



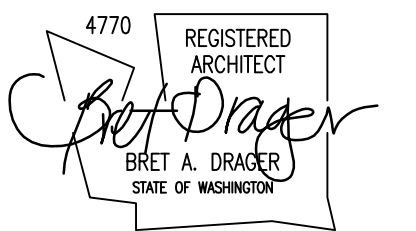
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

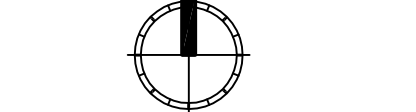
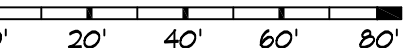
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS table with blank rows.

SCALE: 1" = 20'-0" SITE PLAN



REF NORTH

SHEET TITLE: COVER SHEET SITE PLAN

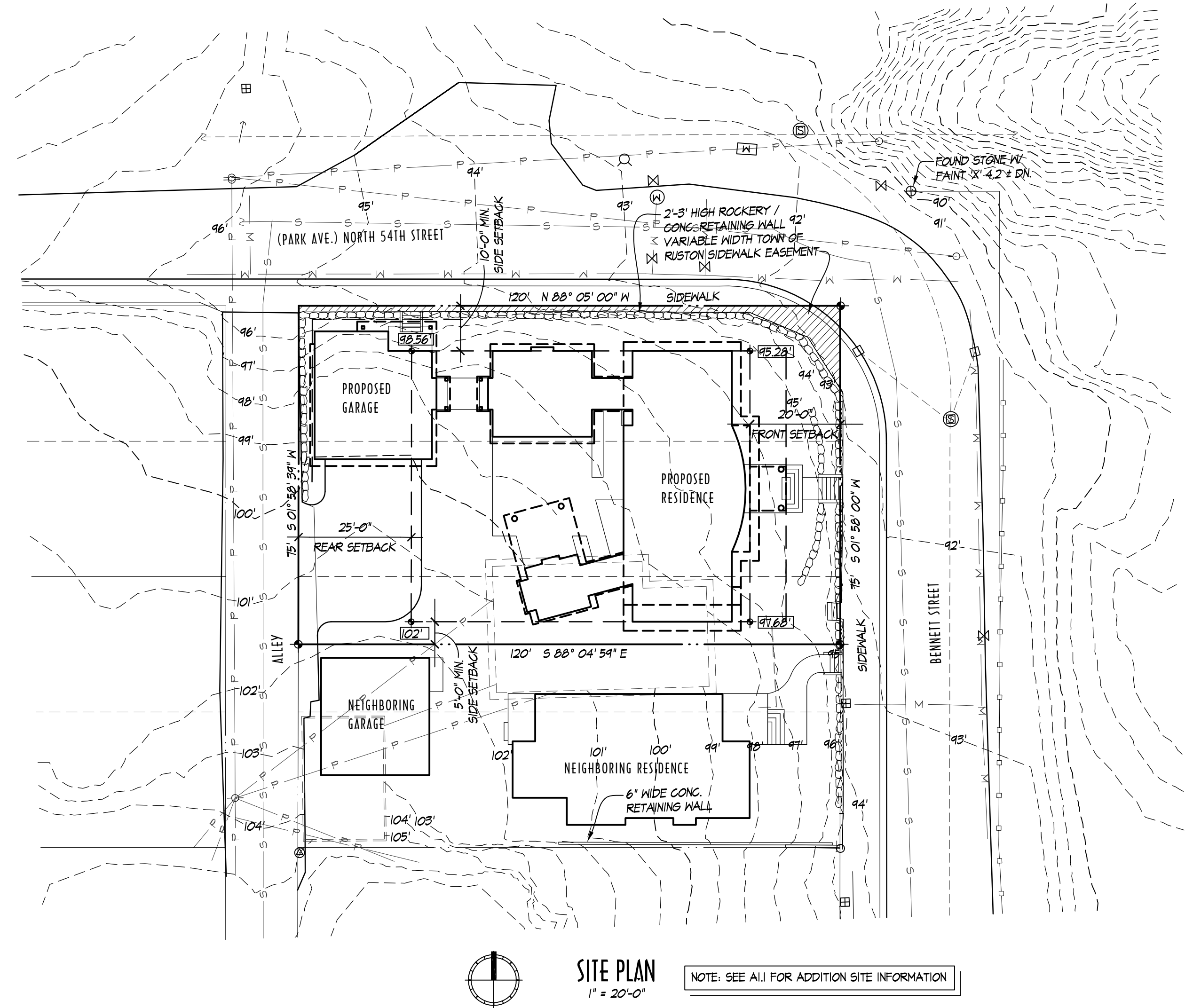
Blank lines for sheet information.

SHEET NUMBER: A1.0

© COPYRIGHT - DRAGER ARCHITECTURE

GENERAL NOTES

- 1. BY THE ACT OF SUBMITTING A BID FOR THIS PROJECT, THE CONTRACTOR WARRANTS THAT HE/SHE HAS CAREFULLY EXAMINED THE SITE AND EXISTING CONDITIONS AND HAS SATISFIED HIMSELF/HERSELF AS TO THE NATURE OF THE WORK, CHARACTER, QUALITIES, QUANTITIES OF MATERIALS AND ANY DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE PROCESS OF CONSTRUCTION WHICH MAY IN ANY WAY AFFECT THE PERFORMANCE OF THE WORK.
2. DO NOT SCALE DRAWINGS, CONTRACTOR TO USE DIMENSIONS SHOWN. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND IN THE FIELD. IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH ERRORS, OMISSIONS OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
3. COORDINATE ALL BUILDING CONSTRUCTION WITH OWNER, INCLUDING MATERIALS STORAGE, GARBAGE DISPOSAL, WORK HOURS, DISRUPTIONS TO POWER, WATER AND LIFE SAFETY SYSTEMS TO ENSURE THE SAFETY OF THE STRUCTURE.
4. THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOBSITE.
5. THE WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
6. WHERE NEW CONSTRUCTION ABUTS OR INTERFACES WITH EXISTING, MATCH ADJACENT MATERIALS AND TEXTURES FOR SEAMLESS TRANSITION.
7. UNLESS OTHERWISE INDICATED OR AGREED, WHERE ITEMS ARE NOTED TO BE REMOVED, IT SHALL MEAN THE COMPLETE REMOVAL AND DISPOSAL OF THE NOTED WORK AND THE PATCHING AND REPAIRING OF ADJACENT SURFACES TO MATCH.
8. ALL DOORS NOT DIMENSIONED SHALL BE LOCATED 4 1/2" FROM FACE OF STUD OR INTERSECTING WALL TO EDGE OF ROUGH OPENING.
9. SEE STRUCTURAL NOTES FOR INFORMATION RELATING TO FRAMING, NAILING AND OTHER STRUCTURAL INFORMATION.
10. COMPLIANCE GARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALLS, CEILING AND FLOORS.
11. PROVIDE METAL NAIL STOPPERS TO PROTECT PLUMBING AND WIRING FROM DAMAGE BY NAILS OR SCREWS.
12. MAINTAIN 3" CLEAR (MIN.) BETWEEN RECESSED CEILING FIXTURES AND INSULATION UNLESS FIXTURE IS RATED FOR CONTACT WITH INSULATION.
13. WATER PIPES SHALL BE INSULATED TO R-5.
14. METAL DUCTS TO BE INSULATED TO R-8 AND JOINTS TO BE TAPED.
15. BATT INSULATION SHALL HAVE ALL TEARS AND JOINTS IN VAPOR BARRIER SEALED WITH TAPE.
16. ALL OPENINGS TO BE CAULKED, SEALED AND WEATHERSTRIPPED.
17. ALL EXTERIOR WINDOWS AND DOORS SHALL INSTALLED WITH FLASHING AT THE HEAD TO PROVIDE POSITIVE WATER FLOW AWAY FROM THE STRUCTURE.
18. SHOWERS SHALL BE FLOW CONTROLLED TO 2.5 GPM AT 80 PSI AND MIXING VALVES SHALL COMPLY WITH ASSE 1016.
19. ALL BATHROOM, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT AND VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH A GLAZING AREA OF NOT LESS THAN 3 SF, ONE HALF OF WHICH MUST BE OPERABLE. IF AN OPERABLE WINDOW IS NOT PROVIDED, MECHANICAL VENTILATION SHALL BE PROVIDED, CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING AN EXHAUST RATE OF 50 CFM IF INTERMITTENT, AND 20 CFM IF CONTINUOUS EXHAUST IS PROVIDED.
20. KITCHEN EXHAUST SHALL BE VENTED TO THE OUTSIDE UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. KITCHEN VENTILATION SHALL BE PROVIDED AT THE RATE OF 100 CFM IF INTERMITTENT AND 25 CFM IF CONTINUOUS EXHAUST IS PROVIDED.
21. CLOTHES DRYER EXHAUST SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS. DRYER DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL TERMINATE NOT LESS THAN 3'-0" IN ANY DIRECTION FROM OPENINGS INTO THE BUILDING, AND BE EQUIPPED WITH A BACKDRAFT DAMPER.
22. HOT WATER HEATER SHALL MEET THE REQUIREMENTS OF THE IRC.
23. PROVIDE AN INTERCONNECTED SMOKE ALARM SYSTEM PER IRC R314, AND CARBON MONOXIDE DETECTOR PER IRC R315, POWERED BY 110V AC WITH BATTERY BACKUP. SMOKE ALARMS ARE TO BE INSTALLED ON EACH SEPARATE FLOOR OF THE RESIDENCE, INCLUDING THE BASEMENT. ALL ALARM DEVICES ARE TO BE INTERCONNECTED ON ALL FLOORS. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN CLOSE PROXIMITY TO THE BEDROOMS. SMOKE ALARMS SHALL COMPLY WITH NFPA 72.
24. WHERE ATTIC HAS A VERTICAL HEIGHT OF 30' OR MORE, PROVIDE ATTIC ACCESS 22 INCHES BY 30 INCHES AS LOCATED ON THE PLANS. PROVIDE 30" MIN. UNOBSTRUCTED HEAD HEIGHT ABOVE THE ACCESS OPENING.
25. PROVIDE ATTIC AND CRAWLSPACE VENTILATION AT A RATE OF 1:800 WITH VAPOR BARRIER PER IRC 408 OF AREA VENTED. OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT MESH PER IRC REQUIREMENTS. PROVIDE A MINIMUM OF ONE VENT WITHIN 3'-0" OF EACH CORNER OF THE BUILDING.
26. PROVIDE CLEARANCE IN CRAWLSPACE OF 18" MINIMUM FOR JOISTS AND 12" FOR BEAMS.
27. PROVIDE CRAWLSPACE ACCESS OPENINGS AS FOLLOWS: FOR FLOOR HATCHES 18" X 24" MINIMUM. FOR PERIMETER WALL ACCESS 16" X 24" MINIMUM. WHERE PERIMETER ACCESS IS PROVIDED BELOW GRADE, A 16" X 24" AREAWAY SHALL BE PROVIDED.
28. DOORS BETWEEN GARAGE AND RESIDENCE TO BE SELF-CLOSING, TIGHT FITTING SOLID WOOD DOORS (1-3/8" MINIMUM THICKNESS) OR 20 MIN. RATED DOORS.
29. GARAGES SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM SUCH ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD STRUCTURE SUPPORTING SUCH FLOOR CEILING ASSEMBLIES SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD. EXTERIOR WALLS OF GARAGES LOCATED WITHIN 3'-0" OF A DWELLING UNIT ON THE SAME LOT SHALL BE PROTECTED WITH NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE INSIDE OF THE EXTERIOR WALLS OF THE GARAGE. (DOES NOT APPLY TO WALLS THAT ARE PERPENDICULAR TO RESIDENCE WALL)
30. EVERY BASEMENT AND SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR ESCAPE OR RESCUE. ESCAPE/RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, AND HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24", AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". ESCAPE/RESCUE WINDOWS SHALL HAVE A SILL HEIGHT NOT EXCEEDING 44" ABOVE FINISHED FLOOR. ENCLOSED USABLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM WALL BOARD.
31. PROVIDE FIRE BLOCKING AT STAIRS BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND ALONG RUNS BETWEEN STUDS.
32. HEATING OR COOLING EQUIPMENT (INCLUDING HOT WATER HEATERS) LOCATED IN THE GARAGE AND WHICH GENERATE A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL.
33. CONTRACTOR DESIGNED SYSTEMS: (CONTRACTOR TO OBTAIN REQUIRED PERMITS) ELECTRICAL, PLUMBING, HVAC. CONTRACTOR DESIGNED SYSTEMS SHALL MEET ALL CODE AND OWNER REQUIREMENTS AND SHALL BE ADEQUATELY SIZED TO SUPPLY BUILDING SPACES AND PROVIDE FOR ANTICIPATED LOADS. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING AN INDOOR TEMPERATURE OF 68° F.
34. ALL DUCTWORK SHALL BE CONCEALED WITHIN WALL AND CEILING CONSTRUCTION UNLESS OTHERWISE SHOWN ON DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT BEFORE UTILIZING SPACE FOR DUCT WORK OR CREATING CHASES OR SOFFITS NOT SHOWN ON PLANS.



AVERAGE LOT GRADE CALC.

Table with columns for 'BUILDING ENVELOPE', 'LOT GRADE', and 'AVERAGE LOT GRADE'. Includes calculations for average lot grade based on corner elevations.

LEGAL DESCRIPTION

LOTS 12 THROUGH 13, INCLUSIVE, IN BLOCK 2 OF HOWARD HEIGHTS 2ND ADDITION, AS PER PLAT RECORDED IN VOLUME 1 OF PLATS, PAGE 59, RECORDS OF PIERCE COUNTY AUDITOR, TOGETHER WITH THE NORTH 15 FEET OF LOT 11 IN SAID BLOCK 2. SITUATED IN THE CITY OF RUSTON, COUNTY OF PIERCE, STATE OF WASHINGTON. SUBJECT TO AND TOGETHER WITH COVENANTS, RESTRICTIONS, AND EASEMENTS OF RECORD.

VICINITY MAP NO SCALE. SHEET INDEX. PROJECT DATA table with owner, address, tax parcel number, governing code, construction type, occupancy, zone, building areas, and open space calculation.

ENERGY CODE INFORMATION

Table of energy code information including R-values for building in areas of new construction and ceiling/insulation requirements.

ADDITIONAL ENERGY EFFICIENCY CREDIT

Table showing energy efficiency credit options for medium dwelling units, including minimum required credit and implemented options.

CURRY RESIDENCE

RUSTON, WASHINGTON

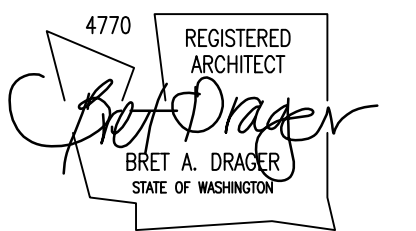


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

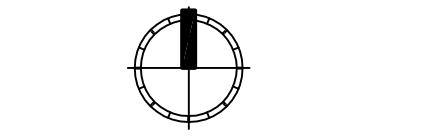
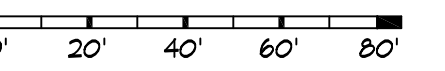
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

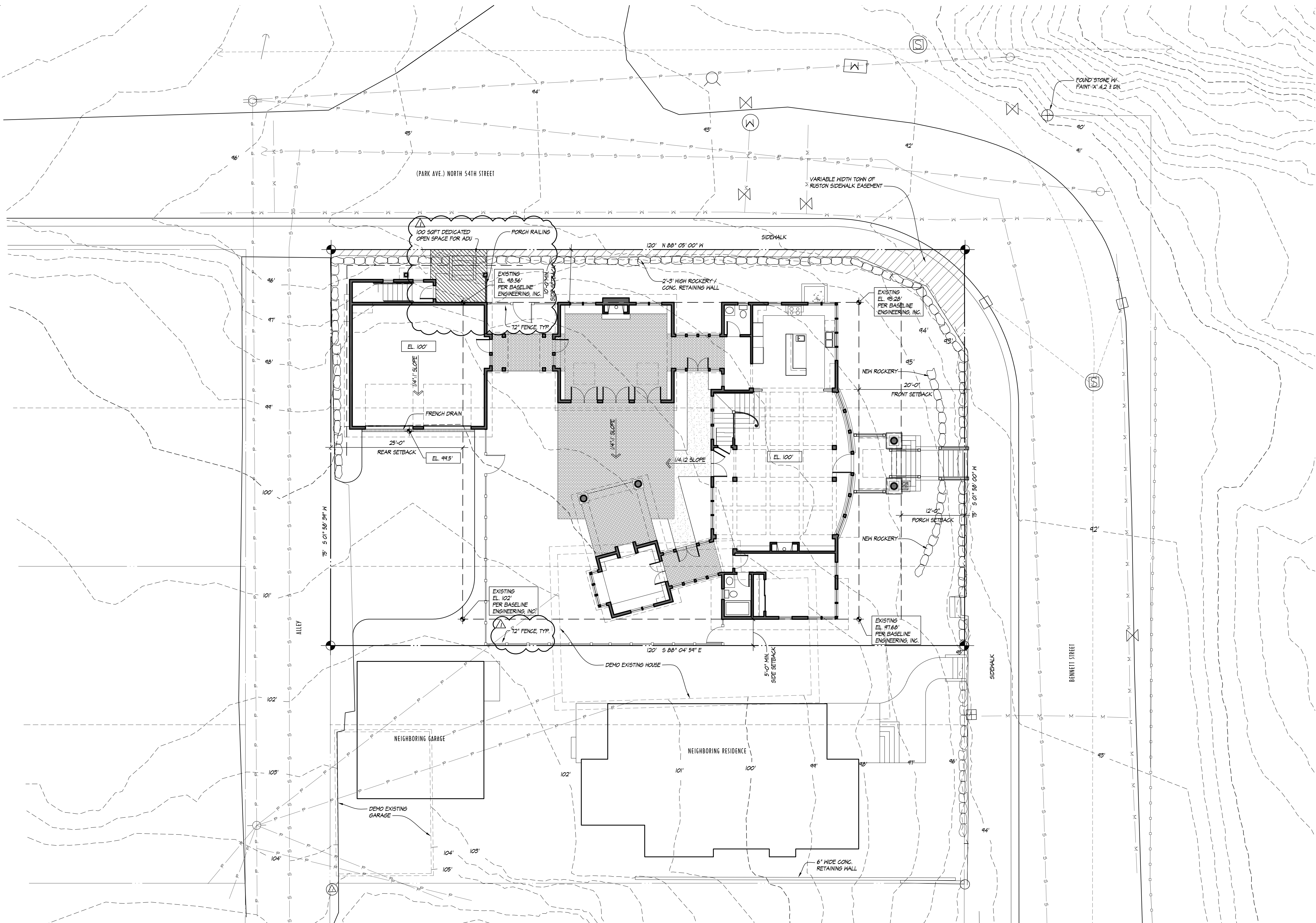
REVISIONS:
▲ FENCE, ADU, LIGHTS - 12/13/2016

SCALE: 1/8" = 1'-0" SITE PLAN



REF NORTH

SHEET TITLE: SITE PLAN



SITE PLAN
1/8" = 1'-0"

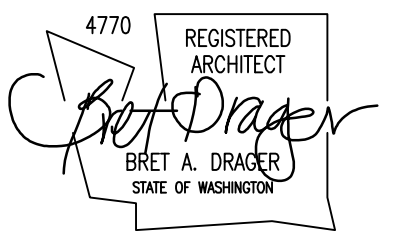


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

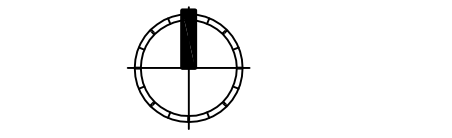
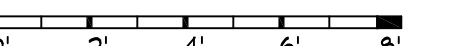
PERMIT SET

DATE: 11/14/2016

REVISIONS:

▲ FENCE, ADU, LIGHTS - 12/13/2016

SCALE: 1/4" = 1'-0"

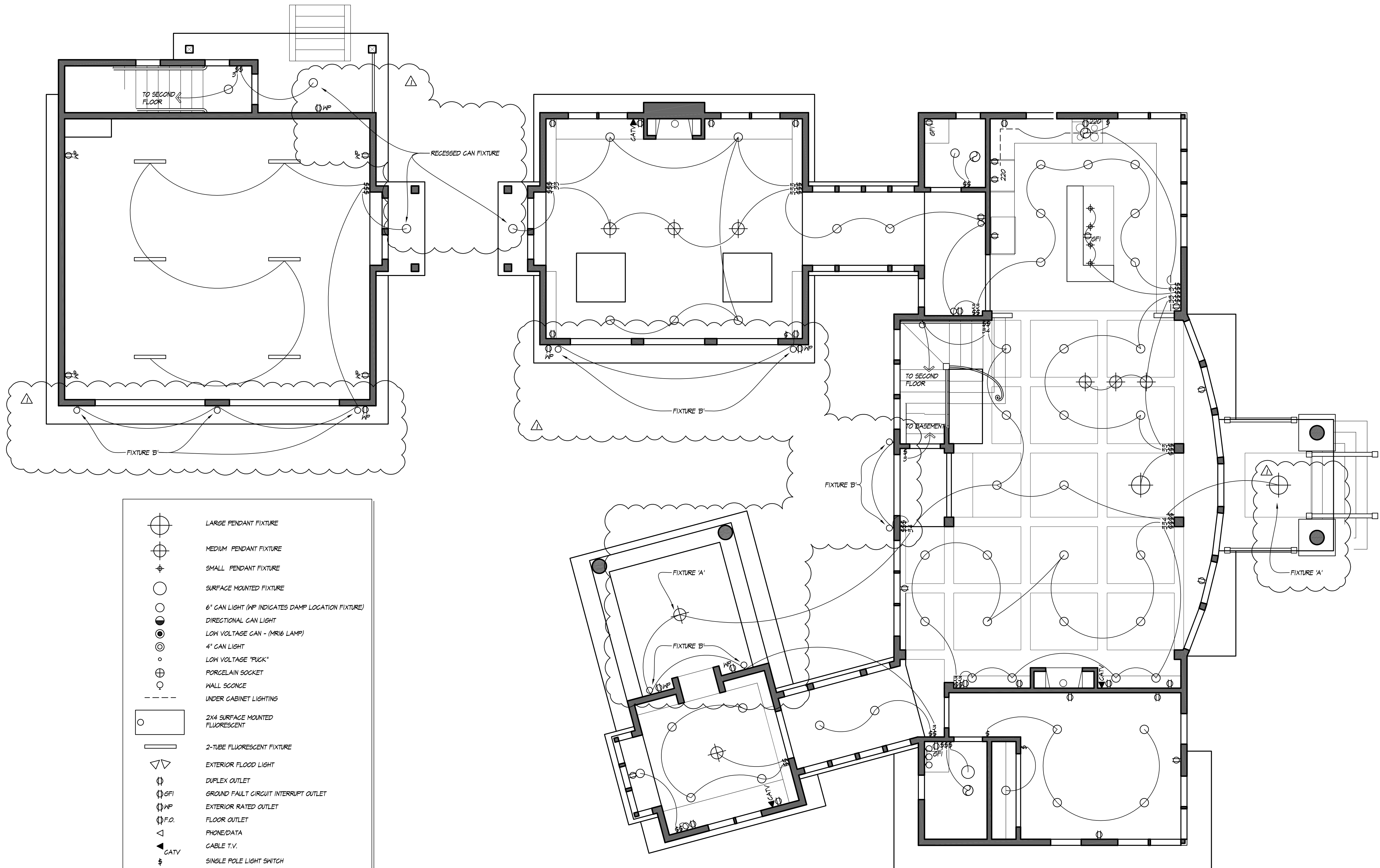


REF NORTH

SHEET TITLE: MAIN FLOOR ELECTRICAL
PLAN

SHEET NUMBER: E1.0

© COPYRIGHT - DRAGER ARCHITECTURE



	LARGE PENDANT FIXTURE
	MEDIUM PENDANT FIXTURE
	SMALL PENDANT FIXTURE
	SURFACE MOUNTED FIXTURE
	6" CAN LIGHT (MP INDICATES DAMP LOCATION FIXTURE)
	DIRECTIONAL CAN LIGHT
	LOW VOLTAGE CAN - (MR16 LAMP)
	4" CAN LIGHT
	LOW VOLTAGE "PUCK"
	PORCELAIN SOCKET
	WALL SCONCE
	UNDER CABINET LIGHTING
	2X4 SURFACE MOUNTED FLUORESCENT
	2-TUBE FLUORESCENT FIXTURE
	EXTERIOR FLOOD LIGHT
	DUPLEX OUTLET
	GROUND FAULT CIRCUIT INTERRUPT OUTLET
	EXTERIOR RATED OUTLET
	FLOOR OUTLET
	PHONE/DATA
	CABLE T.V.
	SINGLE POLE LIGHT SWITCH
	3 WAY LIGHT SWITCH
	4 WAY LIGHT SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	CONTROL LOCATION (THERMOSTAT, ETC.)
	FAN
	FANLIGHT (WHERE NOTED ON PLAN)

NOTE:
VERIFY ALL EQUIPMENT AND APPLIANCE REQUIREMENTS WITH OWNER PRIOR TO HIRING INSTALLATION.

MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

Sumner Court Collection
 Sumner Court 1 Light Outdoor Pendant in WZC
 49663WZC

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



FIXTURE TYPE 'A' Ordering Information

Product ID	49663WZC
Collection	Sumner Court Collection

Dimensions

Base Backplate	5.00 SQ
Chain/Stem Length	72.00"
Weight	12.00 LBS

Specifications

Material	Aluminum
Glass Description	Etched Seeded

Electrical

Voltage	120V
Lead Wire Length	29.00"

Qualifications

Safety Rated	Damp
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
Number of Lights/LEDs	1
Max or Nominal Watt	150W
Socket Wire	105
Socket Type	Medium
Lamp Type	A21

Dimensions

Height	20.50"
Overall Height	95.00"
Width	11.75"

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	30-52W		

Sumner Court Collection
 Sumner Court Large Outdoor Wall Lantern in
 WZC

49661WZC

FIXTURE TYPE 'B'



Dimensions

Height	15.00"
Width	9.00"

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	23-30W		

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Ordering Information

Product ID	49661WZC
Collection	Sumner Court Collection

Dimensions

Extension	10.00"
Height from center of Wall opening	5.00"
Base Backplate	5.00 X 9.00
Weight	8.00 LBS

Specifications

Material	Aluminum
Glass Description	Etched Seeded

Electrical

Voltage	120V
---------	------

Qualifications

Safety Rated	Wet
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
Number of Lights/LEDs	1
Max or Nominal Watt	100W
Socket Wire	150
Socket Type	Medium
Lamp Type	A19

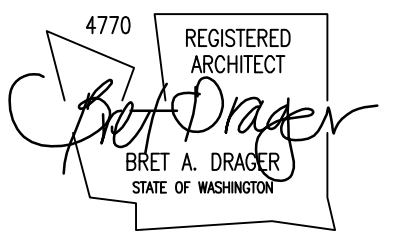


DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:



PROJECT:

CURRY RESIDENCE

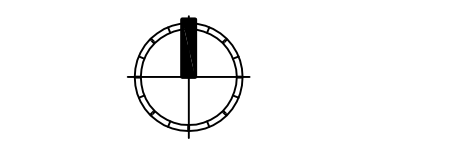
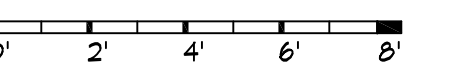
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

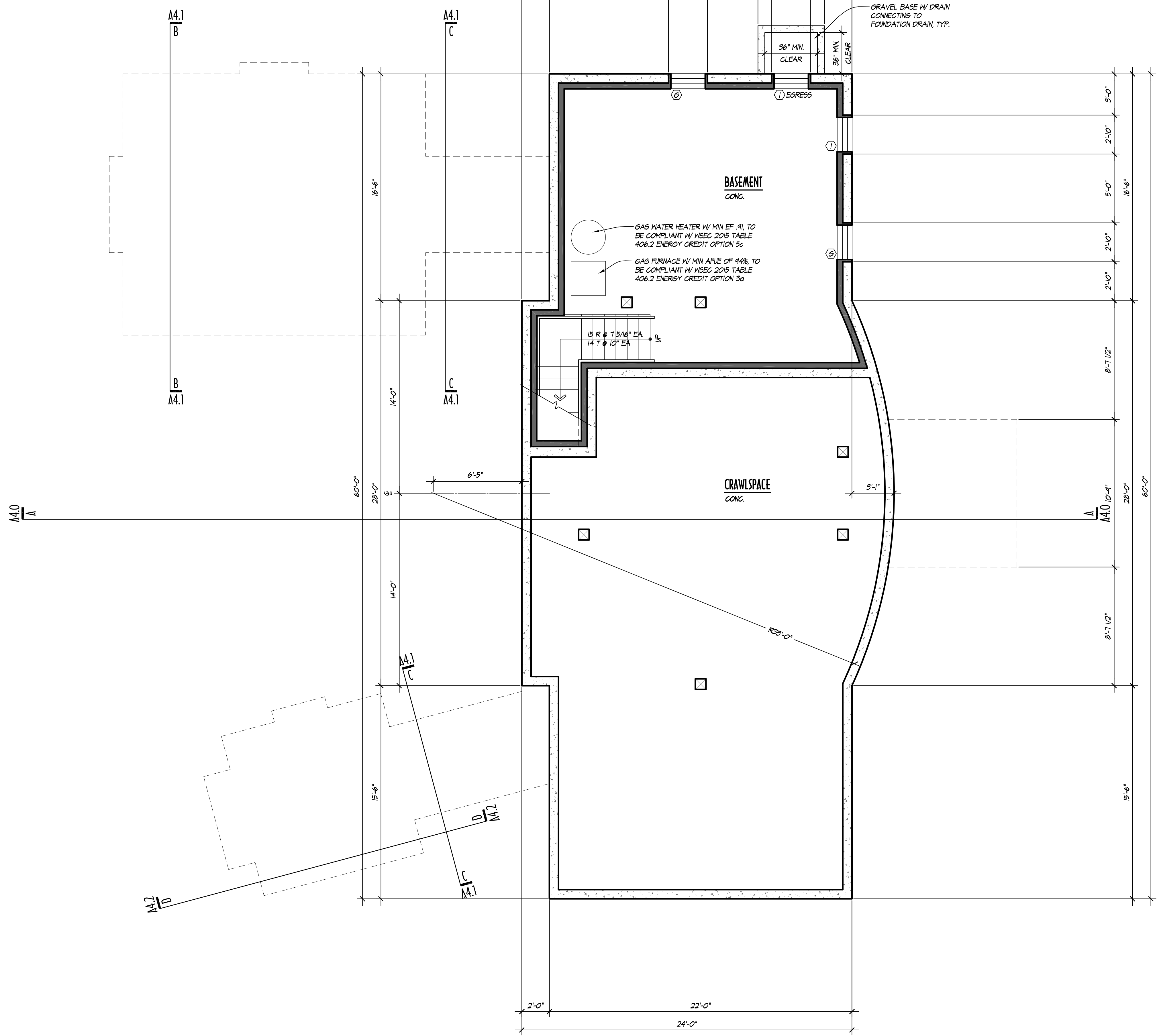
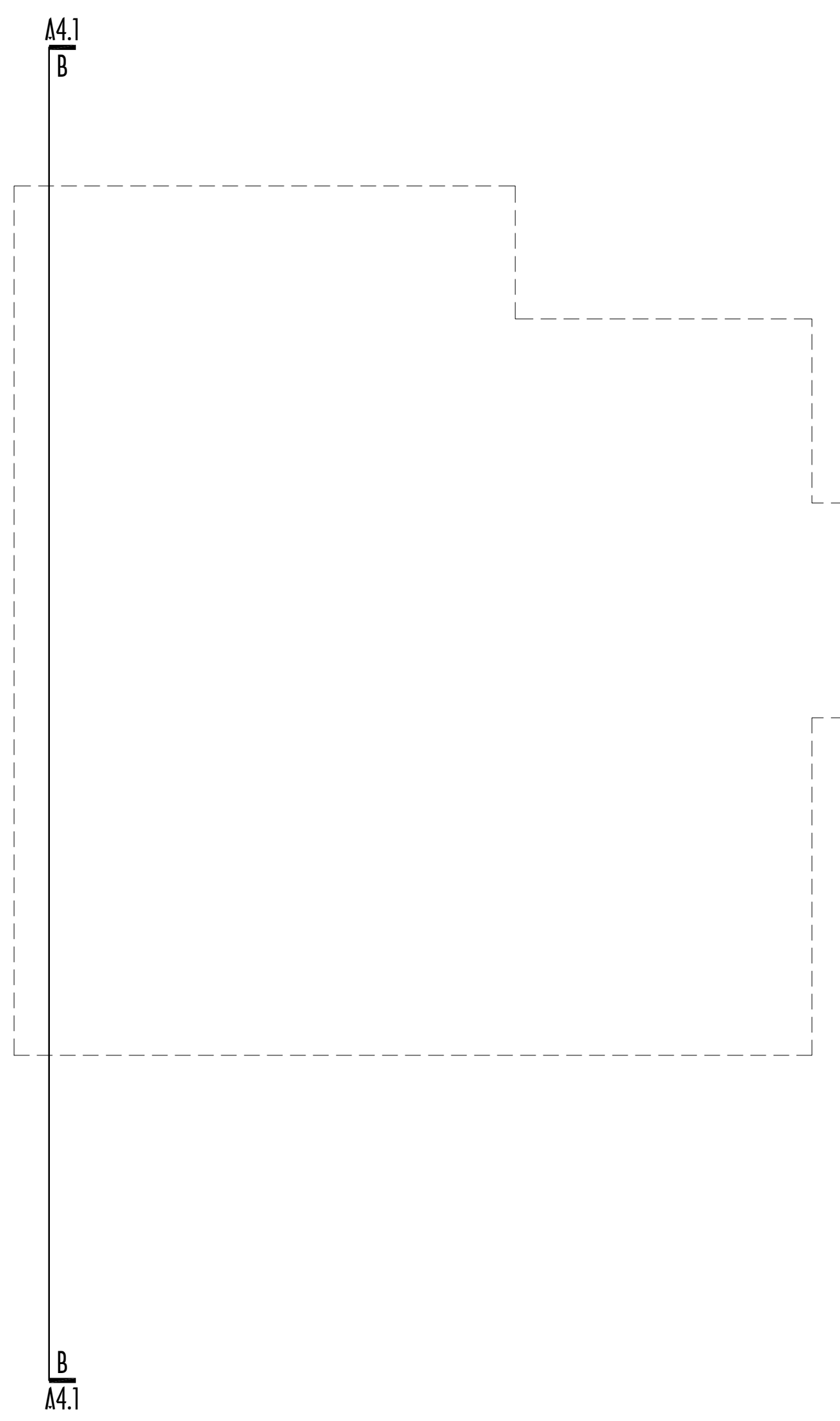


REF NORTH

SHEET TITLE: BASEMENT PLAN

SHEET NUMBER: A2.0

© COPYRIGHT - DRAGER ARCHITECTURE



BASEMENT PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 3a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

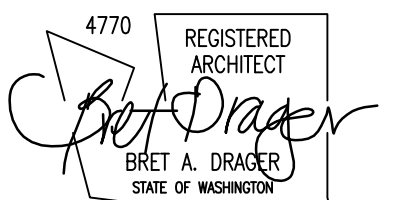


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

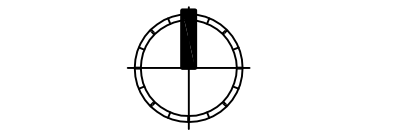
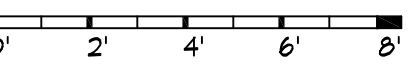
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

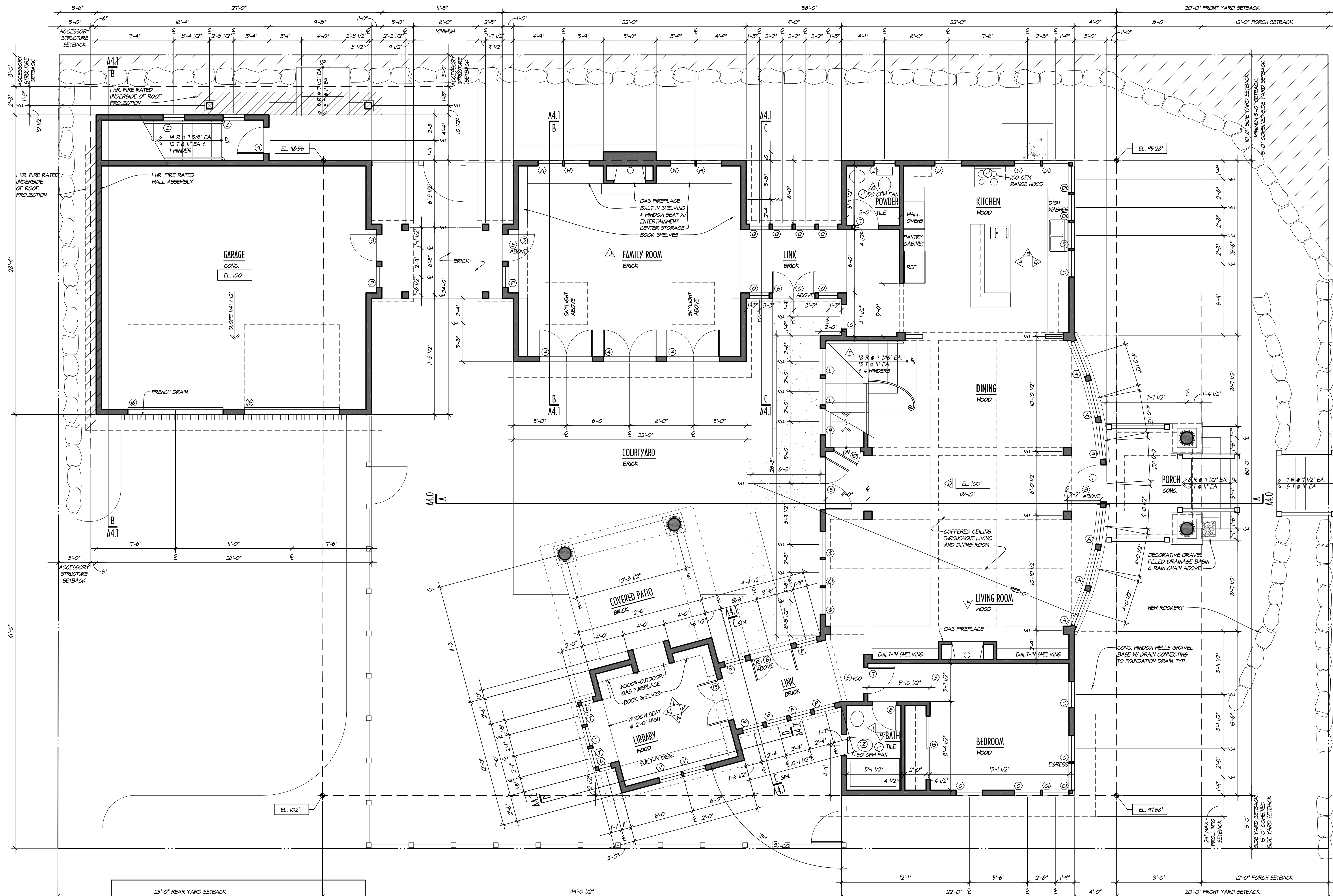


REF NORTH

SHEET TITLE: MAIN FLOOR PLAN

SHEET NUMBER: **A2.1**

© COPYRIGHT - DRAGER ARCHITECTURE



MAIN FLOOR PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 5a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB



NEIGHBORING GARAGE



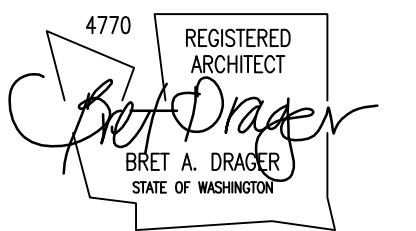
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

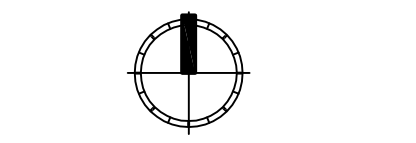
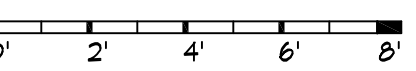
PERMIT SET

DATE: 11/14/2016

REVISIONS:

Blank lines for revision notes.

