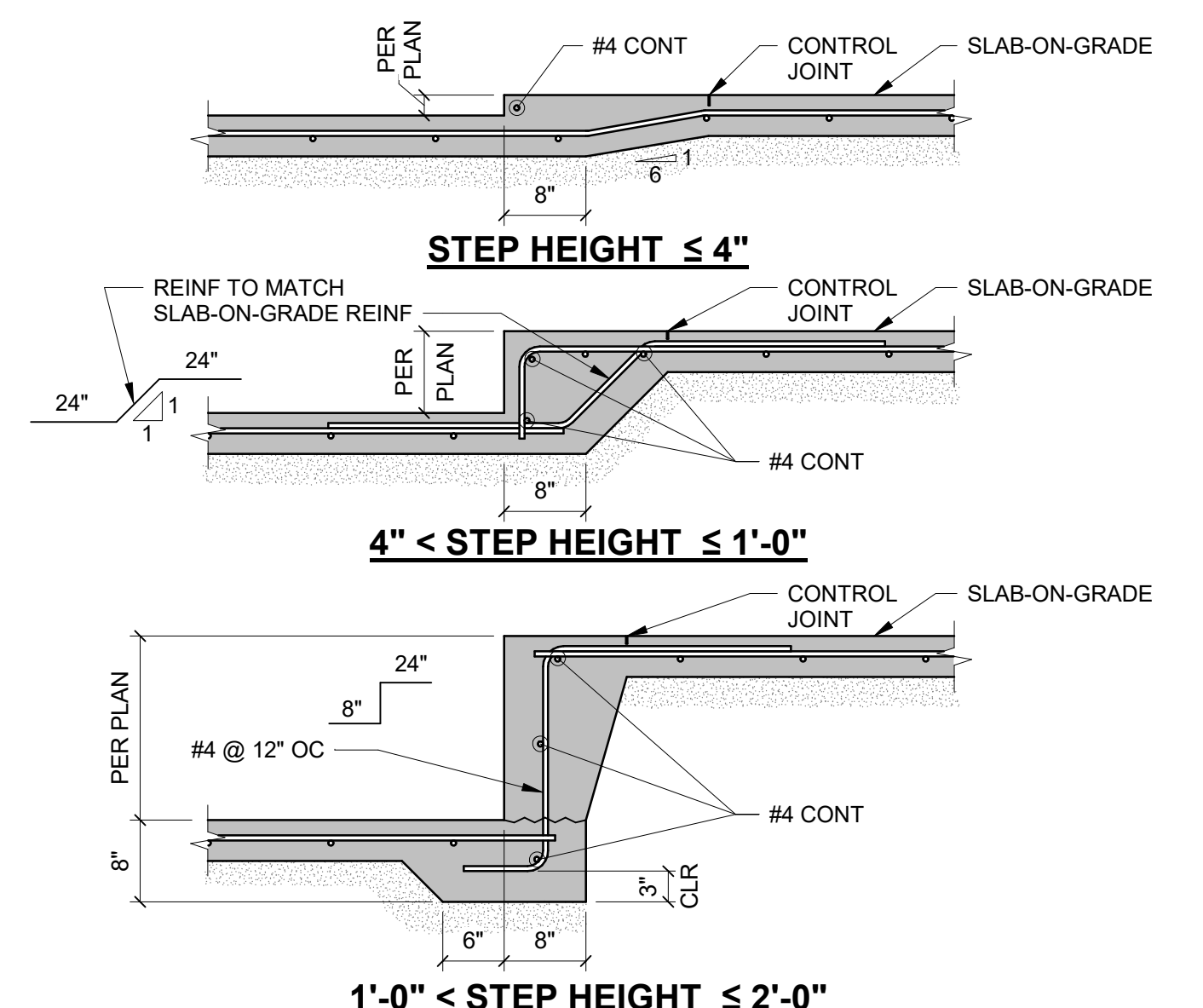


5 TYP PT SLAB PENETRATIONS
NO SCALE

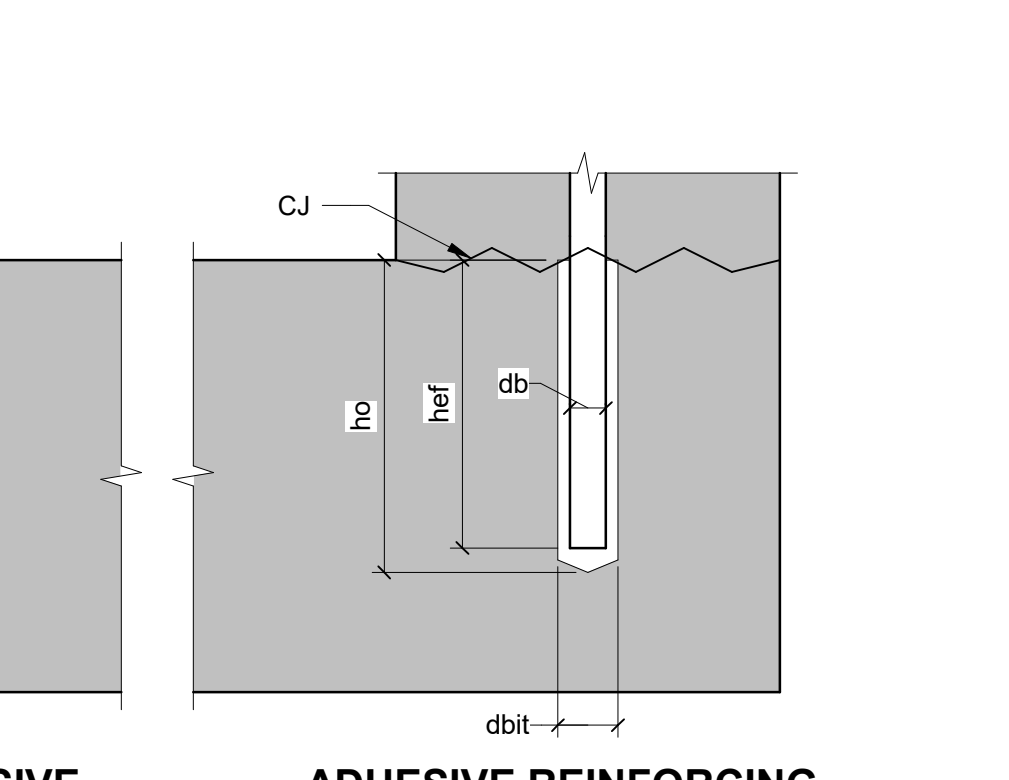


9 TYP CURBS & PADS ON CONCRETE SLAB-ON-GRADE
NO SCALE

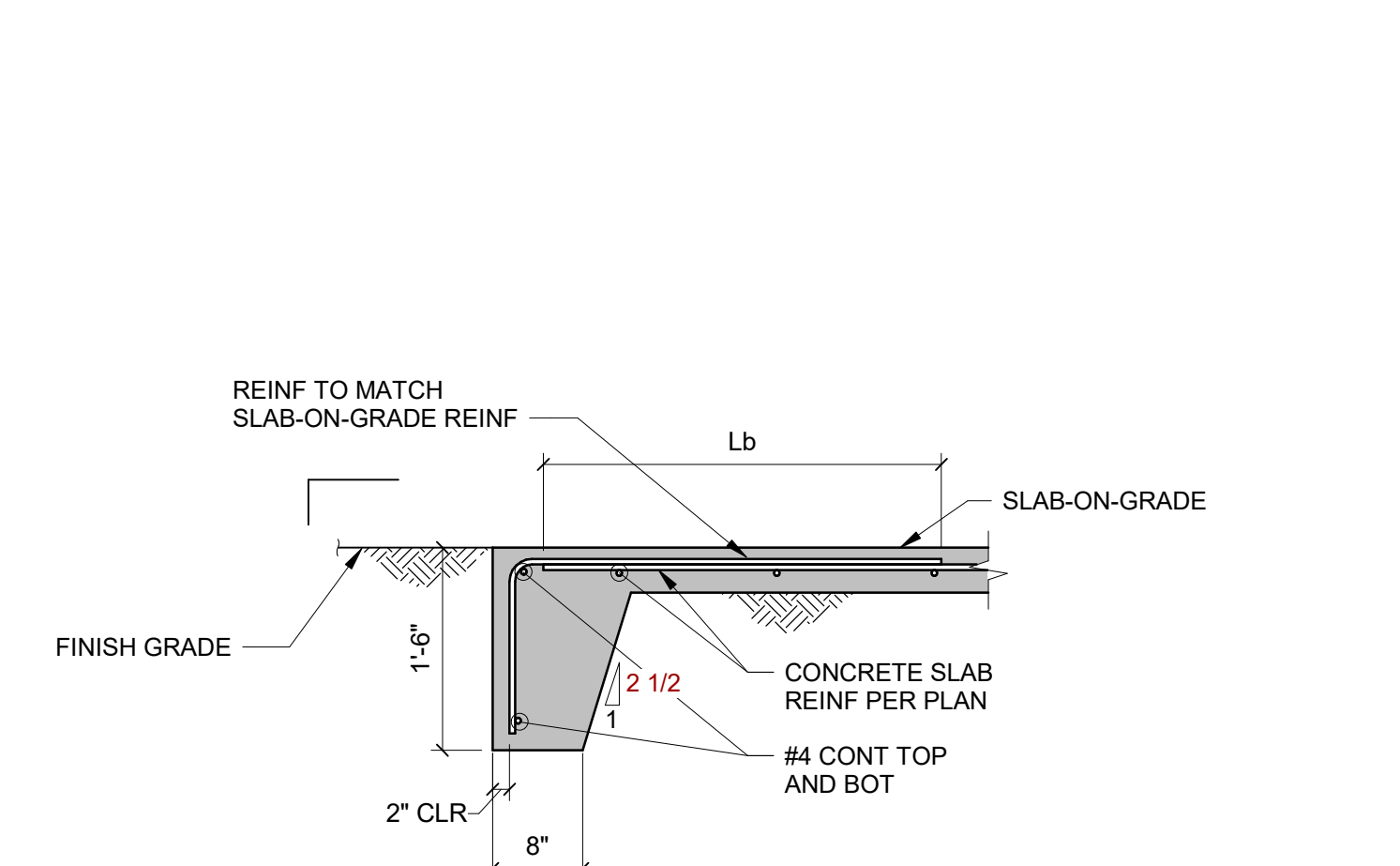
11 TYP SLAB-ON-GRADE STEP
NO SCALE



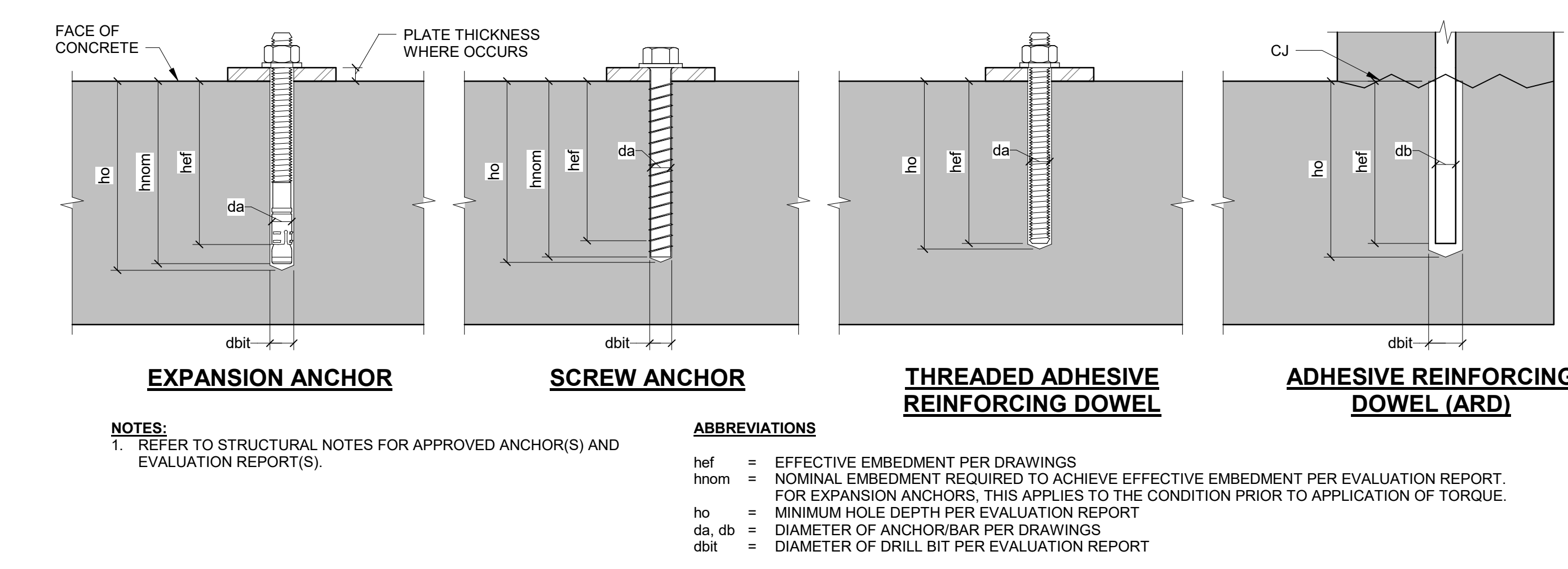
12 TYP ISOLATION JOINT AT STEEL COL
NO SCALE



10 TYP STAIR-ON-GRADE
NO SCALE

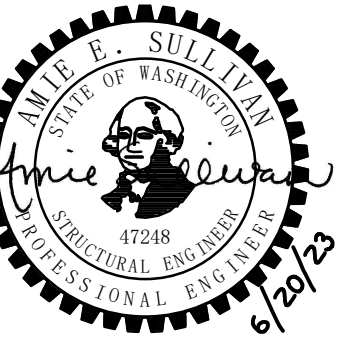


15 TYPICAL POST-INSTALLED ANCHORS
NO SCALE



- NOTES:**
- REFER TO STRUCTURAL NOTES FOR APPROVED ANCHOR(S) AND EVALUATION REPORT(S).
- ABBREVIATIONS**
- h_{ef} = EFFECTIVE EMBEDMENT PER DRAWINGS
 h_{nom} = NOMINAL EMBEDMENT REQUIRED TO ACHIEVE EFFECTIVE EMBEDMENT PER EVALUATION REPORT. FOR EXPANSION ANCHORS, THIS APPLIES TO THE CONDITION PRIOR TO APPLICATION OF TORQUE.
 h_o = MINIMUM HOLE DEPTH PER EVALUATION REPORT
 d_a, d_b = DIAMETER OF ANCHOR/BAR PER DRAWINGS
 d_{bit} = DIAMETER OF DRILL BIT PER EVALUATION REPORT

14 TYP DOWNTURNED SLAB EDGE DETAIL
NO SCALE



PROJECT:
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PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK	DATE	DESCRIPTION
REVISIONS		

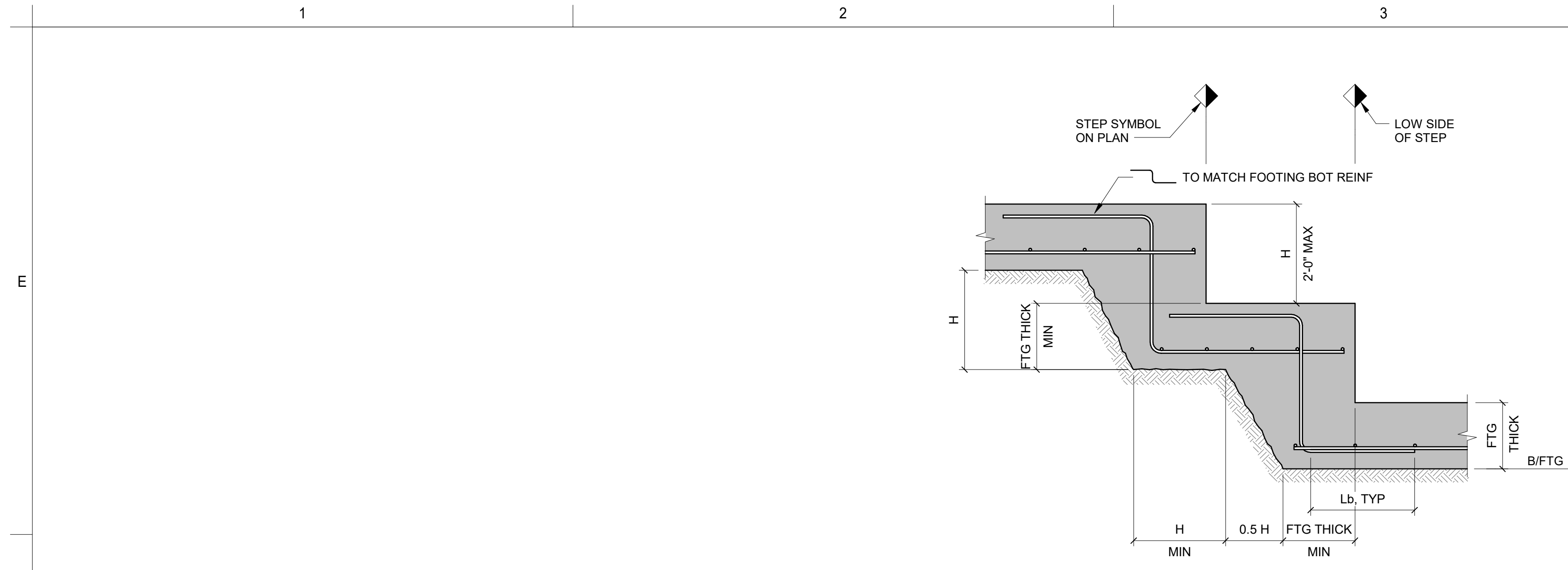
ISSUE INFORMATION

MARK	DATE	DESCRIPTION

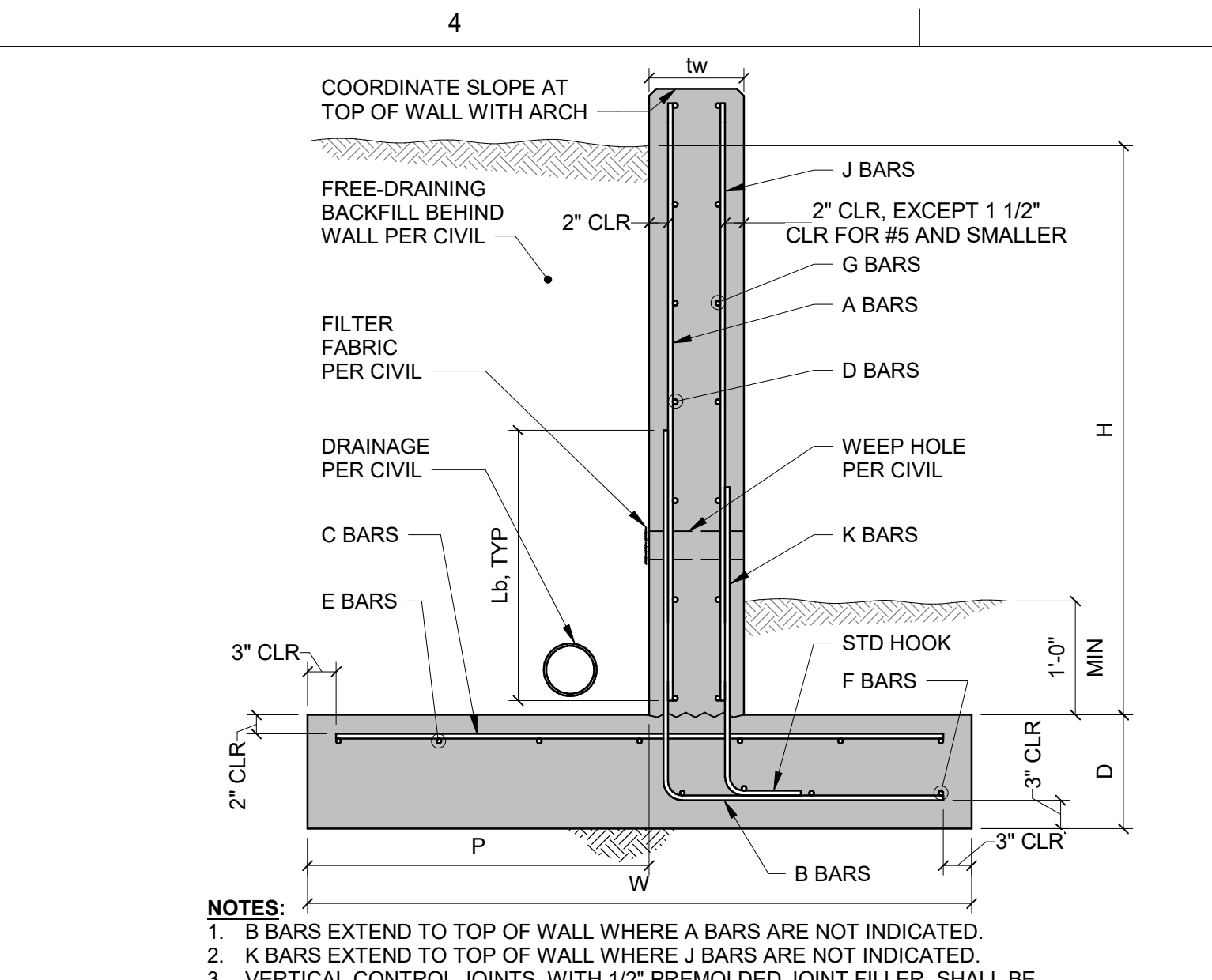
PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
TYPICAL CONCRETE DETAILS
SHEET NO.
S-401

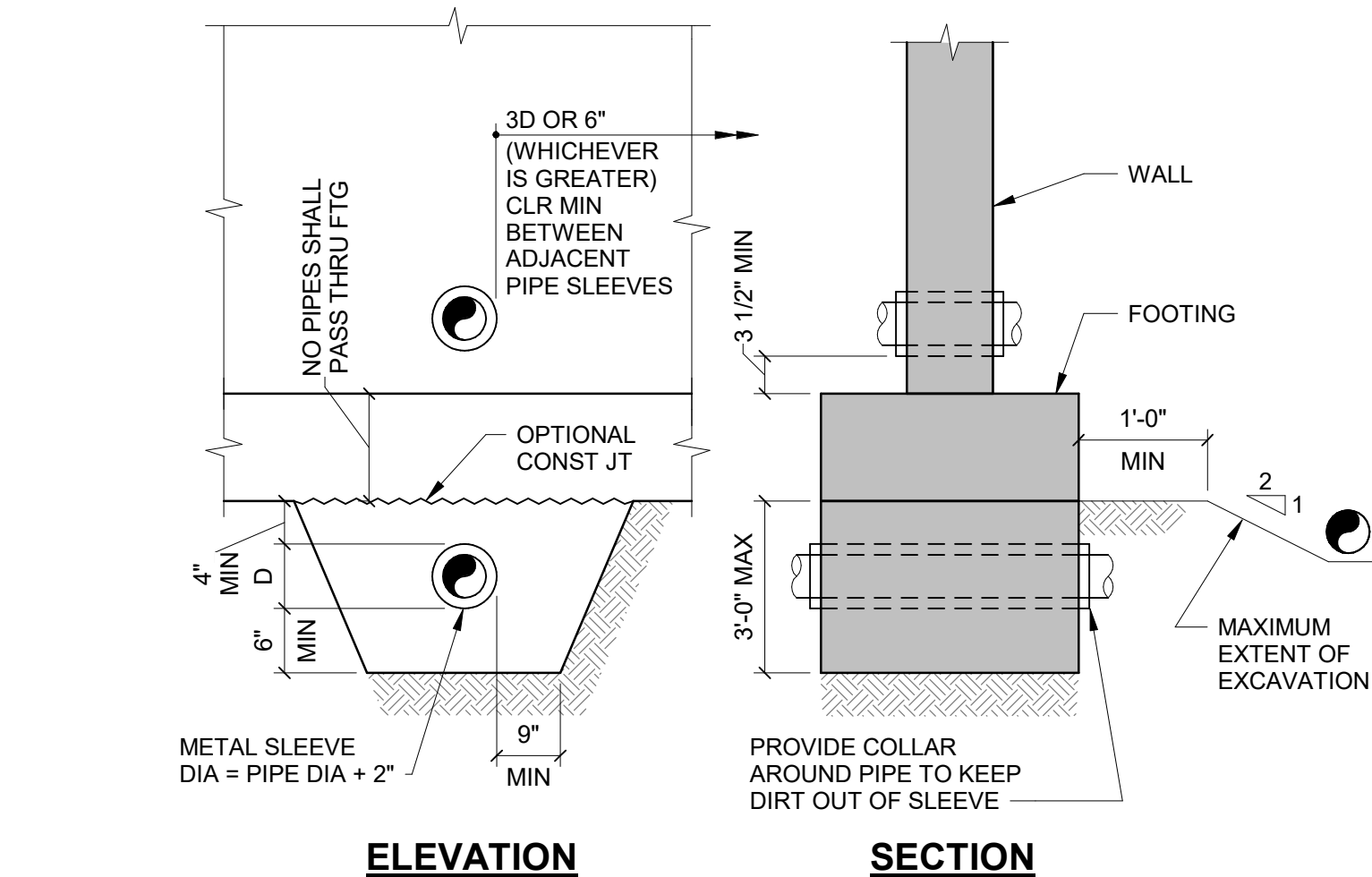
06.22.2023 - 50% DD SET



2 TYP STEPPED FOOTING DETAIL
NO SCALE



3 CANTILEVERED RETAINING WALL DETAIL
NO SCALE



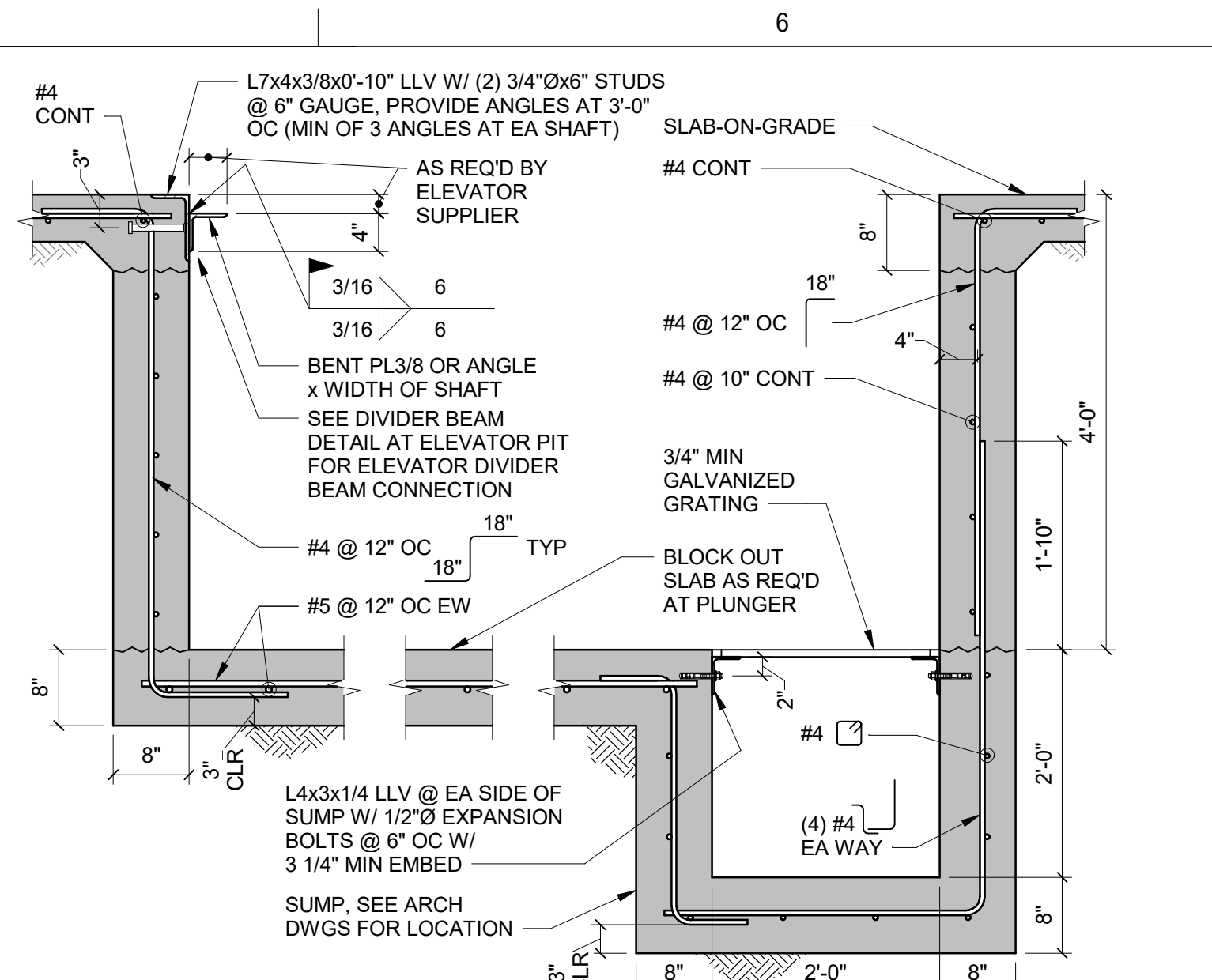
7 TYP DETAIL OF PIPE AT FOOTINGS
NO SCALE



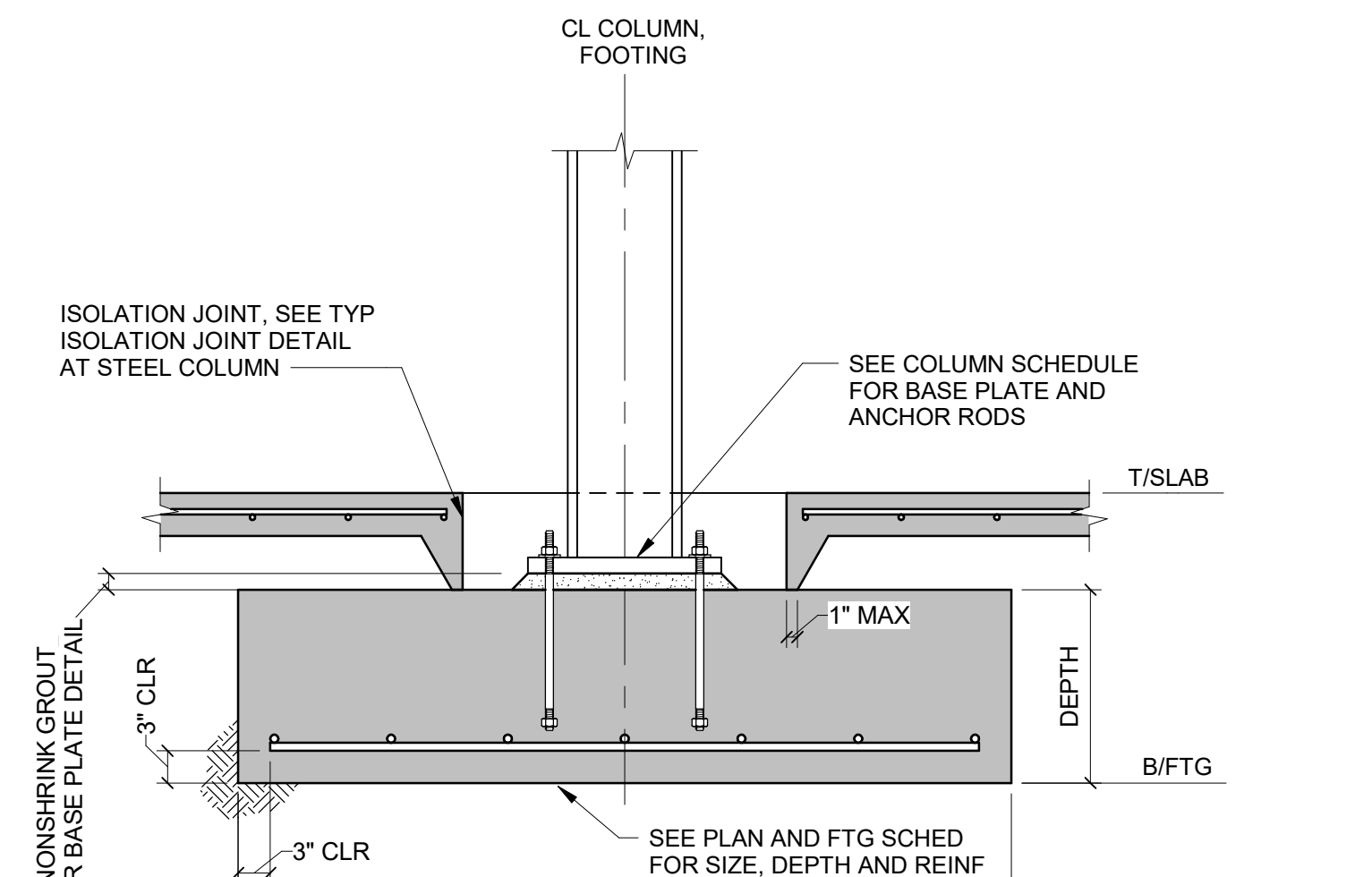
8 TYP INTERIOR STEEL COLUMN FOOTING
NO SCALE



