

Staff Report to the Hearing Examiner 5412 North 49th Street (Nguyen) Accessory Dwelling Conditional Use Permit CUP 16-02

I. <u>General Information</u>

A) Applicant:

Phuc Nguyen 4835 6th Avenue Tacoma, WA 98406

B) Site Address/Parcel Number:
5412 North 49th Street, Ruston, WA - Parcel Number 2365000840

C) Zoning Designation: Residential (RES)

II. <u>Project Description</u>

The proponent has applied to the City of Ruston for approval of a conditional use permit to construct an attached accessory dwelling above the garage of a new single family residence. The single family residence, accessory dwelling and garage will all be new construction upon the site which is currently vacant.

Please see the application materials attached to this report as Exhibit A for additional information.

III. Staff Analysis, Findings, and Conclusions

A) State Environmental Policy Act (SEPA) Analysis

The City's SEPA Responsible Official has determined that this proposal qualifies as a minor land use decision and is therefore categorically exempt from SEPA review as per WAC 197-11-800(6)(b).

B) Comprehensive Plan

This section of the staff report provides a listing of relevant Comprehensive Plan goals and/or policies and provides staff findings and analysis as to how the proposal complies with them.

1) Relevant Comprehensive Plan Goals/Policies

a. Growth Management Act Goal #2

Reduce Sprawl. Reduce the inappropriate conversion of undeveloped land into sprawling, low-density development.

b. Growth Management Act Goal #4

Housing. Encourage the availability of affordable housing to all economic segments of the population of this state, promote a variety of residential densities and housing types, and encourage preservation of existing housing stock.

c. Framework Policy FW-6

Design development to be architecturally compatible with the traditional arts and crafts style, including: scale; mass; or modulation of adjacent and nearby homes. Emphasis should be placed on the form of structures over their use.

d. Framework Policy FW-14

Encourage and integrate: multifamily; accessory dwelling; and live-work housing types when appropriate, into neighborhoods. Design their forms to fit-in with neighborhood character and environmental characteristics.

e. Framework Policy FW-23

Encourage accessory dwelling units as a permitted use to provide more affordable housing choices and options for accommodating growth. Provide architectural examples.

f. Framework Policy FW-29

Pursue affordable housing whenever possible, primarily through: multifamily; accessory dwelling; and live-work housing types. Promotion of these housing types will also help Ruston meet their goals for "fair share" housing.

g. Community Character Policy CC-4 Allow development that encourages pedestrian-oriented architecture.

- h. Community Character Policy CC-5 Allow infill development when lot and home size are in proportion, similar to existing neighborhood character.
- i. Community Character Policy CC-6

Design residential developments with arts and crafts-style homes (i.e. Craftsman, Tudor, and Pacific Northwest Timber Frame). Visible building materials should reflect human handicraft (cedar lap siding or shingles) over plywood siding such as T-111.

j. Community Character CC-16

Create an excellent pedestrian experience through the use of safely defined walkways, landscaping, architecture and art. Pedestrian connections are important and should be required between all uses, encouraging a more walkable and healthful community.

k. Community Character Policy CC-23

Encourage low-impact infill development such as accessory dwelling units by simplifying the permitting process. Provide architectural examples of accessory dwelling units that show good integration with the existing neighborhood.

I. Land Use Policy LU-7

Design developments to encourage access by modes of travel other than driving alone, such as walking, bicycling and transit, and provide connections to the non-motorized system.

m. Land Use Policy LU-13

Encourage affordable housing in appropriate areas where there is convenient pedestrian access to local stores and services. Affordable housing development should not detract from the established small-town atmosphere of the community of block defined scenic view corridors.

n. Land Use Policy LU-15

Development should be designed to be environmentally sensitive, energyefficient, and aesthetically pleasing.

o. Housing Policy HO-1

Support a fuller range of housing types in Ruston's neighborhoods that offer housing for a variety of income levels and family sizes.

p. Housing Policy HO-8

Achieve more affordable housing options in Ruston mainly through multifamily, accessory dwelling and live-work units.

q. Capital Facilities CF-5

Seek opportunities to reduce impervious surfaces with pervious surfaces to improve water quality.

2) Staff Findings Regarding Consistency with the Comprehensive Plan

Staff finds that the proposal is consistent with the City's Comprehensive Plan as it proposes to construct an accessory dwelling unit upon a parcel that is currently undeveloped. This infill development increases the City's density by two residential units by constructing an attached single family home and accessory dwelling. Finally, the provision of a balcony facing Shirley Street and construction of a sidewalk connecting the pedestrian entrance to the Shirley Street sidewalk creates additional open space and enhances pedestrian connectivity.

All of the features described above work in concert to create a very livable, affordable and connected, infill housing unit in Ruston, which is consistent with the City's Comprehensive Plan policies listed in the section above.

C) Ruston Municipal Code

This section of the staff report provides a listing of relevant portions of the City's zoning regulations and provides staff findings and analysis as to how the proposal complies with them.

1) RMC 25.01.040(j) – Residential (RES) Zoning Standards (Accessory Dwellings)

Ruston Municipal Code 25.01.040(j) states the following:

RMC 25.01.040(j) Accessory Dwellings. Accessory dwellings may be conditionally allowed following review and approval by the City Hearing Examiner subject to the following conditions.

(1) A lot may have not more than one accessory dwelling.

Staff findings and analysis:

Staff finds that the proposal is consistent with this requirement as only one accessory dwelling is being proposed and none currently exist on the site.

(2) The owner must occupy either the principal structure or the accessory dwelling.

Staff findings and analysis:

Staff finds that since the applicant is the current owner of record according to the Pierce County Assessor's records, and that the applicant intends to occupy either the primary residence or the accessory dwelling, the proposal is consistent with this requirement. (3) Parking must meet the requirements of Section 25.01.090.

Staff findings and analysis:

Staff finds that the proposal includes at least three on-site parking stalls - two located within the proposed garage and at least one upon the driveway between the garage and the alley, and is therefore consistent with this requirement.

(4) Design Requirements. The design of an accessory dwelling shall be incorporated into the principal structure's design or is shall be designed so that, to the degree reasonably feasible, the appearance of the building remains that of a single-family dwelling.

Staff findings and analysis:

Staff finds that the proposal is consistent with this requirement in that the proposed structure includes both the single family unit and the accessory dwelling, and therefore siding materials, roof design, window style/placement are integrated into what will have the appearance of a single family dwelling.

(5) Enforcement. If a unit cannot be legalized because it fails to meet the standards herein and the unit cannot or will not be brought into conformance with these standards, the use will have to be discontinued. The City may cite owners of illegally occupied units who do not apply for legalization. Owners who do not apply for a permit will be subject to civil penalties and other enforcement penalties under Chapter 25.03 of this Code.

Staff findings and analysis:

Staff finds that since this proposal does not include conversion or alteration of an existing structure or existing accessory dwelling unit that this approval criteria item is not applicable.

2) RMC 25.01.110(b) – Conditional Uses

Ruston Municipal Code 25.01.110(b) states the following:

RMC 25.01.110(b) Conditional Uses.

(1) Purpose of Conditional Use Permit. It is the purpose of this chapter to establish review and approval procedures for unusual or unique types of land uses which due to their nature require consideration of their impact on the neighborhood and land uses in the vicinity. The purpose of the conditional use permit is to allow certain uses in zoning districts that would normally be prohibited, when the requested use is consistent with the goals and policies of the Comprehensive Plan or zoning code and is deemed consistent with the existing and potential uses within the zoning district. No existing building or structure shall be converted to a conditional use unless such building or structure complies, or is brought into compliance, with the provisions of this section.

A conditional use permit is a mechanism by which the City may require specific conditions on development or the use of land to ensure that designated uses or activities are compatible with other uses in the same zone and in the vicinity of the subject property. If imposition of conditions will not make a specific proposal compatible, the proposal shall be denied. The City's Hearing Examiner may grant conditional use permits only if all applicable provisions of this code are fulfilled:

(A) The proposed use will not be injurious to the neighborhood or otherwise result in substantial or undue adverse economic, aesthetic, or environmental effects on adjacent property.

Staff findings and analysis:

Staff finds that the proposed use is both architecturally and aesthetically consistent with the character of the surrounding neighborhood and does not anticipate any undue adverse economic, aesthetic, or environmental effects to result. The proposed accessory dwelling will be located within a building which is of similar mass and scale; and which is designed with similar architectural elements including a pitched roof, front porch, side-street facing balcony, typical window size/placement, and lot orientation; to surrounding buildings in the existing neighborhood.

(B) The proposed use will not create a hazard for pedestrian or vehicular traffic. Traffic and circulation patterns of vehicles and pedestrians relating to the proposed use shall not be detrimental to the existing and proposed allowable uses in the zoning district. The traffic and circulation patterns shall assure safe movement in the surrounding area.

Staff findings and analysis:

Staff does not anticipate significant traffic impacts to result from the proposal.

(C) Adequate access will be available for emergency vehicles.

Staff findings and analysis:

Staff finds that adequate emergency vehicle access is provided via existing right of way, including both 49th Street and Shirley Street.

(D) Adequate off-street parking will be provided to prevent congestion of public streets.

Staff findings and analysis:

The combined total parking requirement for the accessory dwelling and single family residence equals three parking stalls. Since the proposal includes both on-site driveway space large enough to park upon, and a two car garage, staff finds that this requirement has been met.

(E) The bulk and lot coverage of the proposed use shall be compatible with the surrounding property, or shall be conditioned so as to not impose an adverse impact upon the surrounding property.

Staff findings and analysis:

Staff finds that the bulk and scale of the proposed use is typical for the zone in which it is located and therefore does not impose an adverse impact upon surrounding properties.

(F) Building and structure heights shall conform to the requirements of the surrounding zoning district. Bell towers, public utility antennas or similar structures may exceed the height requirements, provided that they are conditioned so as to not impose an adverse impact upon the surrounding community.

Staff findings and analysis:

Staff finds that the proposed structure is within the maximum height limitation for the Residential zone.

(G) Potential noise, light and glare impacts relating to the proposed use shall not unduly impact nor detract from the surrounding properties in the zoning district. The Hearing Examiner shall find that the potential noise, light and glare shall not deter from the surrounding properties in the zoning district.

Staff findings and analysis:

Staff does not anticipate any adverse noise, light and glare impacts resulting from the proposed accessory dwelling. Impacts would be typical for other similar uses in the zone and do not need any further mitigation beyond what the City's codes already require, (i.e. RMC 25.01.103 – Outdoor Lighting, for example).

(H) Hours of Operation. The hours of operation shall not create intrusive impacts into the neighborhood.

Staff findings and analysis:

Hours of operation limitations are intended for nonresidential conditional uses and are not applicable to this proposal.

- (2) Landscaping. Landscaping shall be provided in all areas not occupied by buildings or paving. The Hearing Examiner may require exceptional landscaping as a condition.
- (3) Effect of Conditional Use Permit.
 - (A) Once the conditional use permit is approved, no building or development shall occur contrary to that specified in the conditional use permit.
 - (B) The owner shall record a declaration with the Pierce County Auditor showing the land to be bound by a conditional use permit.
 - (i) The declaration shall reference the official files of the City through which the permit was granted.
 - (ii) The declaration shall be a covenant running with the land.
 - (iii) No building permit shall be issued unless such declaration is recorded.
 - (iv) No building permit shall be issued for structures other than those specified in the permit.

IV. Staff Conclusion and Recommendation

Staff concludes that given the findings and analysis detailed above that the proposal is consistent with the City's Comprehensive Plan and applicable zoning regulations for consideration of a conditional use permit and therefore recommends that the Hearing Examiner approve the proposed accessory dwelling conditional use permit subject to the following conditions:

- A) The owner must occupy either the primary residence or the accessory dwelling.
- B) Prior to issuance of a building permit, the proposed site plan and/or elevation drawings must be revised as follows:
 - a. The site plan shall be revised to include a minimum 3-foot wide pedestrian route connecting the pedestrian entrance and the sidewalk along the Shirley Street frontage. Outdoor lighting which complies with the City's outdoor lighting standards shall be provided at the pedestrian entrance, and at typical intervals along the route.

- b. The site plan shall be revised to include a designated location for storage of solid waste and recycling containers for both the primary residence and the accessory dwelling unit.
- C) Prior to occupancy of the proposed accessory dwelling the final Hearing Examiner decision and a copy of a revised site plan, (having been revised prior to building permit approval as required above), must be recorded with the Pierce County Auditor in accordance with RMC 25.01.110(b)(3)(B).
- D) Prior to occupancy, frontage improvements along the subject site consisting of continuous sidewalk, curb and gutter shall be constructed in accordance with the City's street construction standards and the City's Comprehensive Plan. Please note that an approved Street Excavation Permit will be required prior to commencement of construction of improvements within the City's right of way.
- E) No building or development shall occur contrary to that which is specified in this proposal, as required by RMC 25.01.110(b)(3)(A).
- F) Expiration of approval. If the City of Ruston does not receive a complete building permit application to construct an accessory dwelling as proposed herein, within 24 months of granting this conditional use permit and variance request, the approvals shall lapse and be of no further effect. The Planning Director may extend the period of approval for not more than two years, provided that the request is submitted to the City by the property owner prior to the expiration date.

V. <u>Public Notice</u>

Public notice was provided 14 days prior to the public hearing date of June 10, 2016, as required by RMC Title 19.

June 5, 2016

Rob White, Planning Director

The following documents pertinent to your review are either attached or available for review in the City's file:

Application Materials (Exhibit A)

Exhibit A – Application Materials



TOWN OF RUSTON

PLANNING SERVICES

5117 North Winnifred Street Ruston, Washington 98407-6597 Phone (253)759-3544 Fax (253)752-3754

		Conditional Use Per Application and Submittal				
Tax Par	cel Nu	mber Permit Number (staff	use only)	an channing a		
		5000840				
	2	N 49 th St Project Name (staff us	se only)			
Ru	istor	n WA 98407				
Propert	y Own	er Name Applicant Name	alemente de la constante de la			
PI	uc	Nguyer Phuc Ng Per Mailing Address Applicant Mailing Addr	uyen			
Propert	y Own	er Mailing Address Applicant Mailing Addr	ess			
		TH AVE 4835 6TH	AVE			
		IA WA 98406 TALEMA	WA 98406			
		her Phone Applicant Phone 279-0198 253-279-01	198			
Propert	y Own	er E-mail Address Applicant E-mail Addre	255		-	
Zoning			37@GMAIL.com			
	RES COM COM-P MPD	correct. I also give permission for Town employees to enter the site	to perform any necessary inspections. $\frac{3/10/17}{\text{Date}}$			
Applic	ant (Checklist		In	cluded	1?
Yes	N/A	Province Free Demonit of #2 250 (#150 fee, plue #2200 demonit per DN		Yes	Need	N/A
		Review Fee Deposit of \$3,350 (\$150 fee, plus \$3200 deposit per RN copy of proof of payment.	MC 1.14.050(e)). Please attach a			
		Project Description (general description of the proposed use, including	ng the existing/proposed sq/ft,			
П		amount of fill materials imported/exported, etc) Statement of Justification Please provide a written statement that a	ddresses all approval criteria for			
		the proposed conditional use as specified in RMC 25.01.110(b)(1)(A), a				
		applicable to the underlying zone. Site Plan - showing grade, the height, the lot coverage, the dimensior	os of all existing and proposed			
		structures and the distance from property lines and all improvements t				
		Impervious Surface Calculations (Show impervious surface in sq/ft				
		Critical Areas Documentation Provide documentation regarding the located on site. (wetlands, steep slopes, aquifer recharge, fish and will				
		Additional Information - additional written or graphic information ne Commission and Town Council to act on the application.				
				1460335.55.7		1.50