SCALE: 1/4" = 1'-0"



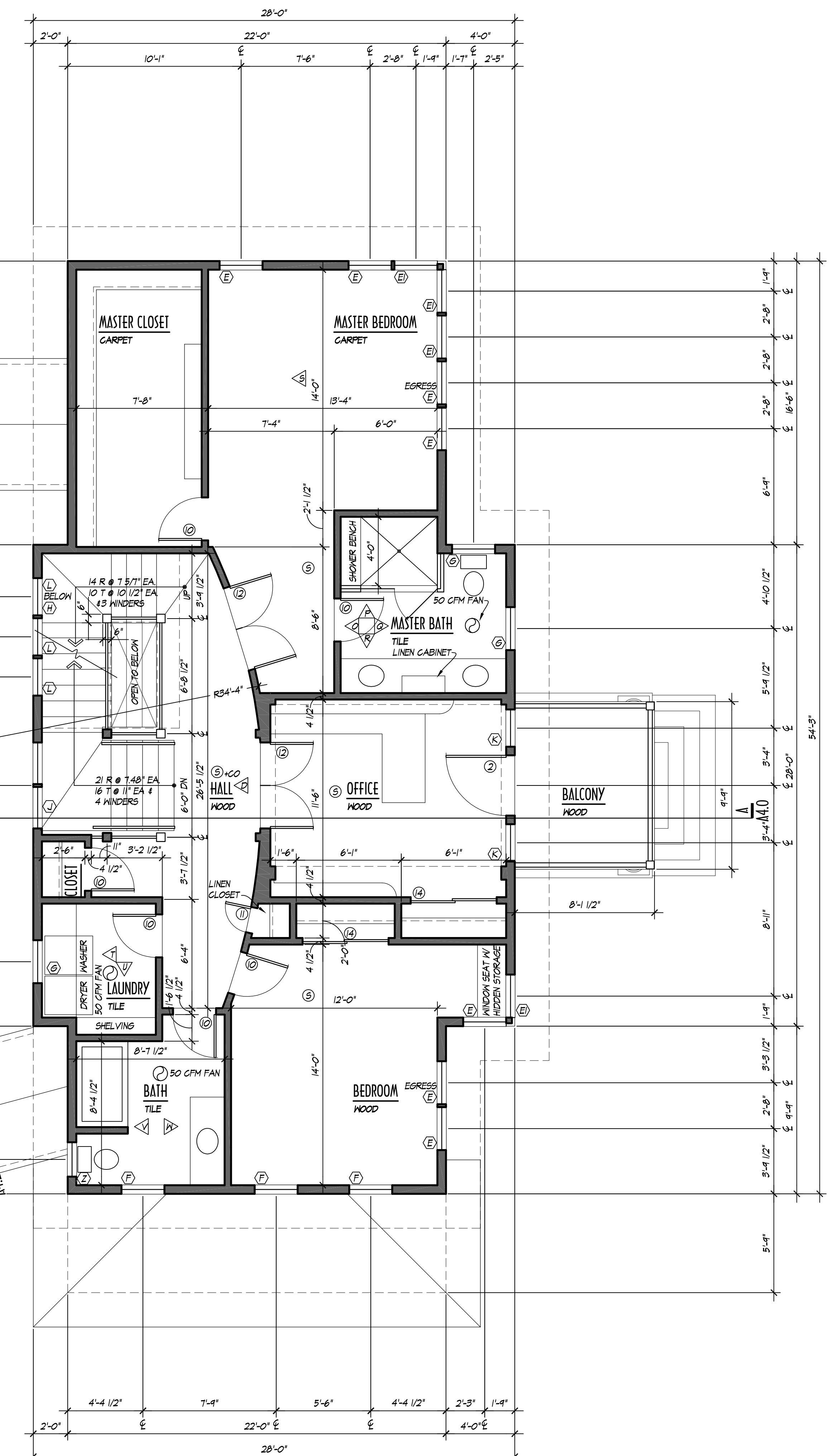
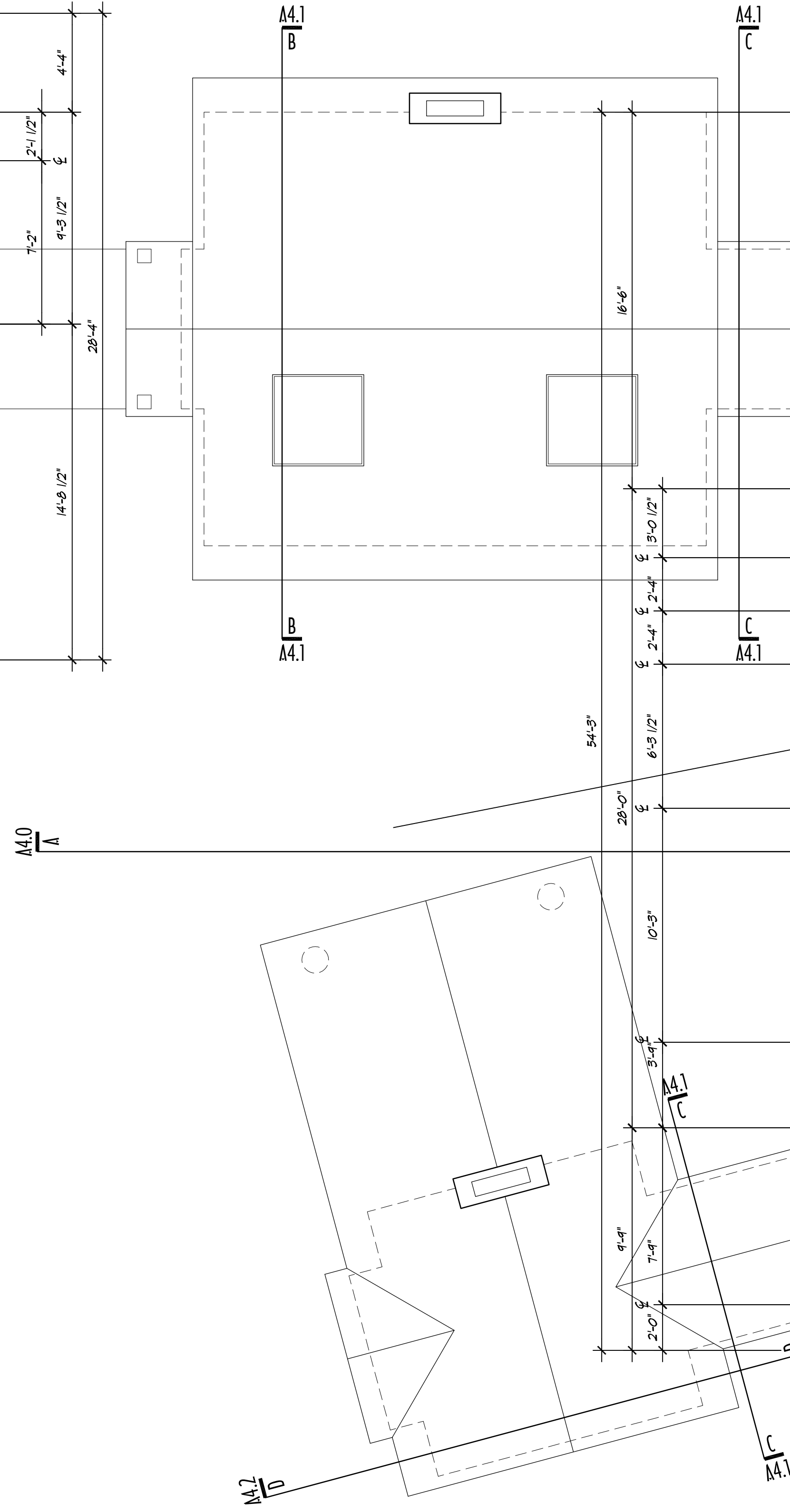
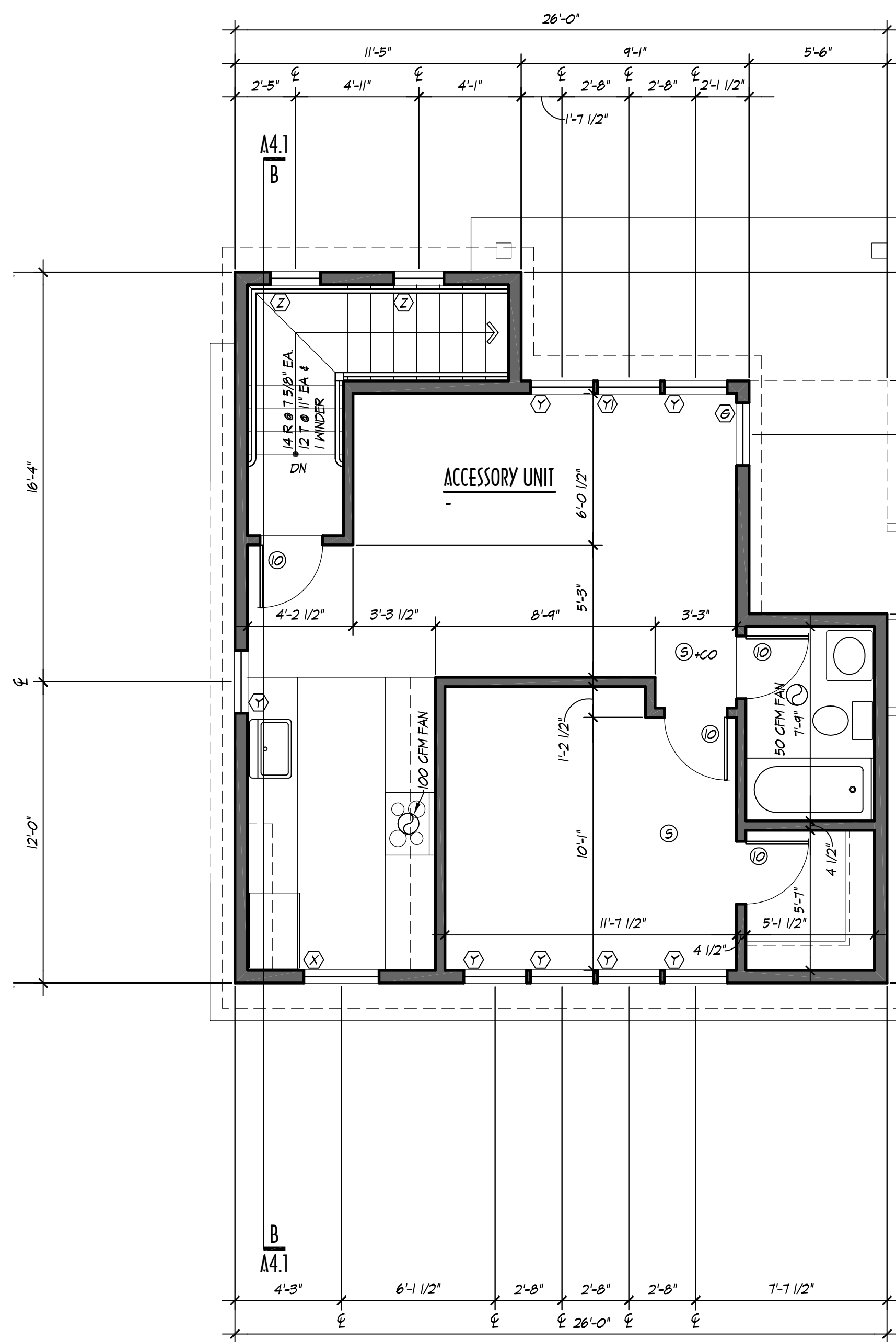
REF NORTH

SHEET TITLE: UPPER FLOOR PLAN

Blank lines for sheet information.

SHEET NUMBER: A2.2

COPYRIGHT - DRAGER ARCHITECTURE



UPPER FLOOR PLAN 1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 3a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

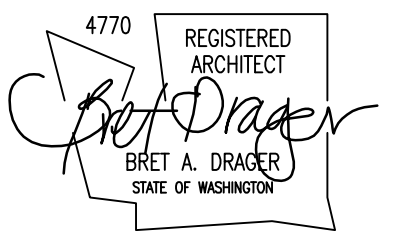


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

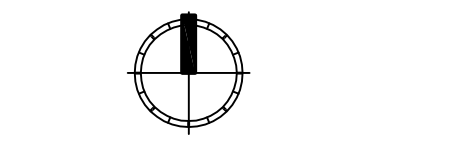
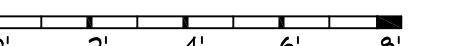
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

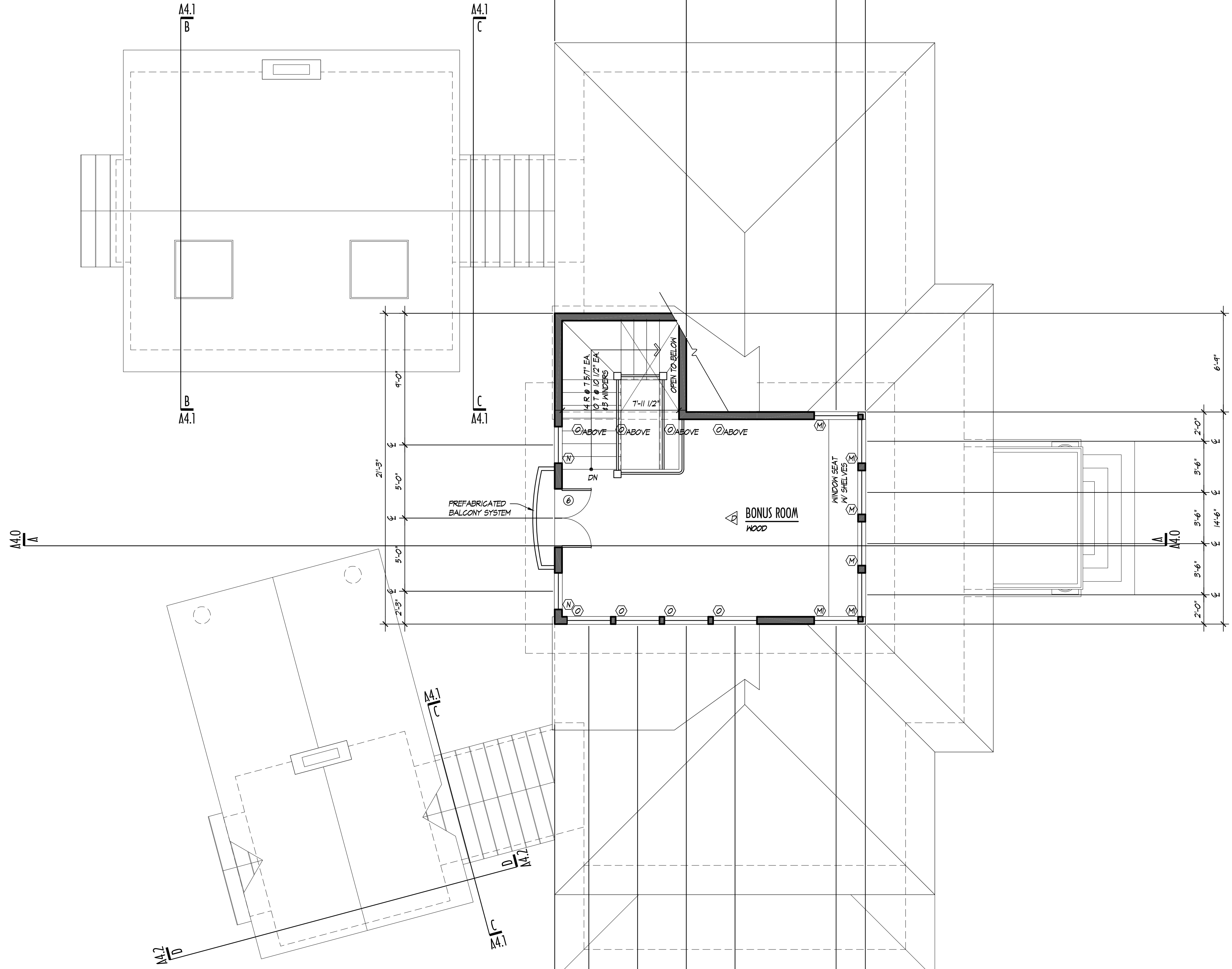
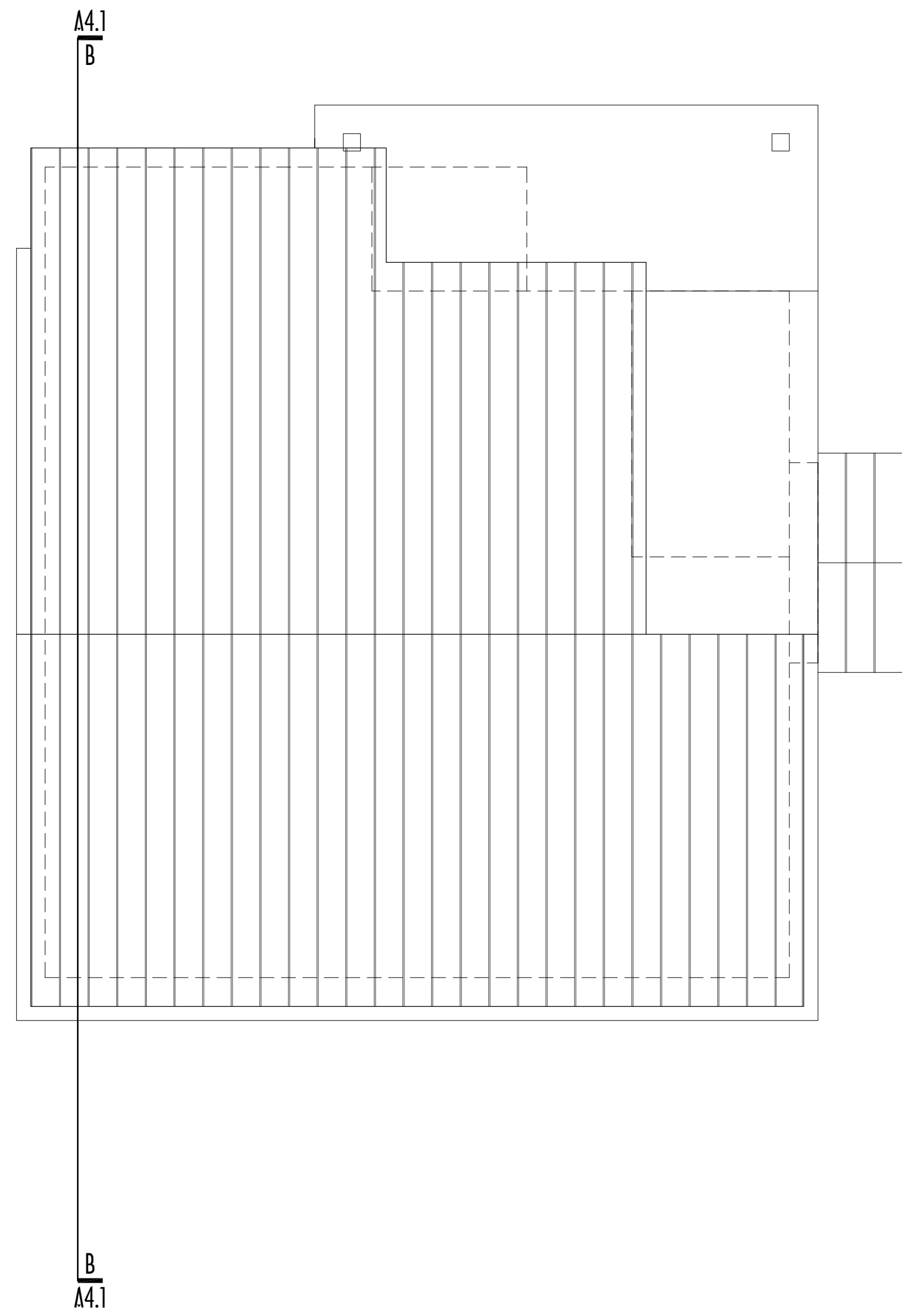


REF NORTH

SHEET TITLE: LOFT PLAN

SHEET NUMBER: A2.3

© COPYRIGHT - DRAGER ARCHITECTURE



LOFT PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 5a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB



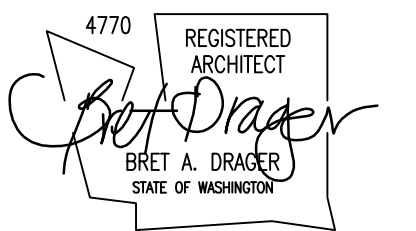
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

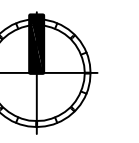
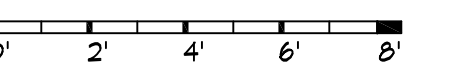
PERMIT SET

DATE: 11/14/2016

REVISIONS:

Blank lines for revision notes.

SCALE: 1/4" = 1'-0"



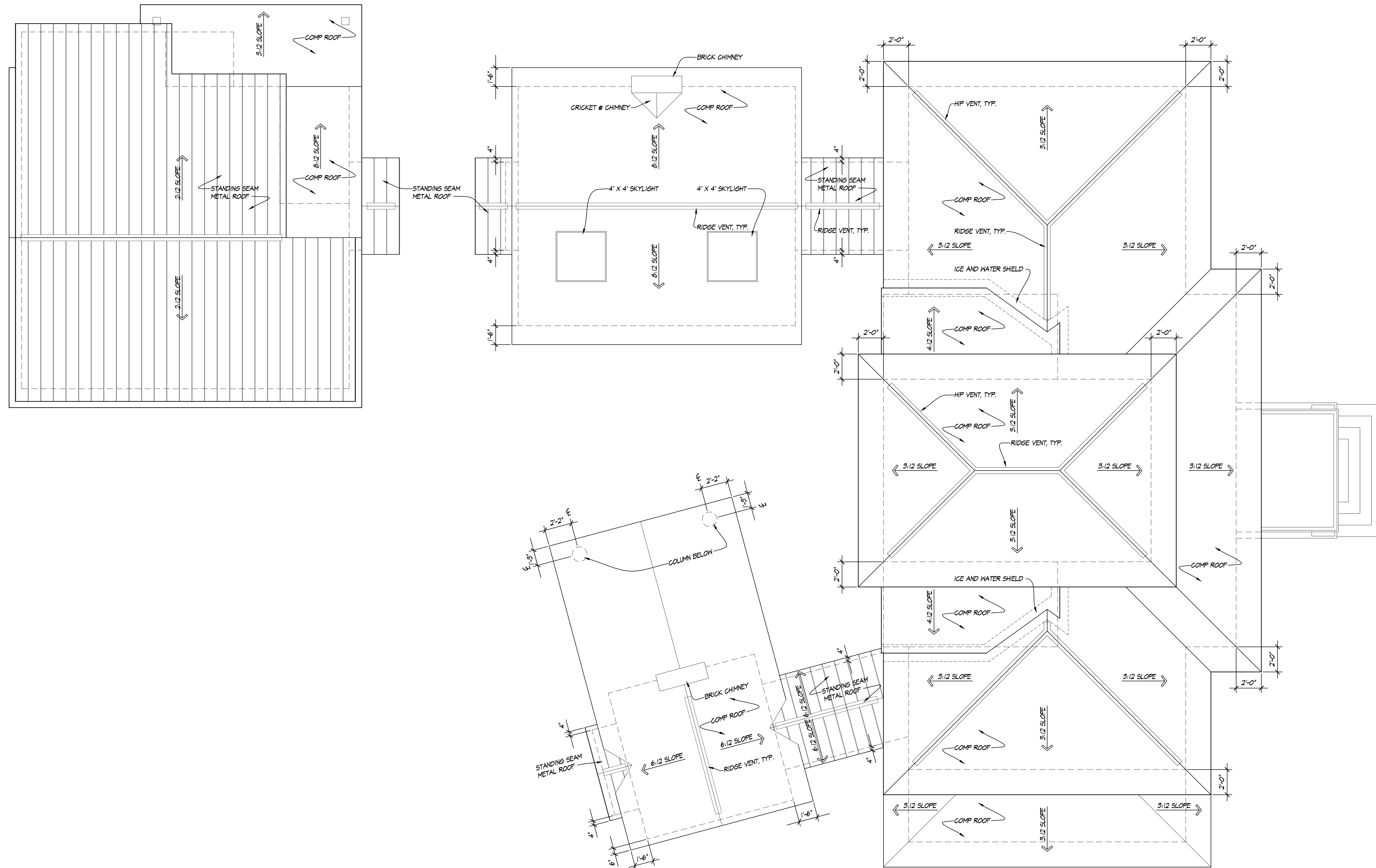
REF NORTH

SHEET TITLE: ROOF PLAN

Blank lines for sheet information.

SHEET NUMBER: A2.4

© COPYRIGHT - DRAGER ARCHITECTURE



ROOF PLAN
1/4" = 1'-0"



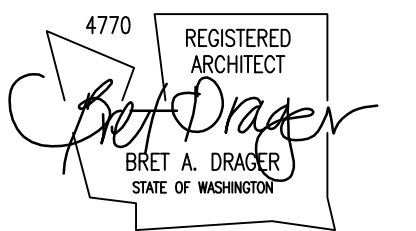
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for consultant information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

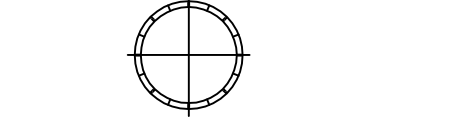
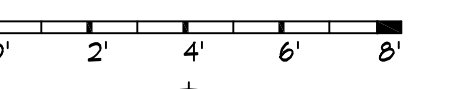
PERMIT SET

DATE: 11/4/2016

REVISIONS:

Blank lines for revision notes.

SCALE: 1/4" = 1'-0"



SHEET TITLE: ELEVATIONS EAST AND NORTH

Blank lines for sheet title.

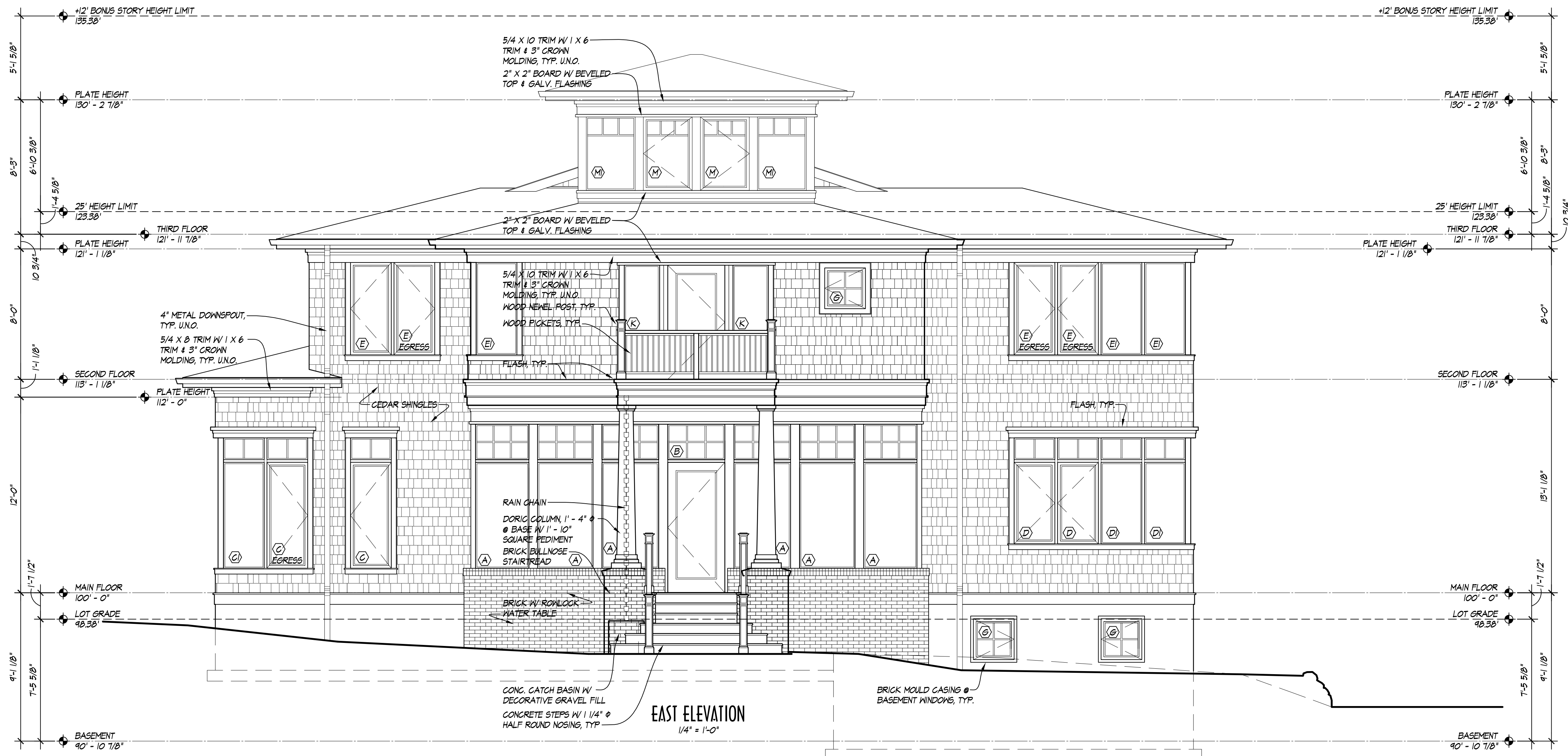
Blank lines for sheet title.

Blank lines for sheet title.

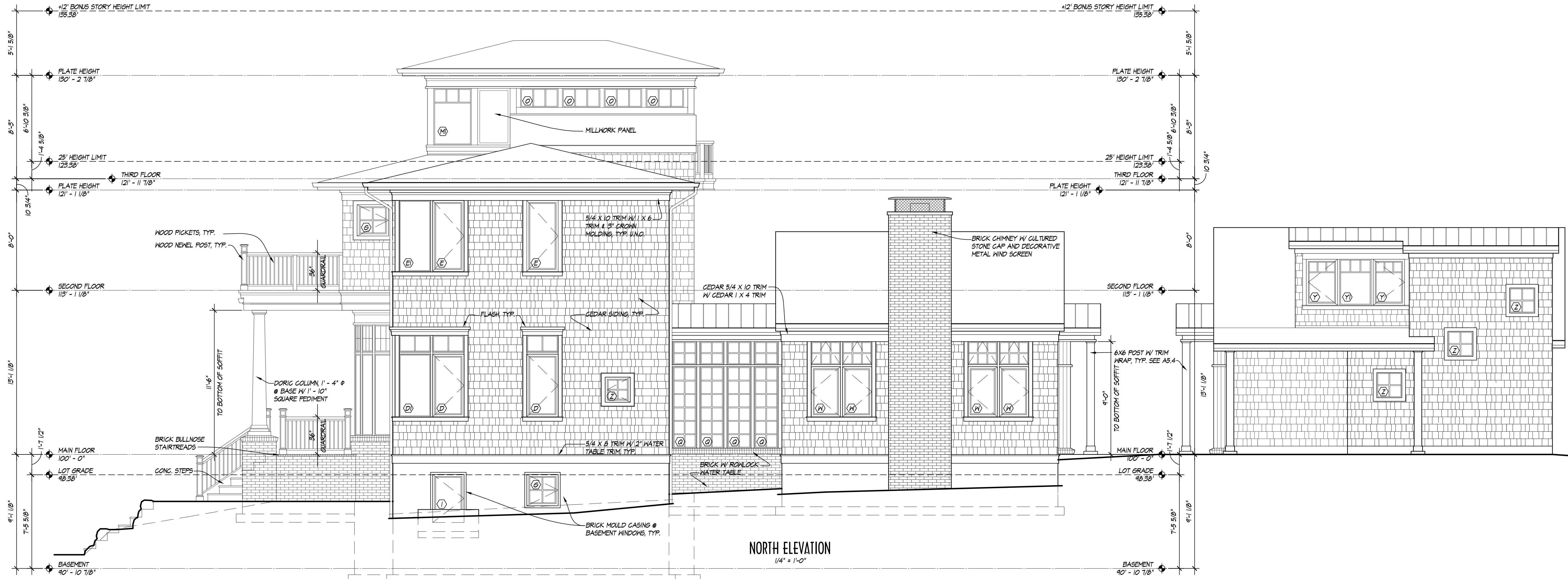
Blank lines for sheet title.

SHEET NUMBER: A3.0

© COPYRIGHT - DRAGER ARCHITECTURE



EAST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"

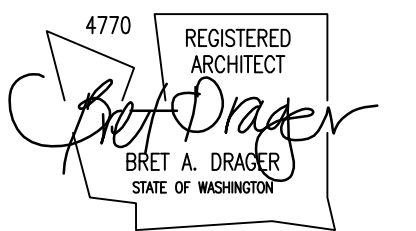


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

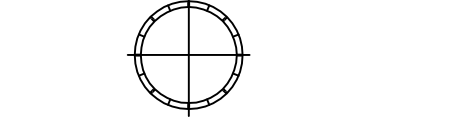
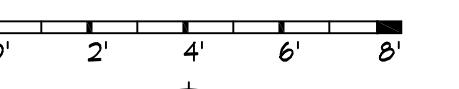
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

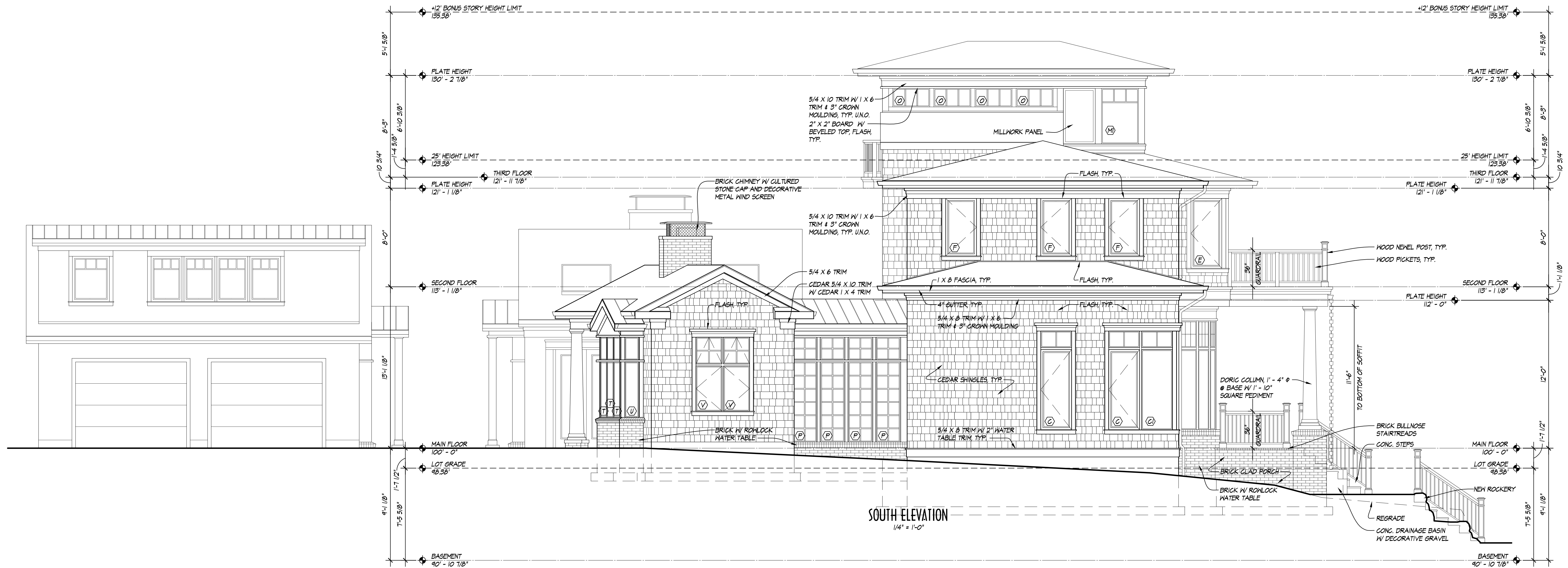


REF NORTH

SHEET TITLE: ELEVATIONS
SOUTH AND WEST

SHEET NUMBER: **A3.1**

© COPYRIGHT - DRAGER ARCHITECTURE



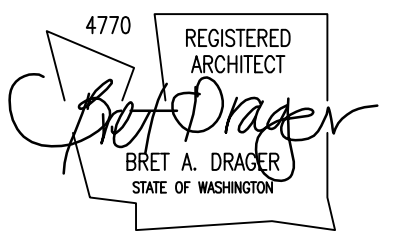


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

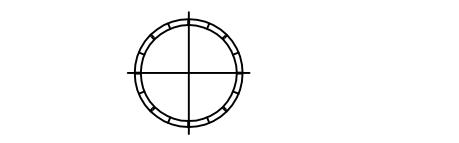
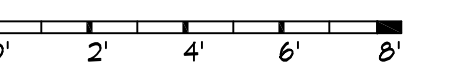
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"



REF NORTH

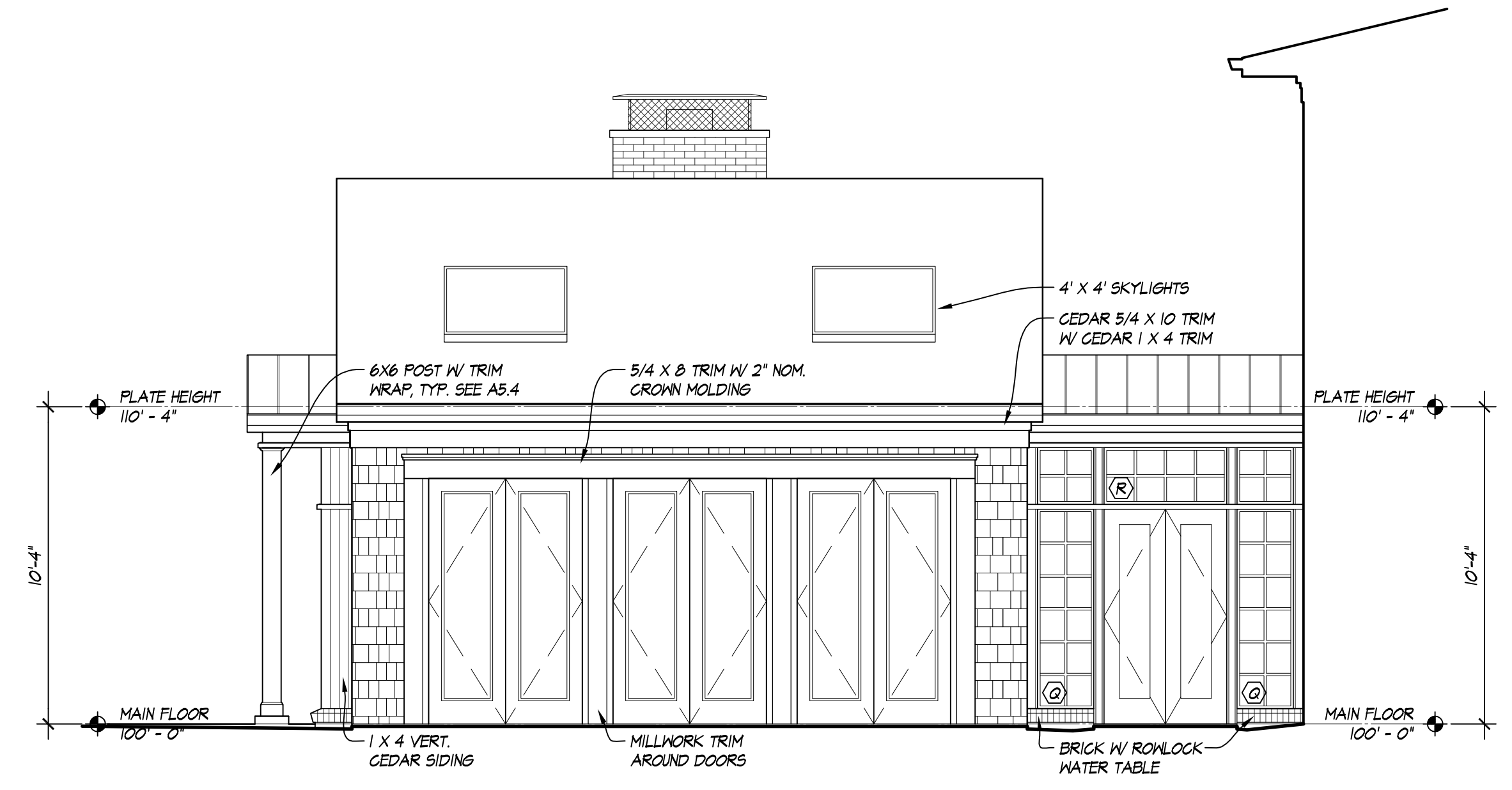
SHEET TITLE: ELEVATIONS
FAMILY ROOM AND LIBRARY

SHEET NUMBER: A3.2

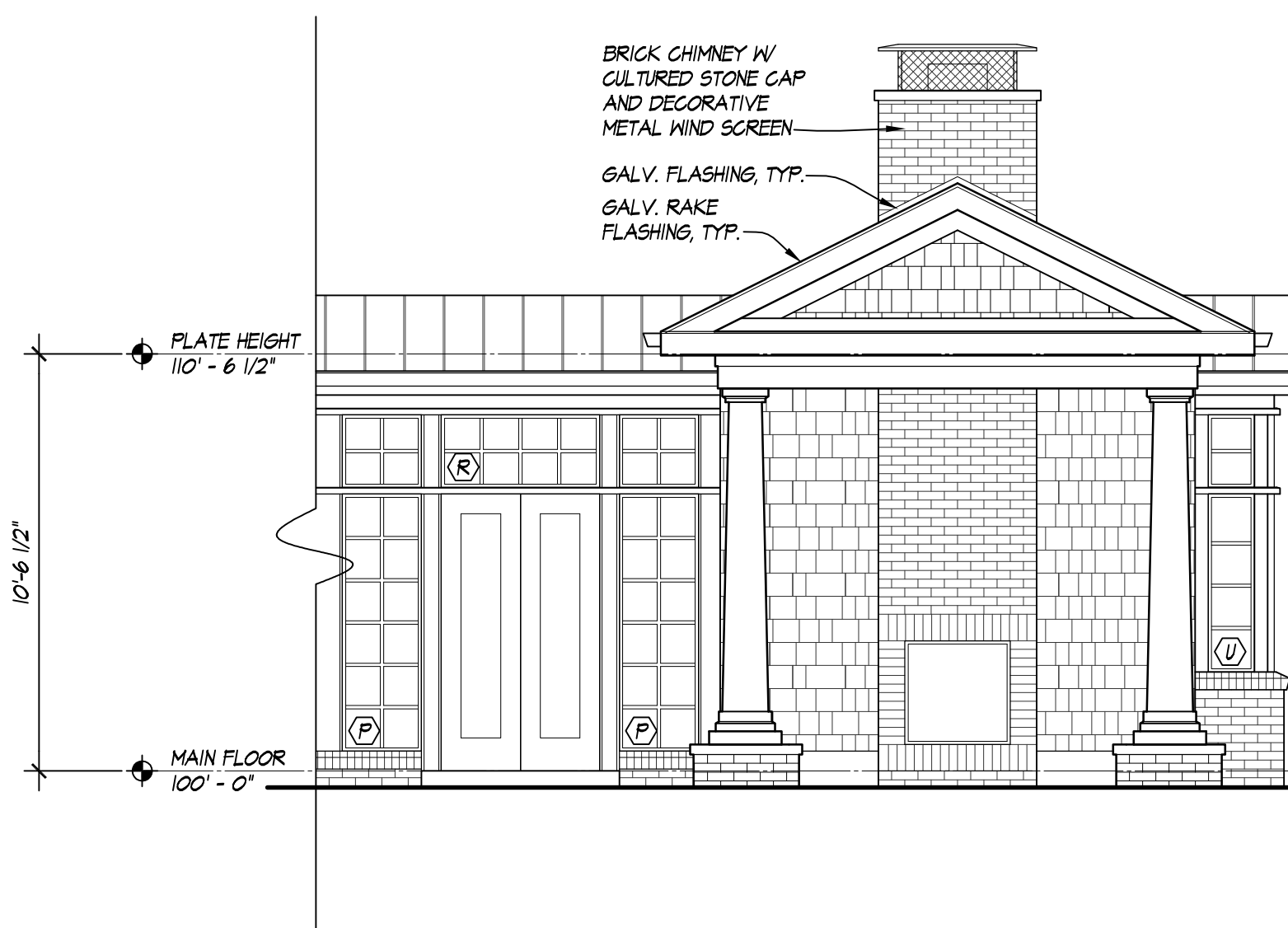
© COPYRIGHT - DRAGER ARCHITECTURE



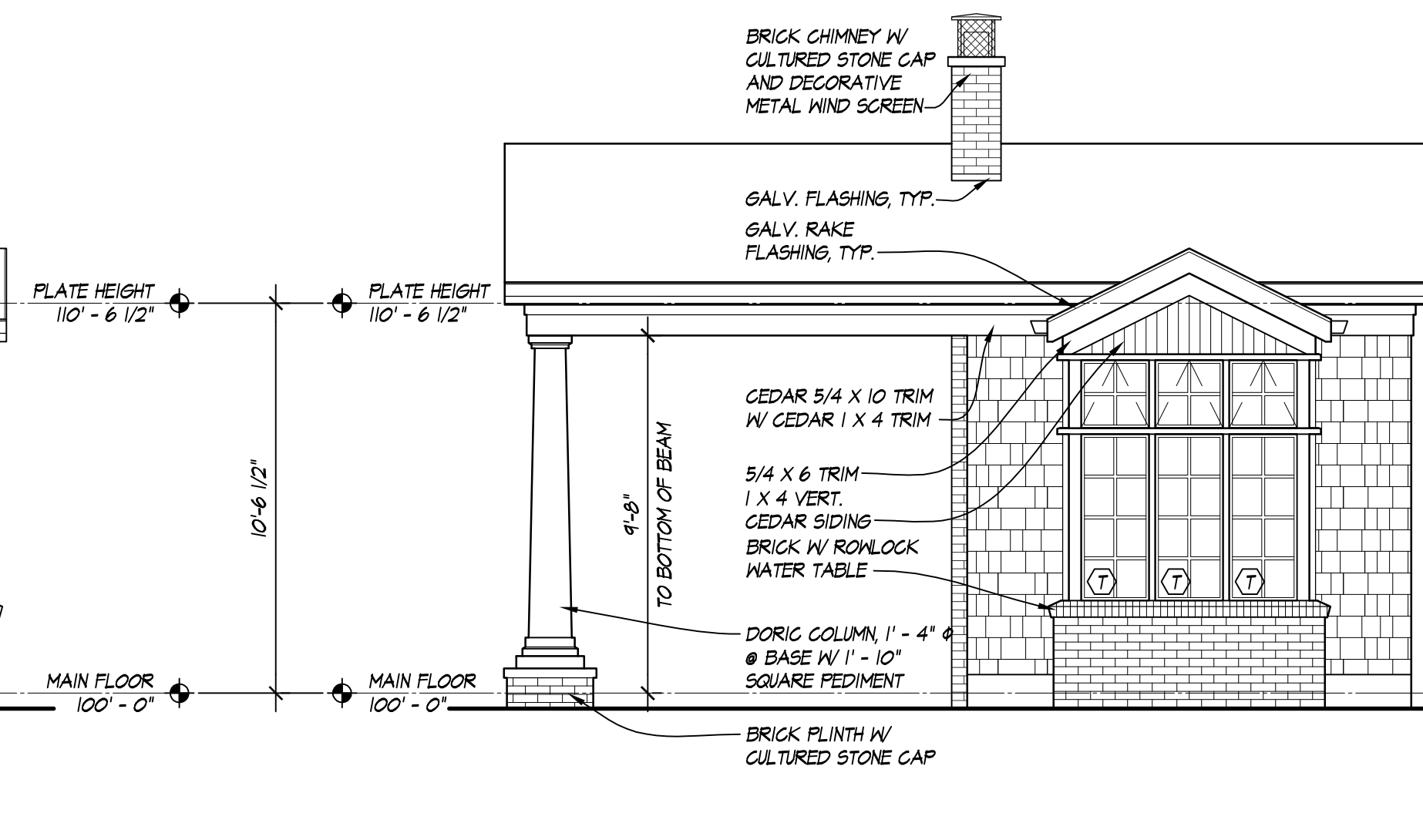
WEST ELEVATION: FAMILY ROOM
1/4" = 1'-0"