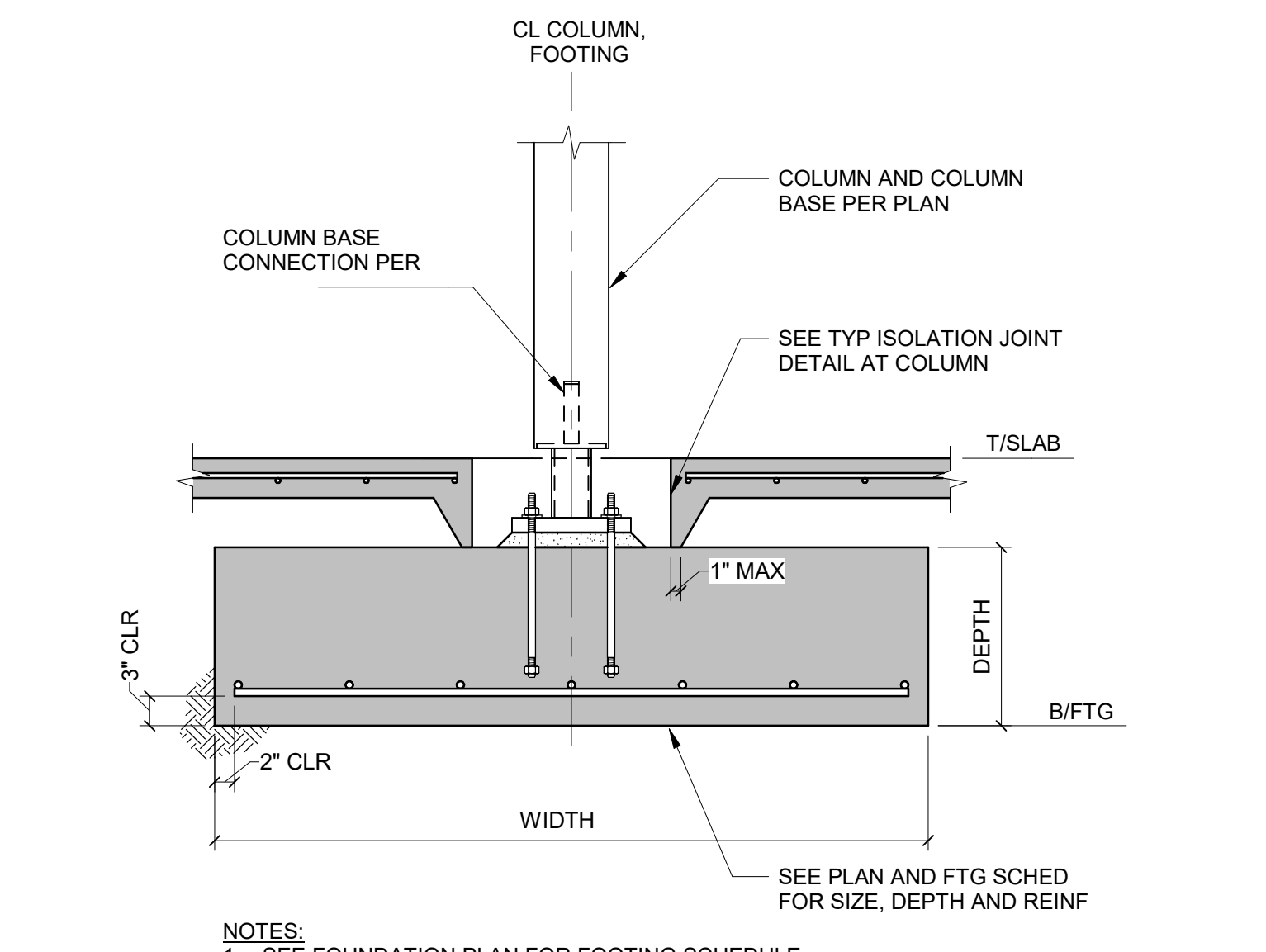
12 TYP INTERIOR WOOD COLUMN FOOTING
NO SCALE



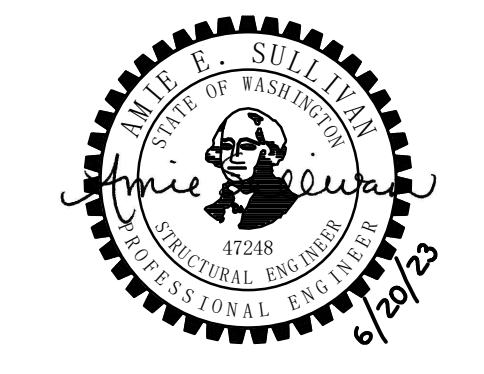
4 ELEVATOR PIT DETAIL
NO SCALE



8 TYP INTERIOR STEEL COLUMN FOOTING
NO SCALE



12 TYP INTERIOR WOOD COLUMN FOOTING
NO SCALE



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

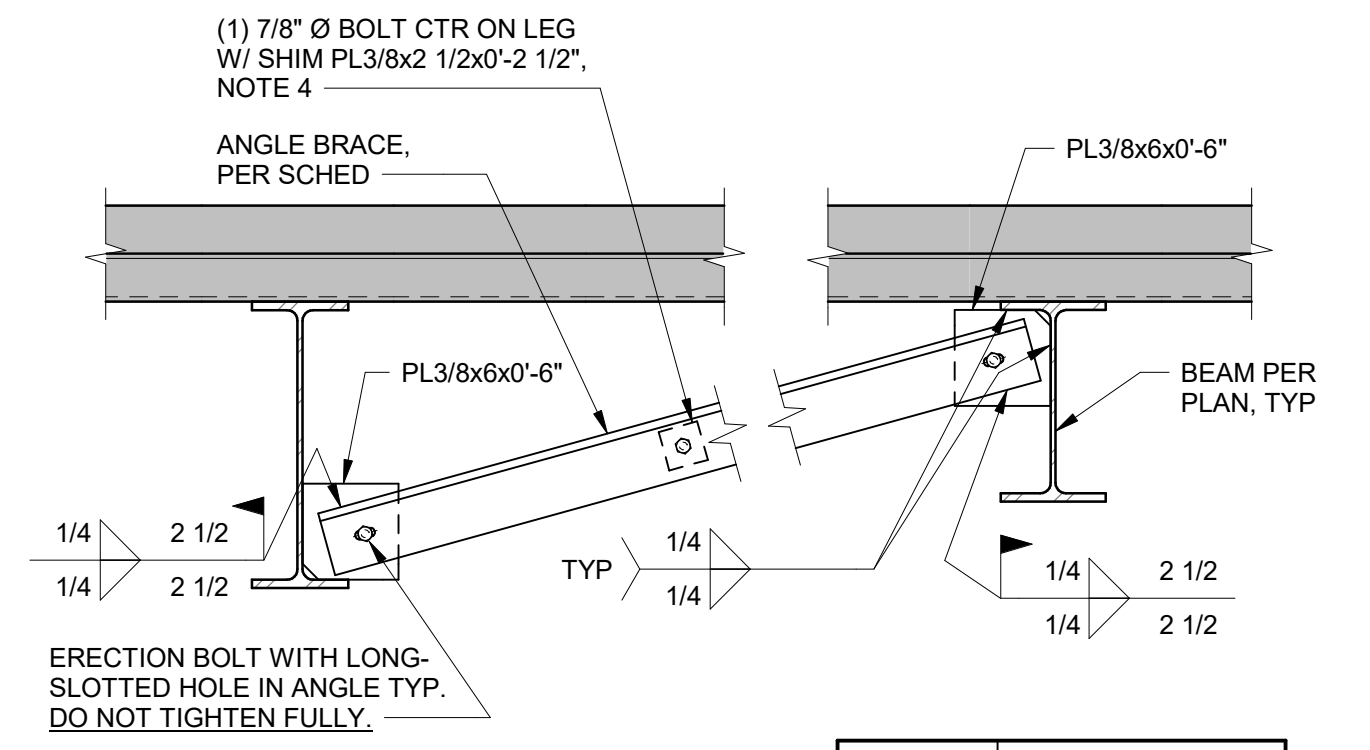
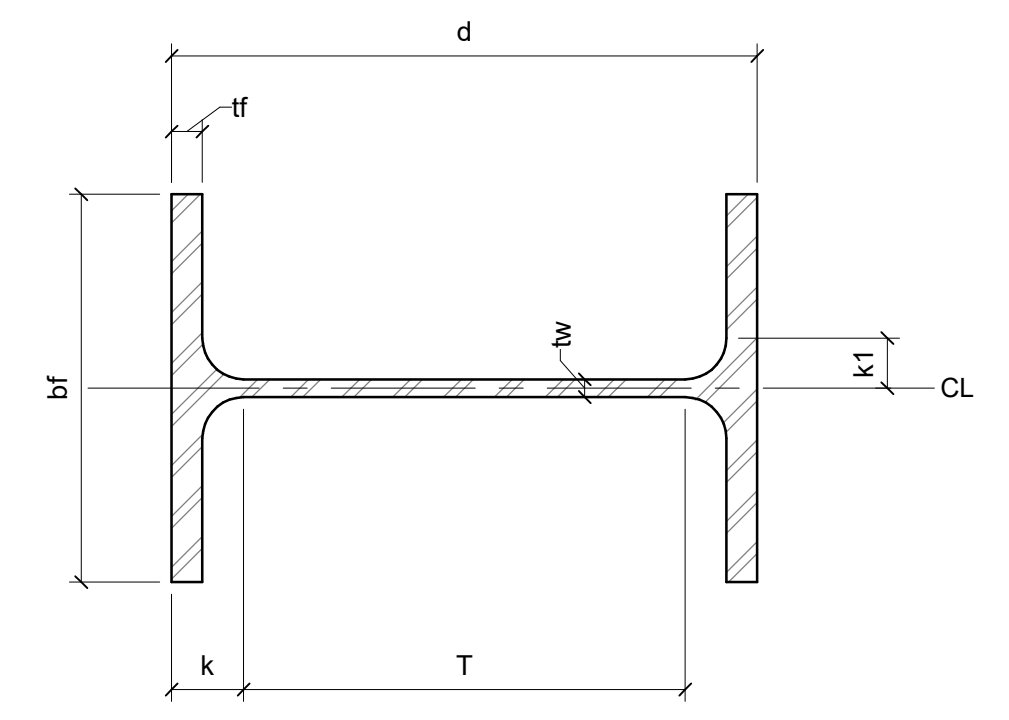
SHEET TITLE
TYPICAL STEEL DETAILS

SHEET NO.
S-500

06.22.2023 - 50% DD SET

CONNECTION NOTES:

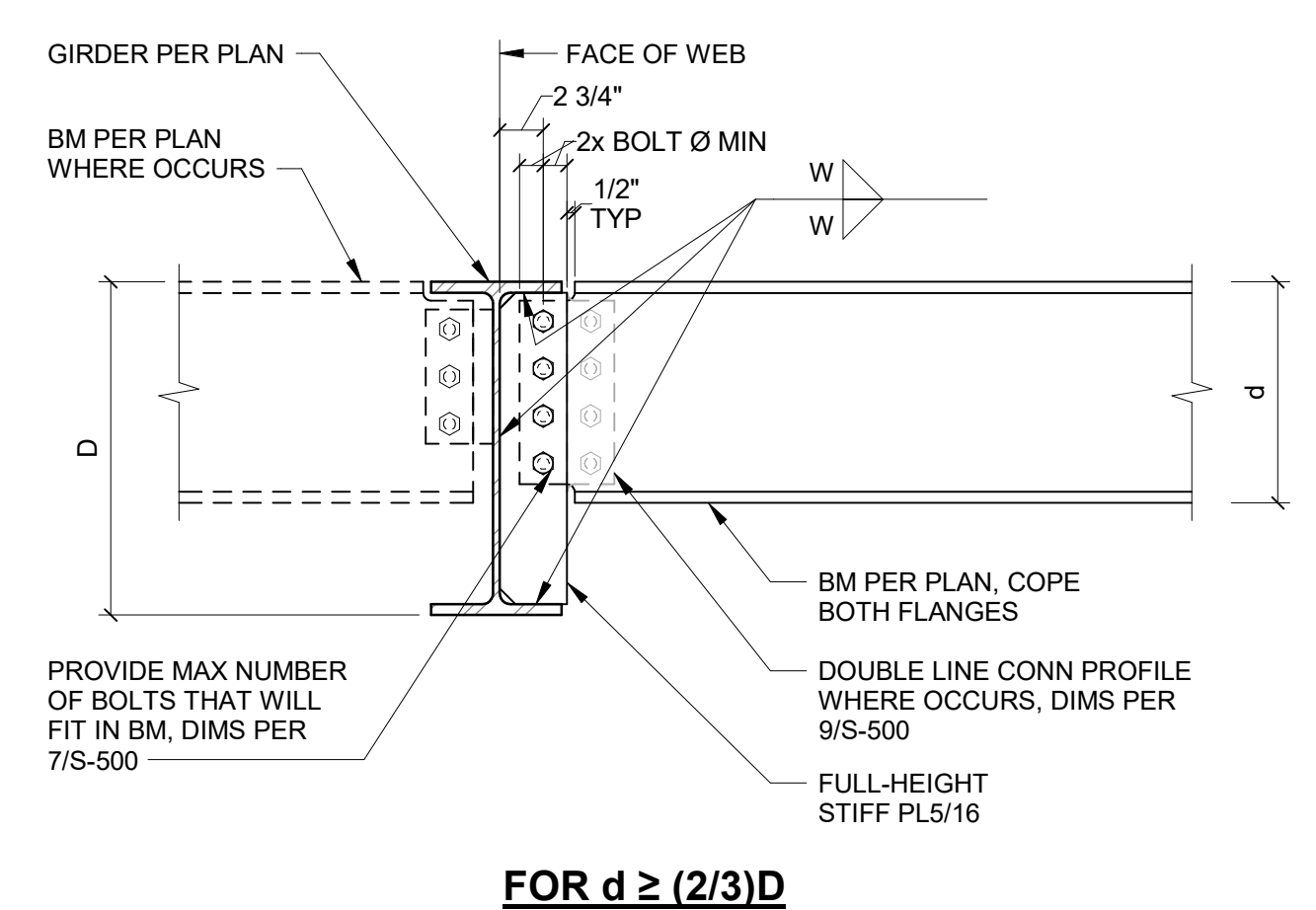
- ALL BOLTED CONNECTIONS TO BE TYPE N WITH FULLY PRETENSIONED ASTM A325-N BOLTS PER AISC STANDARDS EXCEPT WHERE "SNUG TIGHT", "FINGER TIGHT" OR "SLIP CRITICAL" CONNECTIONS ARE INDICATED.
- BOLTS IN BEAM TO BEAM CONNECTIONS MAY BE TIGHTENED TO AISC "SNUG TIGHT" CONDITION UPON APPROVAL OF ENGINEER AND OWNER.
- CONNECTIONS TO HAVE AISC STANDARD ROUND HOLES EXCEPT AS NOTED OTHERWISE.
- BEAM CONNECTIONS TO BE PER THE STANDARD BOLTED BEAM CONNECTION DETAIL UNLESS NOTED OTHERWISE.
- [5]** SHOWN ON PLANS INDICATES NUMBER OF BOLTS REQUIRED IF DIFFERENT FROM NUMBER OF BOLTS REQUIRED USING 7/S-500.
- [5.2]** SHOWN ON PLANS INDICATES NUMBER OF BOLTS REQUIRED IN A DOUBLE LINE CONNECTION. SEE 9/S-500.
- [SC]** SHOWN ON PLANS INDICATES A "SLIP CRITICAL" CONNECTION REQUIRED. BOLTS MUST BE FULLY PRETENSIONED PER AISC STANDARDS. SEE THE APPROPRIATE CONNECTION DETAIL FOR OTHER INFORMATION.
- [FH]** SHOWN ON PLANS INDICATES FULL HEIGHT STIFFENER PLATE REQUIRED. SEE 5/S-500.
- ALTERNATE CONNECTION DETAILS MAY BE SUBMITTED TO THE ENGINEER FOR REVIEW AND SHALL BE ACCOMPANIED BY CALCULATIONS BEARING THE SEAL AND SIGNATURE OF THE WASHINGTON STATE STRUCTURAL ENGINEER WHO IS RESPONSIBLE FOR THE DESIGN. ALTERNATE CONNECTIONS SHALL HAVE EQUAL OR GREATER CAPACITY THAN THE CONNECTIONS SHOWN ON THE DRAWINGS.
- FOR MEMBERS DESIGNATED AS PART OF THE SFRS, WELD TABS SHALL BE REMOVED UPON COMPLETION AND COOLING OF THE WELD, AND THE ENDS OF THE WELD SHALL BE MADE SMOOTH AND FLUSH WITH THE EDGES OF ABUTTING PARTS.



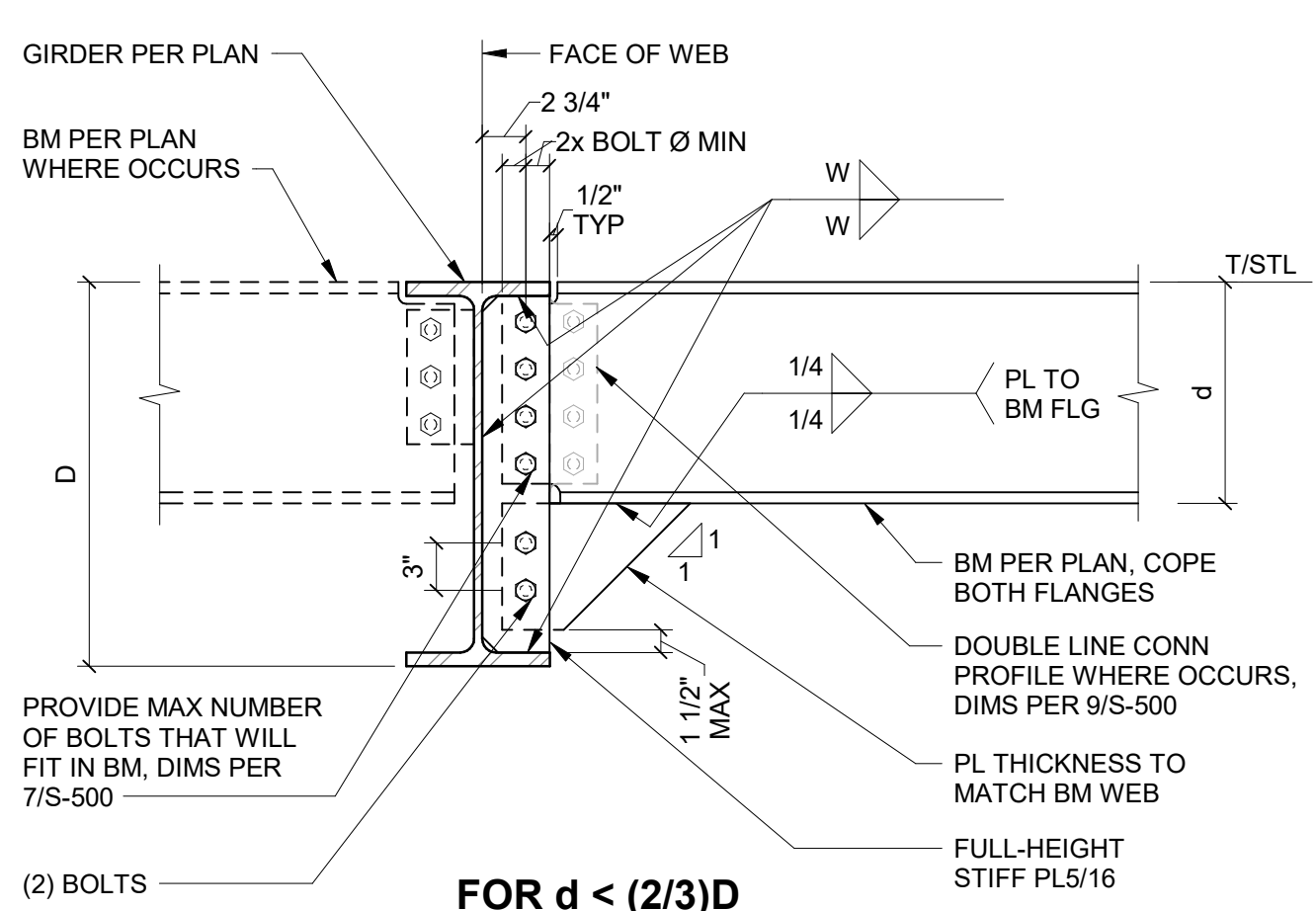
MARK	BRACE
B1	L3-1/2x3-1/2x1/4
B2	L4x4x1/4
B3	L4x4x3/8
B4	L4x4x5/8
B5	(2) L3-1/2x3-1/2x5/16

- NOTES:**
- LOCATE BRACING AT MID-SPAN OF GIRDERS, UNLESS NOTED OTHERWISE.
 - B1 - DESIGNATION ON PLAN, ARROW POINTS TO BEAM WITH BOTTOM FLANGE BRACE CONNECTION.
 - BRACING TO BE WELDED AFTER CONCRETE ON STEEL DECK HAS BEEN POURED.
 - PROVIDE INTERMEDIATE BOLT CONNECTION LOCATED MID-SPAN ALONG BRACE AT ALL DOUBLE ANGLE BRACES.

2 TYP CONNECTION NOTES
NO SCALE



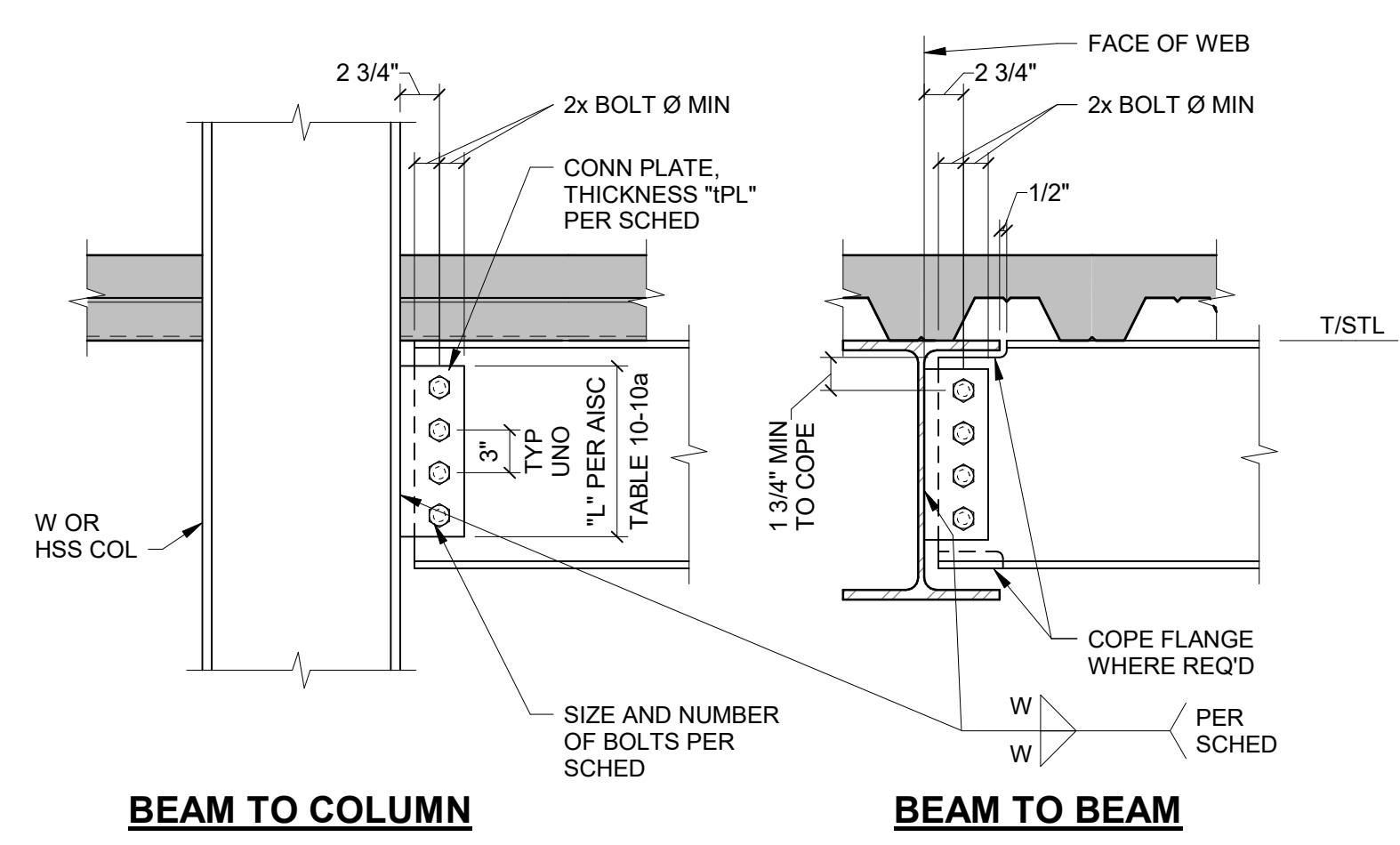
FOR d ≥ (2/3)D



FOR d < (2/3)D

- NOTES:**
- WELD SIZE "W" AND BOLT SIZE PER 7/S-500.

3 TYP ABBREVIATIONS
NO SCALE

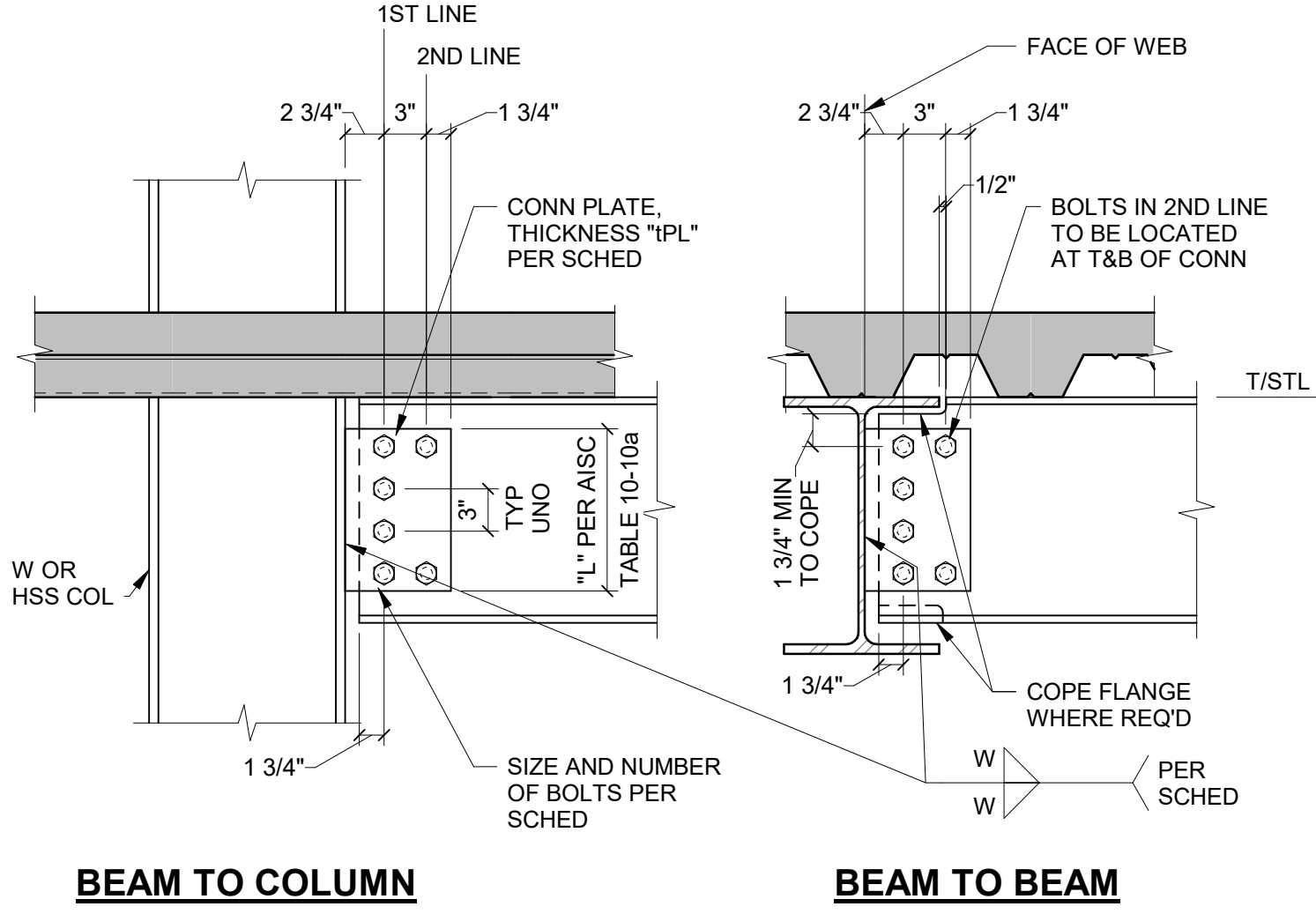


- NOTES:**
- SHORT SLOTTED HOLES MAY BE USED AT ALL COLUMN CONNECTIONS AS AN OPTION. FOR 9, 10, 11, AND 12 BOLT GROUPS, USE SHORT SLOTTED HOLES AT CONNECTIONS TO COLUMNS.
 - FOR BEAM TO COLUMN WEB CONNECTION AT W14 AND SMALLER COLUMNS, USE 13/S-500.

4 TYP DIAGONAL BOTTOM FLANGE BRACING
NO SCALE

BEAM SIZE	NUMBER AND SIZE OF BOLTS REQUIRED	MIN PLATE THICKNESS "TPL"	WELD SIZE "W"
W6, C4, C6, C7	(2) 3/4" Ø @ 2" GA	1/4"	3/16"
W8, C8, C9	(2) 7/8" Ø	1/4"	3/16"
W10, C10	(2) 7/8" Ø	1/4"	3/16"
W12, C12	(3) 7/8" Ø	1/4"	3/16"
W14, C15	(3) 7/8" Ø	1/4"	3/16"
W16	(4) 7/8" Ø	1/4"	3/16"
W18	(4) 7/8" Ø	5/16"	1/4"
W21	(5) 7/8" Ø	5/16"	1/4"
W24	(6) 7/8" Ø	5/16"	1/4"
W27	(7) 7/8" Ø	3/8"	1/4"
W30	(8) 7/8" Ø	3/8"	1/4"
W33	(9) 7/8" Ø *	1/2"	5/16"
W36	(10) 7/8" Ø *	1/2"	5/16"
W40	(11) 7/8" Ø *	1/2"	5/16"
W44	(12) 7/8" Ø *	1/2"	5/16"

5 TYP BEAM-TO-GIRDER FULL-HEIGHT PLATE CONN
NO SCALE

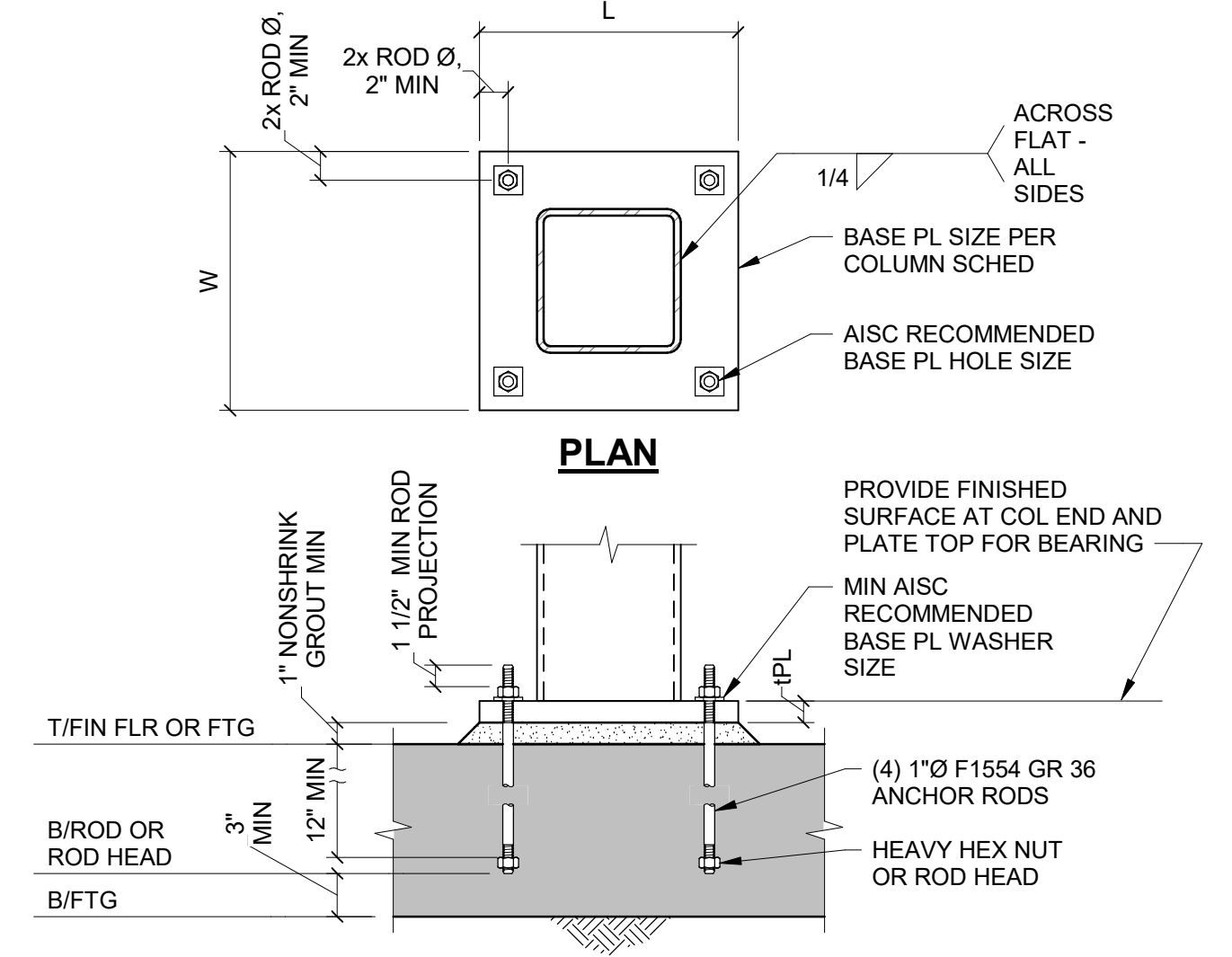
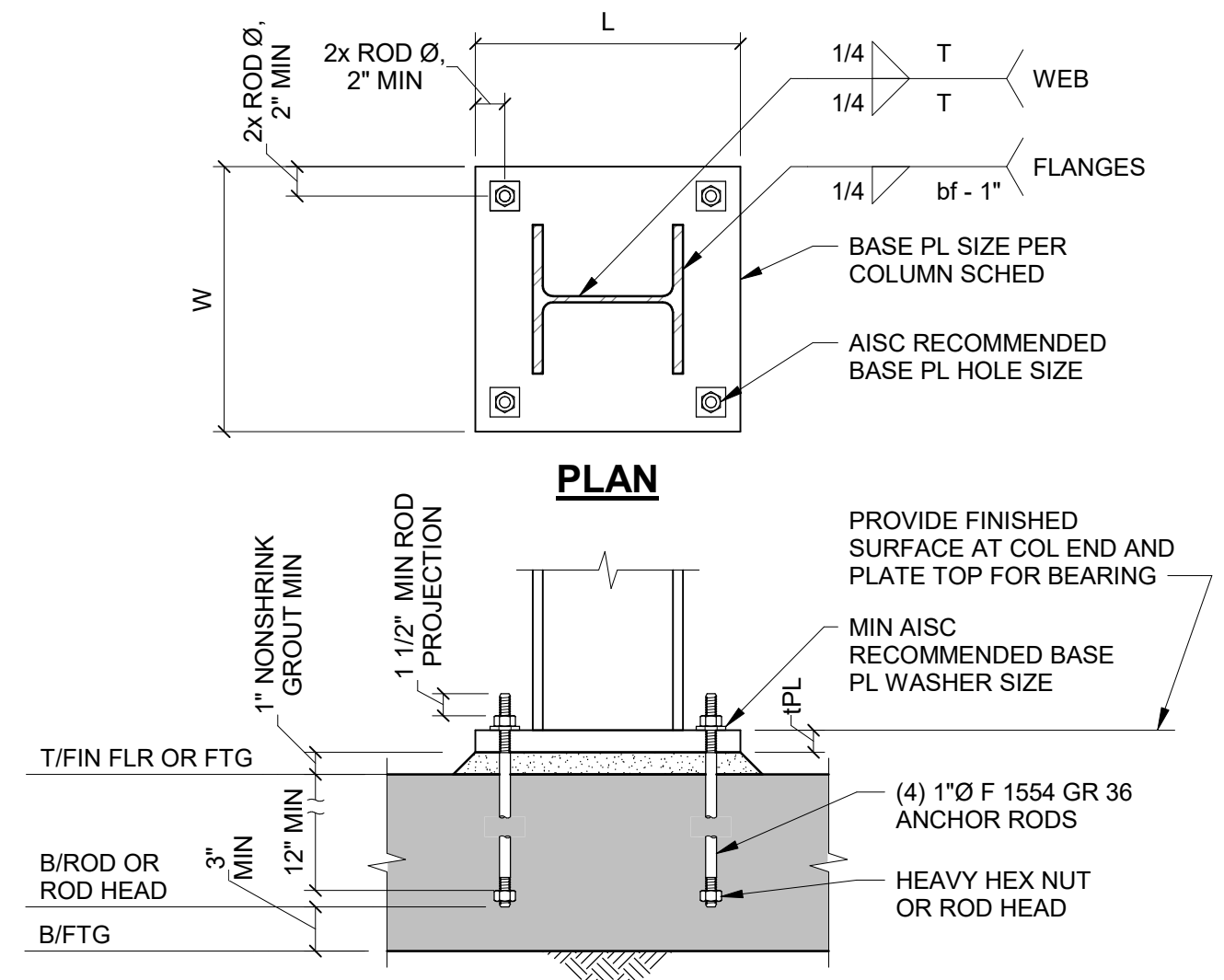


