

**Staff Report to the Hearing Examiner
5412 North 49th Street (Nguyen) Accessory Dwelling
Conditional Use Permit
CUP 16-02**

I. General Information

A) Applicant:

Phuc Nguyen
4835 6th Avenue
Tacoma, WA 98406

B) Site Address/Parcel Number:

5412 North 49th Street, Ruston, WA - Parcel Number 2365000840

C) Zoning Designation: Residential (RES)

II. Project Description

The proponent has applied to the City of Ruston for approval of a conditional use permit to construct an attached accessory dwelling above the garage of a new single family residence. The single family residence, accessory dwelling and garage will all be new construction upon the site which is currently vacant.

Please see the application materials attached to this report as Exhibit A for additional information.

III. Staff Analysis, Findings, and Conclusions

A) State Environmental Policy Act (SEPA) Analysis

The City's SEPA Responsible Official has determined that this proposal qualifies as a minor land use decision and is therefore categorically exempt from SEPA review as per WAC 197-11-800(6)(b).

B) Comprehensive Plan

This section of the staff report provides a listing of relevant Comprehensive Plan goals and/or policies and provides staff findings and analysis as to how the proposal complies with them.

1) Relevant Comprehensive Plan Goals/Policies

- a. Growth Management Act Goal #2
Reduce Sprawl. Reduce the inappropriate conversion of undeveloped land into sprawling, low-density development.
- b. Growth Management Act Goal #4
Housing. Encourage the availability of affordable housing to all economic segments of the population of this state, promote a variety of residential densities and housing types, and encourage preservation of existing housing stock.
- c. Framework Policy FW-6
Design development to be architecturally compatible with the traditional arts and crafts style, including: scale; mass; or modulation of adjacent and nearby homes. Emphasis should be placed on the form of structures over their use.
- d. Framework Policy FW-14
Encourage and integrate: multifamily; accessory dwelling; and live-work housing types when appropriate, into neighborhoods. Design their forms to fit-in with neighborhood character and environmental characteristics.
- e. Framework Policy FW-23
Encourage accessory dwelling units as a permitted use to provide more affordable housing choices and options for accommodating growth. Provide architectural examples.
- f. Framework Policy FW-29
Pursue affordable housing whenever possible, primarily through: multifamily; accessory dwelling; and live-work housing types. Promotion of these housing types will also help Ruston meet their goals for “fair share” housing.
- g. Community Character Policy CC-4
Allow development that encourages pedestrian-oriented architecture.
- h. Community Character Policy CC-5
Allow infill development when lot and home size are in proportion, similar to existing neighborhood character.
- i. Community Character Policy CC-6

Design residential developments with arts and crafts-style homes (i.e. Craftsman, Tudor, and Pacific Northwest Timber Frame). Visible building materials should reflect human handicraft (cedar lap siding or shingles) over plywood siding such as T-111.

- j. Community Character CC-16
Create an excellent pedestrian experience through the use of safely defined walkways, landscaping, architecture and art. Pedestrian connections are important and should be required between all uses, encouraging a more walkable and healthful community.
- k. Community Character Policy CC-23
Encourage low-impact infill development such as accessory dwelling units by simplifying the permitting process. Provide architectural examples of accessory dwelling units that show good integration with the existing neighborhood.
- l. Land Use Policy LU-7
Design developments to encourage access by modes of travel other than driving alone, such as walking, bicycling and transit, and provide connections to the non-motorized system.
- m. Land Use Policy LU-13
Encourage affordable housing in appropriate areas where there is convenient pedestrian access to local stores and services. Affordable housing development should not detract from the established small-town atmosphere of the community of block defined scenic view corridors.
- n. Land Use Policy LU-15
Development should be designed to be environmentally sensitive, energy-efficient, and aesthetically pleasing.
- o. Housing Policy HO-1
Support a fuller range of housing types in Ruston's neighborhoods that offer housing for a variety of income levels and family sizes.
- p. Housing Policy HO-8
Achieve more affordable housing options in Ruston mainly through multifamily, accessory dwelling and live-work units.
- q. Capital Facilities CF-5
Seek opportunities to reduce impervious surfaces with pervious surfaces to improve water quality.

2) Staff Findings Regarding Consistency with the Comprehensive Plan

Staff finds that the proposal is consistent with the City's Comprehensive Plan as it proposes to construct an accessory dwelling unit upon a parcel that is currently undeveloped. This infill development increases the City's density by two residential units by constructing an attached single family home and accessory dwelling. Finally, the provision of a balcony facing Shirley Street and construction of a sidewalk connecting the pedestrian entrance to the Shirley Street sidewalk creates additional open space and enhances pedestrian connectivity.

All of the features described above work in concert to create a very livable, affordable and connected, infill housing unit in Ruston, which is consistent with the City's Comprehensive Plan policies listed in the section above.

C) Ruston Municipal Code

This section of the staff report provides a listing of relevant portions of the City's zoning regulations and provides staff findings and analysis as to how the proposal complies with them.

1) RMC 25.01.040(j) – Residential (RES) Zoning Standards (Accessory Dwellings)

Ruston Municipal Code 25.01.040(j) states the following:

RMC 25.01.040(j) Accessory Dwellings. Accessory dwellings may be conditionally allowed following review and approval by the City Hearing Examiner subject to the following conditions.

(1) A lot may have not more than one accessory dwelling.

Staff findings and analysis:

Staff finds that the proposal is consistent with this requirement as only one accessory dwelling is being proposed and none currently exist on the site.

(2) The owner must occupy either the principal structure or the accessory dwelling.

Staff findings and analysis:

Staff finds that since the applicant is the current owner of record according to the Pierce County Assessor's records, and that the applicant intends to occupy either the primary residence or the accessory dwelling, the proposal is consistent with this requirement.

(3) *Parking must meet the requirements of Section 25.01.090.*

Staff findings and analysis:

Staff finds that the proposal includes at least three on-site parking stalls - two located within the proposed garage and at least one upon the driveway between the garage and the alley, and is therefore consistent with this requirement.

(4) *Design Requirements. The design of an accessory dwelling shall be incorporated into the principal structure's design or is shall be designed so that, to the degree reasonably feasible, the appearance of the building remains that of a single-family dwelling.*

Staff findings and analysis:

Staff finds that the proposal is consistent with this requirement in that the proposed structure includes both the single family unit and the accessory dwelling, and therefore siding materials, roof design, window style/placement are integrated into what will have the appearance of a single family dwelling.

(5) *Enforcement. If a unit cannot be legalized because it fails to meet the standards herein and the unit cannot or will not be brought into conformance with these standards, the use will have to be discontinued. The City may cite owners of illegally occupied units who do not apply for legalization. Owners who do not apply for a permit will be subject to civil penalties and other enforcement penalties under Chapter 25.03 of this Code.*

Staff findings and analysis:

Staff finds that since this proposal does not include conversion or alteration of an existing structure or existing accessory dwelling unit that this approval criteria item is not applicable.

2) RMC 25.01.110(b) – Conditional Uses

Ruston Municipal Code 25.01.110(b) states the following:

RMC 25.01.110(b) Conditional Uses.

(1) *Purpose of Conditional Use Permit. It is the purpose of this chapter to establish review and approval procedures for unusual or unique types of land uses which due to their nature require consideration of their impact on the neighborhood and land uses in the vicinity. The purpose of the conditional use permit is to allow certain uses in zoning districts that would normally be prohibited, when the requested use is consistent with the goals and policies of the Comprehensive Plan or zoning code and is deemed consistent with the existing and potential uses within the zoning district. No existing building or structure shall be converted to a*

conditional use unless such building or structure complies, or is brought into compliance, with the provisions of this section.

A conditional use permit is a mechanism by which the City may require specific conditions on development or the use of land to ensure that designated uses or activities are compatible with other uses in the same zone and in the vicinity of the subject property. If imposition of conditions will not make a specific proposal compatible, the proposal shall be denied. The City's Hearing Examiner may grant conditional use permits only if all applicable provisions of this code are fulfilled:

(A) The proposed use will not be injurious to the neighborhood or otherwise result in substantial or undue adverse economic, aesthetic, or environmental effects on adjacent property.

Staff findings and analysis:

Staff finds that the proposed use is both architecturally and aesthetically consistent with the character of the surrounding neighborhood and does not anticipate any undue adverse economic, aesthetic, or environmental effects to result. The proposed accessory dwelling will be located within a building which is of similar mass and scale; and which is designed with similar architectural elements including a pitched roof, front porch, side-street facing balcony, typical window size/placement, and lot orientation; to surrounding buildings in the existing neighborhood.

(B) The proposed use will not create a hazard for pedestrian or vehicular traffic. Traffic and circulation patterns of vehicles and pedestrians relating to the proposed use shall not be detrimental to the existing and proposed allowable uses in the zoning district. The traffic and circulation patterns shall assure safe movement in the surrounding area.

Staff findings and analysis:

Staff does not anticipate significant traffic impacts to result from the proposal.

(C) Adequate access will be available for emergency vehicles.

Staff findings and analysis:

Staff finds that adequate emergency vehicle access is provided via existing right of way, including both 49th Street and Shirley Street.

(D) Adequate off-street parking will be provided to prevent congestion of public streets.

Staff findings and analysis:

The combined total parking requirement for the accessory dwelling and single family residence equals three parking stalls. Since the proposal includes both on-site driveway space large enough to park upon, and a two car garage, staff finds that this requirement has been met.

- (E) The bulk and lot coverage of the proposed use shall be compatible with the surrounding property, or shall be conditioned so as to not impose an adverse impact upon the surrounding property.*

Staff findings and analysis:

Staff finds that the bulk and scale of the proposed use is typical for the zone in which it is located and therefore does not impose an adverse impact upon surrounding properties.

- (F) Building and structure heights shall conform to the requirements of the surrounding zoning district. Bell towers, public utility antennas or similar structures may exceed the height requirements, provided that they are conditioned so as to not impose an adverse impact upon the surrounding community.*

Staff findings and analysis:

Staff finds that the proposed structure is within the maximum height limitation for the Residential zone.

- (G) Potential noise, light and glare impacts relating to the proposed use shall not unduly impact nor detract from the surrounding properties in the zoning district. The Hearing Examiner shall find that the potential noise, light and glare shall not deter from the surrounding properties in the zoning district.*

Staff findings and analysis:

Staff does not anticipate any adverse noise, light and glare impacts resulting from the proposed accessory dwelling. Impacts would be typical for other similar uses in the zone and do not need any further mitigation beyond what the City's codes already require, (i.e. RMC 25.01.103 – Outdoor Lighting, for example).

- (H) Hours of Operation. The hours of operation shall not create intrusive impacts into the neighborhood.*

Staff findings and analysis:

Hours of operation limitations are intended for non-residential conditional uses and are not applicable to this proposal.

(2) Landscaping. Landscaping shall be provided in all areas not occupied by buildings or paving. The Hearing Examiner may require exceptional landscaping as a condition.

(3) Effect of Conditional Use Permit.

(A) Once the conditional use permit is approved, no building or development shall occur contrary to that specified in the conditional use permit.

(B) The owner shall record a declaration with the Pierce County Auditor showing the land to be bound by a conditional use permit.

(i) The declaration shall reference the official files of the City through which the permit was granted.

(ii) The declaration shall be a covenant running with the land.

(iii) No building permit shall be issued unless such declaration is recorded.

(iv) No building permit shall be issued for structures other than those specified in the permit.

IV. Staff Conclusion and Recommendation

Staff concludes that given the findings and analysis detailed above that the proposal is consistent with the City's Comprehensive Plan and applicable zoning regulations for consideration of a conditional use permit and therefore recommends that the Hearing Examiner approve the proposed accessory dwelling conditional use permit subject to the following conditions:

A) The owner must occupy either the primary residence or the accessory dwelling.

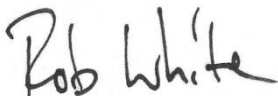
B) Prior to issuance of a building permit, the proposed site plan and/or elevation drawings must be revised as follows:

- a. The site plan shall be revised to include a minimum 3-foot wide pedestrian route connecting the pedestrian entrance and the sidewalk along the Shirley Street frontage. Outdoor lighting which complies with the City's outdoor lighting standards shall be provided at the pedestrian entrance, and at typical intervals along the route.

- b. The site plan shall be revised to include a designated location for storage of solid waste and recycling containers for both the primary residence and the accessory dwelling unit.
- C) Prior to occupancy of the proposed accessory dwelling the final Hearing Examiner decision and a copy of a revised site plan, (having been revised prior to building permit approval as required above), must be recorded with the Pierce County Auditor in accordance with RMC 25.01.110(b)(3)(B).
- D) Prior to occupancy, frontage improvements along the subject site consisting of continuous sidewalk, curb and gutter shall be constructed in accordance with the City's street construction standards and the City's Comprehensive Plan. Please note that an approved Street Excavation Permit will be required prior to commencement of construction of improvements within the City's right of way.
- E) No building or development shall occur contrary to that which is specified in this proposal, as required by RMC 25.01.110(b)(3)(A).
- F) Expiration of approval. If the City of Ruston does not receive a complete building permit application to construct an accessory dwelling as proposed herein, within 24 months of granting this conditional use permit and variance request, the approvals shall lapse and be of no further effect. The Planning Director may extend the period of approval for not more than two years, provided that the request is submitted to the City by the property owner prior to the expiration date.

V. Public Notice

Public notice was provided 14 days prior to the public hearing date of June 10, 2016, as required by RMC Title 19.



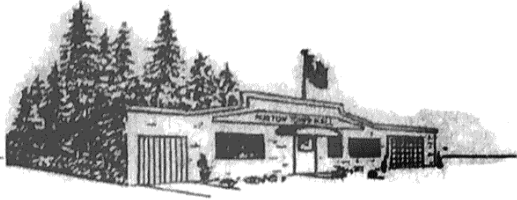
Rob White,
Planning Director

June 5, 2016

The following documents pertinent to your review are either attached or available for review in the City's file:

Application Materials (Exhibit A)

Exhibit A – Application Materials



TOWN OF RUSTON PLANNING SERVICES

5117 North Winnifred Street Ruston, Washington 98407-6597
Phone (253)759-3544 Fax (253)752-3754

Conditional Use Permit Application and Submittal Checklist

Tax Parcel Number <i>2365000840</i>	Permit Number (staff use only)
Site Address <i>5412 N 49th St Ruston WA 98407</i>	Project Name (staff use only)
Property Owner Name <i>Phuc Nguyen</i>	Applicant Name <i>Phuc Nguyen</i>
Property Owner Mailing Address <i>4835 6th AVE TACOMA WA 98406</i>	Applicant Mailing Address <i>4835 6th AVE TACOMA WA 98406</i>
Property Owner Phone <i>253-279-0198</i>	Applicant Phone <i>253-279-0198</i>
Property Owner E-mail Address <i>NGUYEN87@GMAIL.COM</i>	Applicant E-mail Address <i>NGUYEN87@GMAIL.COM</i>

Zoning Designation <input checked="" type="checkbox"/> RES <input type="checkbox"/> COM <input type="checkbox"/> COM-P <input type="checkbox"/> MPD	I certify that I have read and examined this application and have completed it with information that I know to be true and correct. I also give permission for Town employees to enter the site to perform any necessary inspections.
_____ Property Owner Signature	<div style="text-align: right;"> _____ Date </div>

Applicant Checklist		Included?			
Yes	N/A		Yes	Need	N/A
<input type="checkbox"/>		Review Fee Deposit of \$3,350 (\$150 fee, plus \$3200 deposit per RMC 1.14.050(e)). Please attach a copy of proof of payment.	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>		Project Description (general description of the proposed use, including the existing/proposed sq/ft, amount of fill materials imported/exported, etc)	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>		Statement of Justification Please provide a written statement that addresses all approval criteria for the proposed conditional use as specified in RMC 25.01.110(b)(1)(A), and also for any specific criteria applicable to the underlying zone.	<input type="checkbox"/>	<input type="checkbox"/>	
<input type="checkbox"/>	<input type="checkbox"/>	Site Plan - showing grade, the height, the lot coverage, the dimensions of all existing and proposed structures and the distance from property lines and all improvements to be added to the property.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Impervious Surface Calculations (Show impervious surface in sq/ft on Site Plan)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Critical Areas Documentation Provide documentation regarding the presence of any critical areas located on site. (wetlands, steep slopes, aquifer recharge, fish and wildlife, etc)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	Additional Information - additional written or graphic information necessary to enable the Planning Commission and Town Council to act on the application.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Project Site: 5412 North 49th St. Ruston WA 98407

Tax Parcel Number: 2365000840

Property Owner: Phuc V Nguyen

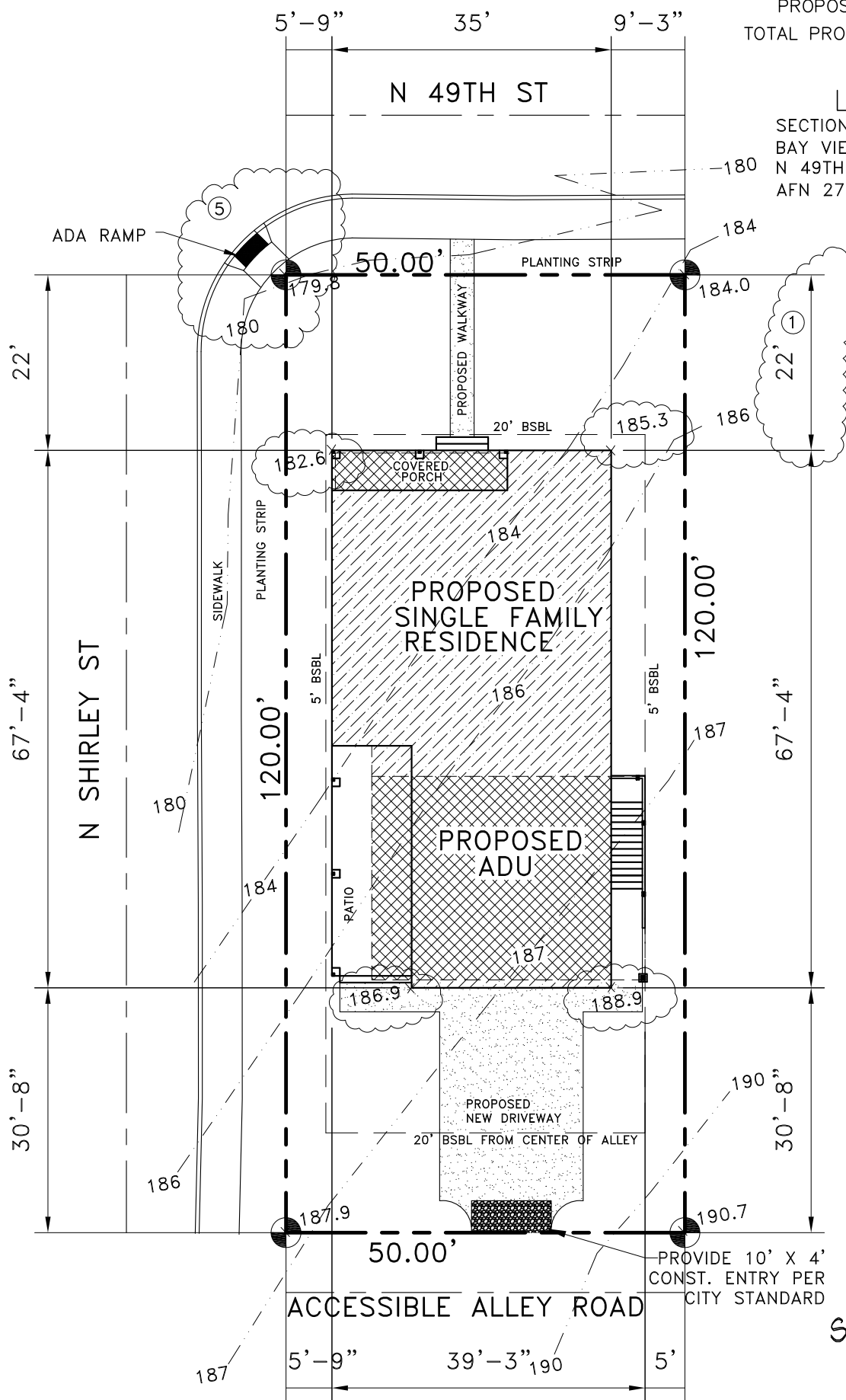
Project Description: The proposed use is an attached accessory dwelling unit above the garage of the main dwelling unit of the new construction on the vacant land at the proposed site

Statement of Justification: The proposed conditional use conforms with all applicable provision as specified in RMC 25.01.110(b)(1)(A)

- (A) The proposed use will not be injurious to the neighborhood or otherwise result in substantial or undue adverse economic, aesthetic, or environmental effects on adjacent property.
- (B) The proposed use will not create a hazard for pedestrian or vehicular traffic. Traffic and circulation patterns of vehicles and pedestrians relating to the proposed use shall not be detrimental to the existing and proposed allowable uses in the zoning district. The traffic and circulation patterns shall assure safe movement in the surrounding area.
- (C) Adequate access will be available for emergency vehicles.
- (D) Adequate off-street parking will be provided to prevent congestion of public streets.
- (E) The bulk and lot coverage of the proposed use shall be compatible with the surrounding property, or shall be conditioned so as to not impose an adverse impact upon the surrounding property.
- (F) Building and structure heights shall conform to the requirements of the surrounding zoning district. Bell towers, public utility antennas or similar structures may exceed the height requirements, provided that they conditioned so as to not impose an adverse impact upon the surrounding community.
- (G) Potential noise, light and glare impacts relating to the proposed use shall not unduly impact nor detract from the surrounding properties in the zoning district. The Hearing Examiner shall find that the potential noise, light and glare shall not deter from the surrounding properties in the zoning district.
- (H) Hours of Operation. The hours of operation shall not create intrusive impacts into the neighborhood.