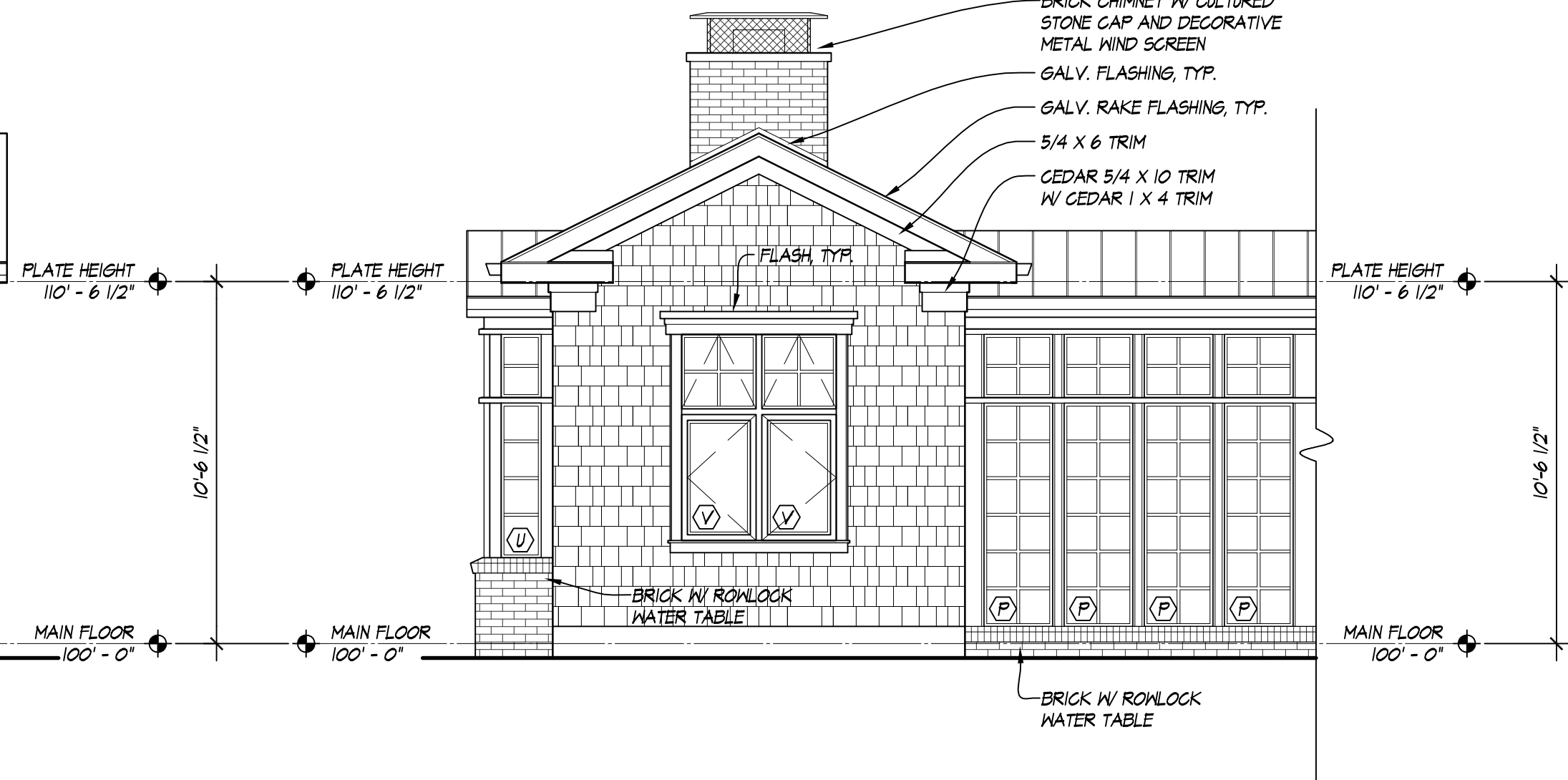
SOUTH ELEVATION: FAMILY ROOM
1/4" = 1'-0"



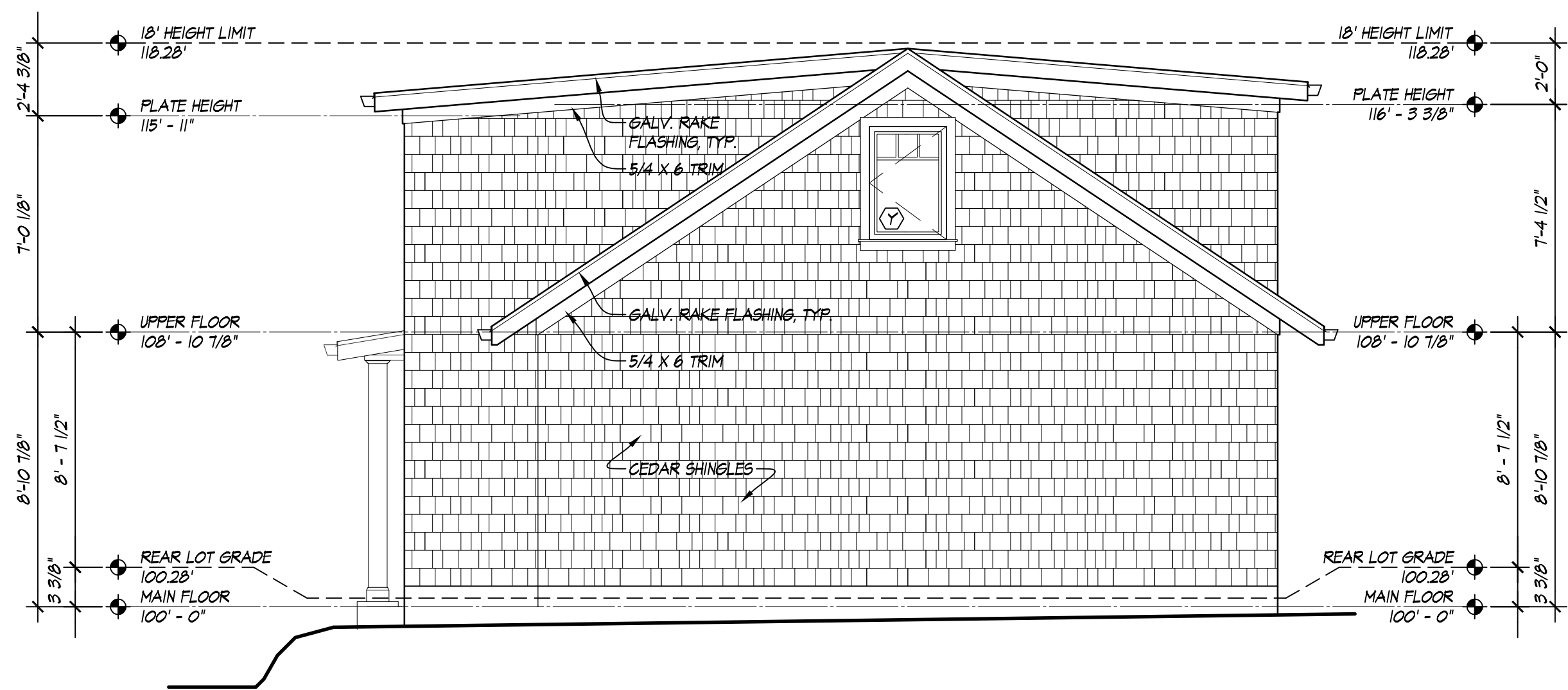
NORTH ELEVATION: LIBRARY
1/4" = 1'-0"



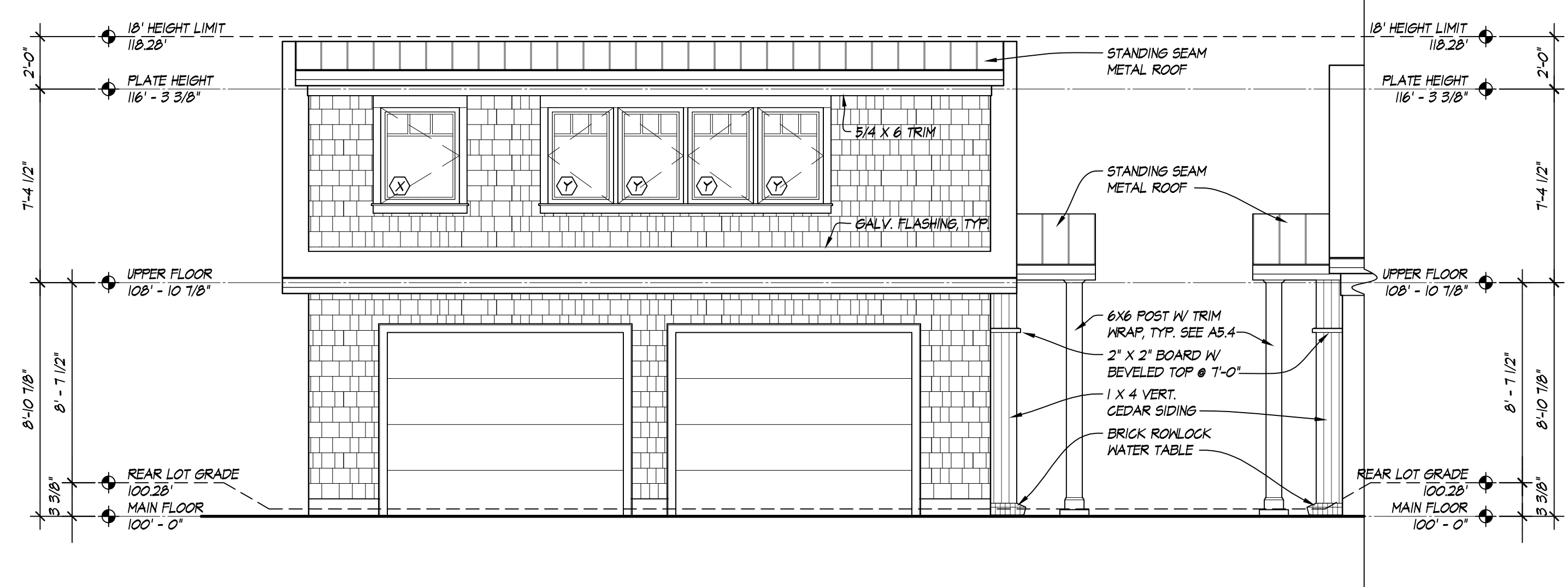
WEST ELEVATION: LIBRARY
1/4" = 1'-0"



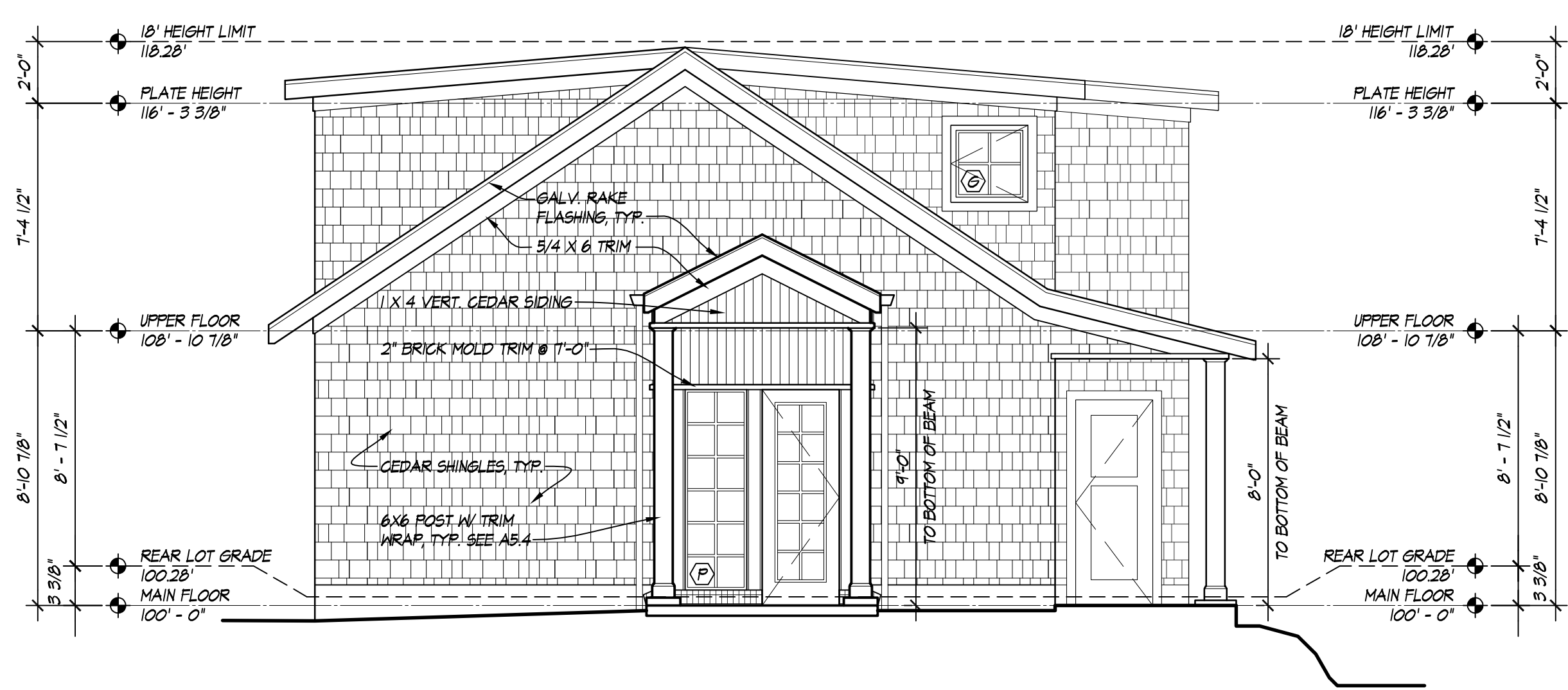
SOUTH ELEVATION: LIBRARY
1/4" = 1'-0"



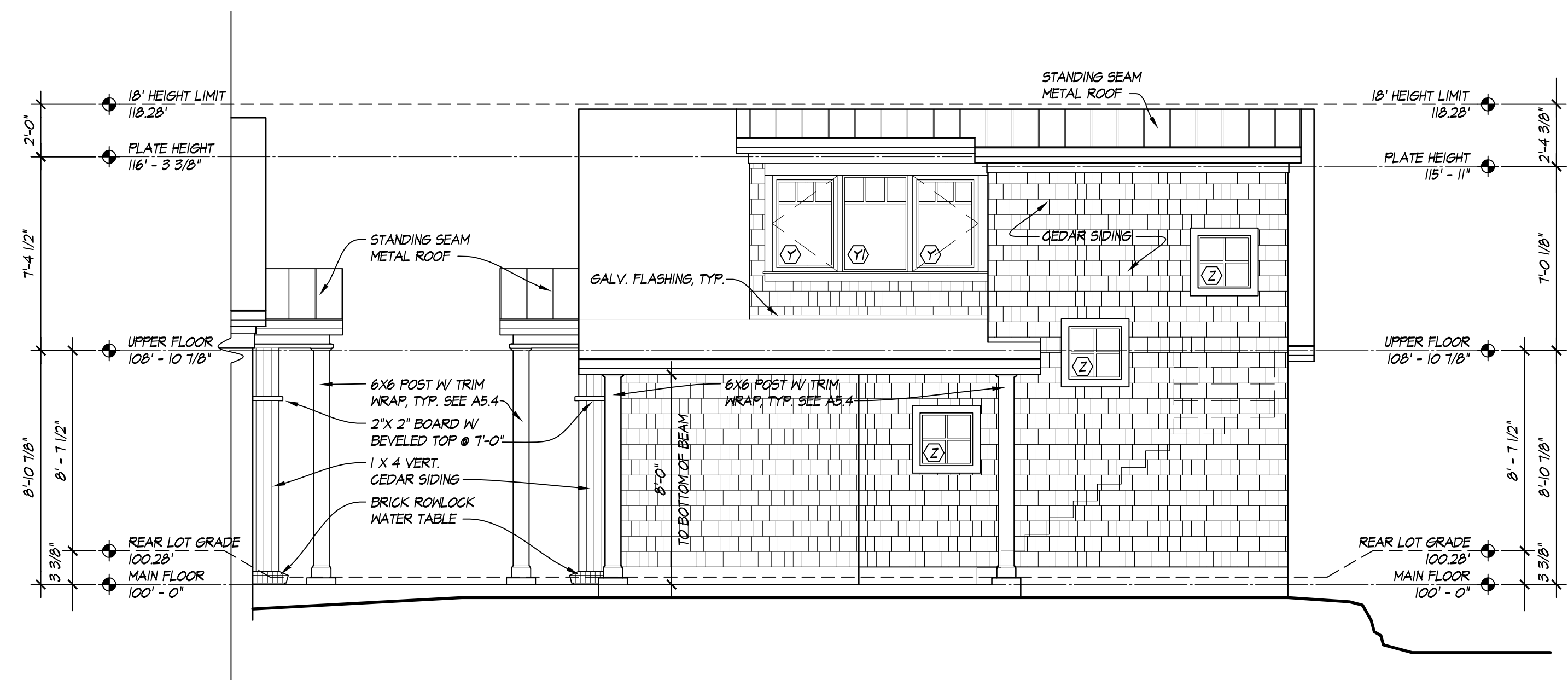
WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

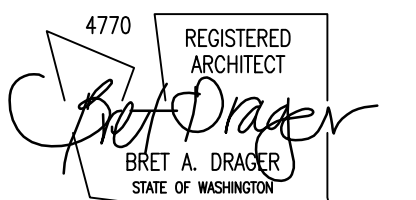


DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:



PROJECT:

CURRY RESIDENCE

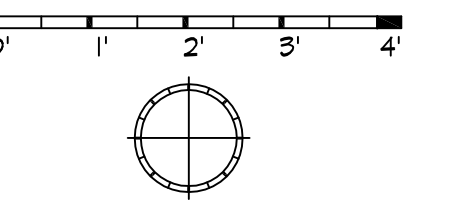
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

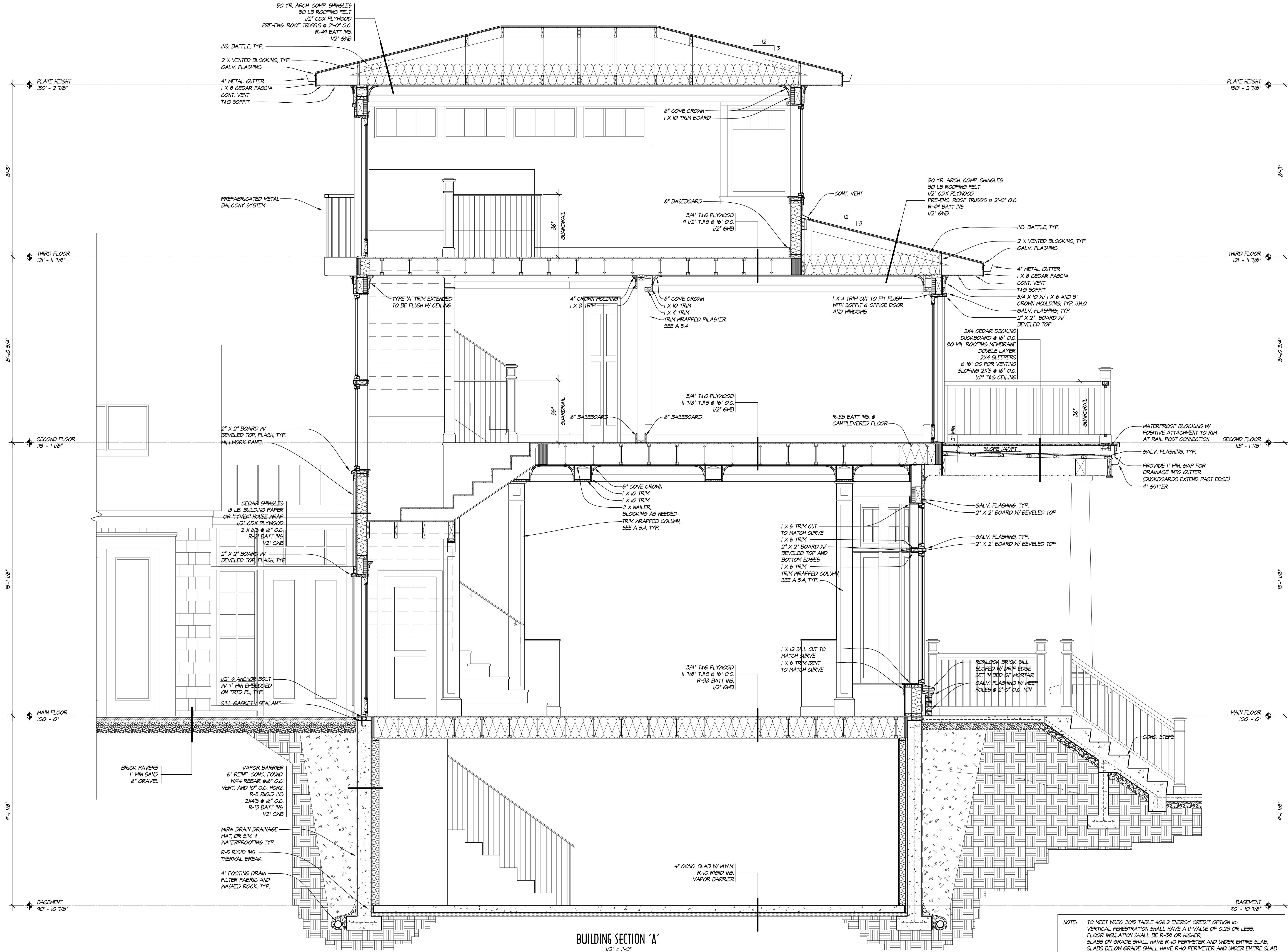


REF NORTH

SHEET TITLE: BUILDING SECTION 'A'

SHEET NUMBER: A4.0

© COPYRIGHT - DRAGER ARCHITECTURE



BUILDING SECTION 'A'
1/2" = 1'-0"

NOTE: TO MEET IBC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1b, VERTICAL PENETRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

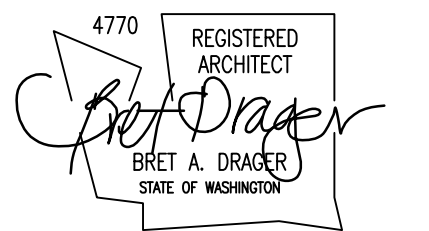


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

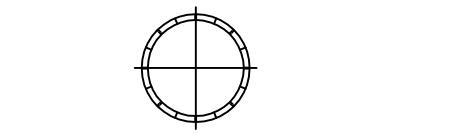
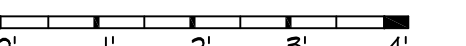
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

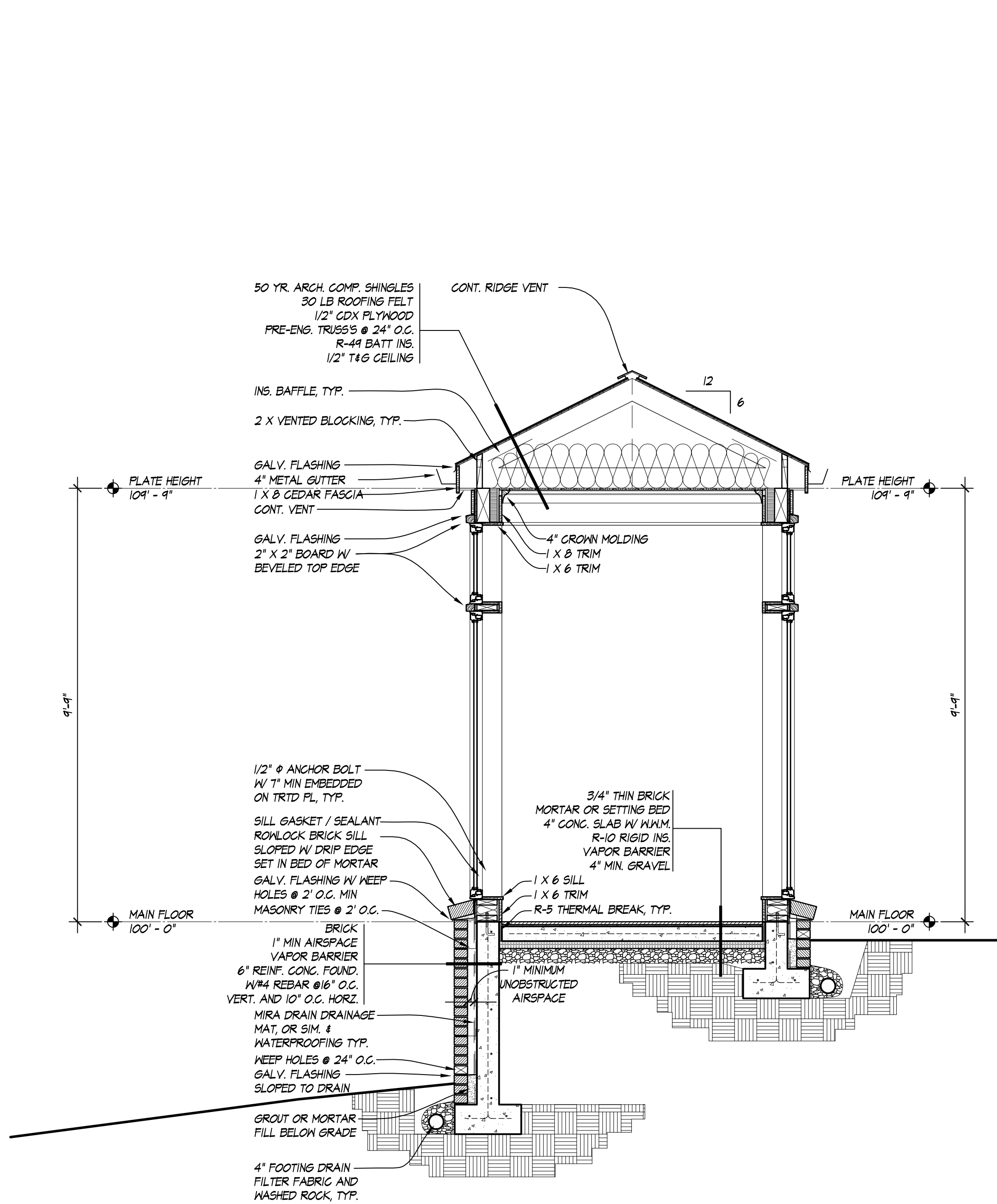


REF NORTH

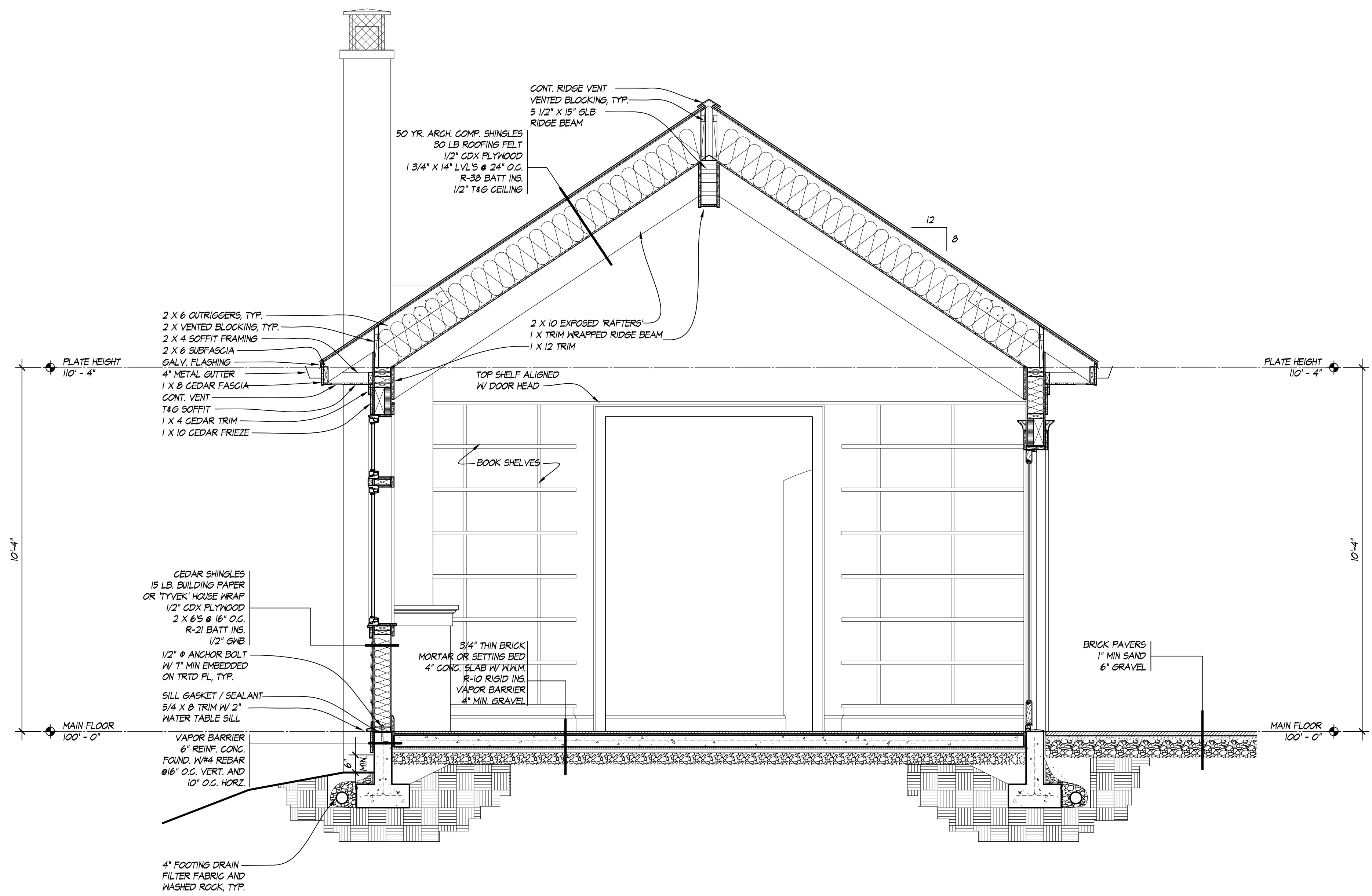
SHEET TITLE: BUILDING SECTIONS 'B' & 'C'

SHEET NUMBER: A4.1

© COPYRIGHT - DRAGER ARCHITECTURE



SECTION 'C' LINK
1/2" = 1'-0"



SECTION 'B' FAMILY ROOM
1/2" = 1'-0"

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a,
VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS,
FLOOR INSULATION SHALL BE R-38 OR HIGHER,
SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB,
SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

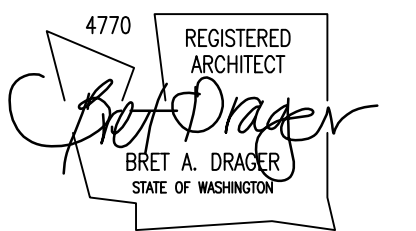


DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

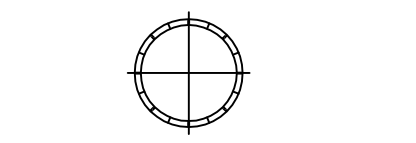
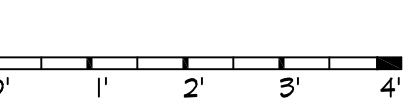
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

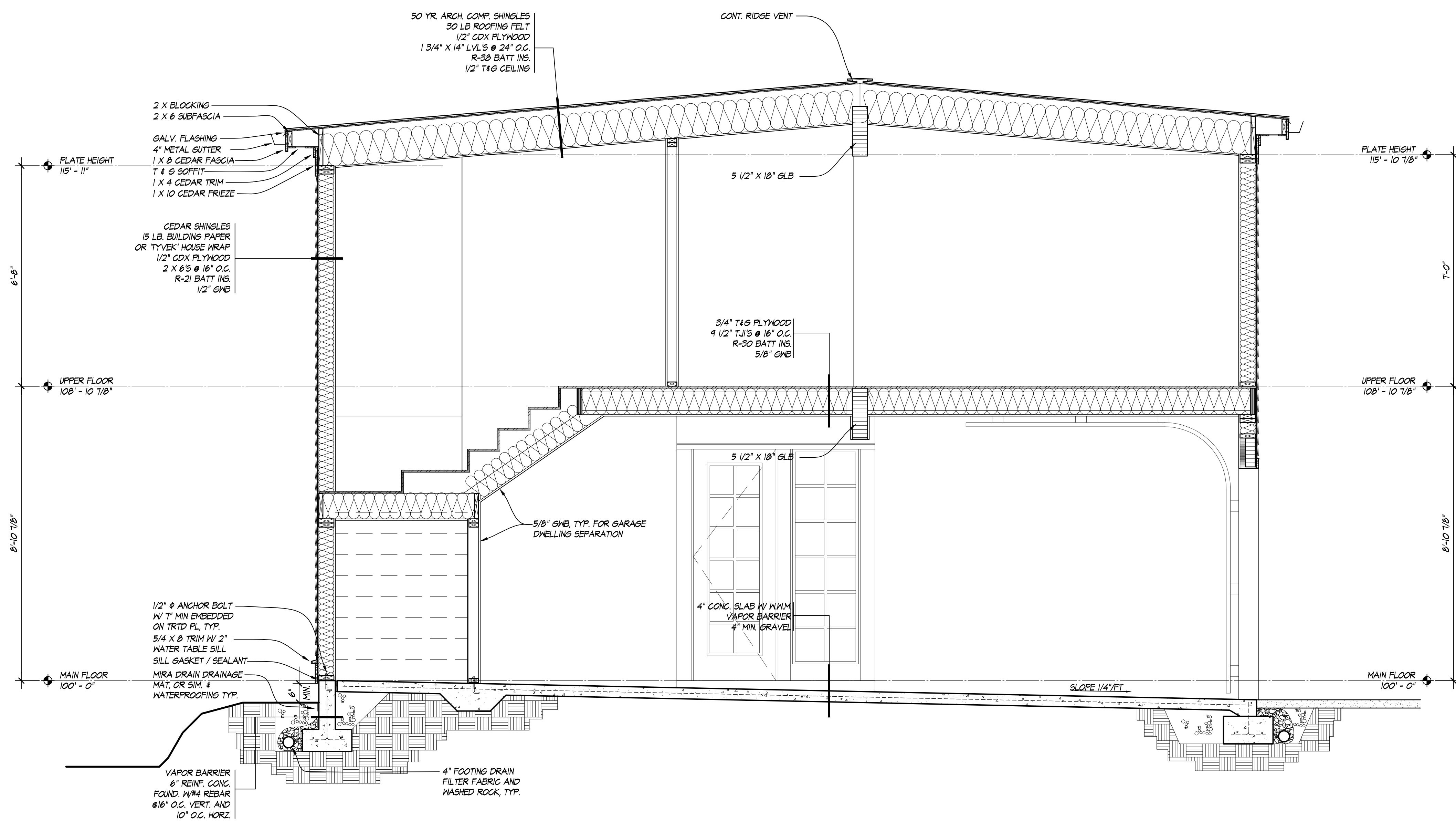


REF NORTH

SHEET TITLE: BUILDING SECTION 'E'

SHEET NUMBER: A4.3

© COPYRIGHT - DRAGER ARCHITECTURE



SECTION 'E' GARAGE AND A.D.U.
1/2" = 1'-0"

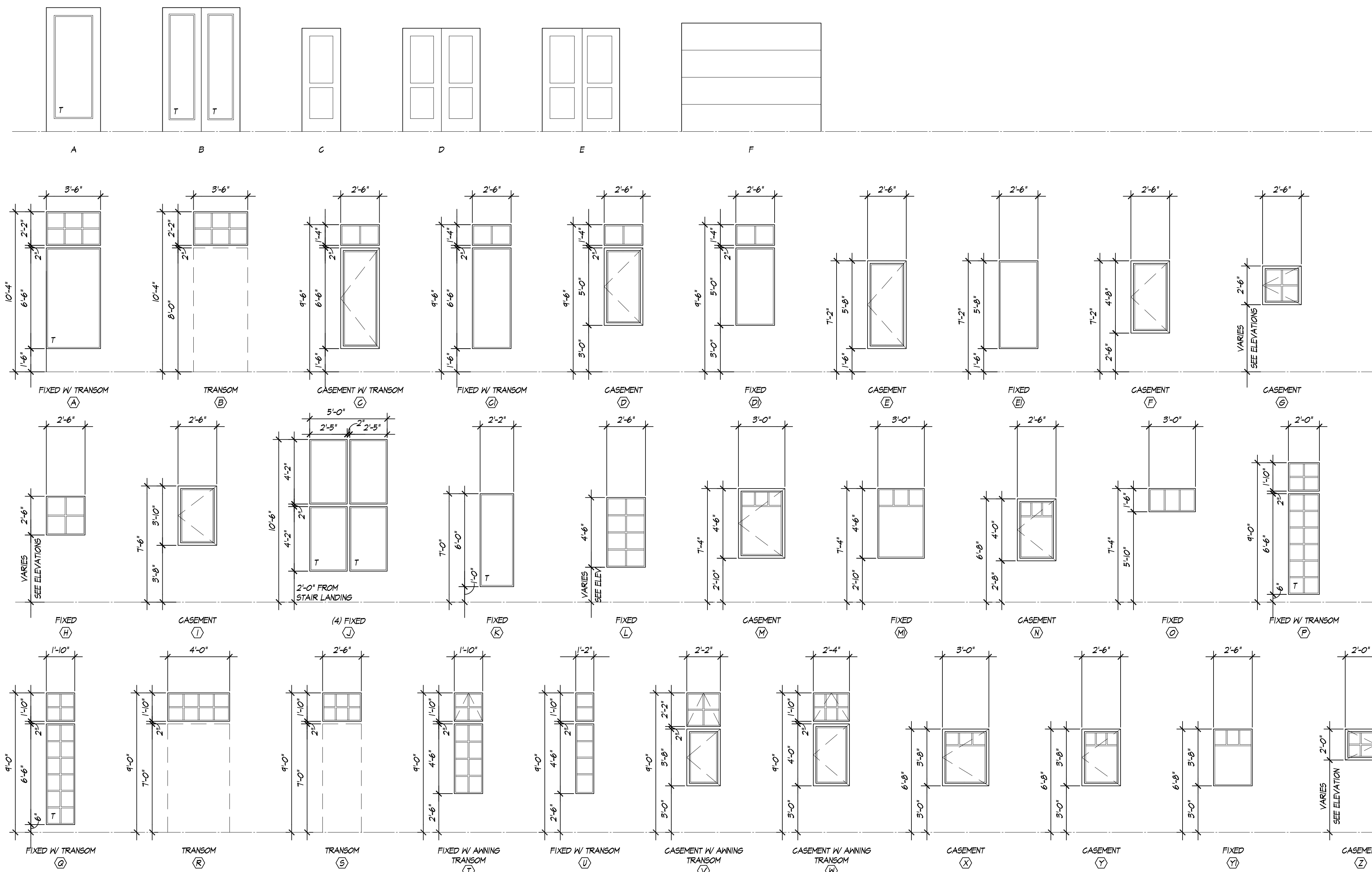
NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a,
VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS,
FLOOR INSULATION SHALL BE R-39 OR HIGHER,
SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB
SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

DOOR SCHEDULE					
SYM	SIZE	TYPE	MAT	GLAZING	REMARKS
1	3'-6" X 8'-0"	A	WOOD	INSUL	FULL LITE, PAINTED FINISH
2	3'-6" X 7'-0"	A			FULL LITE, PAINTED FINISH
3	2'-6" X 7'-0"	A			FULL LITE, W/ DIVIDED LITES, PAINTED FINISH
4	5'-0" X 8'-0"	B			DOUBLE FULL LITE, PAINTED FINISH
5	5'-0" X 6'-8"	B			DOUBLE FULL LITE, PAINTED FINISH
6	4'-0" X 7'-0"	B			DOUBLE FULL LITE W/ DIVIDED LITES, P.F.
7	2'-6" X 8'-0"	C			PAINTED FINISH
8	2'-4" X 8'-0"	C			PAINTED FINISH
9	2'-6" X 6'-8"	C		INSUL	EXTERIOR, PAINTED FINISH
10	2'-6" X 6'-8"	C			PAINTED FINISH
11	1'-6" X 6'-8"	C			PAINTED FINISH
12	5'-0" X 6'-8"	D			DOUBLE DOOR, PAINTED FINISH
13	4'-0" X 7'-8"	D			DOUBLE DOOR, PAINTED FINISH
14	5'-0" X 6'-8"	E			DOUBLE SLIDER DOOR, PAINTED FINISH
15	6'-0" X 6'-8"	E			DOUBLE SLIDER DOOR, PAINTED FINISH
16	9'-0" X 7'-0"	F			OVERHEAD GARAGE DOOR

NOTE:
1. EXTERIOR DOORS TO BE SIMPSON THERMAL FRENCH 7001 OR SIMILAR
2. ALL INTERIOR DOORS TO BE SIMPSON PRIME FLAT PANEL 8082 OR SIMILAR
3. ALL GLAZING IN DOORS TO BE TEMPERED
T = TEMPERED