Project Site: 5412 North 49th St. Ruston WA 98407

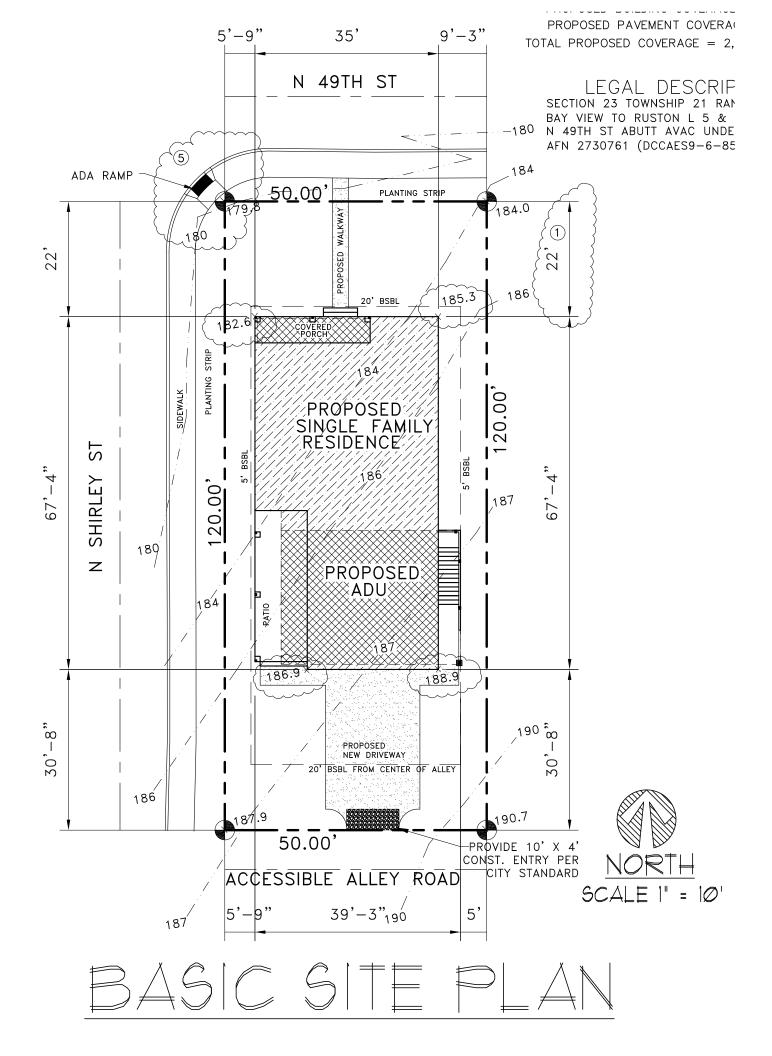
Tax Parcel Number: 2365000840

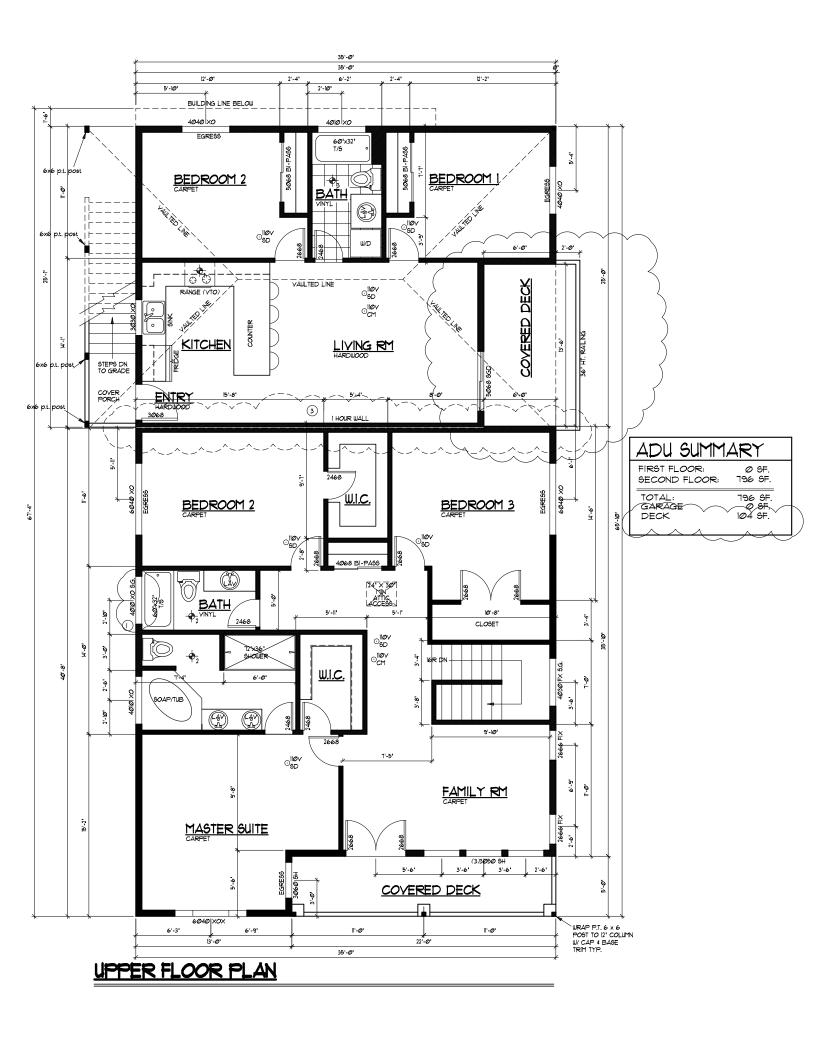
Property Owner: Phuc V Nguyen

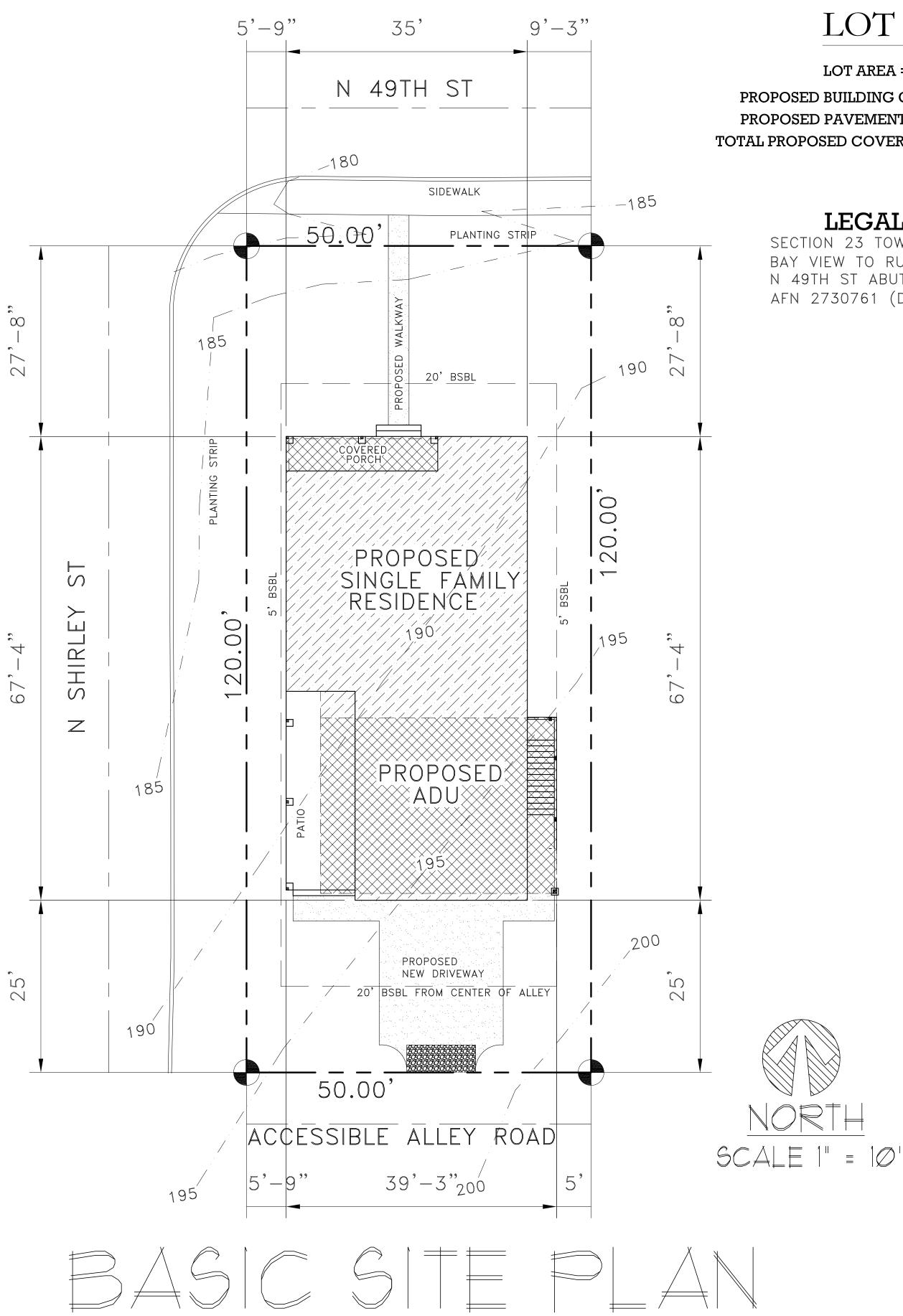
Project Description: The proposed use is an attached accessory dwelling unit above the garage of the main dwelling unit of the new construction on the vacant land at the proposed site

Statement of Justification: The proposed conditional use conforms with all applicable provision as specified in RMC 25.01.110(b)(1)(A)

(A)	
	The proposed use will not be injurious to the neighborhood or otherwise result in substantial or undue adverse economic, aesthetic, or environmental effects on adjacent property.
(B)	
	The proposed use will not create a hazard for pedestrian or vehicular traffic. Traffic and circulation patterns of vehicles and pedestrians relating to the proposed use shall not be detrimental to the existing and proposed allowable uses in the zoning district. The traffic and circulation patterns shall assure safe movement in the surrounding area.
(C)	
	Adequate access will be available for emergency vehicles.
(D)	
	Adequate off-street parking will be provided to prevent congestion of public streets.
(E)	
1-7	The bulk and lot coverage of the proposed use shall be compatible with the surrounding property, or shall be conditioned so as to not impose an adverse impact upon the surrounding property.
(F)	
	Building and structure heights shall conform to the requirements of the surrounding zoning district. Bell towers, public utility antennas or similar structures may exceed the height requirements, provided that they conditioned so as to not impose an adverse impact upon the surrounding community.
(G)	
	Potential noise, light and glare impacts relating to the proposed use shall not unduly impact nor detract from the surrounding properties in the zoning district. The Hearing Examiner shall find that the potential noise, light and glare shall not deter from the surrounding properties in the zoning district.
(H)	
	Hours of Operation. The hours of operation shall not create intrusive impacts into the neighborhood.







NGUYEN RESIDENCE 5412 N 49TH ST, TACOMA WA 98407

PARCEL NUMBER: 2365000840

LOT INFO.

LOT AREA = 6,475 SQ.FT. PROPOSED BUILDING COVERAGE = 1943 SQ.FT. PROPOSED PAVEMENT COVERAGE =882 SQ.FT. TOTAL PROPOSED COVERAGE = 2,825 SQ.FT. (43.63%)

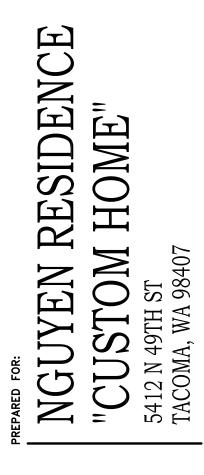
LEGAL DESCRIPTION:

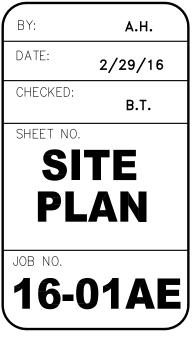
SECTION 23 TOWNSHIP 21 RANGE 02 QUARTER 14 BAY VIEW TO RUSTON L 5 & 6 B 29 TOG/W S 9.5FT N 49TH ST ABUTT AVAC UNDER RUSTON ORD # 682 AFN 2730761 (DCCAES9-6-85)

REVISIONS		
DATE		
ND.		

PAYMENT OF USES FEE IS DUE TO THE RESIDENTIAL GROUP PRIOR TO CONSTRUCTION FOR EACH STRUCTURE BUILT FROM THESES PLANS. THESE PLANS ARE PLANS. THESE PLANS ARE COPYRIGHTED IN ACCORDANCE WITH FEDERAL STATUTES. REPRODUCTION BY ANY METHOD OF ALL OR PORTIONS OF THESE PLANS OR VARIATIONS THEREOF WITHOUT WRITTEN PERMISSION FROM THE RESIDENTIAL GROUP IS STRICTLY PROHIBITED. THESE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN TO THE PROPERTY OF THE RESIDENTIAL GROUP, LLC.







GENERAL NOTES:

CODES:

DESIGN IS IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED BY THE LOCAL BUILDING DEPARTMENT.

LIVE LOADS:

ROOF FLOOR40 PSF60 PSF DECKS SEISMICPER ZONE D

SITE WORK

UNLESS A SOILS INVESTIGATION REPORT BY A LICENSED SOILS ENGINEER IS PROVIDED THE FOUNDATION DESIGN IS BASED UPON AN ASSUMED AVERAGE SOIL BEARING CAPACITY OF 1500 PSF. EXTERIOR FOOTING SHALL BEAR 18' MINIMUM BELOW FINISHED GRADE UNLESS NOTED OTHERWISE. ALL FOOTINGS TO BEAR ON FIRM, UNDISTURBED EARTH BELOW ORGANIC SURFACE SOIL, ALL BACK FILL MATERIAL SHALLBE THOROUGHLY COMPACTED. FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLOMNS.

INSULATION AND MOISTURE PROTECTION:

UNLESS NOTED OTHERWISE, INSULATION SHALL CONFORM TO THE WASHINGTON STATE ENERGY CODES. INSULATION BAFFLES TO MAINTAIN 1-1 INCH CLEAR SPACE ABOVE INSULATION. BAFFLES TO EXTEND 6-INCHES ABOVE BATT INSULATION. BAFFLES TO EXTEND 12-INCHES ABOVE LOOSE FILL INSULATION. INSULATE BEHIND BATHTUBS, SHOWERS, PARTITIONS AND CORNERS. FACE STAPLE BATT. FRICTION FIT FACED BATT. USE 4 MIL (0,004") POLYETHYLENE VAPOR BARRIER AT WALLS. USE PVA PAINT WITH A DRY CUP PERM RATING OF ON (MAX) R-10 INSULATION UNDER ELECTRIC WATER HEATERS.

1. EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, OPENINGS BETWEEN WALLS AND FOUNDATIONS, BETWEEN WALLS AND ROOF AND BETWEEN WALL PANELS, OPENINGS AT PENETRATION OF UTILITY SERVICE THROUGH WALLS, FLOORS, AND ROOF, AND ALL OTHER SUCH OPENINGS IN THE BUILDING ENVELOPE, INCLUDING ACCESS PANELS INTO UNHEATED SPACES, SHALL BE SEALED, CALKED, GASKETED OR WEATHER-STRIPPED TO LIMIT AIR INFILTRATION.

2. ALL EXTERIOR DOORS, OTHER THAN FIRE-RATED DOORS, SHALL BE DESIGNED TO LIMIT AIR INFILTRATION AROUND THEIR PERIMETER WHEN IN A CLOSED POSITION. DOORS BETWEEN RESIDENCE AND GARAGE ARE NOT CONSIDERED "FIRE-RATED" AND MUST MEET THE ABOVE REQUIREMENT.

3. ALL EXTERIOR WINDOWS SHALL BE DESIGNED TO ADMIT AIR INFILTRATION INTO OR FROM THE BUILDING ENVELOPE WHICH SHALL BE SUBSTANTIATED BY TESTING TO STANDARD AGTM E 283.73 SITE BUILT AND MILLWORK SHOP MADE WOODEN SASH ARE EXEMPT FROM TESTING BUT SHALL BE WEATHER-STRIPPED, CAULKED AND MADE TIGHTLY FITTING.

VAPOR BARRIERS / GROUND COVERS:

AN APPROVED VAPOR BAARRIER SHALL BE PROPERLY INSTALLED IN FLOOR DECKS, IN ENCLOSED FRAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND AT EXTERIOR WALLS INSETSTAPLED BATT WITH A PERM RATING LESS THAN ONE MAY BE INSTALLED IF THE VAPOR BARRIER IS TO THE WARM SIDE, STAPLES SHALL BE PLACED NOT MORE THAN 8-INCHES AND GAPS BETWEEN THE FACING AND THE FRAMING SHALL NOT EXCEED INCH.

A GROUND COVER OF 6 MIL (0.006") BLACK POLYETHYLENE OF EQUIVALENT SHALL BE LAID OVER THE GROUND IN ALL CRAWL SPACES. THE GROUND COVER SHALL BE OVERLAPPED ONE FOOT AT EACH JOINT AND SHALL EXTEND TO THE FOUNDATION WALL.

THE NET FREE VENTILATION AREA FOR ATTIC VENTILATION MAY BE $\frac{1}{200}$ OF THE AREA OF THE VENTILATED SPACE PROVIDED THAT A VAPOR BARRIER HAVE A PERM RATING NOT EXCEEDING ONE IN INSTALLED ON THE WARM SIDE OF THE INSULATION.

EXTERIOR DOORS/EXITS

IRC R311 AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED TO EACH DWELLING. THE EGRESS DOOR SHALL BE SIDE-HINGED AND WITH A MINIMUM CLEAR WIDTH OF 32" IN WIDTH AND NOT LESS THAN 18" IN HEIGHT, MEASURE FROM TOP OF THE THRESHOLD TO THE BOTTOM OF THE STEP.

LANDINGS AT DOORS AND STAIRWAYS & CONSTRUCTION: IRC R311.3, R311.5 THE FLOOR OR LANDING AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD, WHEN EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE, THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP OR STAIRWAY. THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF ALL OTHER EXTERIOR DOORS. FLOOR ELEVATIONS FOR THE DOORS SHALL BE PROVIDED WITH LANDINGS NO MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD.