CONNECTION TYPE (X,Y)	BOLT SIZE	MIN PLATE THICKNESS "TPL"	WELD SIZE "W"
2,Y	7/8" Ø	3/8"	1/4"
3,Y	7/8" Ø	3/8"	1/4"
4,Y	7/8" Ø	7/16"	5/16"
5,Y	7/8" Ø	1/2"	5/16"
6,Y	7/8" Ø	1/2"	5/16"
7,Y	7/8" Ø	9/16"	3/8"
8,Y	7/8" Ø	9/16"	3/8"
9,Y	7/8" Ø	5/8"	7/16"
10,Y	7/8" Ø	5/8"	7/16"
11,Y	7/8" Ø	5/8"	7/16"
12,Y	7/8" Ø	5/8"	7/16"

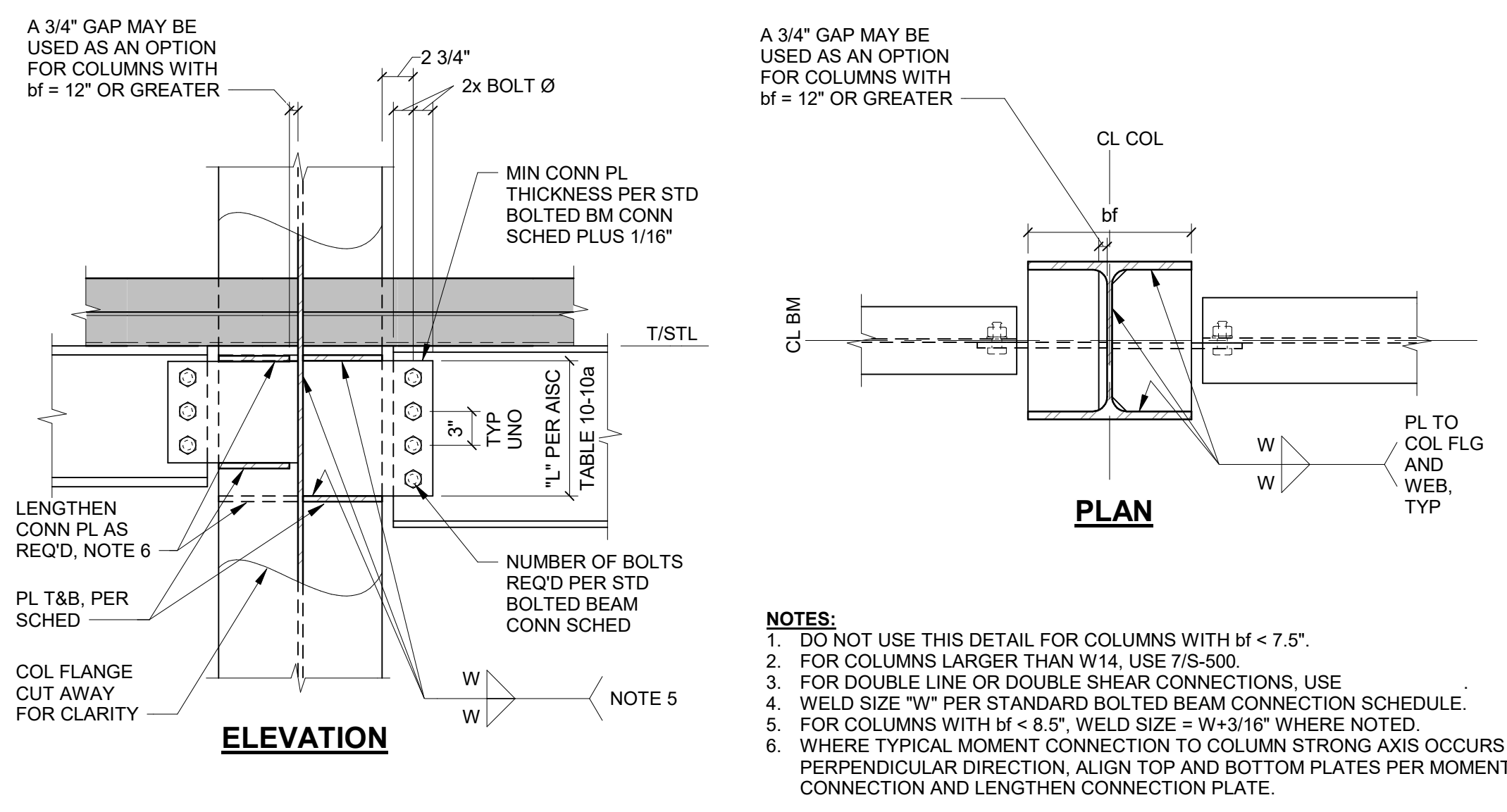
- EXAMPLE BOLT PATTERNS**
- [5.2]** (2) BOLTS 2ND LINE
 - [5.4]** (4) BOLTS 2ND LINE
 - [7.6]** (6) BOLTS 2ND LINE

- NOTES:**
- X = NUMBER OF BOLTS IN 1ST LINE.
 - Y = NUMBER OF BOLTS IN 2ND LINE.
 - FOR BEAM TO COLUMN WEB CONNECTION AT W14 AND SMALLER COLUMNS, USE 13/S-500.

7 TYP STANDARD BOLTED BEAM CONN (7/8" DIAMETER BOLTS)
NO SCALE



9 TYP DOUBLE LINE BOLTED BEAM CONN (7/8" DIAMETER BOLTS)
NO SCALE



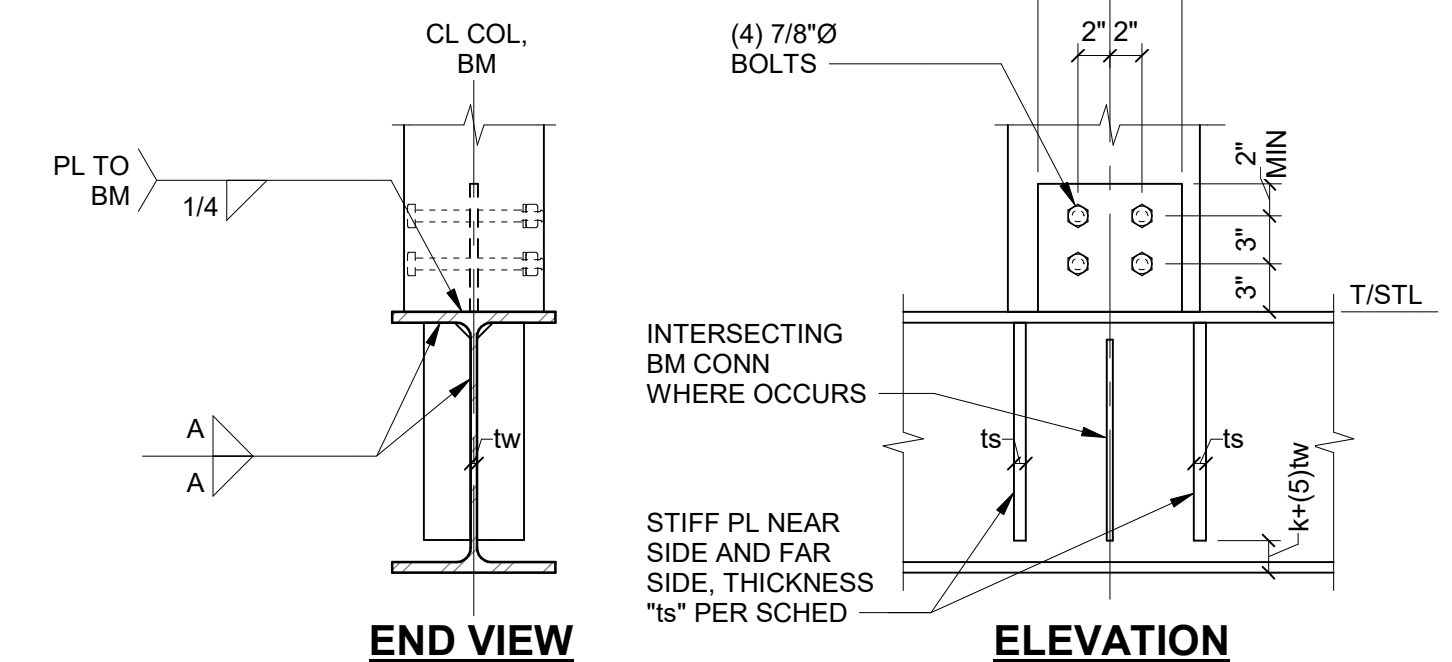
NUMBER OF BOLTS	MIN T&B PL SIZE
2	5/16"
3	5/16"
4	3/8"
5	3/8"
6	3/8"
7	3/8"
8	3/8"
9	1/2"
10	1/2"
11	1/2"
12	1/2"

- NOTES:**
- DO NOT USE THIS DETAIL FOR COLUMNS WITH bf < 7.5".
 - FOR COLUMNS LARGER THAN W14, USE 7/S-500.
 - FOR DOUBLE LINE OR DOUBLE SHEAR CONNECTIONS, USE
 - WELD SIZE "W" PER STANDARD BOLTED BEAM CONNECTION SCHEDULE.
 - FOR COLUMNS WITH bf < 9.5", WELD SIZE = W+3/16" WHERE NOTED.
 - WHERE TYPICAL MOMENT CONNECTION TO COLUMN STRONG AXIS OCCURS IN PERPENDICULAR DIRECTION, ALIGN TOP AND BOTTOM PLATES PER MOMENT CONNECTION AND LENGTHEN CONNECTION PLATE.

11 COLUMN BASE PLATE TYPE BP-X
NO SCALE

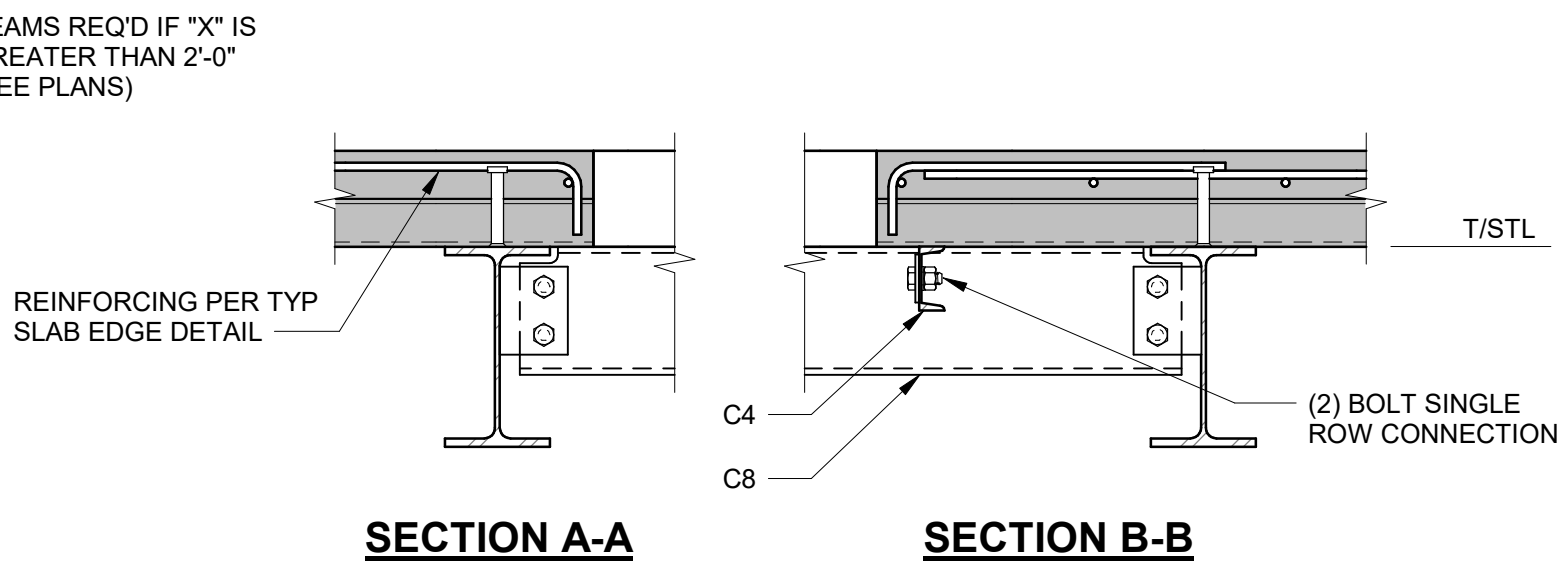
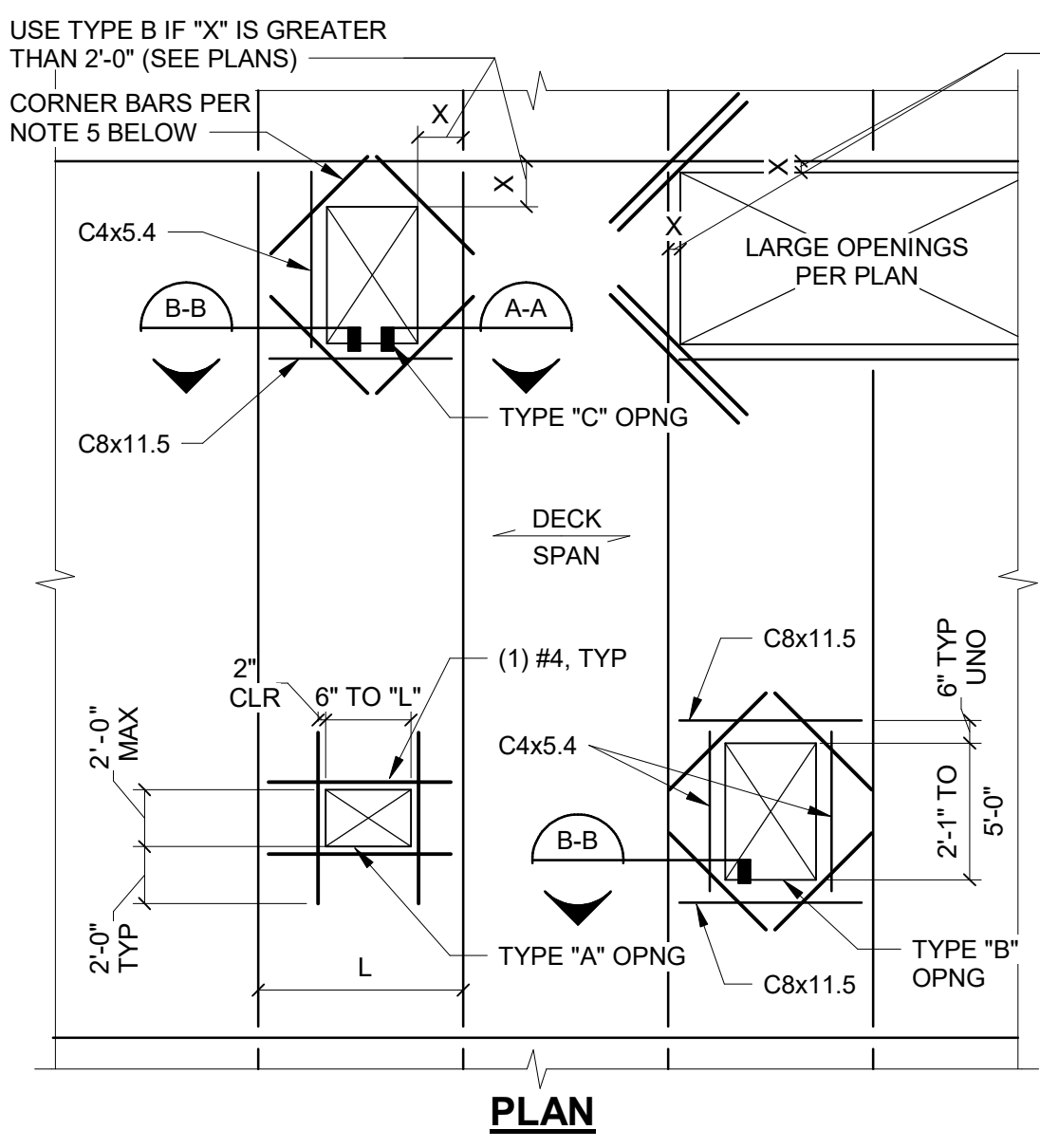
12 HSS COLUMN BASE PLATE TYPE BP-X
NO SCALE

TYPE MARK	STIFFENER PLATE THICKNESS "ts"	WELD "A"
3	5/16"	1/4"
-	-	-
-	-	-
-	-	-
-	-	-



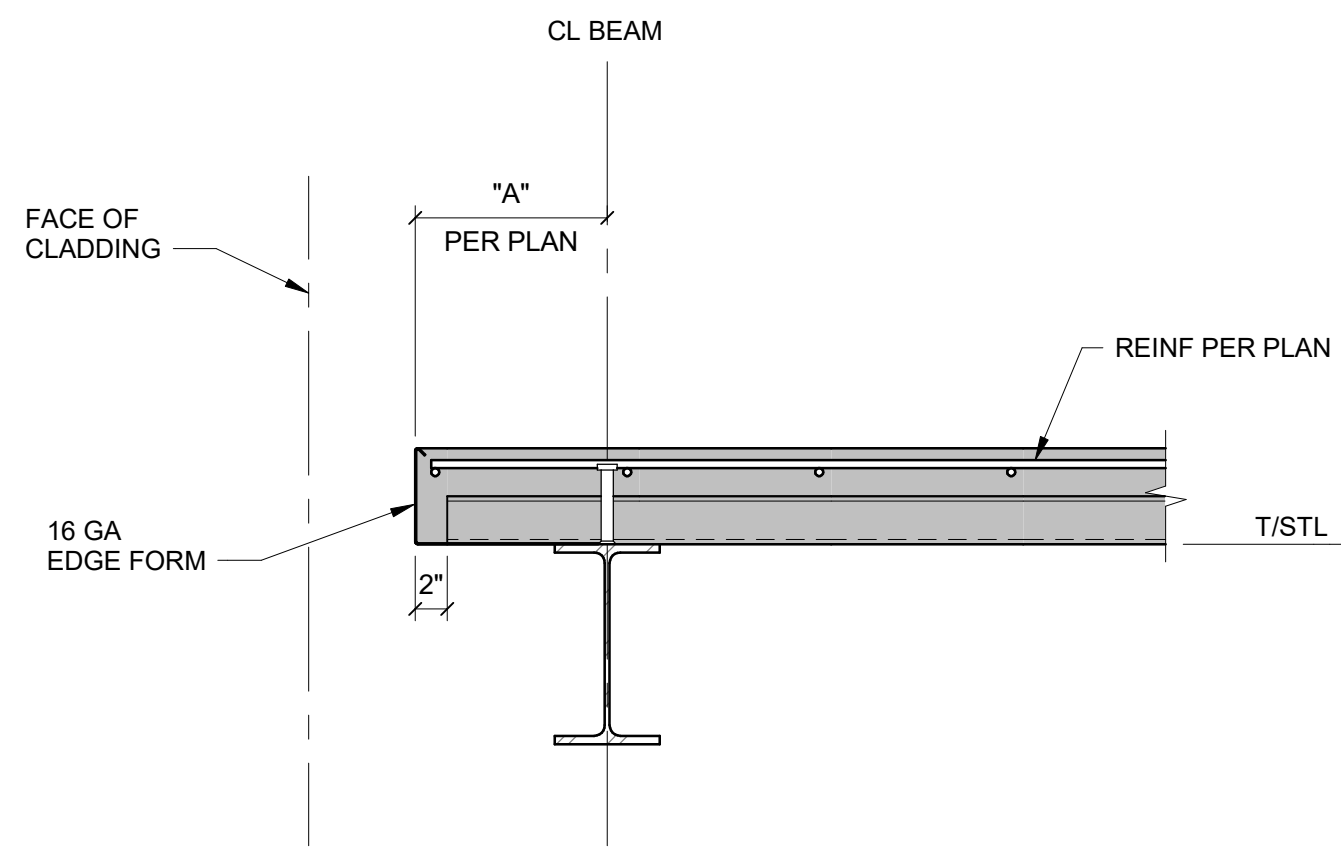
13 TYP COLUMN WEB EXTENDED SHEAR PLATE CONNECTION
NO SCALE

16 COL BASE TO TRANSFER BEAM TYPE BP-X
NO SCALE



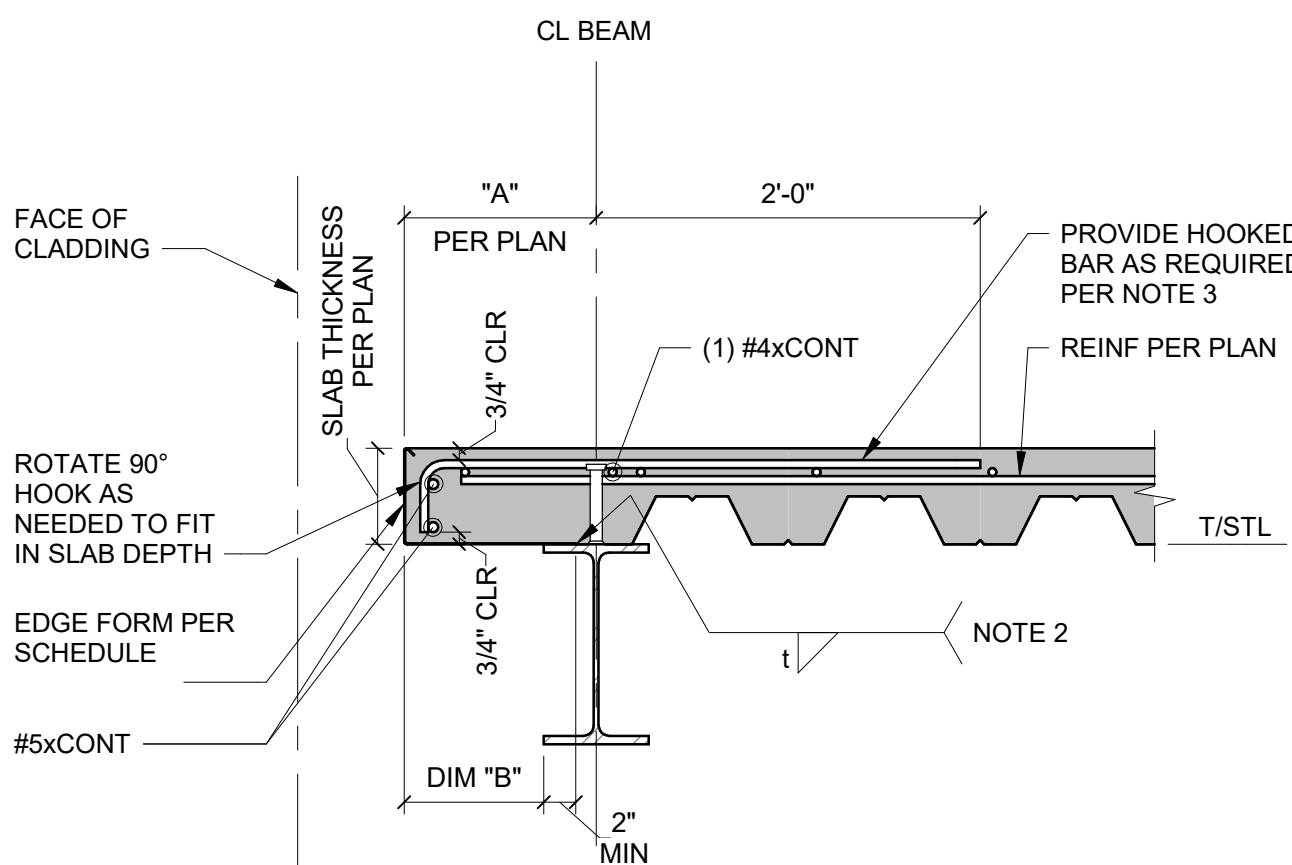
- NOTES:**
- OPENINGS SMALLER THAN 6" DO NOT NEED REINFORCING.
 - OPENINGS BETWEEN 6" AND 2'-0", WITHOUT EDGE FRAMING, SHALL HAVE REINFORCING PER OPENING TYPE "A".
 - BAR PARALLEL TO DECK FLUTES TO BE IN NEAREST LOWER FLUTE, 3/4" CLEAR FROM BOTTOM. BARS PERPENDICULAR TO FLUTES TO BE 3/4" CLEAR ABOVE DECKING.
 - OPENINGS LARGER THAN 2'-0" WILL REQUIRE EDGE FRAMING PER OPENING TYPES "B" OR "C".
 - CORNER BARS TO BE PROVIDED AT ALL INSIDE CORNERS AS FOLLOWS:
 (1) #4x3'-0" FOR 6'-0" AND SMALLER OPENINGS
 (2) #4x4'-0" FOR OPENINGS LARGER THAN 6'-0"
 - BLOCK OUT UNSUPPORTED (TYPE "A") OPENINGS PRIOR TO PLACING CONCRETE. REMOVE BLOCK OUT AND CUT STEEL DECK AFTER CONCRETE HAS CURED FOR A MINIMUM OF SEVEN DAYS.
 - CONTRACTOR TO COORDINATE OPENING SIZE AND LOCATION WITH ARCHITECTURAL DRAWINGS AND MECHANICAL AND ELECTRICAL CONTRACTORS.
 - EDGE FRAMING FOR OPENINGS LARGER THAN 5'-0" TO BE AS SHOWN ON FRAMING PLANS.

1 TYP SLAB OPENINGS
NO SCALE

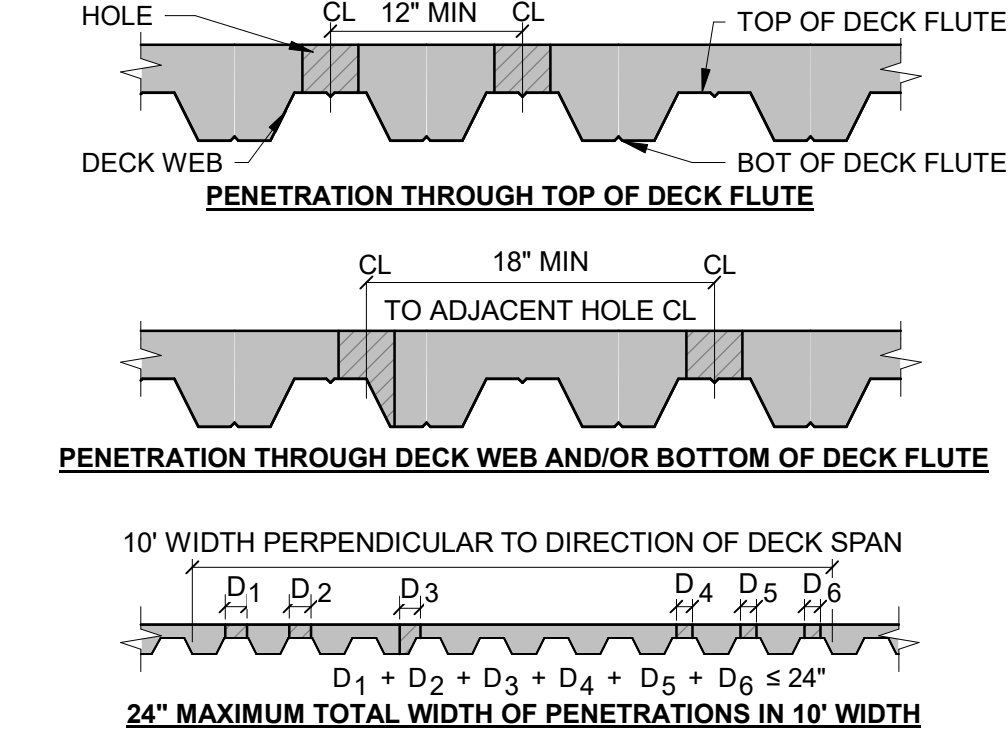


- NOTES:**
- CONNECTION ONLY TO BE USED FOR SLAB OVERHANG "B" ≤ 1'-6".
 - WELD EDGE FORM PER SCHEDULE.
 - PROVIDE HOOKED BAR AS FOLLOWS:
 0'-6" < "B" ≤ 0'-10" (1) #4 @ 12" OC
 0'-10" < "B" ≤ 1'-4" (2) #4 @ 12" OC
 1'-4" < "B" ≤ 1'-6" (2) #4 @ 10" OC

5 TYP SLAB EDGE AT PERIMETER
NO SCALE



3 TYP STUD SPACING
NO SCALE



- NOTES:**
- THIS DETAIL APPLIES TO ROUND HOLES ≤ 6" Ø CUT IN CONCRETE ON STEEL DECK WITHOUT ADDITIONAL SLAB REINFORCEMENT.
 - NO PENETRATION SHALL CUT THROUGH MORE THAN ONE DECK WEB.
 - HORIZONTAL SPACING AND MAXIMUM WIDTH LIMITATIONS INDICATED ARE APPLICABLE BETWEEN ADJACENT SUPPORTING BEAMS. WHETHER THE PENETRATIONS ALIGN OR ARE OFFSET IN THE DIRECTION OF THE DECK SPAN. WHERE THIS CRITERIA IS NOT MET, THE GROUPING OF PENETRATIONS MAY BE CONSIDERED ONE LARGE OPENING AND REINFORCED PER "11".
 - WHERE PENETRATIONS ARE CUT AFTER CONCRETE IS PLACED, NO REINFORCING SHALL BE CUT.
 - STEEL DECK UNDER UNSUPPORTED HOLES AND/OR BLOCK-OUTS SHALL REMAIN IN PLACE UNTIL AFTER CONCRETE HAS REACHED DESIGN STRENGTH.