WINDOW SCHEDULE				
SYM	MAT	GLAZING	TRIM	REMARKS
A	WD/MTL	INSUL	SEE A4.0	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
B			SEE A4.0	TRANSOM OVER DOOR, DIVIDED LITES
C			A	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
D			A	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
E			A	
F			A	
G			B	DIVIDED LITES
H			B	DIVIDED LITES
I			SEE A5.0	
J			A	FOUR WINDOW GROUP
K			SEE A4.0	FOUR WINDOW GROUP
L			B	DIVIDED LITES
M			B	T 3 DIVIDED LITES
N			B	T 3 DIVIDED LITES
O			B	DIVIDED LITES
P			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
Q			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
R			SEE A4.1	TRANSOM OVER DOOR, DIVIDED LITES
S			SEE A4.1	TRANSOM OVER DOOR, DIVIDED LITES
T			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
U			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
V			B	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
W			B	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
X			B	T 3 DIVIDED LITES
Y			B	T 3 DIVIDED LITES
Z			B	DIVIDED LITES

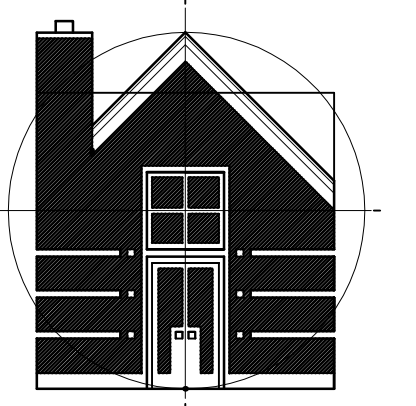
NOTE:
1. SEE ELEVATIONS FOR LOCATION AND SILL OF OPERABLE WINDOWS
2. TEMPERED GLASS IN WINDOWS WITH SILL BELOW 18" A.F.F. OR WITHIN 24" OF DOORS, SEE ELEVATIONS
T = TEMPERED
3. WINDOWS TO BE U 0.28 OR BETTER



DOOR AND WINDOW SCHEDULES
1/4" = 1'-0"



DOOR AND WINDOW TRIM
1/2" = 1'-0"

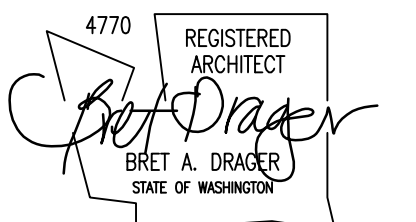


DRAGER
ARCHITECTURE

—
ARCHITECTURE
DESIGN
PLANNING
—

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

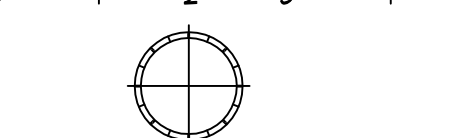
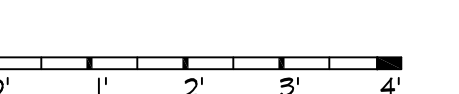
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

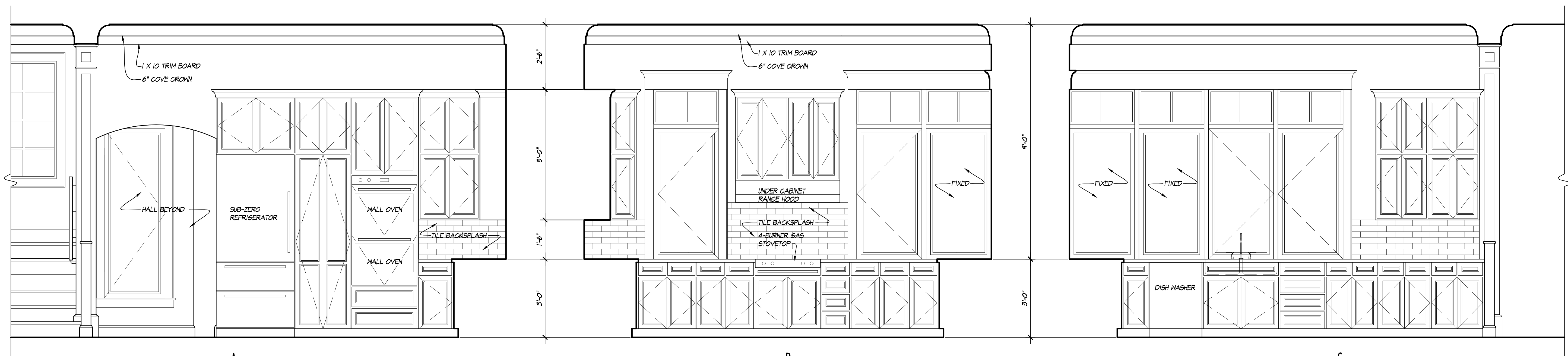


REF NORTH

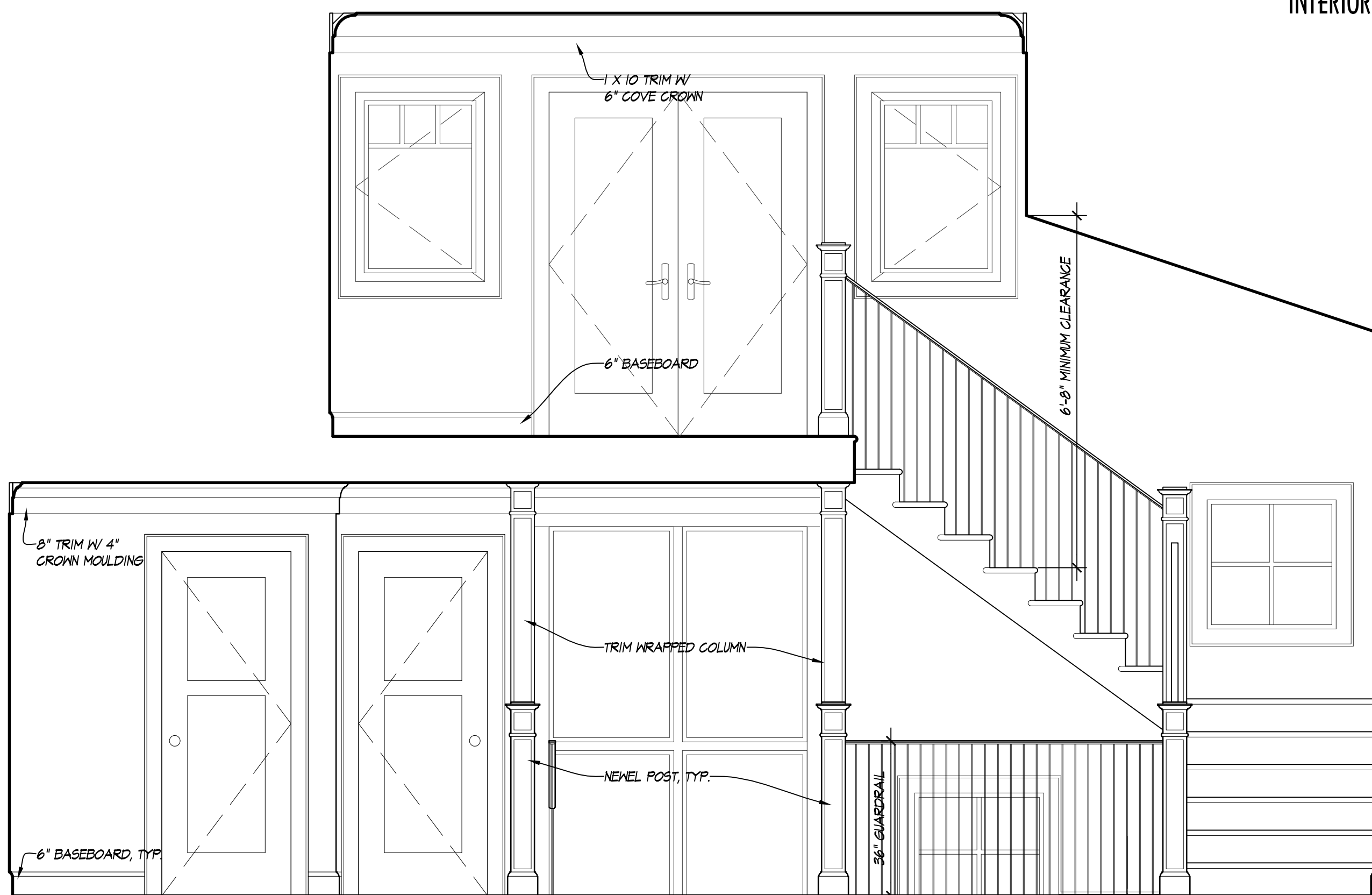
SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: **A5.1**

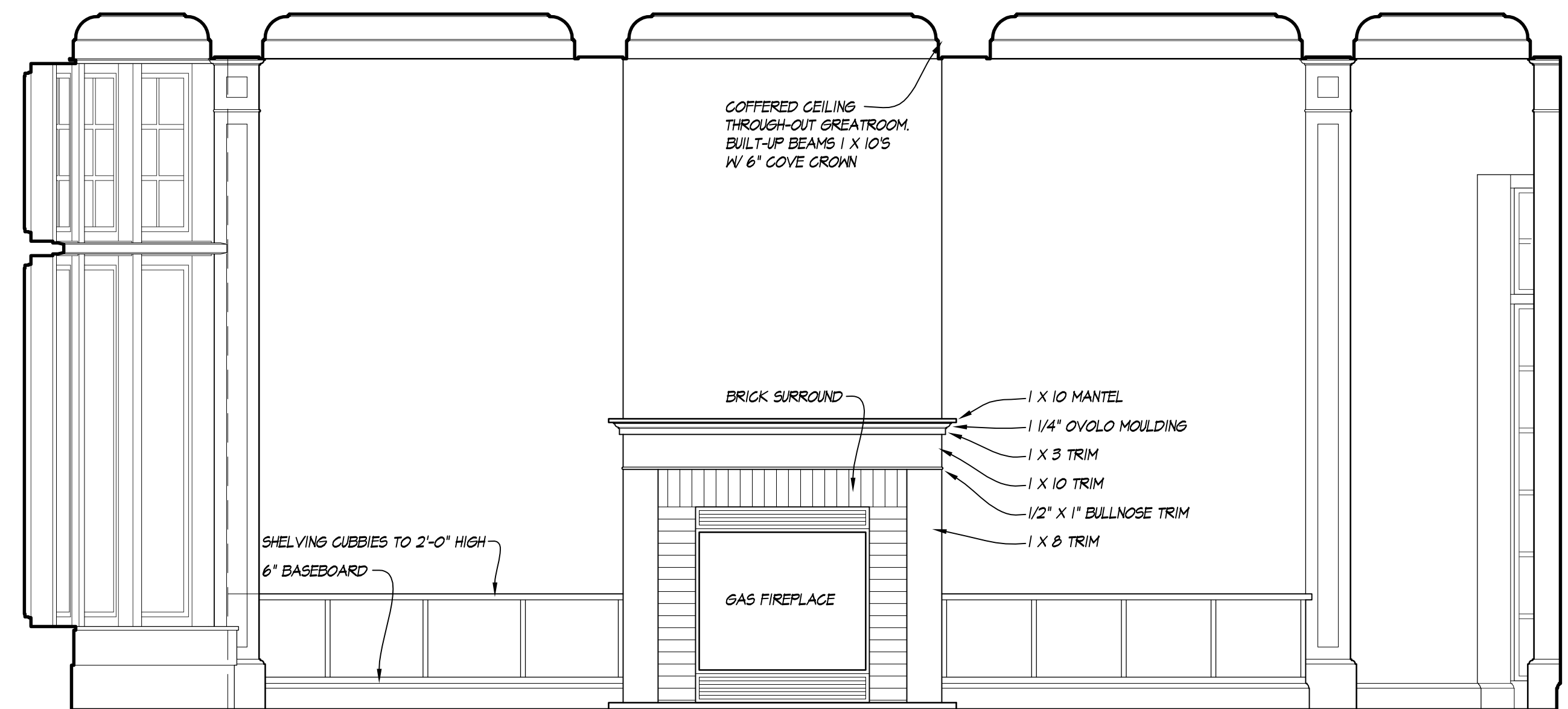
© COPYRIGHT - DRAGER ARCHITECTURE



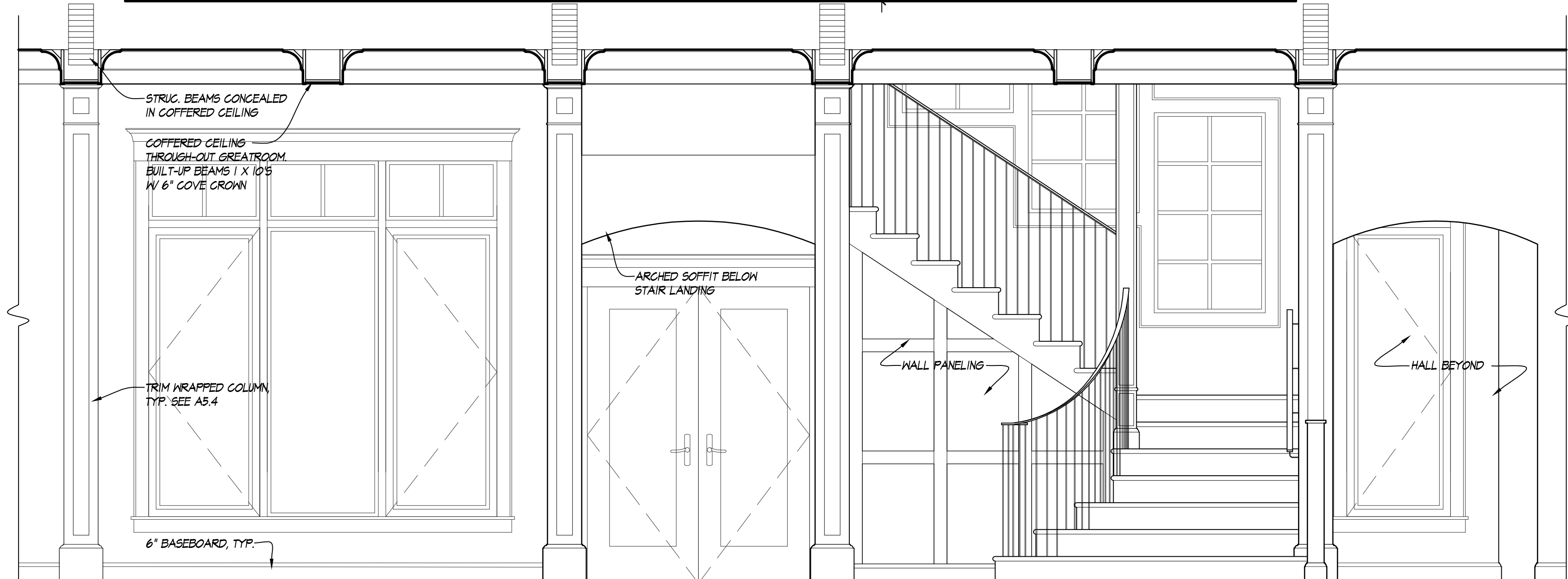
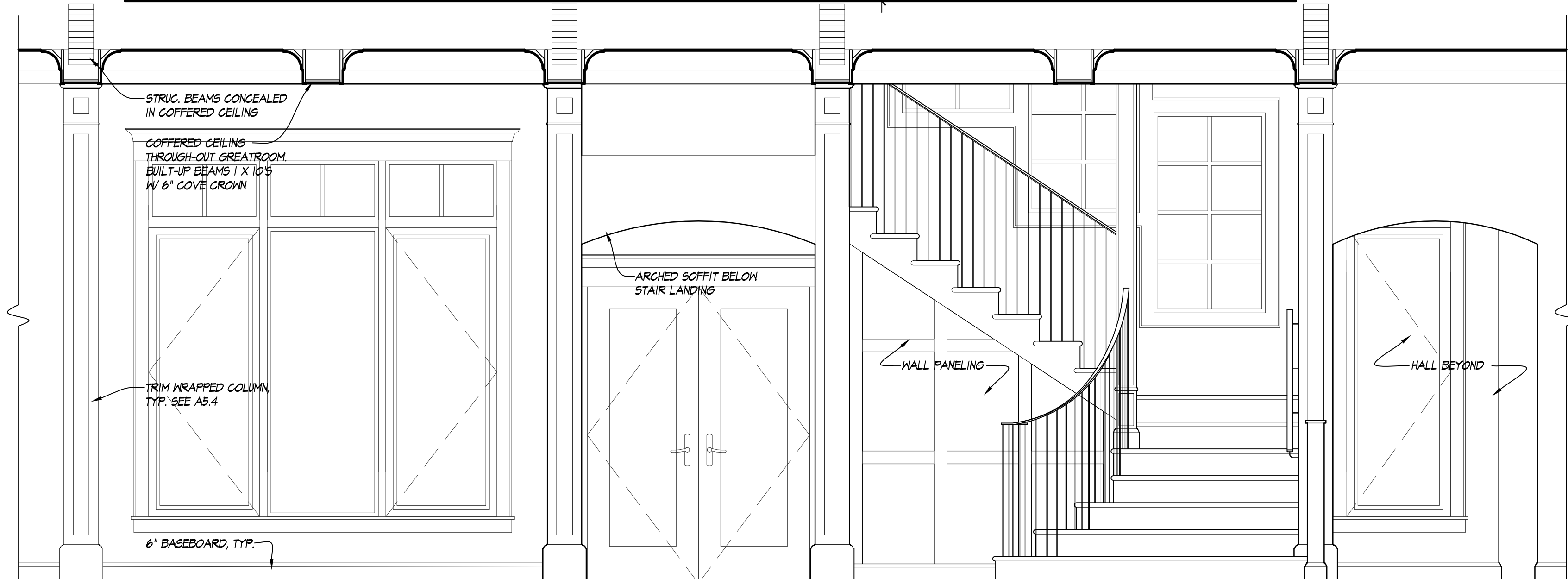
B
INTERIOR ELEVATION: KITCHEN
1/2" = 10'



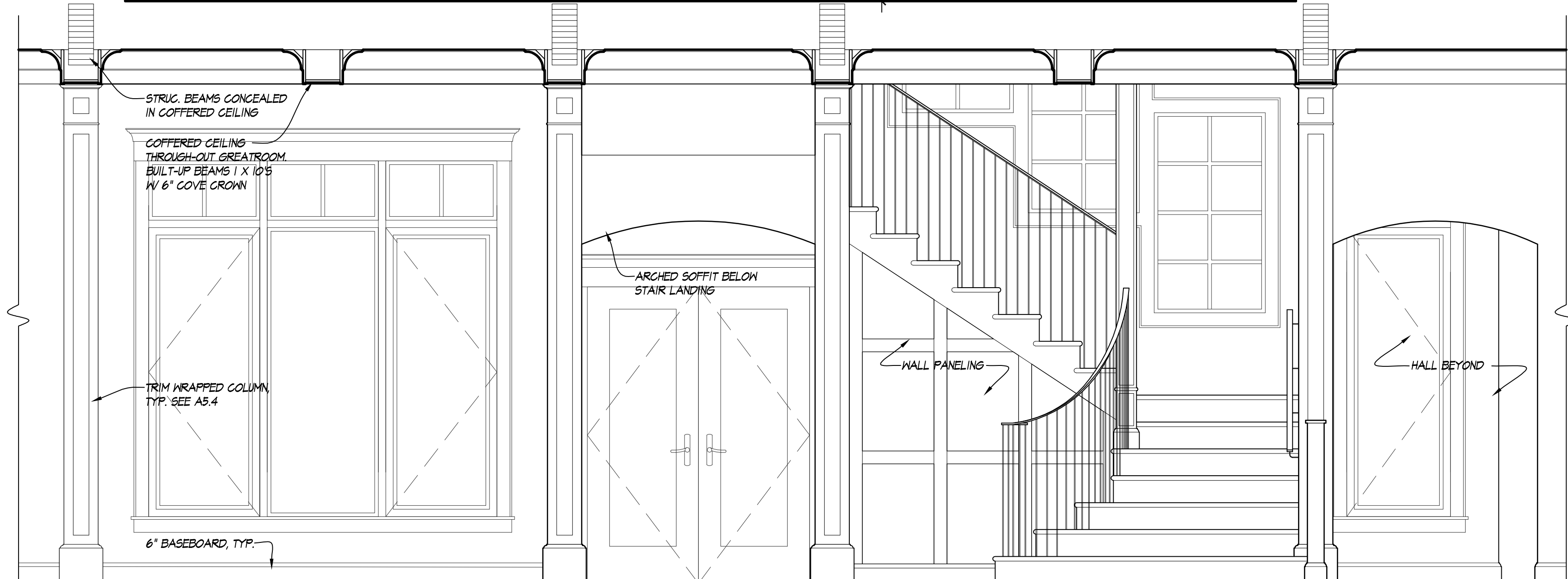
D INTERIOR ELEVATION: GREAT ROOM, STAIR, HALL, AND BONUS ROOM
1/2" = 10'



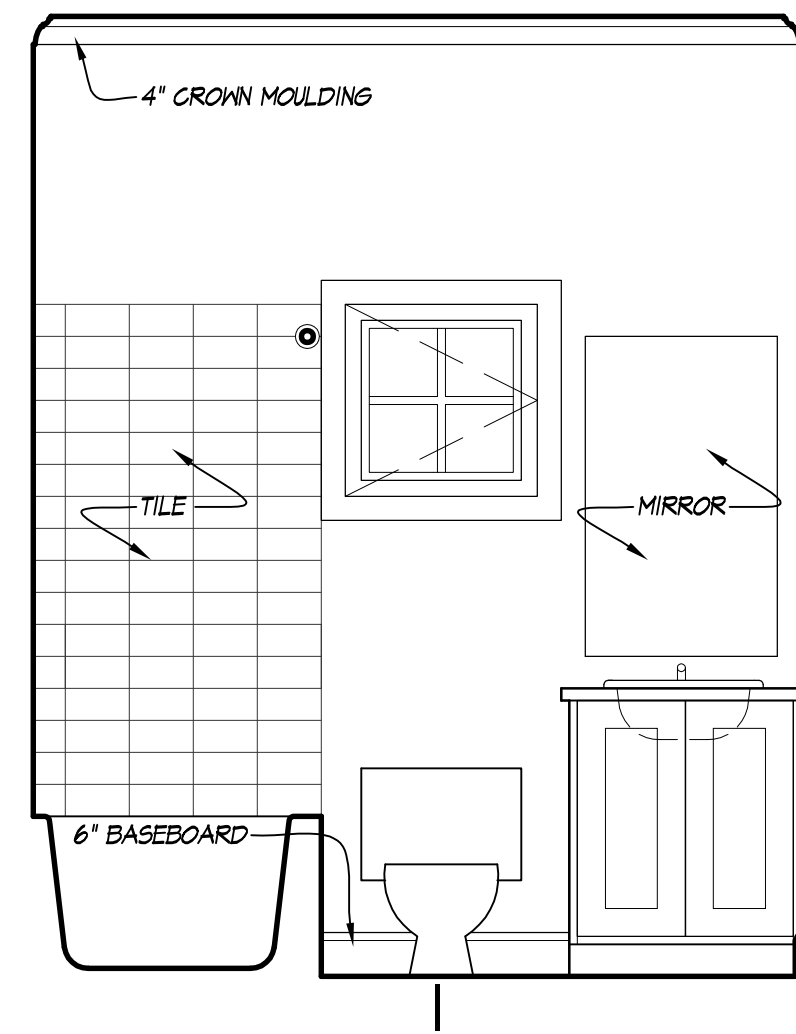
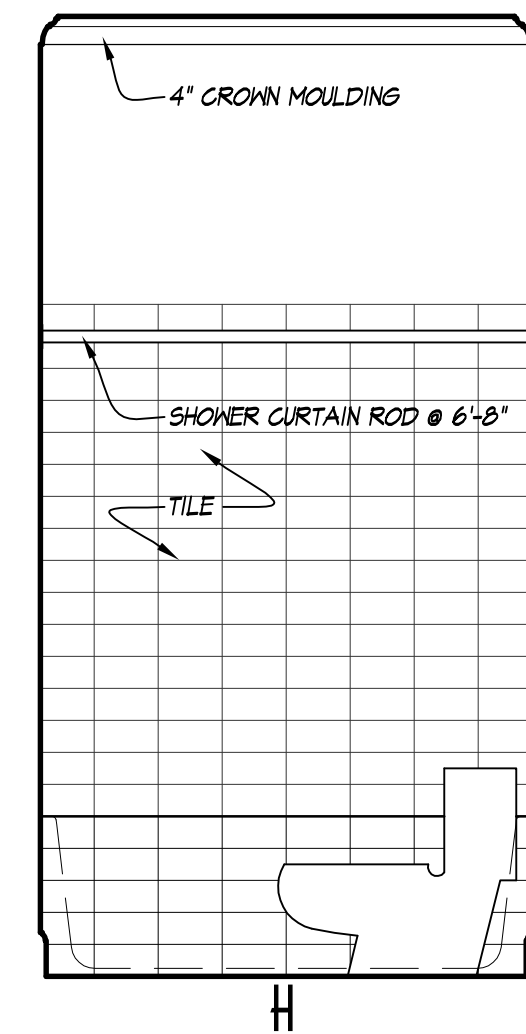
F INTERIOR ELEVATION: GREAT ROOM
1/2" = 10'



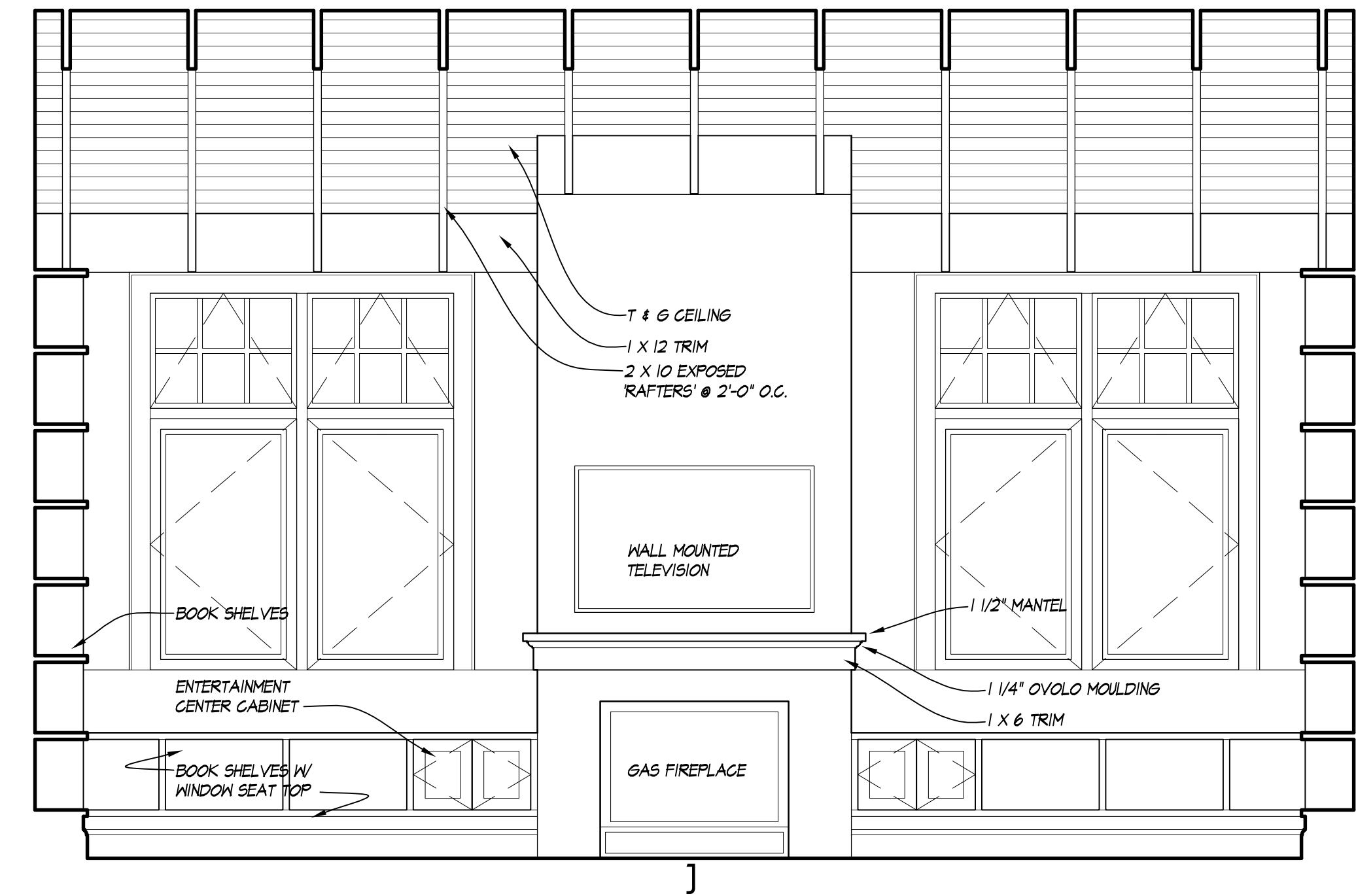
E INTERIOR ELEVATION: POWDER ROOM
1/2" = 10'



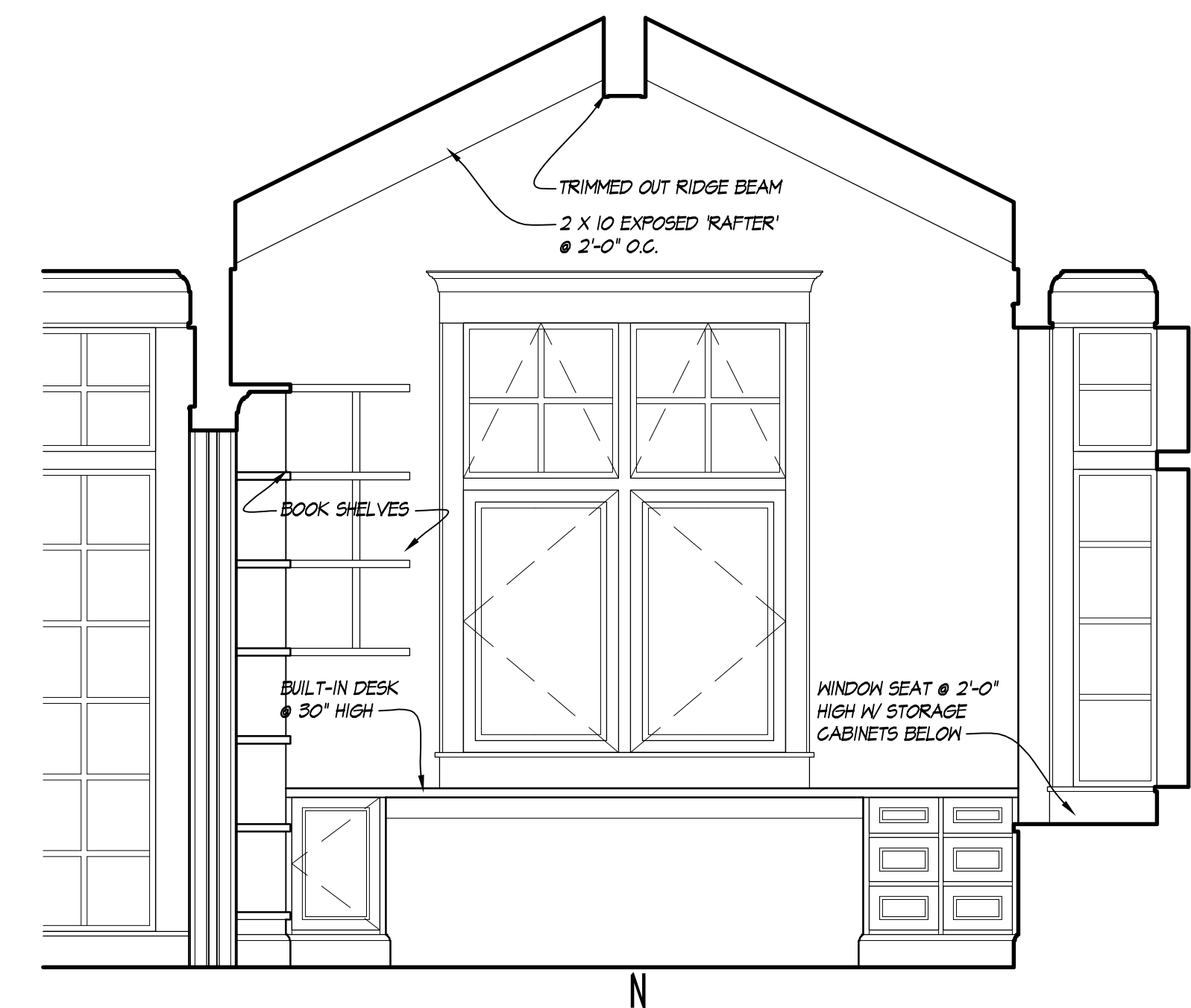
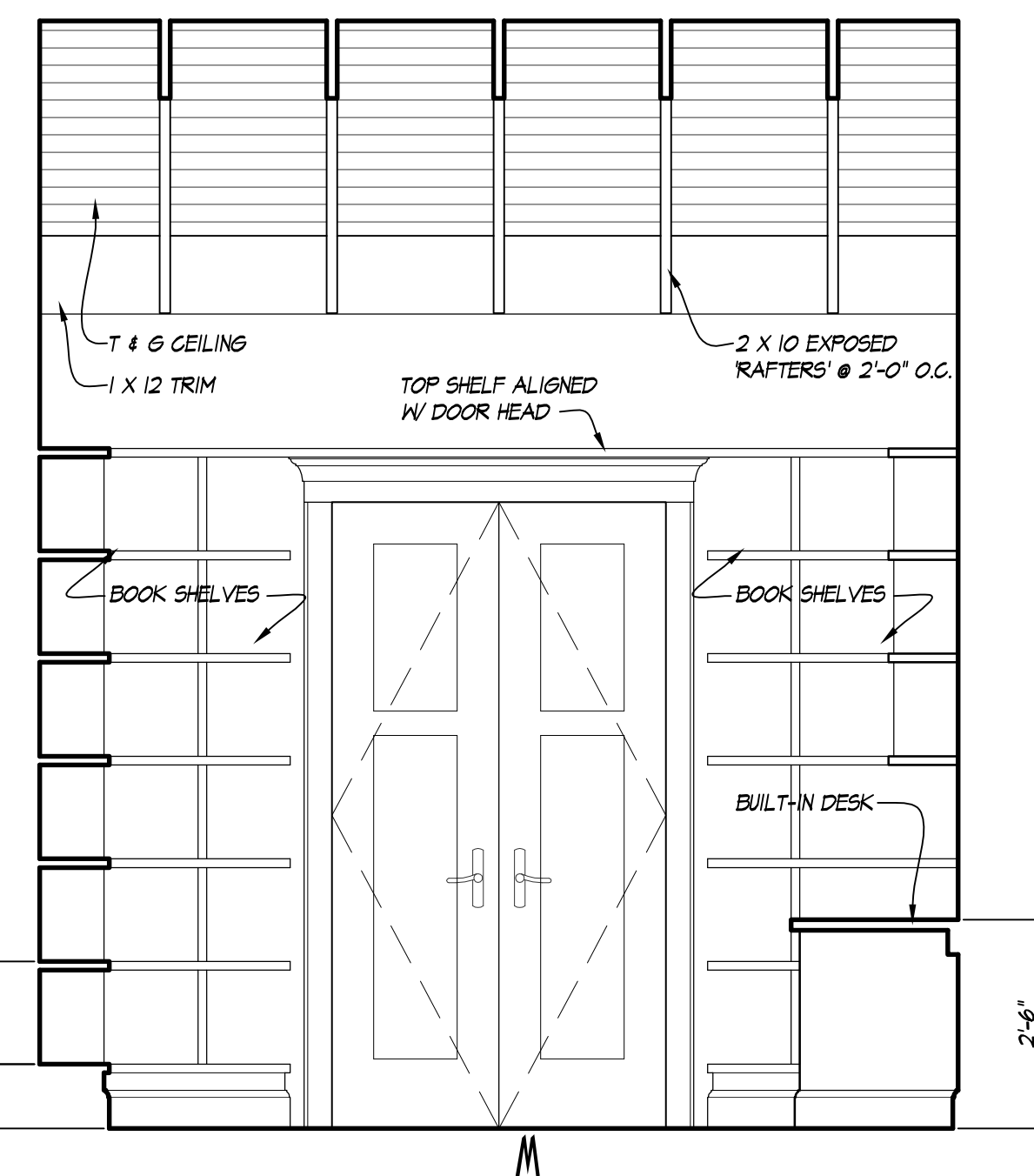
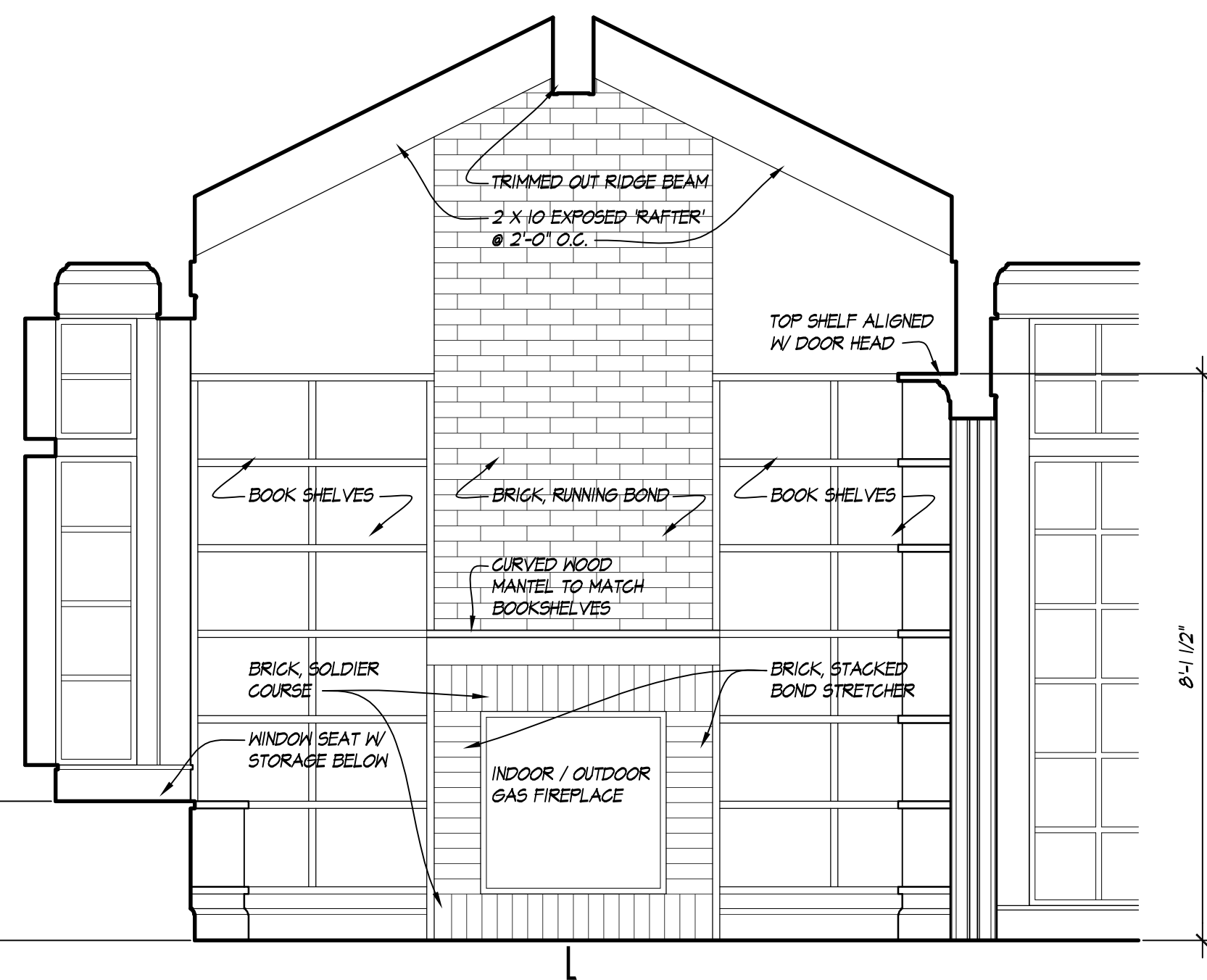
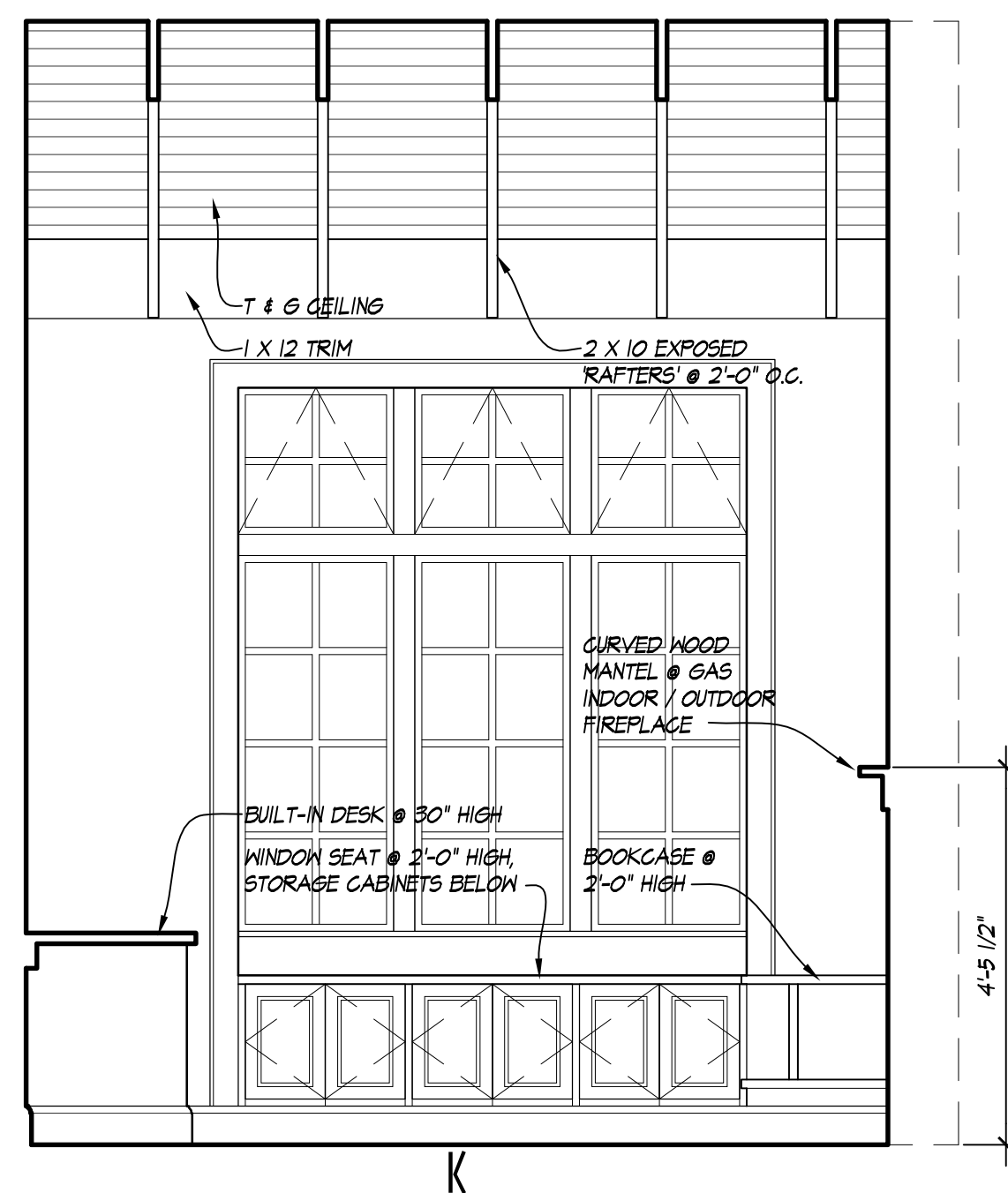
G INTERIOR ELEVATION: POWDER ROOM
1/2" = 10'