HANDRAILS:

IRC SECTION R311,7.8, R311,8.3 ALL STAIRWAYS WITH 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL. SUCH HANDRAILS SHALL BE PLACED NOT LESS THAN 34" AND NOT MORE THAN 38" ABOVE THE NOGING OF THE TREADS. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDRAIL ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS, HANDRAILS AJACENT TO THE WALL SHALL HAVE A SPACE NOT LESS THAN 1/2" BETWEEN THE WALL AND THE HANDRAIL

<u>GUARDS:</u>

IRC SECTION R312. TABLE R301.5 GUARDS SHALL BE PROVIDED FOR PORCHES, BALCONIES, RAMPS, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE GRADE OR A FLOOR BELOW. GRADE SHALL BE MEASURED 36" HORIZONTALLY FROM THE EDGE OF THE FLOOR SURFACE. GUARDS SHALL BE NOT LESS THAN 36" IN HEIGHT, MEASURED FROM THE ADJACENT WALKING SURFACE, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF A TREAD.

<u>GLAZING:</u>

U-FACTORS OF FENESTRATION PRODUCTS (WINDOWS, DOORS AND SKYLIGHTS) SHALL BE DETERMINED IN ACCORDANCE WITH NFRC 100 BY AN ACCREDITED, INDEPENDENT LABORATORY, WINDOWS SHALL BE NFRC CERTIFIED OR USE DEFAULT GLAZE FENESTRATION VALUES, PER 303.1.3

Yes Perscriptive Compliance: Zone 4 Marine (wood framed building) R402.11									
No U-Factor or Total UA Equivalent Compliance R402.1.3/R402.1.4									
Glazing area ¹⁰	FENESTRATION U-FACTOR		Ceiling Insulation		Above Grade	Below Grade Wall (footnote c)		Floor	Slab On
area [®] % of Floor	Vertical doors#windows	Overhead	Attic	Vaulted	Wall	Interior	Exterior	(over unheated) area)	Grade
UNLIMITED	0.30	0.50	R-49 or R-38 Adv	R-38	R-21 Int.	R - 21, w/ TB	<u>0</u> R	R-30	R-10

SAFETY GLAZING

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING AND SHALL BE PROVIDED WITH SAFETY GLAZING

- 1) GLAZING IN INGRESS AN EGRESS DOORS EXCEPT JALOUSIE
- GLAZING IN FIXED PANELS AND SLIDING OR SWINGING PANELS OF SLIDING OR SWINGING TYPE DOORS OTHER THAN WARDROBE DOORS.
- GLAZING IN STORM DOORS.
- 4) GLAZING IN ALL UNFRAMED SWINGING DOORS.

5) GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS, GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THES COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURGACE AND DRAIN INLET.

6) GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING 15 WITHIN 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCES ABOVE THE WALKING SURFACE.

GLAZING IN FIXED OR OPERABLE PLANELS OTHER THAN THOSE COVERED BY ITEM NUMBER 5 AND 6 WHICH HAVE A GLAZED AREA IN EXCESS OF 9 SQUARE FEET AND THE LOWEST EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR, OR TOP EDGE MORE THAN 36" ABOVE THE FLOOR LEVEL OR WALKING SURFACE WITHIN 36 INCHES OF SUCH GLAZING. IN LIEU OF SAGETY GLAZING, SUCH GLAZED PANELS MAY BE PROTECTED WITH A HORIZONTAL MEMBER NOT LESS THAN 1-2 INCHES IN WIDTH WHN LOCATED BETWEEN 34 AND 36 INCHES ABOVE THE WALKING SURFACE CAPABLE OF WITH STANDING 50* PER LIN. FT. WITHOUT CONTACTIONG THE GLASS.

8) GLAZING IN RAILINGS. REGARDLESS OF HEIGHT ABOVE THE WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NON-STRUCTURAL IN-FILL PANELS.

9) GLAZING IN WALLS AND FENCES USED AS THE BARRIER FOR INOOR AND OUTDOOR SWIMMING POOLS AND SPAS WHEN ALL OF THE FOLLOWING CONDITIONS ARE PRESENT: 1) THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE POOL SIDE OF THE GLAZING. 2) THE GLAZING IS WITHIN 5 FEET OF A SWIMMING POOL OR SPA WATERS EDGE.

10) GLAZING IN WALLS AT STAIRWAYS LANDINGS WITHIN THE WIDTH OF THE STAIR AND WITHIN 5 FEET OF THE BOTTOM AND TOP OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE A WALKING SURGACE.

TABLE 4062-ENERGY CREDITS						
OPTION	DESCRIPTION	CREDIT(S)				
la	EFFICIENT BUILDING ENVELOPE la	Ø.5				
व	EFFICIENT BUILDING ENVELOPE Ib	1.Ø				
<u>0</u>	EFFICIENT BUILDING ENVELOPE IC	2.Ø				
2a	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 2a	Ø.5				
2b	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 26	1.Ø				
2c	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION 20	1.5				
3a	HIGH EFFICIENT HVAC EQUIPMENT 3a	Ø.5				
30	HIGH EFFICIENT HVAC EQUIPMENT 36	1.Ø				
30	HIGH EFFICIENT HVAC EQUIPMENT 30	2.Ø				
3d	HIGH EFFICIENT HVAC EQUIPMENT 3c : DUCKLESS SPLIT SYSTEM HEAT PUMPS, ZONAL CONTROL	1.Ø				
4	HIGH EFFICIENT HVAC DISTRIBUTION SYSTEM	1.Ø				
5а	HIGH EFFICIENT WATER HEATING 5a	Ø.5				
5b	HIGH EFFICIENT WATER HEATING 56	1,5				
6	RENEW ABLE ELECTRICAL ENERGY	Ø.5				

<u>FOOTNOTES</u>

I. IDENTIFY THE COMPLIANCE METHOD. THE MOST COMMON AND SIMPLEST APPROACH IS THE PRESCRIPTIVE METHOD FOR ENERGY CODE COMPLIANCE, SEE PRESCRIPTIVE TABLE R402.1.1 THE COMPONENT PERFORMANCE APPROACH REFRENCED IN IECC SECTION R4021.4 MAY ALSO BE USED FOR ENERGY CODE COMPLIANCE. FOR MORE INFORMATION CONTACT THE LOCAL BUILDING DEPARTMENT OR USU ENERGY PROGRAM AT (360) 956-2042.

2. IDENTIFY THE WHOLE-HOUSE VENTILATION COMPLIANCE METHOD. A VENTILATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE, SECTION MID/01. THE MOST COMMON VENTILATION METHODS INCLUDE A WHOLE-HOUSE VENTILATION SYSTEM USING EXHAUST FANS (MI507.3.4) AND A WHOLE-HOUSE VENTILATION SYSTEM INTEGRATED WITH A FORCED-AIR SYSTEM (MI507.3.5), OTHER VENTILATION SYSTEMS INCLUDE WHOLE-HOUSE VENTILATION SYSTEM USING A SUPPLY FAN (MI501.3.6) AND WHOLE-HOUSE VENTILATION SYSTEM USING A HEAT-RECOVERY VENTILATION SYSTEM (MIBØ1.3.1). IF YOU NEED ADDITIONAL INFORMATION WE RECOMMEND THAT YOU DISCUSS WITH YOUR HEATING AND VENTILATION SYSTEM PROFESSIONAL. IN ADDITION MASON COUNTY STAFF WILL BE HAPPY TO DISCUSS THE OPTIONS IF YOU ARE NOT SURE WHICH COMPLIANCE OPTION WILL WORK FOR YOU.

3. IDENTIFY THE ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS LISTED IN TABLE R4062, THE DRAWINGS INCLUDED WITH THE BUILDING PERMIT APPLICATION SHALL IDENTIFY WHICH OPTIONS HAVE BEEN SELECTED AND THE POINT VALUE OF EACH OPTION. EACH ONE AND TWO-FAMILY DWELLING UNIT AND TOWNHOUSES ARE REQUIRED TO ACHIEVE THE FOLLOWING MINIMUM NUMBER OF CREDITS:

A) SMALL DWELLING UNITS LESS THAN 1500 SQ. FEET OF HEATED OR COOLED AREA AND LESS 300 SQ. FT. FENESTRATION AREA (SKYLIGHTS, DOORS, WINDOWS, ETC), OR ADDITIONS TO AN EXISTING BUILDING THAT IS LESS THAN 150 SQ. FT. OF HEATED AREA -0.5 POINTS

- B) MEDIUM DWELLING UNITS NOT INCLUDED IN A) ABOVE 3/65MALL DWELLING5/6, OR C) BELOW 3/6LARGE DWELLING5/6 -1.5 POINTS
- C) LARGE DWELLING UNIT IS A DWELLING UNIT THAT EXCEEDS 5000 SQ. FT. OF HEATED OR COOLED FLOOR AREA. -2.5 POINTS.
- 4. PROVIDE A COMPLETED HEATING/COOLING SYSTEM SIZE WORKSHEET TO VERIFY COMPLIANCE TO IECC R403.6. THE CALCULATOR/WORKSHEET IS AVAILABLE ON THE WSU-ENERGY PROGRAM WEBSITE AT: HTTP://WWW.ENERGY.WSU.EDU/BUILDINGEFFICIENCY/ENERGYCODE/2012ENERGYCODE.ASPX. STAFF CAN ALSO ASSIST WITH PREPARATION OF THE WORKSHEET
- 5. TO MEET THE PRESCRIPTIVE OPTION ALL FENESTRATION PRODUCTS SHALL COMPLY WITH THE REQUIRED U-FACTOR LISTED IN TABLE R402.1.4. WINDOWS, DOORS, AND GLAZED DOORS SHALL HAVE A TESTED U-FACTOR OR .30 OR LESS. WHEN USING THE SMALL DWELLING OPTION FOR ENERGY CREDITS (A) OR COMPONENT PERFORMANCE APPROACH PROVIDE A FENESTRATION SCHEDULE THAT IDENTIFIES THE SQUARE FEET AND U-FACTOR OF EACH ITEM. FENESTRATION IS DEFINED IN THE IECC AS SKYLIGHTS, ROOF WINDOWS, VERTICAL WINDOWS, OPAQUE DOORS, GLAZED-DOORS THAT INCLUDE PRODUCTS WITH GLASS AND NON-GLASS GLAZING MATERIALS.
- 6. IDENTIFY THE LOCATION AND FUEL TYPE OF THE HEATING SYSTEM, WATER HEATER, LOCATION OF EXHAUST FANS (BATHROOM, LAUNDRY, KITCHEN, ETC.) AND R-FACTOR OF PROPOSED INSULATION FOR WALLS, FLOORS, CEILINGS, AND CONCRETE SLAB FLOORS ON THE BUILDING PI ANS
- 7. NOT LESS THAN 15% OF ALL PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS. HIGH EFFICACY LAMPS ARE DEFINED IN IECC CHAPTER 2 AND ARE CONSIDERED COMPACT FLUORESCENT LAMPS, T-8 OR SMALLER DIAMETER LINEAR FLUORESCENT LAMPS, OR LAMPS WITH A MINIMUM EFFICACY 40 LUMENS PER WATT FOR LAMPS 15 WATTS OR LESS, 50 LUMENS PER WATT FOR LAMPS OVER 15 WATTS TO 40 WATTS, AND 60 LUMEN PER WATT FOR LAMPS OVER 40 WATTS. MC TAPLE 402042

	<u>BLE 403.8.4.</u>	2		
FAN TESTED CFM @ .25 WG	MIN. FLEX DIAMETER	MAX LENGTH IN FEET	MIN SMOOTH DIAMETER	MAX LENG IN FEET
5Ø	4"	25	4"	٦Ø
5Ø	ъ"	9Ø	5"	100
50	6	NO LIMIT	6	NO LIMIT
8Ø	4"	NA	4"	2Ø
80	۳. ۱	म	5	100
8Ø	6"	90	6	NO LIMIT
100	ហិ	NA	ĥ	5Ø
100	6"	45	6"	NO LIMIT

1. FOR EACH ADDITIONAL ELBOW SUBTRACT 10 FT FROM LENGTH FLEX DUCTS OF THIS DIAMETERARE NOT PERMITTED WITH FANS OF THIS SIZE.

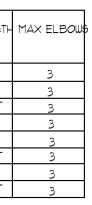


TABLE MIGØ1.1.1 (2) GAGES OF METAL DUCTS AND PLENUMS USED FOR HEATING OR COOLING

DUCT SIZE	MIN. THICKNESS (INCHES AND MM)	EQUIVALENT GALVANIZED SHEET NO.	
ROUND DUCTS & ENCLOSED RECTANGULAR DUCTS			
14 INCHES AND LESS	Ø.Ø157 (Ø.395Ømm)	28	Ø.Ø175
16 AND 18 INCHES	Ø.Ø187 (Ø.4712mm)	26	0.018
20 INCHES AND OVER	Ø.Ø236 (Ø.6Ø1Ømm)	24	Ø.Ø23
EXPOSED RECTANGULAR DUCTS			
14 INCHES OR	Ø.Ø157 (Ø.3950mm)	28	0.0175
OVER 14 INCHES	Ø.Ø187 (Ø.4712mm)	26	Ø.Ø18

SOURCE SPECIFIC VENTILATION DUCTS SHALL TERMINATE OUTSIDE THE BUILDING. EXHAUST DUCTS IN SYSTEMS WHICH ARE DESIGNED TO OPERATE INTERMITTENTLY SHALL BE EQUIPPED WITH VACK-DRAFT DAMPERS. ALL EXHAUST DUCTS IN UNCONDITIONED SPACES SHALL BE INSULATED TO A MINIMUM OF R-4. TERMINAL ELEMENTS SHALL HAVE AT LEAST THE EQUIVALENT NET FREE AREA OF THE DUCT WORK. TERMINAL ELEMENTS FOR EXHAUST FAN DUCT SYSTEMS SHALL BE SCREENED OR OTHERWISE PROTECTED FROM ENTRY BY LEAVES OR OTHER MATERIAL. VIA SECTION 302.2.3 SEE TABLE 3-3 BELOW FOR PRESCRIPTIVE EXHAUST DUCT SIZING.

HEATING AND COOLING APPLIANCES LOCATED IN A GARAGE AND WHICH GENERATE A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE BAPOR SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18-INCHES ABOVE THE FLOOR SURFACE.

FIRE DAMPERS NEED NOT BE INSTALLED IN AIR DUCTS PASSING THROUGH THE WALL, FLOOR OR CEILING SEPARATING A RESIDENCE (GROUP R, DIVISION 3 OCCUPANCY) FROM A GARAGE (GROUP M, DIVISION I OCCUPANCY). PROVIDED SUCH DUCTS WITHIN THE GARAGE ARE CONSTRUCTED OF STEEL HAVING A THICKNESS NOT LESS THAN Ø.019-INCHES (NO. 26 GALVANIZED SHEET GAUGE) AND HAVE NO OPENINGS INTO THE GARAGE PER THE INTERNATIONAL MECHANICAL CODE OR INTERNATIONAL FUEL GAS CODE.

WARM AIR FURNACE INSTALLATIONS IN ATTIC OR CRAWL SPACES SHALL COMPLY WITH THE INTERNATIONAL MECHANICAL CODE AND INTERNATIONAL FUEL GAS CODE.

EVERY APPLIANCE DESIGNED TO E VENTED SHALL BE CONNECTED TO A VENTING SYSTEM COMPLYING WITH THE INTERNATIONAL MECHANICAL CODE AND INTERNATIONAL FUEL GAS CODE.

EVERY FACTORY BUILT CHIMNEY, TYPE L VENT, TYPE B GAS VENT OR TYPE BW GAS VENT SHALL BE INSTALLED IN ACCORDANCE WITH THE TERM OF ITS LISTING, MANUFACTURERS INSTALLATION INSTRUCTIONS AND THE REQUIREMENTS OF THE INTERNATIONAL MECHANICAL CODE AND INTERNATIONAL FUEL GAS CODE.

A TYPE B OR BUGAS VENT SHALL TERMINATE PER THE INTERNATIONAL MECHANICAL CODE.

A TYPE L VENTING SYSTEM SHALL TERMINATE NOT LESS THAN 2-FEET ABOVE THE HIGHEST POINT WHERE THE VENT PASSES THROUGH THE ROOD OF THE BUILDING AND AT LEAST 2-FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10-FEET OF THE VENTS PER THE INTERNATIONAL MECHANICAL CODE.

SMOKE & CARBON MONOXIDE ALARMS:

IRC SECTION R314 \$ WAC R315. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE INTERNATIONAL RESIDENTIAL CODE AND THE HOUSEHOLD WARNING EQUIPMENT PROVISIONS OF NEPA12. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, IN NAPPING AREA OF FAMILY CHILD DAYCARE HOMES, ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS.

EXHAUST FANS:

IRC 3303.4, SECTION MI501, MI501. EXHAUST FANS ARE REQUIRED IN EACH KITCHEN, BATHROOM, WATER CLOSET ROOM, LAUNDRY FACILITY, INDOOR SWIMMING POOL, SPA AND OTHER ROOMS WHERE EXCESS WATER VAPOR OR COOKING ODOR IS PRODUCED. THE AIR REMOVED BY EVERY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED OUTDOORS AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE AND NOT LESS THAN THE DISTANCES SPECIFIED IN IMC SECTION 501.2.1 THE AIR SHALL BE DISCHARGED TO A LOCATION FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY VENTILATING SYSTEM. DRYER EXHAUST DUCTS SHALL NOT BE EXHAUSTED INTO AN ATTIC OR CRAWL SPACE, THE TERMINATION POINT SHALL BE LOCATED AT LEAST 3-FEET FROM PROPERTY LINES, 3-FEET IN ANY DIRECTION FROM OPENINGS INTO THE BUILDINGS AND 10-FEET FROM MECHANICAL AIR INTAKES.