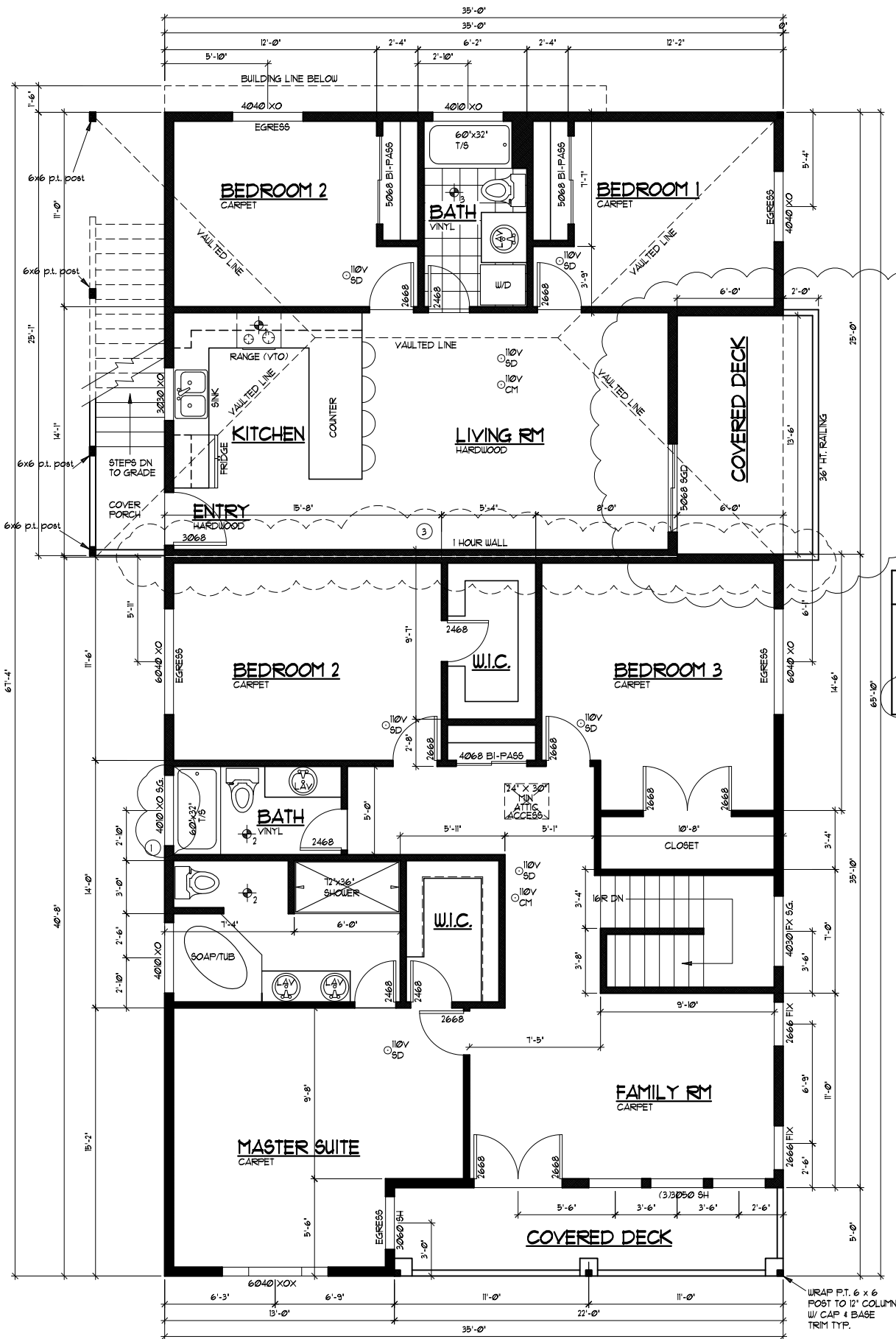
PROPOSED PAVEMENT COVERA
TOTAL PROPOSED COVERAGE = 2,

LEGAL DESCRIP
SECTION 23 TOWNSHIP 21 RAN
BAY VIEW TO RUSTON L 5 &
N 49TH ST ABUTT AVAC UNDE
AFN 2730761 (DCCAES9-6-85




NORTH
SCALE 1" = 10'

BASIC SITE PLAN



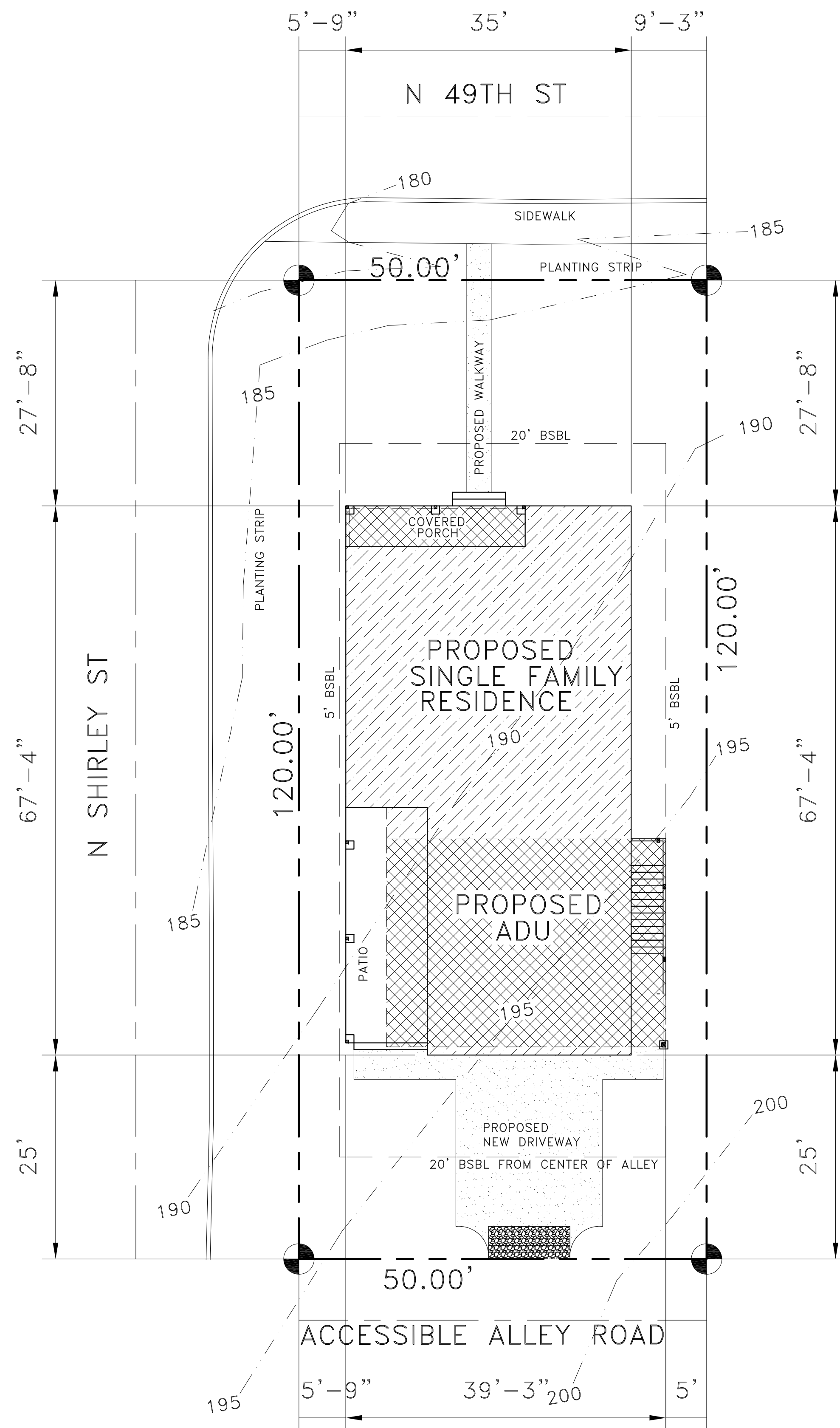
ADU SUMMARY	
FIRST FLOOR:	0 SF.
SECOND FLOOR:	796 SF.
TOTAL:	796 SF.
GARAGE	0 SF.
DECK	104 SF.

UPPER FLOOR PLAN

NGUYEN RESIDENCE

5412 N 49TH ST, TACOMA WA 98407

PARCEL NUMBER: 2365000840



LOT INFO.

LOT AREA = 6,475 SQ.FT.

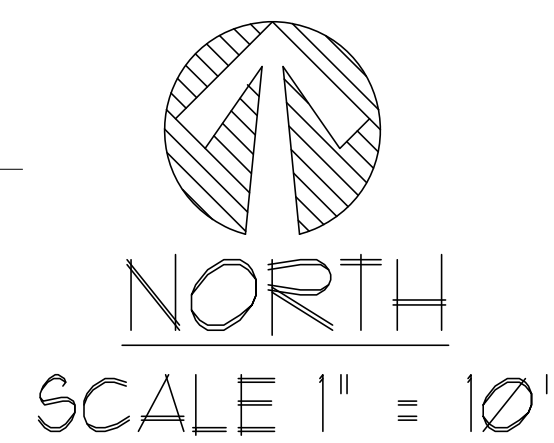
PROPOSED BUILDING COVERAGE = 1943 SQ.FT.

PROPOSED PAVEMENT COVERAGE = 882 SQ.FT.

TOTAL PROPOSED COVERAGE = 2,825 SQ.FT. (43.63%)

LEGAL DESCRIPTION:

SECTION 23 TOWNSHIP 21 RANGE 02 QUARTER 14
 BAY VIEW TO RUSTON L 5 & 6 B 29 TOG/W S 9.5FT
 N 49TH ST ABUTT AVAC UNDER RUSTON ORD # 682
 AFN 2730761 (DCCAES9-6-85)



BASIC SITE PLAN

NO.	DATE	REVISIONS

PAYMENT OF USES FEE IS DUE TO THE RESIDENTIAL GROUP PRIOR TO CONSTRUCTION FOR EACH STRUCTURE BUILT FROM THESE PLANS. THESE PLANS ARE COPYRIGHTED IN ACCORDANCE WITH FEDERAL STATUTES. REPRODUCTION BY ANY METHOD OF ALL OR PORTIONS OF THESE PLANS OR VARIATIONS THEREOF WITHOUT WRITTEN PERMISSION FROM THE RESIDENTIAL GROUP IS STRICTLY PROHIBITED. THESE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE, AND SHALL REMAIN TO THE PROPERTY OF THE RESIDENTIAL GROUP, LLC.

PREPARED BY:

RESIDENTIAL GROUP, LLC.
 World of Designs & Engineers
 5509 PACIFIC HIGHWAY S
 FEDERAL WAY, WA 98003
 PHONE: 253-835-1516
 FAX: 253-441-4207

PREPARED FOR:

NGUYEN RESIDENCE
 "CUSTOM HOME"
 5412 N 49TH ST
 TACOMA, WA 98407

BY:	A.H.
DATE:	2/29/16
CHECKED:	B.T.
SHEET NO.	SITE PLAN
JOB NO.	16-01AE

NO.	DATE	REVISIONS

PAYMENT OF USES FEE IS DUE TO THE RESIDENTIAL GROUP PRIOR TO CONSTRUCTION FOR EACH STRUCTURE BUILT FROM THESE PLANS. THESE PLANS ARE COPYRIGHTED IN ACCORDANCE WITH FEDERAL STATUTES. REPRODUCTION BY ANY METHOD OF ALL OR PORTIONS OF THESE PLANS OR VARIATIONS THEREOF WITHOUT WRITTEN PERMISSION FROM THE RESIDENTIAL GROUP IS STRICTLY PROHIBITED. THESE DRAWINGS AND PLANS SET FORTH ON THIS SHEET AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN TO THE PROPERTY OF THE RESIDENTIAL GROUP, LLC.

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 FAX: 253-441-4207



FRONT ELEVATION

- VERIFY SHEAR WALL NAILING AND HOLD-DOWNS ARE PER PLAN AND SCHEDULE PRIOR TO INSTALLING SIDING
- MASONRY AND WOOD FRAME CHIMNEYS ARE TO BE CONSTRUCTED PER I.R.C.
- PROVIDE GALVANIZED SHEET METAL FLASHING AND COUNTERFLASHING AT ALL ROOF / WALL INTERSECTIONS, CHIMNEYS, AND SKYLIGHTS
- PROVIDE WEATHERSTRIPPING AND FLASHING AT ALL DOORS AND WINDOWS AS REQUIRED
- CAULK ALL EXTERIOR JOINTS AND PENETRATIONS
- POST ADDRESS ON BLDG. PRIOR TO FINAL INSPECTION
- LOTS SHALL BE GRADED AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALL. SLOPE SHALL BE 6" IN FIRST 10 FT, OR DRAINS OR SWALES SHALL BE PROVIDED TO ENSURE DRAINAGE AWAY FROM STRUCTURE
- FASTENERS TO BE HOT-DIPPED GALV. STEEL, STAINLESS OR ALUM. (CORROSION RESISTANT)

NOTE: PROVIDE CONTINUOUS PRE-PAINTED G.I. "Z" FLASHING AT ALL EXT. DOOR & WINDOW HEADERS.

SCALE: 1/4" = 1'-0"



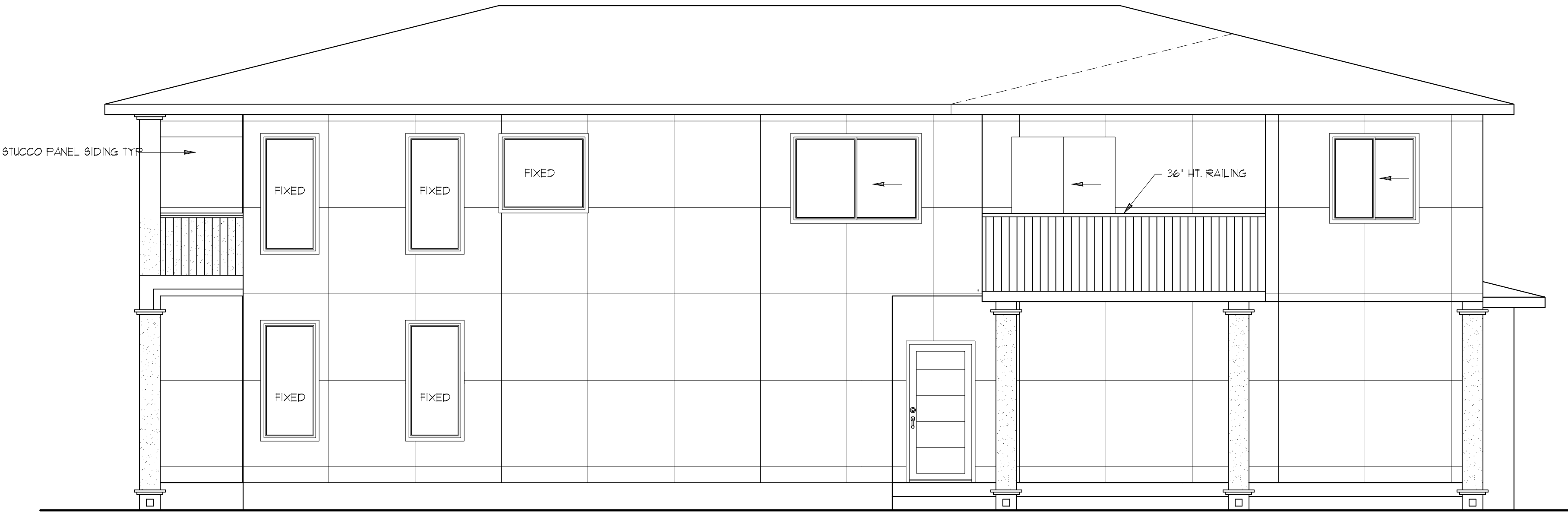
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTE:

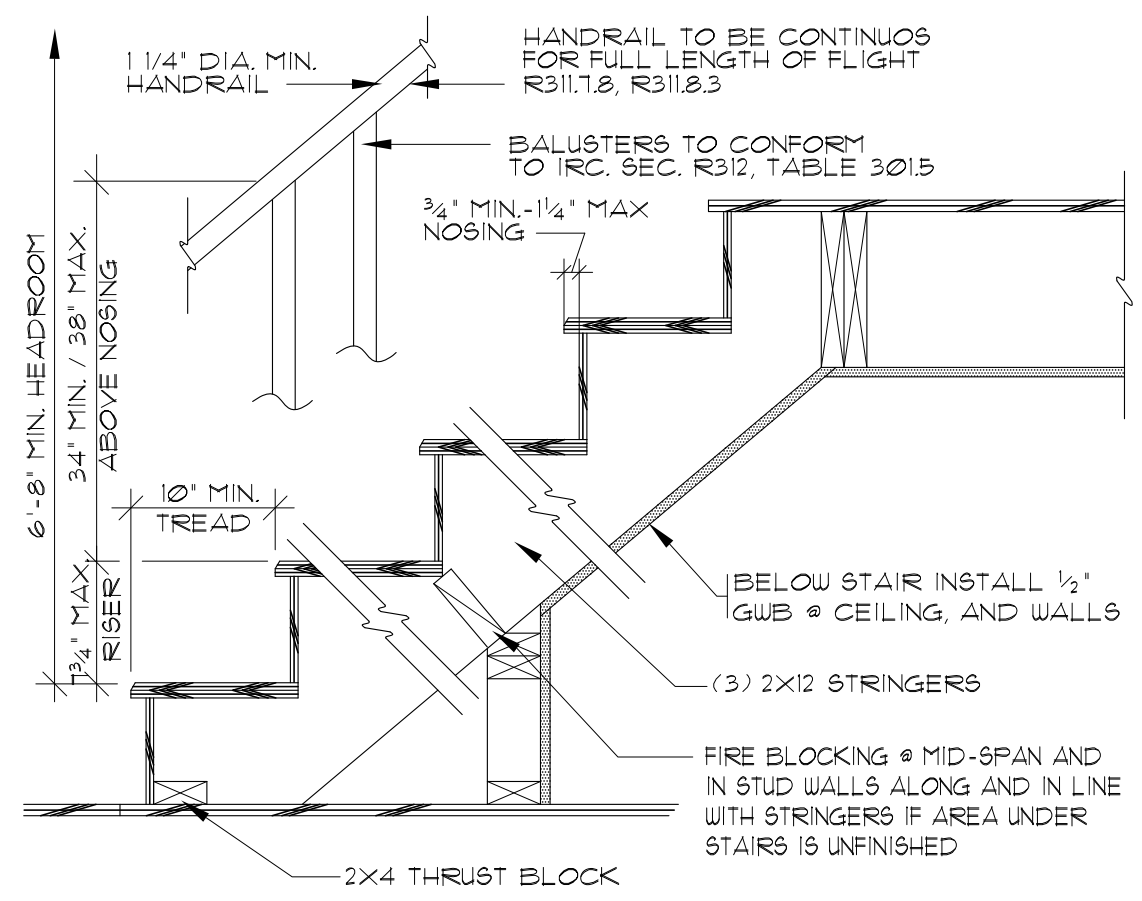
- * REFER TO "S" SHEETS FOR WHICH CONTAIN STRUCTURAL DETAILS REFERENCES, FRAMING PLANS, SHEAR WALL KEY PLAN, & NOTES.
- * CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS, DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.
- * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

PREPARED FOR:
NGUYEN RESIDENCE
CUSTOM HOME
 5412 N 49TH ST
 RUSTON, WA 98407

BY:	T.N.
DATE:	1/11/16
CHECKED:	B.T.
SHEET NO.	A2
JOB NO.	16-01AE

IRC R312.2.1
 FOR ANY WINDOW THAT HAS AN OPENING OF 12' OR MORE ABOVE FINISHED GRADE, 24" OR HIGHER ABOVE THE FINISHED FLOOR OF THE ROOM THE OPENING IS LOCATED IN, THE GLAZING SHALL BE FIXED OR HAVE AN OPENING LESS THAN 4"