INTERIOR ELEVATION: GUEST BATHROOM
1/2" = 10"



INTERIOR ELEVATION: FAMILY ROOM FIREPLACE
1/2" = 10"



INTERIOR ELEVATION: LIBRARY
1/2" = 10"

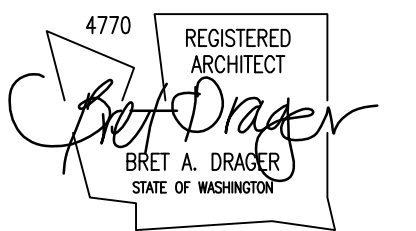


DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:



PROJECT:

CURRY RESIDENCE

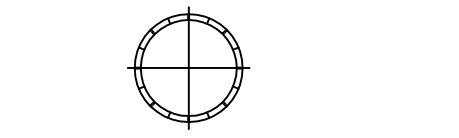
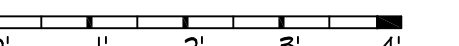
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

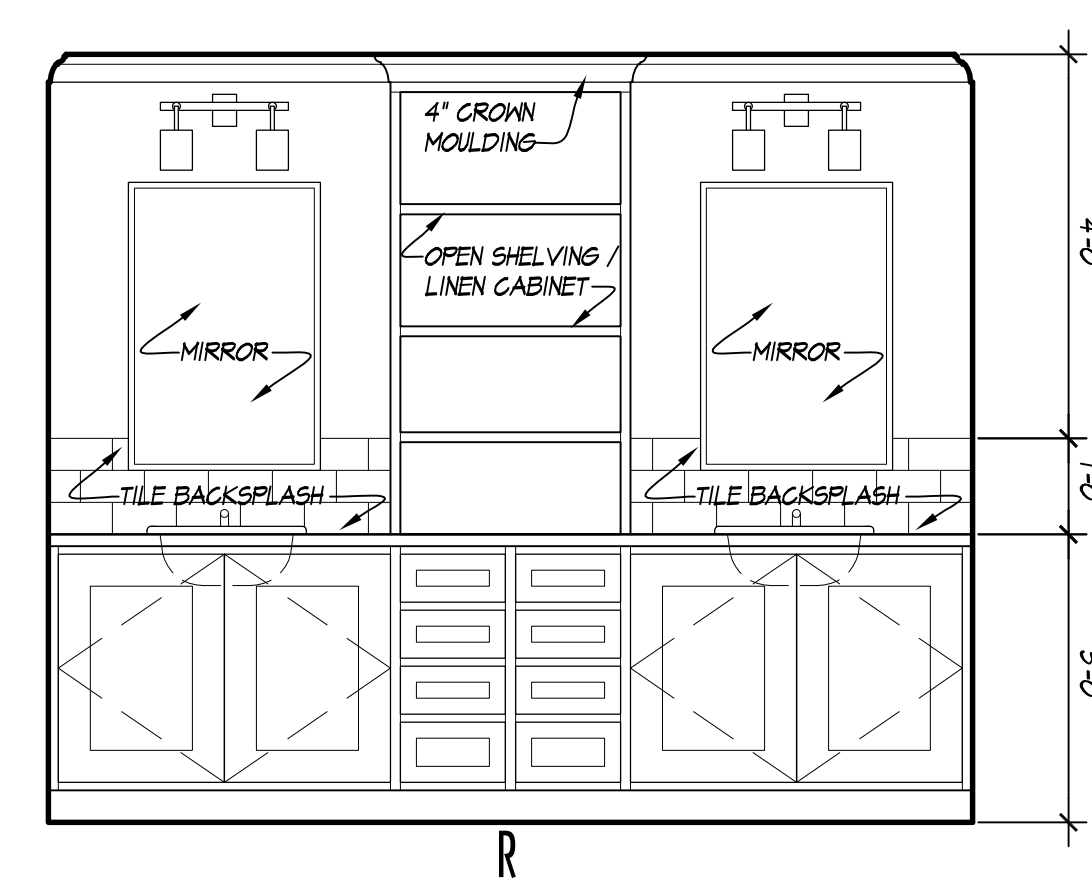
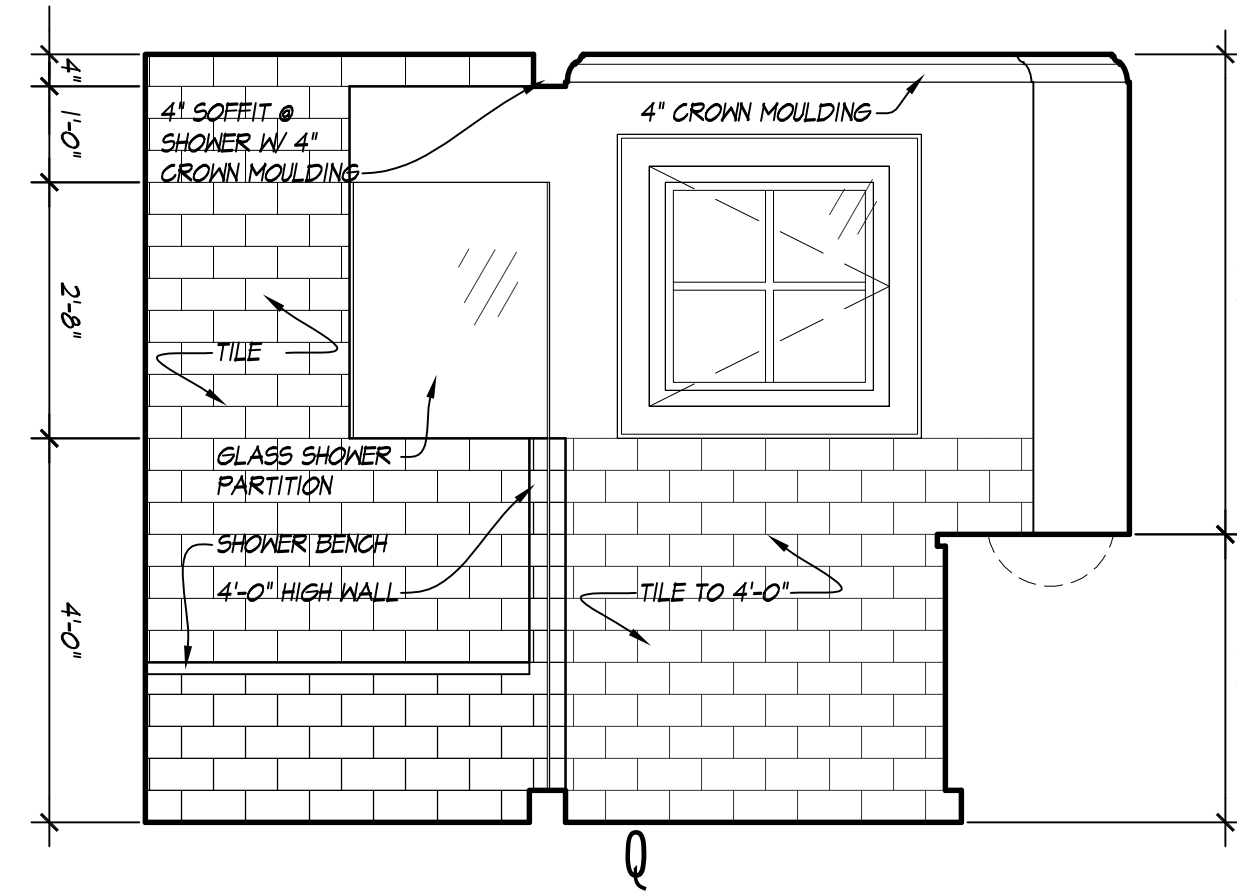
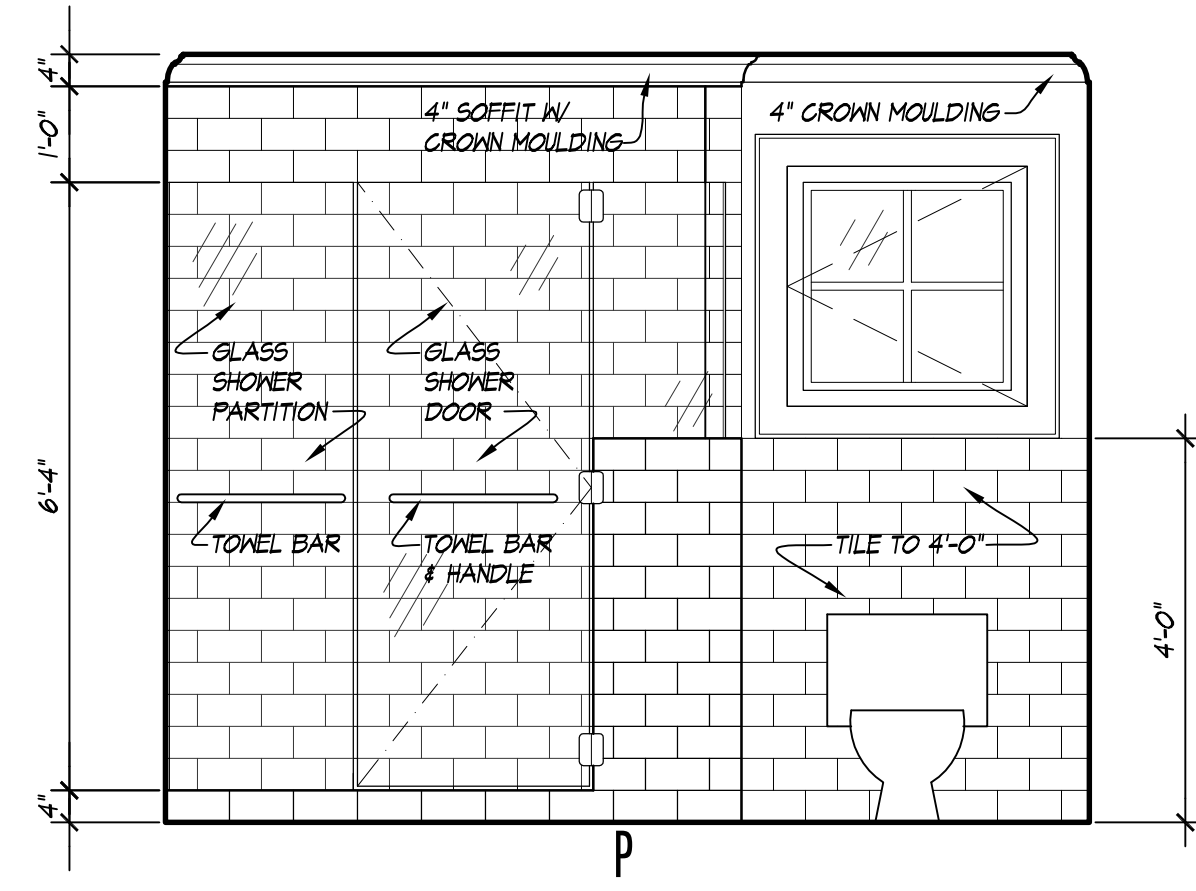
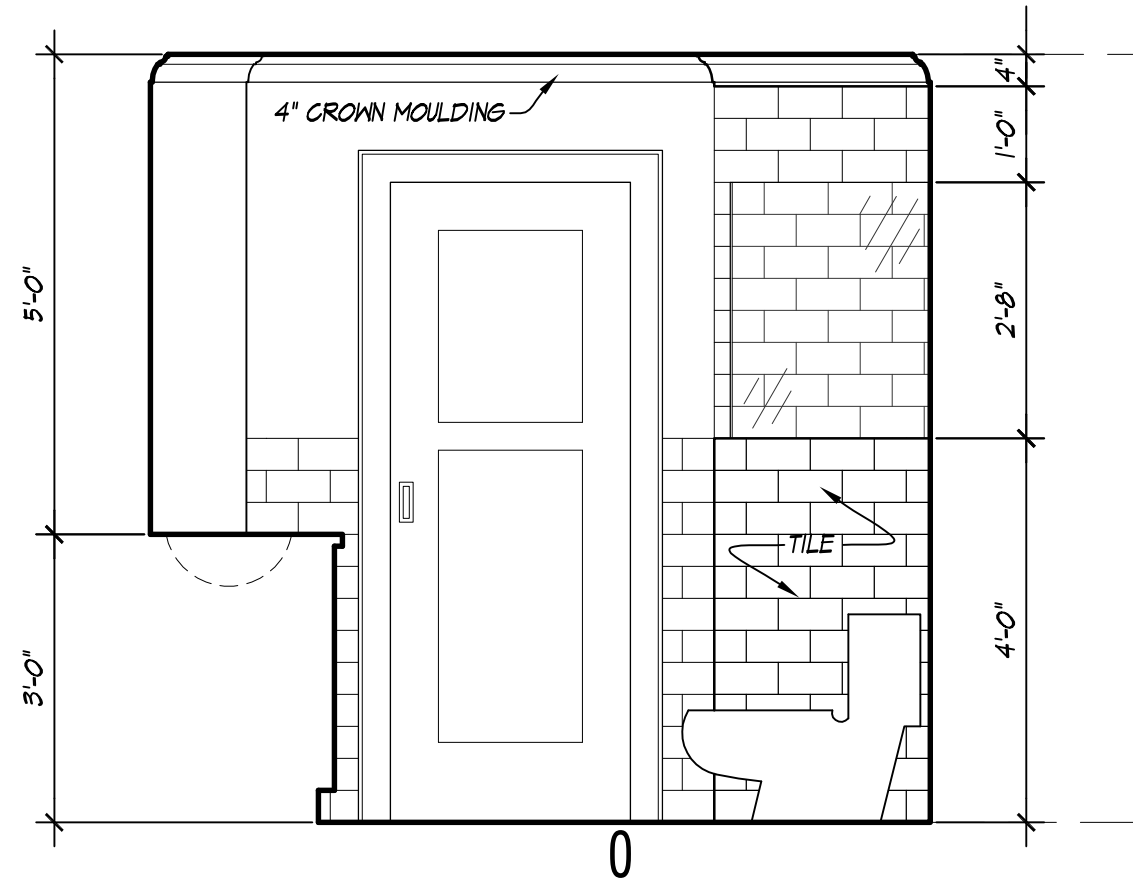


REF NORTH

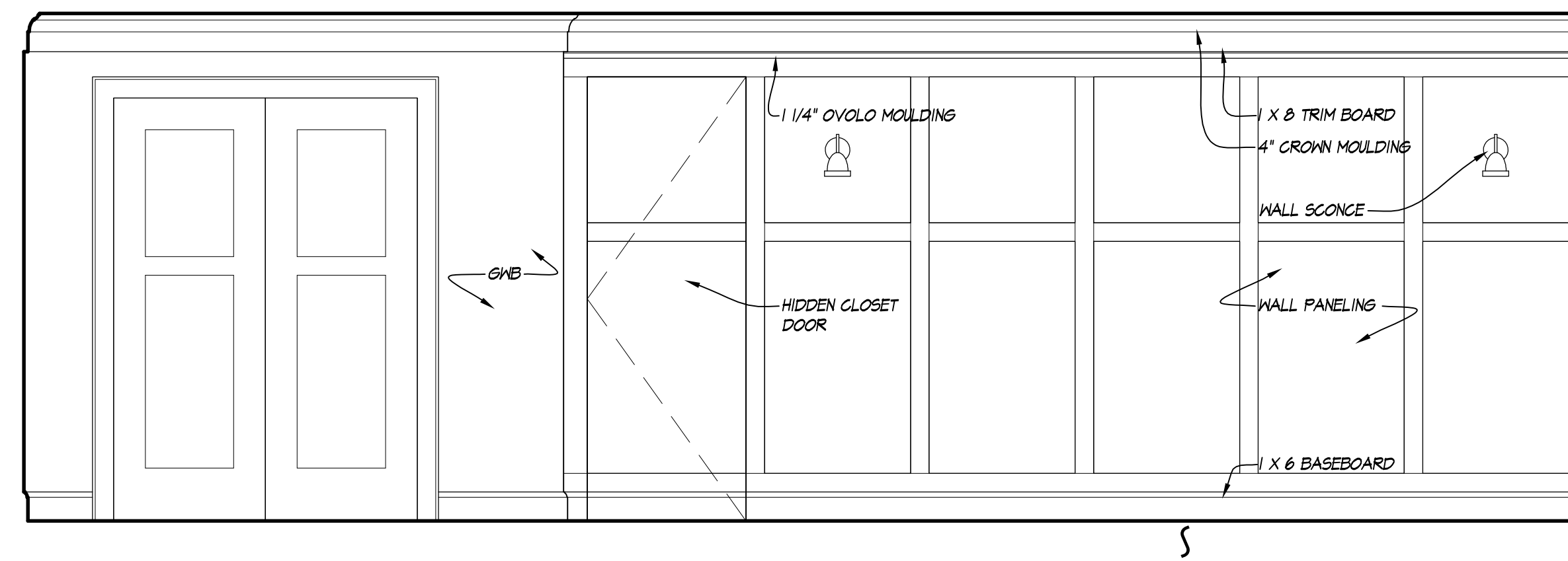
SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: A5.3

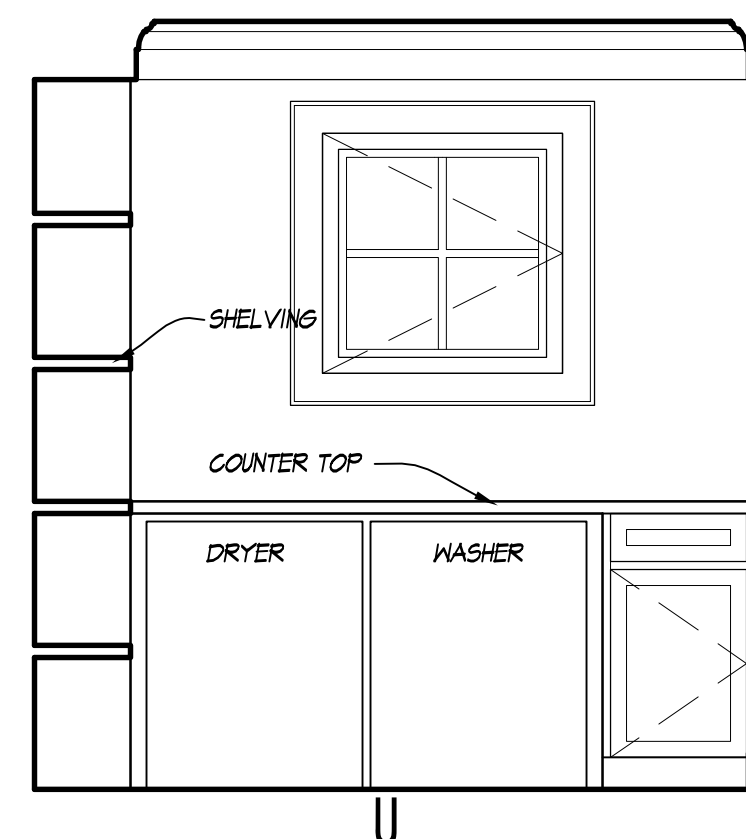
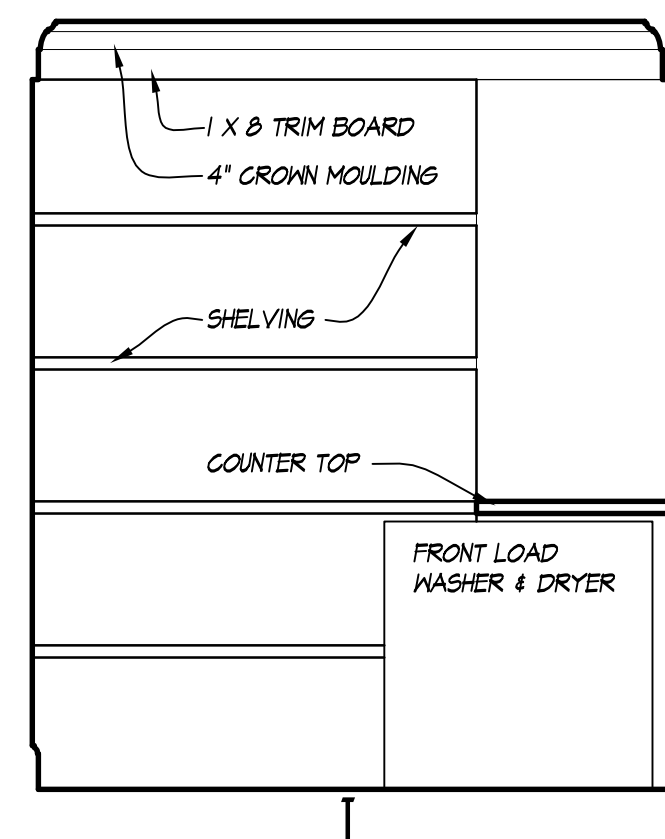
© COPYRIGHT - DRAGER ARCHITECTURE



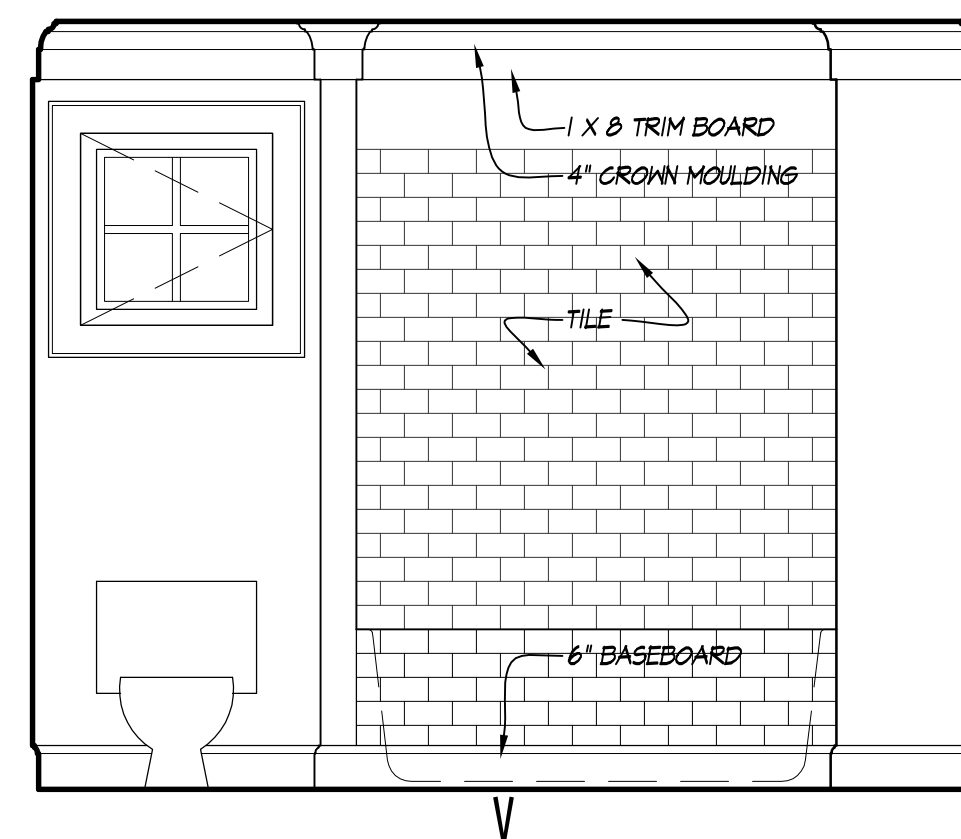
INTERIOR ELEVATION: MASTER BATHROOM
1/2" = 10"



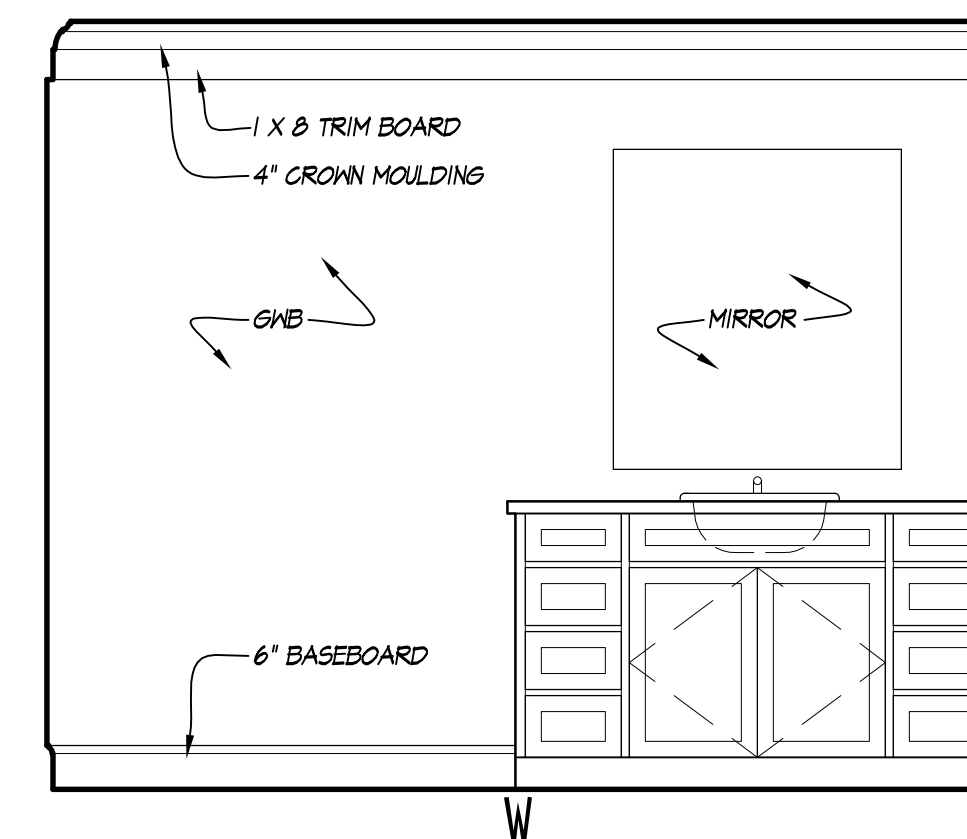
INTERIOR ELEVATION: MASTER BEDROOM
1/2" = 10"

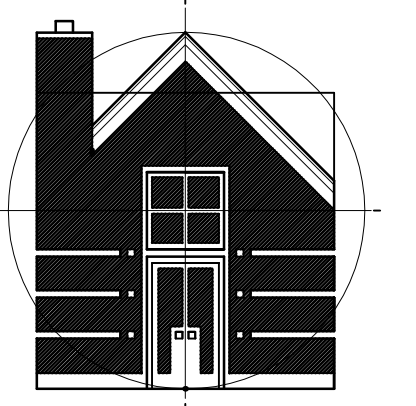


INTERIOR ELEVATION: LAUNDRY
1/2" = 10"



INTERIOR ELEVATION: BATHROOM
1/2" = 10"



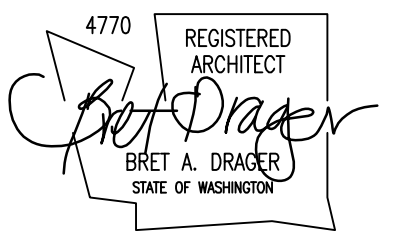


DRAGER
ARCHITECTURE

—
ARCHITECTURE
DESIGN
PLANNING
—

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

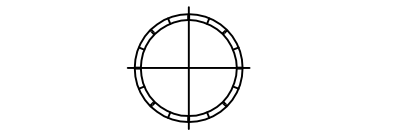
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: VARIES

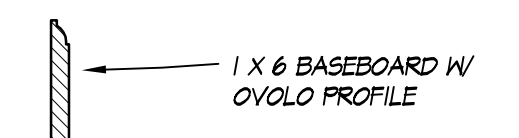
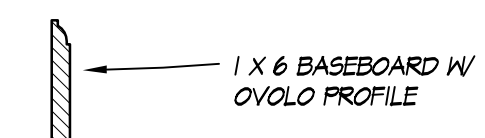
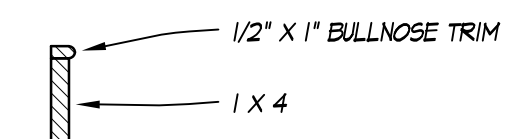
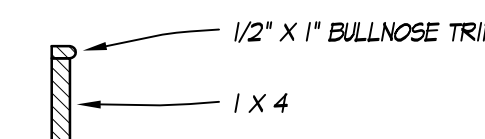
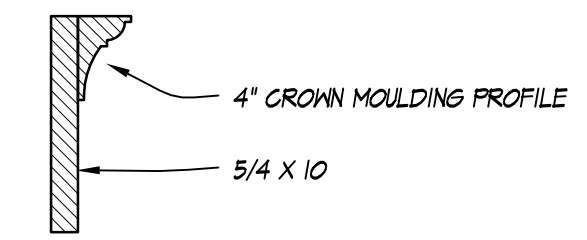


REF NORTH

SHEET TITLE: DETAILS

SHEET NUMBER: **A5.4**

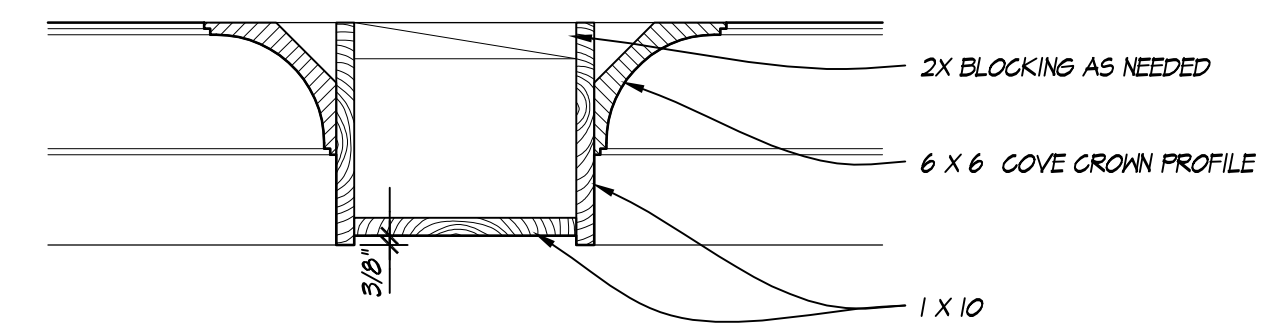
© COPYRIGHT - DRAGER ARCHITECTURE



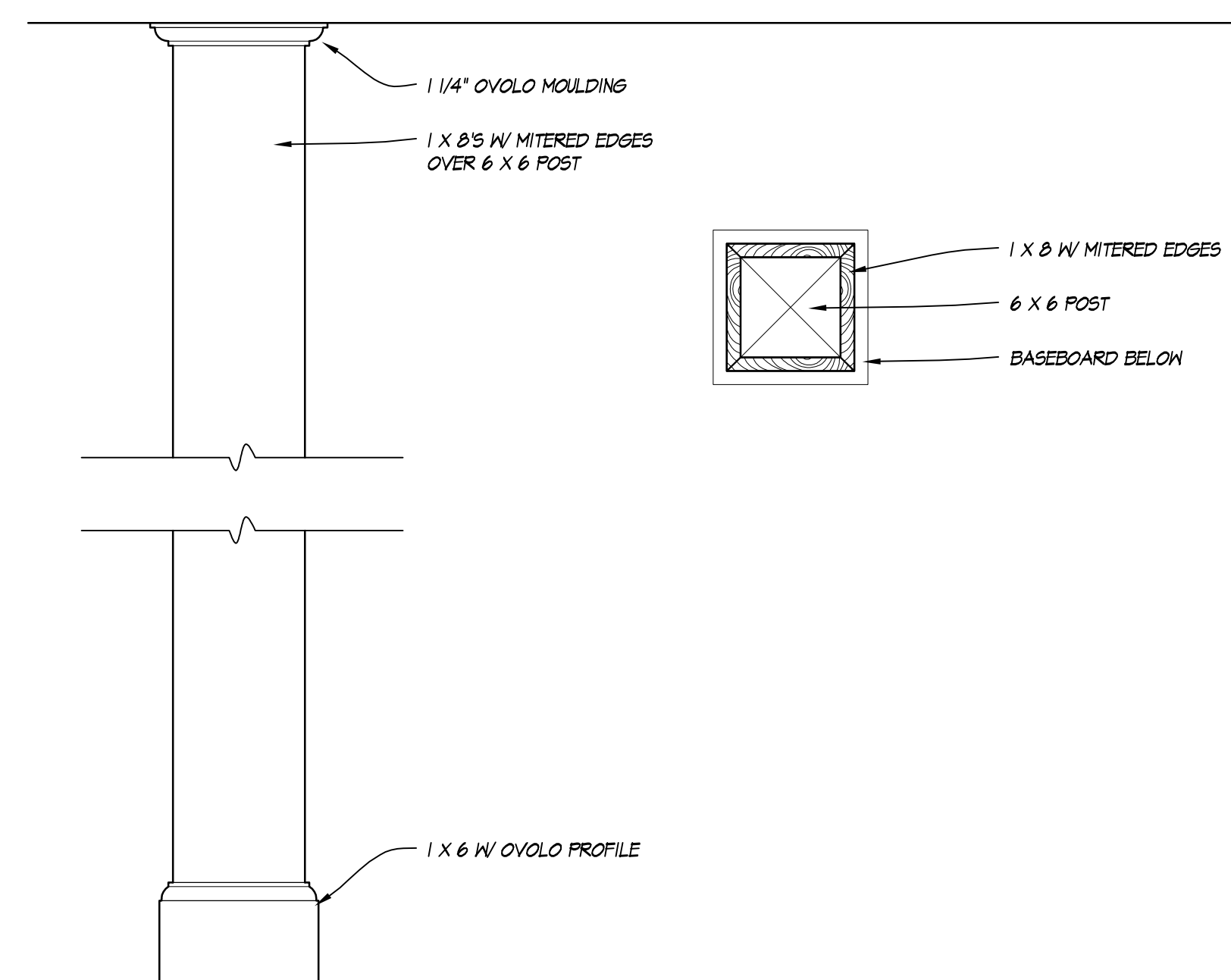
WINDOW AND DOOR TRIM 'B'

WINDOW AND DOOR TRIM 'A'

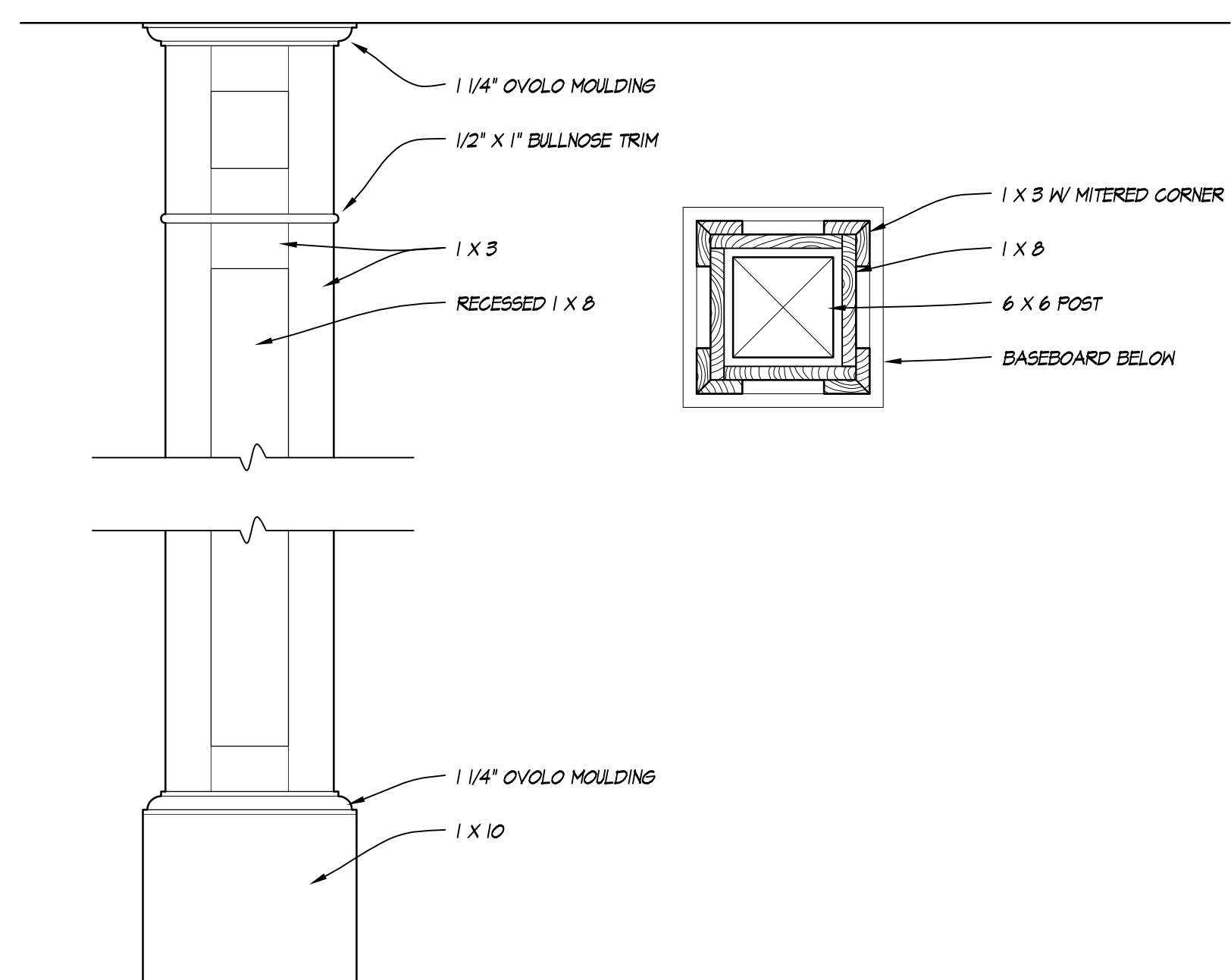
TRIM PROFILES
1/12" = 1'-0"



COFFERED CEILING DETAIL
1/12" = 1'-0"



EXTERIOR TRIM WRAPPED COLUMN DETAIL
1/12" = 1'-0"



INTERIOR TRIM WRAPPED COLUMN DETAIL
1/12" = 1'-0"



DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:

4770 REGISTERED
ARCHITECT
Bret Drager
BRET A. DRAGER
STATE OF WASHINGTON

PROJECT:

CURRY
RESIDENCE

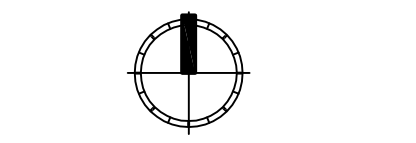
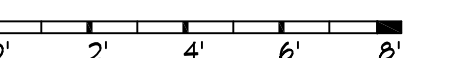
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

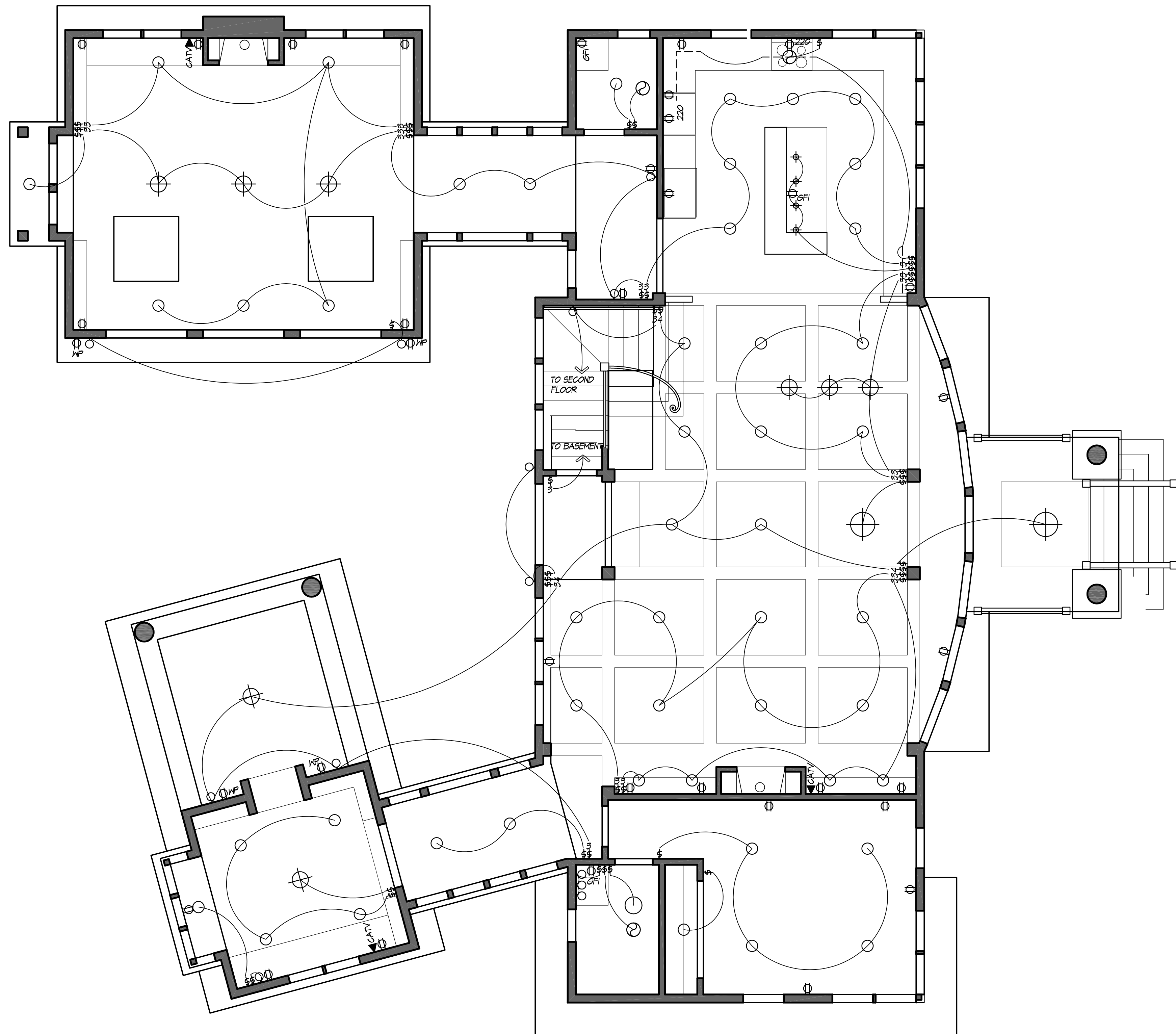
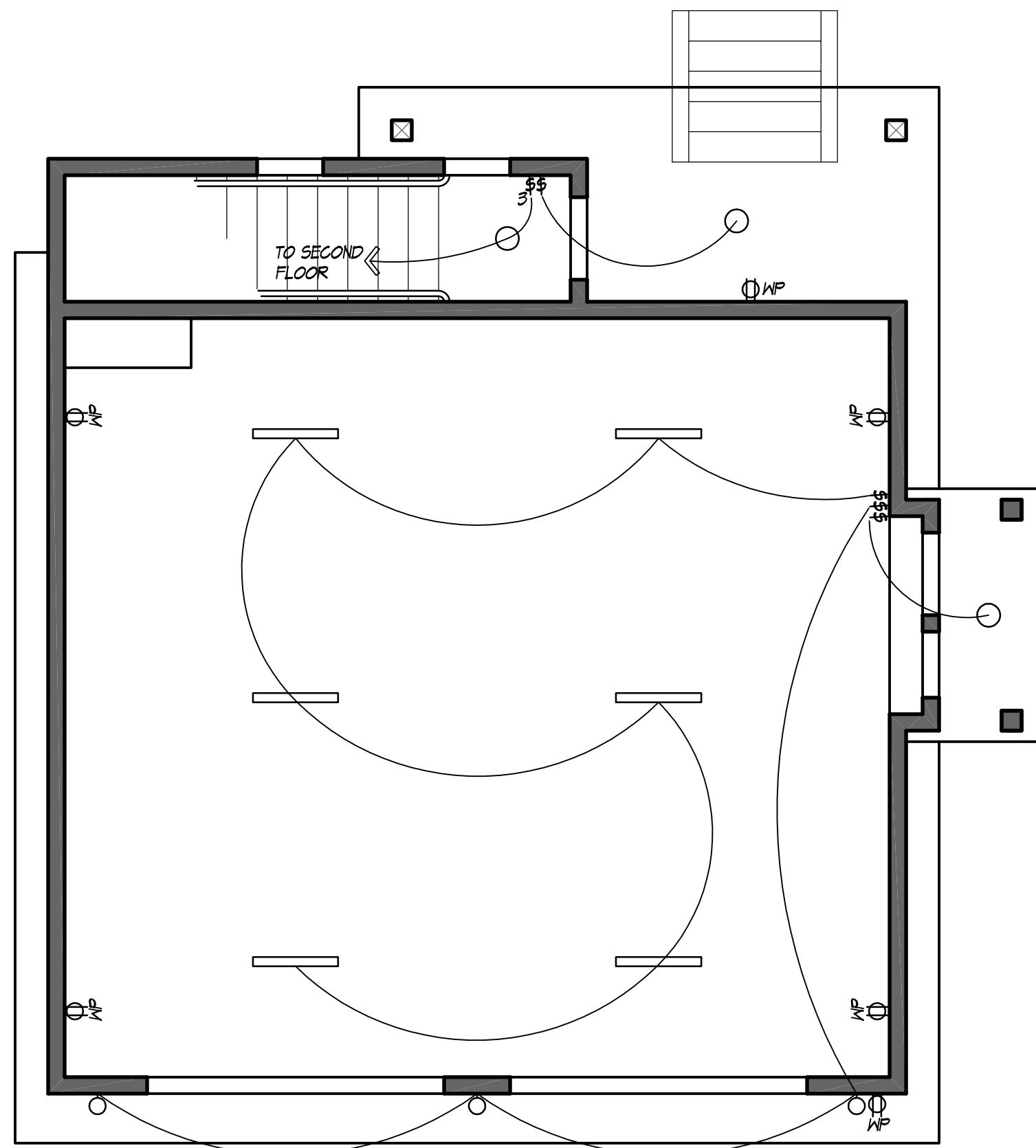


REF NORTH

SHEET TITLE: MAIN FLOOR ELECTRICAL
PLAN

SHEET NUMBER: E1.0

© COPYRIGHT - DRAGER ARCHITECTURE



	LARGE PENDANT FIXTURE
	MEDIUM PENDANT FIXTURE
	SMALL PENDANT FIXTURE
	SURFACE MOUNTED FIXTURE
	6" CAN LIGHT (MP INDICATES DAMP LOCATION FIXTURE)
	DIRECTIONAL CAN LIGHT
	LOW VOLTAGE CAN - (MR16 LAMP)
	4" CAN LIGHT
	LOW VOLTAGE "PUCK"
	PORCELAIN SOCKET
	WALL SCONCE
	UNDER CABINET LIGHTING
	2X4 SURFACE MOUNTED FLUORESCENT
	2-TUBE FLUORESCENT FIXTURE
	EXTERIOR FLOOD LIGHT
	DUPLEX OUTLET
	GROUND FAULT CIRCUIT INTERRUPT OUTLET
	EXTERIOR RATED OUTLET
	FLOOR OUTLET
	PHONE/DATA
	CABLE T.V.
	SINGLE POLE LIGHT SWITCH
	3 WAY LIGHT SWITCH
	4 WAY LIGHT SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	CONTROL LOCATION (THERMOSTAT, ETC.)
	FAN
	FANLIGHT (WHERE NOTED ON PLAN)

NOTE:
VERIFY ALL EQUIPMENT AND APPLIANCE REQUIREMENTS WITH OWNER PRIOR TO HIRING INSTALLATION.

MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

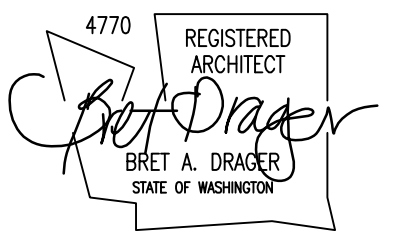


DRAGER
ARCHITECTURE

—
ARCHITECTURE
DESIGN
PLANNING
—

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

**CURRY
RESIDENCE**

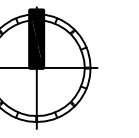
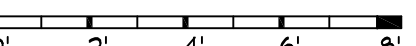
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

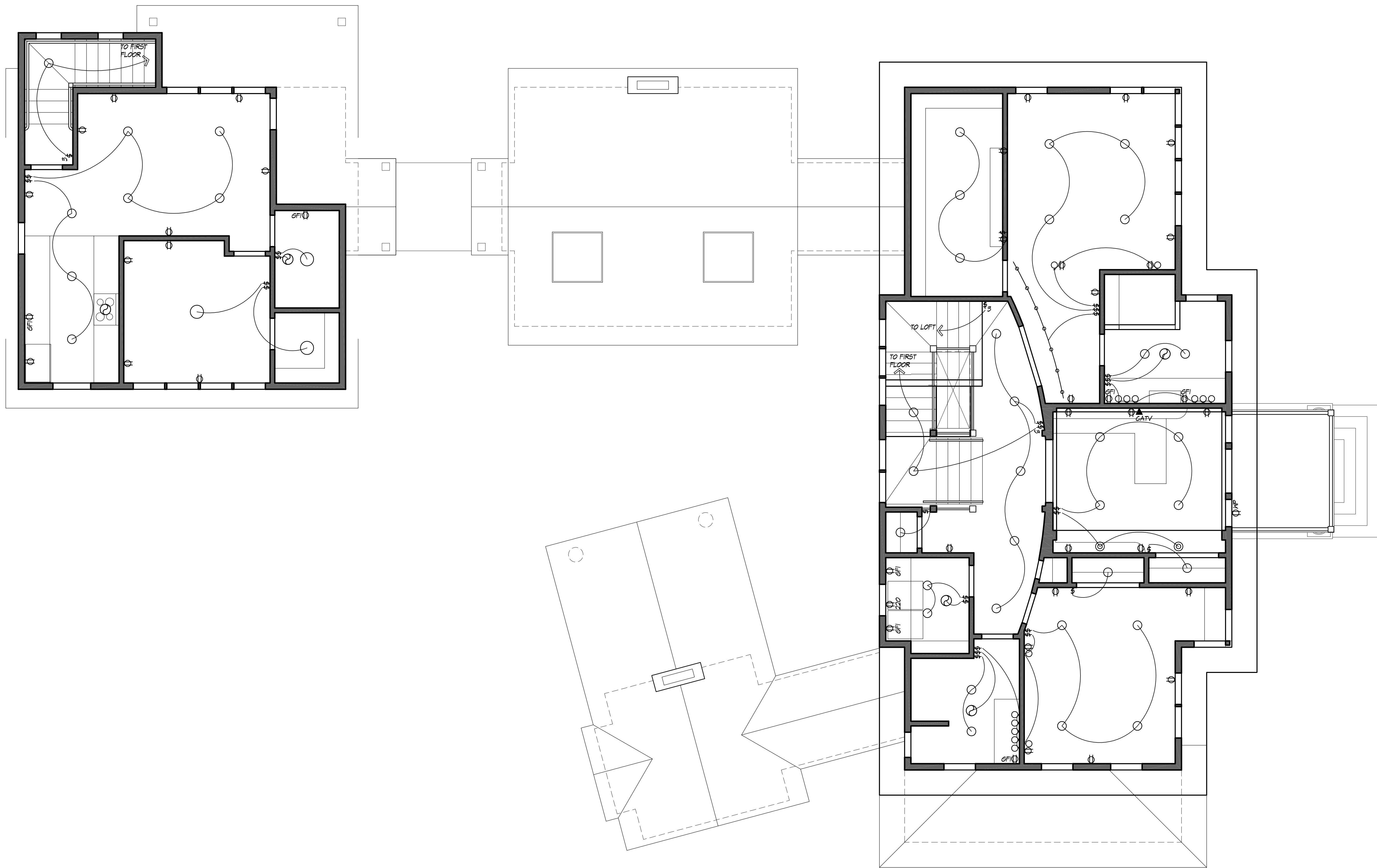


REF NORTH

SHEET TITLE: **SECOND FLOOR
ELECTRICAL PLAN**

SHEET NUMBER: **E1.1**

© COPYRIGHT - DRAGER ARCHITECTURE



SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

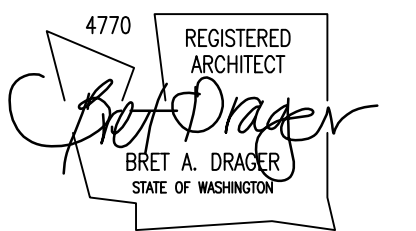


DRAGER
ARCHITECTURE

—
ARCHITECTURE
DESIGN
PLANNING
—

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

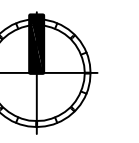
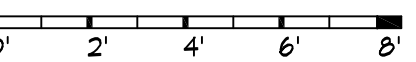
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

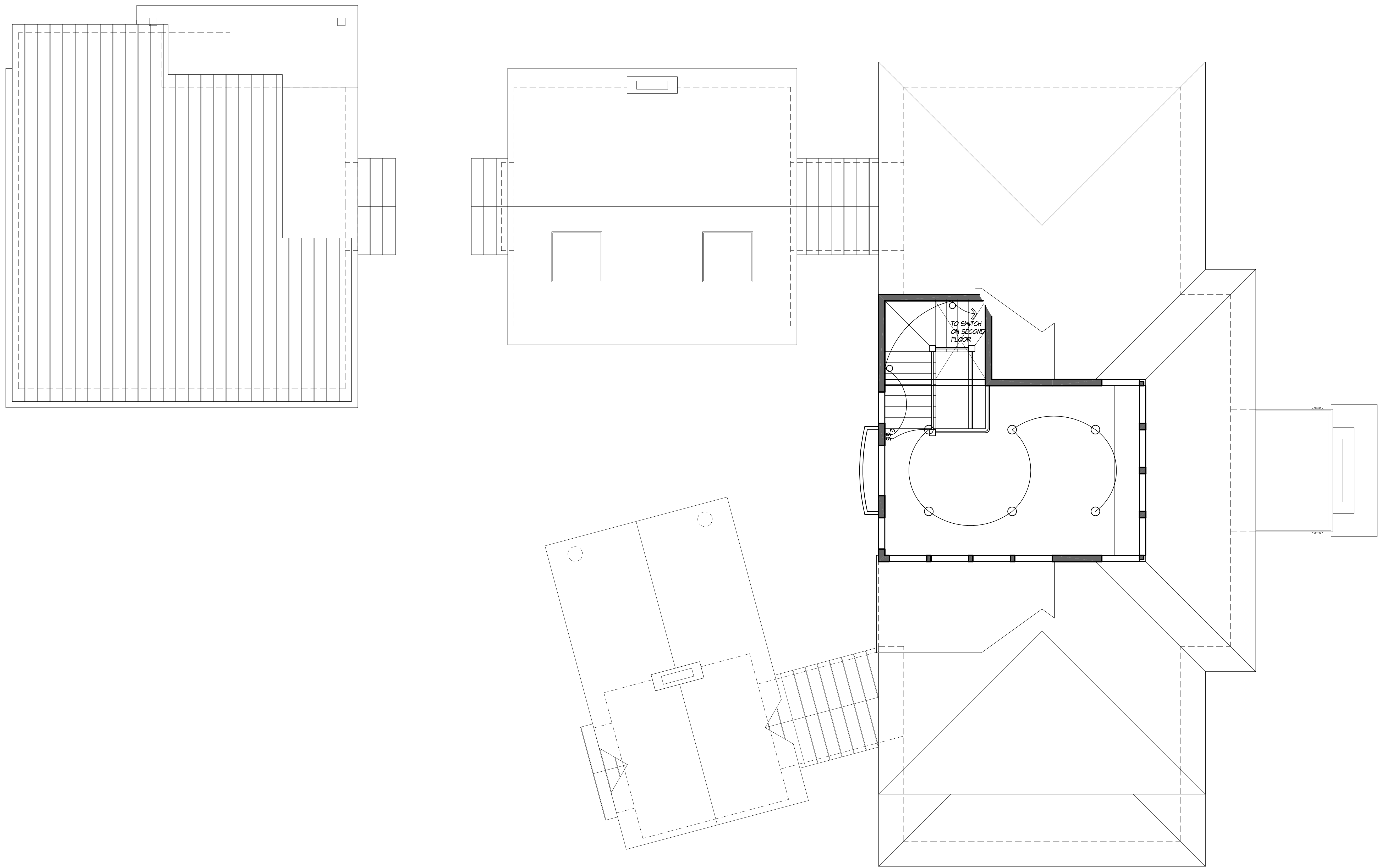


REF NORTH

SHEET TITLE: LOFT ELECTRICAL PLAN

SHEET NUMBER: **E1.2**

© COPYRIGHT - DRAGER ARCHITECTURE



LOFT ELECTRICAL PLAN
1/4" = 1'-0"

CODES.

ALL METHODS, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) AS AMENDED AND ADOPTED BY THE LOCAL BUILDING AUTHORITY. ENGINEERING DESIGN IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE IS PERMITTED FOR ALL BUILDINGS AND STRUCTURES, AND PARTS THEREOF, INCLUDED IN THE SCOPE OF THIS CODE (IRC R301.1.3). ALL REFERENCE TO OTHER CODES AND STANDARDS (ACI, ASTM, ETC.), SHALL BE FOR THE LATEST OR MOST CURRENT EDITION AVAILABLE.

DESIGN CRITERIA.

UNIFORM LOADS:
 SNOW (IRC R301.2) GROUND SNOW LOAD 25 PSF
 LIVE LOAD DEAD LOAD 25 PSF ACTUAL
 ROOF FLOOR 40 PSF ACTUAL

LATERAL LOADS:
 WIND (IRC R301.2) BASIC WIND SPEED: 85 MPH (3 SECOND GUST)
 EXPOSURE: C IMPORTANCE FACTOR: 1.0
 SOIL SITE CLASS D
 SEISMIC (IRC R301.2) SEISMIC DESIGN CATEGORY D2
 IMPORTANCE FACTOR: 1.0

LATERAL EARTH PRESSURE:

BASEMENT WALLS AND OTHER WALLS IN WHICH HORIZONTAL MOVEMENT IS RESTRICTED AT THE TOP SHALL BE DESIGNED FOR AT REST LOAD OF NOT MORE THAN 60 PSF/FT. RETAINING WALLS FREE TO MOVE AND ROTATE AT THE TOP ARE PERMITTED TO BE DESIGNED FOR ACTIVE LOAD OF NOT MORE THAN 30 PSF/FT.

SOIL DATA.

1500 PSF ASSUMED - CONTRACTOR TO FIELD VERIFY CONDITION. A GEOTECHNICAL REPORT IS REQUIRED FOR REVIEW BY THE ENGINEER AND BUILDING OFFICIAL WHENEVER STRUCTURES OR PORTIONS THEREOF ARE TO BE LOCATED ON FILL.

INSPECTION - SHALL BE PERFORMED PER THE BUILDING OFFICIAL'S RULES.

CONCRETE.

ALL CONCRETE SHALL BE HARD ROCK CONCRETE MEETING REQUIREMENTS OF ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE". PLACE CONCRETE PER ACI-318 AND CONFORM TO ACI-308R-88 FOR WINTER CONCRETING AND ACI-308R-11 FOR HOT WEATHER CONCRETING. DO NOT OVER-VIBRATE. MINIMUM SPECIFIED COMPRESSIVE STRENGTH AND AIRCONTENT OF CONCRETE SHALL BE AS SHOWN BELOW. (REF:IRC TABLE R402.2 FOR MODERATE WEATHERING POTENTIAL.)

TYPE OR LOCATION OF CONCRETE CONSTRUCTION

STRENGTH (PSI) AIR CONTENT NOTES

BASEMENT WALLS, FOUNDATIONS AND OTHER CONCRETE NOT EXPOSED TO THE WEATHER	2500	NONE	
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	2500	NONE	
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERT. CONC. WORK EXPOSED TO THE WEATHER	3000	5-7%	
PORCHES, GARPORT SLABS AND STEPS EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS	3000	5-7%	

NOTE 1: SEE IRC R402.2 AND ACI 318 CHAPTER 4 FOR MINIMUM CEMENT CONTENT.

REINFORCING STEEL	DEFORMED BAR REINFORCEMENT:	ASTM A-615 GRADE 60	ASTM A-108 & ASTM A-82	FY = 65 KSI
	HELD WIRE FABRIC:			

ALL REINFORCING SHALL BE LAP-SPLICED A MINIMUM LAP OF 40 BAR DIAMETERS EXCEPT AS NOTED SPECIFICALLY ON THE STRUCTURAL DRAWINGS. NO MORE THAN 50% OF HORIZONTAL OR VERTICAL BARS SHALL BE SPLICED AT ONE LOCATION. PROVIDE ELBOW BARS (40 DIAMETERS) TO LAP HORIZONTAL STEEL AT CORNERS AND INTERSECTIONS IN FOOTINGS AND WALLS.

CONCRETE COVER ON REINFORCING (UNLESS SHOWN OTHERWISE):

BOTTOM OF FOOTING	3"
FORMED EARTH FACE & SLAB-ON-GRADE	2"

WOOD.

FRAMING LUMBER SHALL BE DPM2 OR BETTER, EXCEPT THAT 2X FRAMING LUMBER MAY BE HF #2 UNLESS OTHERWISE SHOWN ON THE PLANS. ALL 2" LUMBER SHALL BE KILN DRIED (KD). EACH PIECE OF LUMBER SHALL BEAR A GRADE STAMP OF A RECOGNIZED LUMBER GRADING OR INSPECTION BUREAU OR AGENCY PER THE NIST AMERICAN SOFTWOOD LUMBER STANDARD PS 20-19.

PROVIDE CUT OR MALLEABLE IRON WASHERS OR WHERE BOLT HEADS, NUTS, AND LAG SCREWS BEAR ON WOOD.

TREAT ALL WOOD IN CONTACT WITH CONCRETE, MORTAR, GROUT, MASONRY, AND WITHIN 8" OF EARTH, ALL WOOD OVER WATER, AND ALL WOOD IN CONTACT WITH EARTH WITH ONE OF THE FOLLOWING PROCESSES:

CHROMATED COPPER ARSENATE (CCA-C)

DOT SODIUM BORATE (SDB)

ALKALINE COPPER QUAT ACQ-C AND ACQ-D (CARBONATE)

COPPER AZOLE (CBA-A AND CBA-B)

WHERE POSSIBLE, PRE-CUT MATERIAL BEFORE TREATMENT. ALL FIELD CUTS AND DRILLED HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH ANPA M-4.

ACCESSORIES.

BOLTS SHALL BE ASTM A-307.

WASHERS SHALL BE MALLEABLE IRON WASHERS (M.I.W.) OR HEAVY PLATE CUT WASHERS.

NAILS SHALL HAVE THE MINIMUM WIRE DIMENSIONS SHOWN ON DETAIL 5 THIS SHEET.

LAG SCREWS, SHEAR PLATES - SEE NATIONAL DESIGN SPECIFICATIONS.

ANCHORS AND CONNECTIONS SHALL BE SIMPSON, TECO, LUMBERLOK OR OTHER INTERNATIONAL CODE COUNCIL (ICC) APPROVED PRODUCTS. ALL FASTENERS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SHOWN.

ALL HARDWARE EXPOSED TO WEATHER, IN UNHEATED PORTIONS OF BUILDING, OR IN CONTACT WITH TREATED WOOD AS SPECIFIED ABOVE SHALL BE GALVANIZED AS FOLLOWS: FASTENERS SHALL BE HOT DIPPED PER ASTM A 153 OR MECHANICALLY GALVANIZED PER ASTM B 645, CLASS 55 OR GREATER. HARDWARE SHALL BE GALVANIZED PER ONE OF THE FOLLOWING PROCESSES: ASTM A 653 CLASS 155 (SIMPSON 2X4X 6X8) OR BATCHPOST HOT DIPPED GALVANIZED PER ASTM A 123.

STAINLESS STEEL HARDWARE AND FASTENERS SHALL BE USED IN CONNECTION WITH ANY PRESERVATIVE TREATMENT PROCESS NOT SPECIFICALLY LISTED ABOVE.

MINIMUM NAILING.

MINIMUM NAILING SHALL BE PER IRC TABLE R602.3 (1) - NAILING SCHEDULE.

SHEATHING (PLYWOOD/OSB).

ALL GRADING SHALL CONFORM TO THE FOLLOWING STANDARDS: NIST VOLUNTARY PRODUCT STANDARD PS 2-42. THICKNESS AND LAY-UP SHALL BE AS SHOWN. ALL PLYWOOD SHALL BE GROUP 1 OR II SPECIES, UNLESS OTHERWISE SHOWN. PROVIDE THE FOLLOWING MINIMUM NAILING:

PANEL EDGES 8D AT 6" ON CENTER

INTERMED. SUPPORT 8D AT 12" ON CENTER

GLUELAM BEAMS.

MATERIALS, MANUFACTURE AND QUALITY CONTROL SHALL BE PER ANSI/AITC A-190.1 'STRUCTURAL GLUE LAMINATED TIMBER' UNLESS OTHERWISE SHOWN. CAMBER ALL BEAMS 1/2 TIMES DEAD LOAD DEFLECTION, UNLESS OTHERWISE SHOWN. ALL BEAMS SHALL BE COMBINATION 24F-1.8E AS LISTED IN ANCL-ASD TABLE 3.1, AND HAVE EXTERIOR GRADE, UNLESS OTHERWISE SHOWN. INDUSTRIAL APPEARANCE IS ACCEPTABLE.

WOOD ADHESIVE.

ALL WOOD ADHESIVES SHALL BE ELASTOMERIC AND SHALL HAVE A CURRENT ICC-ES APPROVAL. APPLY ALL ADHESIVES IN ACCORDANCE WITH THE ADHESIVE MANUFACTURER'S RECOMMENDATIONS.

PRE-ENGINEERED TRUSSES.

MEMBER GEOMETRY AND SPACING SHALL BE AS SHOWN ON THE PLANS. THE MANUFACTURER SHALL PROVIDE ADDITIONAL FRAMING MEMBER AS SHOWN OR AS NECESSARY TO PROVIDE SUPPORT FOR MECHANICAL EQUIPMENT, WALL OR OTHER PARTITIONS, SNOW DRIFT LOADS, ETC. TRUSSES WITH SPANS GREATER THAN 35' SHALL HAVE THE HEEL PLATES DESIGNED CONSIDERING THE EFFECT OF ECCENTRIC LOADING.

WHERE NOTED PRECUT BLOCKING, BRIDGING, BRACING AND/OR FILLER PIECES SHALL BE FURNISHED BY THE MANUFACTURER WHERE APPLICABLE. HIND UPLIFT BRACING SHALL BE PROVIDED BY THE MANUFACTURER, UNLESS NOTED OTHERWISE. THE TRUSS MANUFACTURER SHALL SPECIFY AND FURNISH CONNECTION HARDWARE FOR THE INSTALLATION OF THEIR SYSTEM.

SHOP DRAWINGS SHALL INDICATE ALL REQUIRED PERMANENT BRACINGS, SUPPORTING CALCULATIONS SHALL INDICATE MEMBER STRESSES, SPECIES/GRADES AND APPLICABLE ICC-ES APPROVALS. SHOP DRAWINGS AND CALCULATIONS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON.

METAL PLATED TRUSSES SHALL BE MANUFACTURED AS DETAILED IN CONFORMANCE WITH THE FOLLOWING STANDARDS:

ANSI/TPI 1-2002 NATIONAL DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION.

ANSI/TPI 1-1985 CODE OF STANDARD PRACTICE FOR THE METAL PLATE CONNECTED WOOD TRUSS INDUSTRY.

ANSI/TPI 2-1985 STANDARD FOR TESTING METAL PLATE CONNECTED WOOD TRUSSES.

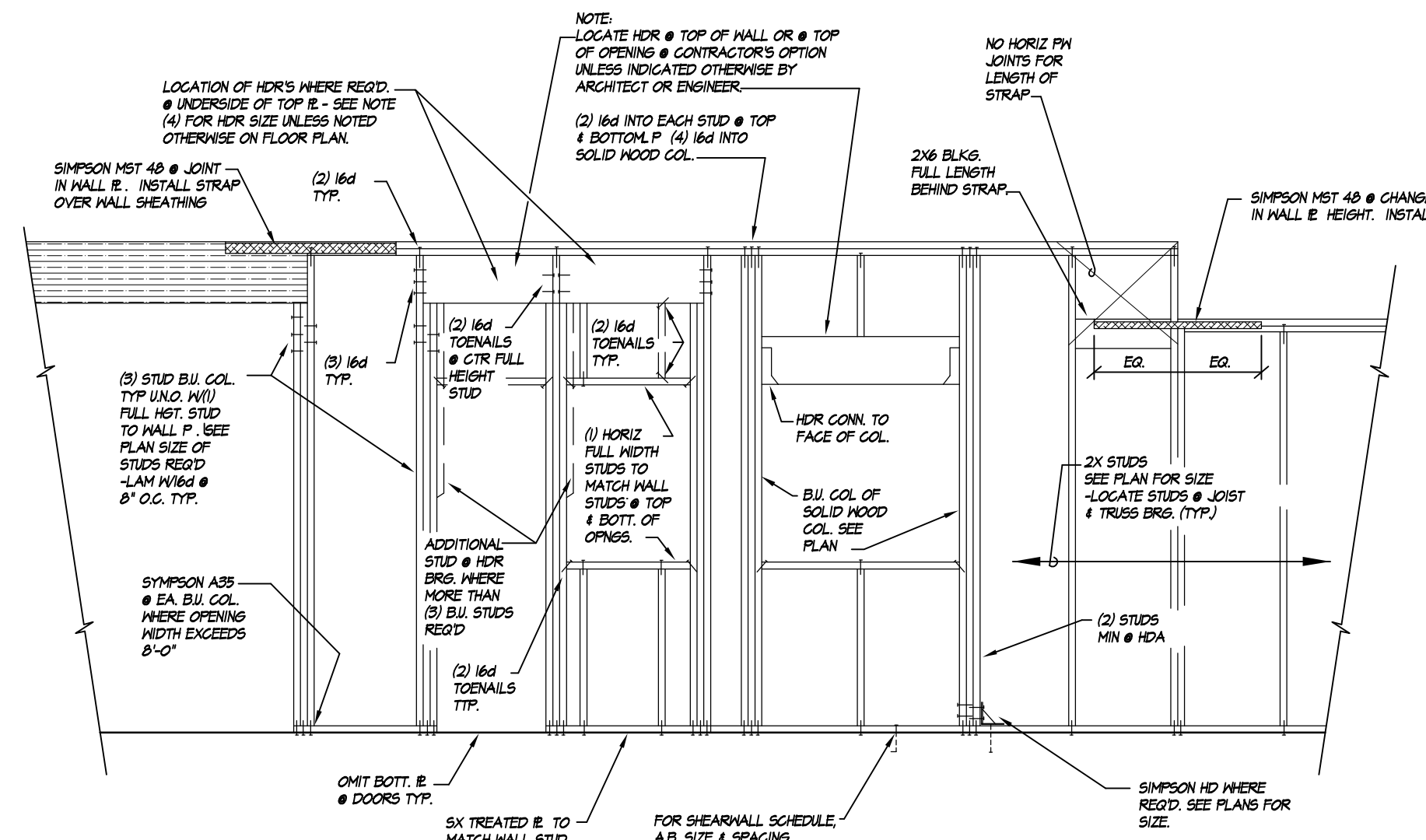
WHEN DELIVERED, THE COMPONENTS SHALL BE ACCOMPANIED BY THE FABRICATOR'S CERTIFICATE OF CONFORMANCE TO THE ABOVE REFERENCED STANDARDS, AND BY THE FOLLOWING USER ADVISORY NOTICES (OR NOTICES EQUIVALENT) TO:

BSG-81 SUMMARY SHEET - GUIDE FOR HANDLING, INSTALLATION AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.

BSG-82 SUMMARY SHEET - TRUSS INSTALLATION AND TEMPORARY BRACING.

BSG-83 SUMMARY SHEET - WEB MEMBER PERMANENT BRACINGS/WEB REINFORCEMENT.

BSG-84 SUMMARY SHEET - CONSTRUCTION LOADING.



1. TYP. BEARING WALL FRAMING ELEVATION
N.T.S.

NOTE: HEADERS SHALL BE EITHER (2) 2X2 HPF2, 4X10 DPM2, OR 6X8 DPM2 UNLESS NOTED OTHERWISE ON PLANS.

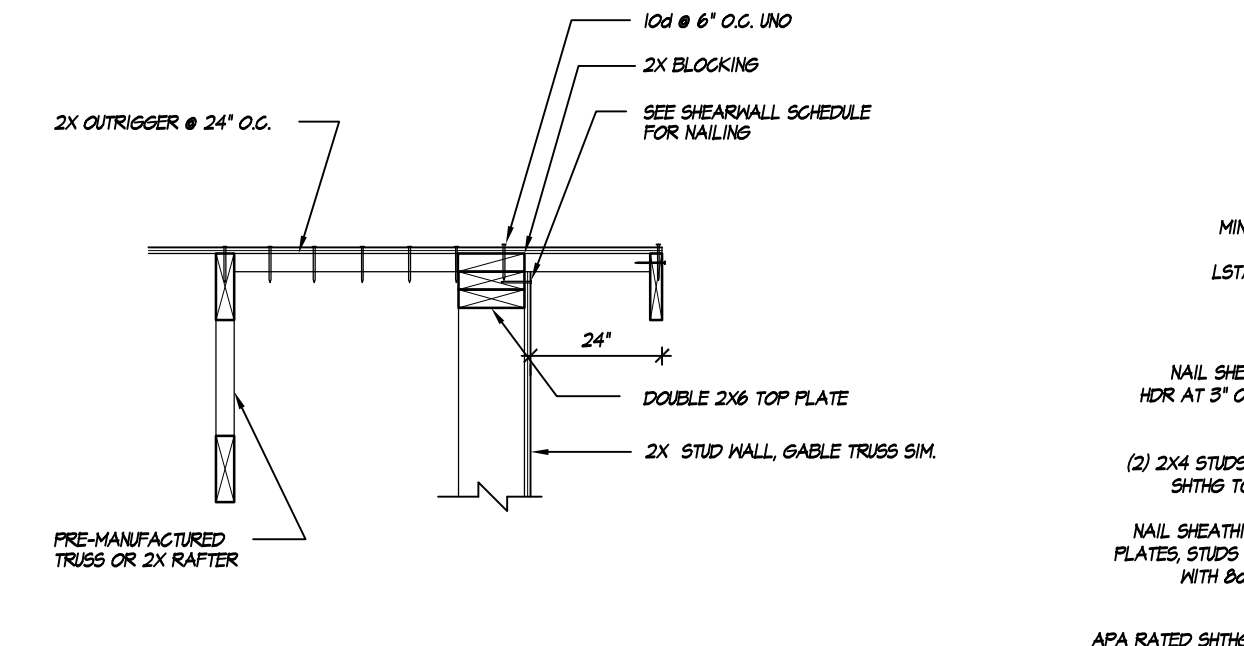
MARK (SHEAR CAPACITY)	WALL TYPE	PANEL EDGE NAILING (1), (2)	INTERMEDIATE NAILING (2)	BOTTOM PLATE ANCHOR BOLTING OR NAILING (3)
(200 LB/FT)	1/2" CDX PLYWOOD OR OSB, ONE SIDE	8d @ 6" O.C.	8d @ 12" O.C.	1/2" A.B. @ 48" O.C. OR 16d @ 1 1/2' O.C.
(350 LB/FT)	1/2" CDX PLYWOOD OR OSB, ONE SIDE	8d @ 3 1/2" O.C.	8d @ 12" O.C.	3/8" A.B. @ 3'-4" O.C. OR 16d @ 4' O.C.
(700 LB/FT)	1/2" CDX PLYWOOD OR OSB, BOTH SIDES	8d @ 4" O.C. (4)	8d @ 12" O.C.	3/4" A.B. @ 24" O.C. OR 16d @ 2' O.C.
(200 LB/FT) (W/INS)	1/2" GNB, BOTH SIDES	5d COOLER NAILS @ 7" O.C.	5d COOLER NAILS @ 7" O.C.	1/2" A.B. @ 48" O.C. OR 16d @ 8' O.C.

SHEAR WALL SCHEDULE NOTES:

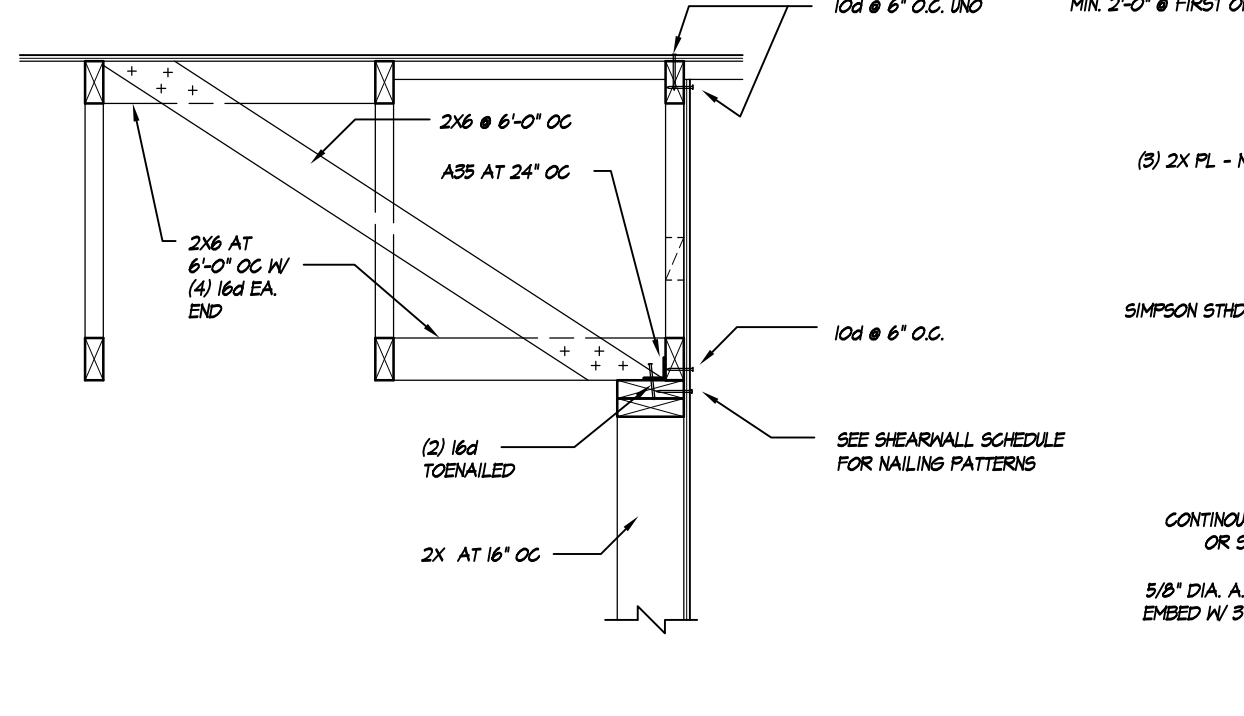
- 1) BLOCK ALL PANEL EDGES
- 2) SEE NAILS - MINIMUM REQUIREMENTS
- 3) 2X STUDS SHALL BE HF#2 OR BETTER, KILN-DRIED
- 4) USE 2X STUDS AND PLATES @ PANEL EDGES AT SHEARWALL S ONLY.
- 5) ANCHOR BOLTS SHALL HAVE MINIMUM 3" BY 3" BY 1/4" THICK PLATE WASHER
- 6) 7/16" OSB MAY BE SUBSTITUTED FOR 1/2" CDX

NAIL DESCRIPTION	MINIMUM WIRE DIAMETER	MINIMUM PENETRATION REQUIRED FOR LATERAL STRENGTH
5d Cooler	0.086"	1 1/2"
6d	0.094"	1.25"
8d	0.113"	1.25"
10d	0.128"	1.50"
16d	0.147"	1.75"

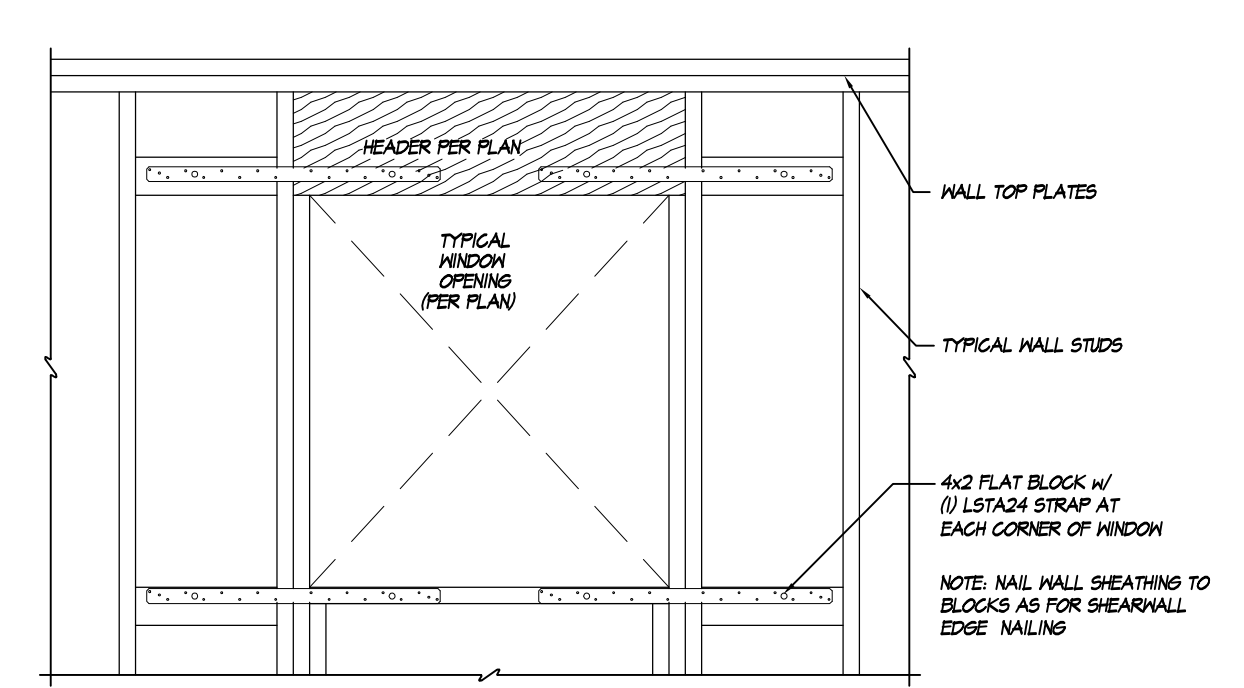
5. SHEAR WALL NAILING SCHEDULE
N.T.S.



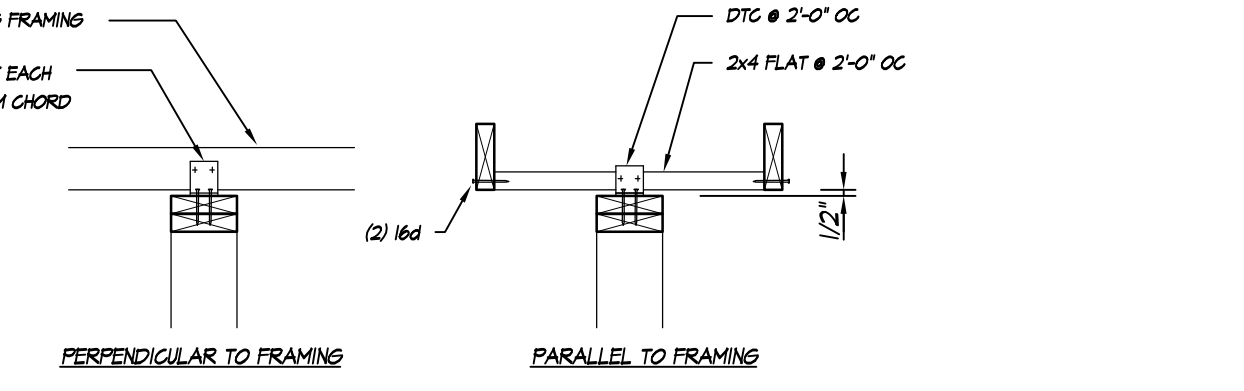
8. OUTLOOKER AT GABLE
N.T.S.



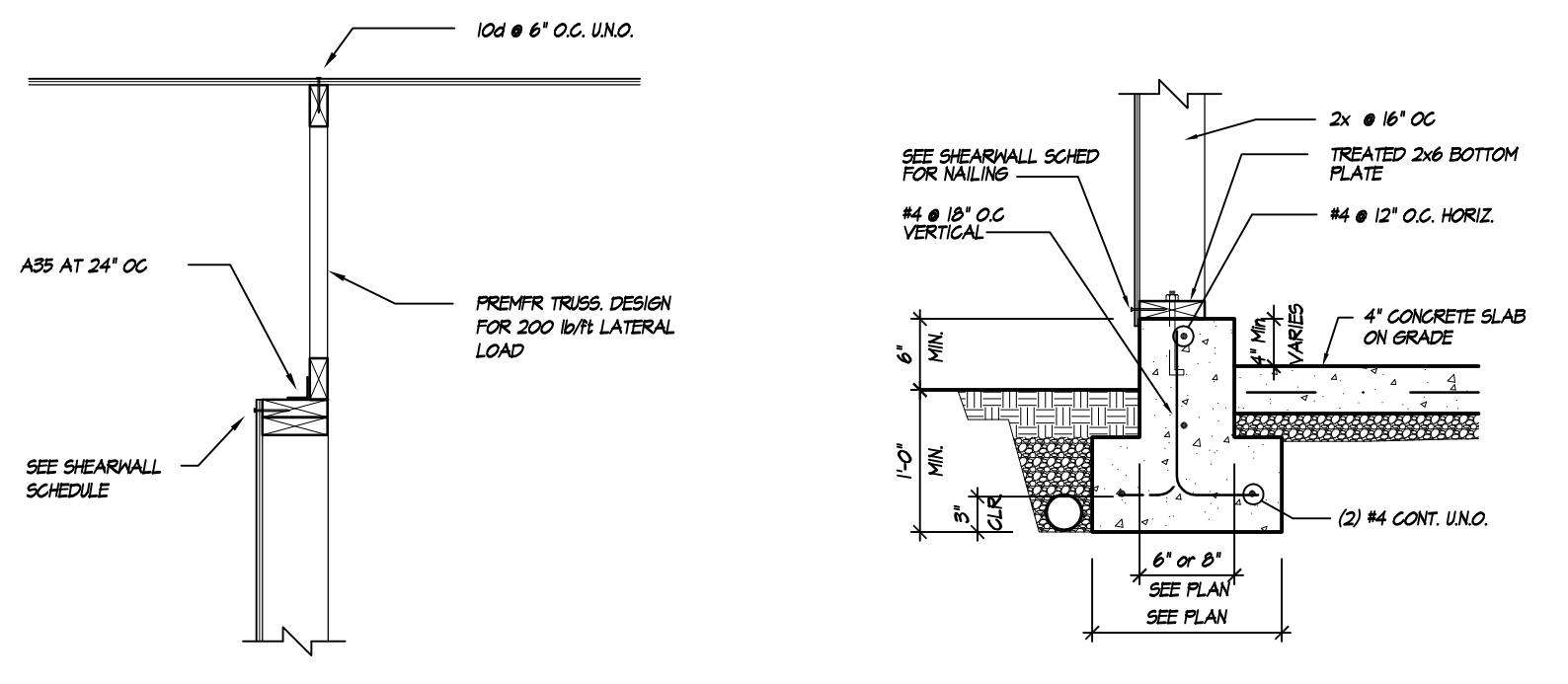
9. GABLE END WALL DETAIL
N.T.S.