CLOTHES DRYER:

IRC SECTION MI502, G2439, 4 IMC SECTION 504. EXHAUST DUCTS, NOT LESS THAN 4" IN DIAMETER, SHALL BE CONSTRUCTED OF .016-INCH-THICK (28 GAGE) RIGID METAL DUCTS, HAVING SMOOTH INTERIOR SURFACES WITH JOINTS RUNNING IN THE DIRECTION OF AIR FLOW. EXHAUST DUCTS SHALL NOT BE CONNECTED WITH SHEET-METAL SCREWS OR FASTENING MEANS THAT EXTENDS INTO THE DUCT AND SUPPORT AT INTERVALS NOT LESS THAN 12-FEET.

RANGE HOOD:

IRC SECTION MI501, MI503, MI504, MI505, MI901 & MI306. ALL KITCHENS SHALL BE PROVIDED WITH EXHAUST HOODS CAPABLE OF EXHAUSTING 100 CFM AT .25 INCHES WATER GAUGE. EXHAUST HOODS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS AND DISCHARGE TO THE OUTDOORS.

FIREPLACE HEARTH EXTENTION:

IRC SECTIONS RIØØ4.2, RIØØ1.9, RIØØ1.10 AND MI414.2. HEARTH EXTENTIONS OF APPROVED FACTORY-BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH LISTING OF THE FIREPLACE. THE HEARTH EXTENTION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. MASONRY FIREPLACE HEARTHS AND HEARTH EXTENTIONS SHALL BE CONSTRUCTED OF CONCRETE OR MAGONRY, SUPPORTED BY NONCOMBUSTIBLE MATERIALS. FIREPLACE HEARTHS SHALL BE AT LEAST 4" THICK AND HEARTH EXTENTIONS SHALL BE AT LEAST 2" THICK. THE FIREPLACE EXTENTION SHALL EXTEND AT LEAST 16" IN FRONT OF, AND AT LEAST 8" BEYOUND EACH SIDE OF THE FIREPLACE OPENING.

CLEARANCE TO COMBUSTABLES

#FIREPLACE FIREBLOCKING:

IRC SECTIONS R302.13, R1001.11, 1003.18, 1003.19, AND M1306.2.1. COMBUSTABLE INSULATION SHALL BE SEPERATED A MINIMUM OF 3" FROM HEAT PRODUCING APPLIANCES.

COMBUSTION AIR/EXTERIOR AIR SUPPLY

IRC SECTIONS R303.4, R1001.7.1 (WAC), AND R1006. (WAC), M1701 AND G2407. FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH COMBUSTION AIR OBTAINED FROM OUTSIDE THE STRUCTURE DUCTEDINTO THE FIREBOX. DIRECT VENT APPLIANCES OR EQUIPMENT THAT DO NOT DRAW COMBUSTION AIR FROM INSIDE OF THE BUILDING SHALL BE PROVIDED WITH COMBUSTION VENTILATION AND DILUTION AIR IN ACCORDANCE TO THE MANUFACTURER'S SPECIFICATIONS, FUEL GAS DRYERS SHALL BE PROVIDED WITH MAKE-UP AIR AS DIRECTED BY MANUFACTURER SPECIFICATIONS.

WATER HEATERS:

UPC CHAPTER 5 & 608, IRC SECTION MI301.2, M2005 & IECC/WSEC R403.4. WHEN WATER HEATERS OR HOT WATER STORAGE TANKS ARE INSTALLED IN LOCATIONS WHERE LEAKAGE OF THE TANKS OR CONNECTIONS WILL CAUSE DAMAGE, THE TANK OR WATER HEATER SHALL BE INSTALLED IN A WATERTIGHT PAN OF CORROSION RESISTANT MATERIAL. THE PAN SHALL BE AT LEAST 1.5" DEEP AND WITH A 3/4" DIAMTER DRAIN TO THE EXTERIOR OF THE BUILDING NOT LESS THAN 6" AND MORE THAN 24" ABOVE THE ADJACENT GROUND SURFACE.

GARAGE/DWELLING DOOR/OPENINGS:

IRC SECTION R302.5.1 OPENINGS BEWTEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SELF-CLOSING, SOLID WOOD DOORS NOT LESS THAN 1-3/8" (35MM) IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-38" THICK, OR 20-MINUTE FIRE-RATED DOORS.

GARAGE/DWELLING SEPARATION

IRC SECTION R302.5, R302.6. THE GARAGE SHALL BE SEPERATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPERATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPERATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.

ATTIC ACCESS

IRC SECTION R807.1 BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREA THAT EXCEEDS 30 SQ FT AND HAVE A VERTICAL HEIGHT OF 30". MINIMUM ACCESS OPENINGS SHALL NOT BE LESS THAN 22"X 30". THE ATTIC ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION WITH A 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE ABOVE THE ACCESS OPENING.

STAIR WIDTH:

IRC SECTION R311.7.1 STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT POJECT MORE THAN 4-1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF THE STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LEGS THAN 31-1/2" WHERE THE HANDRAIL IS INSTALLED ON ONE SIDE AND 21" WHERE HANDRAILS ARE INSTALLED ON BOTHE SIDES.

STAIR TREADS, RISERS & RAMP SLOPE

IRC SECTION R311.7.5 \$ R311.8.1 THE MINIMUM RIGER HEIGHT SHALL BE 7-3/4". THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE MINIMUM TREAD DEPTH SHALL BE 10". THE TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING DOES NOT PERMIT THE PASSAGE OF A 4' DIAMETER SPHERE.

SPIRAL/CIRCULAR/WINDING STAIRS:

IRC SECTION R311.4, R311.7.10, R311.7.5.2.1 SPIRAL STAIRWAYS AND BULKHEAD ENCLOSURES STAIRWAYS SHALL COMPLY WITH ALL REQUIREMENTS OF STAIRWAYS EXCEPT: SPIRAL STAIRWAYS ARE PERMITTED, PROVIDED THE MINIMUM WIDTH BELOW THE HANDRAIL SHALL BE 26" WITH EACH TREAD HAVING A 1-1/2" MINIMUM TREAD DEPTH AT 12" FROM THE NARROWER EDGE, ALL TRADS SHALL BE IDENTICAL, AND THE RIGE SHALL BE NO MORE THAN 9-1/2". A MINIMUM HEADROOM OF 6'-6" SHALL BE PROVIDED.

CIRCULAR STAIRWAYS CONFORMING TO THE REQUIREMENTS OF THIS SECTION MAY BE USED AS A MEANS OF EGRESS COMPONENT IN ANY OCCUPANCY. THE MINIMUM WIDTH OF RUN SHALL NOT BE LESS THAN 10-INCHES AND THE SMALLER STAIRWAY RADIUS SHALL NOT BE LESS THAN TWICE THE WIDTH OF THE STAIRWAY

WINDING STAIRWAYS IN GROUP R, DIVISION 3, OCCUPANCIES AND IN PRIVATE STAIRWAYS IN GROUP R, DIVISION I OCCUPANCIES. WINDING STAIRWAYS MAY BE USED IF THE REQUIRED WIDTHOF RUN IS

PROVIDED AT A POINT NOT MORE THAN 12-INCHES FROM THE SIDE OF THE STAIRWAY WHERE THE TREADS ARE NARROWER, BUT IN NO CADE SHALL THE WIDTH OF RUN BE LESS THAN 6-INCHES AT ANY POINT

ILLUMINATION:

IRC SECTION R303.7 ALLINTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TOILLUMINATE THE STAIRS, INCLUDING LANDINGS AND TREADS. STAIRWAY ILLUMINATION SHALL RECEIVE PRIMARY POWER FROM THE BUILDING WIRING.

HALLWAYS:

THE WIDTH OF HALLWAYS SHALL BE DETERMINED AS SPECIFIED IN SECTION 1003.2.3, BUT SUCH WIDTH SHALL NOT BE LESS THAN 44 INCHES, EXCPT AS SPECIFIED HEREIN. HALLWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL NOT BE LESS THAN 36 INCHES IN WIDTH. 1004.3.3.2.

DOORS, WHN FULLY OPENED, AND HANDRAILS SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN I INCHES. DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN NONE HALF. OTHER NONSTRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES MAY PROJECT INTO THE REQUIRED WIDTH 1 1/2 INCHES FROM EACH SIDE.

MECHANICAL VENTILATION SYSTEM:

IRC MI501 EACH DWELLING UNIT AND GUEST ROOM SHALL BE PROVIDED WITH A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM DESIGNED IN ACCORDANCE WITH MI501.3.1 THROUGH MI501.3.1 OR IN ACCORDANCE WITH SPECIFICATIONS ALLOWED IN THE INTERNATIONAL MECHANICAL CODE.

CONTROLS AND OPERATION (MI508.3.2):

I. LOCATION OF CONTROLS. CONTROLS FOR ALL VENTILATION SYSTEMS SHALL BE READILY ACCESSIBLE BY THE OCCUPANT.

2. INSTRUCTIONS: OPERATING INSTRUCTIONS FOR WHOLE-HOUSE VENTILATION SYSTEMS SHALL BE ROVIDED TO THE OCCUPANT BY THE INSTALLER OF THE SYSTEM.

3. LOCAL EXHAUST SYSTEMS. LOCAL EXHAUST SYSTEMS SHALL BE CONTROLED BY MANUAL SWITCHES, DEHUMIDISTATS, TIMERS, OR OTHER APPROVED MEANS.

4. CONTINUOUS WHOLE-HOUSE VENTILATION SYSTEMS. CONTINUOUS WHOLE-HOUSE VENTILATION SYSTEMS SHALL OPERATE CONTINUOUSLY. EXHAUST FANS, FORCED-AIR SYSTEM FANS, OR SUPPLY FANS SHALL BE CAPABLE OF OPERATING THE VENTILATION SYSTEM WITHOUT ENERGIZING OTHER ENERGY-CONSUMING APPLIANCES. A LABEL SHALL BE AFFIXED TO THE CONTROLS THAT READS "WHOLE HOUSE VENTILATION (SEE OPERATING INSTRUCTIONS)."

5. INTERMITTENT WHOLE-HOUSE VENTILATION SYSTEMS. INTERMITTENT WHOLE-HOUSE VENTILLATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:

5.1. THEY SHALL BE CAPABLE OF OPERATING INTERMITTENLY AND CONTINUOUSLY.

5.2. THEY SHALL HAVE CONTROLS CAPABLE OF OPERATING THE EXHAUST FANS, FORCED-AIR SYSTEM FANS, OR SUPPLY FANS WITHOUT ENGERIZING OTHER ENERGY - CONSUMING APPLIANCES.

5.3. THE VENTILATION RATE SHALL BE ADJUSTED ACCORDING TO THE EXCEPTION IN SECTION 403.8.5.1 5.4. THE SYSTEM SHALL BE DESIGNED SO THAT IT CAN OPERATE AUTOMATICALLY BASED ON THE

TYPE OF CONTROL TIMER INSTALLED.

5.5. THE INTERMITTEN MECHANICAL VENTILATION SYSTEM SHALL OPERATE AT LEAST ONE HOUR OUT OF EVERY FOUR.

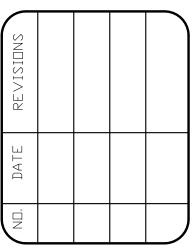
5.6. THE SYTEM SHALL HAVE A MANUAL CONTROL AND AUTOMATIC CONTROL, SUCH AS A 24-HOUR CLOCK TIMER

5.1. AT THE TIME OF FINAL INSPECTION, THE AUTOMATIC CONTROL SHALL BE SET TO OPERATE THE WHOLE-HOUSE FAN ACCORDING TO THE SCHEDULE USED TO CALCULATE THE WHOLE-HOUSE FAN SIZING.

5.8. A LABEL SHALL BE AFFIXED TO THE CONTROL THAT READS "WHOLE-HOUSE VENTILATION (SEE OPERATING INSTRUCTIONS ...

TABLE MI507.3.3(1) CONTINUOUS WHOLE-HOUSE VENTILATION SYSTEM AIR

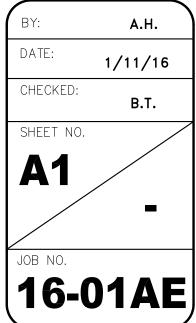
FLOW RATES TABLE MISØ1.3.3(1)							
DWELLING	NUME	NUMBER OF BEDROOMS					
UNIT FLOOR	Ø - 1	2-3	4-5				
AREA (SF)	AIRFLOW IN CFM						
~15 <i>00</i>	3Ø	45	60				
1501-3000	45	60	75				
3001-4500	60	75	90				
4501-6000	75	90	105				
INTERMITTEN MECHANICAL FAN SHALL OPERATE NOT LESS THAN ONE HOUR EVERY 4-HOURS. WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25% EVERY 4-HOURS THE VENTILATION RATE SHALL BE MULTIPLIED BY THE FACTOR IN TABLE MI5Ø1.3.3(2)							



PAYMENT OF USES FEE IS DUE TO THE RESIDENTIAL GROUP PRIOR TO CONSTRUCTION FOR EACH STRUCTURE BUILT FROM THESES PLANS, THESE PLANS ARE COPYRIGHTED IN ACCORDANCE WITH FEDERAL STATUTES. REPRODUCTION BY ANY METHOD OF ALL OR PORTIONS OF THESE PLANS OR VARIATIONS THEREOF WITHOUT WRITTEN PERMISSION FROM THE RESIDENTIAL GROUP IS STRICTLY PROHIBITED. THESE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN TO THE PROPERTY OF THE RESIDENTIAL GROUP, LLC.





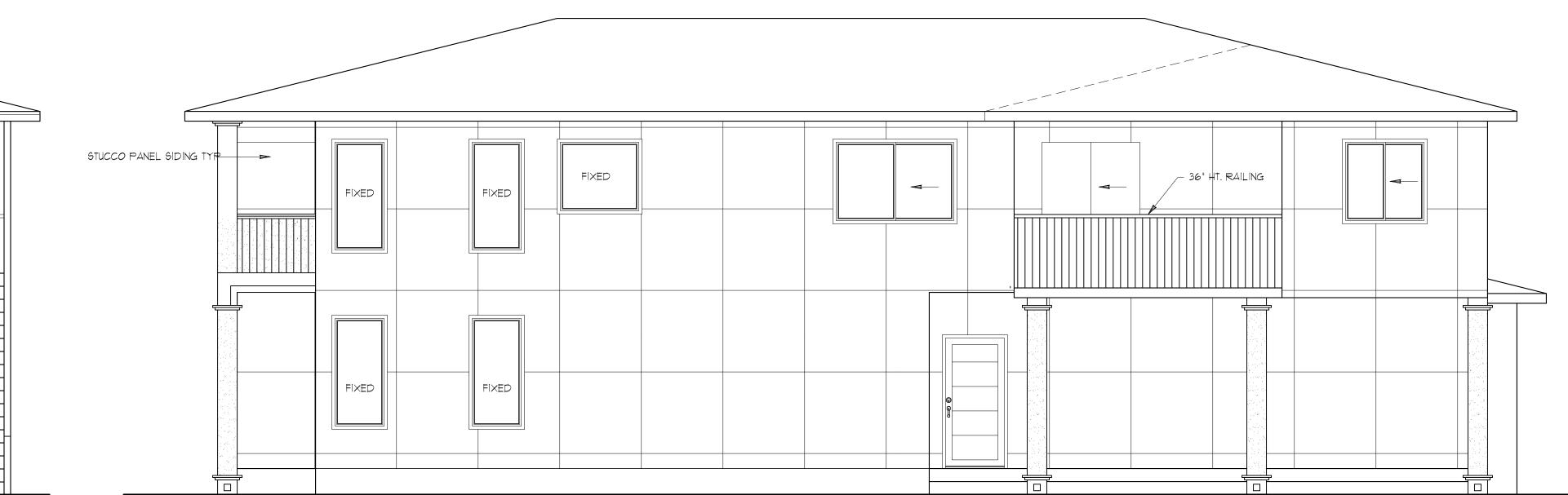


TOP PLATE STUCCO PANEL SIDING TYP – 36" HT. RAILING ≠1 r== ╽╔╪┱╽╒╪╗╽ SUB FLR. TOP PLATE 222222 RARK SUB FLR. APPR<u>ox. gra</u>de - PROVIDE STEPS DN. TO GRADE ADHERED STONE / VENEER FRONT ELEVATION - WRAP P.T. 6 x 6 POST W/ 1 x CEDAR TYP. SCALE: 1/4" = 1'-0"- VERIFY SHEAR WALL NAILING AND HOLDOWNS ARE PER PLAN AND SCHEDULE PRIOR TO INSTALLING SIDING - MASONRY AND WOOD FRAME CHIMNEYS ARE TO BE CONSTRUCTED PER I.R.C. - PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS, CHIMNEYS, AND SKYLIGHTS - PROVIDE WEATHERSTRIPPING AND FLASHING AT ALL DOORS AND WINDOWS AS REQUIRED - CAULK ALL EXTERIOR JOINTS AND PENETRATIONS - POST ADDRESS ON BLDG. PRIOR TO FINAL INSPECTION - LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE - FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT) NOTE: PROVIDE CONTINUOS PRE-PAINTED G.I. "Z" FLASHING AT ALL EXT. DOOR & WINDOW HEADERS. \triangleleft STUCCO PANEL SIDING TYP \triangleleft REAR ELEVATION SCALE: 1/4" = 1'-0"**CONSTRUCTION NOTE:**

COMPOSITION ROOFING

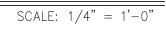
- * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.