ENERGY
 1. R4013 CERTIFICATE: A FERM CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF WALLS FOUNDATION (SLAB) BELOW GRADE WALL AND/OR FLOOR AND DUCTS OUTSIDE CONDITIONED SPACES U-FACTORS FOR PENETRATION AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING.
 2. R4012 TESTING: THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS) WHERE REQUIRED BY THE CODE OFFICIAL. TESTING SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
 3. R4021 PROGRAMMABLE THERMOSTAT: WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING SYSTEM ON A DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FOR AT A MINIMUM A 5-2 PROGRAMMABLE SCHEDULE (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACK PERIODS PER DAY. SPECIFICS AND EXCEPTIONS SEE 2018 IRC.
 4. SEC TABLE 406.2 - MEDIUM DWELLING UNITS ARE REQUIRED TO DEVELOP 15 ENERGY CREDITS. SPECIFY THE PROPOSED ENERGY OPTION CREDITS ON THE PLANS.
 ENERGY CREDIT: 5p
 • EFFICIENT WATER HEATING 5p (15pt)
 TOTAL = (15pt) PROPOSED FOR DESIGN



1 STAIR DETAIL
 N.T.S.
 ADDITIONAL STAIR NOTE PLEASE REFER TO SHEET A1

LIGHTING SECTION

(IECC/UBEC R404) A MINIMUM OF 15% OF PERMANENTLY INSTALLED LAMPS IN ALL LIGHTING LIGHT FIXTURES SHALL BE HIGH-EFFICACY LAMPS

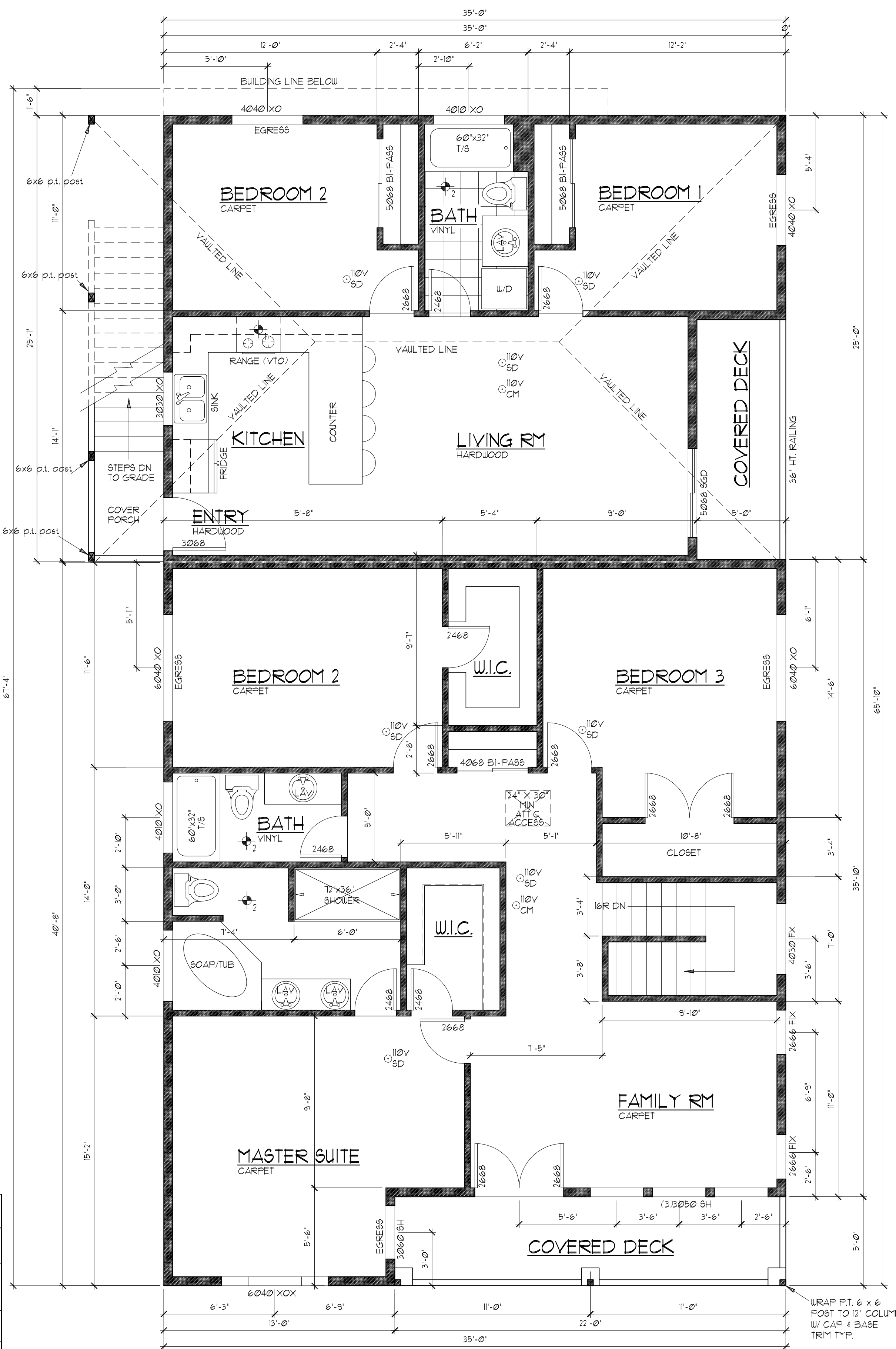
LUMINAIRE PROVIDING OUTDOOR LIGHTING AND PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDING ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRE

SMOKE DETECTORS

110V SD INSTALL SMOKE DETECTORS PER CODE, 110V/9V INTERCONNECTED
 CARBON MONOXIDE ALARM NEW CONSTRUCTION AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SEE SECTION R315

VENTILATION SCHEDULE

MINIMUM SOURCE SPECIFIC VENTILATION CAPACITY REQ. TABLE M1507.4		
SYMBOL		
1	KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
2	BATHROOMS, TOILET ROOMS AND LAUNDRY/UTILITY ROOM	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS
3	WHOLE HOUSE FAN	320 CFM @ 60 MIN EVERY FOUR HOURS

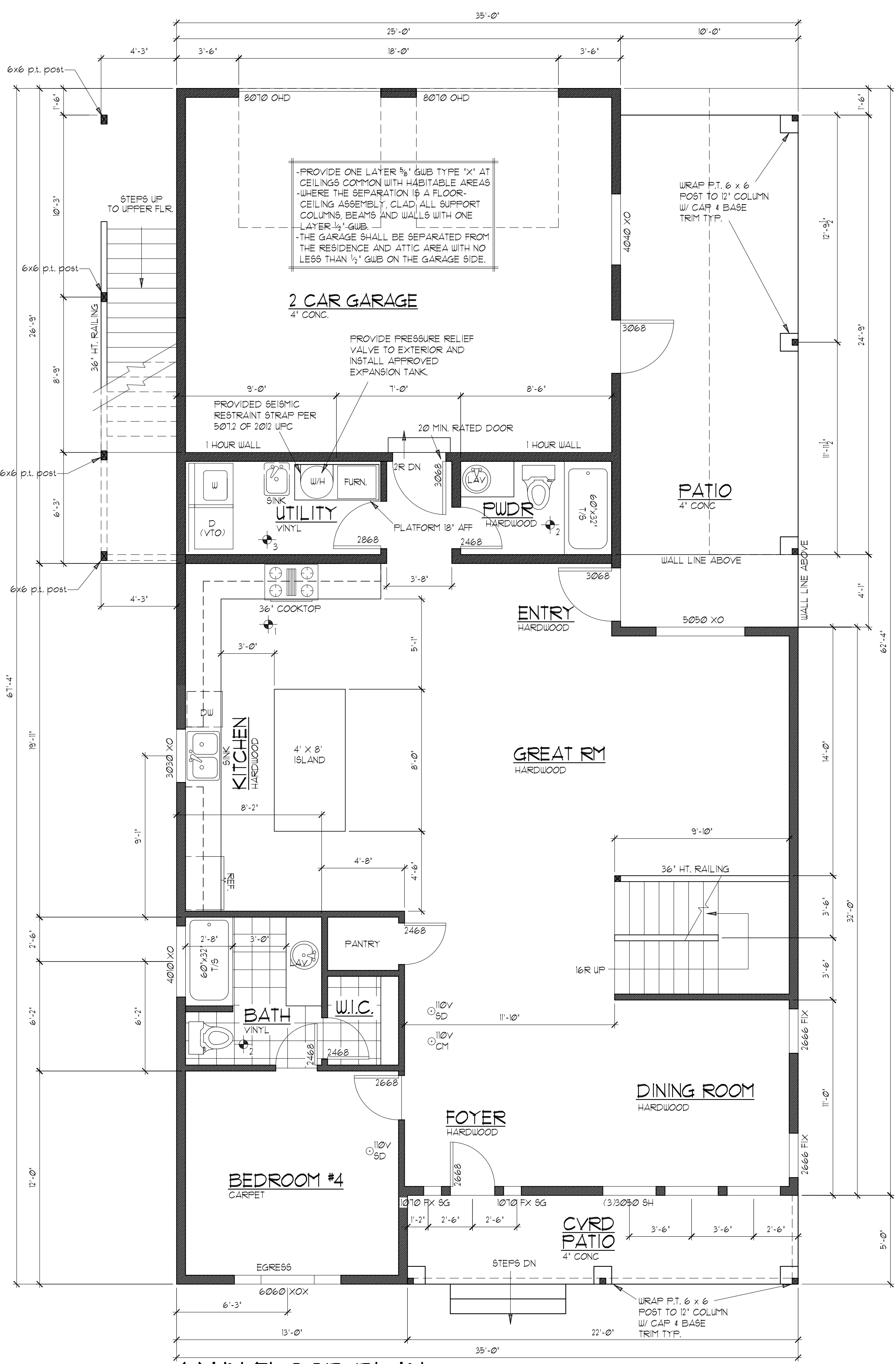


UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

NOTE: REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.
 NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.



MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA SUMMARY		ADU SUMMARY	
FIRST FLOOR:	1267 SF.	0 SF.	
SECOND FLOOR:	1259 SF.	793 SF.	
TOTAL:	2526 SF.	5073 SF.	
GARAGE	531 SF.	0 SF.	
PATIO	430 SF.	0 SF.	

NO.	DATE	REVISIONS

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 World of Designs & Engineers
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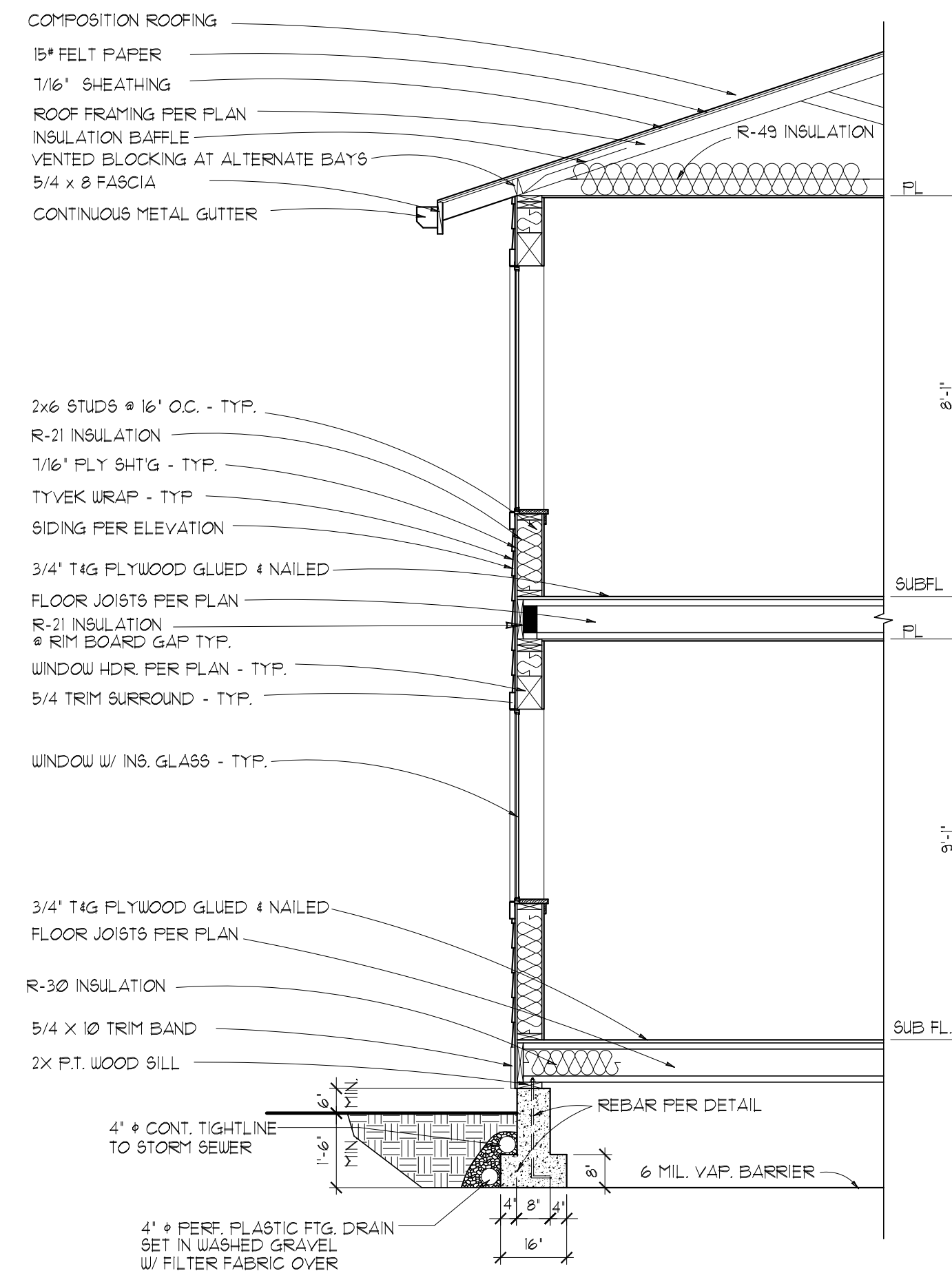
PREPARED FOR:
NGUYEN RESIDENCE
CUSTOM HOME
 5412 N 49TH ST
 RUSTON, WA 98407

BY: T.N.
 DATE: 1/11/16
 CHECKED: B.T.
 SHEET NO. **A3**
 JOB NO. **16-01AE**

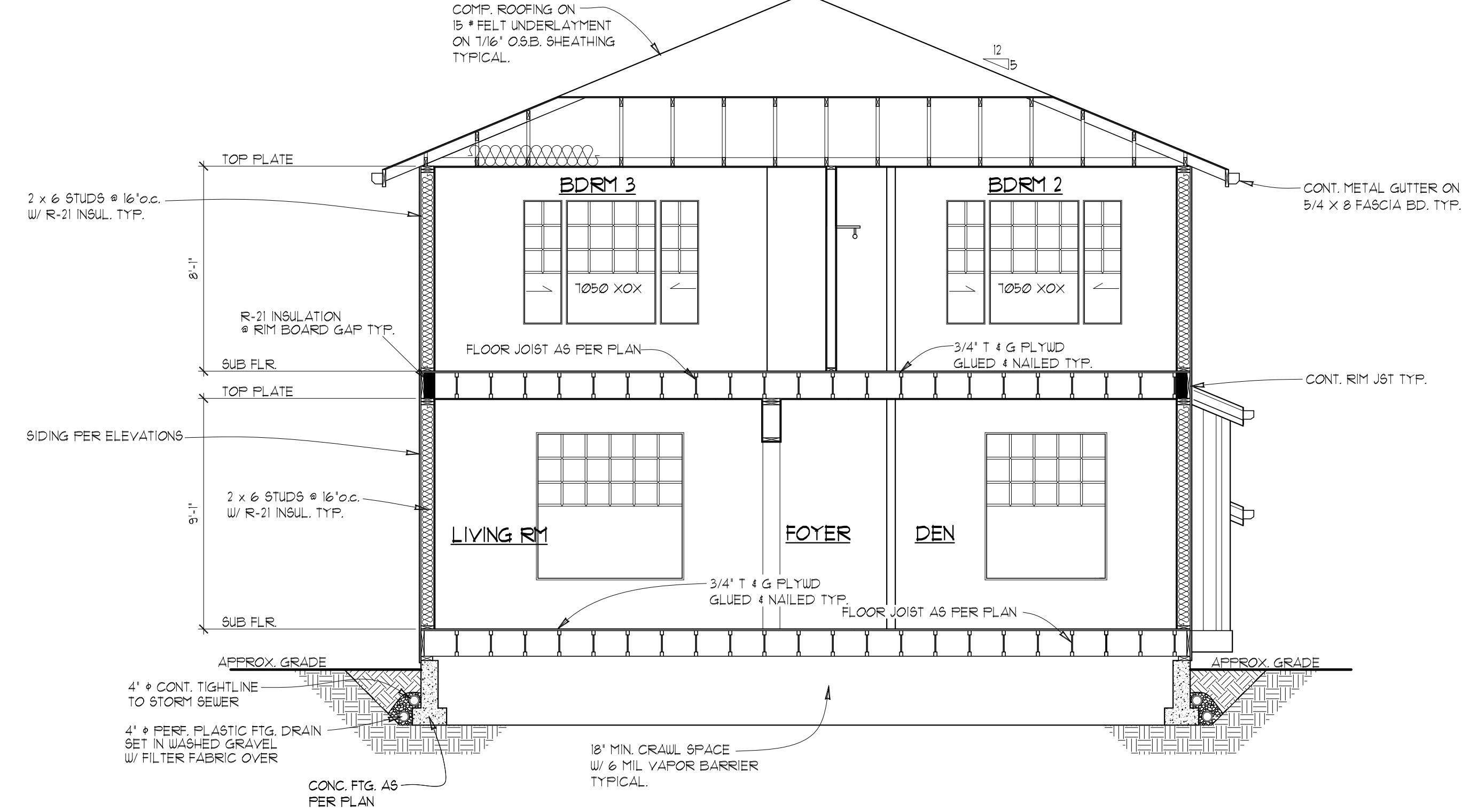
NO.	DATE	REVISIONS

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TYPICAL WALL SECTION AT HOUSE



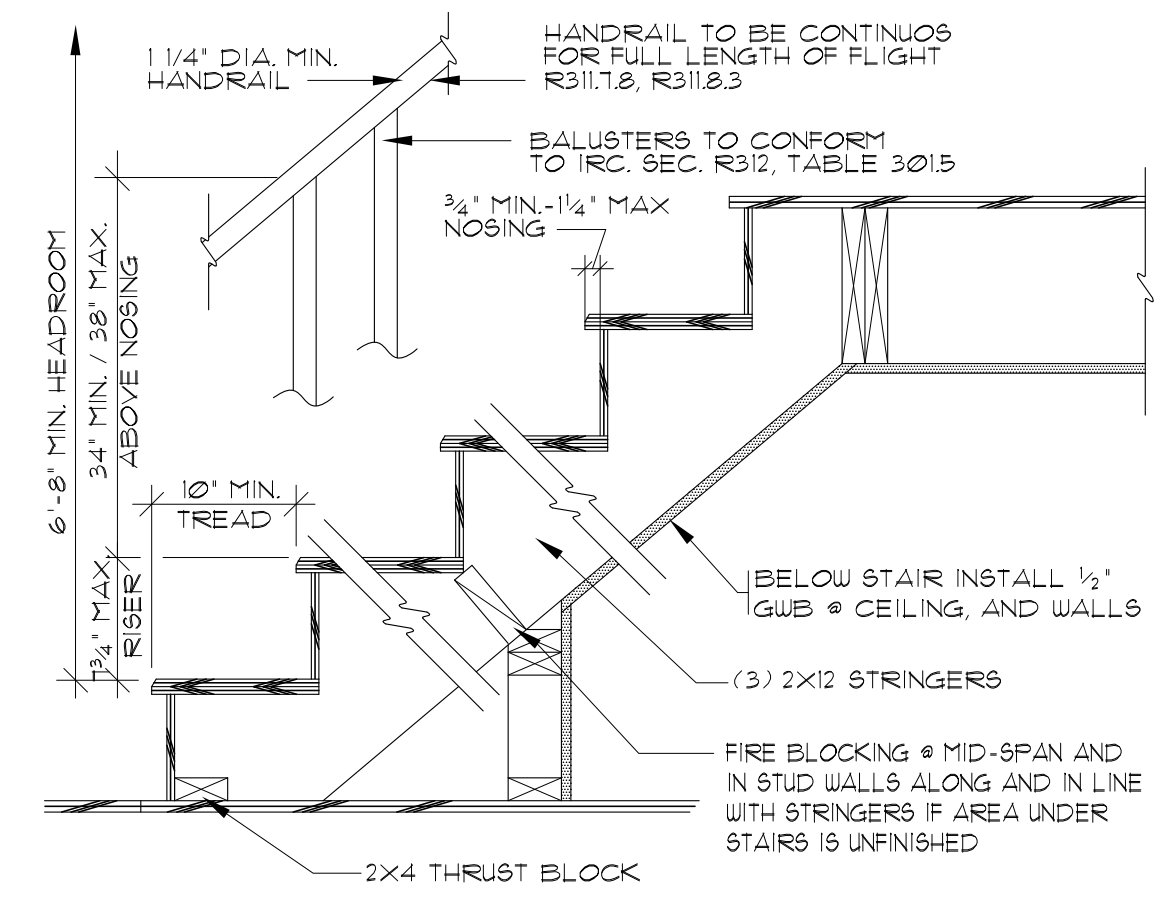
HOUSE SECTION @ SIMPLE ONLY

SCALE: 1/4" = 1'-0"