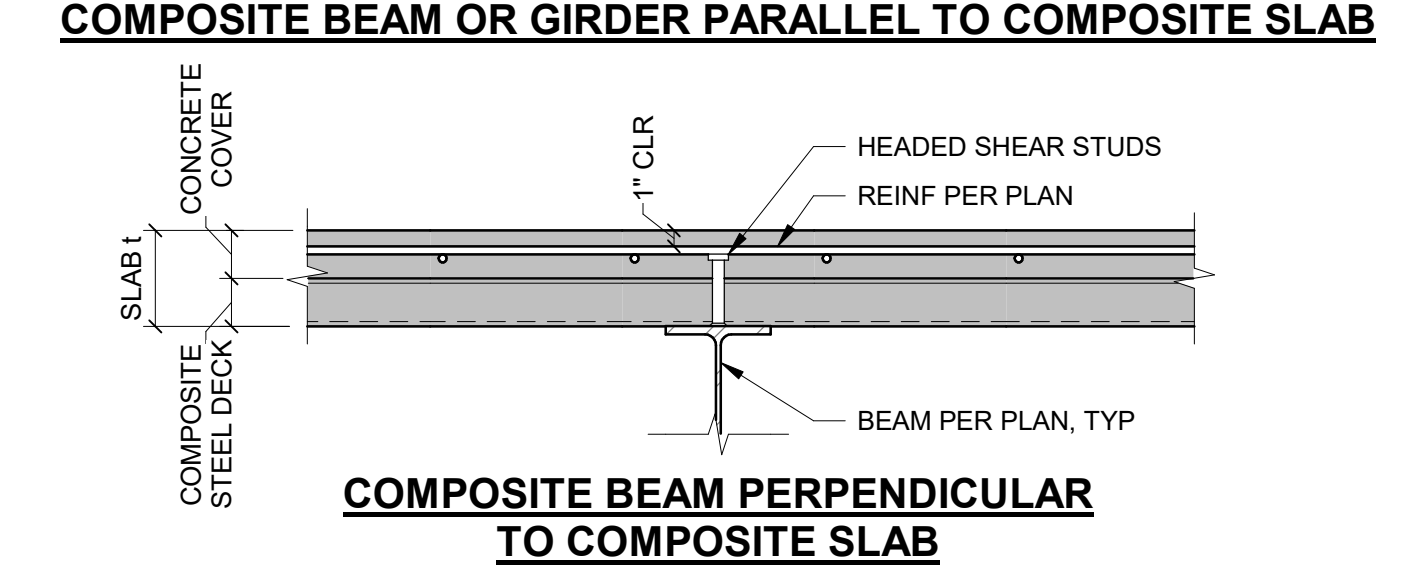
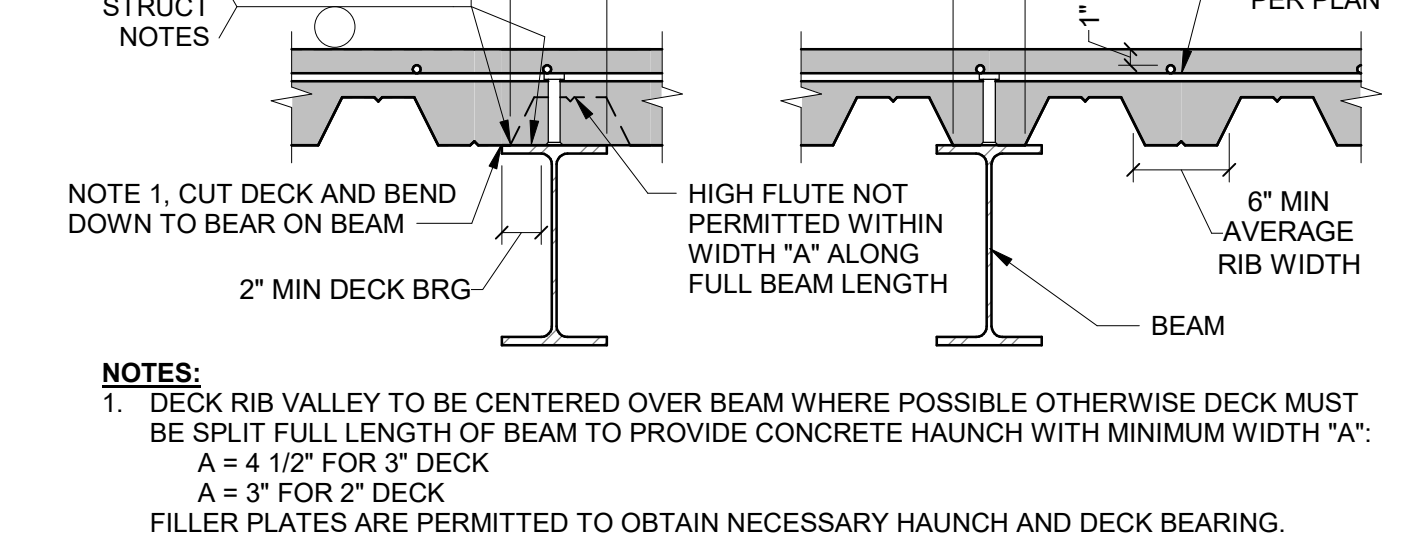
7 TYP SLAB ON DECK PENETRATIONS
NO SCALE

SIZE "db"	WELD SIZE "W"	MIN PL THICKNESS "PL"
#4	5/16	1/4
#5	7/16	1/4
#6	1/2	5/16
#7	9/16	3/8
#8	5/8	7/16
#9	11/16	1/2
#10	13/16	9/16
#11	7/8	5/8

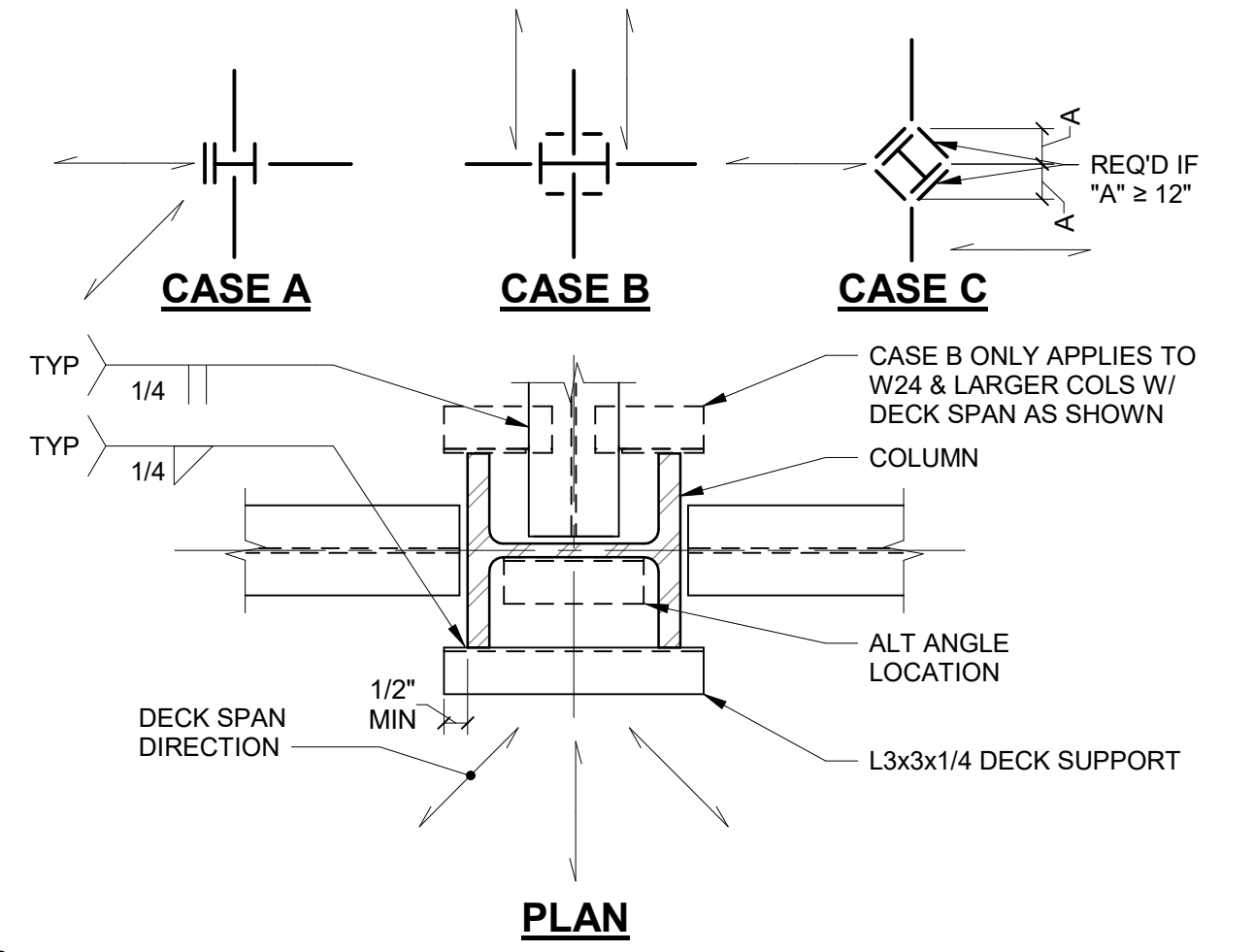
11 TYP FILLET WELD AT WELDED REINFORCEMENT
NO SCALE

- NOTES:**
- USE THE WELD SIZE AND MINIMUM PLATE THICKNESS IN THIS SCHEDULE WHERE WELDED REINFORCEMENT IS INDICATED UNLESS NOTED OTHERWISE.
 - ALL REINFORCING BARS ARE TO BE ASTM A706, GR 60, UNLESS NOTED OTHERWISE OR APPROVED BY THE ENGINEER.

4 TYP COMPOSITE BEAM DETAIL
NO SCALE

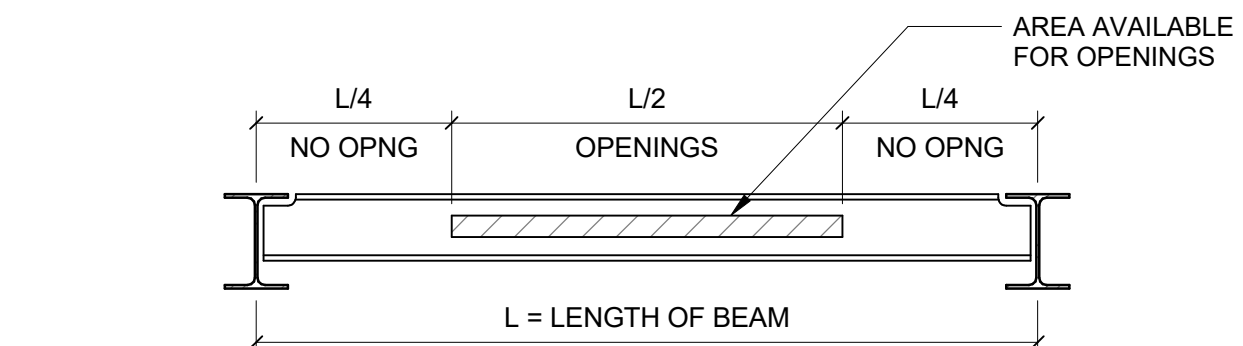


8 TYP COMPOSITE BEAM TO COMPOSITE SLAB
NO SCALE

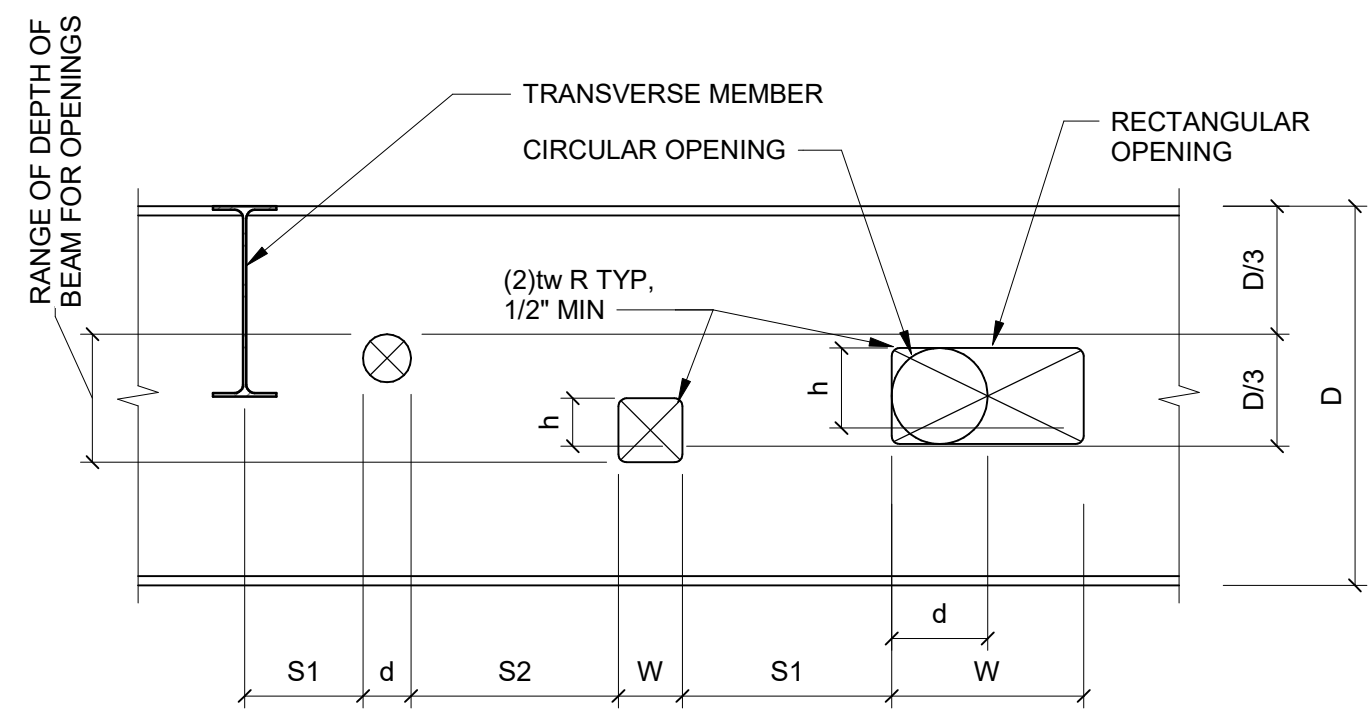


- NOTES:**
- SLAB SUPPORT ANGLES ARE REQUIRED AT ALL COLUMN LOCATIONS WHERE THERE IS NO BEAM OR OTHER SUPPORT FOR THE DECK AT COLUMN PENETRATION.
 - IN ADDITION TO PERMANENT SLAB SUPPORT ANGLES, THE CONTRACTOR SHALL PROVIDE END CLOSURES AND MISCELLANEOUS DECK SUPPORTS AT OTHER LOCATIONS AS REQUIRED TO SUPPORT DECK UNTIL CONCRETE CURES.

12 TYP DECK SUPPORT AT COLUMN
NO SCALE



RANGE OF WEB OPENINGS ALONG LENGTH OF BEAM



OPENING SIZE AND SPACING

- NOTES:**
- THIS DETAIL MAY BE USED FOR SHOP OR FIELD CUT OPENINGS WITHOUT CONSULTING THE STRUCTURAL ENGINEER. ANY OPENING OUTSIDE OF THESE CONSTRAINTS MUST BE APPROVED BY THE STRUCTURAL ENGINEER.
 - ALL OPENINGS MUST MEET THERMAL CUTTING REQUIREMENTS IN CHAPTER M OF AISC 360.

- d = DIAMETER CIRCULAR OPENING ≤ D/3
 h = HEIGHT RECTANGULAR OPENING ≤ D/4
 W = WIDTH RECTANGULAR OPENING ≤ D/4
 S1 = MIN DISTANCE TO CL TRANSVERSE MEMBER = D OR 12", WHICHEVER IS LARGER
 S2 OR S3 = MIN DISTANCE BETWEEN OPENINGS BASED ON LARGER OPENING = (2)D FOR COMPOSITE BEAMS AND THE LARGER OF (3)d, (3)h, OR (3)W FOR NONCOMPOSITE BEAMS

13 TYP BEAM PENETRATIONS
NO SCALE



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

C 06/22/2023 50% DD PRICE SET
B 02/23/2023 SD PRICE SET
A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFf PRINCIPAL IN CHARGE: AES
KPFf PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
TYPICAL STEEL DETAILS

SHEET NO.
S-501

06.22.2023 - 50% DD SET

1

2

3

4

5

6

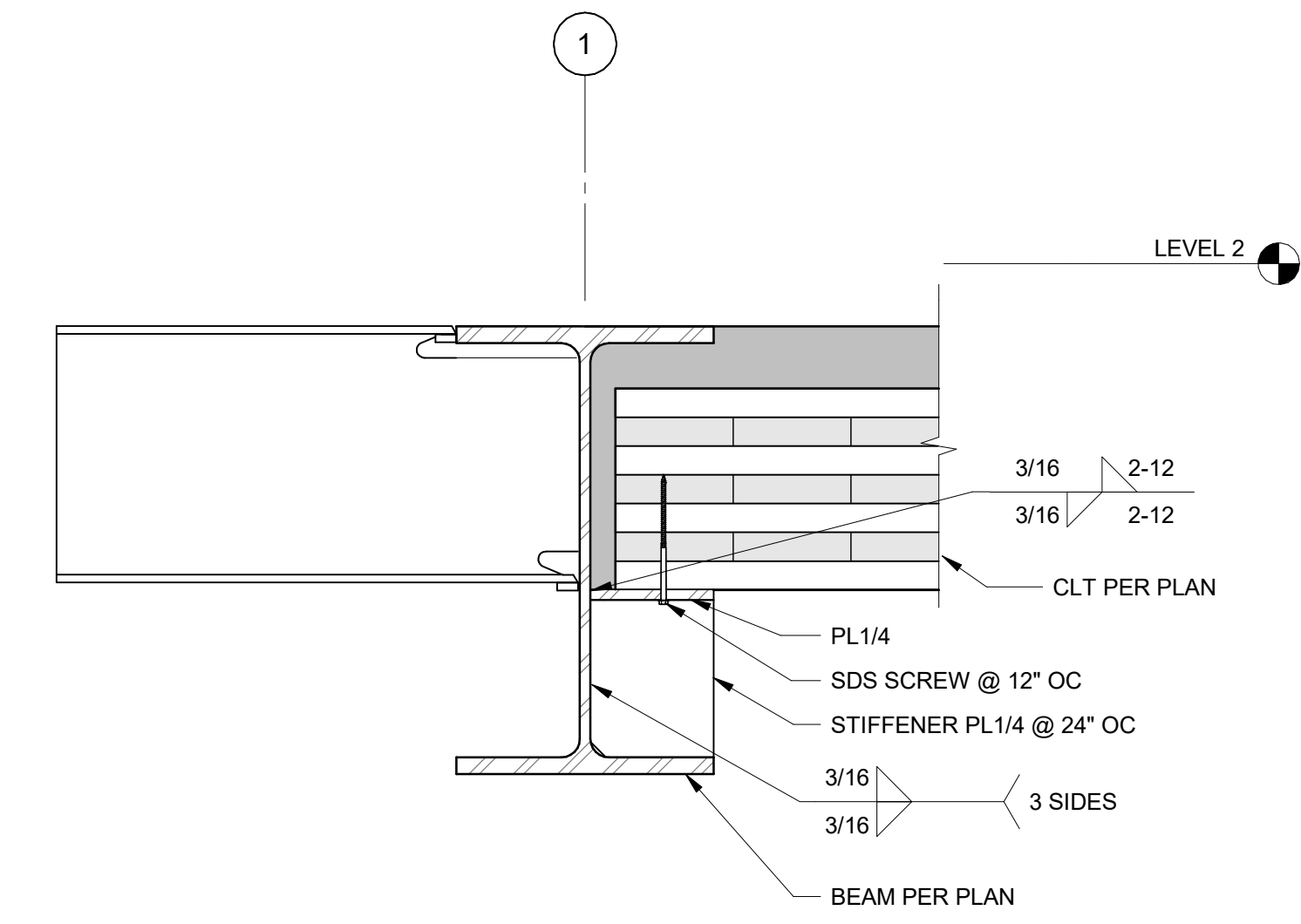
E

D

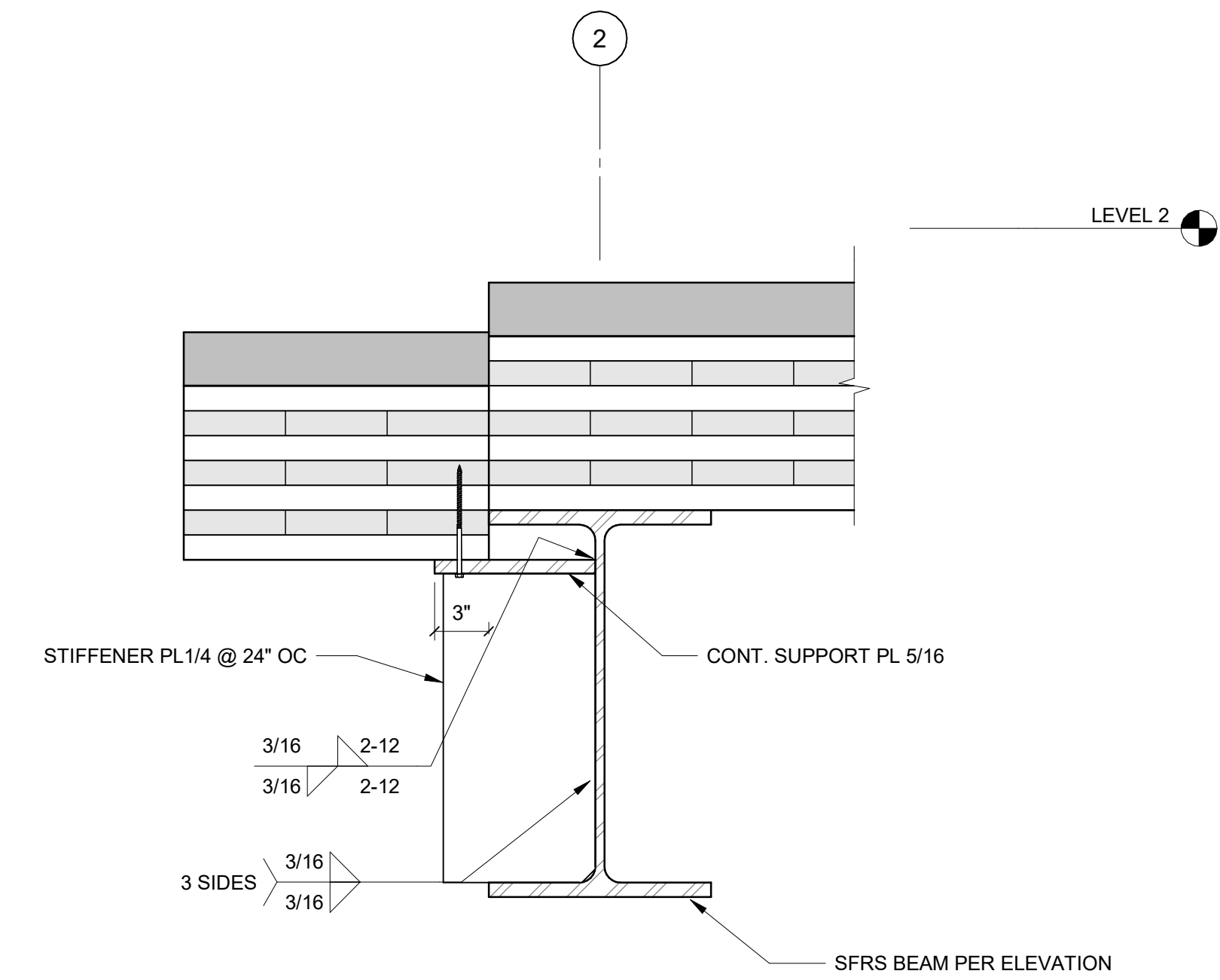
C

B

A



4 FRAMING SUPPORT GRID 1
1 1/2" = 1'-0"



8 GRID 2 SLAB STEP
1 1/2" = 1'-0"



PROJECT:
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APPROVAL STAMPS

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MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
STEEL DETAILS

SHEET NO.
S-510



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
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OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

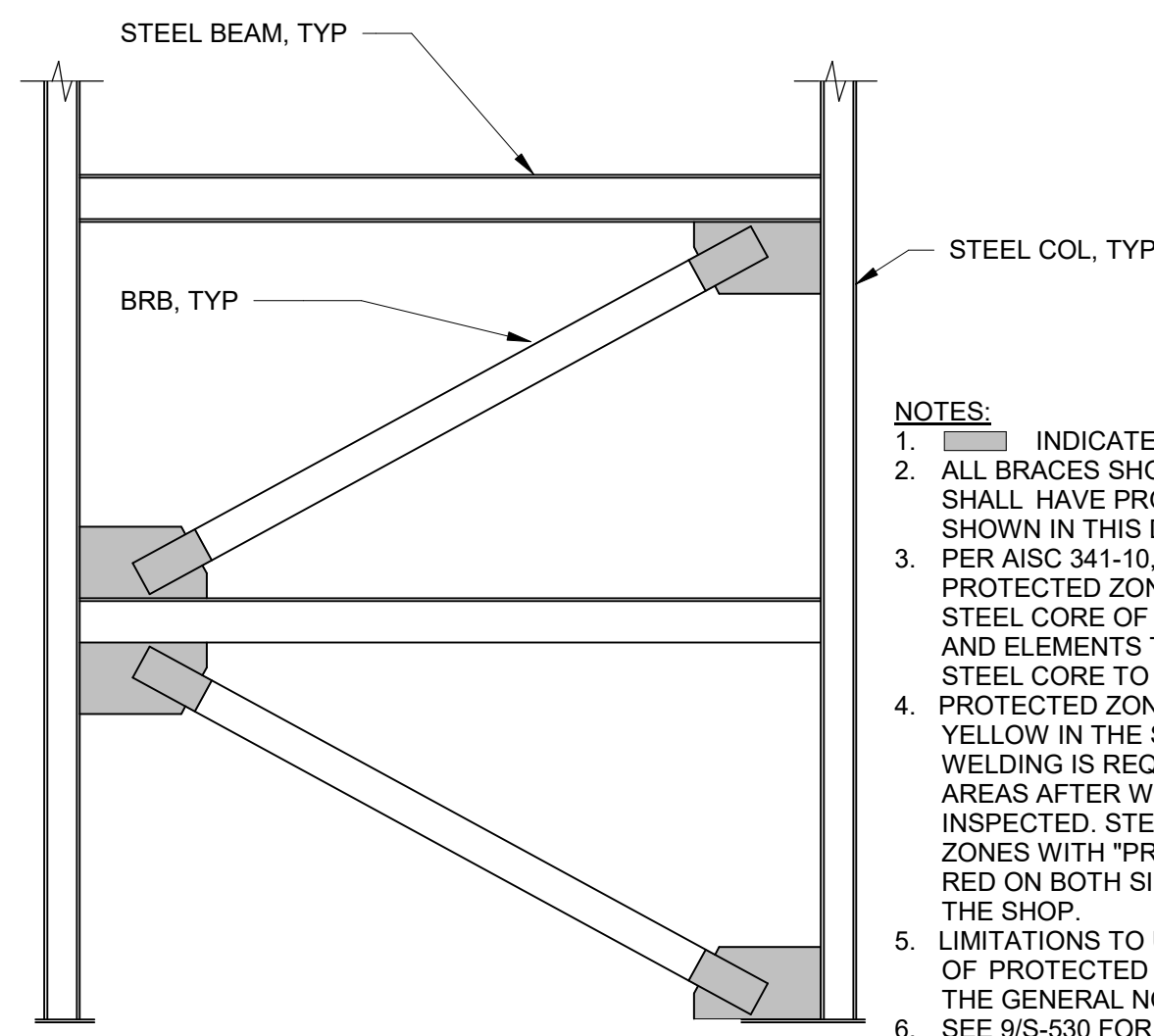
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A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
BRBF DETAILS

SHEET NO.
S-520



- NOTES:**
- INDICATES PROTECTED ZONE.
 - ALL BRACES SHOWN ON ELEVATIONS SHALL HAVE PROTECTED ZONES AS SHOWN IN THIS DETAIL.
 - PER AISC 341-10, SECTION F4.5g THE PROTECTED ZONE SHALL INCLUDE THE STEEL CORE OF BRACING MEMBERS AND ELEMENTS THAT CONNECT THE STEEL CORE TO BEAMS AND COLUMNS.
 - PROTECTED ZONES SHALL BE PAINTED YELLOW IN THE SHOP EXCEPT WHERE WELDING IS REQUIRED. PAINT WELDED AREAS AFTER WELD HAS BEEN INSPECTED. STENCIL ALL PROTECTED ZONES WITH "PROTECTED ZONE" IN RED ON BOTH SIDES OF THE FRAME IN THE SHOP.
 - LIMITATIONS TO USE AND FABRICATION OF PROTECTED ZONES ARE STATED IN THE GENERAL NOTES.
 - SEE 9/5-520 FOR ADDITIONAL PROTECTED ZONES AT BEAM STUB CONNECTION.

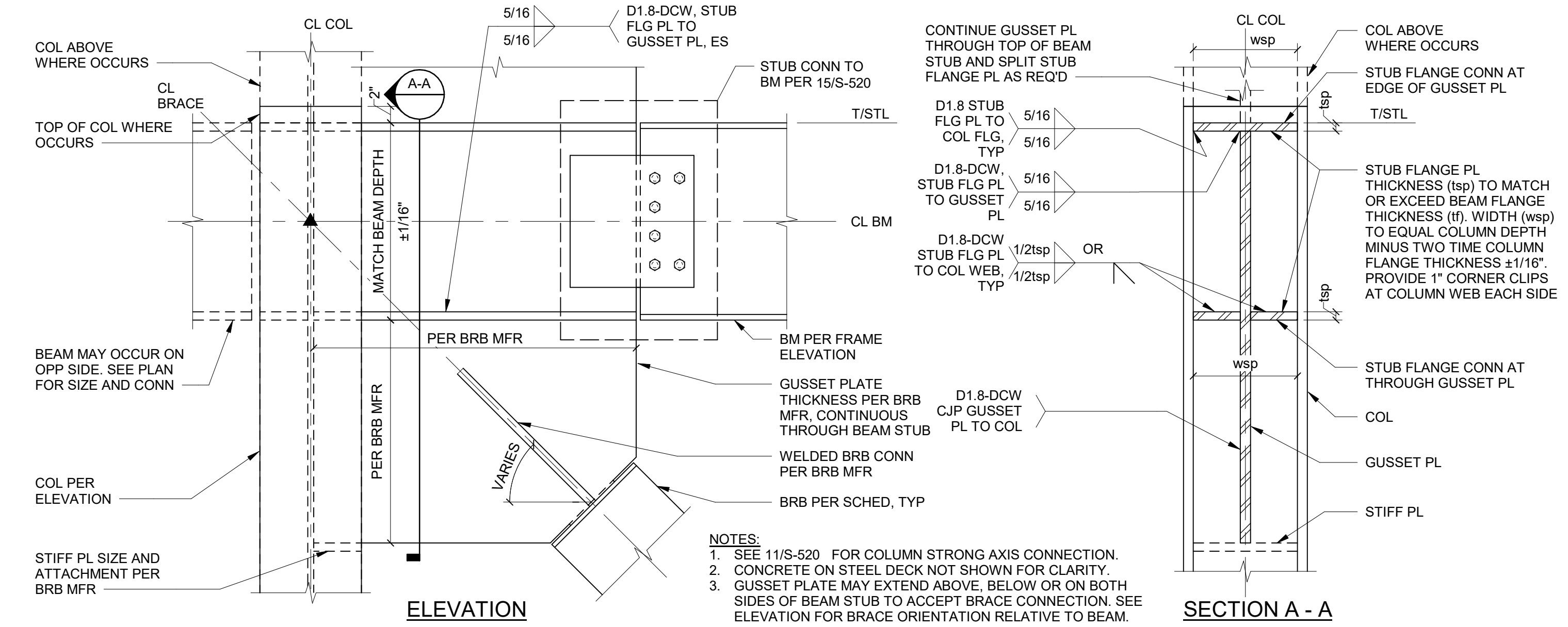
2 BRBF PROTECTED ZONES
3/16" = 1'-0"

BUCKLING-RESTRAINED BRACE SCHEDULE

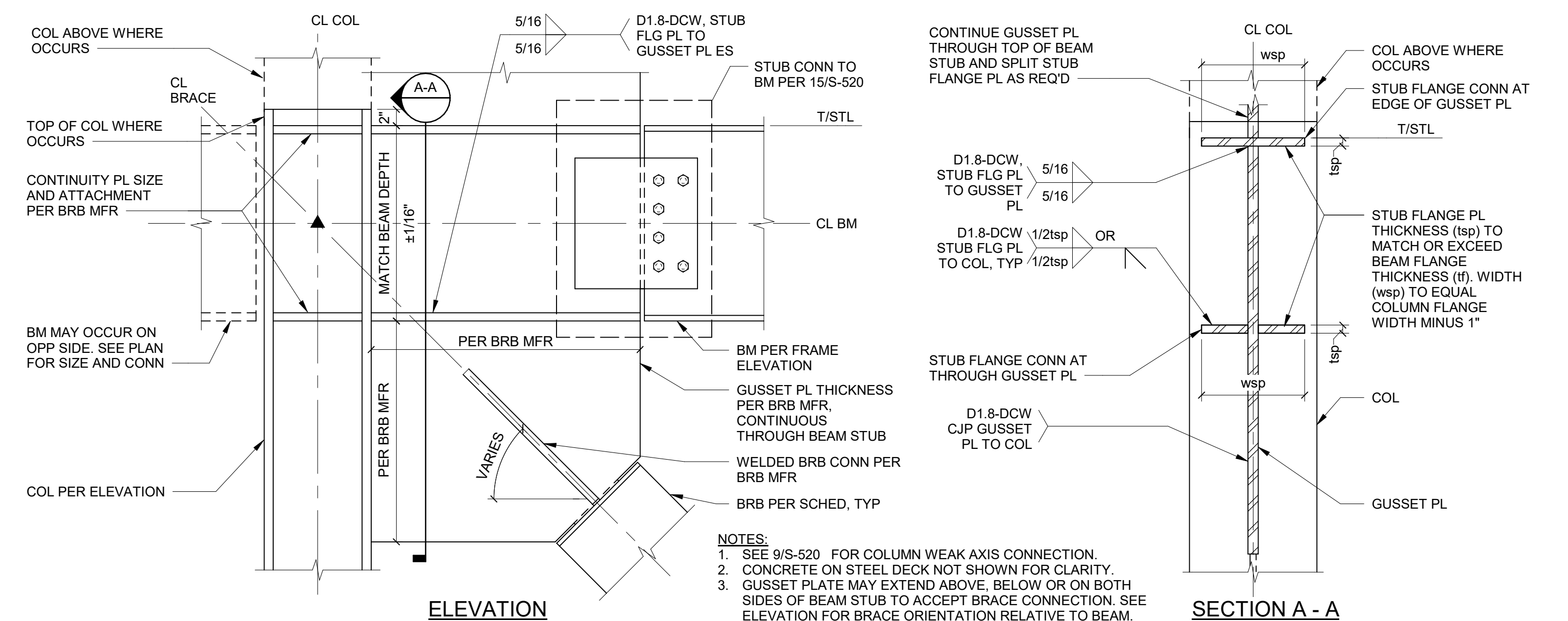
BRACE DESIGNATION	STEEL CORE AREA "A _{sc} " (in ²)	STIFFNESS MODIFICATION FACTOR "K _F "
CB 2.00	2.0	1.22
CB 2.50	2.5	1.27
CB 3.00	3.0	1.25
CB 3.50	3.5	1.26
CB 4.00	4.0	1.31
CB 5.00	5.0	1.27
CB 6.00	6.0	1.24
CB 7.00	7.0	1.24
CB 8.00	8.0	1.39

- NOTES:**
- BUCKLING-RESTRAINED BRACE MANUFACTURER TO TEST BRACES IN ACCORDANCE WITH AISC SEISMIC PROVISIONS SECTION K. MANUFACTURER TO SUBMIT PROOF OF EACH BRACE'S COMPLIANCE WITH APPLICABLE QUALIFICATION LIMITS AND NOTED YIELD STRESS RANGE, MAXIMUM OVERSTRENGTH FACTORS, BRACE STIFFNESS, AND STRAIN RANGE.
 - THE ACTUAL YIELD STRESS OF THE STEEL CORE AS DETERMINED BY A COUPON TEST, F_{ysc}, TO FALL WITHIN THE RANGE OF 38 KSI ± F_{ysc} ± 46 KSI.
 - MAXIMUM BUCKLING-RESTRAINED BRACE STRAIN HARDENING OVERSTRENGTH FACTOR ω NOT TO EXCEED 1.42. PRODUCT OF ω AND BUCKLING-RESTRAINED BRACE COMPRESSION OVERSTRENGTH FACTOR β NOT TO EXCEED 1.8.
 - BRACE STIFFNESS K_{br} TO BE (K_F × A_{sc} × E)/(L_{wp} × ω_p), WHERE THE VALUES FOR K_F AND A_{sc} ARE PER THE BRB SCHEDULE, E IS THE MODULUS OF ELASTICITY OF STEEL, AND L_{wp} × ω_p IS THE WORKPOINT - TO - WORKPOINT LENGTH OF THE BRACE. K_{br} IS TO BE DETERMINED INCORPORATING THE STIFFNESS OF ALL STRUCTURAL ELEMENTS IN THE LINE OF THE BRACE BETWEEN WORK POINTS INCLUDING THE BEAMS, COLUMNS, AND GUSSET PLATES.
 - STEEL CORE OF BUCKLING-RESTRAINED BRACES SHALL COMPLY WITH CHARPY V - NOTCH TOUGHNESS REQUIREMENTS IN ACCORDANCE WITH AISC SEISMIC PROVISIONS, SECTION A3.3.
 - BRACES SHALL BE CONNECTED TO GUSSET PLATES BY WELDS. CONTRACTOR TO COORDINATE CONNECTION METHOD WITH BRB MANUFACTURER, STEEL FABRICATOR, AND ERECTOR.
 - MAXIMUM INELASTIC STORY DRIFT OF BUCKLING-RESTRAINED BRACED FRAMES IS PER THE GENERAL NOTES.
 - TOLERANCE FOR STIFFNESS MODIFICATION FACTOR K_F SHOWN IN BRB SCHEDULE IS 10% MAXIMUM IN EITHER DIRECTION.