RIGHT ELEVATION

* REFER TO "S" SHEETS FOR WHICH CONTAIN STRUCTURAL DETAILS REFERENCES, FRAMING PLANS, SHEAR WALL KEY PLAN, & NOTES. * CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS, DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.



SCALE: 1/4" = 1'-0"



T.N.

B.T.

1/11/16

BY:

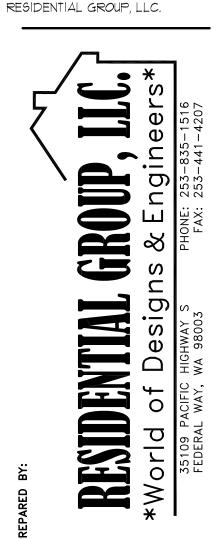
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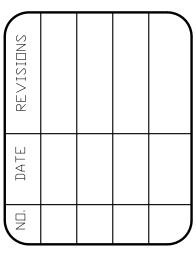
SHEET NO.

A2

16-01AE



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IRC R312.2.1

FOR ANY WINDOW THAT HAS' AN OPENING OF 72' OR MORE ABOVE FINISHED GRADE, 24' OR HIGHER ABOVE THE FINISHED FLOOR OF THE ROOM THE OPENING IS LOCATED IN, THE GLAZING SHALL BE FIXED OR HAVE AN OPENING LESS THAN 4"

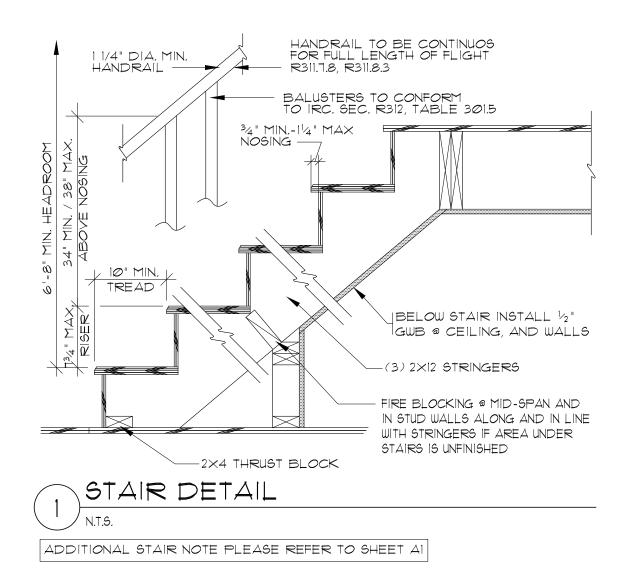
ENERGY

I. R4Ø1.3 CERTIFICATE. A PERMCERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF, WALLS, FOUNDATION (SLAB, BELOW GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES: U-FACTORS FOR FENESTRATION AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. 2. R402.4.1.2 TESTING. THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF Ø.2 INCHES W.G. (50 PASCALS), WHERE REQUIRED BY THE CODE OFFICAL, TESTING SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE. 3. R4Ø3.1.1 PROGRAMMABLE THERMOSTAT, WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND

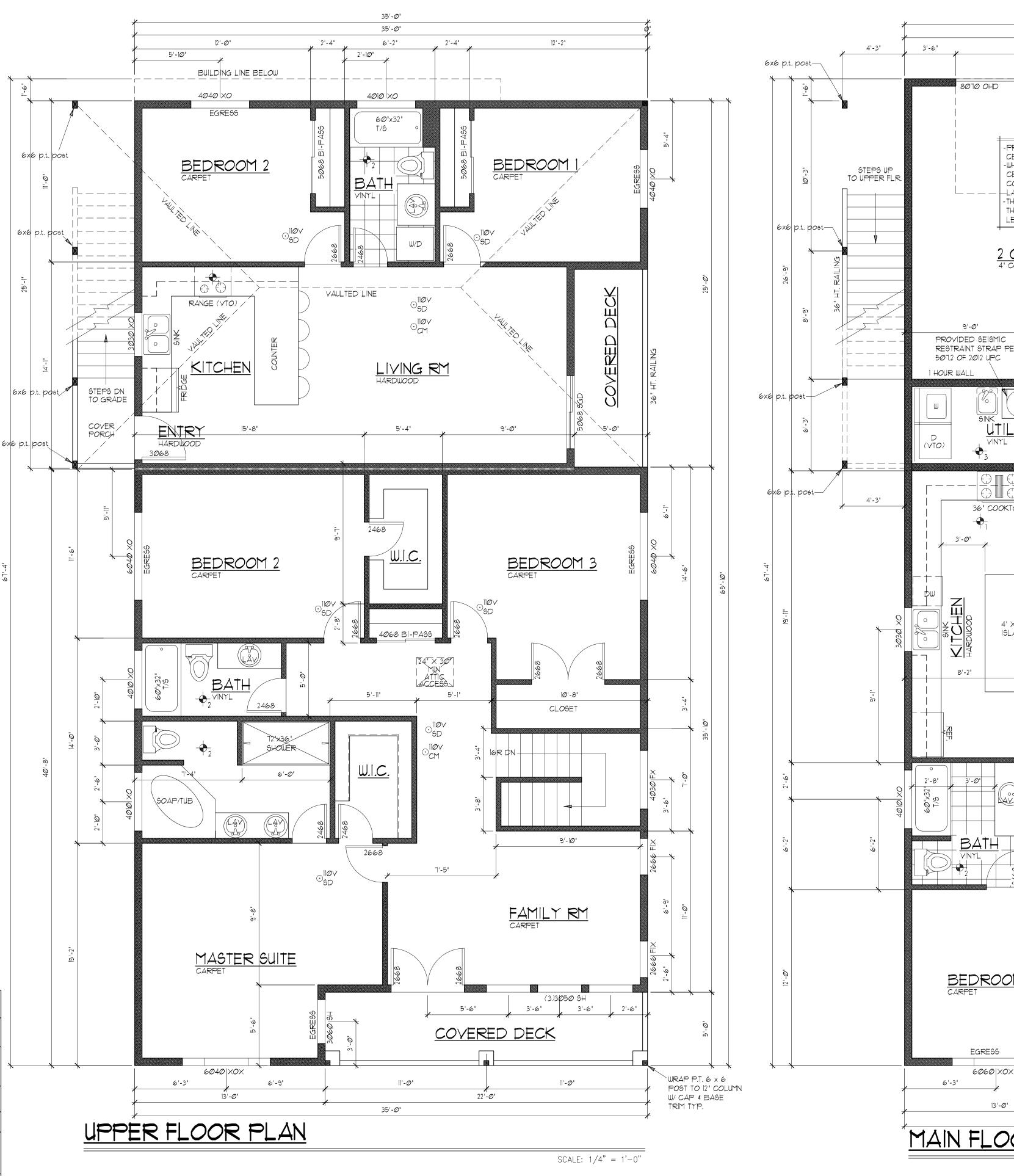
COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR, AT A MINIMUM, A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. SPECIFICS AND EXCEPTIONS SEE 2012 SEC 4. SEC TABLE 406.2 - MEDIUM DWELLING UNITS ARE REQUIRED TO

DEVELOP 1.5 ENERGY CREDITS. SPECIFY THE PROPOSED ENERGY OPTION CREDITS ON THE PLANS. ENERGY CREDIT: 56

* EFFICENT WATER HEATING 56 (1.5pt) TOTAL = (1.5pt) PROPOSED FOR DESIGN



IGHTING SECTION (IECC/WSEC R404) A MINIMUM OF 15% OF PERMANENTLY INSTALLED LAMPS IN ALL LIGHTING LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS LUMINAIRES PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDING ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES SMOKE DETECTORS $\odot{\rm SD}^{\rm IIOV}$ INSTALL SMOKE DETECTORS PER CODE, 110/91 INTERCONNECTED ARBON MONOXIDE ALARM NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPERATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, SEE SECTION R315 $\odot_{\rm CM}^{\rm IIOV}$ VENTILATION SCHEDULE MINIMUM SOURCE SPECFIC VENTILATION CAPACITY REQ. TABLE MI507.4 SYMBOL 100 CFM INTERMITTENT OR 25 CFM CONTINUOUS -KITCHENS MECHANICAL EXHAUST CAPACITY BATHROOMS, TOILET ROOMS -**---**--OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS AND LAUNDRY/UTILITY ROOM 320 CFM @ 60 MIN WHOLE HOUSE FAN EVERY FOUR HOURS

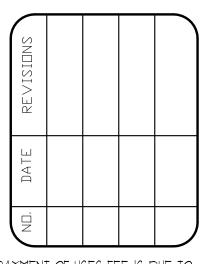


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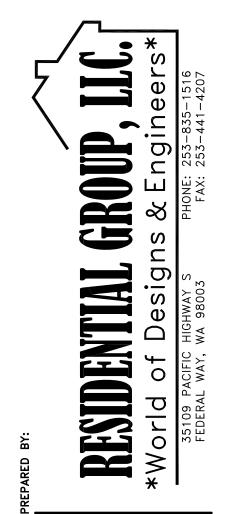
NOTE: REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN. NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

25'-Ø"		, IØ'-	-Ø"	۷		
&' <i>-</i> ∅'	3'-6"	2				
8070 OHD						\uparrow
		 			<u></u>	*
			A			
PROVIDE ONE LAYER ½" GWB TYPE "X" AT CEILINGS COMMON WITH HABITABLE AREAS	-					
WHERE THE SEPARATION IS A FLOOR- CEILING ASSEMBLY, CLAD, ALL SUPPORT		POST T	P.T. 6 x 6 ´ "O 12" COLUMN ? \$ BASE			
COLUMNS, BEAMS AND WALLS WITH ONE LATER $1/2$ "GWB		10 X X X X X X X X X X X X X X X X X X X		12'-9 <u>1</u> "		
THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ATTIC AREA WITH NO LESS THAN $\frac{1}{2}$ " GWB ON THE GARAGE SIDE.		404				
	-					
CAR GARAGE						
PROVIDE PRESSURE RELIEF		3068			24'-9"	
VALVE TO EXTERIOR AND INSTALL APPROVED EXPANSION TANK.						
	8'-6"					
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W/H FURN.				=		
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	$\frac{1}{PATIO}$	3'-6'	3'-6" 2'-6"	٢		₽Ø
	4" CONC					
2X		WRAP P.T. 6 x 6				+
"	 ▼ 22'-∅"	POST TO 12" COL W/ CAP & BASE TRIM TYP.	ui~in			
35'-0				- 2		
OR PLAN						
		SC	ALE: $1/4" = 1'-0"$	_		
AREA SUMMA	ARY /	4DU SU	MMARY	-		
FIRST FLOOR:	1267 SF.		Ø SF,			

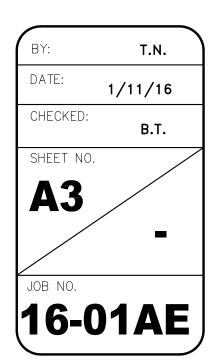
35'-Ø"



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REPARED FOR NGUYEN RESIDENCE CUSTOM HOME 5412 N 49TH ST RUSTON, WA 98407



·		
AREA SUM	1ARY	ADU SUMMARY
FIRST FLOOR:	1267 SF.	Ø SF.
SECOND FLOOR:	1259 SF.	799 SF.
TOTAL:	2526 SF.	5073 SF.
GARAGE	531 SF.	0 SF.
PATIO	43Ø SF.	0 SF.

COMPOSITION ROOFING 15# FELT PAPER 7/16" SHEATHING ROOF FRAMING PER PLAN INSULATION BAFFLE -

5/4 x 8 FASCIA

2x6 STUDS @ 16" O.C. - TYP. R-21 INSULATION 1/16" PLY SHT'G - TYP.

TYVEK WRAP - TYP SIDING PER ELEVATION

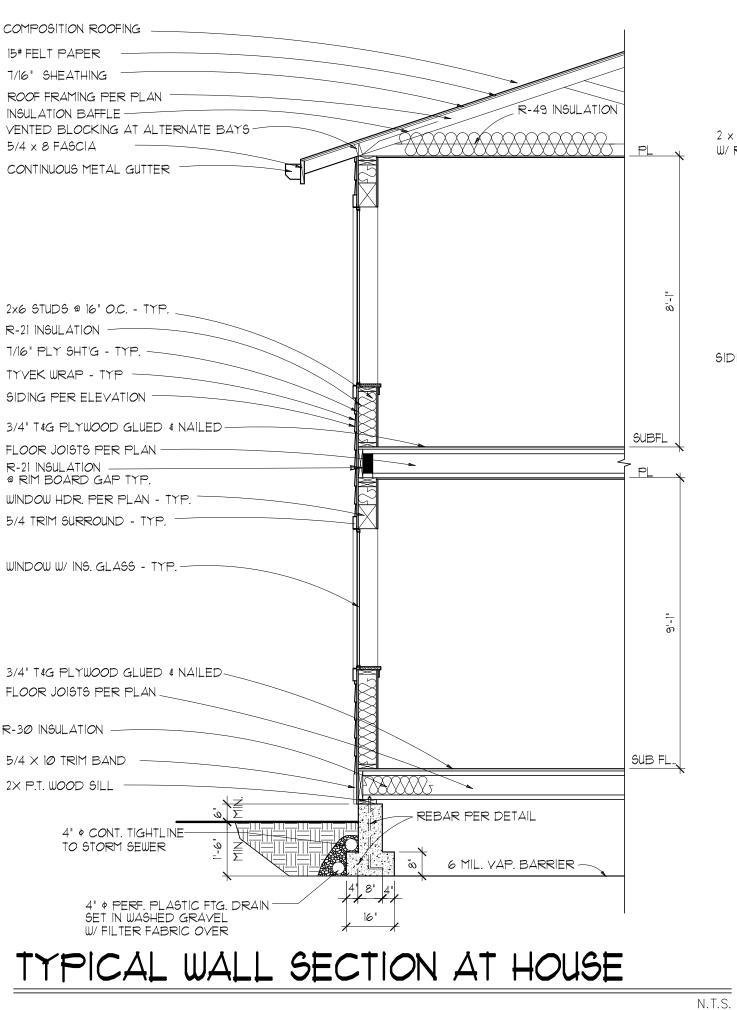
FLOOR JOISTS PER PLAN -R-21 INSULATION _____ @ RIM BOARD GAP TYP. WINDOW HDR. PER PLAN - TYP. 5/4 TRIM SURROUND - TYP.