- TYPICAL ROOF CONSTRUCTION**
- COMPOSITION ROOF SHINGLES
 - 15# ROOFING FELT
 - 7/16" SHEATHING
 - STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
 - R-49 INSULATION
 - 1/2" GWB, CEILING
 - 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
 - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
 - PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3

- TYPICAL WALL CONSTRUCTION**
- SIDING AND/OR VENEER PER ELEVATION
 - 7/16" PLY OR OSB SHTG. (U.N.O.)
 - TYVEK BUILDING WRAP OR EQ.
 - STRUCTURAL SYSTEM AS NOTED ON FRAMING PLAN
 - R-49 INSULATION
 - 1/2" GWB, CEILING
 - 1/8" TO 1/4" MESH SCREEN OVER OPENINGS
 - NET OPENING AREA MINIMUM 1/150 OF VENTED AREA OR 1/300 IF 50%-80% OF VENTING NEAR TOP OR VAPOR RETARDER
 - PROVIDE 1" MINIMUM CLEARANCE BETWEEN INSULATION AND SHEATHING AT VENTS PER IRC SECTION R806.3

- TYPICAL FLOOR CONSTRUCTION**
- FINISHED FLOOR PER PLANS
 - 3/4" T&G PLYWOOD SUBFLOOR (GLUE AND NAILED)
 - FLOOR JOISTS PER PLAN
 - R-30 INSULATION OVER UNHEATED AREAS



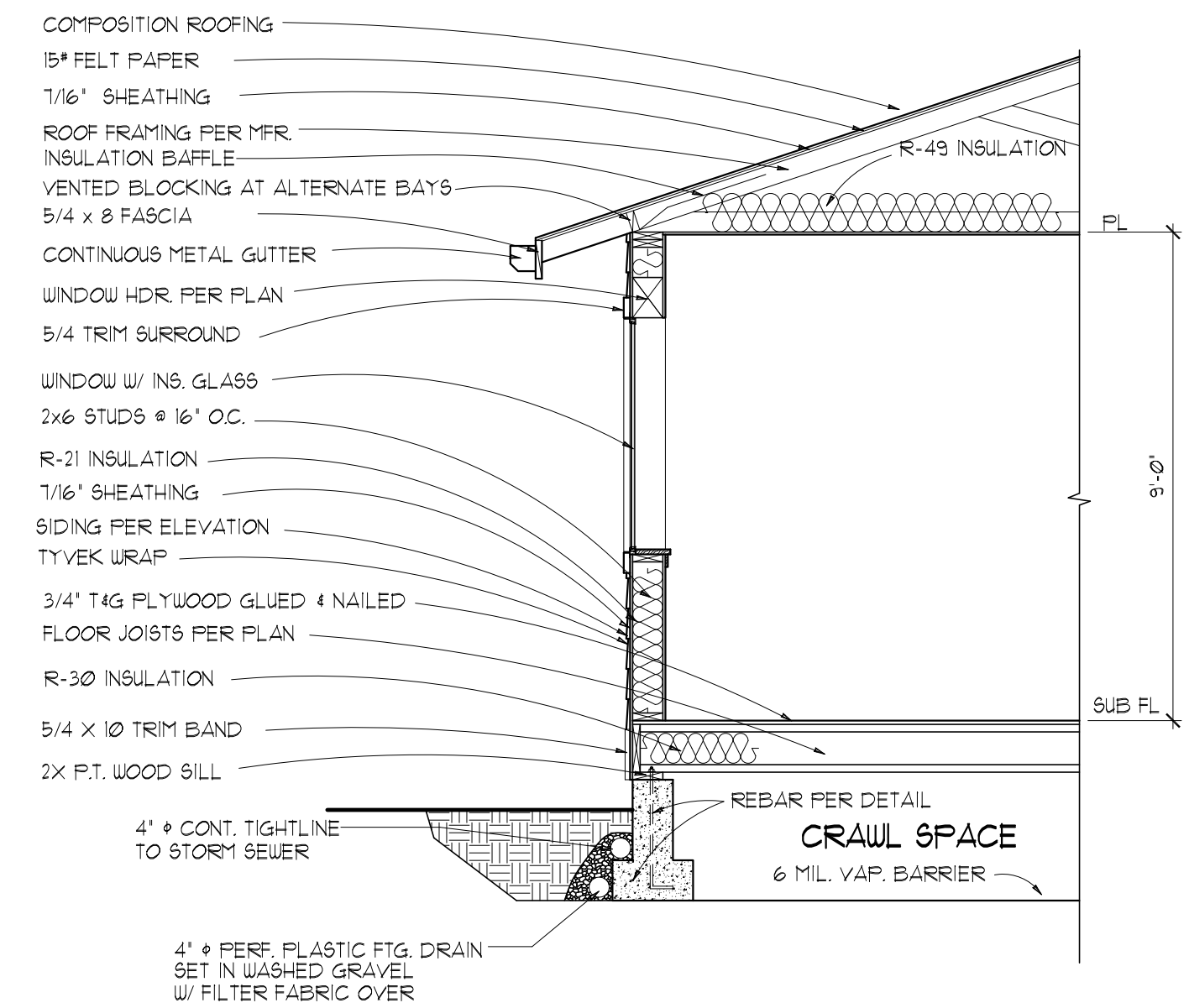
1 STAIR DETAIL

N.T.S. ADDITIONAL STAIR NOTE PLEASE REFER TO SHEET A1

*** NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.**

NOTE: REFER TO STRUCTURAL SHEETS FOR SHEAR WALL SCHEDULE AND ENGINEERING PLAN WHICH CONTAIN DETAIL REFERENCES AND/OR INSTRUCTIONS PERTAINING TO EACH SHEAR WALL INDICATED IN THIS PLAN.

NOTE: CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS OF PROJECT AND REPORT ANY OMISSIONS / DISCREPANCIES TO DESIGNER PRIOR TO COMMENCING WORK. DESIGNER SHALL NOT BE RESPONSIBLE FOR DISCREPANT CONDITIONS RESULTING FROM UNAUTHORIZED WORK PERFORMED BY THE CONTRACTOR.



TYPICAL WALL SECTION

N.T.S.

PREPARED FOR:
NGUYEN RESIDENCE
CUSTOM HOME
 5412 N 49TH ST
 RUSTON, WA 98407

BY:	T.N.
DATE:	1/11/16
CHECKED:	B.T
SHEET NO.	A4
JOB NO.	16-01AE

SHEAR WALL SCHEDULE

WALL MARK	SHEATHING TYPE	SIDES	SHEAR PANEL EDGE NAILING	FIELD NAILING	PANEL EDGES	BASE PLATE NAILING	ANCHOR BOLT DIA. & SPACING	SILL PLATE SIZE	HOLDOWN TYPES
PI-6	1/16"	ONE	8d @ 6" O.C.	12" O.C.	2x	16d NAILS @ 12" O.C.	5/8", @ 60" O.C.	2x	PER PLAN
PI-4	1/16"	ONE	8d @ 4" O.C.	12" O.C.	2-2x	16d NAILS @ 4" O.C.	5/8", @ 48" O.C.	2x	PER PLAN
PI-3	1/16"	ONE	8d @ 3" O.C.	8" O.C.	2-2x	16d NAILS @ 3" O.C.	5/8", @ 36" O.C.	2-2x	PER PLAN

GENERAL NOTES

BUILDING CODE
2012 IBC EDITION OF THE INTERNATIONAL BUILDING CODE AS AMENDED BY LOCAL JURISDICTION.

ROOF LIVE LOAD = 25 PSF (SNOW)
ROOF DEAD LOAD = 15 PSF
FLOOR LIVE LOAD = 40 PSF (REDUCIBLE)
FLOOR DEAD LOAD = 12 PSF
WIND LOAD = 110 MPH WIND SPEED, EXPOSURE "B"
SOIL SITE CLASS "D"
CONSTRUCTION TYPE: V
OCCUPANCY GROUP: R-3

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING IS A LIST OF ITEMS THAT ARE NOT INCLUDED IN THIS PLAN AND SHOULD BE PROVIDED BY THE BUILDER AT TIME OF APPLICATION FOR PERMIT OR AS A DEFERRED SUBMITTAL ITEM:
- ALTERNATIVE I-JOIST/BEAM MANUFACTURER PLANS.
- TRUSS DESIGN FOR ROOF FRAMING
- HVAC SYSTEMS DESIGN
- ELECTRICAL PLANS & SPECIFICATIONS (IF REQUIRED)

SITE WORK

GENERAL

UNLESS A SOILS INVESTIGATION BY A QUALIFIED SOILS ENGINEER IS PROVIDED, FOUNDATION DESIGN IS BASED ON AN AVERAGE SOIL BEARING OF 1500 PSF PER SOILS REPORT EXTERIOR FOOTINGS SHALL BEAR 18" (MINIMUM) BELOW FINISHED GRADE. ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED EARTH BELOW ORGANIC SURFACE SOILS. BACKFILL TO BE THOROUGHLY COMPACTED.

BOLT HEADS AND NUTS BEARING AGAINST WOOD TO BE PROVIDED WITH 3"x3"x1/4" FLATE WASHERS. WOOD BEARING ON OR INSTALLED WITHIN 1" OF MASONRY OR CONCRETE TO BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE.

FOUNDATION SILL BOLTS TO BE 5/8" DIAMETER AT 6'-0" O.C. UNO. WITH MIN. 1" EMBEDMENT METAL FRAMING CONNECTORS TO BE MANUFACTURED BY SIMPSON OR APPROVED EQUAL.

CONCRETE

MINIMUM CONCRETE COMPRESSIVE STRENGTH (f'_c) AT 28 DAYS TO BE 2500 PSI WITH 6% AIR ENTRAINED +/- 1% (FOR WEATHERING) WITH 5-1/2 MIX BAGG CONCRETE "BATCH TICKET" SHALL BE AVAILABLE ON SITE FOR REVIEW BY BUILDING OFFICIAL REINFORCING STEEL TO COMPLY WITH ASTM A615 GRADE 60.

LUMBER GRADES

FRAMING LUMBER SHALL COMPLY WITH THE LATEST EDITION OF THE GRADING RULES OF THE WESTERN PRODUCTS ASSOCIATION OR THE WEST COAST LUMBER INSPECTION BUREAU. ALL SAUN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY AND SHALL HAVE THE

FOLLOWING UNADJUSTED DESIGN MINIMUM PROPERTIES:

JOISTS:	WOOD TYPE:
2x4	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2x6 OR LARGER	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
BEAM	WOOD TYPE:
4x	DF-L #2 - Fo=900 psi, Fv=180 psi, Fc=1350 psi, E=1600000psi
6x OR LARGER	DF-L #2 - Fo=875 psi, Fv=170 psi, Fc=1600 psi, E=1300000psi
STUDS	WOOD TYPE:
2x4	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
2x6 OR LARGER	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
POSTS	WOOD TYPE:
4x4	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
4x6 OR LARGER	HF #2 - Fo=975 psi, Fv=150 psi, Fc=1300 psi, E=1300000psi
6x6 OR LARGER	DF-L #2 - Fo=150 psi, Fv=170 psi, Fc=1700 psi, E=1300000psi

GLUED-LAMINATED BEAM (GLB)

SHALL BE 24F-V4 FOR SINGLE SPANS & 24F-V8 FOR CONTINUOUS OR CANTILEVER SPANS WITH THE FOLLOWING MINIMUM PROPERTIES:
Fo = 2400 PSI, Fv = 165 PSI, Fc = 650 PSI (PERPENDICULAR), E = 1,800,000 PSI.

ENGINEERED WOOD BEAMS AND I-JOIST

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SPECIFICATIONS FOR APPROVAL BY BUILDING OFFICIAL DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST ICC EVALUATION REPORT.

PARALLAM (PSL) BEAMS SHALL HAVE THE MINIMUM PROPERTIES:
Fo = 2300 PSI, Fv = 230 PSI, Fc = 750 PSI (PERPENDICULAR), E = 2,000,000 PSI.
MICROLLAM (LVL) BEAMS SHALL HAVE THE MINIMUM PROPERTIES:
Fo = 2,600 PSI, Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR), E = 1,900,000 PSI.

CALCULATION SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:
FLOOR LIVE LOAD MAXIMUM = L/480, FLOOR TOTAL LOAD MAXIMUM = L/240.

PREFABRICATED WOOD TRUSSES:

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS AS STATED IN THE GENERAL NOTES TRUSSES SHALL BE DESIGNED & STAMPED BY A REGISTERED WASHINGTON STATE PROFESSIONAL ENGINEER AND FABRICATED FROM ONLY THOSE DESIGNS.

NONBEARING WALLS SHALL BE HELD AWAY FROM THE TRUSS BOTTOM CHORD WITH AN APPROVED FASTENER (SUCH AS SIMPSON STC) TO ENSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.

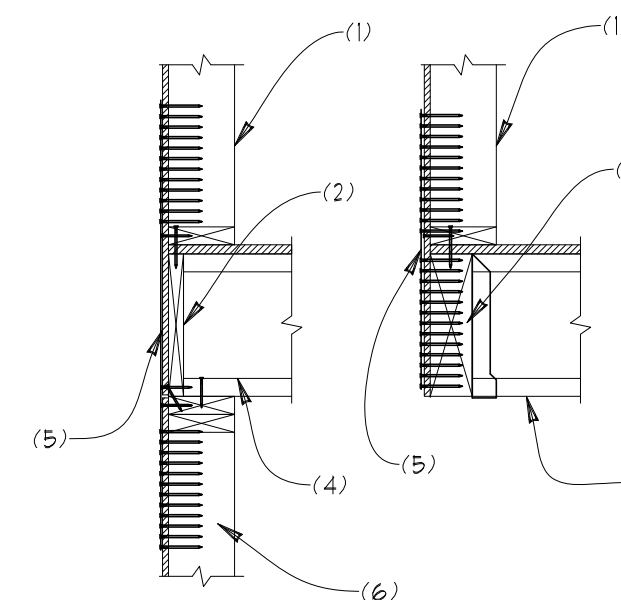
APPROVED HANGERS SHALL BE USED AT ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TRUSS.

MANUFACTURER-DESIGNED AND APPROVED DIAGONAL AND SWAY BRACING SHALL BE INSTALLED AS REQUIRED.

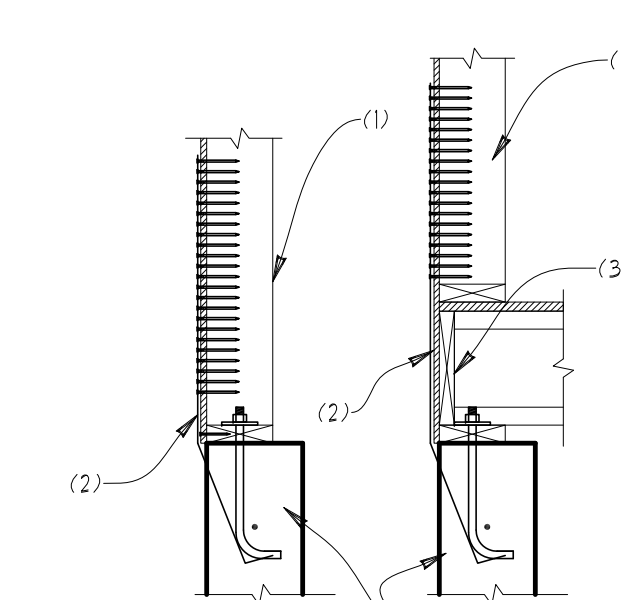
ROOF/WALL SHEATHING

TYPICAL WALL SHEATHING SHALL BE 1/16" UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d @ 6" O.C. @ PANEL EDGES AND 12" O.C. IN FIELD. UNO ON SHEARWALL SCHEDULE. SPAN INDEX SHALL BE 74/0. FLYWOOD FLOOR SHEATHING SHALL BE 3/4" T&G SHEATHING UNLESS OTHERWISE SPECIFIED. MINIMUM NAILING SHALL BE 8d COMMON OR 6d RING SHANK AT 6" O.C. @ PANEL EDGES AND 12" O.C. IN FIELD. SPAN INDEX SHALL BE 40/20. STAGGER END LAPS AT ROOF AND FLOOR SHEATHING. OSB SHEATHING PRODUCTS OF EQUIVALENT SPAN RATINGS SHALL BE ALLOWED.