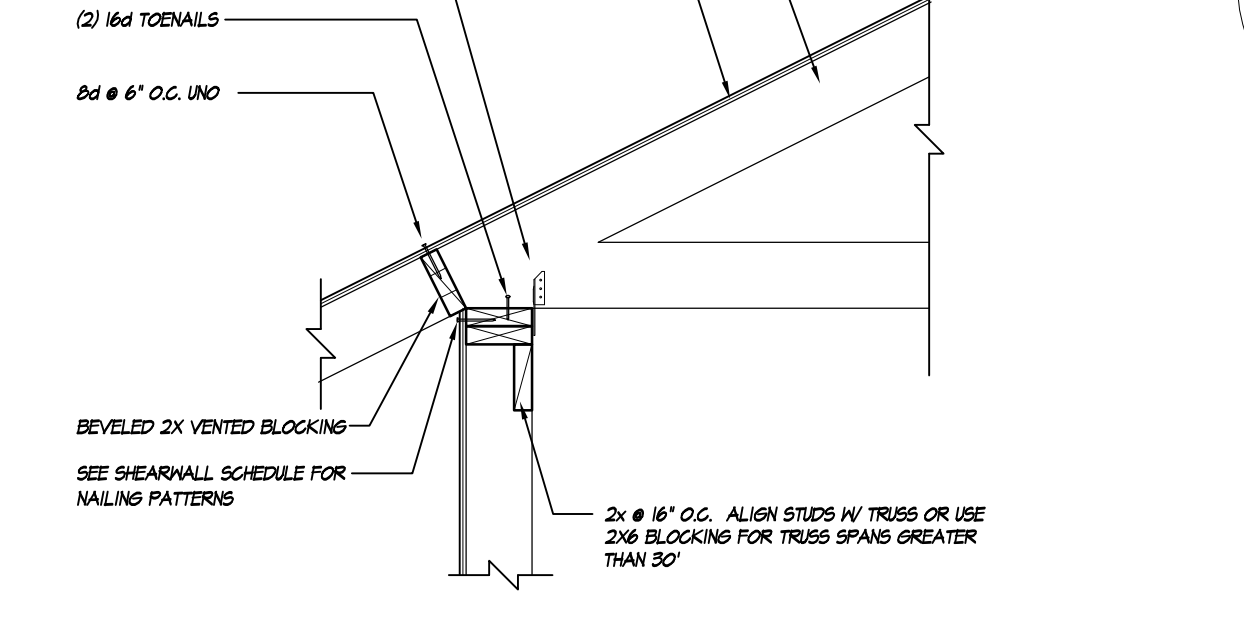
2. WINDOW STRAPPING DETAIL
N.T.S.



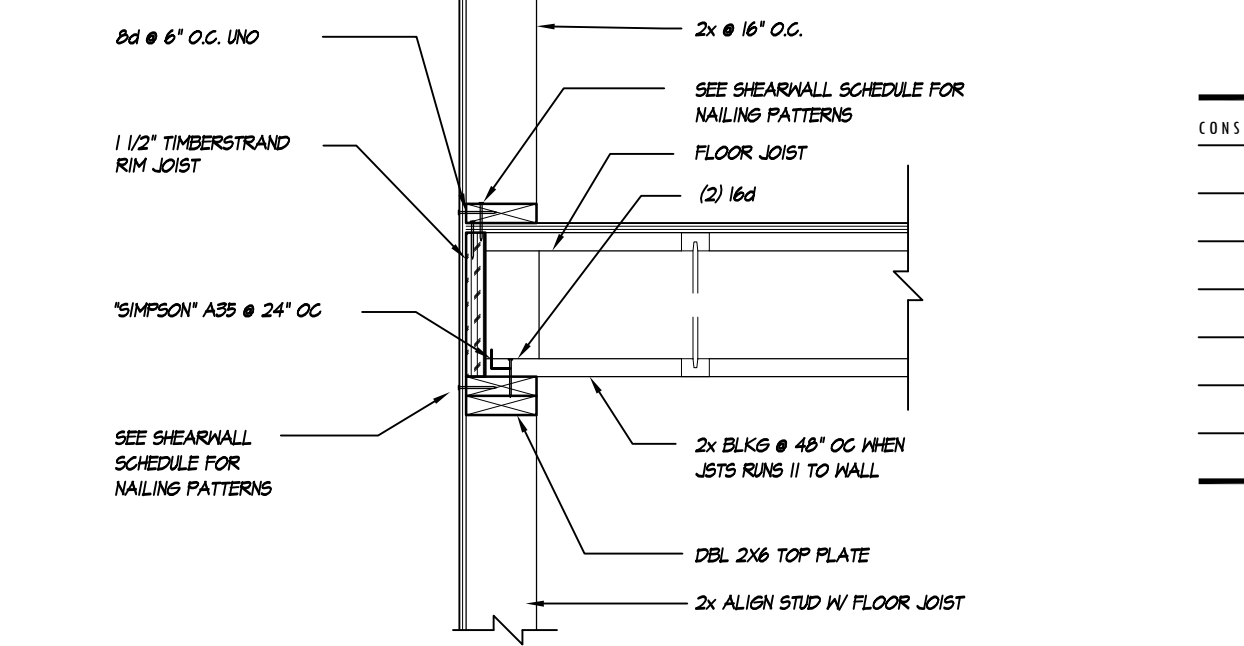
4. PARTITION WALL SUPPORT
N.T.S.



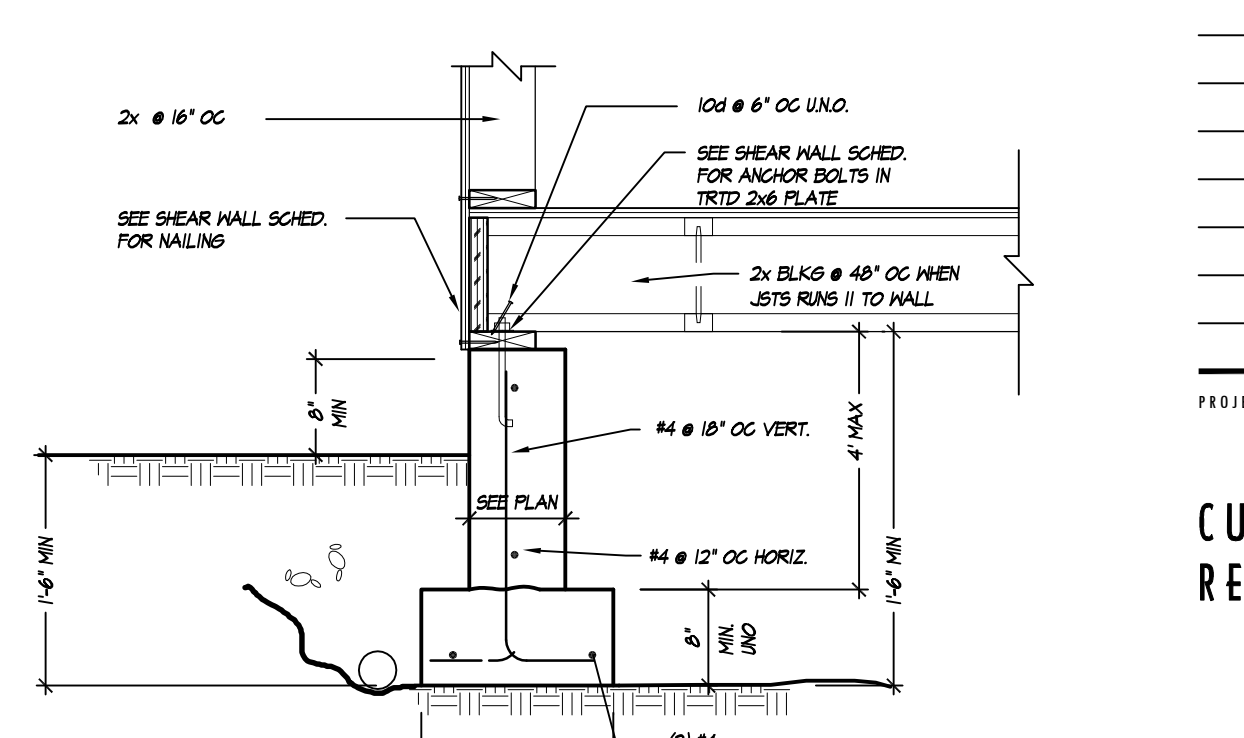
6. TRUSS CONNECTION AT SHEAR WALL
N.T.S.



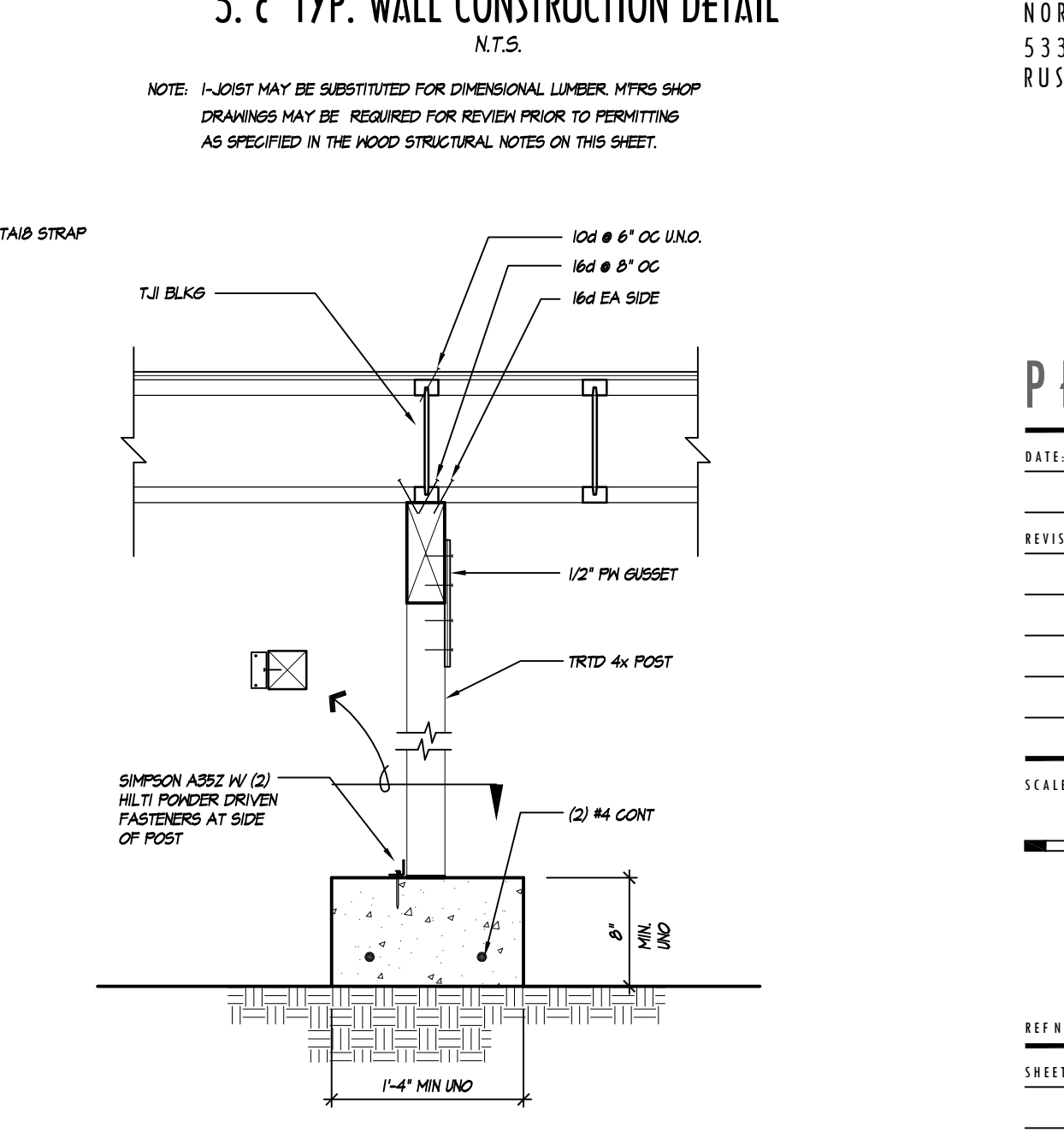
3. a TYP. WALL CONSTRUCTION DETAIL
N.T.S.



3. b TYP. WALL CONSTRUCTION DETAIL
N.T.S.

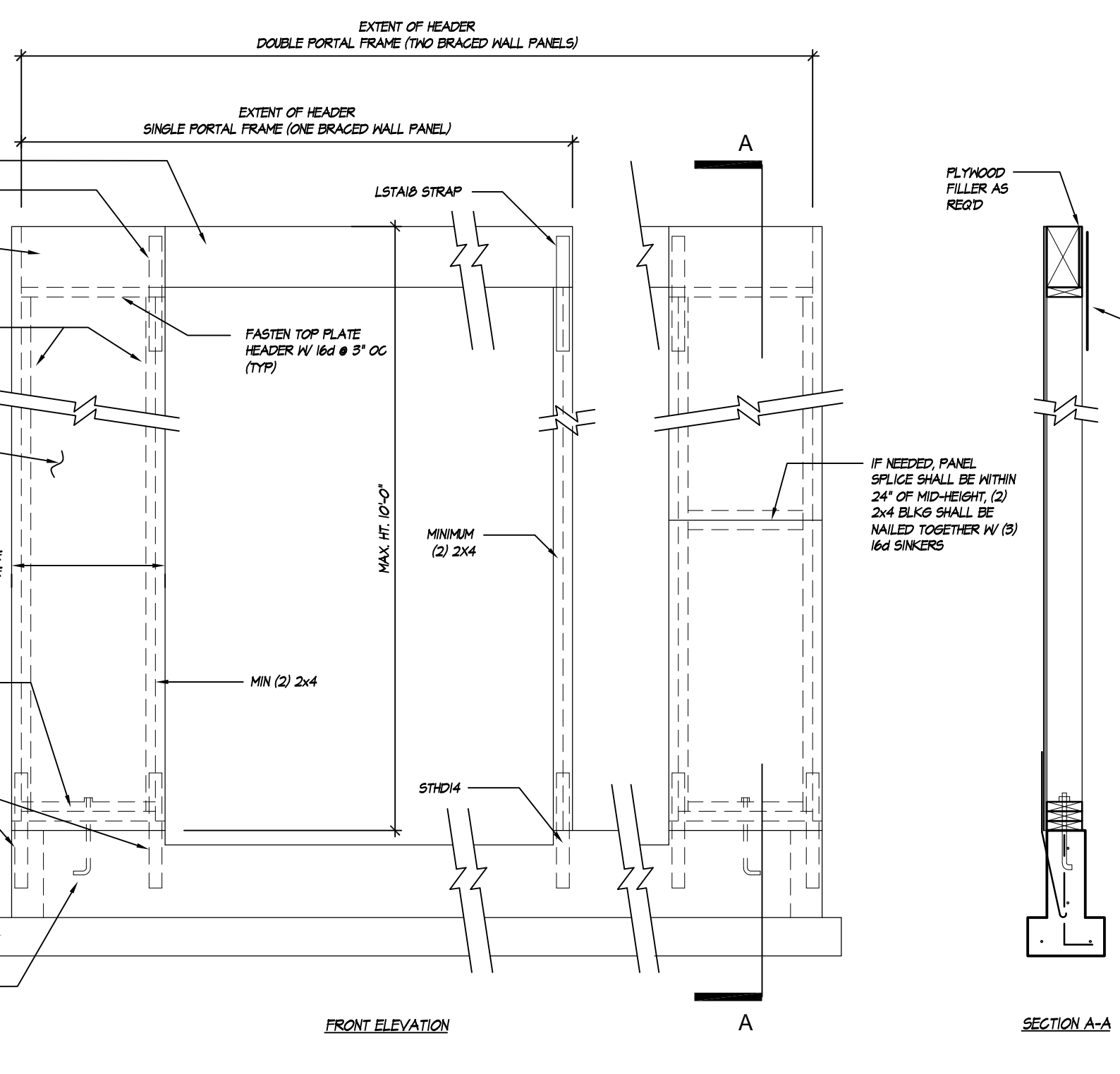


3. c TYP. WALL CONSTRUCTION DETAIL
N.T.S.

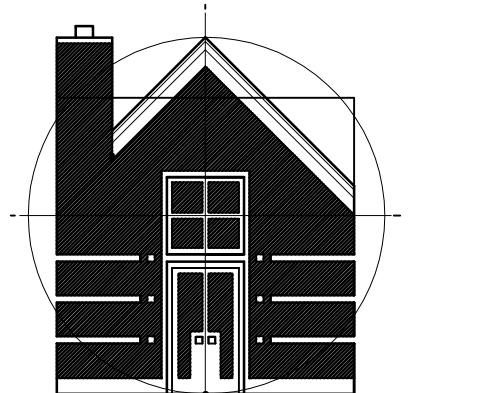


11. FLR FRAMING DETAIL
N.T.S.

7. ALTERNATE FTG DETAIL
N.T.S.



10. LATERAL RESTRAINT PORTAL (LRP)
N.T.S.



DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:
C. CHRISTIAN FYNBOE, P.E. 12202 Pacific Avenue, Suite B Tacoma, WA 98444 Ph 253.537.8128



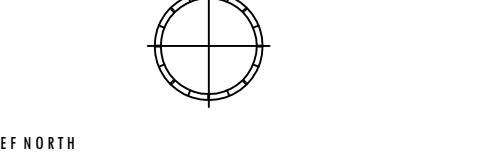
PROJECT:

CURRY RESIDENCE

SHORT PLAT:
NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016
 REVISIONS:
 SCALE: VARIES



SHEET TITLE: DETAILS
 SHEET NUMBER: **S1.0**
 © COPYRIGHT - DRAGER ARCHITECTURE



DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:

C. CHRISTIAN FYNBOE, P.E.
12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



PROJECT:

CURRY
RESIDENCE

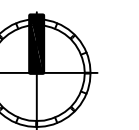
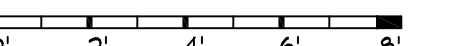
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

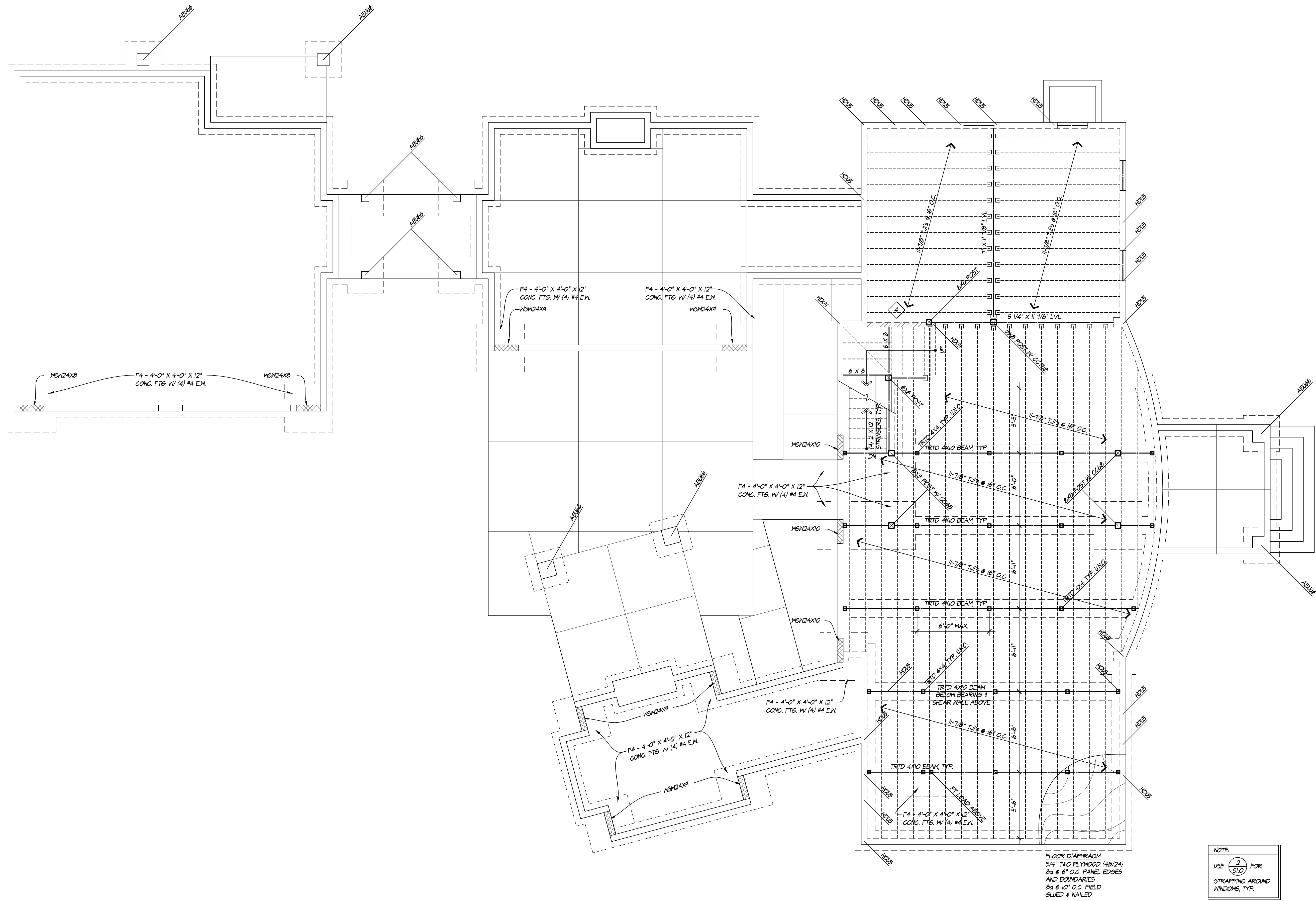


REF NORTH

SHEET TITLE: MAIN FLOOR
FRAMING PLAN

SHEET NUMBER: S2.1

© COPYRIGHT - DRAGER ARCHITECTURE



NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.

FLOOR DIAPHRAGM
3/4\"/>

MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"



DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

C. CHRISTIAN FYNBOE, P.E. 12202 Pacific Avenue, Suite B Tacoma, WA 98444 Ph 253.537.8128



PROJECT:

CURRY RESIDENCE

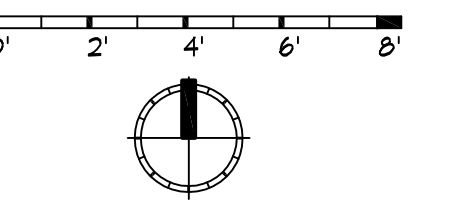
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

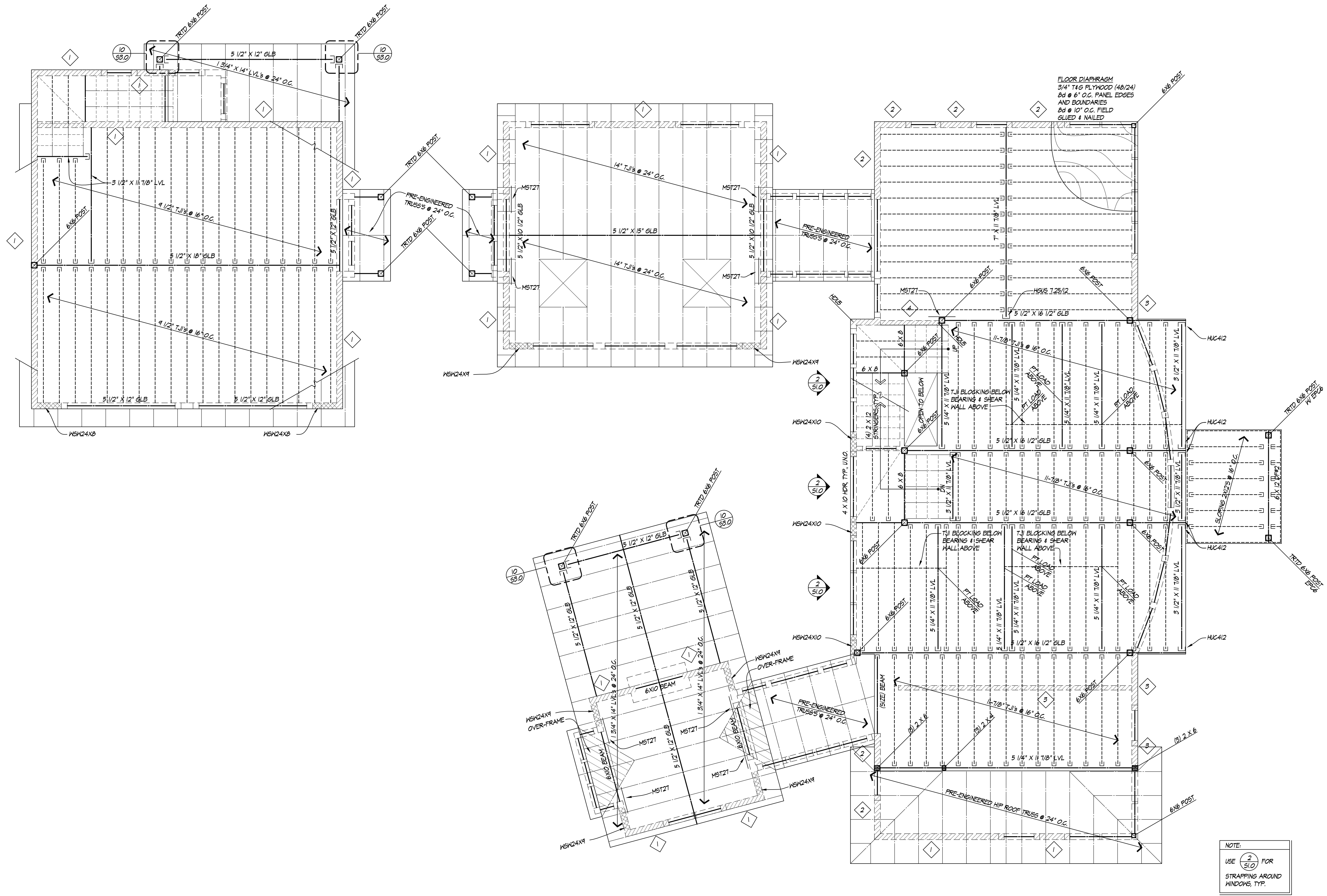


REF NORTH

SHEET TITLE: SECOND FLOOR FRAMING PLAN

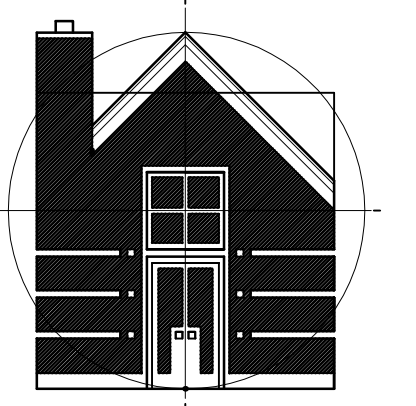
SHEET NUMBER: S2.2

© COPYRIGHT - DRAGER ARCHITECTURE



NOTE: USE 2/SLO FOR STRAPPING AROUND WINDOWS, TYP.

SECOND FLOOR FRAMING PLAN 1/4" = 1'-0"



DRAGER
ARCHITECTURE

ARCHITECTURE
DESIGN
PLANNING

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:

C. CHRISTIAN FYNBOE, P.E.
12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



PROJECT:

CURRY
RESIDENCE

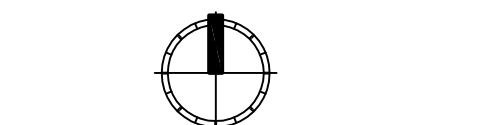
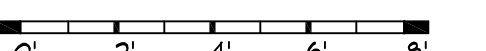
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

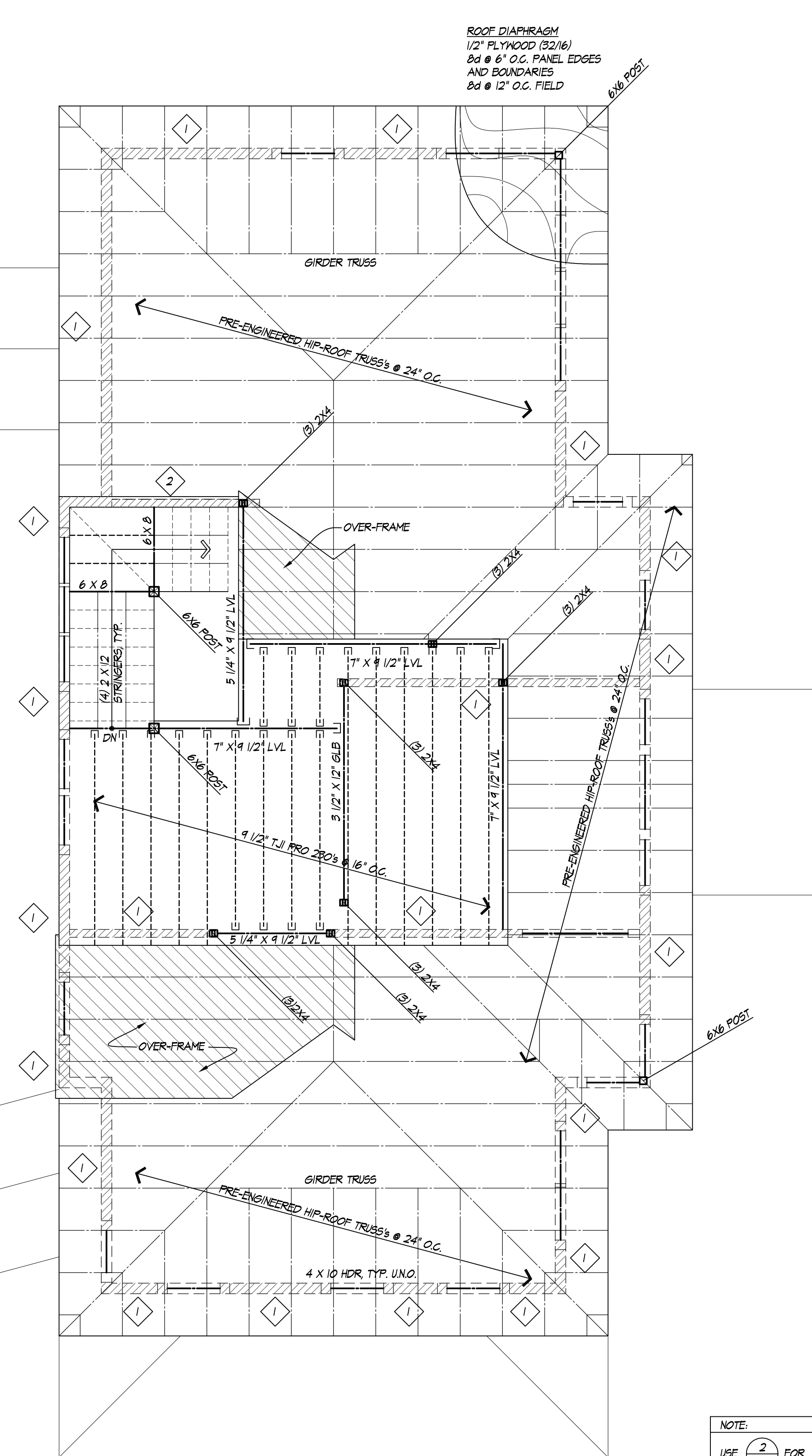
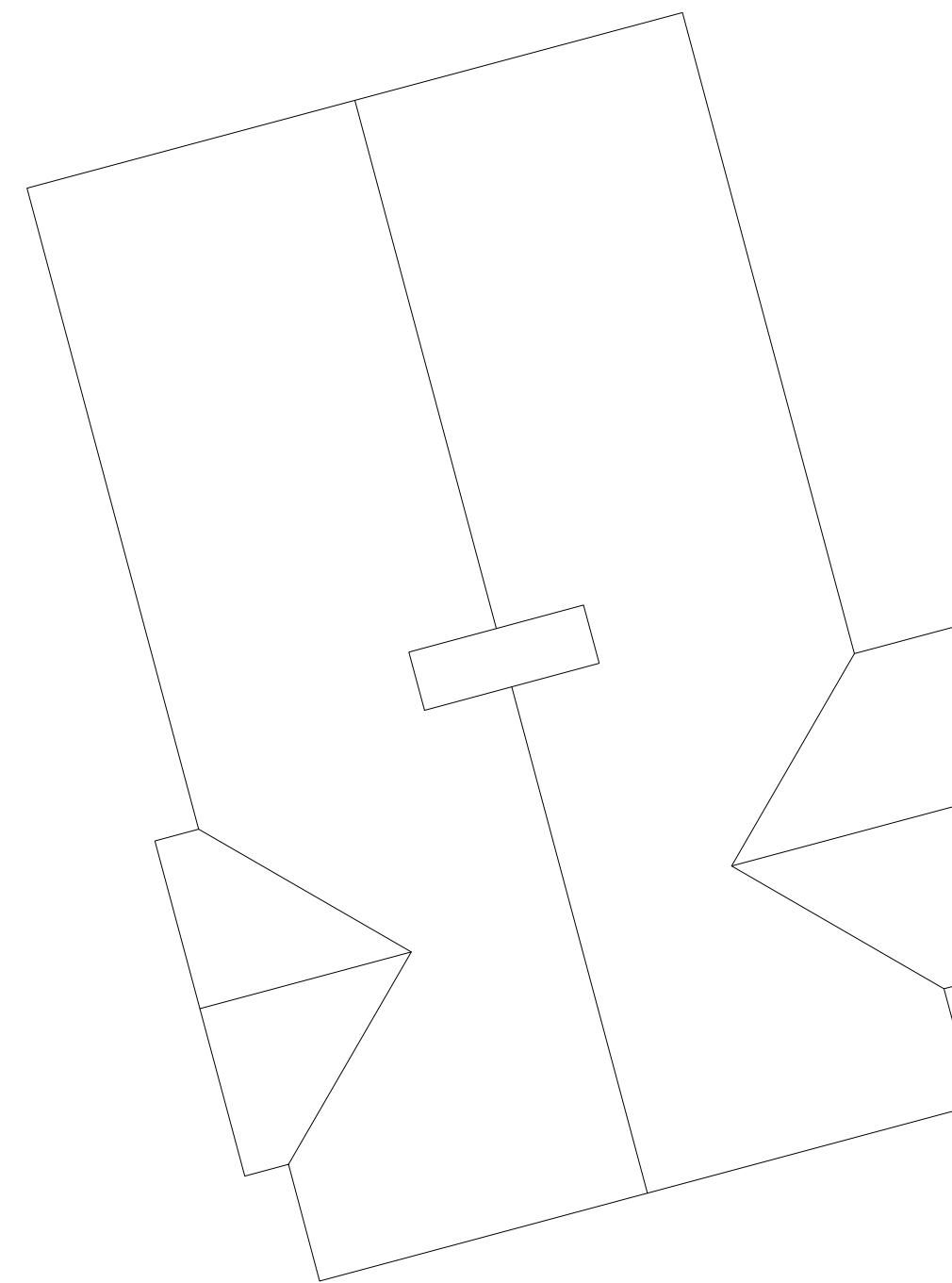
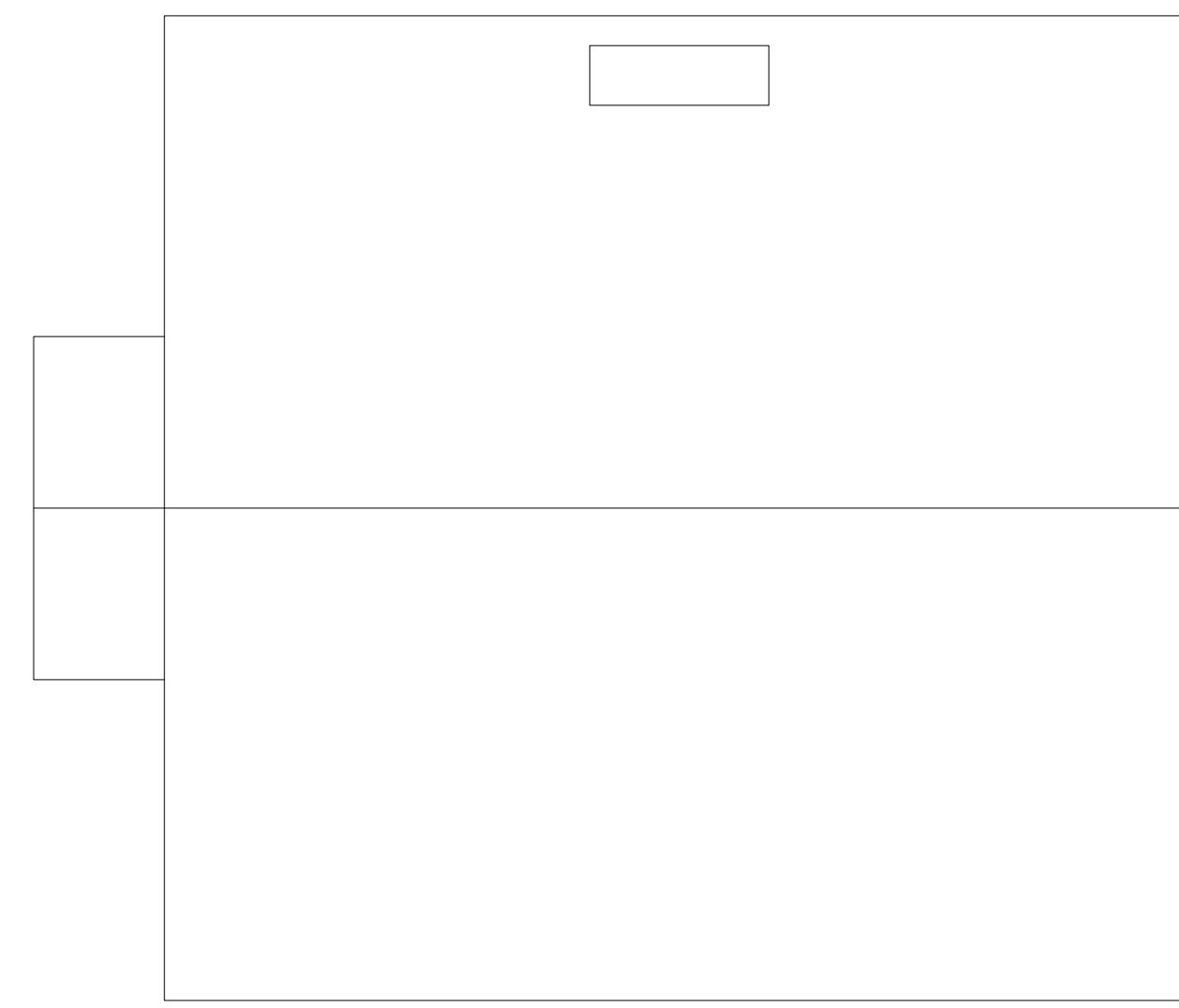
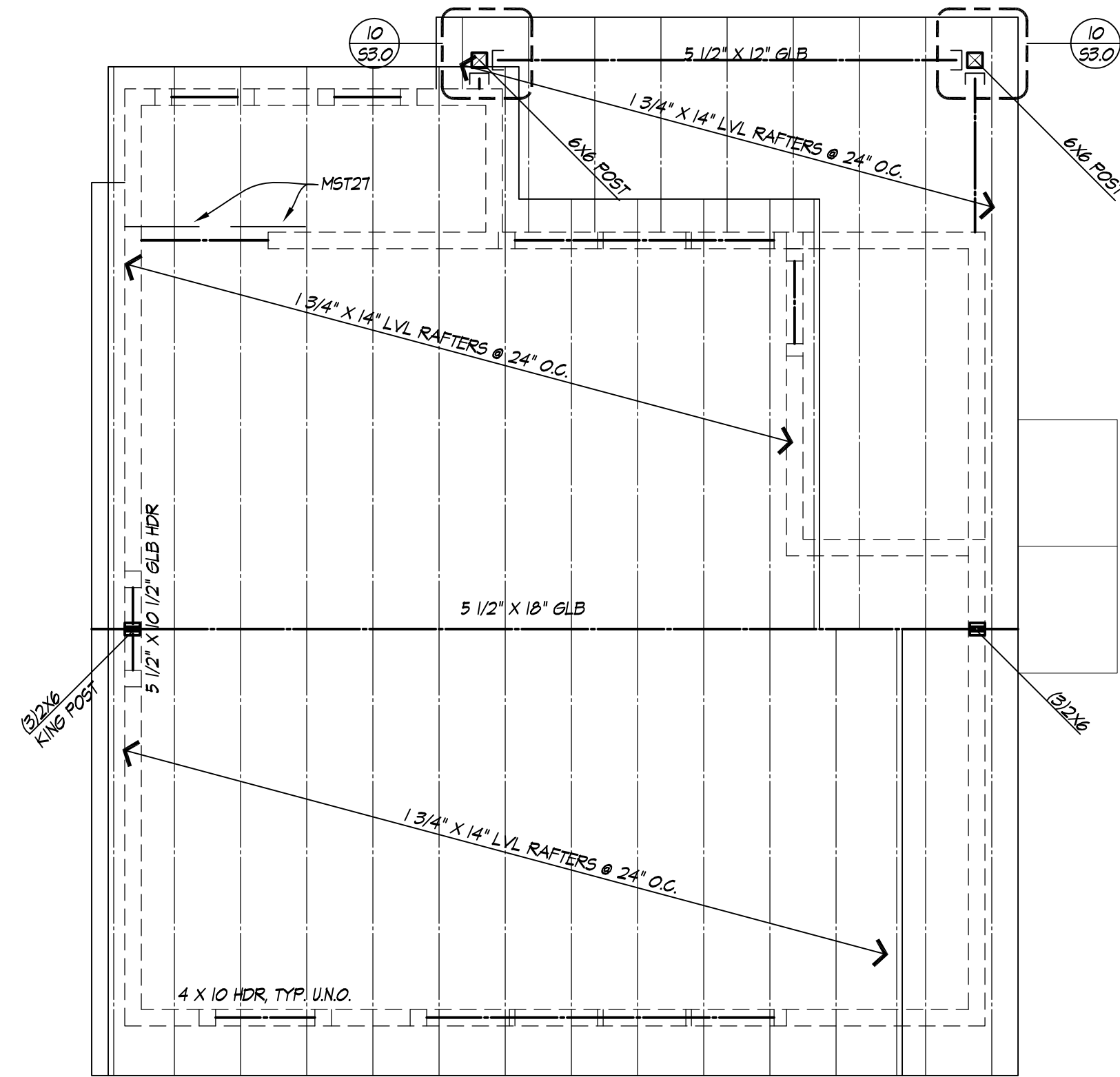
SCALE: 1/4" = 1'-0"



REF NORTH
SHEET TITLE: ROOF & LOFT
FRAMING PLAN

SHEET NUMBER: S2.3

© COPYRIGHT - DRAGER ARCHITECTURE



NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.