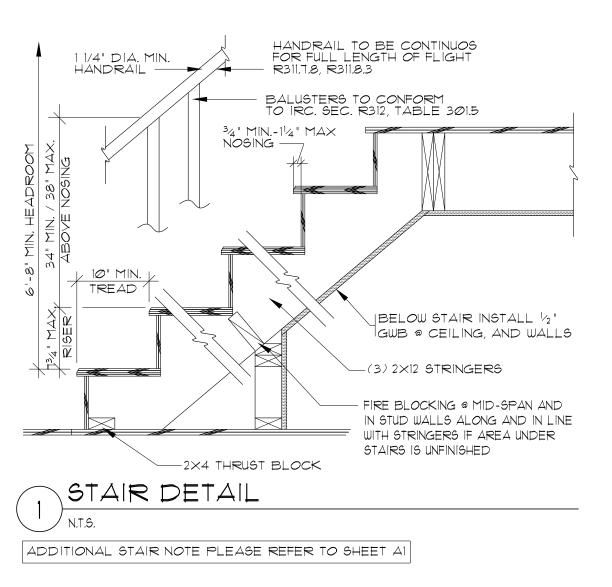
WINDOW W/ INS. GLASS - TYP.---

FLOOR JOISTS PER PLAN

R-30 INSULATION -5/4 \times 10 TRIM BAND

2X P.T. WOOD SILL





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NOTE:

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15 # FELT UNDERLAYMENT ON 7/16" O.S.B. SHEATHING TYPICAL. TOP PLATE <u>BDRM 3</u> 2 x 6 STUDS @ 16"0.c. ---W/ R-21 INGUL, TYP. - || 7*0*50 XOX | R-21 INSULATION © RIM BOARD GAP TYP. FLOOR JOIST AS PER PLAN SUB FLR. TOP PLATE SIDING PER ELEVATIONS 2 x 6 STUDS @ 16"0.c. W/ R-21 INGUL, TYP. LIVING RM SUB FLR. A<u>PPROX. GRADE</u> 4" & PERF. PLASTIC FTG. DRAIN -SET IN WASHED GRAVEL W/ FILTER FABRIC OVER 18" MIN. CRAWL SPACE -TYPICAL. CONC. FTG. AS-PER PLAN HOUSE SECTION @ SIMPLE ONLY

COMP. ROOFING ON

TYPICAL ROOF CONSTRUCTION

- COMPOSITION ROOF SHINGLES - 15# ROOFING FELT
- 7/16" SHEATHING
- STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN - R-49 INSULATION
- 1/2" GWB. CEILING

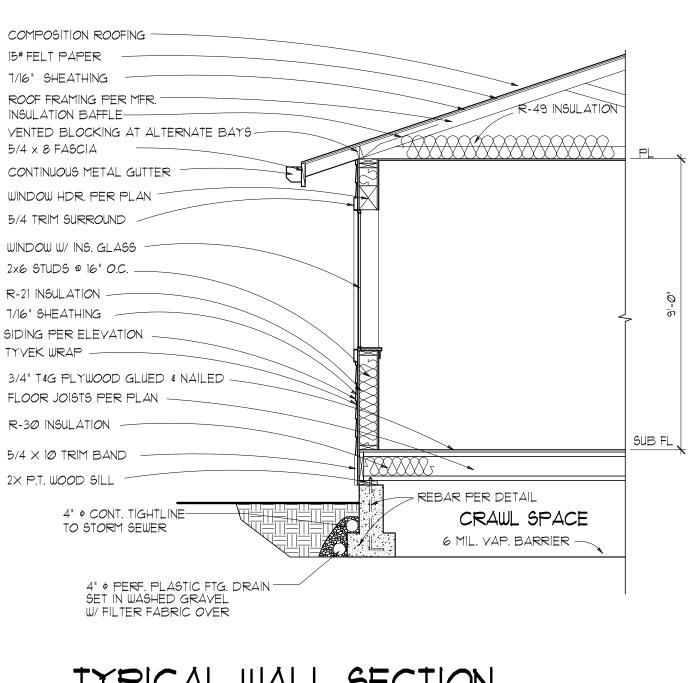
- 1/8" TO 1/4" MESH SCREEN OVER OPENINGS - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER

- PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3

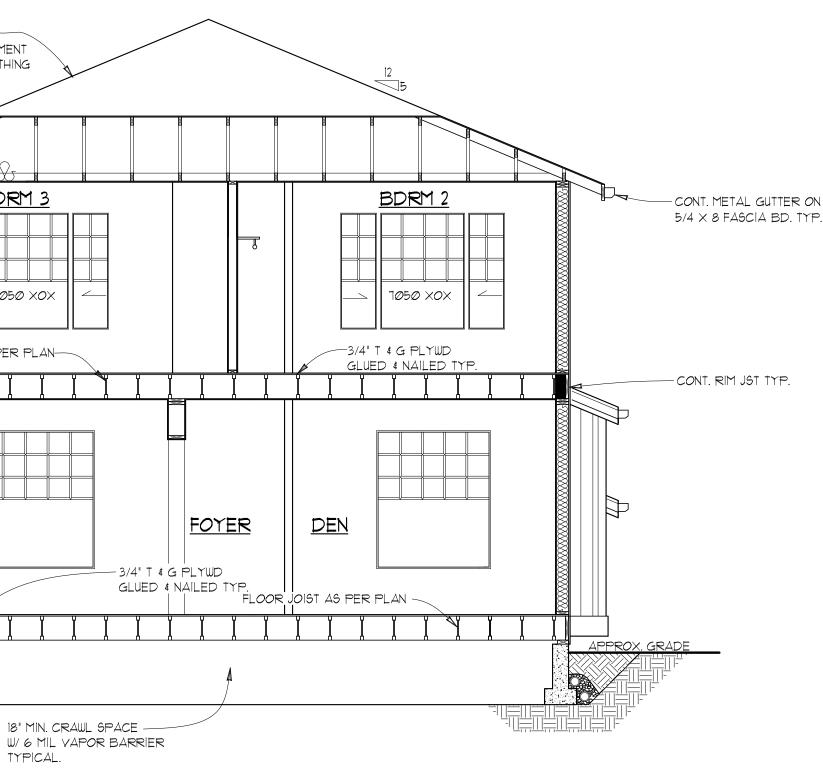
- HOLES NO CLOSER THE 5/8 INCH TO FACE OF STUD - R-21 INSULATION WITH VAPOR BARRIER
- 1/2" GWB. INTERIOR SHEATHING

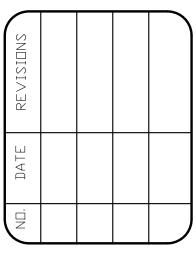
COMPOSITION ROOFING 15# FELT PAPER 7/16" SHEATHING ROOF FRAMING PER MFR. INSULATION BAFFLE-5/4 x 8 FASCIA WINDOW HDR. PER PLAN 5/4 TRIM SURROUND WINDOW W/ INS. GLASS -2×6 STUDS @ 16" O.C. -R-21 INSULATION -7/16" SHEATHING SIDING PER ELEVATION TYVEK WRAP -

R-30 INGULATION 5/4 imes 10 TRIM BAND 2X P.T. WOOD SILL



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TYPICAL WALL CONSTRUCTION

- SIDING AND/OR VENEER PER ELEVATION - 7/16" PLY OR OSB SHTG.(U.N.O) - TYVEK BUILDING WRAP OR EQ. – 2X6 STUDS @ 16" O.C. EXTERIOR WALLS U.N.O. – R–30 INSULATION OVER UNHEATED AREAS EXTERIOR WALL NOTCH 25%, BORING 40% 60% BORING IF DOUBLED & NOT MORE THAN TWO SUCCESSIVE STUDS. - 2x4 STUDS @ 16" O.C., INTERIOR PARTITIONS
- (2X6 @ PLUMBING WALLS)
- NON-BEARING WALL MAXIMUM NOTCH 40%, BORING 60%

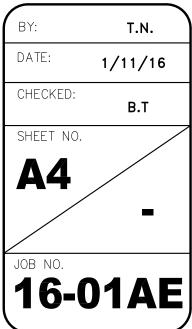
SCALE: 1/4" = 1'-0"

TYPICAL FLOOR CONSTRUCTION

– FINISHED FLOOR PER PLANS - 3/4" T&G PLYWOOD SUBFLOOR (GLUE AND NAIL) – FLOOR JOISTS PER PLAN

TYPICAL WALL SECTION





GENERAL NOTES

BUILDING CODE

2012 IBC EDITION OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY LOCAL JURISDICTION.

ROOF LIVE LOAD = 25 PSF (SNOW)

ROOF DEAD LOAD = 15 PSF FLOOR LIVE LOAD = 40 PSF (REDUCIBLE)

FLOOR DEAD LOAD = 12 PSF WIND LOAD = 110 MPH WIND SPEED, EXPOSURE "B"

SOIL SITE CLASS "D"

CONSTRUCTION TYPE: V

OCCUPANCY GROUP: R-3

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM: - ALTERNATIVE I-JOIST/BEAM MANUFACTURER PLANS.

- TRUSS DESIGN FOR ROOF FRAMING
- HVAC SYSTEMS DESIGN
- ELECTRICAL PLANS & SPECIFICATIONS (IF REQUIRED,

SITE WORK

<u>GENERAL</u>

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED FOUNDATION DESIGN IS BASED ON AN AVERAGE SOIL BEARING OF 1500 PSF PER SOILS REPORT EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 3"x3"x1/4" PLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN I' OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

FOUNDATION SILL BOLTS TO BE 5/8" DIAMETER AT 6'-0" O.C. U.N.O. WITH MIN. 1" EMBEDMENT METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON OR APPROVED EQUAL

CONCRETE

MINIMUM CONCRETE COMPRESSIVE STRENGTH (f'c) AT 28 DAYS TO BE 2,500 PSI WITH 6% AIR ENTRAINED +/- 1% (FOR WEATHERING) WITH 5-1/2 MIX SACK CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL REINFORCEING STEEL TO COMPLY WITH ASTM A615 GRADE 60.

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE

FOLLOWING UNADJUSTED DESIGN MINIMUM PROPERTIES:

JOISTS:	WOOD TYPE:
2×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2×6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
BEAM	
4×	DF-L #2 - Fb=900 psi, Fv=180 psi, Fc=1350 psi, E=16000000psi
6× OR LARGER	DF-L #2 - Fb=875 psi, Fv=170 psi, Fc=600 psi, E=1300000psi
<u>Studs</u>	
2×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=13000000psi
2×6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=13000000psi
POSTS	
4×4	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=13000000psi
4×6 OR LARGER	HF #2 - Fb=975 psi, Fv=150 psi, Fc=1300 psi, E=13000000psi
6×6 OR LARGER	DF-L #2 - Fb=750 psi, Fv=170 psi, Fc=700 psi, E=1300000psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS # 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES: Fb = 2,400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APROVAL BY BUILDING OFFICIAL. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

PARALLAM (PGL) BEAMS SHALL HAVE THE MINIMUM PORPERTIES: F6 = 2,900 P61, F7 = 290 P61, Fc = 750 P61 (PERPENDICULAR), E = 2,000,000 P61. MICROLLAM (LVL) BEAMS SHALL HAVE THE MINIMUM PORPERTIES: F6 = 2,600 PSI, FV = 285 PSI, FC = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI

CALCULATION SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMTED AS FOLLOWS: FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES:

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED WASHINGTON STATE PROFESSIONAL ENGINEER AND FABRICATED FROM ONLY THOSE DESIGNS.

NONBEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD WITH AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.

APPROVED HANGERS SHALL BE USED AT ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TRUSS.

MANUFACTURER-DESIGNED AND APPROVED DIAGONAL AND SWAY BRACING SHALL BE INSTALLED AS REQUIRED. ROOF/WALL SHEATHING

TYPICAL WALL SHEATHING SHALL BE 1/16" AND ROOF SHEATHING SHALL BE 1/16" UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 80 @ 6" O.C. @ PANEL EDGES AND 12" O.C. IN FIELD. U.N.O. ON SHEARWALL SCHEDULE. SPAN INDEX SHALL BE 24/0. PLYWOOD FLOOR SHEATHING SHALL BE 3/4" T&G SHEATHING, UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d COMMOM OR 6d RING SHANK AT 6" O.C.

@ PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 40/20. STAGGER END LAPS AT ROOF AND FLOOR SHEATHING, OSB SHEATHING PRODUCTS OF EQUIVALENT SPAN RATINGS SHALL BE ALLOWED.

WALL MARK	SHEATING TYPE	SIDES	SHEAR PANEL EDGE NAILING	FIELD NAILING	PANEL EDGES	BASE PLATE NAILING	ANCHOR BOLT DIA. & SPACING	SILL PLATE SIZE	HOLDOWN TYPES
	7/16"	ONE	8d @ 6" O.C.	12" O.C.	2×	160 NAILS @ 12" O.C.	5/8", @60" O.C.	2×	PER PLAN
	7/16"	ONE	8d @ 4" O.C.	12" O.C.	2-2×	160 NAILS @ 4" O.C.	5/8"。 @ 48" O.C.	2×	PER PLAN
	7/16"	ONE	8d @ 3" O.C.	8" O.C.	2-2×	160 NAILS @ 3" O.C.	5/8", @ 36" O.C.	2-2×	PER PLAN

(U.N.O.)

3. ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES, FULLY BLOCKED WITH MINIMUM NAILING OF 8d @ 6" O.C. EDGE, 12" O.C. FIELD.

4. NAILING APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED PER IBC TABLE 2306.3, NOTE (e).

5. ANCHOR BOLT SPACING IS 6'-0" O.C. UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE, ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS AND SPLICES. PROVIDE $\frac{1}{4}$ "x3"x3" WASHERS AT ANCHOR BOLTS. DO NOT RECESS BOLTS.

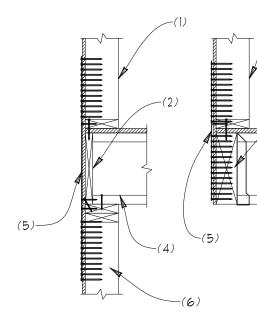
(0.092" DIA., 1 ½" LONG)

1. 1 $\frac{1}{4}$ " No. 6 DRYWALL SCREWS (TYPE W OR S) MAY BE SUBSTITUTED FOR NAILS LISTED AS 5d COOLER OR 6d COOLER FOR GYPSUM WALL BOARD SHEARWALLS PER IBC TABLE 2306.7.

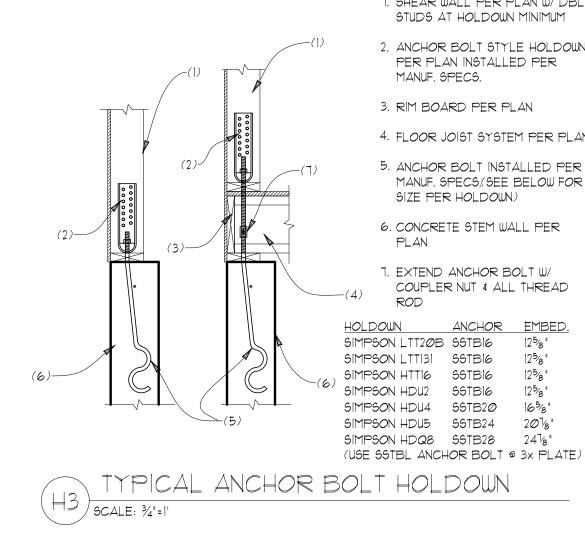
AT 3" OR 2" O.C. OR WALLS SHEATHED ON BOTH SIDES)

9. HOLDDOWNS AND STRAPS OF EQUIVALENT UPLIFT CAPACITY MAY BE SUBSTITUTED FOR THOSE LISTED IN THE SHEARWALL SCHEDULE. COORDINATE WITH MANUFACTURER TO VERIFY APPLICABILITY AND PROPER INSTALLATION METHODS OF SUBSTITUTED HARDWARE.

(I.E. (2) MASP REPLACE (1) $\frac{5}{8}$ " DIA ANCHOR BOLT)







SHEAR WALL SCHEDULE

1. FRAMING SHALL BE HEM-FIR #2 @ 16" O.C. MAX (U.N.O.). THICKNESS OF STUDS TO BE 2x UNLESS NOTED IN SCHEDULE.

2. SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL HORIZONTAL EDGES W/ 2x OR 3x BLOCKING PER SCHEDULE

6. ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UN.O.) PER IBC TABLE 2306.3. ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d COMMON (0.131" DIA., 2½" LONG), 8d BOX (0.113" DIA., 2½" LONG), 10d COMMON (0.148" DIA., 3" LONG), 10d BOX $(\emptyset.128"$ DIA., 3" LONG), 16d COMMON ($\emptyset.162"$ DIA., 3½" LONG), 16d SINKER ($\emptyset.148"$ DIA., 3¼" LONG), 5d COOLER ($\emptyset.\emptyset86"$ DIA., 15%" LONG), 6d COOLER

8. IN LIEU OF 3x VERTICALS AND BLOCKING AT PANEL EDGES, 2-2x'S W/ 10d FACE NAILS STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. PLYWOOD EDGES TO BE CENTERED BETWEEN THE 2-2x MEMBERS (THIS ALTERNATIVE DOES NOT APPLY TO WALLS WITH 8d EDGE NAILING AT 2" O.C. OR 10d EDGE NAILING

10. SQUASH BLOCKS REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW.

II. SIMPSON MASP MUDSILL ANCHORS, EVENLY SPACED, MAY BE SUBSTITUTED (2) FOR (1) FOR THE $\frac{5}{8}$ " DIA. SILL PLATE ANCHOR BOLTS SPECIFIED.



W/ DBL STUDS AT STRAP

- 2. RIM BOARD PER PLAN
- 3. BEAM PER PLAN
- 4. FLOOR JOIST SYSTEM PER PLAN
- 5. STRAP TIE PER PLAN CENTER STRAP ON RIM @ WALL TO WALL & CENTER STRAP ON FLOOR DIAPHRAGM @ WALL TO BEAM
- 6. LOWER FLOOR WALL PER PLAN W/ DBL STUDS AT STRAP MINIMUM



SHEAR WALL PER PLAN W/ DBL

. ANCHOR BOLT STYLE HOLDOWN

STUDS AT HOLDOWN MINIMUM

PER PLAN INSTALLED PER

4. FLOOR JOIST SYSTEM PER PLAN

5. ANCHOR BOLT INSTALLED PER

MANUF. SPECS.(SEE BELOW FOR

MANUF, SPECS,

3. RIM BOARD PER PLAN

SIZE PER HOLDOWN)

PLAN

ROD

6. CONCRETE STEM WALL PER

7. EXTEND ANCHOR BOLT W/

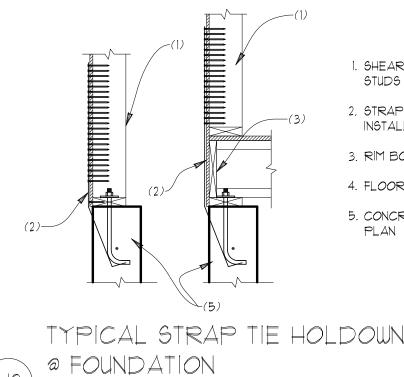
COUPLER NUT & ALL THREAD

ANCHOR EMBED

125%8"

125%8"

125%8"



EXTENT OF HEADER (TWO BRACED WALL PANELS)

(3) -

<u>Section</u>

<u>thru wall</u>

PORTAL FRAME CONSTRUCTION (FIELD BUILT)

 $(H2)_{\text{SCALE: } \frac{3}{4}^{"=1}}$

:||||:

H4 N.T.S

3. RIM BOARD PER PLAN

1. SHEAR WALL PER PLAN W/ DBL

STUDS AT HOLDOWN MINIMUM

2. STRAP TIE HOLDOWN PER PLAN INSTALLED PER MANUF. SPECS.

- 4. FLOOR JOIST SYSTEM PER PLAN

- 5. CONCRETE STEM WALL PER

PLAN

1. HEADER PER PLAN (MINIMUM 3"x11¼")

2. MINIMUM (2)2x4 STUD FRAMING TYP.

SINKER NAILS @ 3" O.C. TYP.