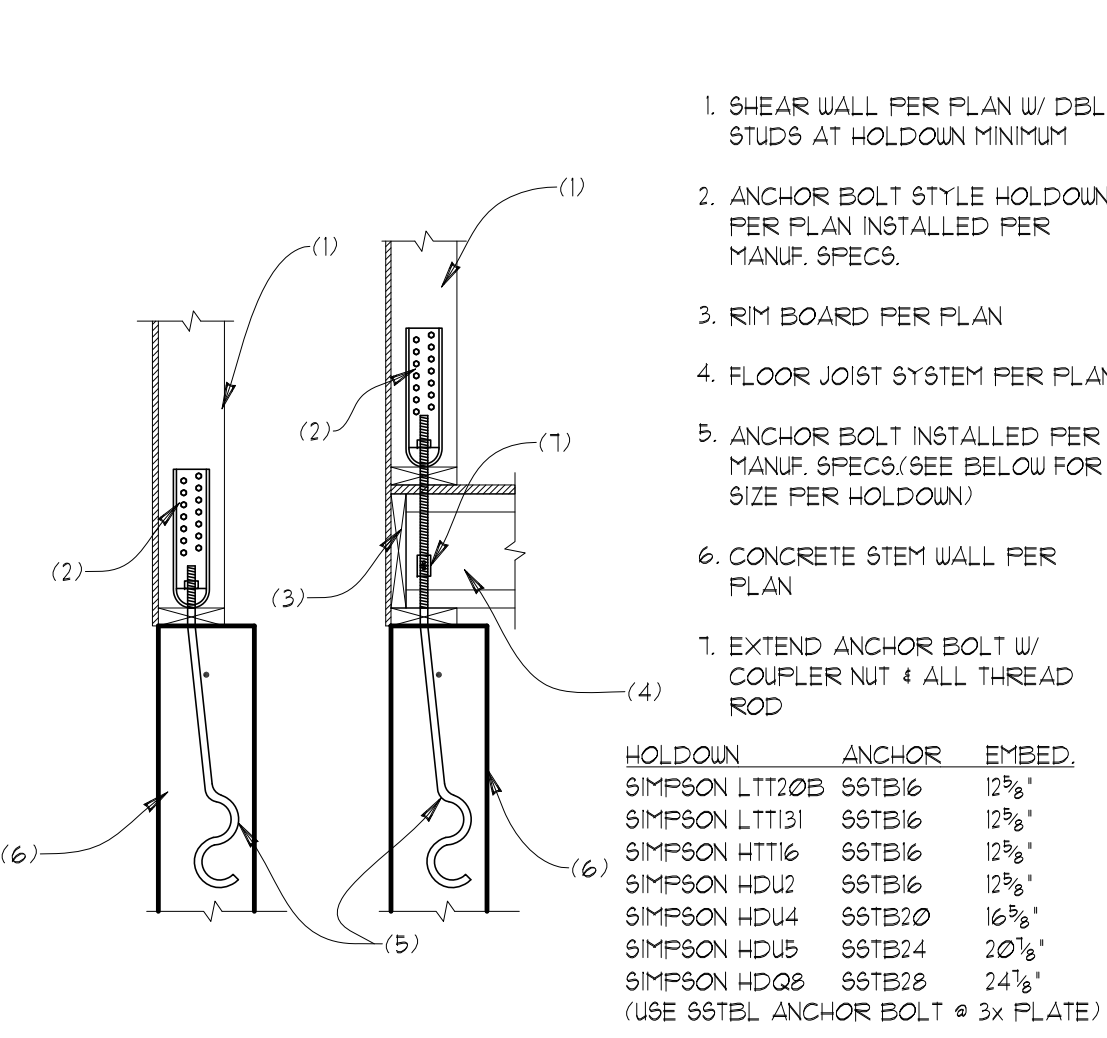
- FRAMING SHALL BE HEM-FIR #2 @ 16" O.C. MAX (UNO). THICKNESS OF STUDS TO BE 2x UNLESS NOTED IN SCHEDULE.
- SHEATHING PANELS MAY BE LAYED VERTICAL OR HORIZONTAL. BLOCK ALL HORIZONTAL EDGES W/ 2x OR 3x BLOCKING PER SCHEDULE (UNO).
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS SHALL RECEIVE APA RATED SHEATHING OR ALL VENEER PLYWOOD SIDING OF EQUIVALENT THICKNESS AT POINT OF FASTENING ON PANEL EDGES FULLY BLOCKED WITH MINIMUM NAILING OF 8d @ 6" O.C. EDGE, 12" O.C. FIELD.
- NAILING APPLIES TO ALL STUDS, TOP AND BOTTOM PLATES, AND BLOCKING. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED PER IBC TABLE 2306.3, NOTE (e).
- ANCHOR BOLT SPACING IS 6'-0" O.C. UNLESS NOTED OTHERWISE IN SCHEDULE. MINIMUM OF 2 ANCHOR BOLTS PER PIECE OF FOUNDATION PLATE. ANCHOR BOLTS SPACED NO GREATER THAN 12" AND NO LESS THAN 1 TIMES THE ANCHOR BOLT DIAMETER AT ENDS AND SPICES. PROVIDE 1/4"x3"x3" WASHERS AT ANCHOR BOLTS. DO NOT RECESS BOLTS.
- ALL NAILS FOR SHEAR WALLS SHALL BE COMMON OR GALVANIZED BOX NAILS (UNO) PER IBC TABLE 2306.3. ALL SPECIFIED NAILS SHALL HAVE THE FOLLOWING DIMENSIONS: 8d COMMON (0.131" DIA, 2 1/2" LONG), 8d BOX (0.131" DIA, 2 1/2" LONG), 10d COMMON (0.148" DIA, 3" LONG), 10d BOX (0.128" DIA, 3" LONG), 16d COMMON (0.162" DIA, 3 1/2" LONG), 16d SINKER (0.148" DIA, 3 1/2" LONG), 5d COOLER (0.086" DIA, 1 1/8" LONG), 6d COOLER (0.092" DIA, 1 1/8" LONG)
- 1 1/2" No. 8 DRYWALL SCREWS (TYPE W OR S) MAY BE SUBSTITUTED FOR NAILS LISTED AS 5d COOLER OR 6d COOLER FOR GYPSUM WALL BOARD SHEARWALLS PER IBC TABLE 2306.1.
- IN LIEU OF 3x VERTICALS AND BLOCKING AT PANEL EDGES, 2-2x W/ 10d FACE NAILS STAGGERED AT THE SAME SPACING AS PANEL EDGE NAILING MAY BE SUBSTITUTED. FLYWOOD EDGES TO BE CENTERED BETWEEN THE 2-2x MEMBERS (THIS ALTERNATIVE DOES NOT APPLY TO WALLS WITH 8d EDGE NAILING AT 2" O.C. OR 10d EDGE NAILING AT 3" OR 2" O.C. OR WALLS SHEATHED ON BOTH SIDES)
- HOLD-DOWNS AND STRAPS OF EQUIVALENT UPLIFT CAPACITY MAY BE SUBSTITUTED FOR THOSE LISTED IN THE SHEARWALL SCHEDULE. COORDINATE WITH MANUFACTURER TO VERIFY APPLICABILITY AND PROPER INSTALLATION METHODS OF SUBSTITUTED HARDWARE.
- SQUASH BLOCKS REQUIRED AT ENDS OF SHEAR WALLS WHERE FULL BEARING IS NOT PROVIDED BY THE FRAMING BELOW.
- SIMPSON MASP MUDSILL ANCHORS, EVENLY SPACED, MAY BE SUBSTITUTED (2) FOR (1) FOR THE 3/8" DIA. SILL PLATE ANCHOR BOLTS SPECIFIED. (IE. (2) MASP REPLACE (1) 3/8" DIA ANCHOR BOLT)



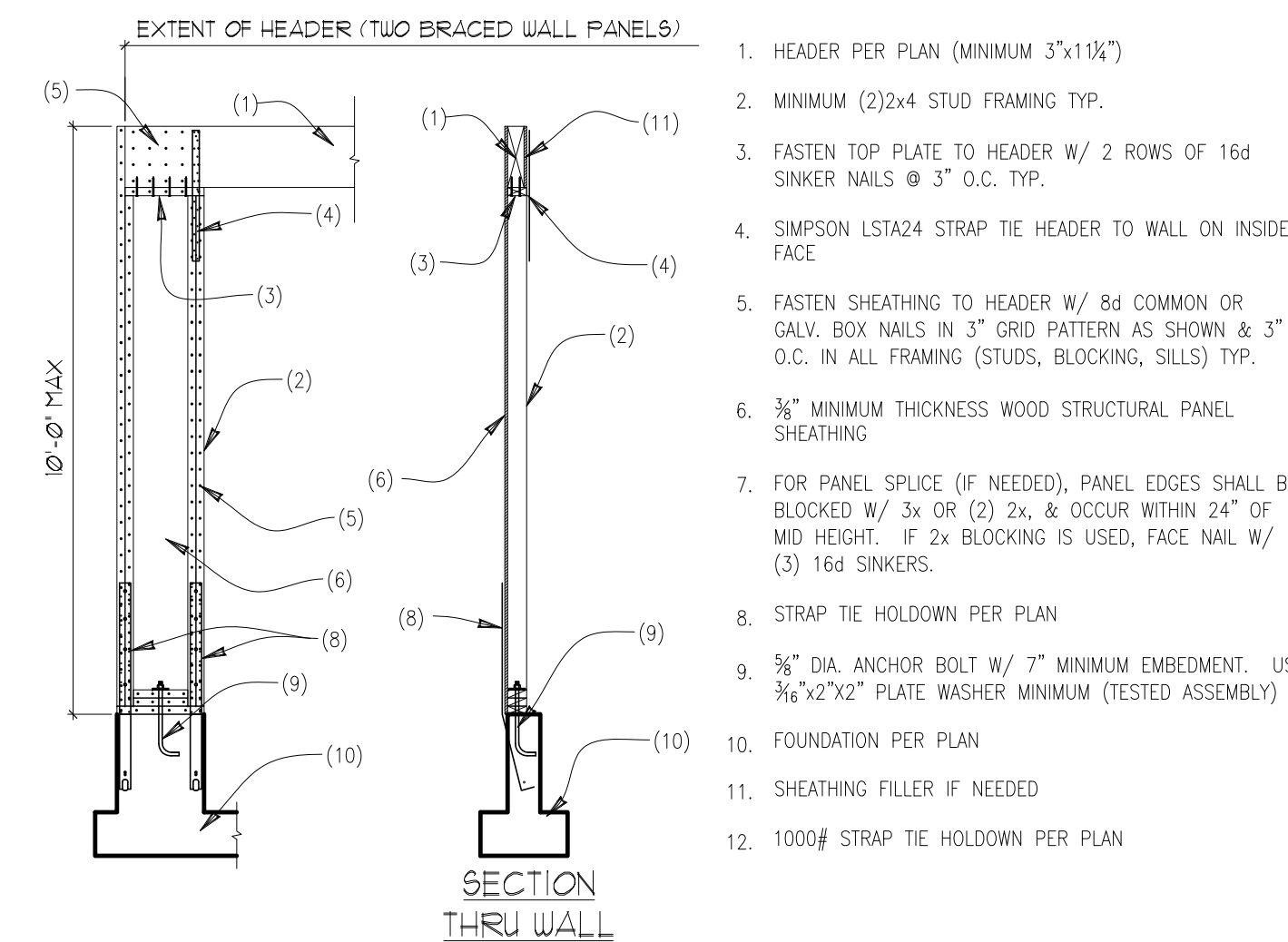
H1 TYPICAL STRAP TIE HOLDDOWN @ WALL TO WALL & WALL TO BEAM
SCALE: 3/4"=1'



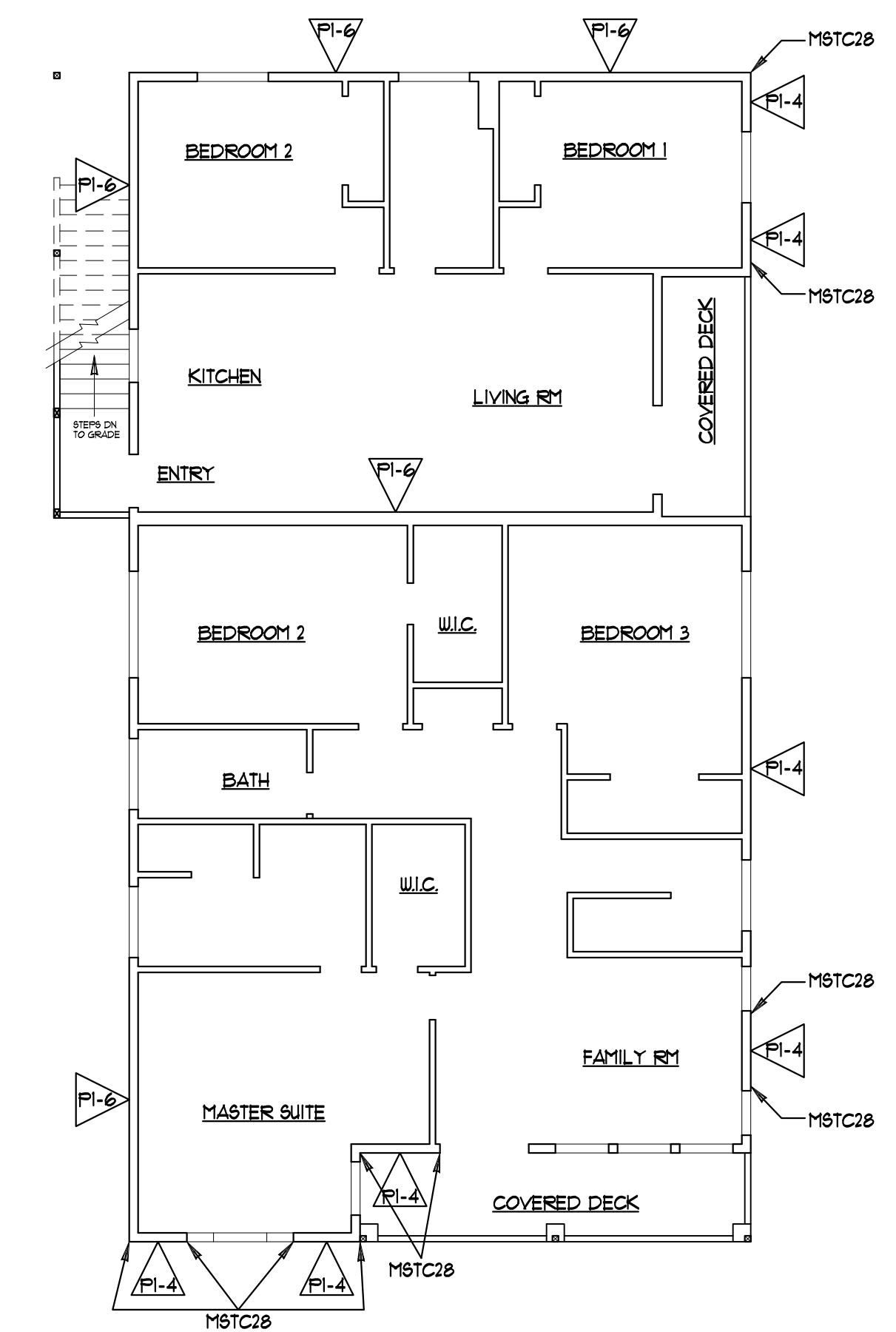
H2 TYPICAL STRAP TIE HOLDDOWN @ FOUNDATION
SCALE: 3/4"=1'



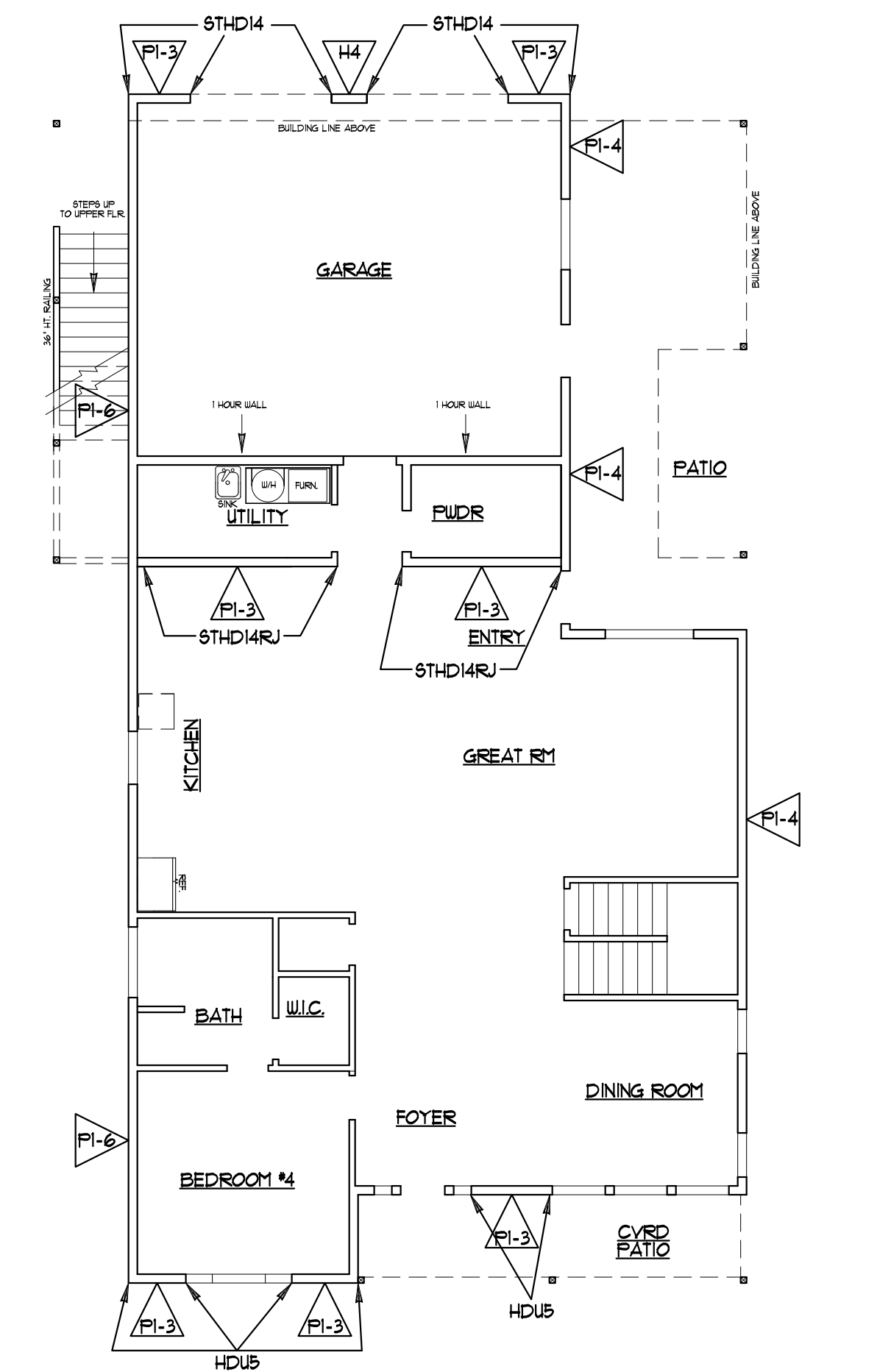
H3 TYPICAL ANCHOR BOLT HOLDDOWN
SCALE: 3/4"=1'



H4 PORTAL FRAME CONSTRUCTION (FIELD BUILT)
NTS

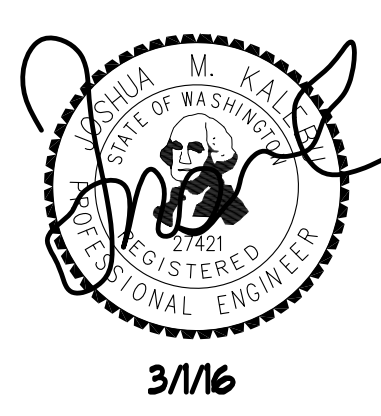


UPPER FLOOR KEY PLAN



MAIN FLOOR KEY PLAN

NO.	DATE	REVISIONS



3/16

PREPARED BY:

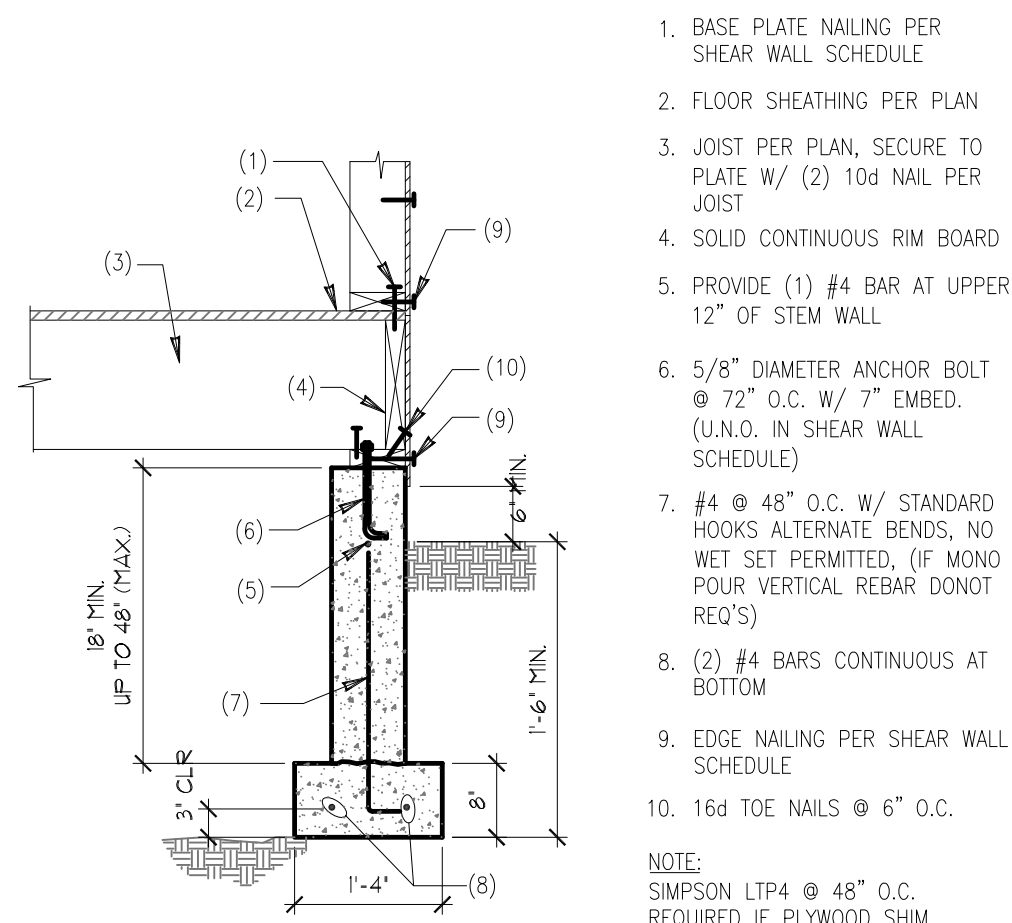
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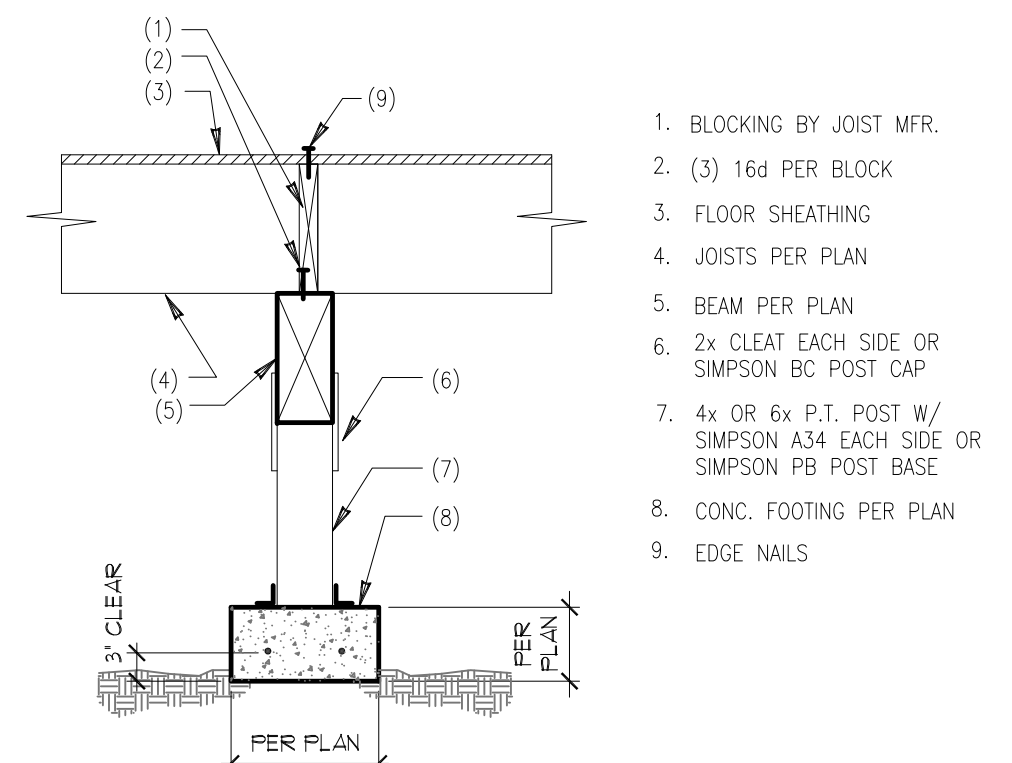
**NGUYEN RESIDENCE
CUSTOM HOME**
5412 N 49TH ST
RUSTON, WA 98407