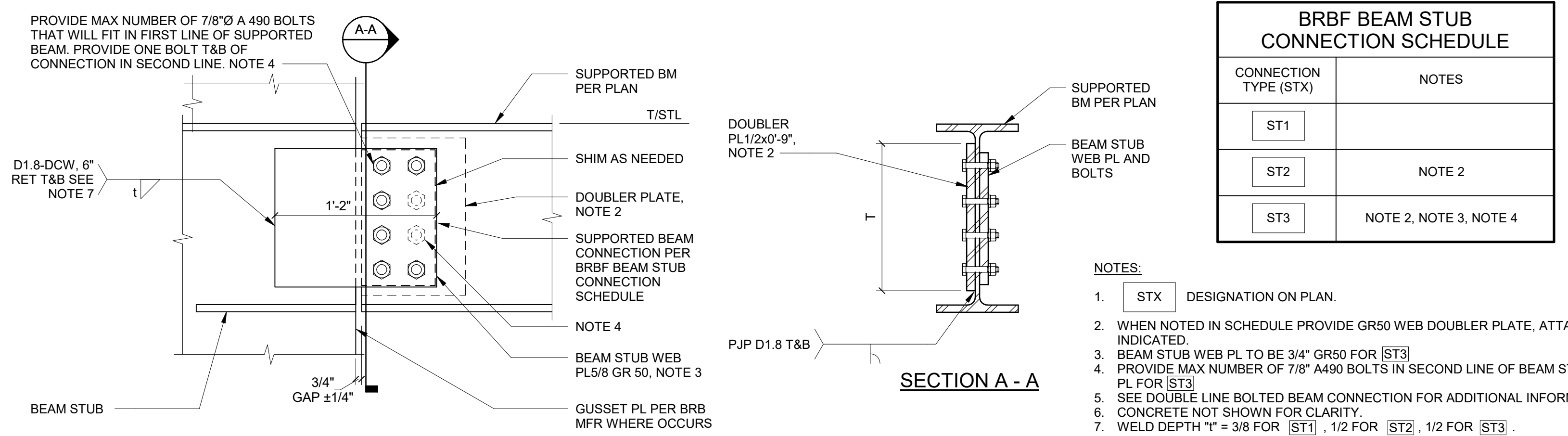
3 BUCKLING RESTRAINED BRACE SCHEDULE
1" = 1'-0"



9 BRBF BUILT UP STUB CONNECTION - COLUMN WEAK AXIS
1" = 1'-0"



11 BRBF BUILT UP STUB CONNECTION - COLUMN STRONG AXIS
1" = 1'-0"



BRBF BEAM STUB CONNECTION SCHEDULE

CONNECTION TYPE (STX)	NOTES
ST1	
ST2	NOTE 2
ST3	NOTE 2, NOTE 3, NOTE 4

- NOTES:**
- STX DESIGNATION ON PLAN.
 - WHEN NOTED IN SCHEDULE PROVIDE GR50 WEB DOUBLER PLATE, ATTACH AS INDICATED.
 - BEAM STUB WEB PL TO BE 3/4" GR50 FOR [ST3].
 - PROVIDE MAX NUMBER OF 7/8" A490 BOLTS IN SECOND LINE OF BEAM STUB WEB PL FOR [ST3].
 - SEE DOUBLE LINE BOLTED BEAM CONNECTION FOR ADDITIONAL INFORMATION.
 - CONCRETE NOT SHOWN FOR CLARITY.
 - WELD DEPTH "h" = 3/8 FOR [ST1], 1/2 FOR [ST2], 1/2 FOR [ST3].

15 BRBF BEAM STUB CONNECTION
1 1/2" = 1'-0"

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OWNER:
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APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

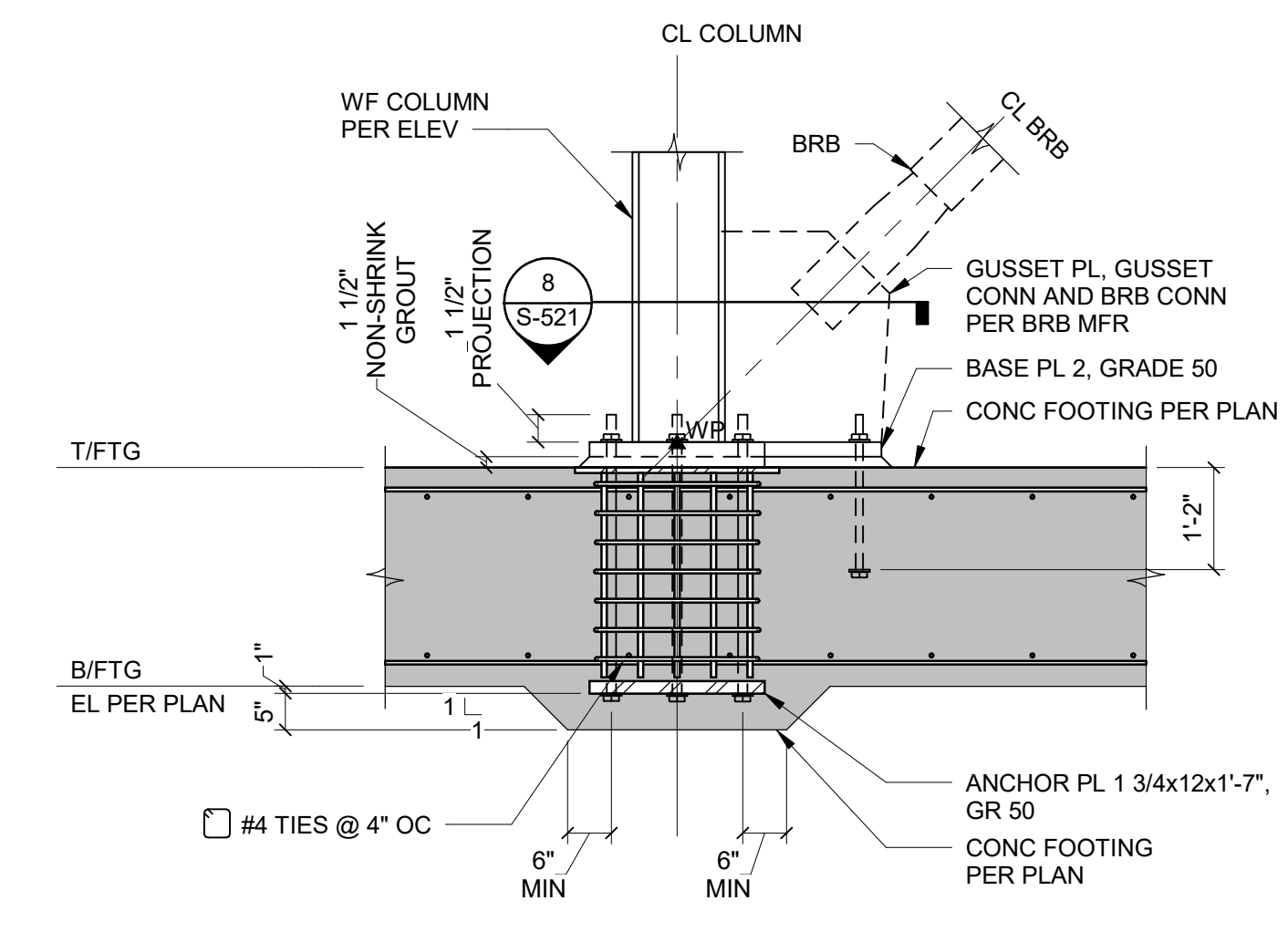
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B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION
ISSUE INFORMATION

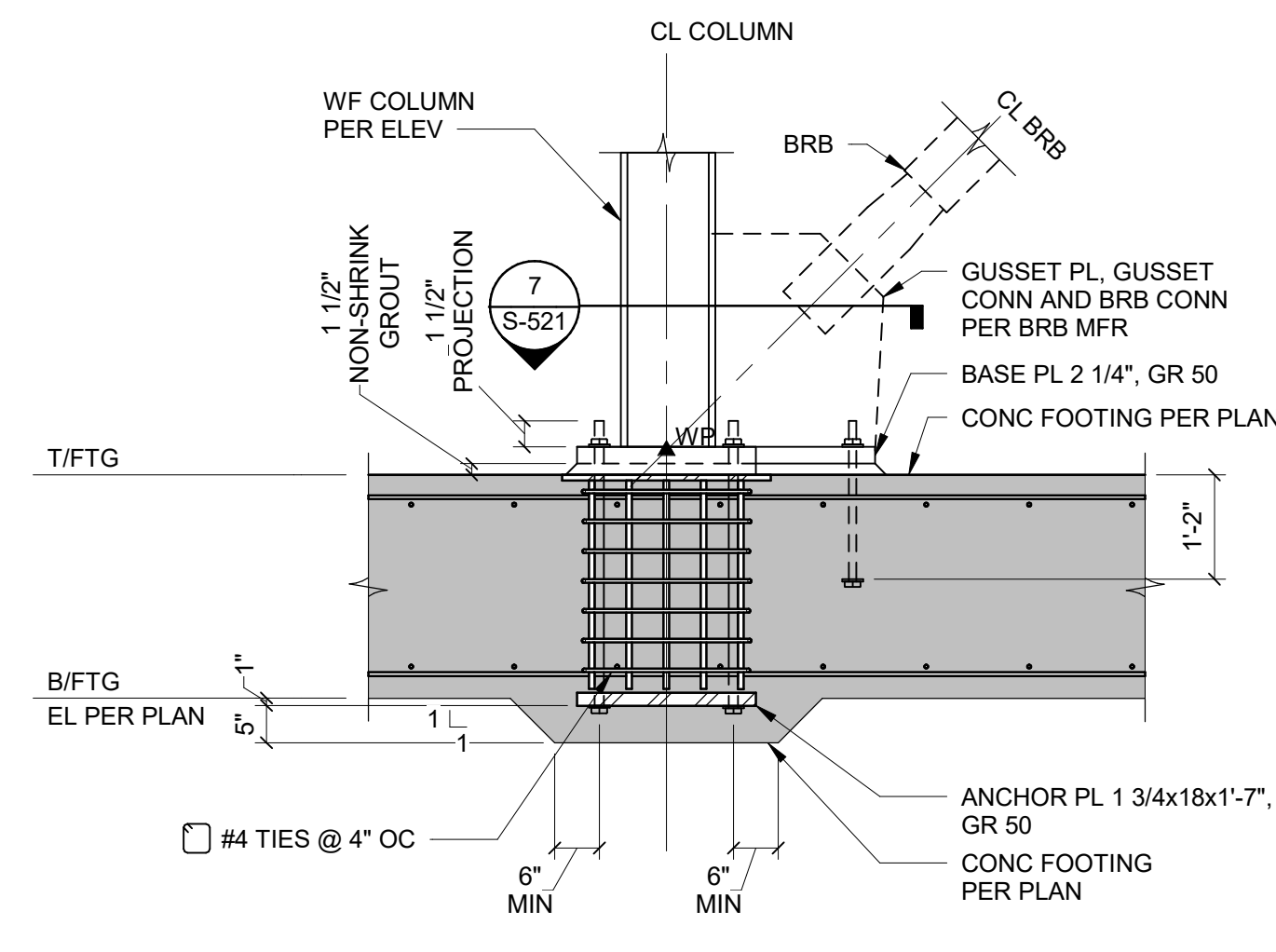
PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

SHEET TITLE
BRBF DETAILS

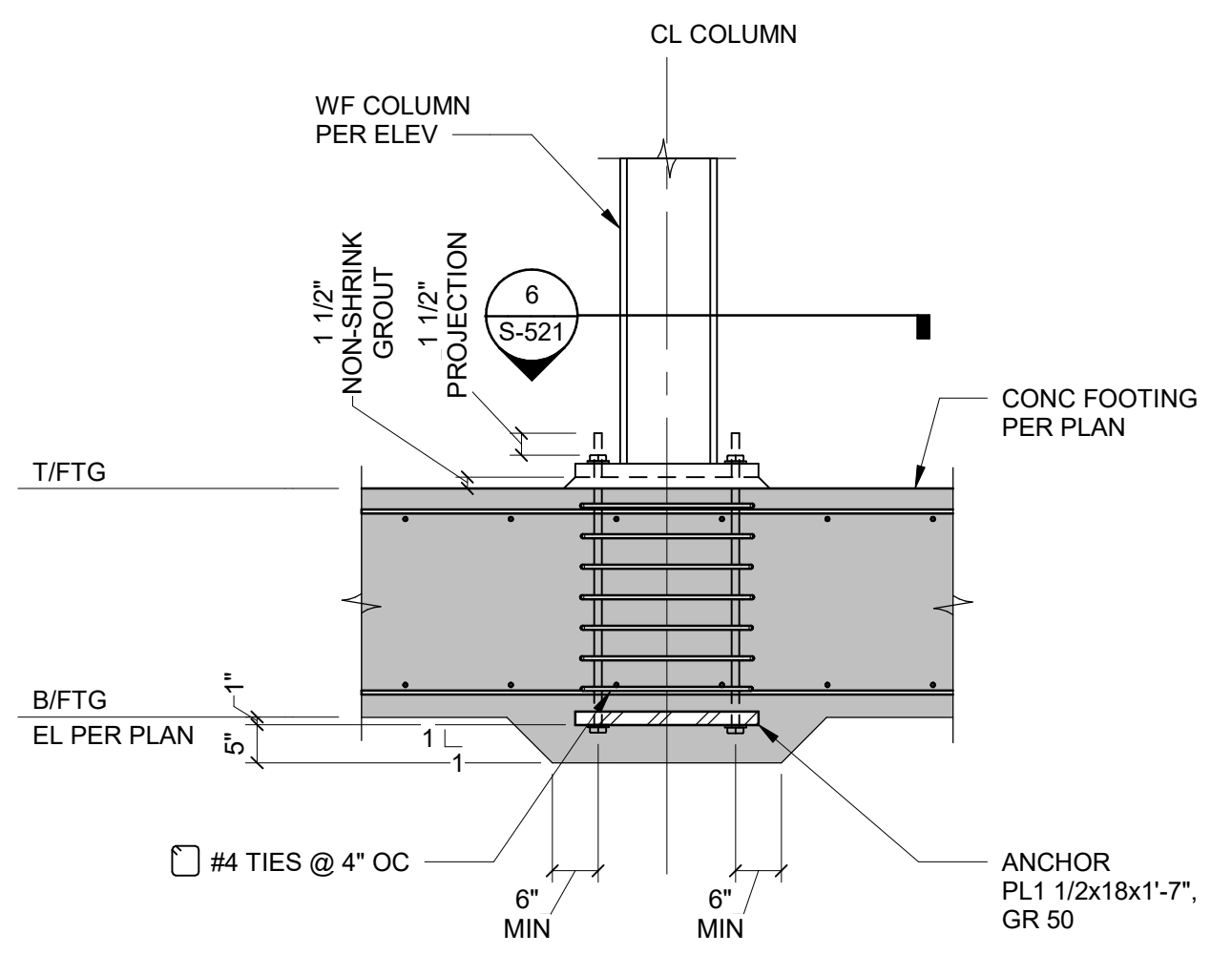
SHEET NO.
S-521



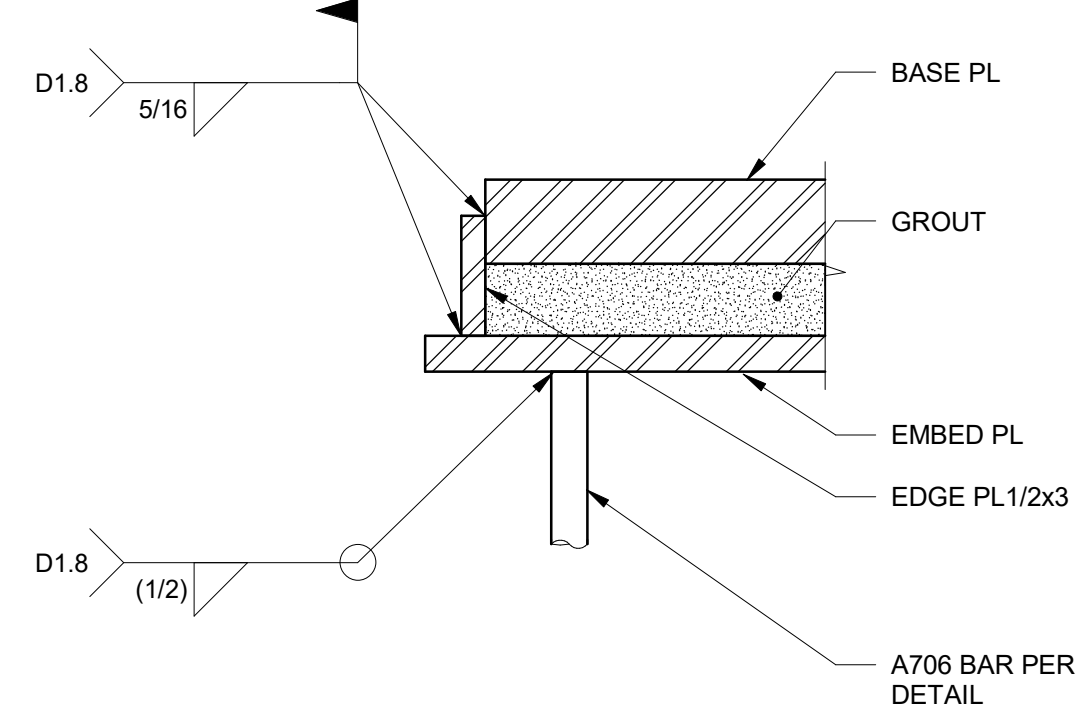
4 BRBF COLUMN ANCHORAGE DETAIL
1/2" = 1'-0"



3 BRBF COLUMN ANCHORAGE DETAIL
1/2" = 1'-0"

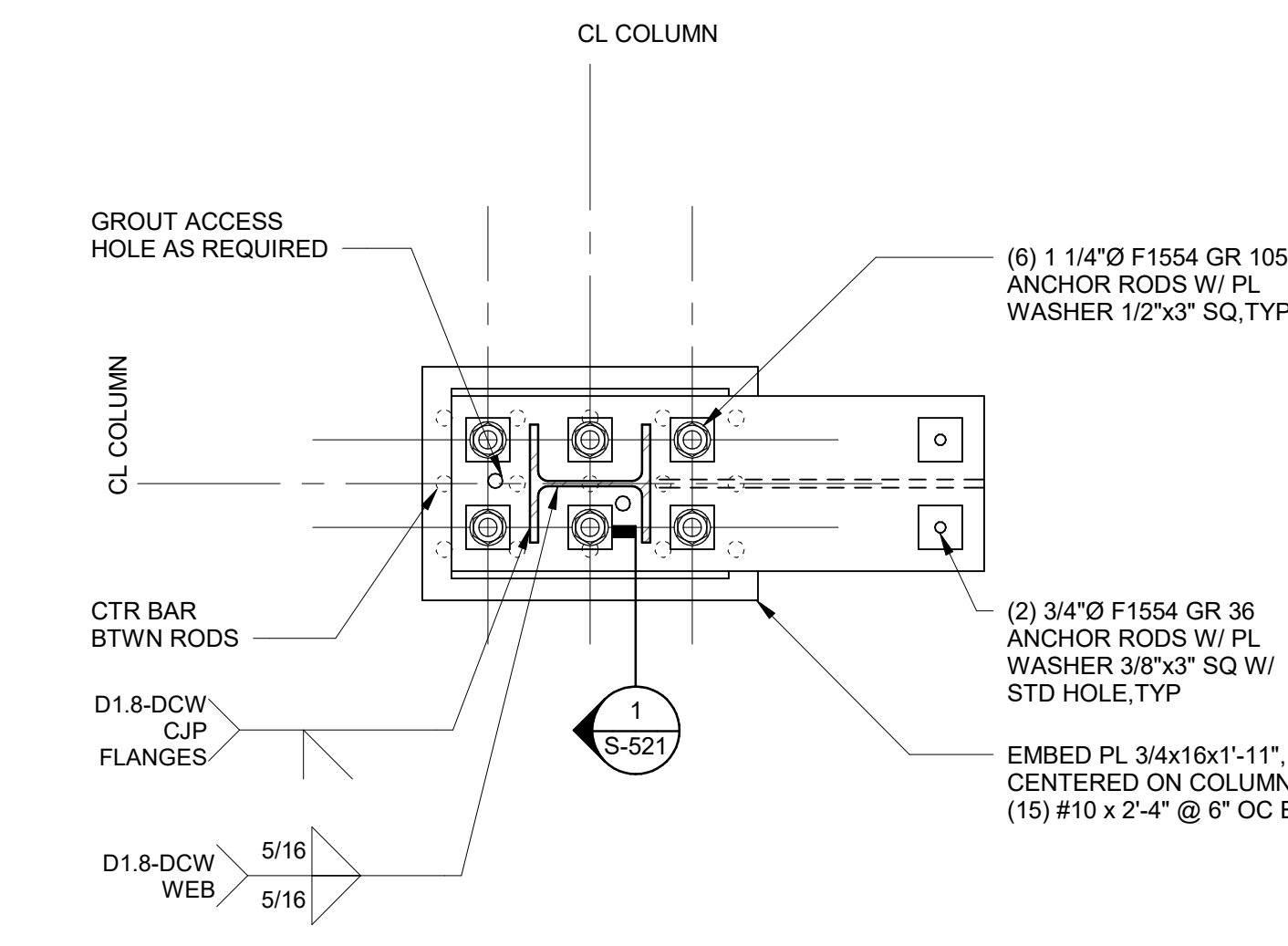


2 BRBF COLUMN ANCHORAGE
1/2" = 1'-0"

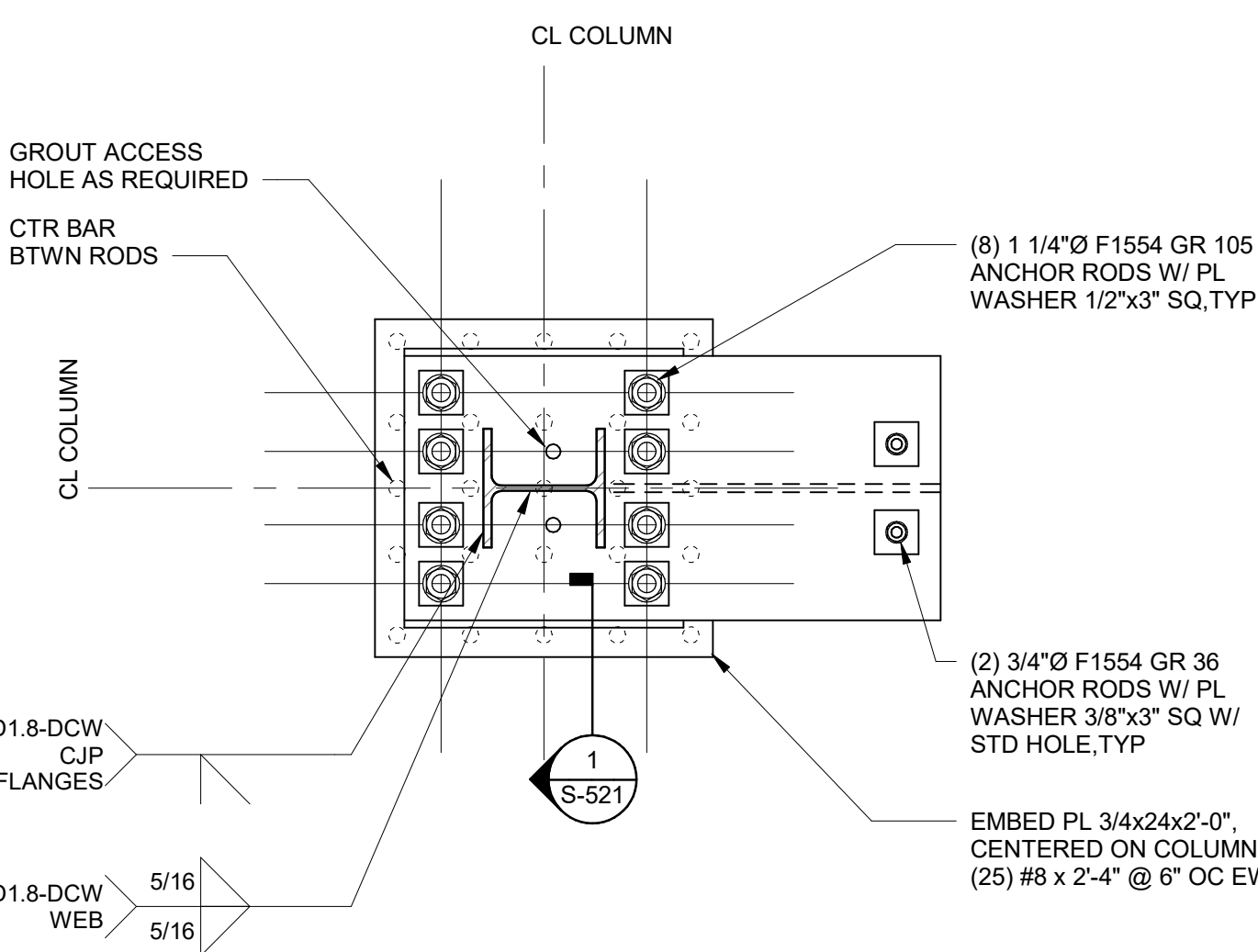


NOTE:
1. TYPICAL DIAMOND BLOCKOUT MAY NEED TO BE ENLARGED FOR WELD ACCESS.

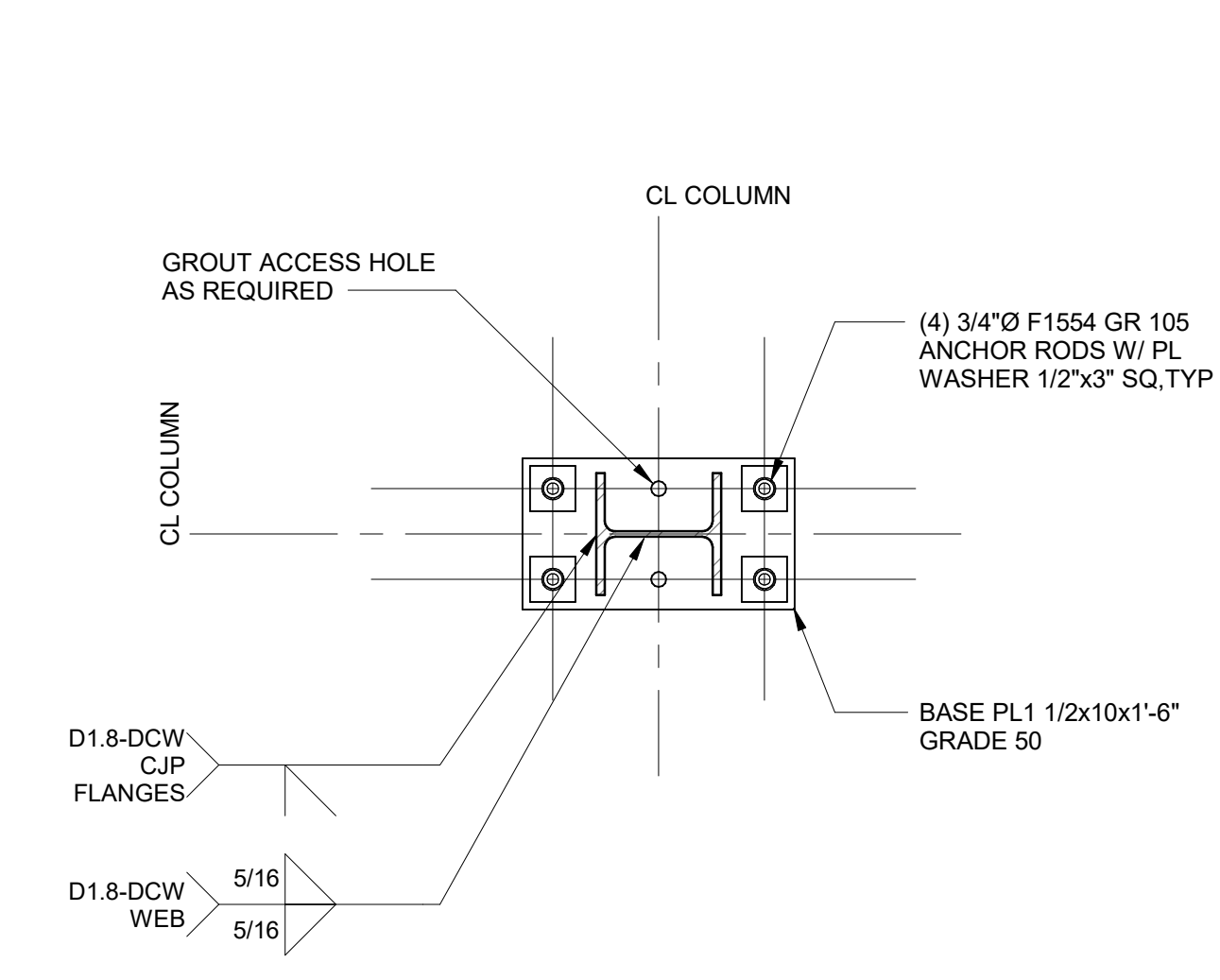
1 SHEAR PLATE DETAIL
3" = 1'-0"



8 BASE PLATE DETAIL
1" = 1'-0"



7 BASE PLATE DETAIL
1" = 1'-0"



6 BASE PLATE DETAIL
1" = 1'-0"

NOTE:
1. TIGHTEN ANCHOR BOLT NUTS AFTER PLATE WASHERS HAVE BEEN WELDED.

NOTE:
1. TIGHTEN ANCHOR BOLT NUTS AFTER PLATE WASHERS HAVE BEEN WELDED.