SHEATHING

(3) 16d SINKERS.

10 FOUNDATION PER PLAN

11. SHEATHING FILLER IF NEEDED

12. 1000# STRAP TIE HOLDOWN PER PLAN

8. STRAP TIE HOLDOWN PER PLAN

3. FASTEN TOP PLATE TO HEADER W/ 2 ROWS OF 16d

4. SIMPSON LSTA24 STRAP TIE HEADER TO WALL ON INSIDE

GALV. BOX NAILS IN 3" GRID PATTERN AS SHOWN & 3"

5. FASTEN SHEATHING TO HEADER W/ 8d COMMON OR

6. ¾" MINIMUM THICKNESS WOOD STRUCTURAL PANEL

O.C. IN ALL FRAMING (STUDS, BLOCKING, SILLS) TYP.

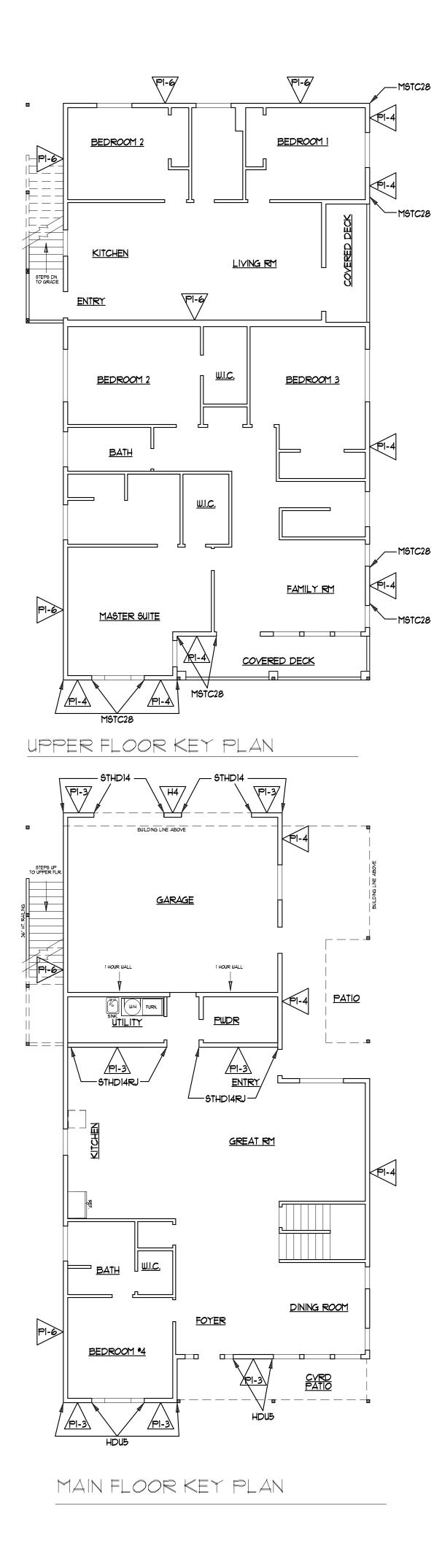
7. FOR PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE

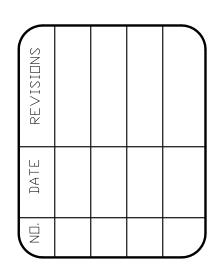
BLOCKED W/ 3x OR (2) 2x, & OCCUR WITHIN 24" OF

MID HEIGHT. IF 2x BLOCKING IS USED, FACE NAIL W/

9 5/8" DIA. ANCHOR BOLT W/ 7" MINIMUM EMBEDMENT. USE

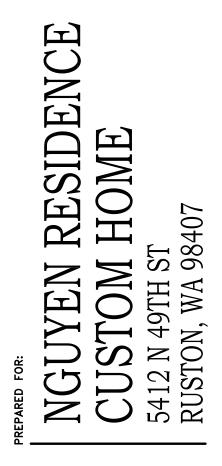
3/6"x2"X2" PLATE WASHER MINIMUM (TESTED ASSEMBLY)

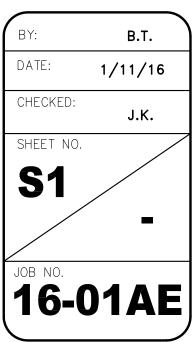






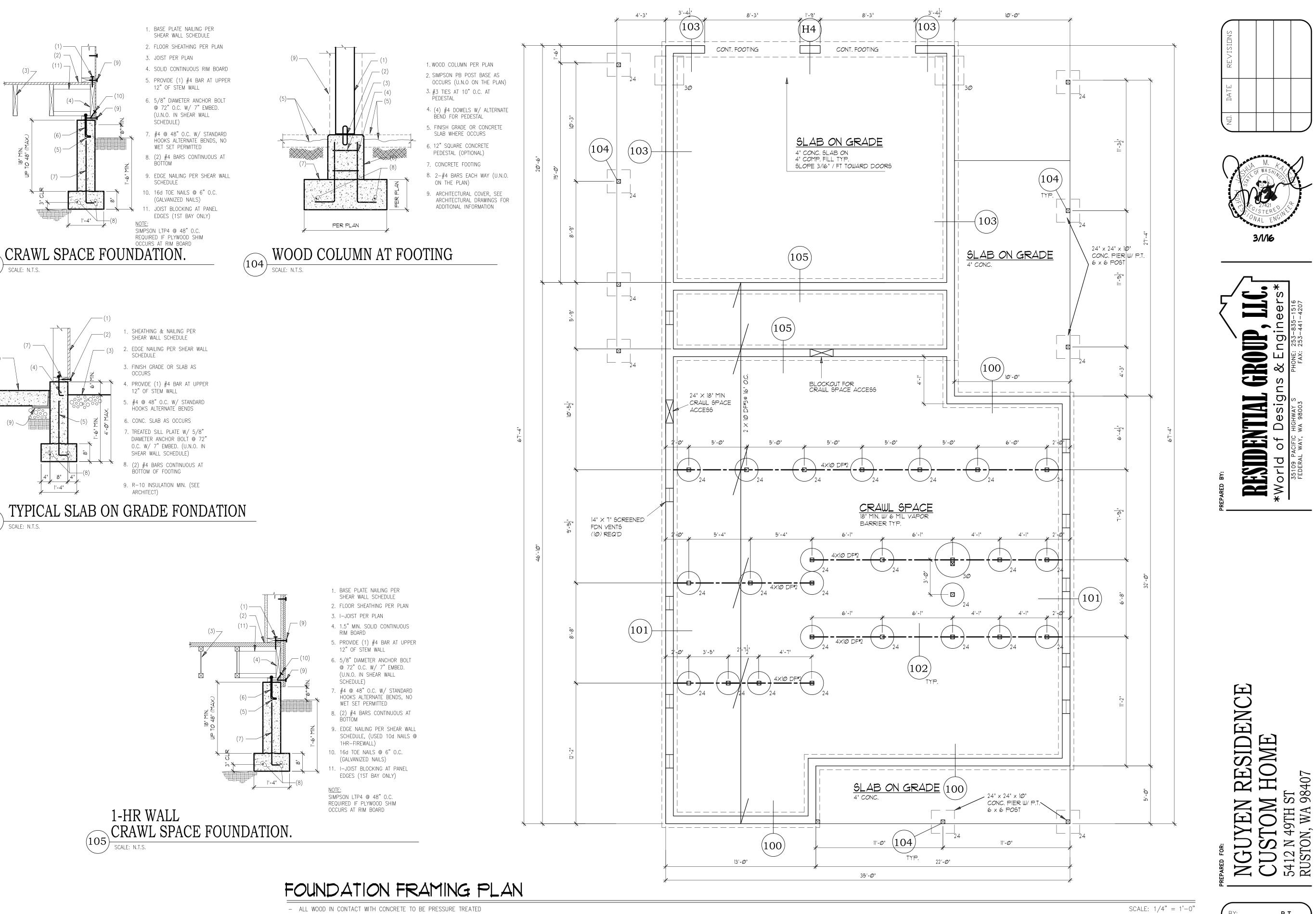


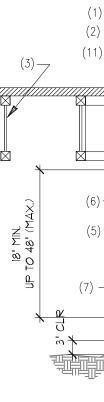




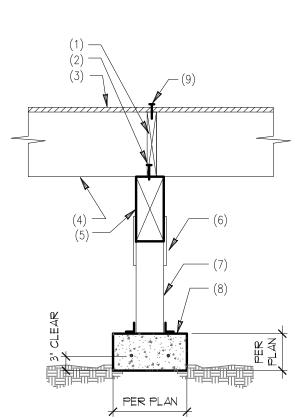
FOUNDATION VENTILATION USE 14' X T' SCREENED FDN. VENTS (1) VENT = .52 SQ. FT. NET FREE VENT AREA	NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES USE P.T. 4 × 4 POSTS BELOW 4 × BEAMS U.N.O. USE P.T. 6 × 6 POST BELOW 6 × BEAMS U.N.O.
$\frac{\text{FDN. AREA}}{300} = \text{NET VENT AREA REQ'D (N.V.A.)}$	24 P.T. POST ON 24" DIA. X 10" THICK CONC. FOOTING
N.V.A. = QTY. OF VENTS REQUIRED	24 P.T. POST ON 24" DIA. X 10" THICK CONC. FOOTING W/ (3) #4 BARG EACH. WAY
.52	30 P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ (3) # 5 BARS EACH WAY
$\frac{1429}{300} = 4.77 \qquad \frac{4.77}{.52} = 9.16$	\blacksquare 36 p.t. post on 36" × 36" × 12" THICK CONC. FOOTING W/ (4) # 5 BARS EACH WAY
TOTAL VENTS REQUIRED = 10	42 P.T. POST ON 42" × 42" × 12" THICK CONC. FOOTING W/ (4) # 5 BARS EACH WAY
ALL FDN. VENTS TO BE LOCATED THREE FEET FROM THE BUILDINGS CORNERS PER R4082 (IRC)	FOOTING SIZES BASED ON 1500 psf SOIL BEARING CAPACITY

	FOUNDATION FOOTING SCHEDULE
FOUNDATION VENTILATION	NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES
USE 14" X 1" SCREENED FDN. VENTS (1) VENT = .52 SQ. FT. NET FREE VENT AREA	USE P.T. 4×4 POSTS BELOW $4 \times$ BEAMS U.N.O. USE P.T. 6×6 POST BELOW $6 \times$ BEAMS U.N.O.
$\frac{\text{FDN. AREA}}{300} = \text{NET VENT AREA REQ'D (N.V.A.)}$	24 P.T. POST ON 24" DIA. X 10" THICK CONC. FOOTING
$\frac{N.V.A.}{52} = QTY. OF VENTS REQUIRED$	24 p.t. post on 24" dia. \times 10" thick conc. Footing W/ (
1429 4.77	■ 30 P.T. POST ON 30" × 30" × 12" THICK CONC. FOOTING W/
<u>300 = 4.11</u> <u>.52</u> = 9.16	36 PT POST ON 36' X 36' X 12' THICK CONC FOOTING 11/





PER PLAN TYPICAL INTERIOR SPREAD FOOTING



(102) SCALE: N.T.S.

SIMPSON BC POST CAP 7. 4x OR 6x P.T. POST W/ SIMPSON A34 EACH SIDE OR SIMPSON PB POST BASE 8. CONC. FOOTING PER PLAN

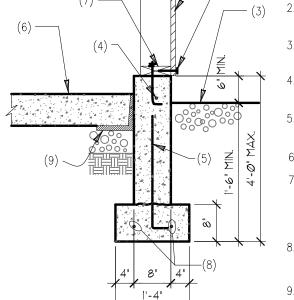
- 5. BEAM PER PLAN 6. 2x CLEAT EACH SIDE OR
- 4. JOISTS PER PLAN
- 3. FLOOR SHEATHING

9. EDGE NAILS

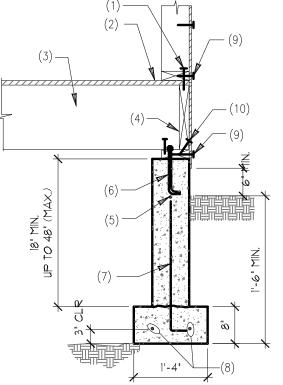








SCHEDULE QLO 10. 16d TOE NAILS @ 6" O.C. NOTE: 1'-4" (8 SIMPSON LTP4 @ 48" O.C. REQUIRED IF PLYWOOD SHIM OCCURS AT RIM BOARD CRAWL SPACE FOUNDATION (100) SCALE: N.T.S.



- REQ'S) 8. (2) #4 BARS CONTINUOUS AT BOTTOM 9. EDGE NAILING PER SHEAR WALL
- 7. #4 @ 48" O.C. W/ STANDARD HOOKS ALTERNATE BENDS, NO WET SET PERMITTED, (IF MONO POUR VERTICAL REBAR DONOT
- ◎ 72"O.C. W/ 7"EMBED. (U.N.O. IN SHEAR WALL SCHEDULE)
- 5. PROVIDE (1) #4 BAR AT UPPER 12" OF STEM WALL 6. 5/8" DIAMETER ANCHOR BOLT
- PLATE W/ (2) 10d NAIL PER JOIST 4. SOLID CONTINUOUS RIM BOARD
- 2. FLOOR SHEATHING PER PLAN 3. JOIST PER PLAN, SECURE TO
- 1. BASE PLATE NAILING PER SHEAR WALL SCHEDULE

(5)-5 x

(101)

SCALE: N.T.S.

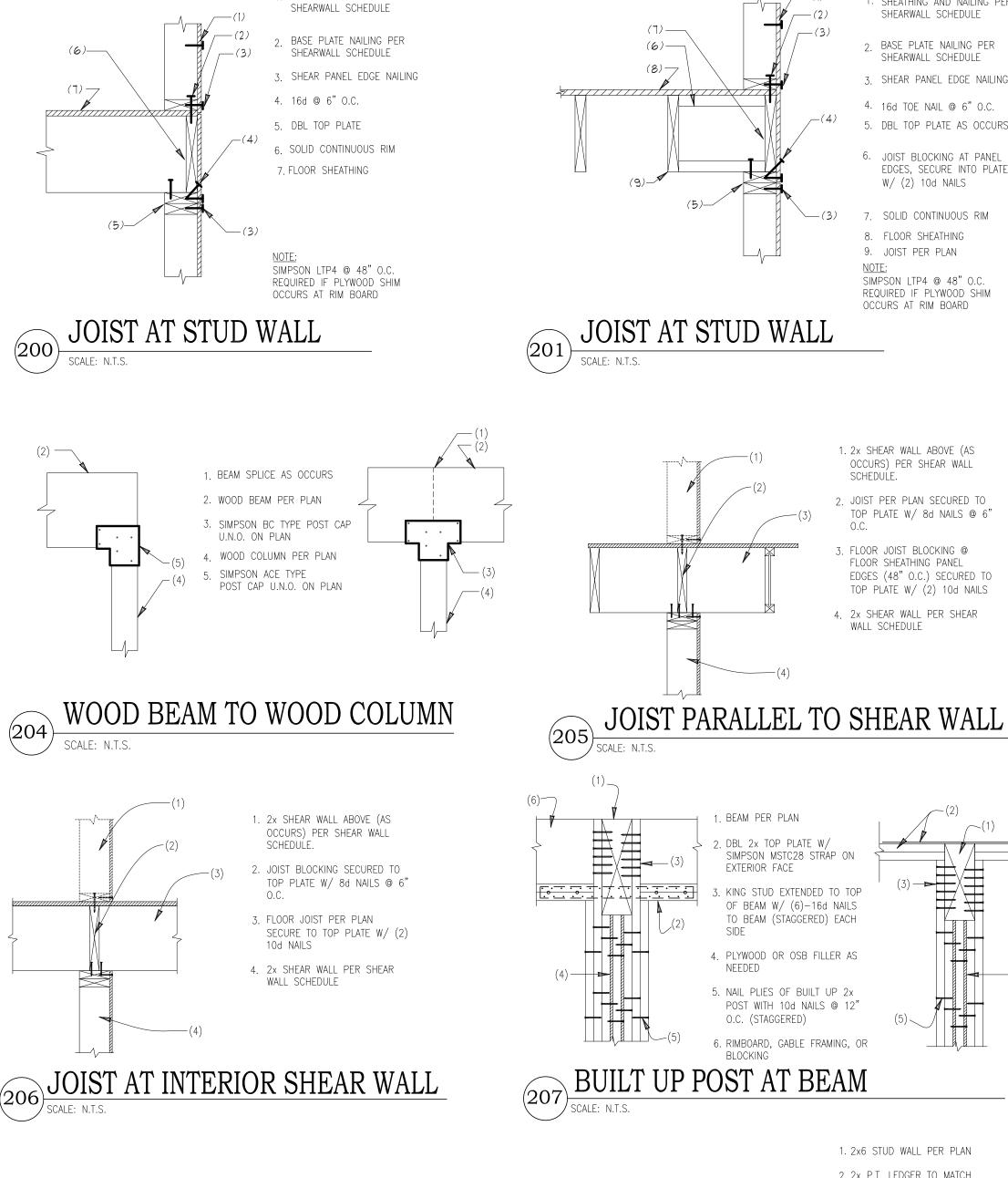
SCALE: N.T.S.

- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS - PROVIDE SOLID BLOCKING OVER SUPPORTS
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- ☑ PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.) - PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL

CONSTRUCTION NOTE:

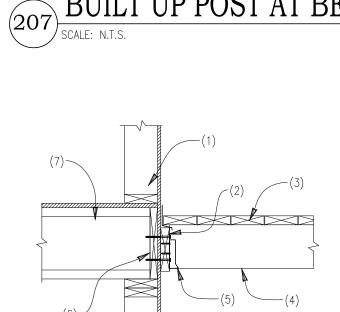
- * REFER TO "S" SHEETS FOR WHICH CONTAIN STRUCTURAL DETAILS REFERENCES, FRAMING PLANS, SHEAR WALL KEY PLAN, & NOTES. * CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS, DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.
- * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

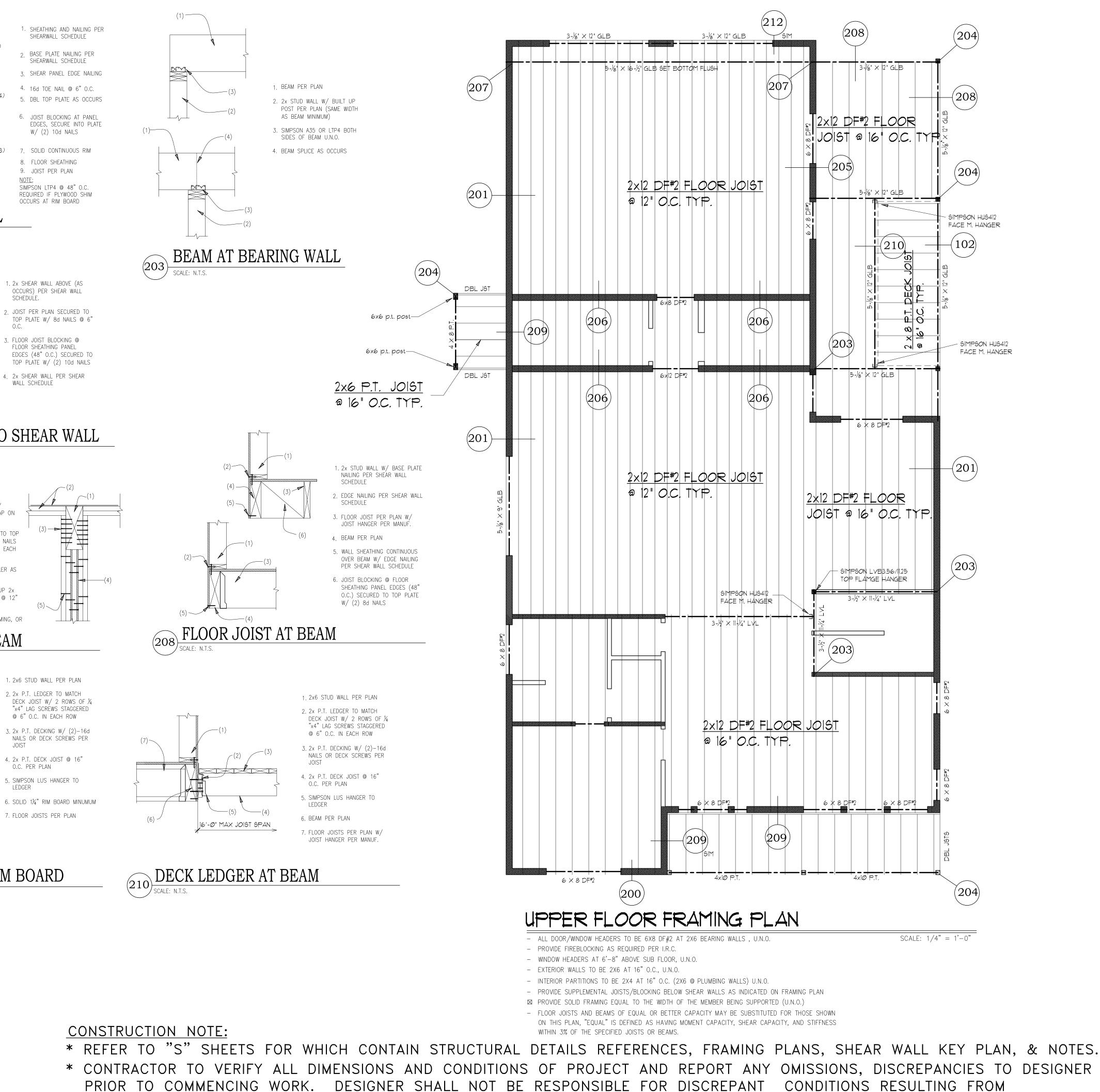
BY: B.T. DATE: 1/11/16 CHECKED: J.K. SHEET NO. **S2 16-01AE**



1. SHEATHING AND NAILING PER



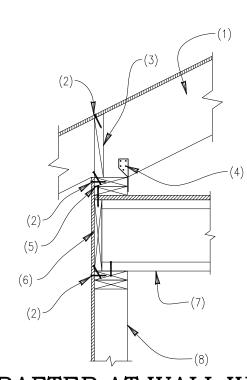




___(1)



2'-Ø" MAX JOIST SPAN

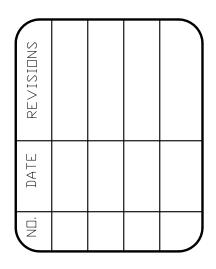


- 2. EDGE NAILING
- 1. 2x RAFTER W/ ROOF SHEATHING PER PLAN

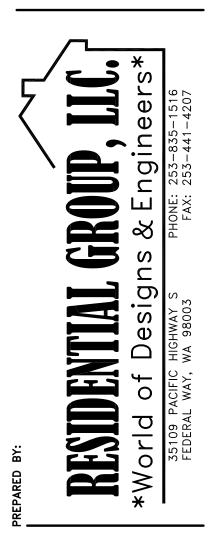
- 3. 2x BLOCKING TOE NAILED TO TOP PLATE
- W/ (3) 8d NAILS
- 4. SIMPSON H2.5 CLIP AT EACH RAFTER
- 5. DBL 2x PLATE FACE NAILED AND NAILED TO RIM PER BASE PLATE NAILING OF WALL
- BELOW
- 6. SOLID CONTINUOUS RIM ATTACHED TO TOP
- PLATE OF WALL W/ 8d TOE NAILS @ 6"

- 7. FLOOR JOIST PER PLAN SECURED TO TOP PLATE W/ (2) 8d NAILS
- 8. 2x STUD WALL W/ SHEATHING & NAILING PER PLAN
- 212 RAFTER AT WALL W/ FLOOR JOIST SCALE: N.T.S.

UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR. * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.







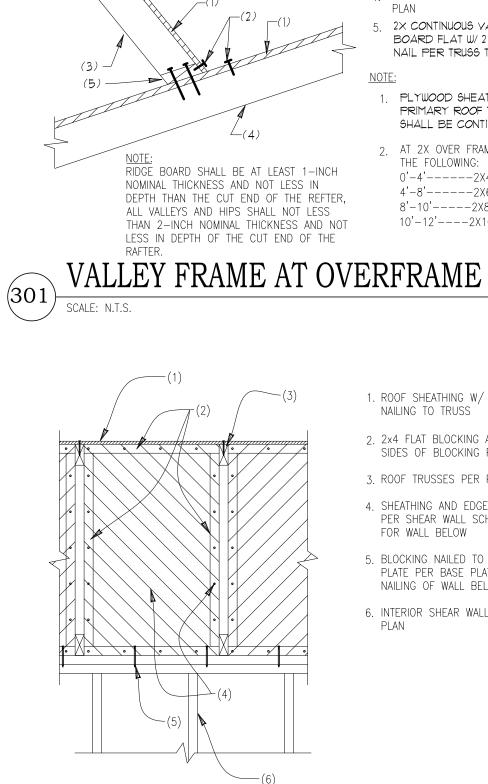


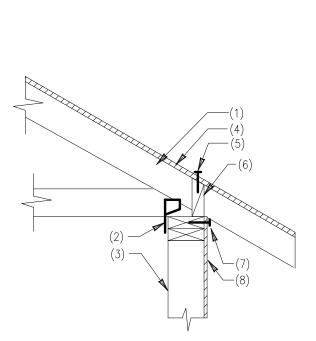
BY:	B.T.
DATE:	1/11/16
CHECKED:	J.K.
SHEET NO.	
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	-
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16-0	1AE

PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.

CONSTRUCTION NOTE: * REFER TO "S" SHEETS FOR WHICH CONTAIN STRUCTURAL DETAILS REFERENCES, FRAMING PLANS, SHEAR WALL KEY PLAN, & NOTES. * CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS, DISCREPANCIES TO DESIGNER

WOOD BEAM TO WOOD COLUMN (303) SCALE: N.T.S.

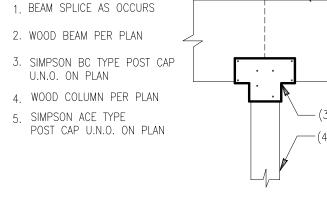




(300)

SCALE: N.T.S.

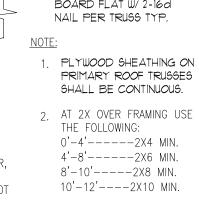
* NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.



USE STANDARD JACK VENTS (AF50: 50sq. in. or 0.347 sq. ft.) AND 1 1/2" BIRD BLOCK VENTS (3.975 sq. in. or 0.0276 sq. ft.) $\frac{\text{ROOF AREA}}{\text{150} \times \text{144 si/sf}}$ = NET VENT AREA REQ'D (N.V.A.) N.V.A. 50 sq. in. = QTY. OF JACK VENTS REQUIRED $\frac{789}{150 \times 144 \text{ si/sf}} = \frac{757.44}{50} = \frac{757.44}{50} = 15.1488$ TOTAL JACK VENTS REQUIRED = 15 (15*50=750) =789 - 750 = 39 = 3.975 sq. in. = 9.81TOTAL BIRD BLOCK VENTS REQUIRED = 10

302 SCALE: N.T.S.

- 6. INTERIOR SHEAR WALL PER PLAN
- 5. BLOCKING NAILED TO TOP PLATE PER BASE PLATE NAILING OF WALL BELOW
- 4. SHEATHING AND EDGE NAILING PER SHEAR WALL SCHEDULE FOR WALL BELOW
- 2. 2x4 FLAT BLOCKING AT (4) SIDES OF BLOCKING PANEL 3. ROOF TRUSSES PER PLAN
- 1. ROOF SHEATHING W/ EDGE NAILING TO TRUSS



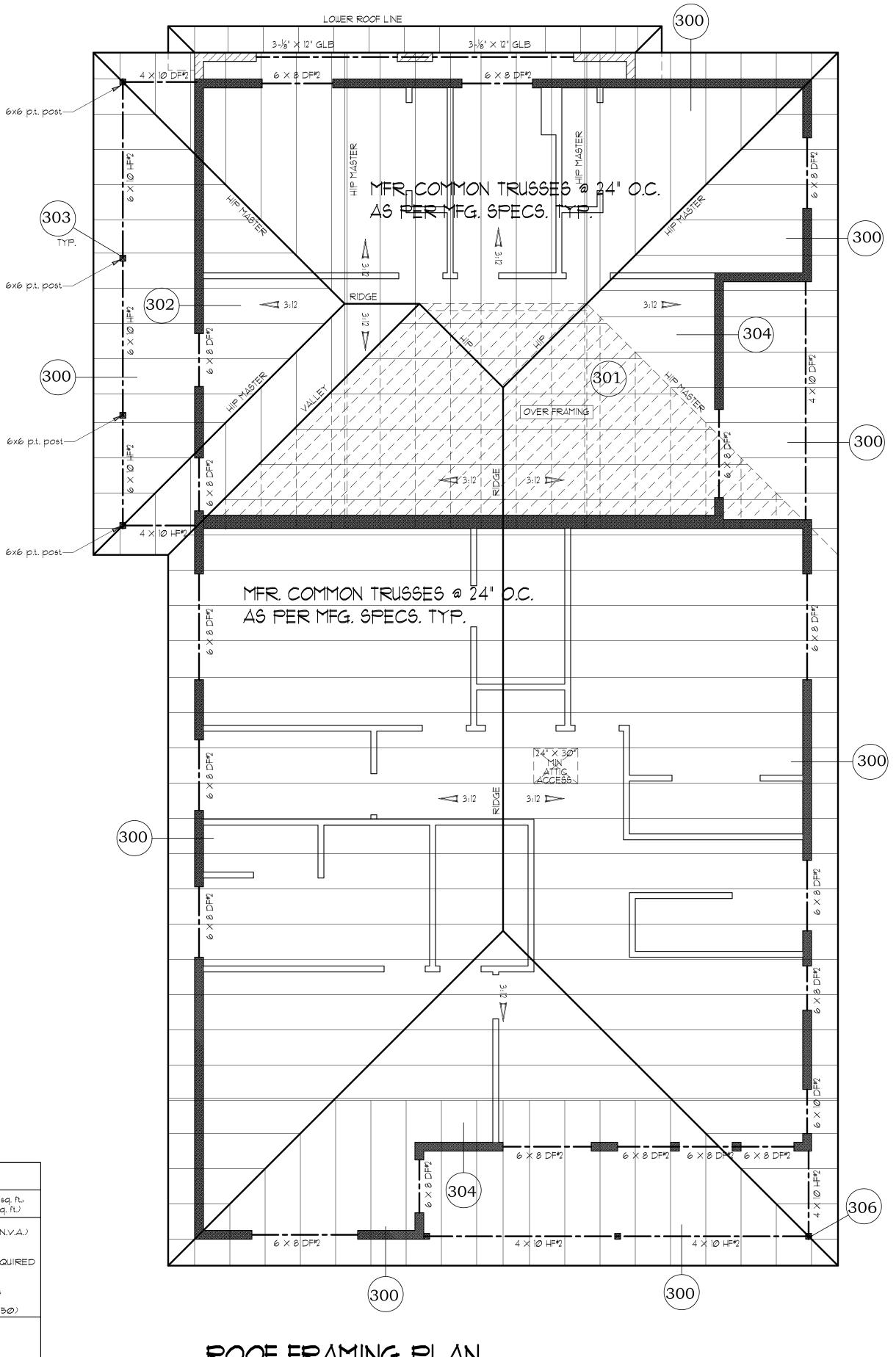
4. TRUSS OR RAFTER PER PLAN 2× CONTINUOUS VALLEY BOARD FLAT W/ 2-16d

0.C. w/ 2-10d TOE NAILS TO VALLEY BOARD

2X OVER FRAME @ 24"

TRUSS AT STUD WALL

- 8. SHEATHING AND NAILING PER SHEARWALL SCHEDULE
- 7. SHEAR PANEL EDGE NAILING
- 6. 2X BLOCKING @ 24" W/ 3–10d PER BLOCK TOENAIL INTO PLATE
- 4. PLYWOOD SHEATHING 5. EDGE NAILING
- 3. STUD WALL
- 2. SIMPSON H1 OR H2.5 CLIP EVERY TRUSS
- 1. TRUSS PER PLAN



ROOF FRAMING PLAN

- ALL BEAMS AND HEADERS TO BE 6X8 DF #2 AT BEARING WALLS, U.N.O.
- SHADED AREAS INDICATE OVERFRAMING, 2X6 @ 24" O.C., U.N.O. - BEARING WALLS ARE INDICATED AS SHADED WALLS
- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS - ALL MANUFACTURED TRUSSES:
- * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL

- * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS

- PROVIDE TRUSS LAYOUT AND SPECS ON SITE FOR INSPECTION.

* SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION

- IF AN ENGINEERED ROOF FRAMING LAYOUT IS PROVIDED BY THE TRUSS SUPPLIER, THAT TRUSS LAYOUT SHALL SUPERCEDE THE TRUSS LAYOUT INDICATED IN THE PLANS.

☑ PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)

SCALE: 1/4" = 1'-0"