BY:	B.T.
DATE:	1/11/16
CHECKED:	J.K.
SHEET NO.	S1
JOB NO.	16-01AE



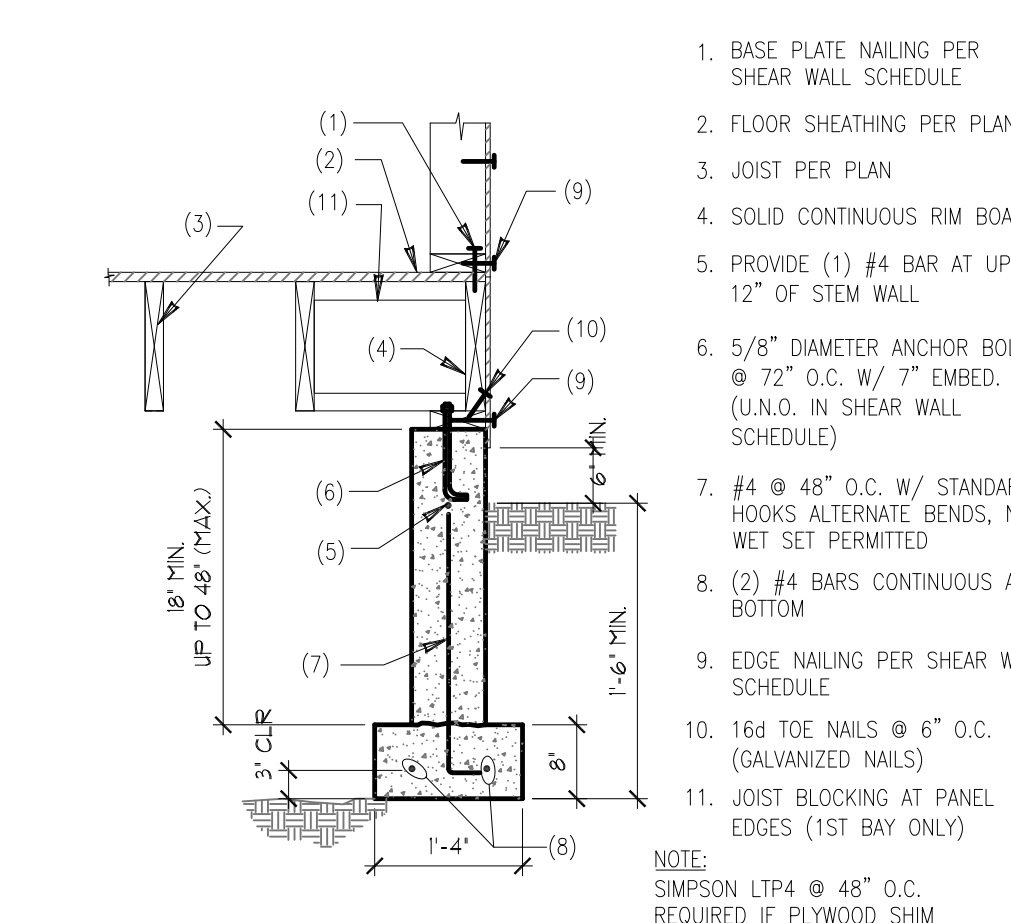
1. BASE PLATE NAILING PER SHEAR WALL SCHEDULE
2. FLOOR SHEATHING PER PLAN
3. JOIST PER PLAN, SECURE TO PLATE W/ (2) 10d NAIL PER JOIST
4. SOLID CONTINUOUS RIM BOARD
5. PROVIDE (1) #4 BAR AT UPPER 12" OF STEM WALL
6. 5/8" DIAMETER ANCHOR BOLT @ 72" O.C. W/ 7" EMBED. (U.N.O. IN SHEAR WALL SCHEDULE)
7. #4 @ 48" O.C. W/ STANDARD HOOKS ALTERNATE BENDS, NO WET SET PERMITTED, (IF MONO POUR VERTICAL REBAR DONOT REQ'S)
8. (2) #4 BARS CONTINUOUS AT BOTTOM
9. EDGE NAILING PER SHEAR WALL SCHEDULE
10. 16d TOE NAILS @ 6" O.C.

100 CRAWL SPACE FOUNDATION.
SCALE: N.T.S.



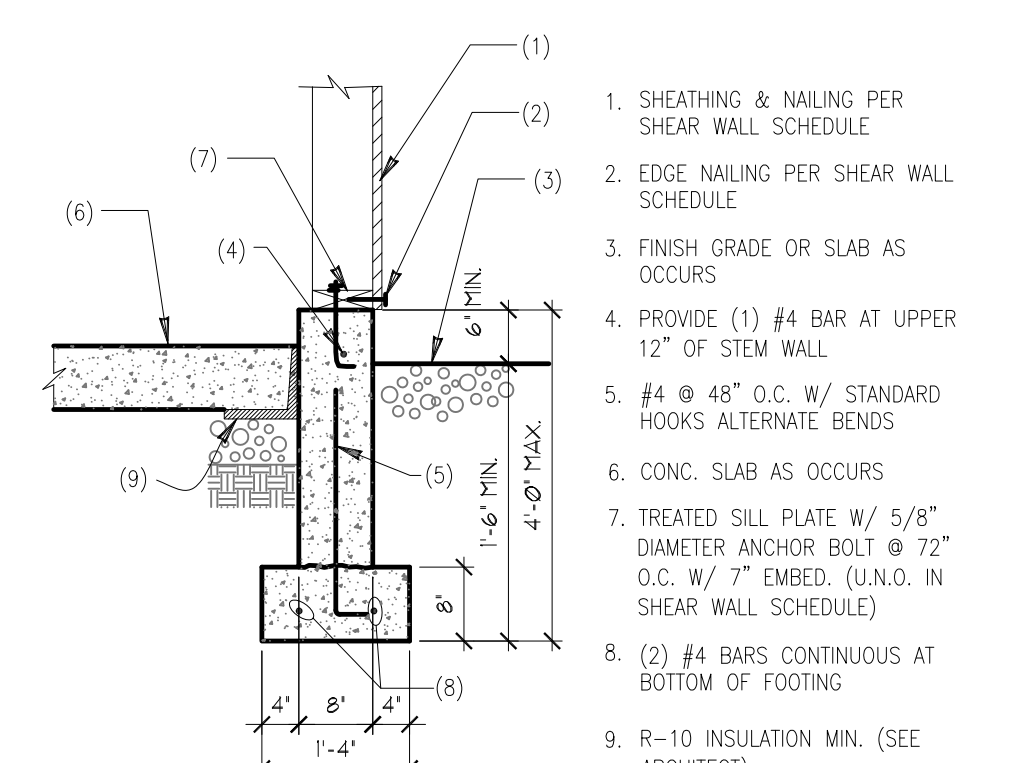
1. BLOCKING BY JOIST MFR.
2. (3) 16d PER BLOCK
3. FLOOR SHEATHING
4. JOISTS PER PLAN
5. BEAM PER PLAN
6. 2x CLEAT EACH SIDE OR SIMPSON BC POST CAP
7. 4x OR 6x P.T. POST W/ SIMPSON A34 EACH SIDE OR SIMPSON PB POST BASE
8. CONC. FOOTING PER PLAN
9. EDGE NAILS

102 TYPICAL INTERIOR SPREAD FOOTING
SCALE: N.T.S.



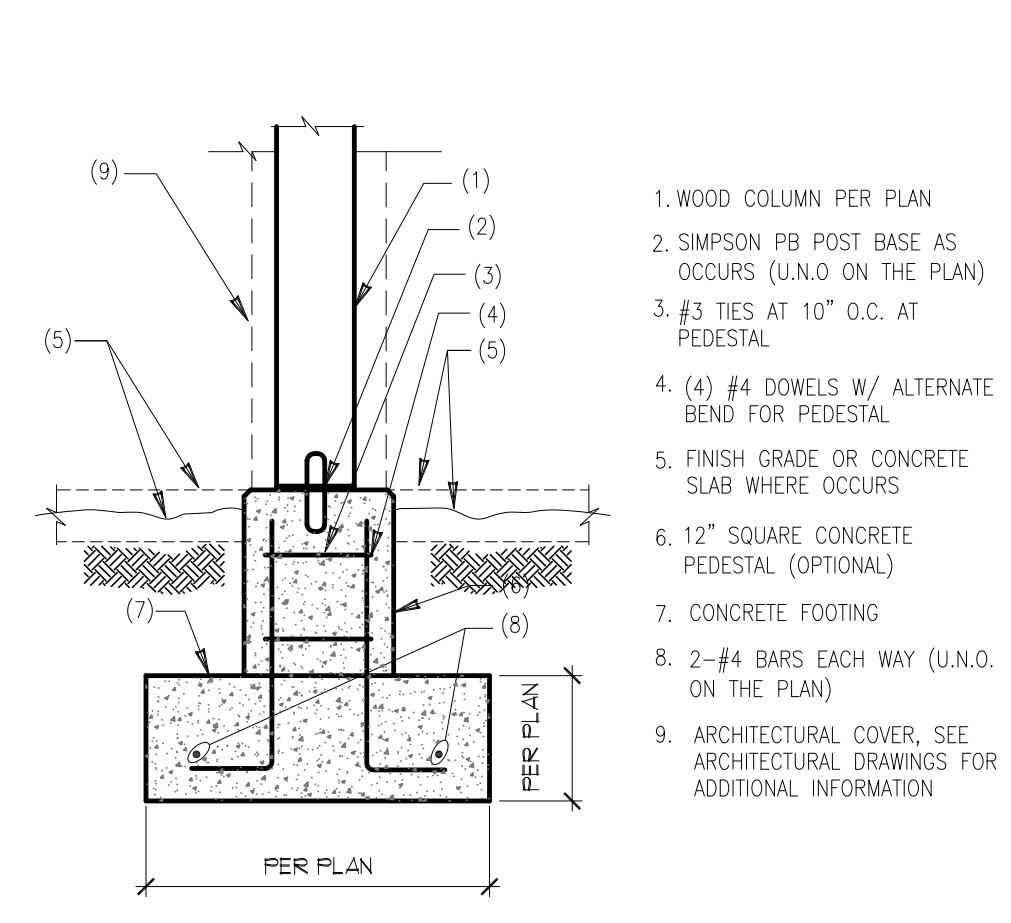
1. BASE PLATE NAILING PER SHEAR WALL SCHEDULE
2. FLOOR SHEATHING PER PLAN
3. JOIST PER PLAN
4. SOLID CONTINUOUS RIM BOARD
5. PROVIDE (1) #4 BAR AT UPPER 12" OF STEM WALL
6. 5/8" DIAMETER ANCHOR BOLT @ 72" O.C. W/ 7" EMBED. (U.N.O. IN SHEAR WALL SCHEDULE)
7. #4 @ 48" O.C. W/ STANDARD HOOKS ALTERNATE BENDS, NO WET SET PERMITTED
8. (2) #4 BARS CONTINUOUS AT BOTTOM
9. EDGE NAILING PER SHEAR WALL SCHEDULE
10. 16d TOE NAILS @ 6" O.C. (GALVANIZED NAILS)
11. JOIST BLOCKING AT PANEL EDGES (1ST BAY ONLY)

101 CRAWL SPACE FOUNDATION.
SCALE: N.T.S.



1. SHEATHING & NAILING PER SHEAR WALL SCHEDULE
2. EDGE NAILING PER SHEAR WALL SCHEDULE
3. FINISH GRADE OR SLAB AS OCCURS
4. PROVIDE (1) #4 BAR AT UPPER 12" OF STEM WALL
5. #4 @ 48" O.C. W/ STANDARD HOOKS ALTERNATE BENDS
6. CONC. SLAB AS OCCURS
7. TREATED SILL PLATE W/ 5/8" DIAMETER ANCHOR BOLT @ 72" O.C. W/ 7" EMBED. (U.N.O. IN SHEAR WALL SCHEDULE)
8. (2) #4 BARS CONTINUOUS AT BOTTOM OF FOOTING
9. R-10 INSULATION MIN. (SEE ARCHITECT)

103 TYPICAL SLAB ON GRADE FONDATION
SCALE: N.T.S.



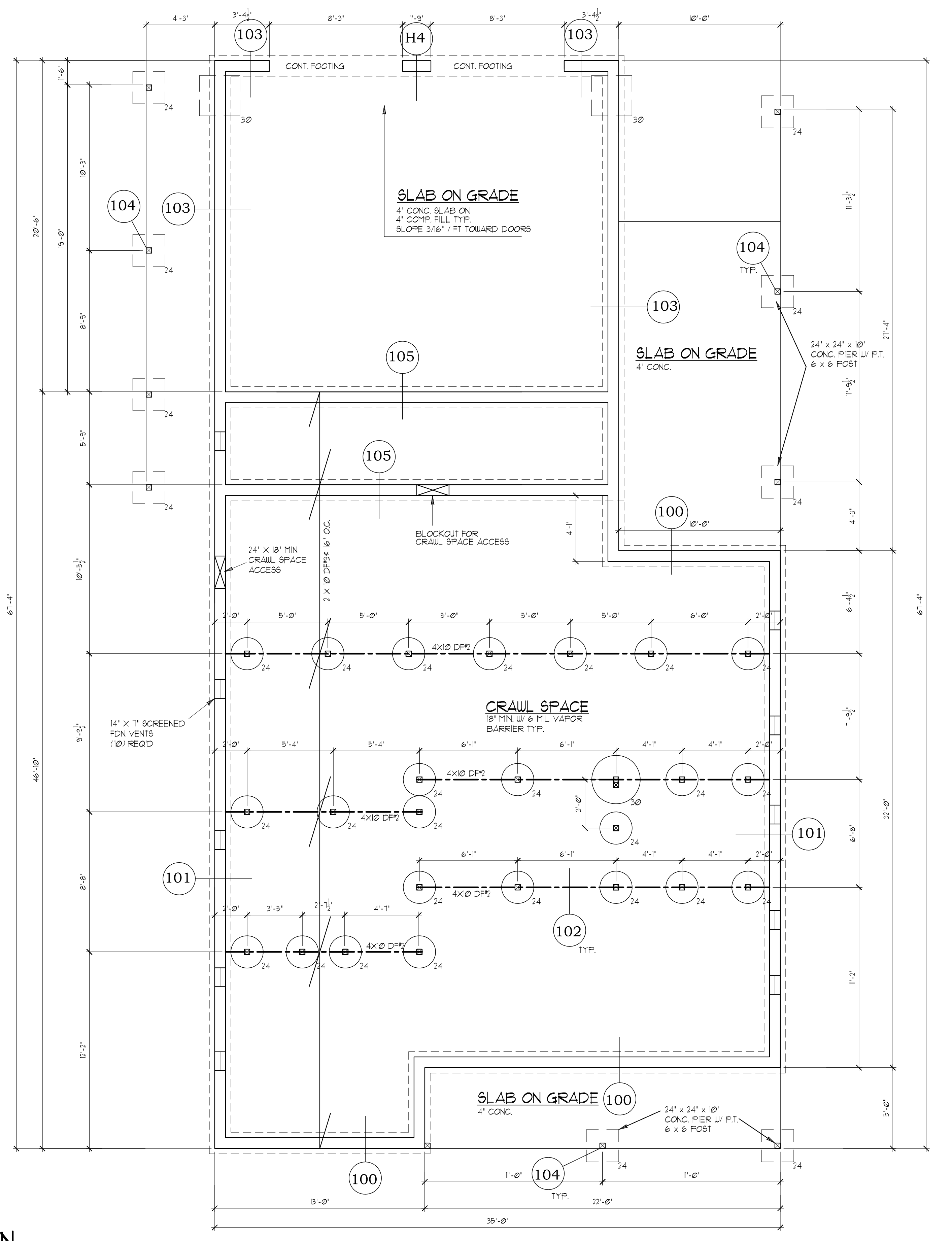
1. WOOD COLUMN PER PLAN
2. SIMPSON PB POST BASE AS OCCURS (U.N.O. ON THE PLAN)
3. #3 TIES AT 10" O.C. AT PEDESTAL
4. (4) #4 DOWELS W/ ALTERNATE BEND FOR PEDESTAL
5. FINISH GRADE OR CONCRETE SLAB WHERE OCCURS
6. 12" SQUARE CONCRETE PEDESTAL (OPTIONAL)
7. CONCRETE FOOTING
8. 2-#4 BARS EACH WAY (U.N.O. ON THE PLAN)
9. ARCHITECTURAL COVER, SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION

104 WOOD COLUMN AT FOOTING
SCALE: N.T.S.



1. BASE PLATE NAILING PER SHEAR WALL SCHEDULE
2. FLOOR SHEATHING PER PLAN
3. I-JOIST PER PLAN
4. 1.5" MIN. SOLID CONTINUOUS RIM BOARD
5. PROVIDE (1) #4 BAR AT UPPER 12" OF STEM WALL
6. 5/8" DIAMETER ANCHOR BOLT @ 72" O.C. W/ 7" EMBED. (U.N.O. IN SHEAR WALL SCHEDULE)
7. #4 @ 48" O.C. W/ STANDARD HOOKS ALTERNATE BENDS, NO WET SET PERMITTED
8. (2) #4 BARS CONTINUOUS AT BOTTOM
9. EDGE NAILING PER SHEAR WALL SCHEDULE, (USED 10d NAILS @ 1HR-FIREWALL)
10. 16d TOE NAILS @ 6" O.C. (GALVANIZED NAILS)
11. I-JOIST BLOCKING AT PANEL EDGES (1ST BAY ONLY)

105 1-HR WALL CRAWL SPACE FOUNDATION.
SCALE: N.T.S.