06.22.2023 - 50% DD SET



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
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OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK	DATE	DESCRIPTION
REVISIONS		

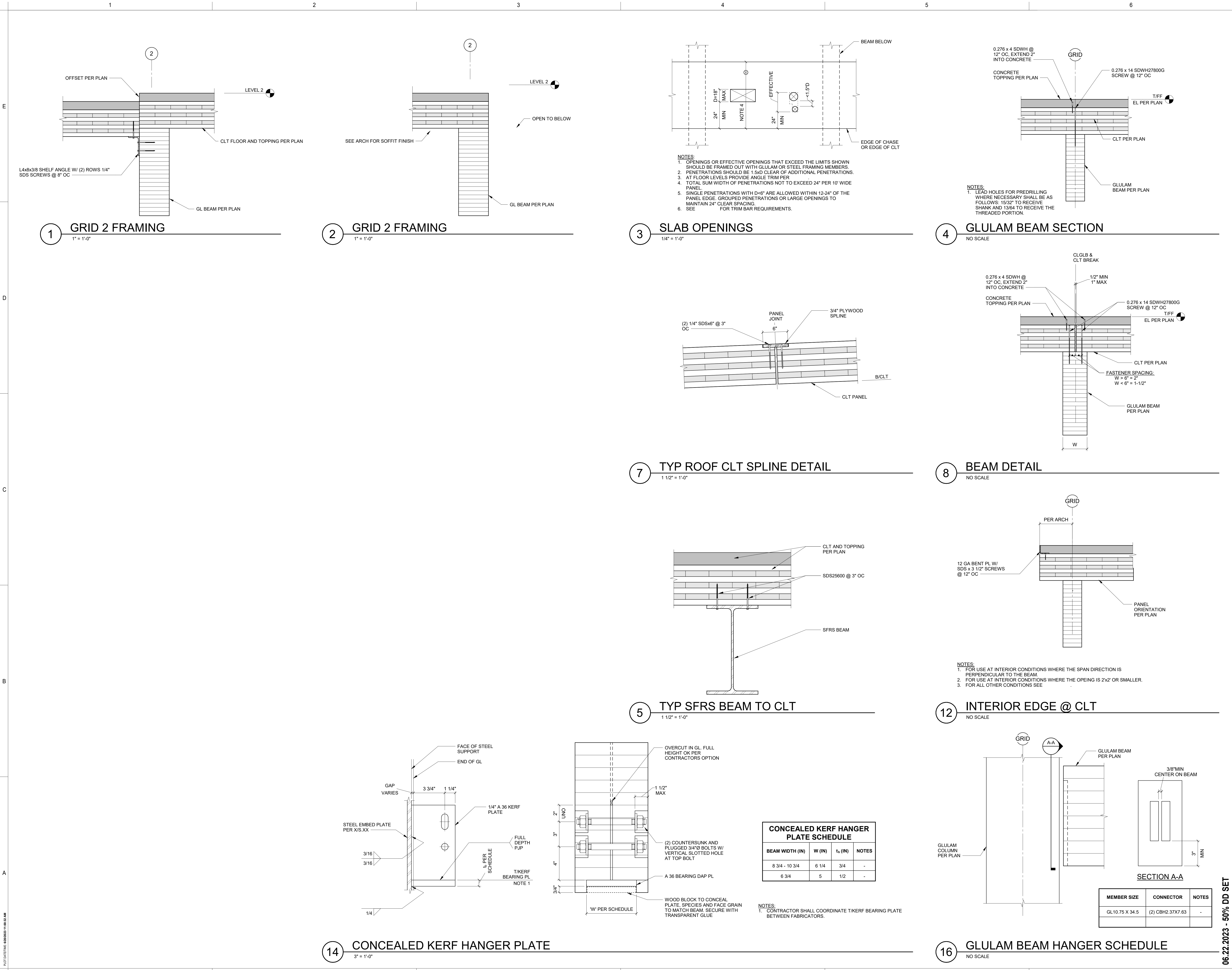
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ISSUE INFORMATION

PROJECT NO.: **2200048**
KPFF PRINCIPAL IN CHARGE: AES
KPFF PROJECT MANAGER: JBL
OWNER APPROVAL:

TYPICAL WOOD DETAILS

SHEET NO.
S-600



CONCEALED KERF HANGER PLATE SCHEDULE

BEAM WIDTH (IN)	W (IN)	t _v (IN)	NOTES
8 3/4 - 10 3/4	6 1/4	3/4	-
6 3/4	5	1/2	-

SECTION A-A

MEMBER SIZE	CONNECTOR	NOTES
GL10.75 X 34.5	(2) CBH2.37X7.63	-

06.22.2023 - 50% DD SET

GENERAL SITE PLAN NOTES

1. SITE INFORMATION CONTAINED HEREIN, INCLUDING BUT NOT LIMITED TO, DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES IS BASED ON THE SURVEY ON SHEET V-001 AND IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE ARCHITECT TAKES NO RESPONSIBILITY FOR ITS ACCURACY.
2. VERIFY LOCATION OF ALL EXISTING UTILITIES. DO NOT DAMAGE OR DISTURB EXISTING UTILITIES.
3. FOR EXISTING INFORMATION SEE SHEET G-035.

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PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY
OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

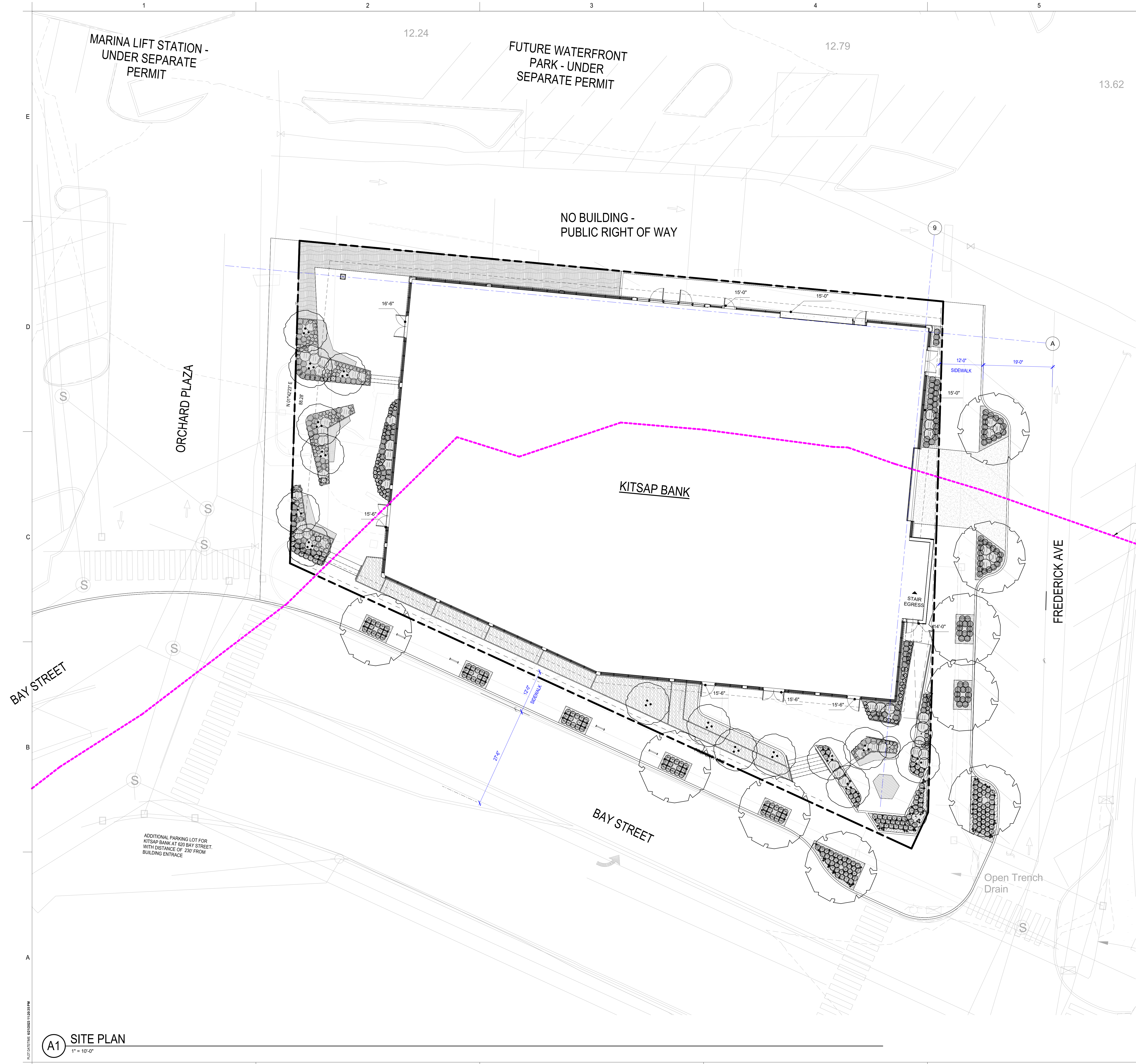
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL:

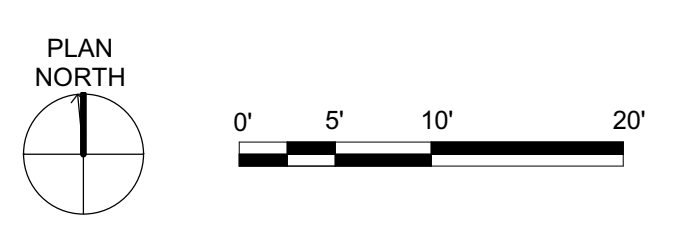
SHEET TITLE
SITE PLAN

SHEET NO.
A-100

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A1 SITE PLAN
1" = 10'-0"



06.22.2023 - BUILDING PERMIT SET

GENERAL FLOOR PLAN NOTES

- PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT EXTERIOR DOORS, INTERIOR COMMON AREA DOORS, AND UNIT ENTRY DOORS, AND FOUR INCHES FROM THE ADJACENT WALL AT INTERIOR DOORS OF UNITS, UON.
- HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN, PER IBC 1012.5.
- CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.

□ □ □ NOT IN SCOPE, FOR REFERENCE ONLY

PARKING LEGEND

	ACCESSIBLE STALL		STANDARD
	ELECTRIC VEHICLE CHARGING STATION		COMPACT
	STALL SIZE S = STANDARD C = COMPACT A = ADA		ADA
	VAN STALL		ADA VAN
	WHEEL STOP		
	SIGNED PUBLIC PARKING		

NOTE: STALL USE/SIZE ARE FOR DOCUMENTATION PURPOSES ONLY, NOT STRIPED ON STALL.

NOTE: 8'-0" VERTICAL CLEARANCE REQUIRED AT VAN STALL, ACCESS AISLE, AND VEHICLE ROUTE FROM GARAGE ENTRY TO STALL PER ANSI 117.1 SECTION 922.6.



PROJECT:
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LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2020016.01**

GGLO PRINCIPAL IN CHARGE: JF

GGLO PROJECT MANAGER: MP

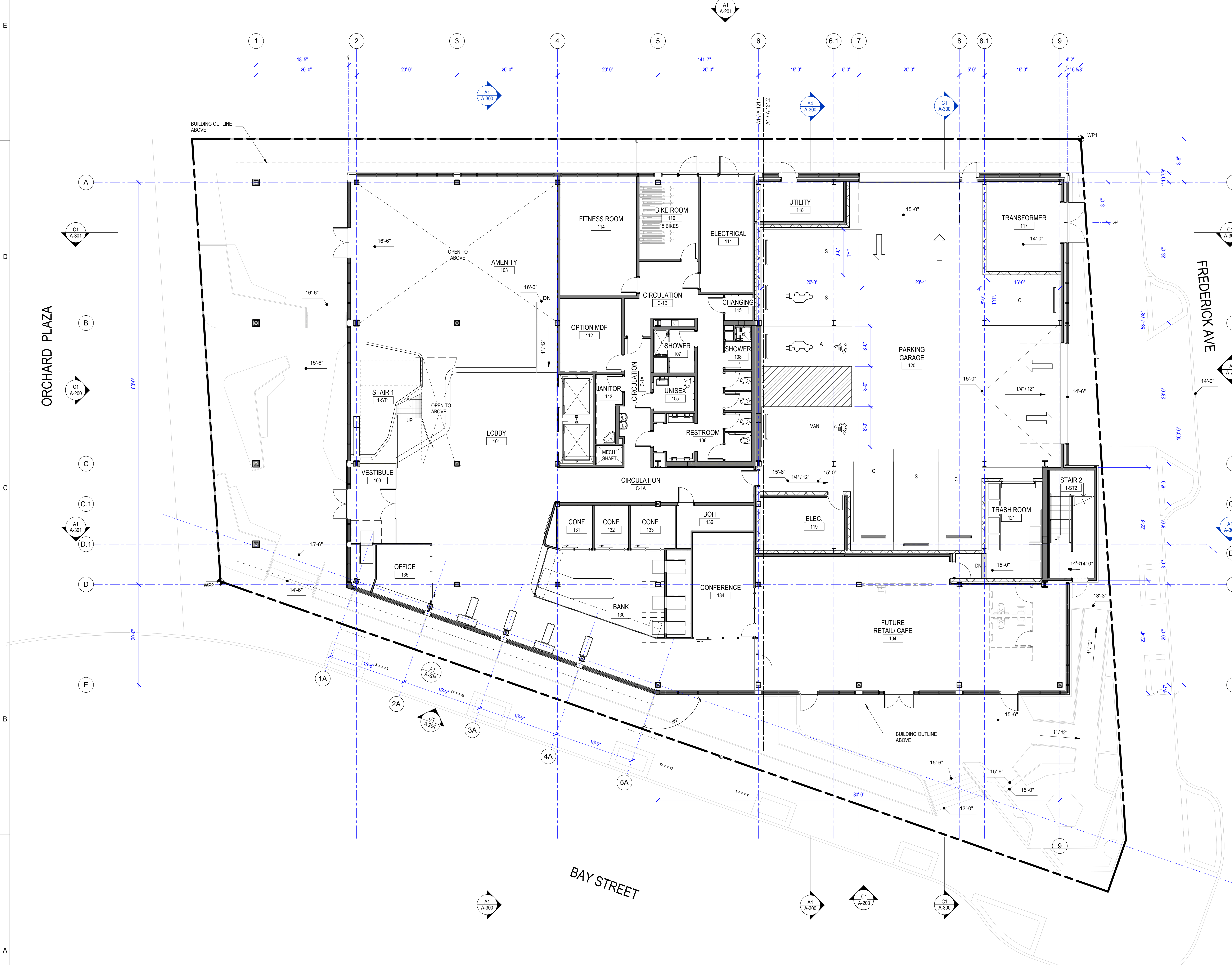
OWNER APPROVAL:

SHEET TITLE

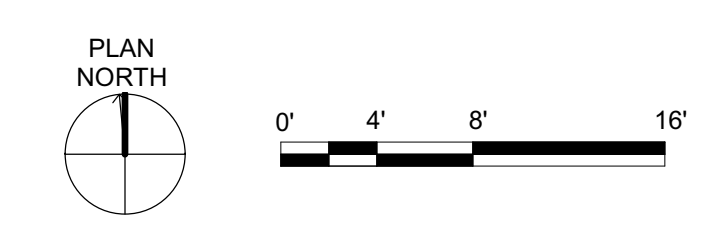
OVERALL FLOOR PLAN - LEVEL 1

SHEET NO.

A-111



A1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"



06.22.2023 - BUILDING PERMIT SET

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT EXTERIOR DOORS, INTERIOR COMMON AREA DOORS, AND UNIT ENTRY DOORS, AND FOUR INCHES FROM THE ADJACENT WALL AT INTERIOR DOORS OF UNITS, UON.
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PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY.
OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

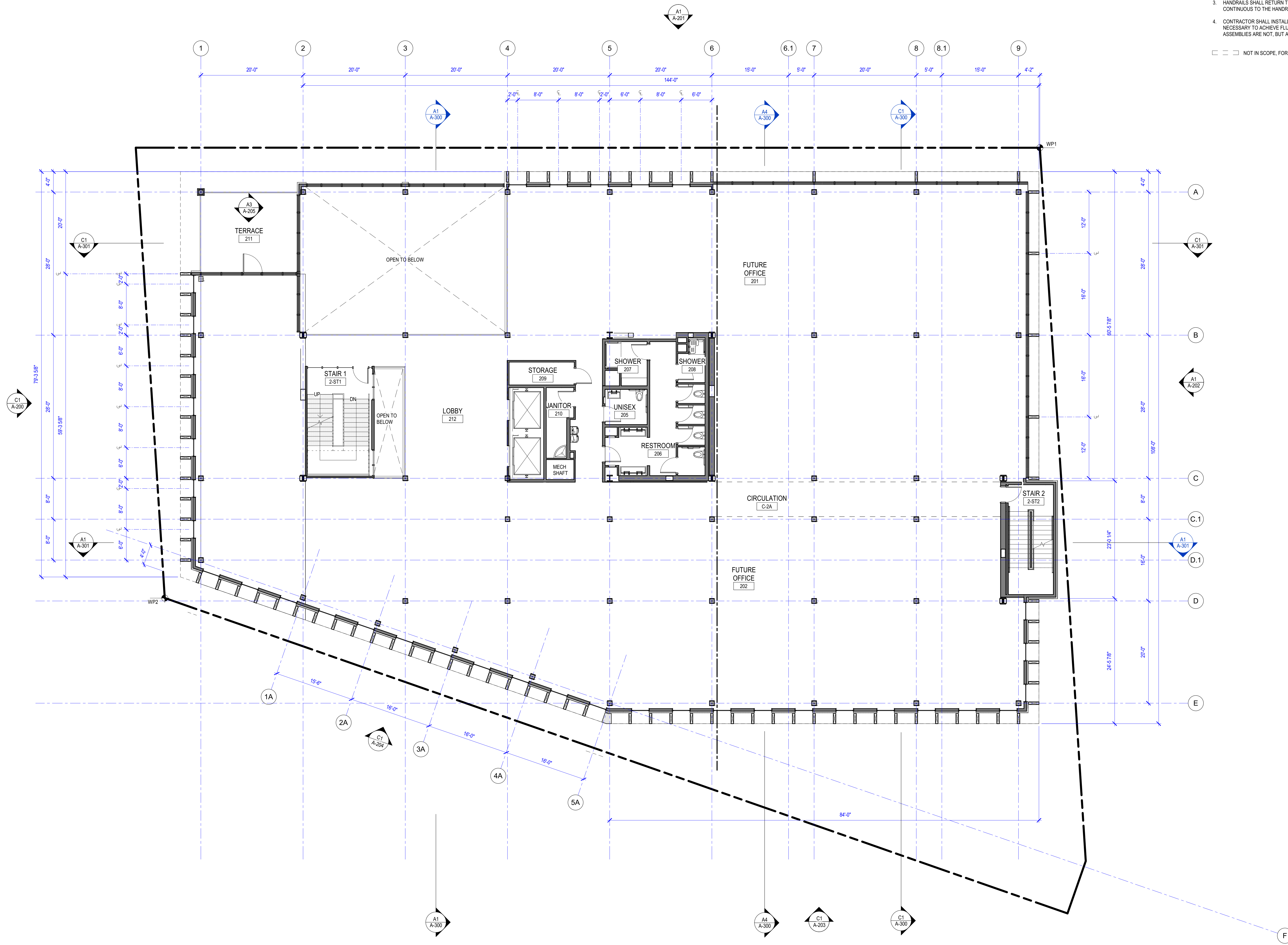
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL:

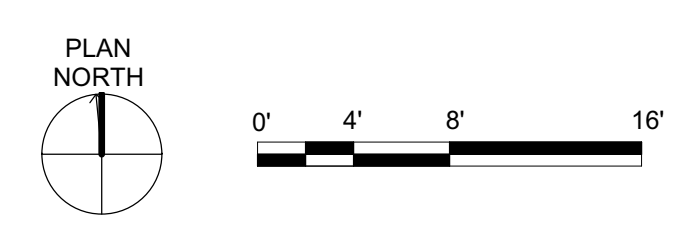
SHEET TITLE
OVERALL FLOOR PLAN - LEVEL 2

SHEET NO.
A-112

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A1 LEVEL 2 FLOOR PLAN
1/8" = 1'-0"



06.22.2023 - BUILDING PERMIT SET

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT EXTERIOR DOORS, INTERIOR COMMON AREA DOORS, AND UNIT ENTRY DOORS, AND FOUR INCHES FROM THE ADJACENT WALL AT INTERIOR DOORS OF UNITS, UON.
3. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN, PER IBC 1012.5.
4. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.

□ □ □ NOT IN SCOPE, FOR REFERENCE ONLY

GGLO

SEATTLE | LOS ANGELES | BOISE
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PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY.
OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

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MARK DATE DESCRIPTION

ISSUE INFORMATION

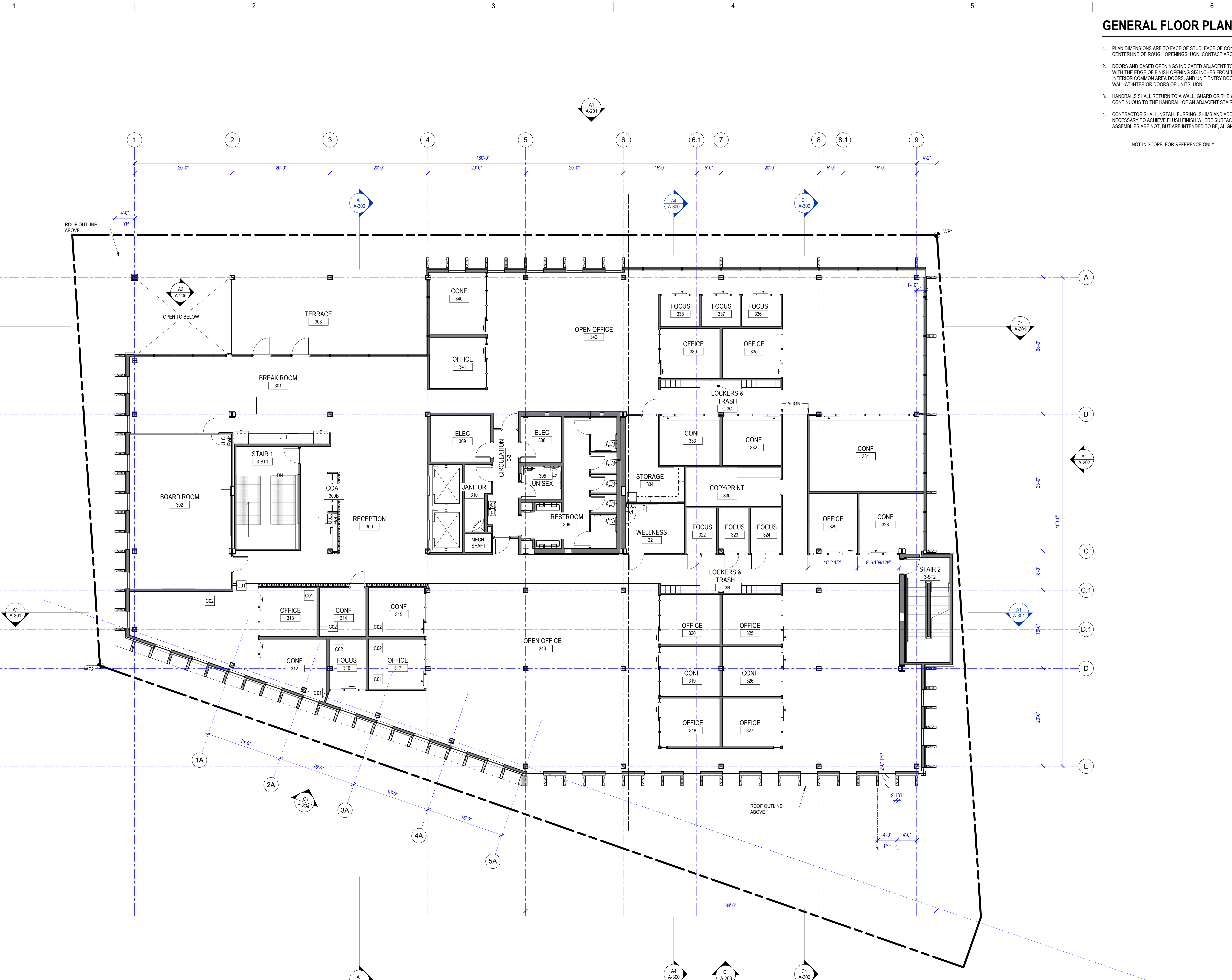
PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: JF
GGLO PROJECT MANAGER: MP
OWNER APPROVAL:

SHEET TITLE
OVERALL FLOOR PLAN - LEVEL 3

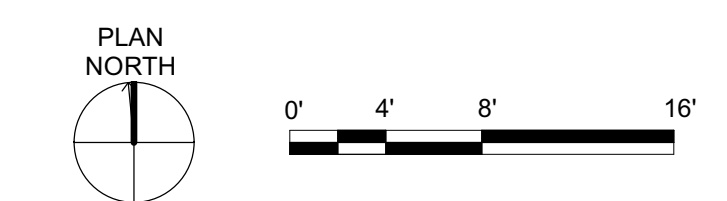
SHEET NO.

A-113

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A1 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"



06.22.2023 - BUILDING PERMIT SET

GENERAL ROOF PLAN NOTES

1. SEE DETAIL XXIA-XXX FOR VENT PIPE PENETRATIONS.
2. SEE XXIA-XXX FOR SATELLITE CONDUIT.
3. PLACE FALL PROTECTION ANCHORS AT SPECIFIED INTERVALS PER MFR INSTRUCTIONS, SEE PROJECT MANUAL SECTION XXXXX.
4. WALL TYPE B04 AT ALL PARAPET WALLS, U.O.N

GGLO

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PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY
OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**

APPROVAL STAMPS

MARK DATE DESCRIPTION
REVISIONS

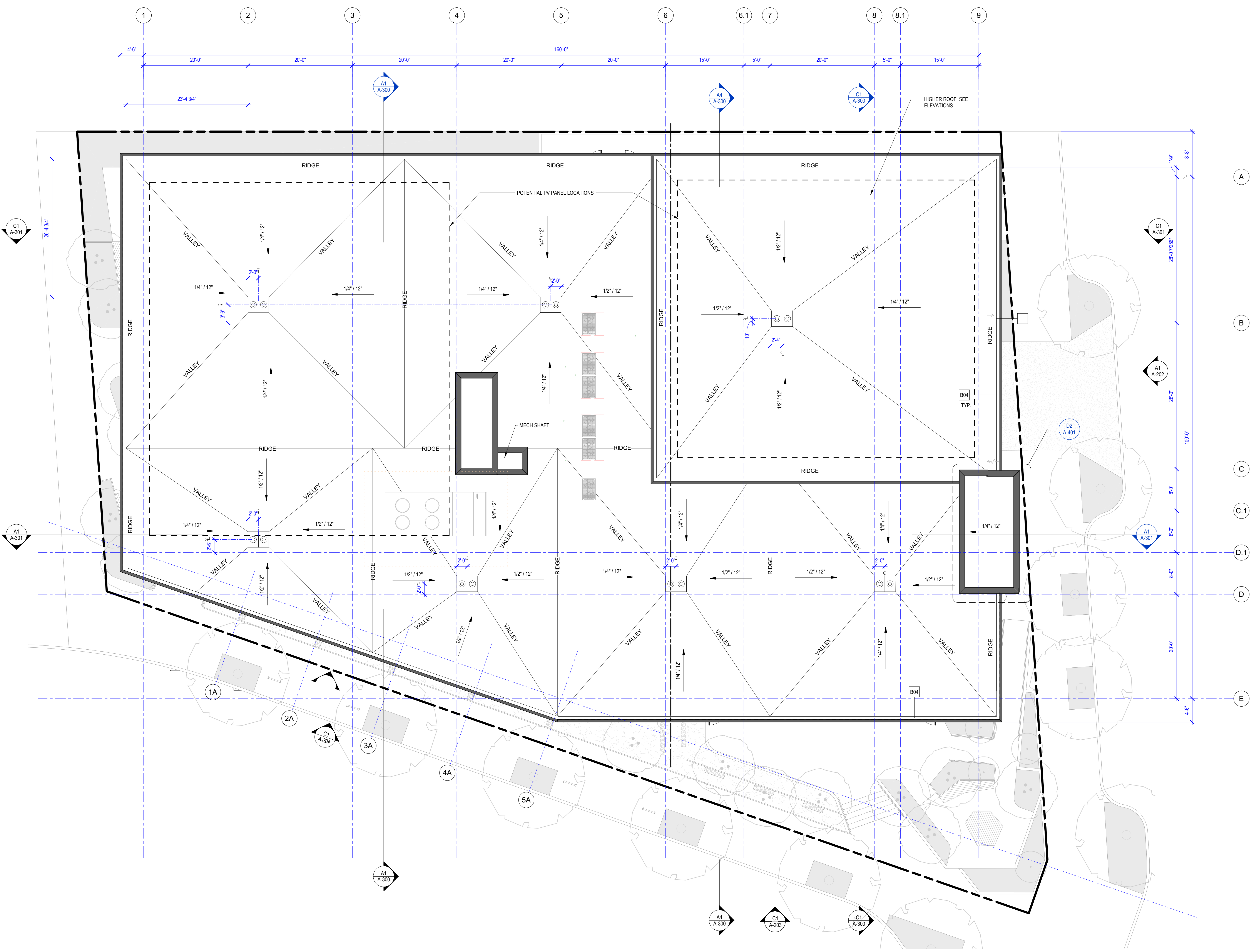
MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL:

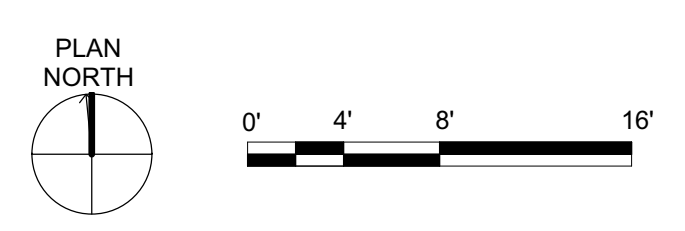
SHEET TITLE
OVERALL ROOF PLAN

SHEET NO.
A-120

COPYRIGHT GGLO. ALL RIGHTS RESERVED.
ORIGINAL SHEET SIZE IS 36"X42"



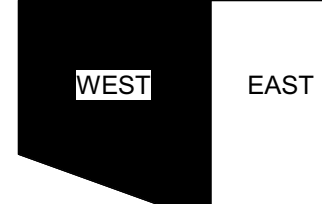
A1 ROOF PLAN
1/8" = 1'-0"



06.22.2023 - BUILDING PERMIT SET

GENERAL FLOOR PLAN NOTES

- 1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS. UON, CONTACT ARCHITECT FOR CLARIFICATIONS.
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3. SEE SHEET A-420 & A-425 FOR STOREFRONT & WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-610 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-601 FOR WALL ASSEMBLIES, RATINGS AND TESTING CRITERIA.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET AND SHOWER. REF A-500.
7. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL OF AN ADJACENT STAIR FLIGHT OR RAMP RUN. PER IBC 1012.5.
8. CONTRACTOR SHALL INSTALL FURRING, SHIMS AND ADDITIONAL LAYERS OF GYPSUM BOARD AS NECESSARY TO ACHIEVE FLUSH FINISH WHERE SURFACES OF ADJACENT WALL OR SHAFT ASSEMBLIES ARE NOT, BUT ARE INTENDED TO BE, ALIGNED.
NOT IN SCOPE, FOR REFERENCE ONLY



KEY PLAN

PROJECT: KITSAP BANK HEADQUARTERS
PROJECT ADDRESS: 625 BAY ST PORT ORCHARD WA 98366
OWNER: KITSAP BANK 619 BAY STREET PORT ORCHARD, WA 98366

APPROVAL STAMPS

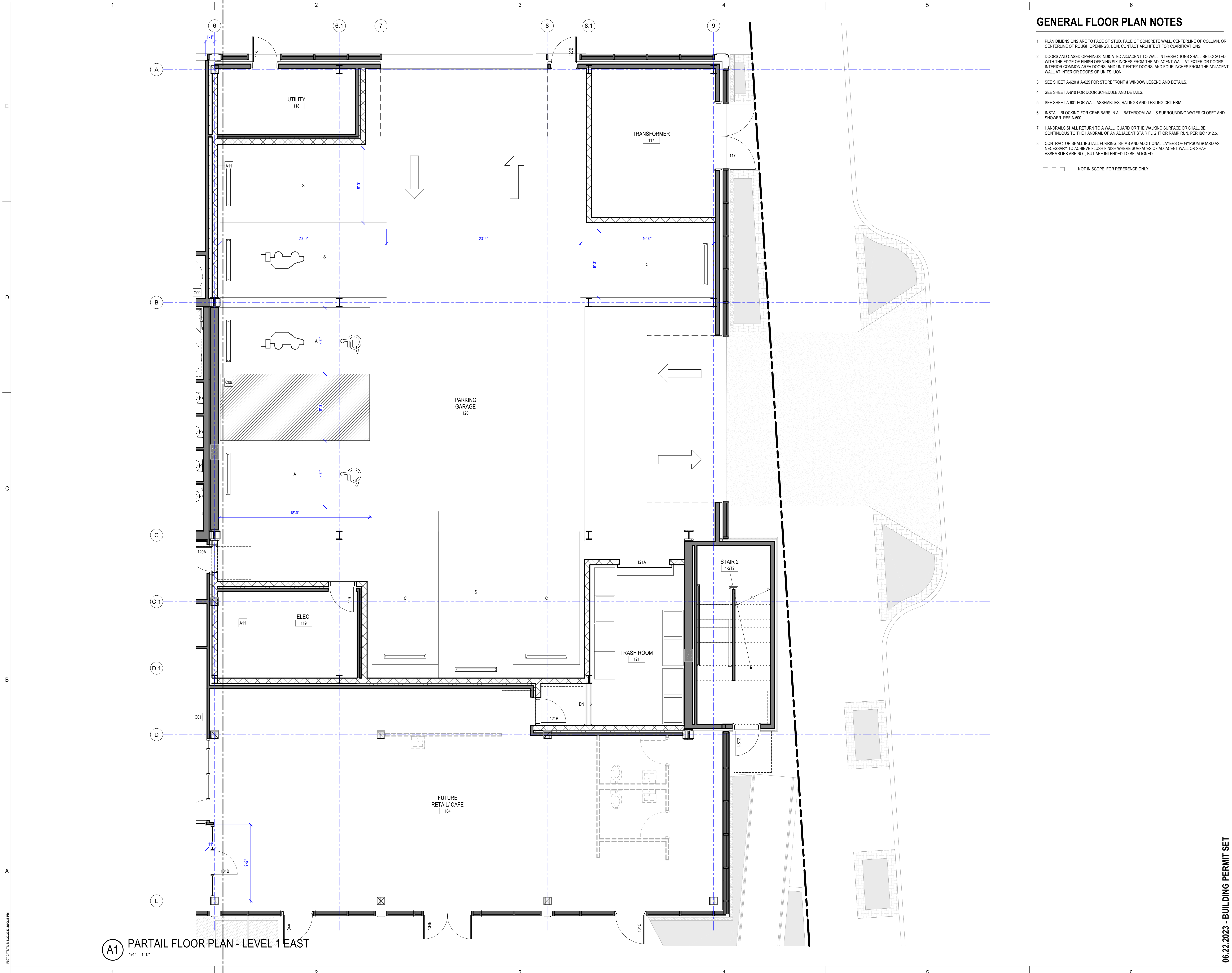
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PROJECT NO.: 2020016.01
GGLO PRINCIPAL IN CHARGE: JF
GGLO PROJECT MANAGER: MP
OWNER APPROVAL:
SHEET TITLE: PARTIAL FLOOR PLAN - LEVEL 1 WEST
SHEET NO.: A-121.1