FOUNDATION FRAMING PLAN

- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED
- SOFFIT, VENT, AND INSULATE ALL CANTILEVERED AREAS
- PROVIDE SOLID BLOCKING OVER SUPPORTS
- ALL FOOTINGS TO REST ON UNDISTURBED SOIL
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- PROVIDE COPY OF CONCRETE "BATCH TICKET" ON SITE FOR REVIEW BY BUILDING OFFICIAL

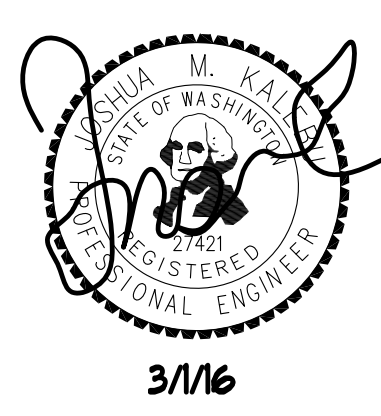
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- * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

FOUNDATION VENTILATION	
USE 14" X 1" SCREENED FDN VENTS	
(1) VENT = 52 SQ. FT. NET FREE VENT AREA	
FDN. AREA	+ NET VENT AREA REQ'D (N.V.A.)
300	
N.V.A.	+ QTY. OF VENTS REQUIRED
52	
1429	4.11
300	52
TOTAL VENTS REQUIRED = 10	
ALL FDN VENTS TO BE LOCATED THREE FEET FROM THE BUILDING CORNERS PER IBCS (R/C)	

FOUNDATION FOOTING SCHEDULE	
NOTE: USE MIN. 6" WIDE POST BELOW BEAM SPLICES	
USE P.T. 4 X 4 POSTS BELOW 4 X BEAMS UNO.	
USE P.T. 6 X 6 POST BELOW 6 X BEAMS UNO.	
24	P.T. POST ON 24" DIA. X 10" THICK CONC. FOOTING
24	P.T. POST ON 24" DIA. X 10" THICK CONC. FOOTING W/ (3) #4 BARS EACH WAY
30	P.T. POST ON 30" X 30" X 12" THICK CONC. FOOTING W/ (3) #5 BARS EACH WAY
36	P.T. POST ON 36" X 36" X 12" THICK CONC. FOOTING W/ (4) #5 BARS EACH WAY
42	P.T. POST ON 42" X 42" X 12" THICK CONC. FOOTING W/ (4) #5 BARS EACH WAY
FOOTING SIZES BASED ON 1500 psf SOIL BEARING CAPACITY	

NO.	DATE	REVISIONS



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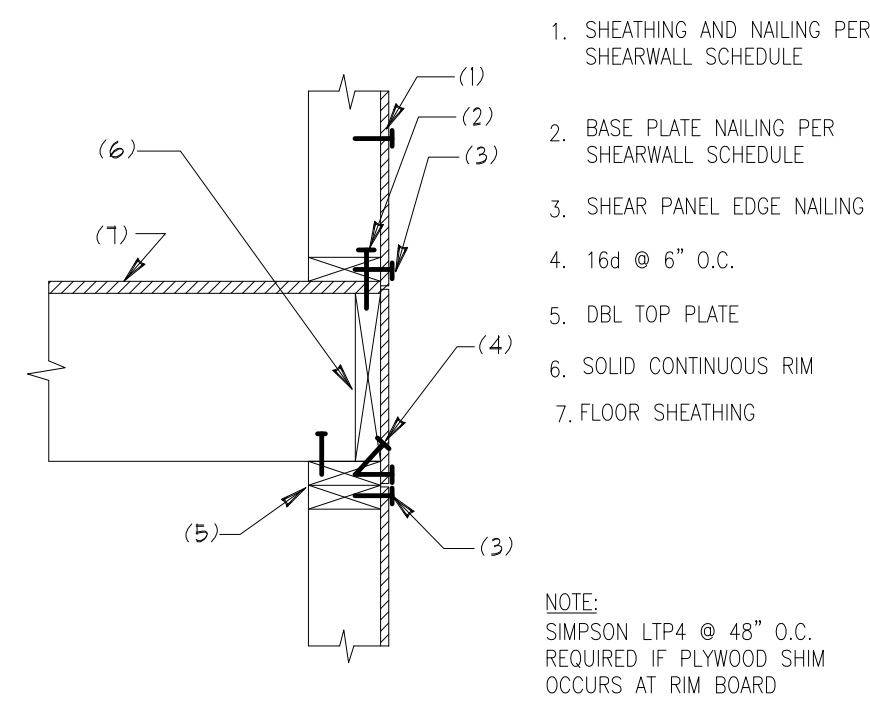
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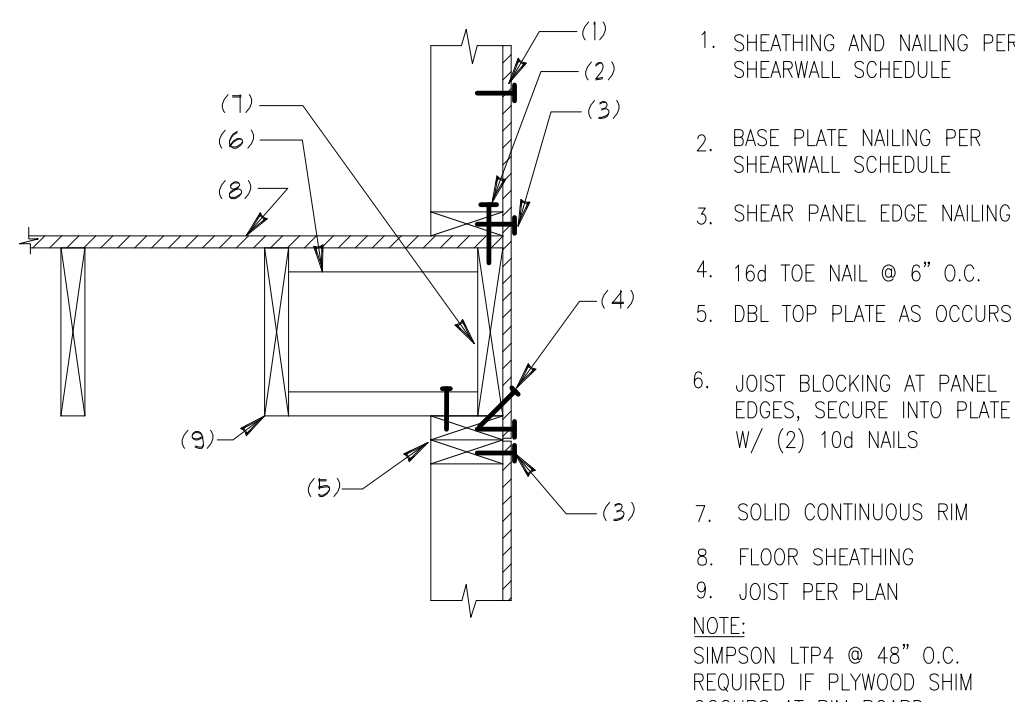
BY:	B.T.
DATE:	1/11/16
CHECKED:	J.K.
SHEET NO.	52
JOB NO.	16-01AE

SCALE: 1/4" = 1'-0"



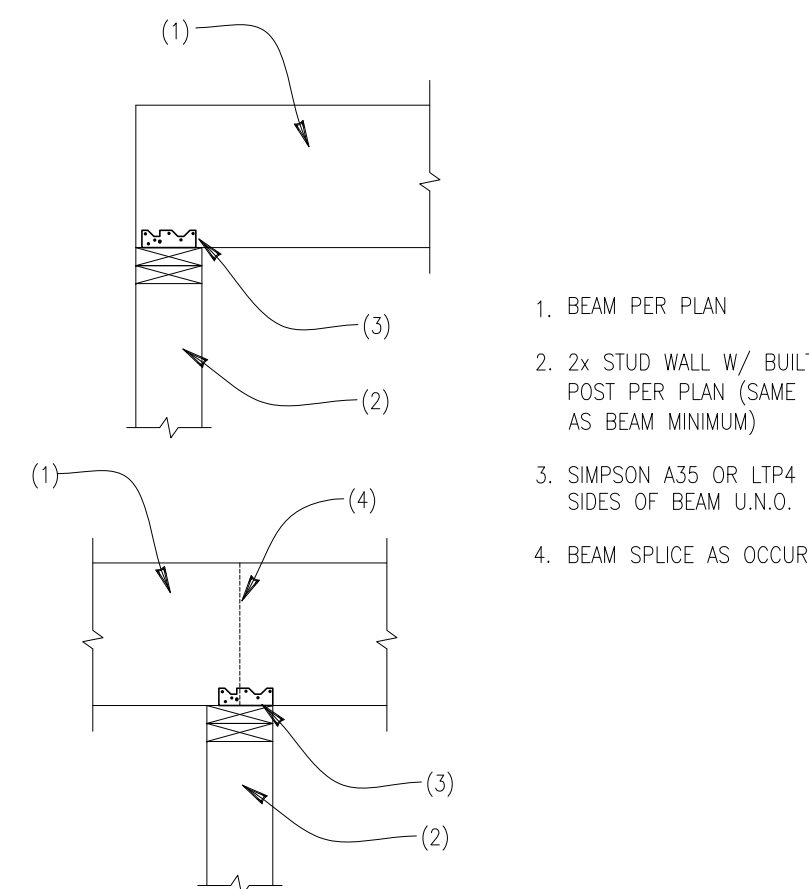
200 JOIST AT STUD WALL

SCALE: N.T.S.



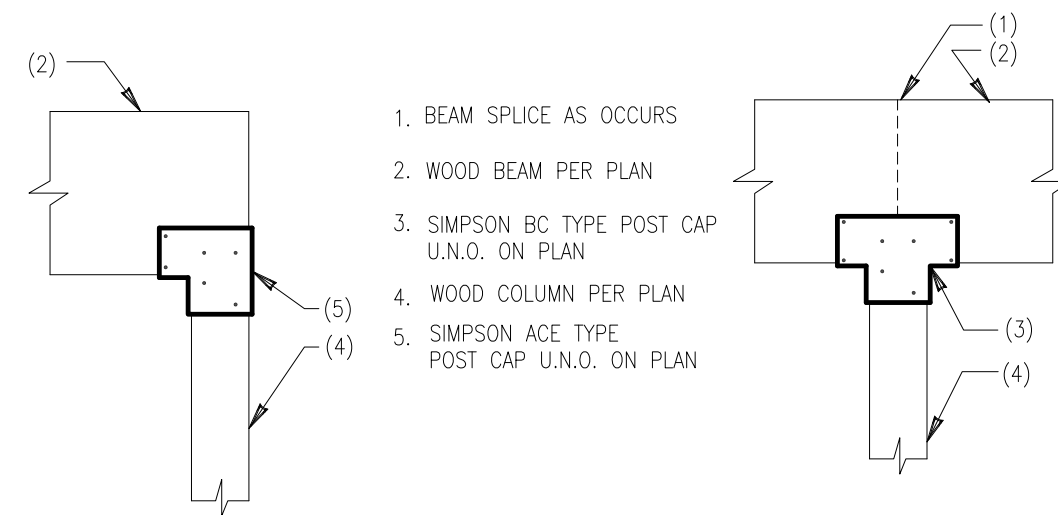
201 JOIST AT STUD WALL

SCALE: N.T.S.



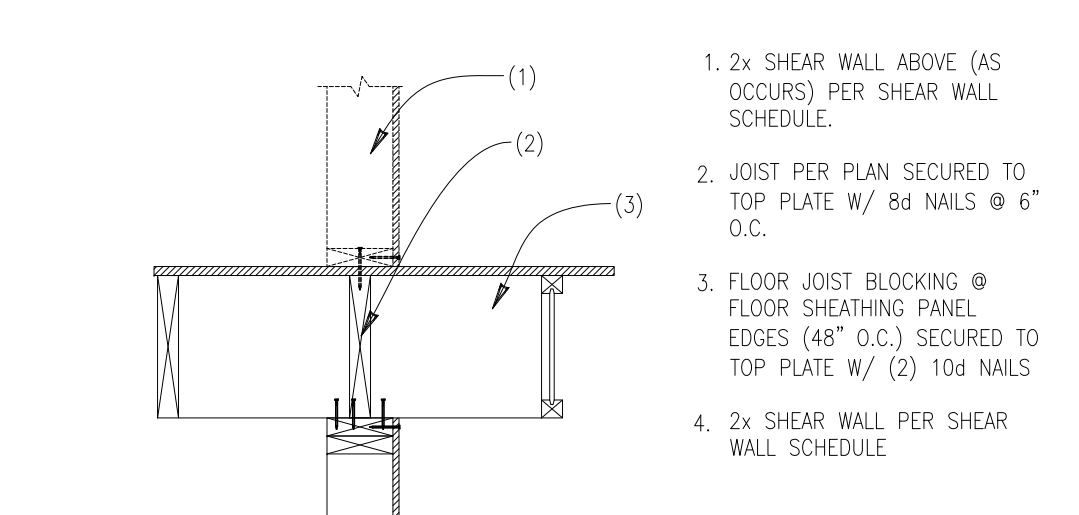
203 BEAM AT BEARING WALL

SCALE: N.T.S.



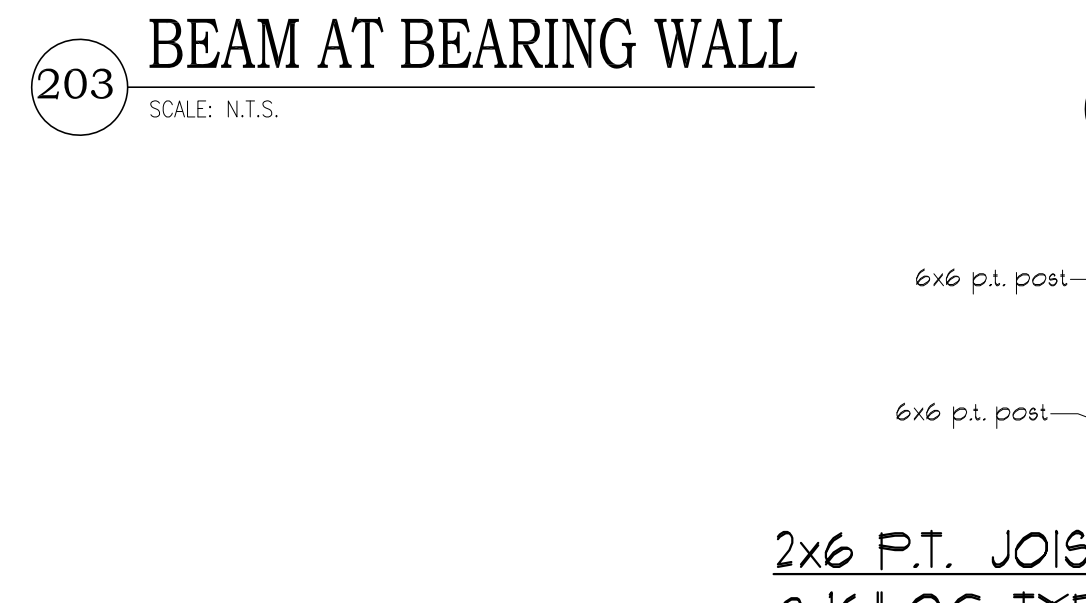
204 WOOD BEAM TO WOOD COLUMN

SCALE: N.T.S.



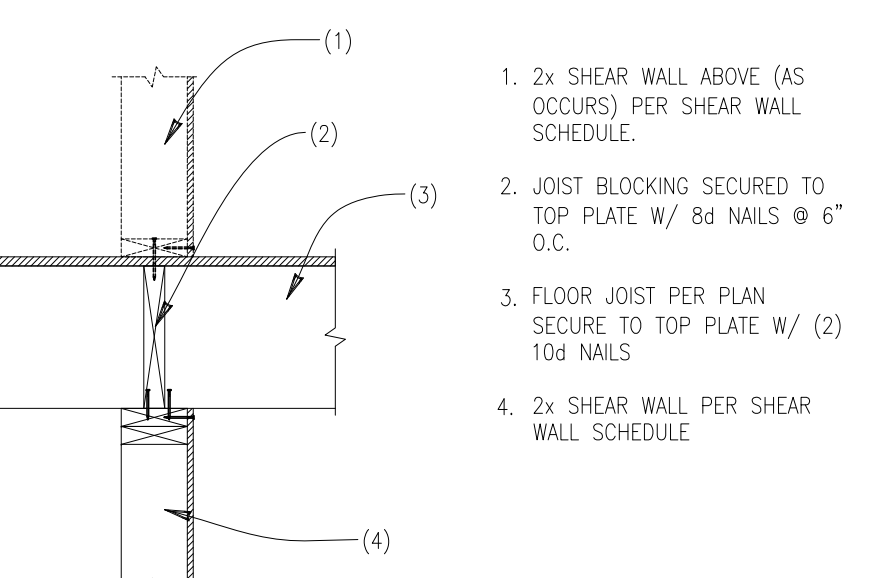
205 JOIST PARALLEL TO SHEAR WALL

SCALE: N.T.S.



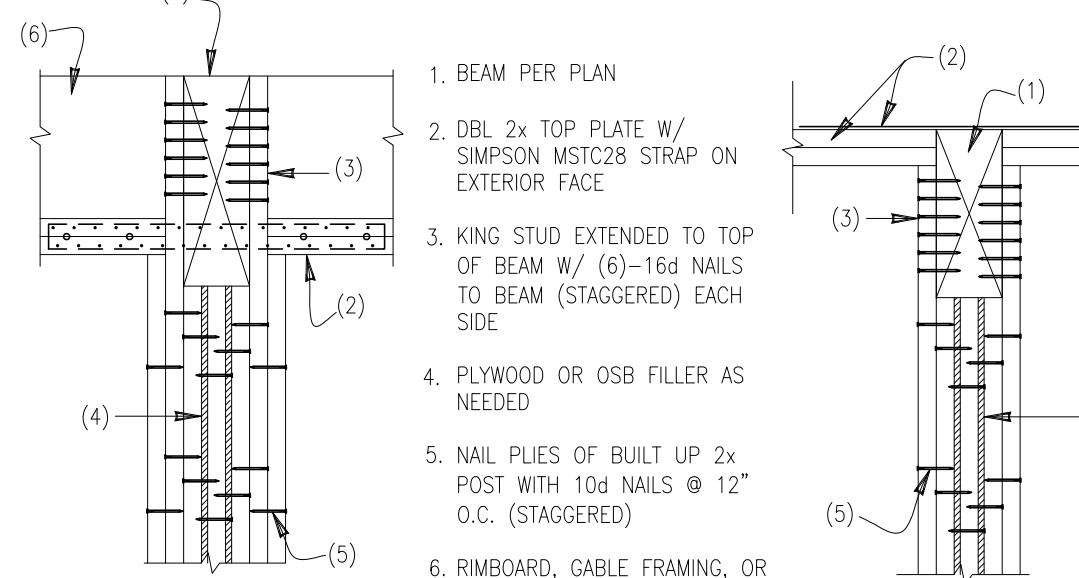
208 FLOOR JOIST AT BEAM

SCALE: N.T.S.



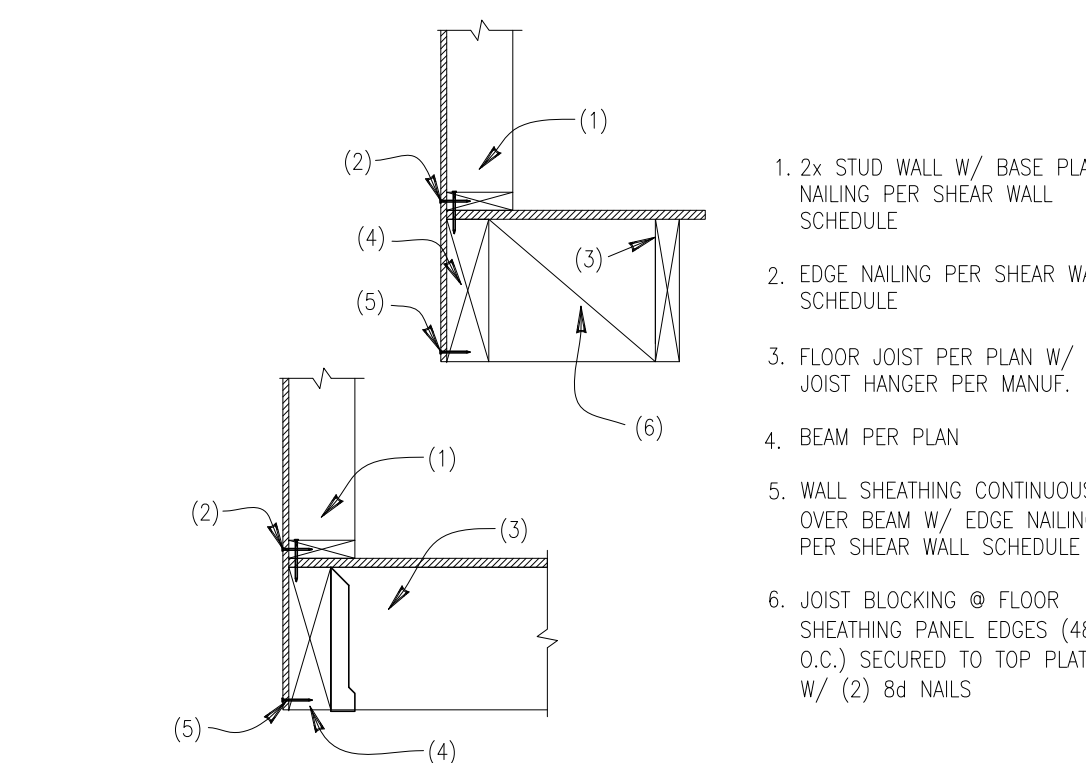
206 JOIST AT INTERIOR SHEAR WALL

SCALE: N.T.S.



207 BUILT UP POST AT BEAM

SCALE: N.T.S.



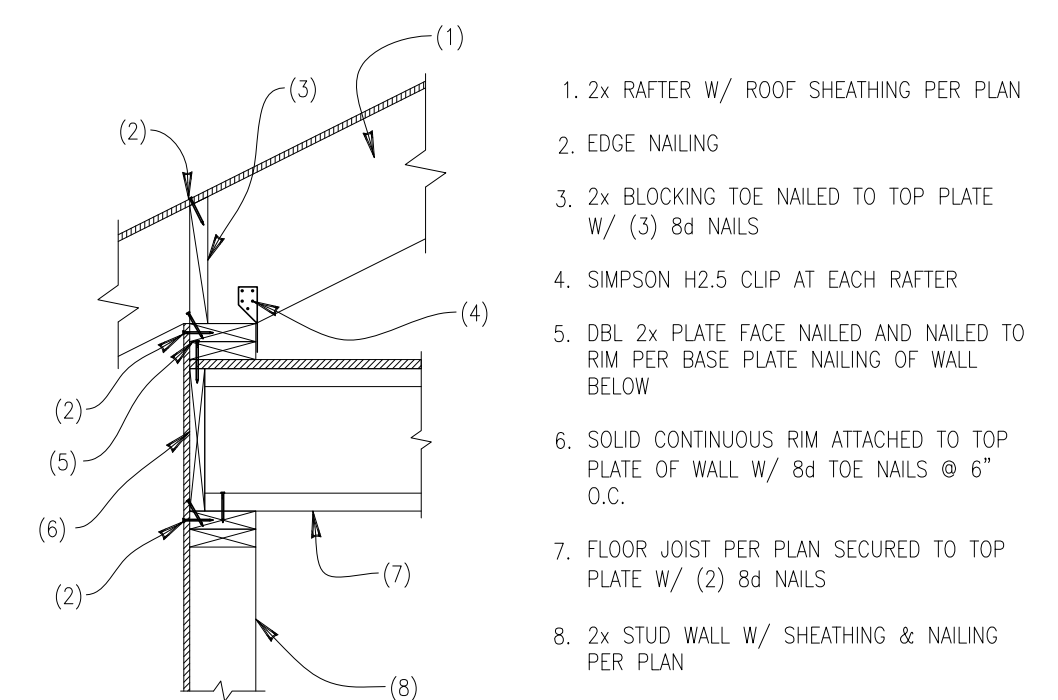
209 DECK LEDGER AT BEAM

SCALE: N.T.S.



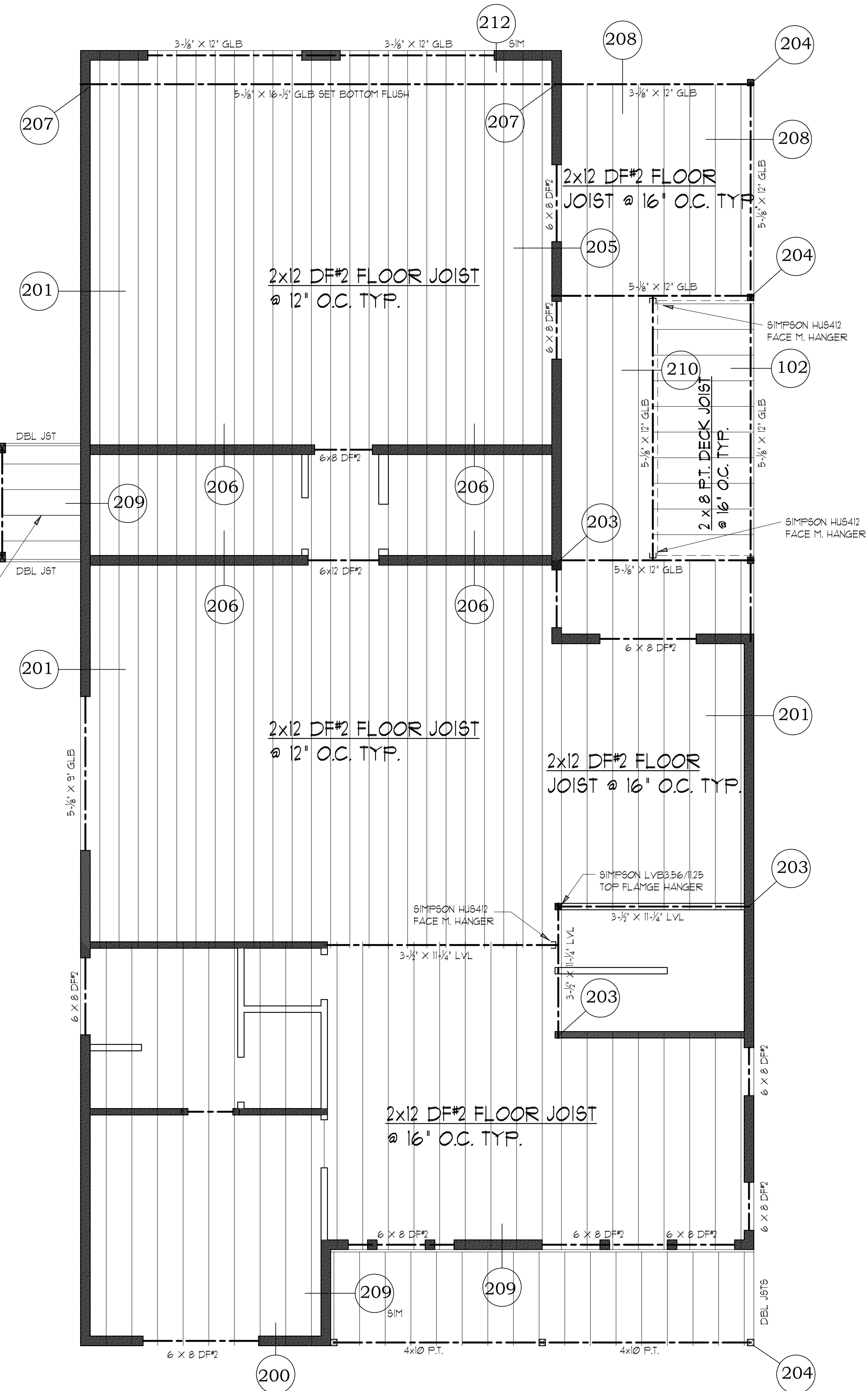
209 DECK LEDGER AT RIM BOARD

SCALE: N.T.S.



212 RAFTER AT WALL W/ FLOOR JOIST

SCALE: N.T.S.



UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

- ALL DOOR/WINDOW HEADERS TO BE 6X8 DF#2 AT 2X6 BEARING WALLS, U.N.O.
- PROVIDE FIREBLOCKING AS REQUIRED PER I.R.C.
- WINDOW HEADERS AT 6'-8" ABOVE SUB FLOOR, U.N.O.
- EXTERIOR WALLS TO BE 2X6 AT 16" O.C., U.N.O.
- INTERIOR PARTITIONS TO BE 2X4 AT 16" O.C. (2X6 @ PLUMBING WALLS) U.N.O.
- PROVIDE SUPPLEMENTAL JOISTS/BLOCKING BELOW SHEAR WALLS AS INDICATED ON FRAMING PLAN
- PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)
- FLOOR JOISTS AND BEAMS OF EQUAL OR BETTER CAPACITY MAY BE SUBSTITUTED FOR THOSE SHOWN ON THIS PLAN, "EQUAL" IS DEFINED AS HAVING MOMENT CAPACITY, SHEAR CAPACITY, AND STIFFNESS WITHIN 3% OF THE SPECIFIED JOISTS OR BEAMS.

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- * NO FIELD ALTERATIONS WILL BE AUTHORIZED UNLESS ACCOMPANIED BY REVISED DRAWINGS.

NO.	DATE	REVISIONS

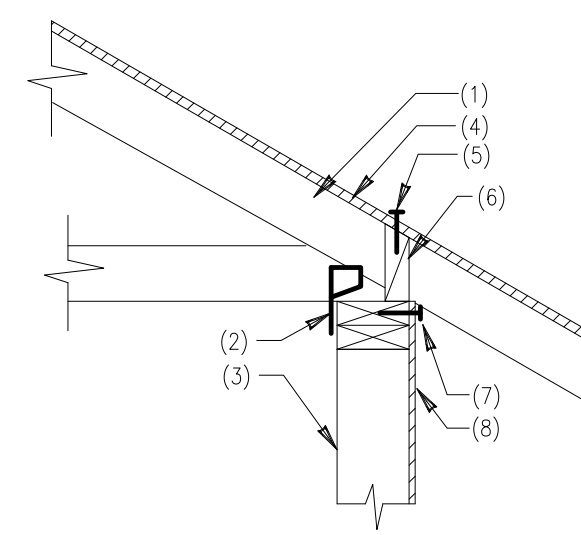


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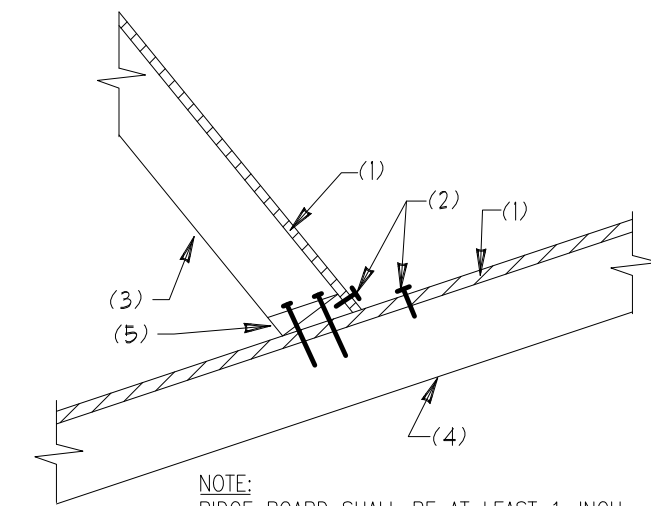
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1. TRUSS PER PLAN
2. SIMPSON H1 OR H2.5 CLIP EVERY TRUSS
3. STUD WALL
4. PLYWOOD SHEATHING
5. EDGE NAILING
6. 2X BLOCKING @ 24" W/ 3-106 PER BLOCK TOENAIL INTO PLATE
7. SHEAR PANEL EDGE NAILING
8. SHEATHING AND NAILING PER SHEARWALL SCHEDULE

300 TRUSS AT STUD WALL

SCALE: N.T.S.



1. 2X OVER FRAME @ 24" O.C. w/ 2-104 TOE NAILS TO VALLEY BOARD
4. TRUSS OR RAFTER PER PLAN
5. 2X CONTINUOUS VALLEY BOARD FLAT w/ 2-162 NAIL PER TRUSS TYP.

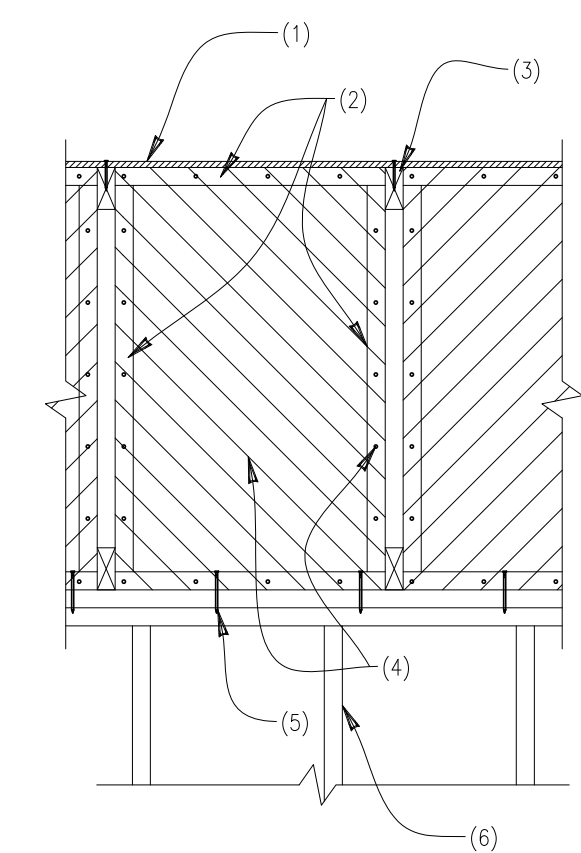
NOTE:

1. RIDGE BOARD SHALL BE AT LEAST 1-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. ALL VALLEYS AND HIPS SHALL NOT LESS THAN 2-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH OF THE CUT END OF THE RAFTER.

2. AT 2X OVER FRAMING USE THE FOLLOWING:
0'-4"-----2X4 MIN.
4'-8"-----2X6 MIN.
8'-10"-----2X8 MIN.
10'-12"-----2X10 MIN.

301 VALLEY FRAME AT OVERFRAME

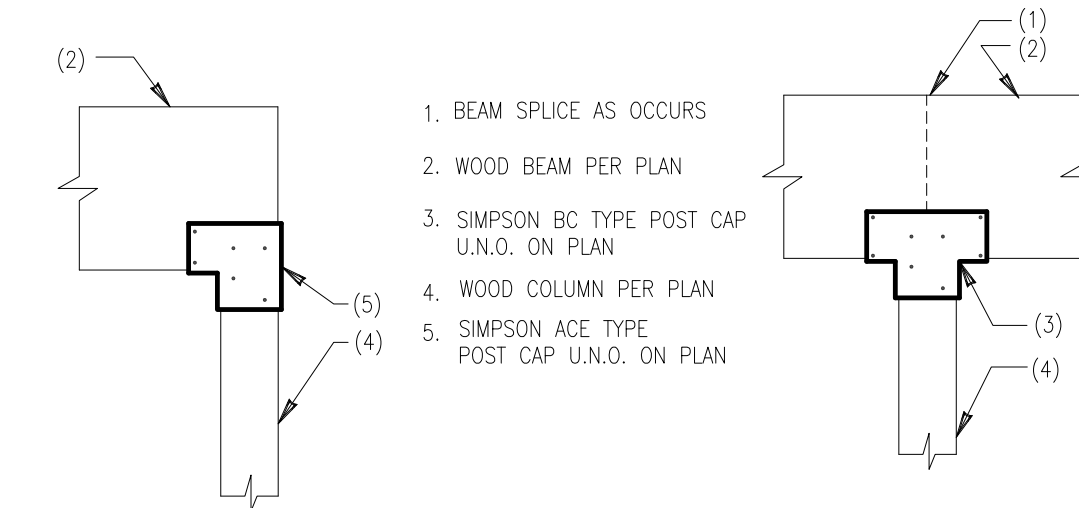
SCALE: N.T.S.



1. ROOF SHEATHING W/ EDGE NAILING TO TRUSS
2. 2x4 FLAT BLOCKING AT (4) SIDES OF BLOCKING PANEL
3. ROOF TRUSSES PER PLAN
4. SHEATHING AND EDGE NAILING PER SHEAR WALL SCHEDULE FOR WALL BELOW
5. BLOCKING NAILED TO TOP PLATE PER BASE PLATE NAILING OF WALL BELOW
6. INTERIOR SHEAR WALL PER PLAN

302 SHEAR BLOCKING @ INT. SHEAR WALL

SCALE: N.T.S.

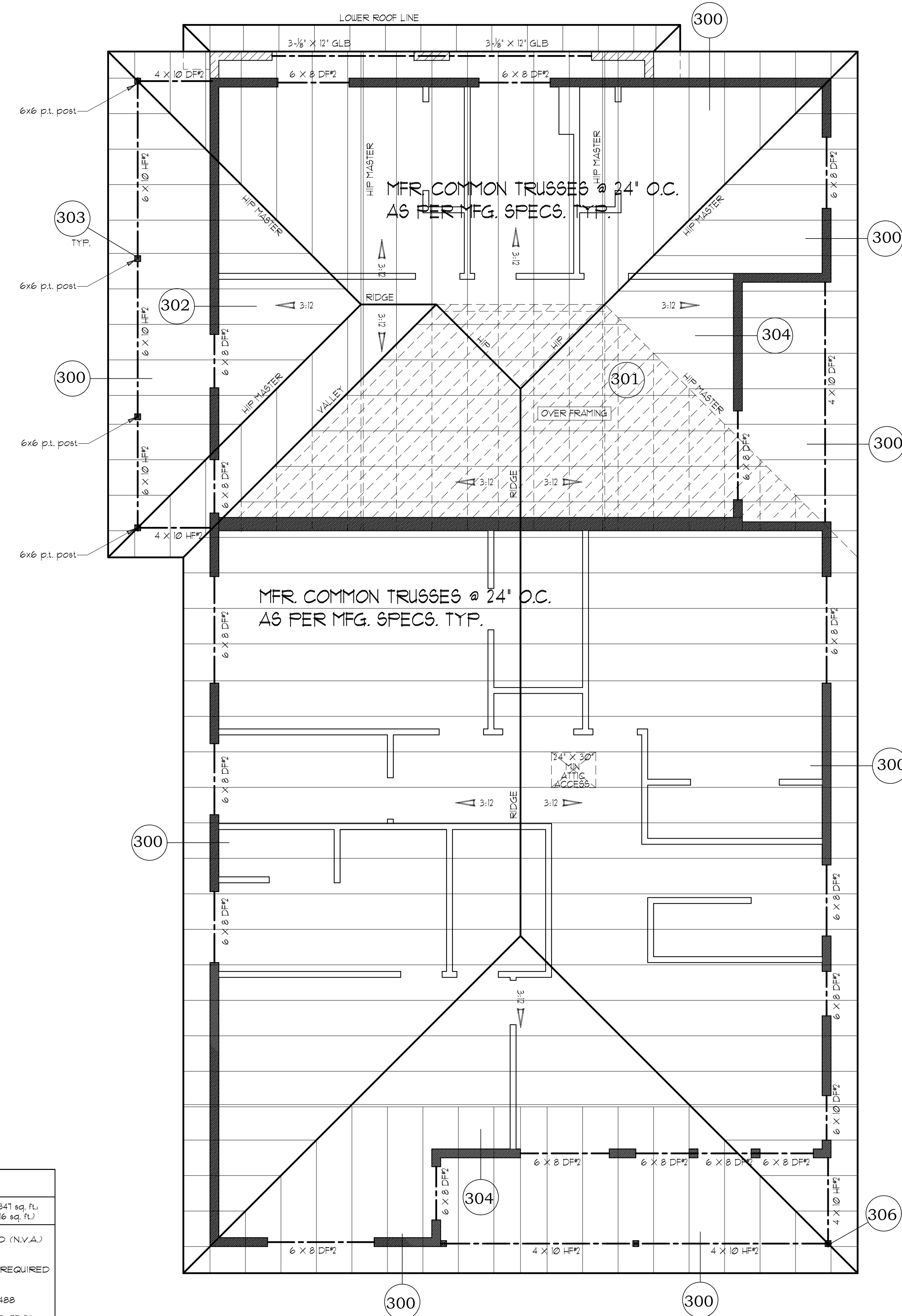


1. BEAM SPLICE AS OCCURS
2. WOOD BEAM PER PLAN
3. SIMPSON BC TYPE POST CAP U.N.O. ON PLAN
4. WOOD COLUMN PER PLAN
5. SIMPSON ACE TYPE POST CAP U.N.O. ON PLAN

303 WOOD BEAM TO WOOD COLUMN

SCALE: N.T.S.

USE STANDARD JACK VENTS (AF50: 50sq. in. or 0.347 sq. ft.) AND 1 1/2" BIRD BLOCK VENTS (3.975 sq. in. or 0.276 sq. ft.)	
ROOF AREA 150 X 144 @1/8f	= NET VENT AREA REQ'D (N.V.A.)
N.V.A. 789	= QTY. OF JACK VENTS REQUIRED
789	$\frac{789}{50} = 15.78$
150 X 144 @1/8f	$\frac{15.78}{50} = 15.1488$
TOTAL JACK VENTS REQUIRED	= 15 (15-50+750)
789 - 750 = 39	$\frac{39}{3.975} = 9.81$
TOTAL BIRD BLOCK VENTS REQUIRED	= 10

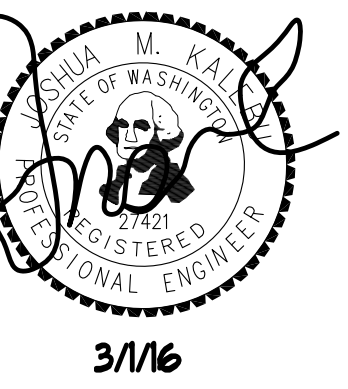


ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

- ALL BEAMS AND HEADERS TO BE 6X8 DF #2 AT BEARING WALLS, U.N.O.
- SHADED AREAS INDICATE OVERFRAMING, 2X6 @ 24" O.C., U.N.O.
- BEARING WALLS ARE INDICATED AS SHADED WALLS
- PROVIDE VENTED BLOCKING AT REQUIRED TRUSS/RAFTER BAYS
- ALL MANUFACTURED TRUSSES:
 - * SHALL NOT BE FIELD ALTERED WITHOUT ENGINEER'S APPROVAL
 - * SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION
 - * SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATION
 - * SHALL CARRY MANUFACTURER'S STAMP ON EACH TRUSS
- IF AN ENGINEERED ROOF FRAMING LAYOUT IS PROVIDED BY THE TRUSS SUPPLIER, THAT TRUSS LAYOUT SHALL SUPERCEDE THE TRUSS LAYOUT INDICATED IN THE PLANS. PROVIDE TRUSS LAYOUT AND SPECS ON SITE FOR INSPECTION.
- ☒ PROVIDE SOLID FRAMING EQUAL TO THE WIDTH OF THE MEMBER BEING SUPPORTED (U.N.O.)

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