A1 PARTIAL FLOOR PLAN - LEVEL 1 WEST 1/4" = 1'-0"

06.22.2023 - BUILDING PERMIT SET

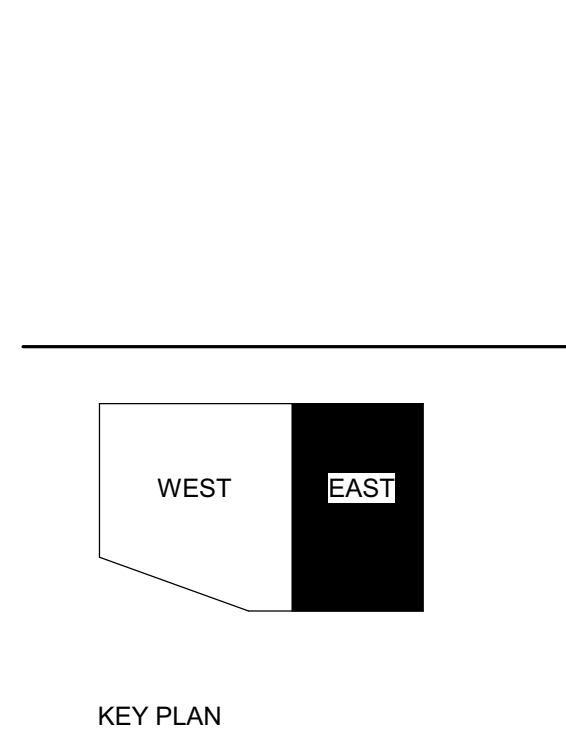




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3. SEE SHEET A-620 & A-625 FOR STOREFRONT & WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-610 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-601 FOR WALL ASSEMBLIES, RATINGS AND TESTING CRITERIA.
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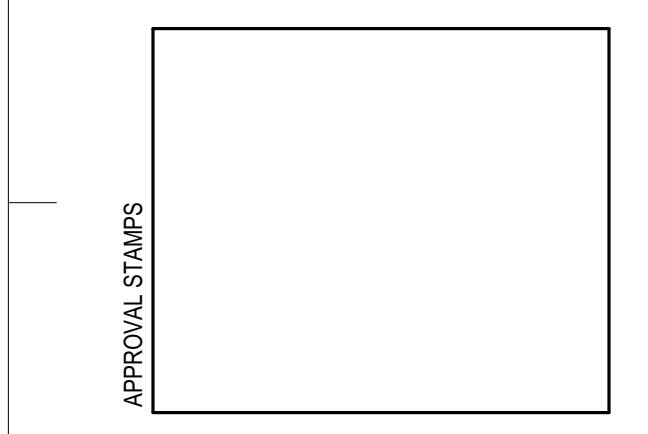


PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: JF
 GGLO PROJECT MANAGER: MP
 OWNER APPROVAL: _____

SHEET TITLE:
PARTIAL FLOOR PLAN - LEVEL 1 EAST

SHEET NO.:
A-121.2

06.22.2023 - BUILDING PERMIT SET

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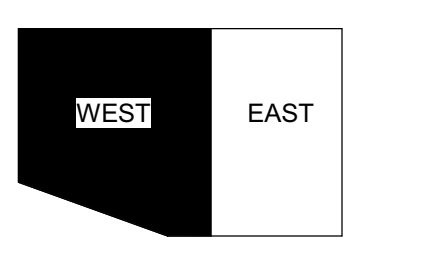
A1 PARTIAL FLOOR PLAN - LEVEL 1 EAST
1/4" = 1'-0"

1 2 3 4 5 6

GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNLESS NOTED OTHERWISE. CONTACT ARCHITECT FOR CLARIFICATIONS.
2. DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISH OPENING SIX INCHES FROM THE ADJACENT WALL AT EXTERIOR DOORS, INTERIOR COMMON AREA DOORS, AND UNIT ENTRY DOORS, AND FOUR INCHES FROM THE ADJACENT WALL AT INTERIOR DOORS OF UNITS, UNLESS NOTED OTHERWISE.
3. SEE SHEET A-420 & A-425 FOR STOREFRONT & WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-610 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-401 FOR WALL ASSEMBLIES, RATINGS AND TESTING CRITERIA.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET AND SHOWER, REF A-500.
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KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY.

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK	DATE	DESCRIPTION
REVISIONS		

B 02/23/2023 SD PRICE SET
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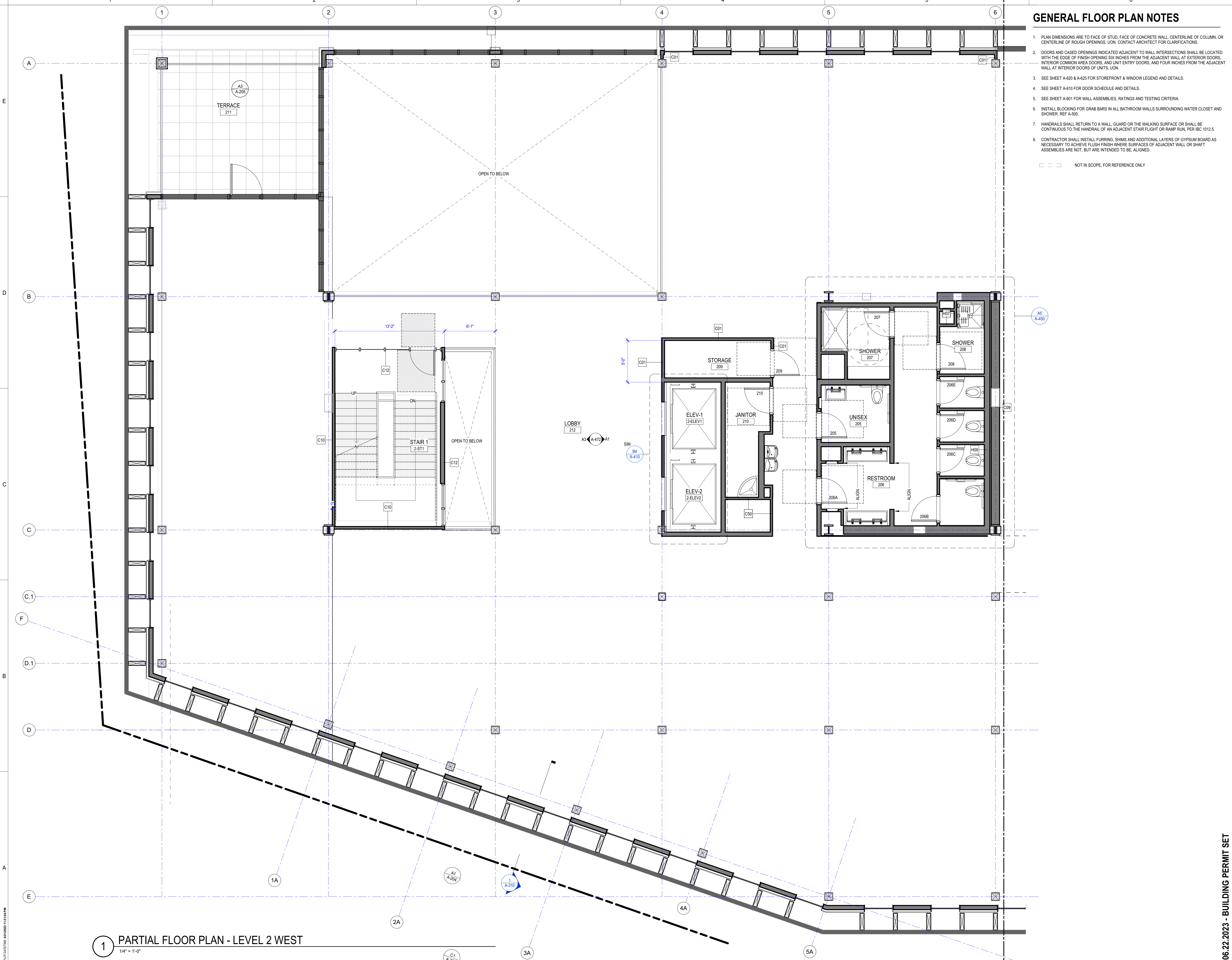
MARK DATE DESCRIPTION
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: JF
GGLO PROJECT MANAGER: MP
OWNER APPROVAL:

SHEET TITLE:
PARTIAL FLOOR PLAN - LEVEL 2 WEST

SHEET NO.:
A-122.1

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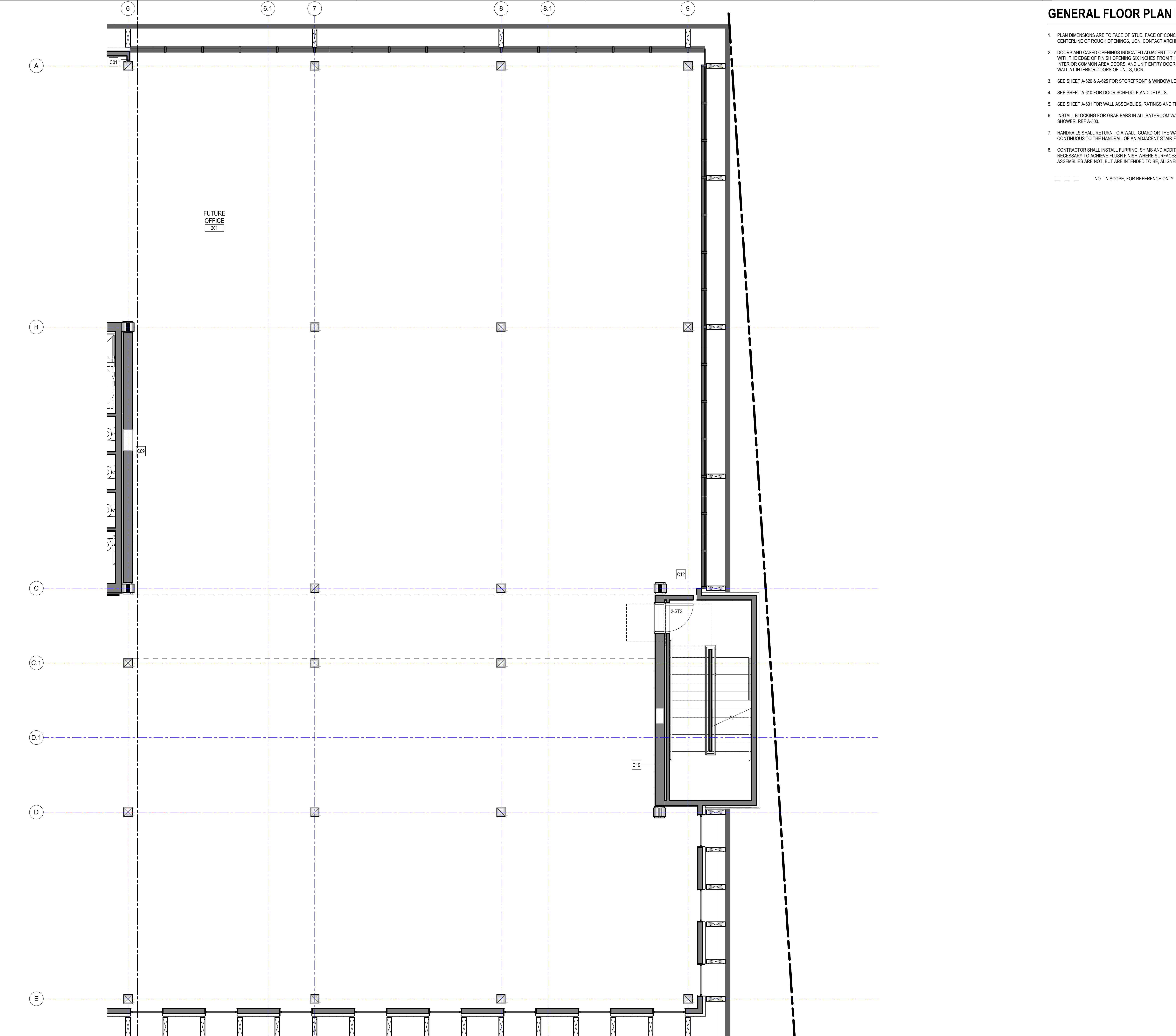


1 PARTIAL FLOOR PLAN - LEVEL 2 WEST

1/4" = 1'-0"

06.22.2023 - BUILDING PERMIT SET

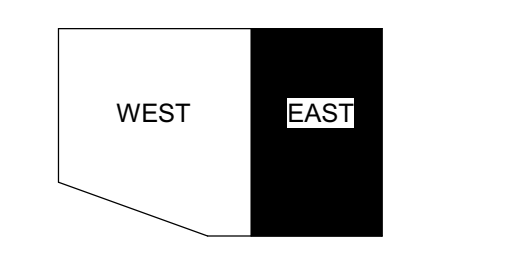
1 2 3 4 5 6



GENERAL FLOOR PLAN NOTES

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3. SEE SHEET A-620 & A-625 FOR STOREFRONT & WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-610 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-601 FOR WALL ASSEMBLIES, RATINGS AND TESTING CRITERIA.
6. INSTALL BLOCKING FOR GRAB BARS IN ALL BATHROOM WALLS SURROUNDING WATER CLOSET AND SHOWER, REF A-500.
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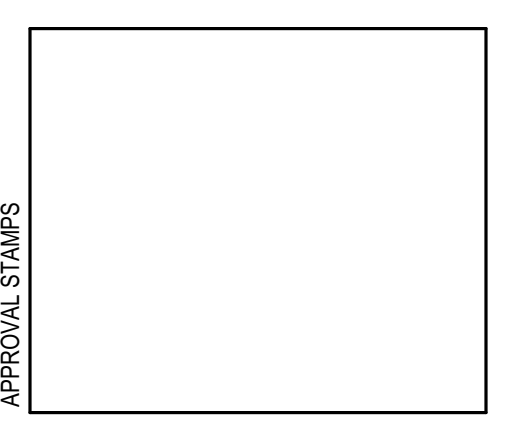


KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
 619 BAY STREET
 PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

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B	02/23/2023	SD PRICE SET
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PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: **JF**
 GGLO PROJECT MANAGER: **MP**
 OWNER APPROVAL: _____

SHEET TITLE:
PARTIAL FLOOR PLAN - LEVEL 2 EAST

SHEET NO.:
A-122.2

A1 PARTIAL FLOOR PLAN - LEVEL 2 EAST
 1/4" = 1'-0"

1 2 3 4 5 6



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS, UNLESS OTHERWISE NOTED. CONTACT ARCHITECT FOR CLARIFICATIONS.
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4. SEE SHEET A-410 FOR DOOR SCHEDULE AND DETAILS.
5. SEE SHEET A-401 FOR WALL ASSEMBLIES, RATINGS AND TESTING CRITERIA.
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KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366

LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY.

OWNER:
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619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

MARK DATE DESCRIPTION

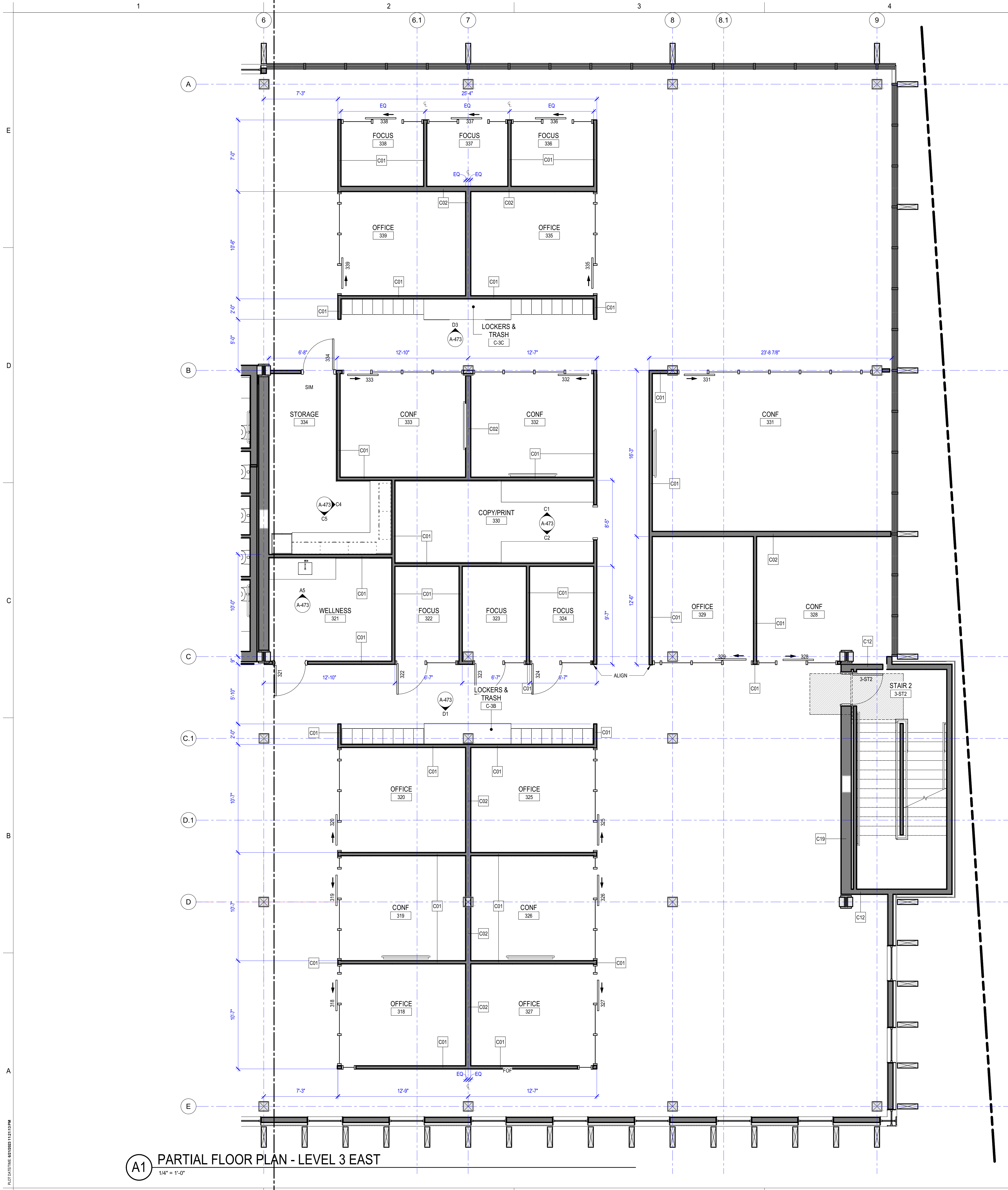
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: **JF**
 GGLO PROJECT MANAGER: **MP**
 OWNER APPROVAL:

SHEET TITLE
PARTIAL FLOOR PLAN - LEVEL 3 WEST

SHEET NO.
A-123.1

A1 PARTIAL FLOOR PLAN - LEVEL 3 WEST
 1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES

1. PLAN DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE WALL, CENTERLINE OF COLUMN, OR CENTERLINE OF ROUGH OPENINGS. UON. CONTACT ARCHITECT FOR CLARIFICATIONS.
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3. SEE SHEET A-620 & A-625 FOR STOREFRONT & WINDOW LEGEND AND DETAILS.
4. SEE SHEET A-610 FOR DOOR SCHEDULE AND DETAILS.
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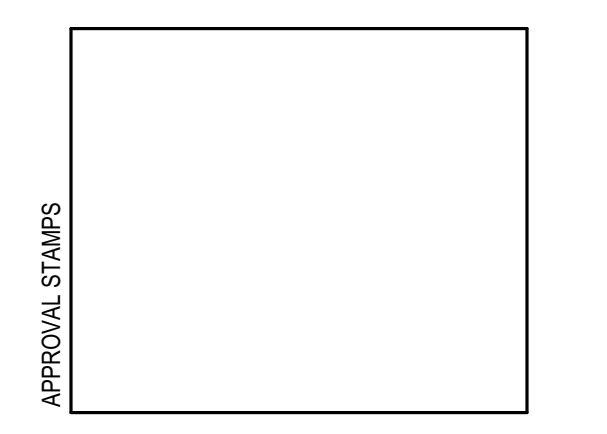
□ □ □ NOT IN SCOPE, FOR REFERENCE ONLY



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS
 PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY.

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MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
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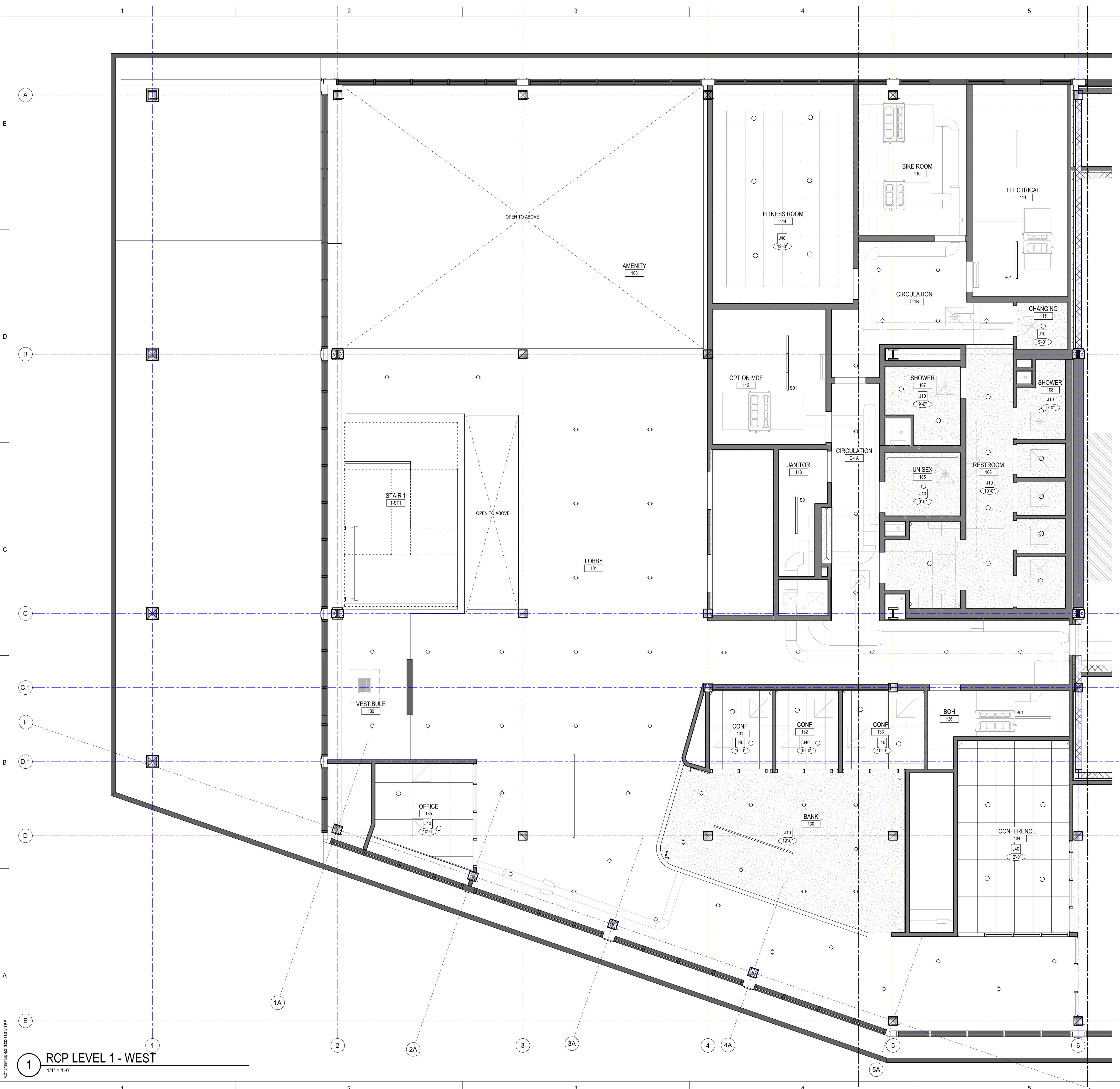
PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: JF
 GGLO PROJECT MANAGER: MP
 OWNER APPROVAL:

SHEET TITLE
PARTIAL FLOOR PLAN - LEVEL 3 EAST

SHEET NO.
A-123.2

A1 PARTIAL FLOOR PLAN - LEVEL 3 EAST
 1/4" = 1'-0"

06.22.2023 - BUILDING PERMIT SET



GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONE/DATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAINT ALL EXPOSED MEP SYSTEMS PTF-X.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED PTF-X U.O.N.

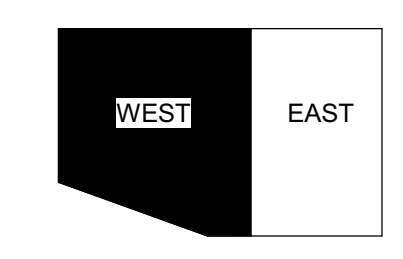
RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

- | MARK | PATTERN | DESCRIPTION |
|--------|-----------|------------------------------|
| J10 | [Pattern] | INT MTL FRAMED GYP CLG |
| J40 | [Pattern] | INT SUSPENDED ACOUSTICAL CLG |
| | [Symbol] | OTS - OPEN TO STRUCTURE |
| (S) | [Symbol] | SMOKE DETECTOR |
| (SC) | [Symbol] | SMOKE / CO2 DETECTOR |
| (EXIT) | [Symbol] | EXIT SIGN |
| (LXX) | [Symbol] | LIGHTING FIXTURE TAG |
| (J) | [Symbol] | JUNCTION BOX |

TYPE	QTY	WATTS	DESCRIPTION
D01	123	26W	RECESSED DOWNLIGHT
D02	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
C01	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCONCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

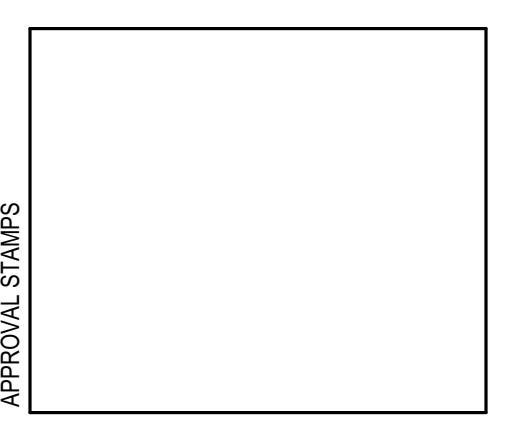
NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS
 PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

ISSUE INFORMATION

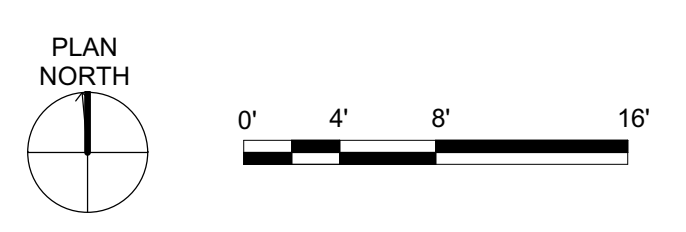
PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: JF
 GGLO PROJECT MANAGER: MP
 OWNER APPROVAL:

SHEET TITLE
RCP PARTIAL PLAN - LEVEL 1 WEST

SHEET NO.
A-141.1

06.22.2023 - BUILDING PERMIT SET

1 RCP LEVEL 1 - WEST
 1/4" = 1'-0"



GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONE/DATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAINTE ALL EXPOSED MEP SYSTEMS PT-X.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED PT-X U.O.N.

RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

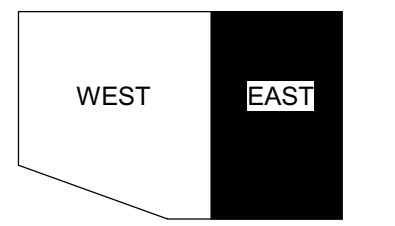
MARK	PATTERN	DESCRIPTION
J10	[Pattern]	INT MTL FRAMED GYP CLG
J40	[Pattern]	INT SUSPENDED ACOUSTICAL CLG
	[Pattern]	OTS - OPEN TO STRUCTURE
(S)		SMOKE DETECTOR
(SC)		SMOKE / CO2 DETECTOR
(EXIT)		EXIT SIGN
(LXX)		LIGHTING FIXTURE TAG
(J)		JUNCTION BOX

TYPE	QTY	WATTS	DESCRIPTION
D01	123	26W	RECESSED DOWNLIGHT
D02	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
C01	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCONCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING

GGLO

SEATTLE | LOS ANGELES | BOISE
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KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2020016.01**

GGLO PRINCIPAL IN CHARGE: JF

GGLO PROJECT MANAGER: MP

OWNER APPROVAL:

SHEET TITLE

RCP PARTIAL PLAN - LEVEL 1 EAST

SHEET NO.

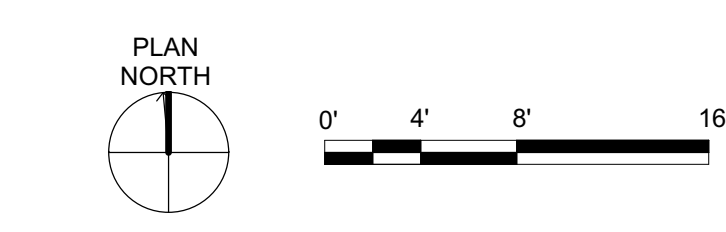
A-141.2

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1 RCP LEVEL 1 - EAST

1/4" = 1'-0"



06.22.2023 - BUILDING PERMIT SET



GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONEDATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAINT ALL EXPOSED MEP SYSTEMS P.F.A.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED P.F.U.O.A.

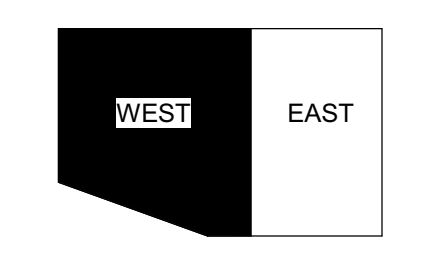
RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

- | MARK | PATTERN | DESCRIPTION |
|--------|-----------|------------------------------|
| J10 | [Pattern] | INT MTL. FRAMED GYP CLG |
| J40 | [Pattern] | INT SUSPENDED ACOUSTICAL CLG |
| | [Pattern] | OTS - OPEN TO STRUCTURE |
| (S) | | SMOKE DETECTOR |
| (SC) | | SMOKE / CO2 DETECTOR |
| (EXIT) | | EXIT SIGN |
| (LXX) | | LIGHTING FIXTURE TAG |
| (J) | | JUNCTION BOX |

TYPE	QTY	WATTS	DESCRIPTION
DD1	123	26W	RECESSED DOWNLIGHT
DD2	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
CO1	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCONCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

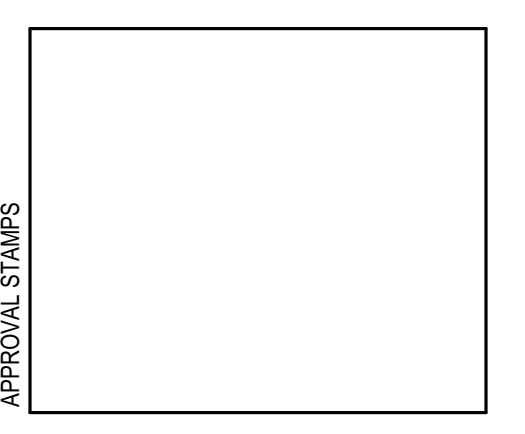
NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS
 PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
 619 BAY STREET
 PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

ISSUE INFORMATION

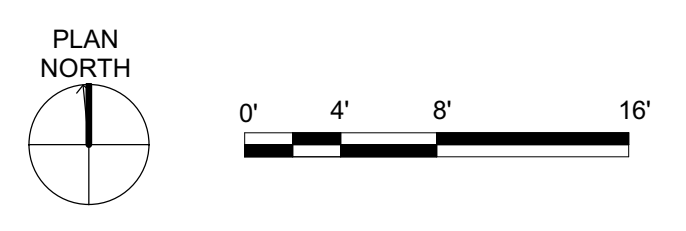
PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: JF
 GGLO PROJECT MANAGER: MP
 OWNER APPROVAL:

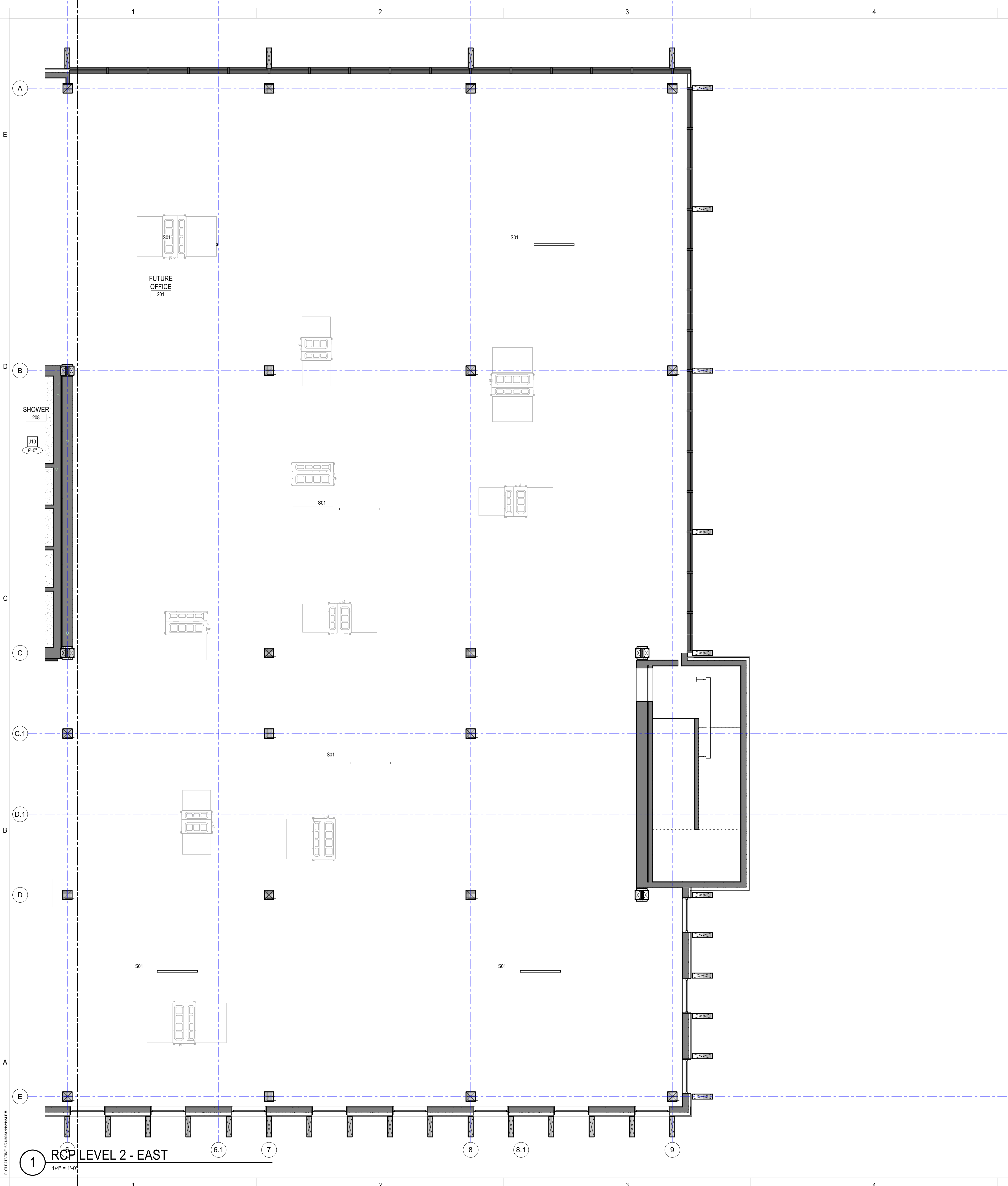
SHEET TITLE
RCP PARTIAL PLAN - LEVEL 2 WEST

SHEET NO.
A-142.1

06.22.2023 - BUILDING PERMIT SET

1 RCP LEVEL 2 - WEST
 1/4" = 1'-0"





GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONE/DATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAIN'T ALL EXPOSED MEP SYSTEMS P.F.A.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED P.T-X-U.O.A.

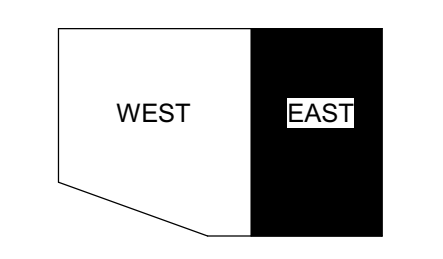
RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

MARK	PATTERN	DESCRIPTION
J10	[Pattern]	INT MTL. FRAMED GYP CLG
J40	[Pattern]	INT SUSPENDED ACOUSTICAL CLG
	[Pattern]	OTS - OPEN TO STRUCTURE
(S)		SMOKE DETECTOR
(SC)		SMOKE / CO2 DETECTOR
(EXIT)		EXIT SIGN
(LXX)		LIGHTING FIXTURE TAG
(J)		JUNCTION BOX

TYPE	QTY	WATTS	DESCRIPTION
D01	123	26W	RECESSED DOWNLIGHT
D02	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
C01	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCOSCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

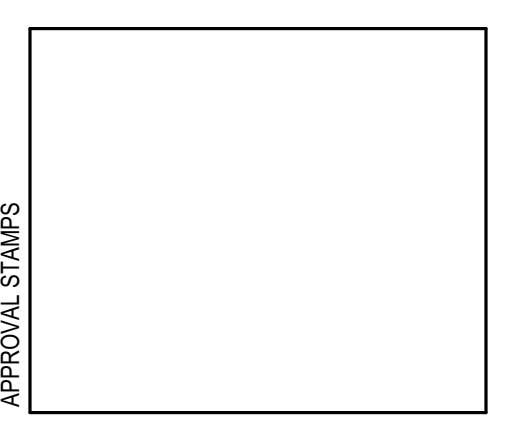
NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS
 PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
 LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
 619 BAY STREET
 PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

ISSUE INFORMATION

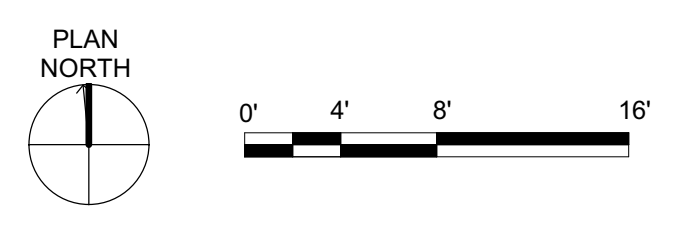
PROJECT NO.: **2020016.01**
 GGLO PRINCIPAL IN CHARGE: **JF**
 GGLO PROJECT MANAGER: **MP**
 OWNER APPROVAL: _____

SHEET TITLE
RCP PARTIAL PLAN - LEVEL 2 EAST

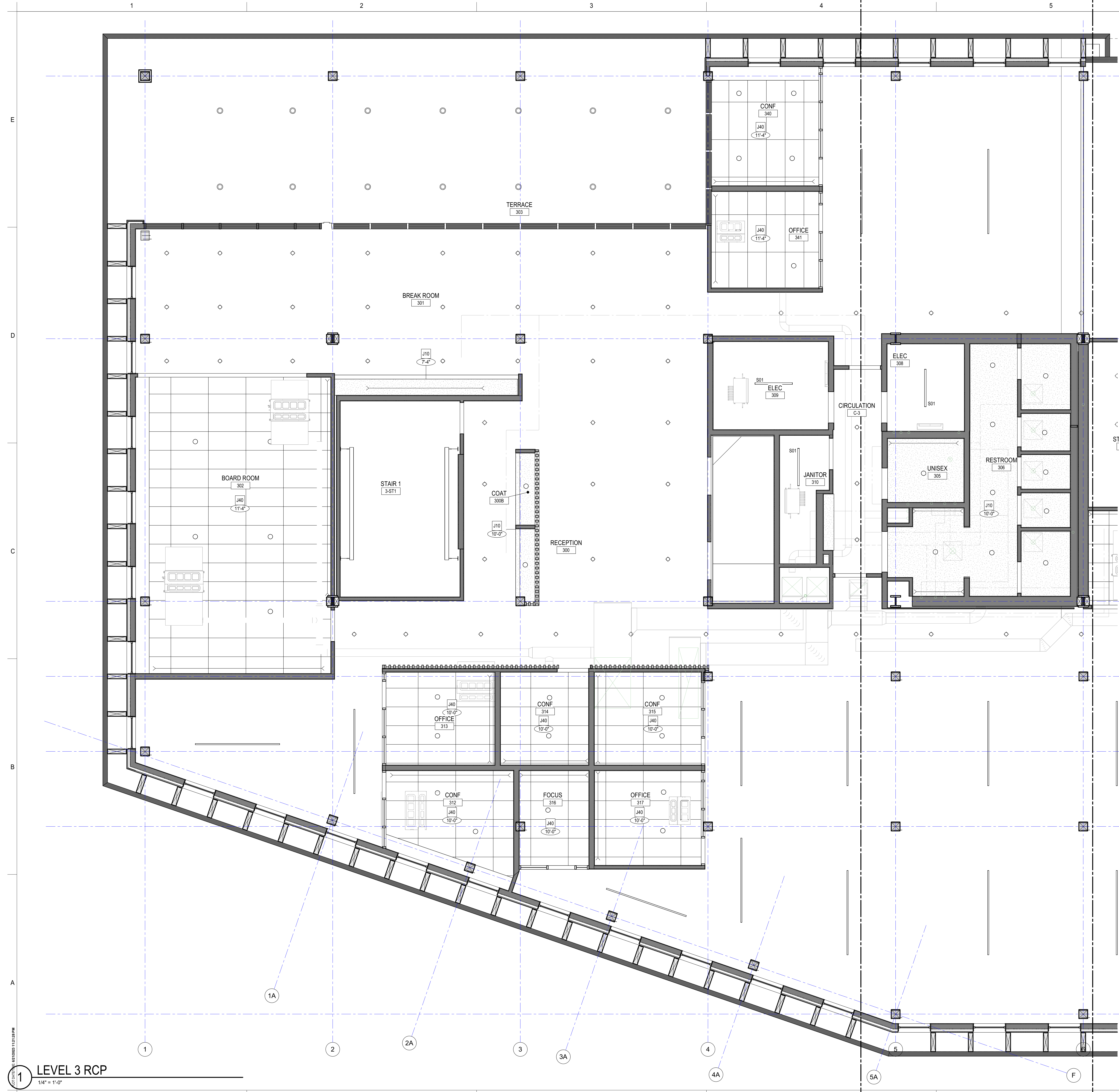
SHEET NO.
A-142.2

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1 RCP LEVEL 2 - EAST
 1/4" = 1'-0"



06.22.2023 - BUILDING PERMIT SET



GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONEDATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAINT ALL EXPOSED MEP SYSTEMS P.F.A.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED P.T-X U.O.A.

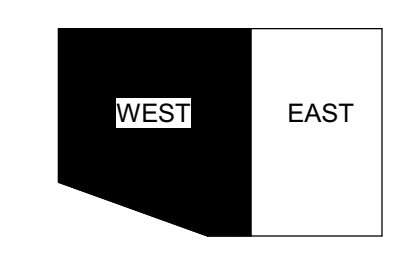
RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

- | MARK | PATTERN | DESCRIPTION |
|--------|-----------|------------------------------|
| J10 | [Pattern] | INT MTL FRAMED GYP CLG |
| J40 | [Pattern] | INT SUSPENDED ACOUSTICAL CLG |
| | [Pattern] | OTS - OPEN TO STRUCTURE |
| (S) | | SMOKE DETECTOR |
| (SC) | | SMOKE / CO2 DETECTOR |
| (EXIT) | | EXIT SIGN |
| (LXX) | | LIGHTING FIXTURE TAG |
| (J) | | JUNCTION BOX |

TYPE	QTY	WATTS	DESCRIPTION
D01	123	26W	RECESSED DOWNLIGHT
D02	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
C01	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCONCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS

PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**



MARK	DATE	DESCRIPTION
REVISIONS		

B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

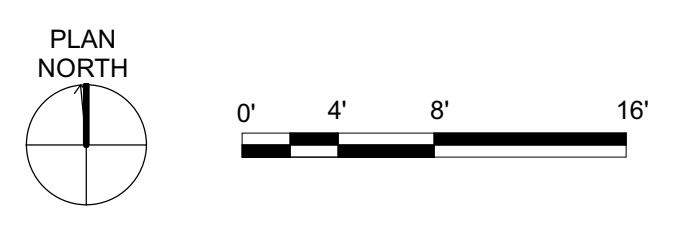
PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: JF
GGLO PROJECT MANAGER: MP
OWNER APPROVAL:

SHEET TITLE
RCP PARTIAL PLAN - LEVEL 3 WEST

SHEET NO.
A-143.1

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1 LEVEL 3 RCP
1/4" = 1'-0"



06.22.2023 - BUILDING PERMIT SET



GENERAL RCP NOTES

- FOR LOCATIONS OF ALL LIGHTING FIXTURES, EGRESS SIGNAGE, EMERGENCY LIGHTING, SMOKE/CO2 DETECTION INDICATORS, AND PHONEDATA OUTLETS, SEE REFLECTED CEILING PLANS AND LIGHTING DRAWINGS.
- FOR CEILING ASSEMBLIES, SEE SHEET A-605.
- PAIN'T ALL EXPOSED MEP SYSTEMS P.F.A.
- ALL LIGHT FIXTURES, MECHANICAL, AND SPRINKLERS TO BE CENTERED IN ACOUSTIC CEILING TILE WHERE OCCURS.
- ALL FIXTURE FINISHES TO MATCH THAT OF ADJACENT CEILING FINISH.
- ALL GYP CEILINGS TO BE PAINTED P.F.X.U.O.N.

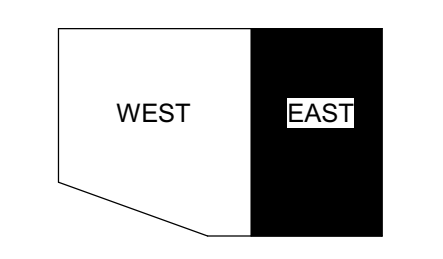
RCP LEGEND

NOTE: REFER TO SHEET A-605 FOR CEILING AND SOFFIT ASSEMBLY INFORMATION

- | MARK | PATTERN | DESCRIPTION |
|----------|-----------|------------------------------|
| J10 | [Pattern] | INT MTL FRAMED GYP CLG |
| J40 | [Pattern] | INT SUSPENDED ACOUSTICAL CLG |
| [Symbol] | [Symbol] | OTS - OPEN TO STRUCTURE |
| [Symbol] | [Symbol] | SMOKE DETECTOR |
| [Symbol] | [Symbol] | SMOKE / CO2 DETECTOR |
| [Symbol] | [Symbol] | EXIT SIGN |
| [Symbol] | [Symbol] | LIGHTING FIXTURE TAG |
| [Symbol] | [Symbol] | JUNCTION BOX |

TYPE	QTY	WATTS	DESCRIPTION
D01	123	26W	RECESSED DOWNLIGHT
D02	145	21W	DECORATIVE PENDANT/CYLINDER
A01	32	10W per LF	SUSPENDED LINEAR PENDANT
C01	47	6.25W per LF	RECESSED WALL WASH
W01	NA	NA	WALL SCOSCE
S01	26	60W 8ft	STRIP LIGHT
ED01	14	11W	EXTERIOR DOWNLIGHT, SURFACE
W02	9	10.5W per LF	WALL MOUNTED LINEAR
D03	13	50W	GARAGE FIXTURE, SURFACE

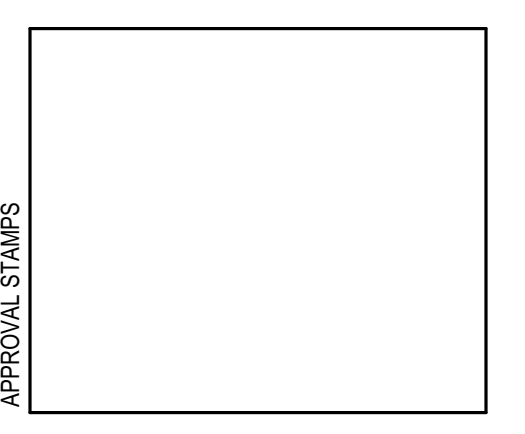
NOTE: QUANTITIES SHOWN FOR ENTIRE BUILDING



KEY PLAN

PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

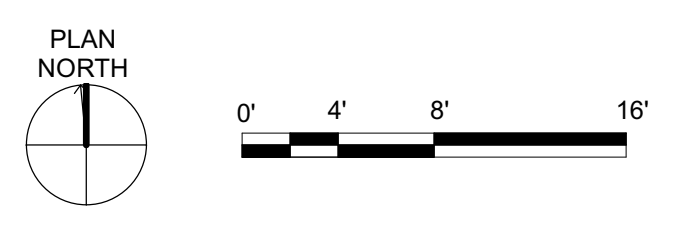
ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: JF
GGLO PROJECT MANAGER: MP
OWNER APPROVAL:

SHEET TITLE
RCP PARTIAL PLAN - LEVEL 3 EAST

SHEET NO.
A-143.2

06.22.2023 - BUILDING PERMIT SET



1 LEVEL 3 RCP
1/4" = 1'-0"

GENERAL EXTERIOR ELEVATION NOTES

- LOCATE EXHAUST VENTS 3 FT MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
- SEE RCP FOR SOFFIT COLORS.

EXTERIOR MATERIAL LEGEND

TAG	DESCRIPTION
CNC-1	CAST IN PLACE CONCRETE
FC-1	FIBER CEMENT PANEL
G-1	VISION GLASS
G-3	SPANDREL GLASS
G-5	RAILING/BALCONY GLAZING
MTL-1	METAL PANEL, C CHANNEL
MTL-2	ALUMINUM BREAK METAL DETAIL, TO MATCH STOREFRONT
MTL-4	METAL COPING, COLOR TO MATCH ADJACENT MATERIAL
MTL-5	METAL MESH
MTL-6	VERTICAL LOUVER WITH PERFORATED SHEET FACE
WD-1	EXPOSED GLULAM COLUMNS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-2	EXPOSED GLULAM FINIS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-3	CEDAR SIDING, SEE 099300 FOR FINISH TREATMENT

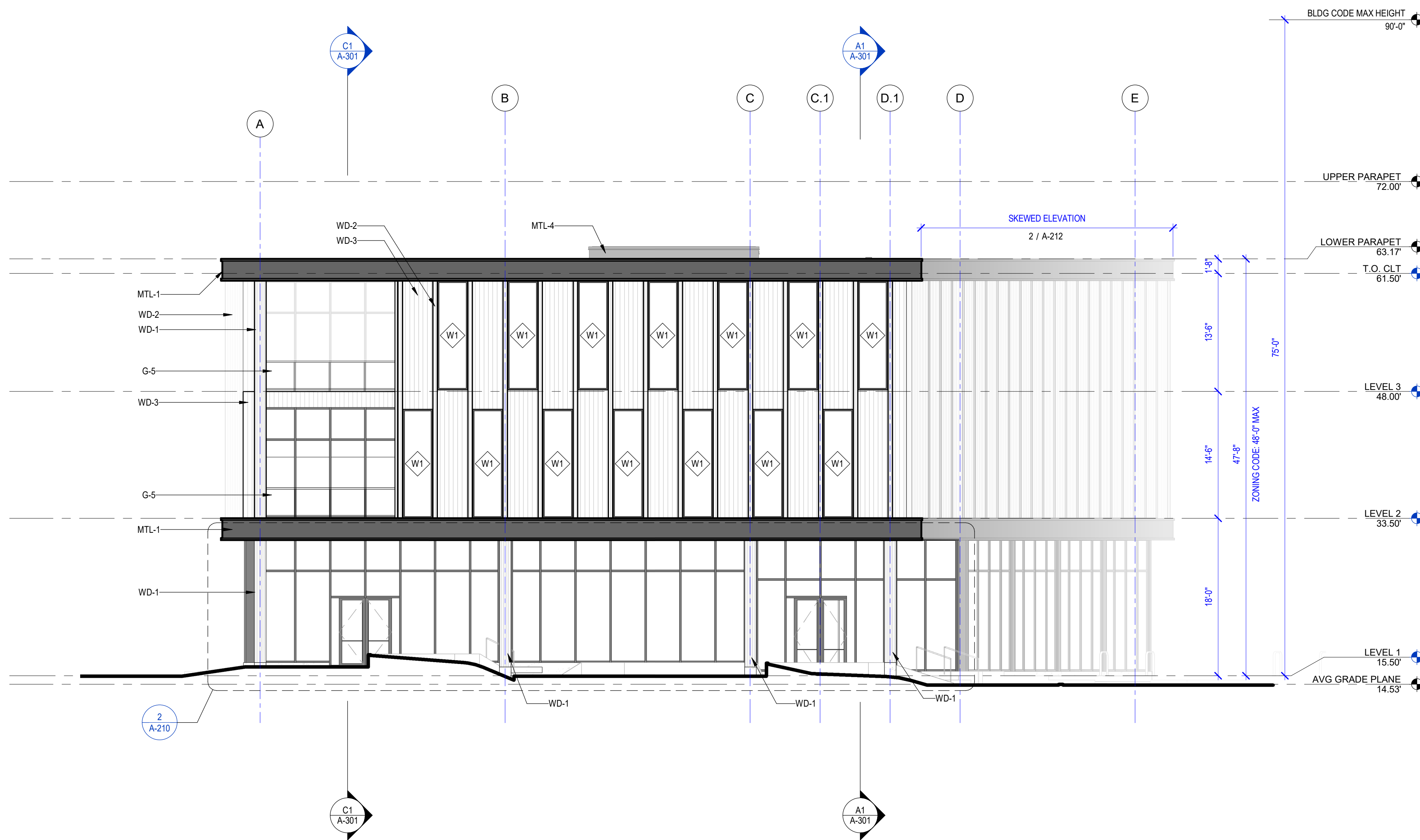
GGLO

SEATTLE | LOS ANGELES | BOISE
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PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**



C1 WEST ELEVATION - ORCHARD PLAZA

1/8" = 1'-0"



A1 WEST ELEVATION - ORCHARD PLAZA

1/8" = 1'-0"

APPROVAL STAMPS

MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL:

SHEET TITLE
EXTERIOR ELEVATIONS - WEST

SHEET NO.

A-200

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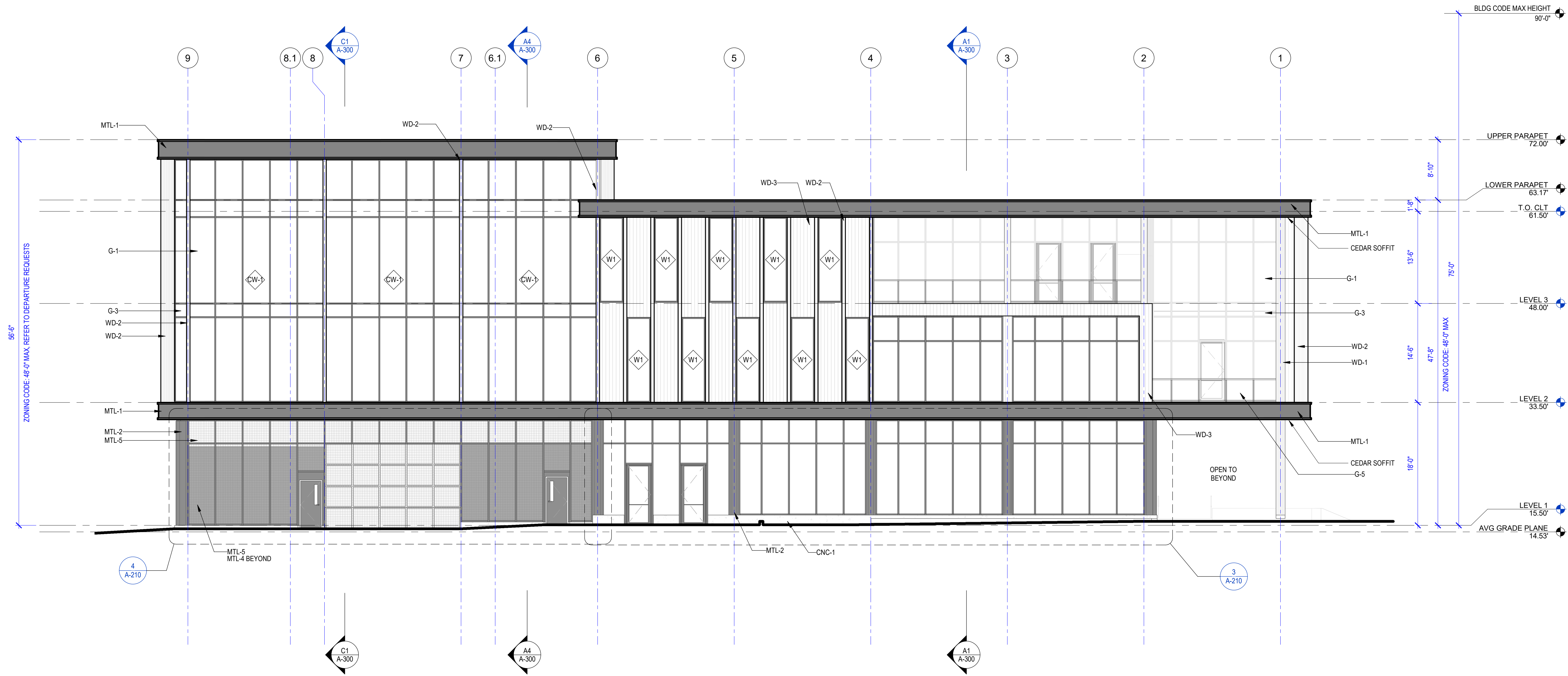
06.22.2023 - BUILDING PERMIT SET

GENERAL EXTERIOR ELEVATION NOTES

1. LOCATE EXHAUST VENTS 3 FT MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
2. SEE RCP FOR SOFFIT COLORS.

EXTERIOR MATERIAL LEGEND

TAG	DESCRIPTION
CNC-1	CAST IN PLACE CONCRETE
FC-1	FIBER CEMENT PANEL
G-1	VISION GLASS
G-3	SPANDREL GLASS
G-5	RAILING/BALCONY GLAZING
MTL-1	METAL PANEL C CHANNEL
MTL-2	ALUMINUM BREAK METAL DETAIL, TO MATCH STOREFRONT
MTL-4	METAL COPING, COLOR TO MATCH ADJACENT MATERIAL
MTL-5	METAL MESH
MTL-6	VERTICAL LOUVER WITH PERFORATED SHEET FACE
WD-1	EXPOSED GLULAM COLUMNS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-2	EXPOSED GLULAM FINS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-3	CEDAR SIDING, SEE 099300 FOR FINISH TREATMENT



C1 NORTH ELEVATION
1/8" = 1'-0"

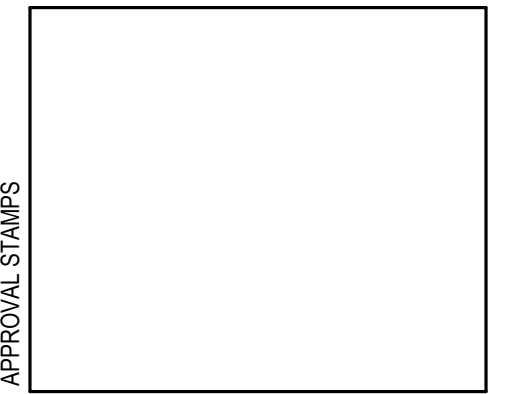


A1 NORTH ELEVATION
1/8" = 1'-0"



PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY

OWNER:
KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366



MARK DATE DESCRIPTION

REVISIONS

B 02/23/2023 SD PRICE SET

A 03/01/2022 CONCEPT DESIGN PRICE SET

MARK DATE DESCRIPTION

ISSUE INFORMATION

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL:

SHEET TITLE
EXTERIOR ELEVATIONS - NORTH

SHEET NO.
A-201

06.22.2023 - BUILDING PERMIT SET

GENERAL EXTERIOR ELEVATION NOTES

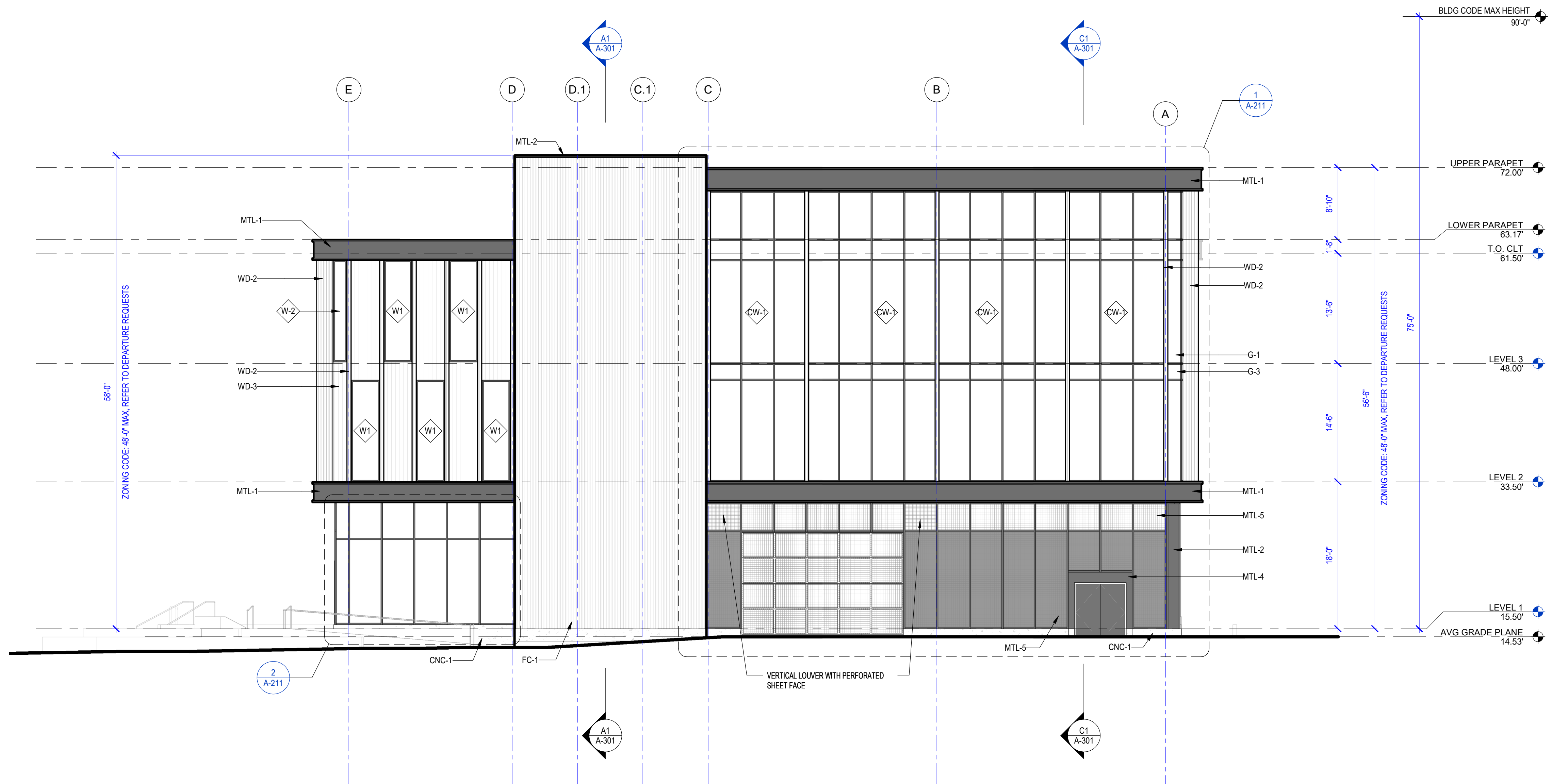
1. LOCATE EXHAUST VENTS 3 FT MINIMUM FROM DOORS AND OPERABLE PORTIONS OF WINDOWS.
2. SEE RCP FOR SOFFIT COLORS.

EXTERIOR MATERIAL LEGEND

TAG	DESCRIPTION
CNC-1	CAST IN PLACE CONCRETE
FC-1	FIBER CEMENT PANEL
G-1	VISION GLASS
G-3	SPANDREL GLASS
G-5	RAILING/BALCONY GLAZING
MTL-1	METAL PANEL C CHANNEL
MTL-2	ALUMINUM BREAK METAL DETAIL, TO MATCH STOREFRONT
MTL-4	METAL COPING, COLOR TO MATCH ADJACENT MATERIAL
MTL-5	METAL MESH
MTL-6	VERTICAL LOUVER WITH PERFORATED SHEET FACE
WD-1	EXPOSED GLULAM COLUMNS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-2	EXPOSED GLULAM FINIS, PRESSURE TREATED, SEE 099300 FOR FINISH TREATMENT
WD-3	CEDAR SIDING, SEE 099300 FOR FINISH TREATMENT



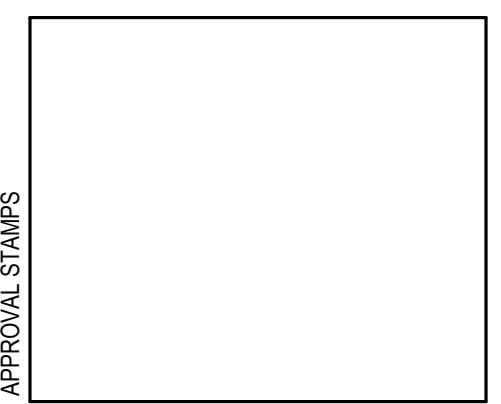
PROJECT:
KITSAP BANK HEADQUARTERS
PROJECT ADDRESS:
625 BAY ST PORT ORCHARD WA 98366
LOTS 1 AND 2, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY, LOT 3, BLOCK 12, S.M. STEVENS TOWN PLAT OF SIDNEY
OWNER:
**KITSAP BANK
619 BAY STREET
PORT ORCHARD, WA 98366**



C1 EAST ELEVATION - FREDRICK AVE
1/8" = 1'-0"



A1 EAST ELEVATION - FREDRICK AVE
1/8" = 1'-0"



MARK	DATE	DESCRIPTION
REVISIONS		

MARK	DATE	DESCRIPTION
B	02/23/2023	SD PRICE SET
A	03/01/2022	CONCEPT DESIGN PRICE SET

PROJECT NO.: **2020016.01**
GGLO PRINCIPAL IN CHARGE: **JF**
GGLO PROJECT MANAGER: **MP**
OWNER APPROVAL: _____

SHEET TITLE
EXTERIOR ELEVATIONS - EAST

SHEET NO.
A-202

06.22.2023 - BUILDING PERMIT SET