ROOF & LOFT FRAMING PLAN
1/4" = 1'-0"



DRAGER
ARCHITECTURE

—
ARCHITECTURE
DESIGN
PLANNING
—

2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:

C. CHRISTIAN FYNBOE, P.E.
12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



PROJECT:

CURRY
RESIDENCE

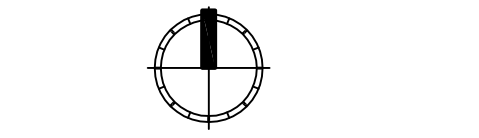
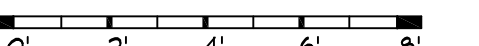
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

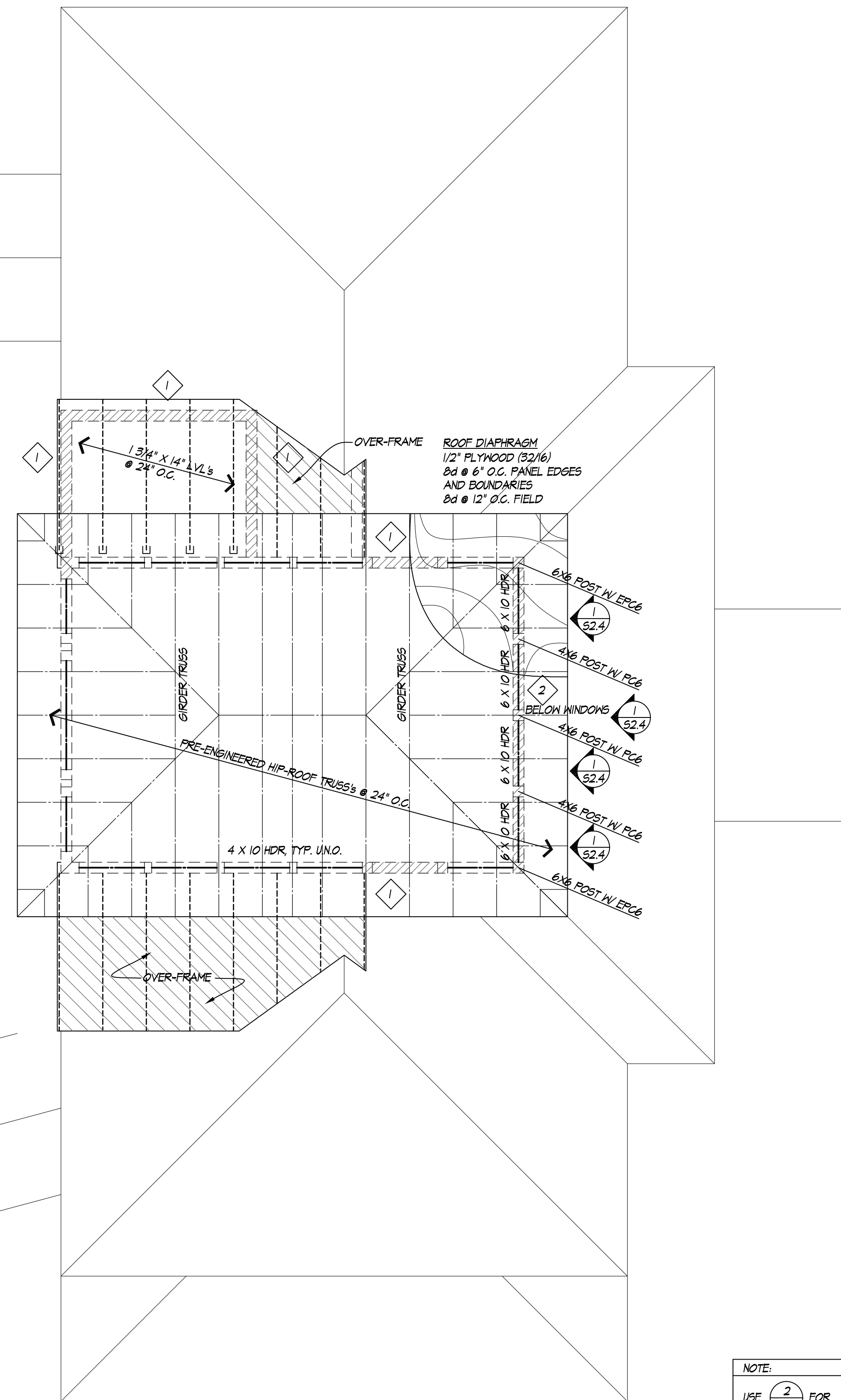
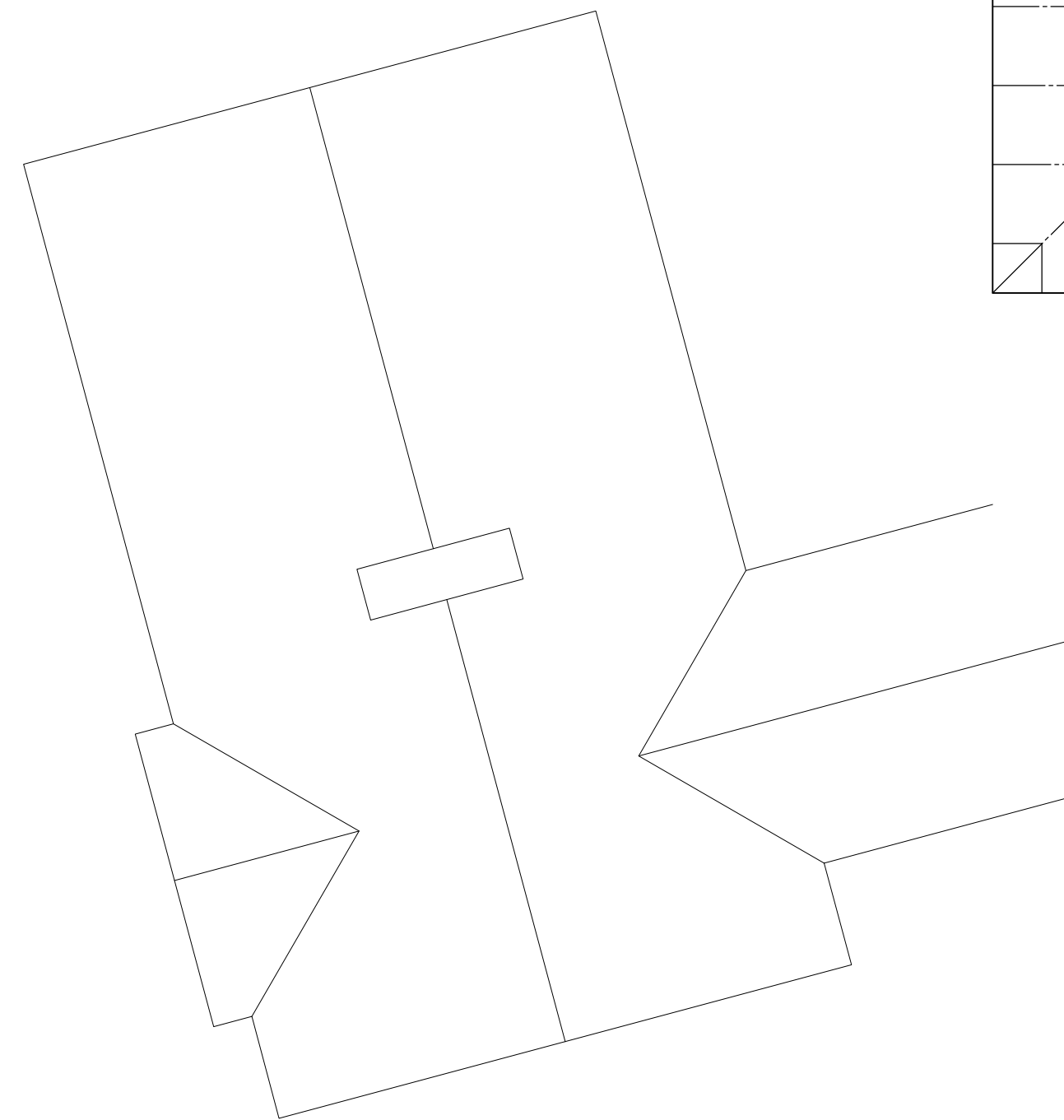
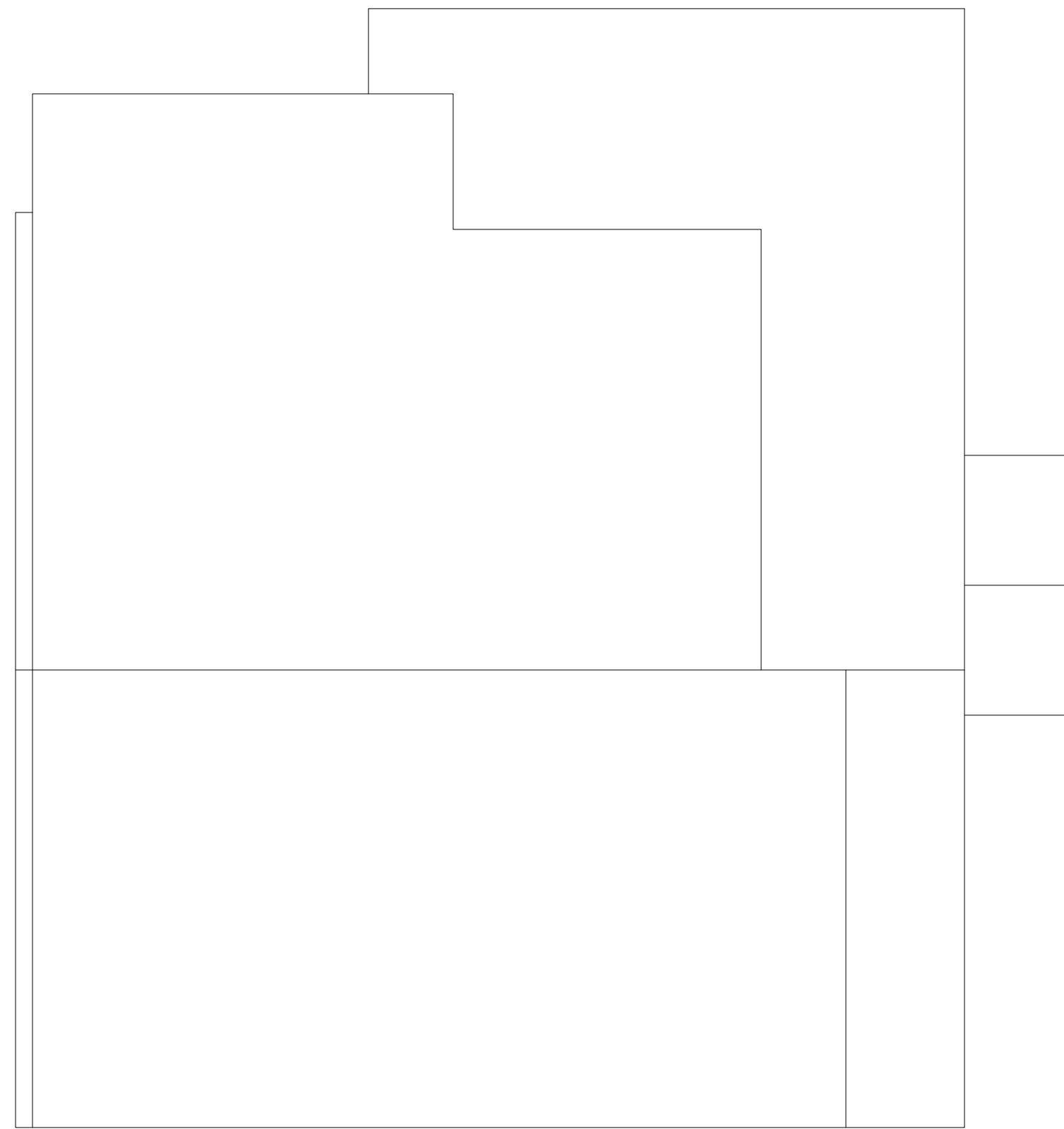


REF NORTH

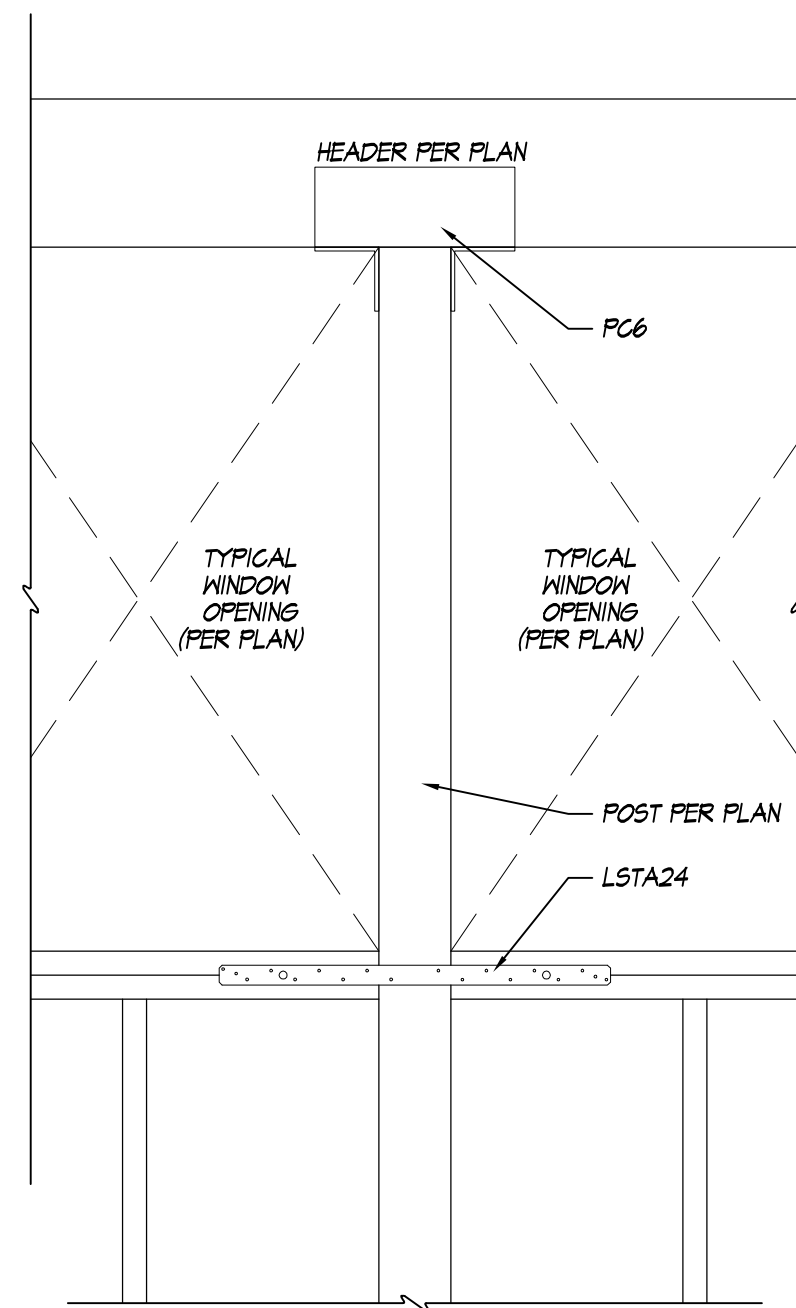
SHEET TITLE: **ROOF FRAMING PLAN**

SHEET NUMBER: **S2.4**

© COPYRIGHT - DRAGER ARCHITECTURE

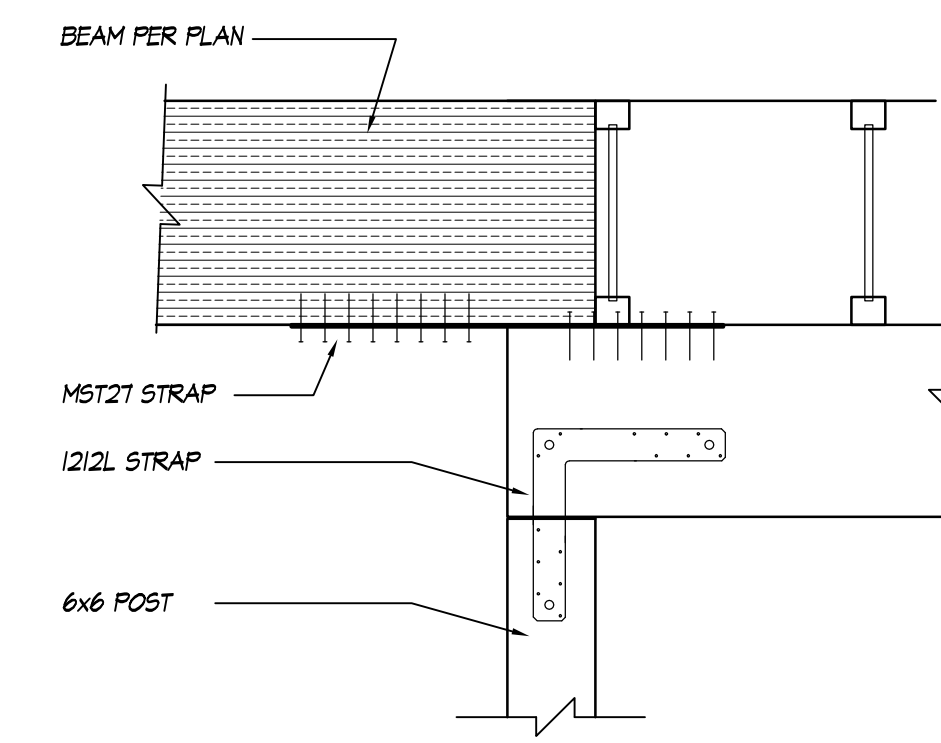
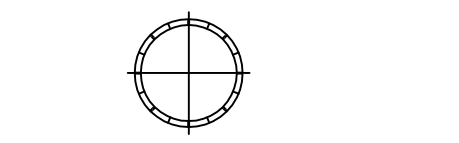


NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.

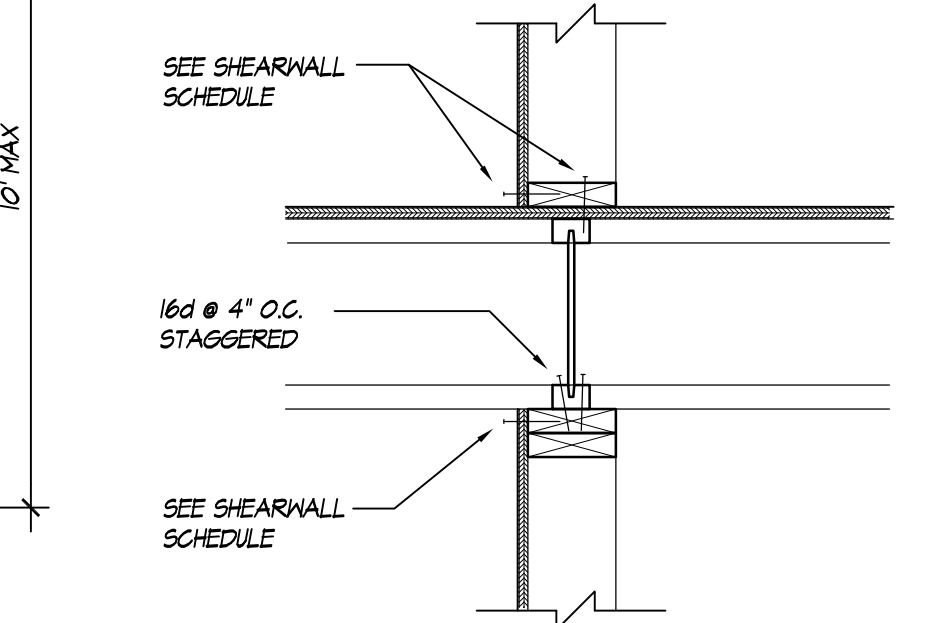


1. WINDOW STRAPPING @ LOFT
1" = 1'-0"

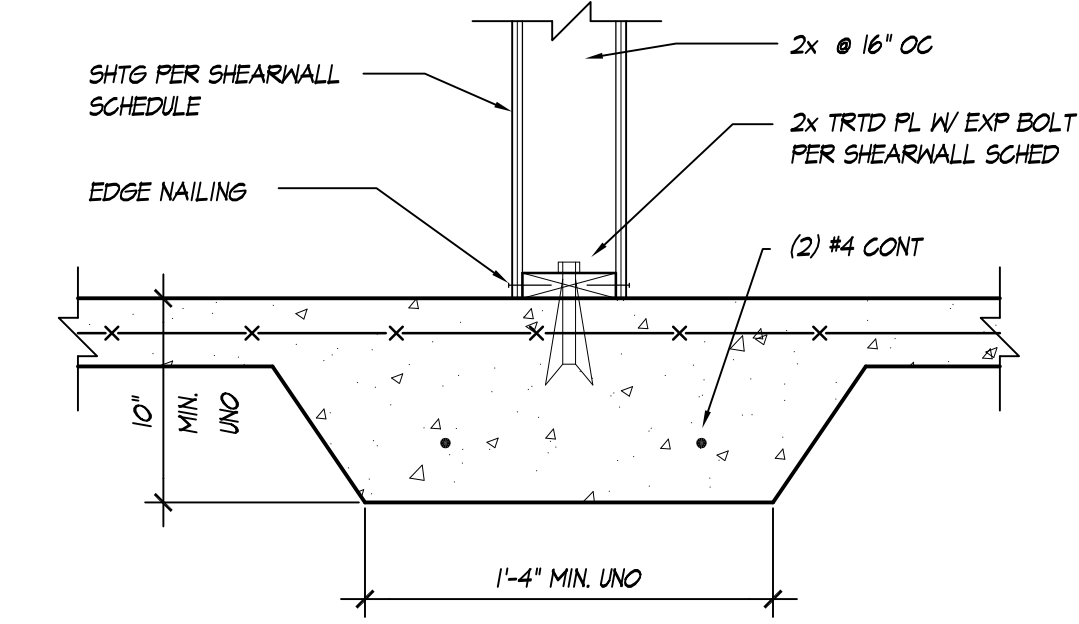
ROOF FRAMING PLAN
1/4" = 1'-0"



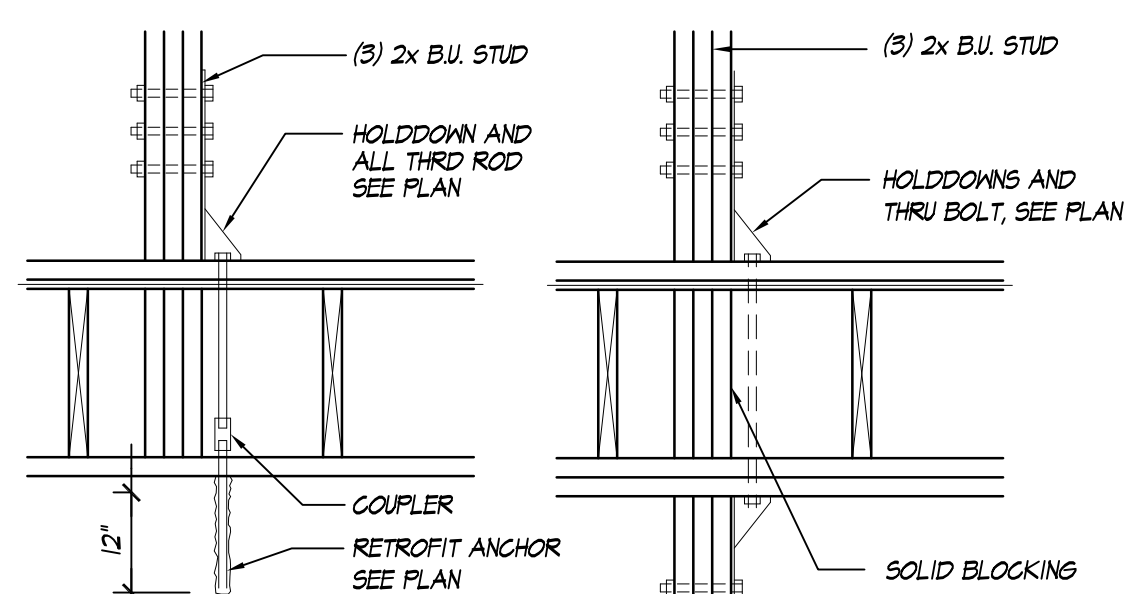
16. POST TO BEAM DETAIL
1" = 1'-0"



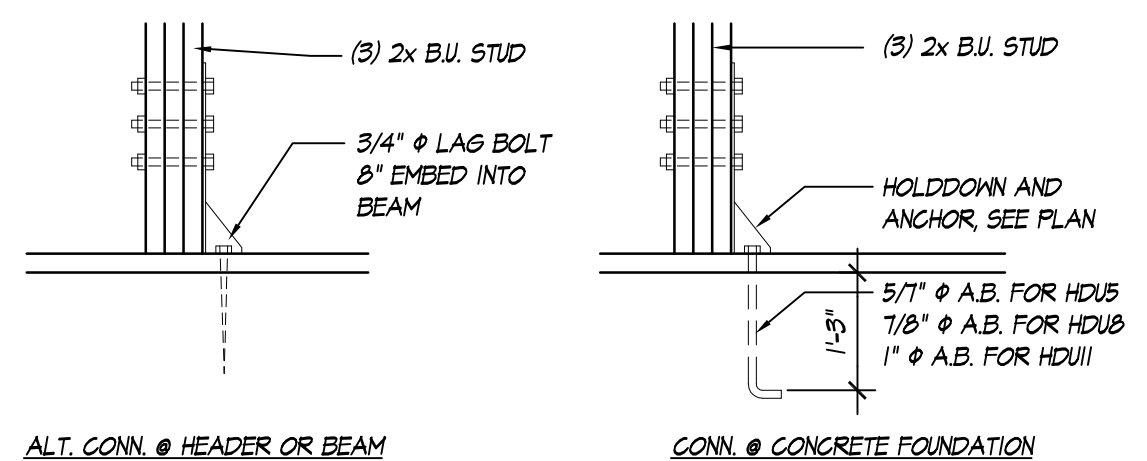
11. FLOOR DETAIL
1" = 1'-0"



6. FOOTING DETAIL
1" = 1'-0"



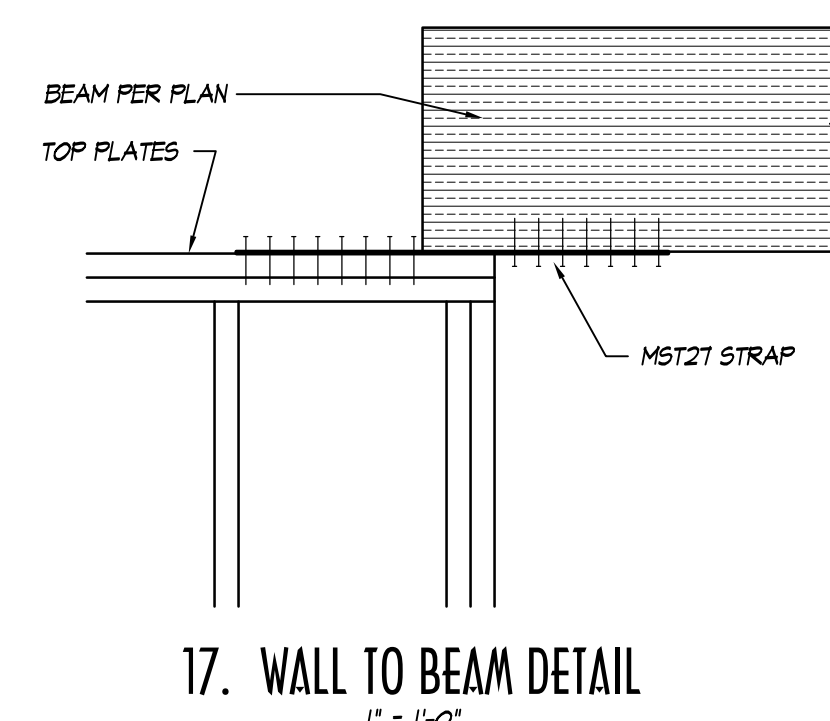
ALT. CONN. @ RETROFIT ANCHOR
OMIT COUPLER AND ROD EXTENSION
WHERE WALL STUD REST DIRECTLY ON
CONCRETE FOUNDATION.



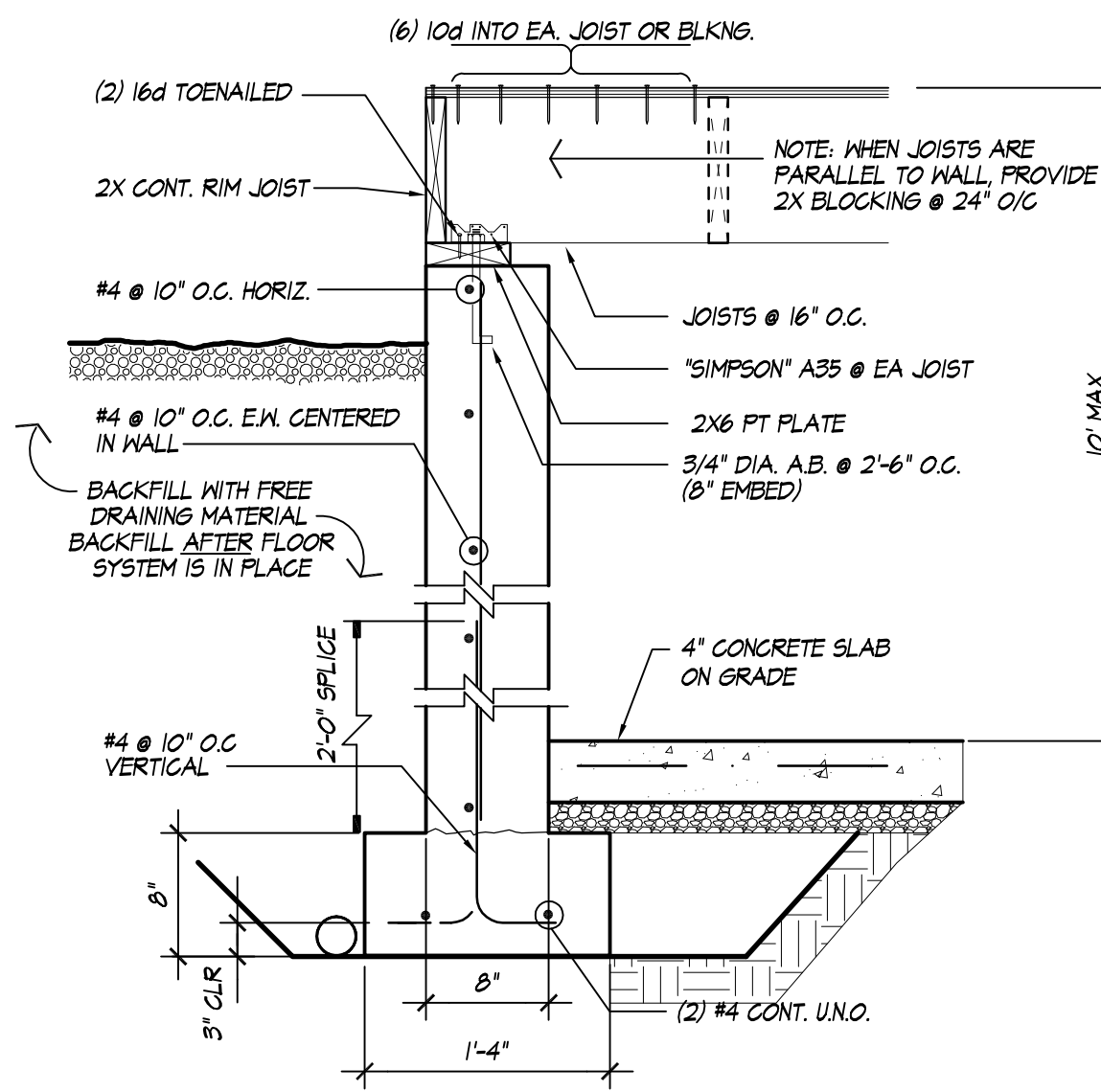
ALT. CONN. @ HEADER OR BEAM

CONN. @ CONCRETE FOUNDATION

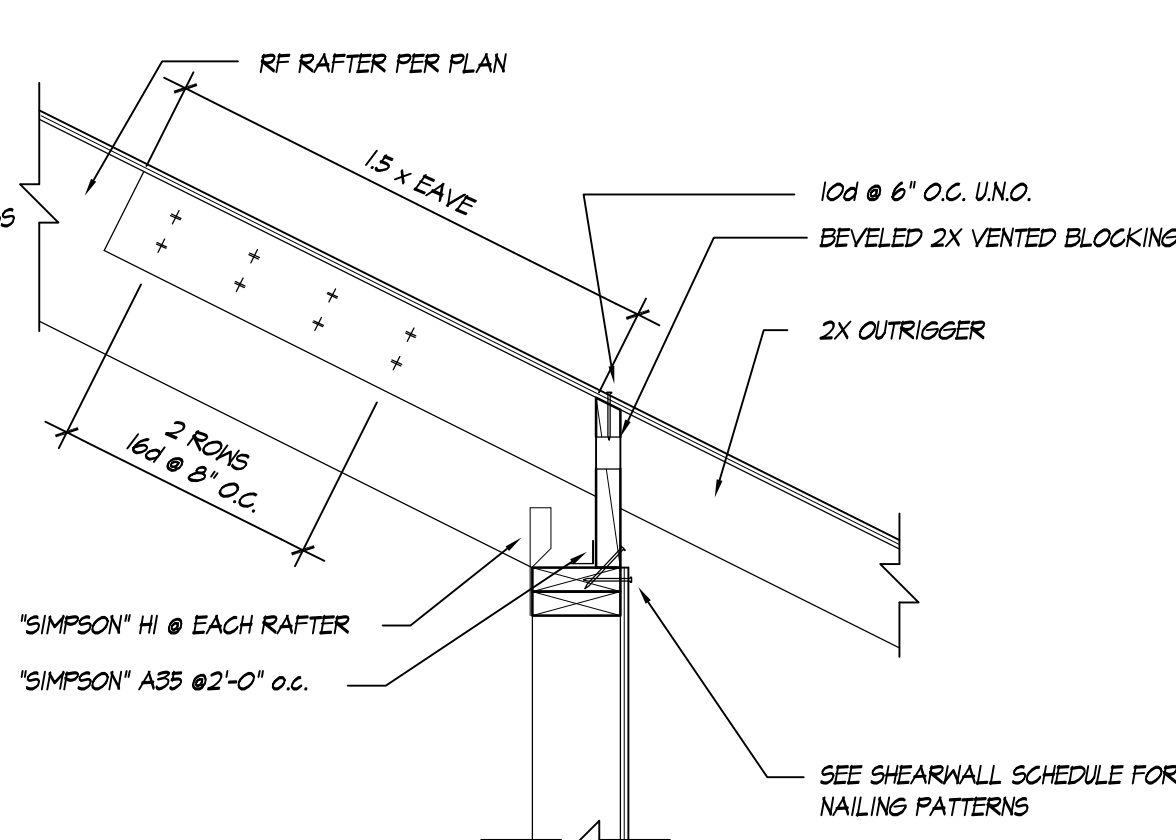
1. TYPICAL HOLDDOWN DETAILS
N.T.S.



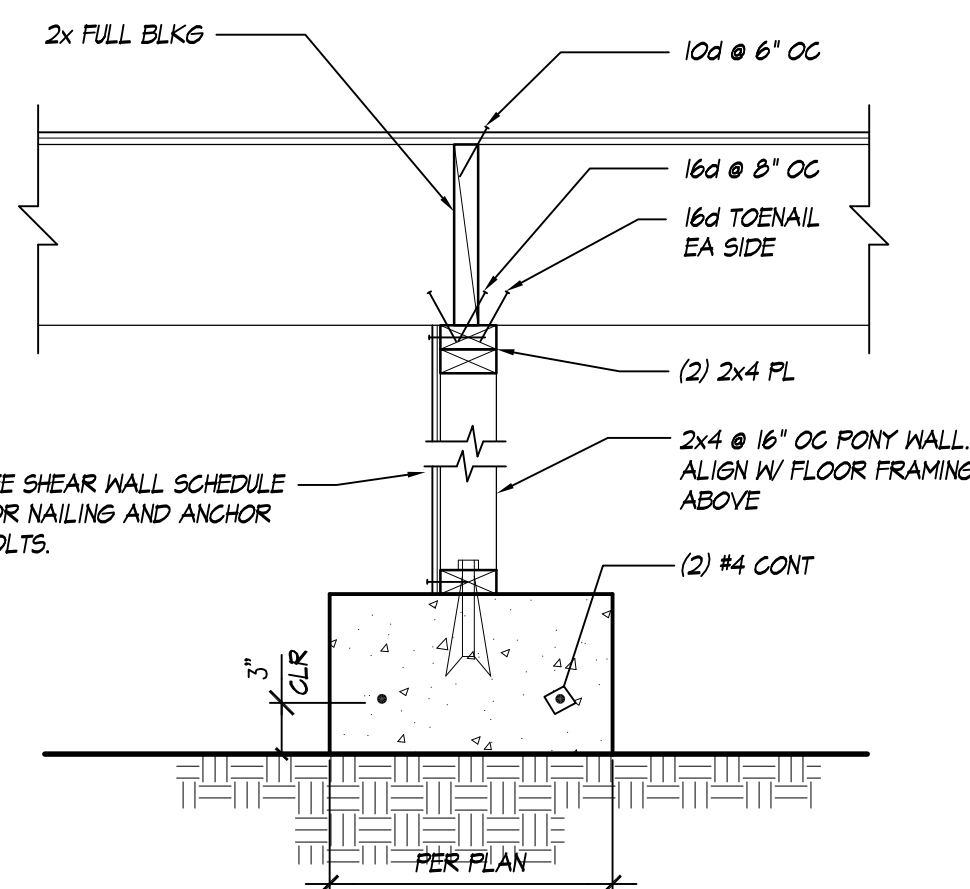
17. WALL TO BEAM DETAIL
1" = 1'-0"



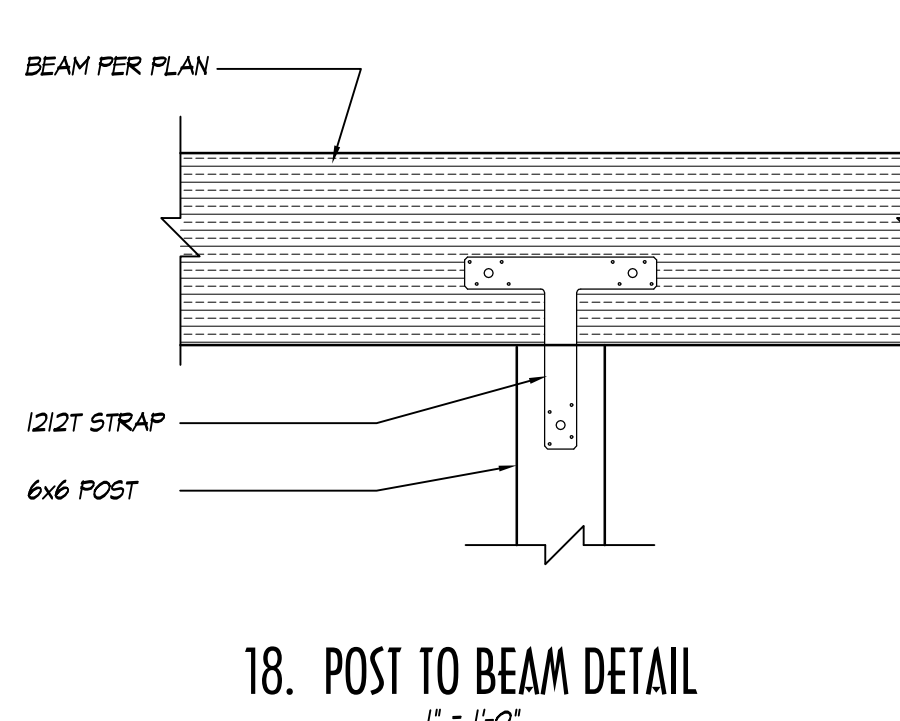
12. FOUNDATION DETAIL
1" = 1'-0"



7. ROOF FRAMING DETAIL
1" = 1'-0"

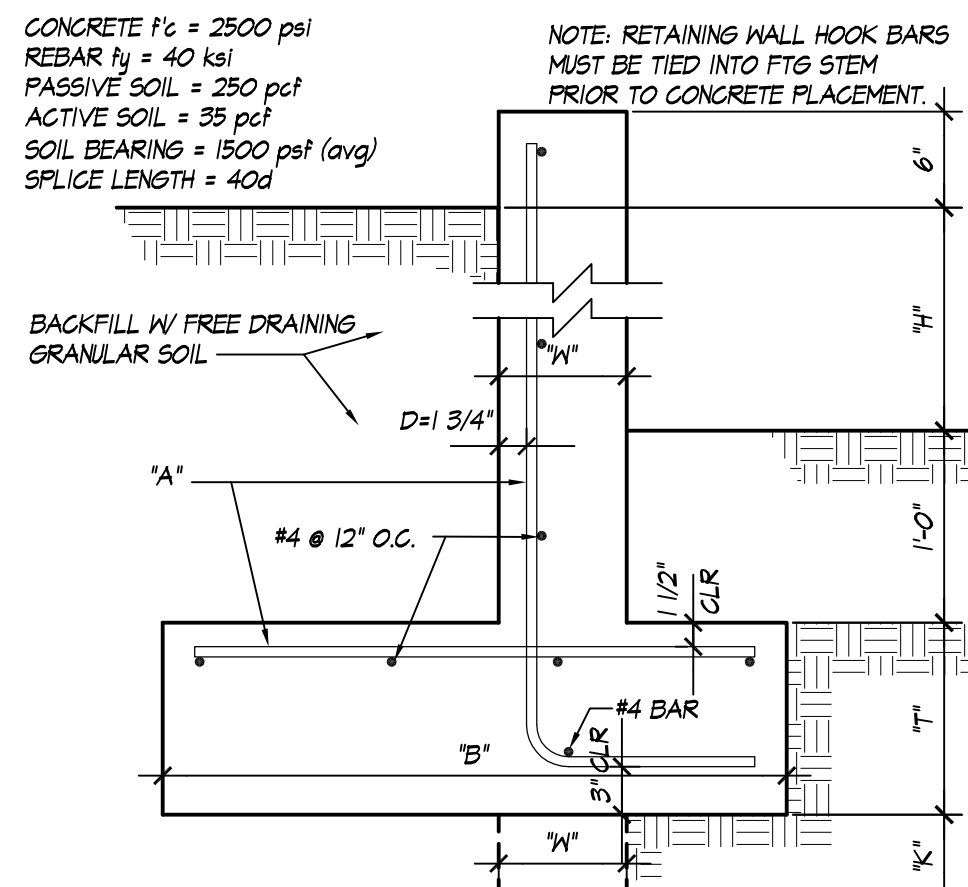


2. FLOOR FRAMING DETAIL
1" = 1'-0"

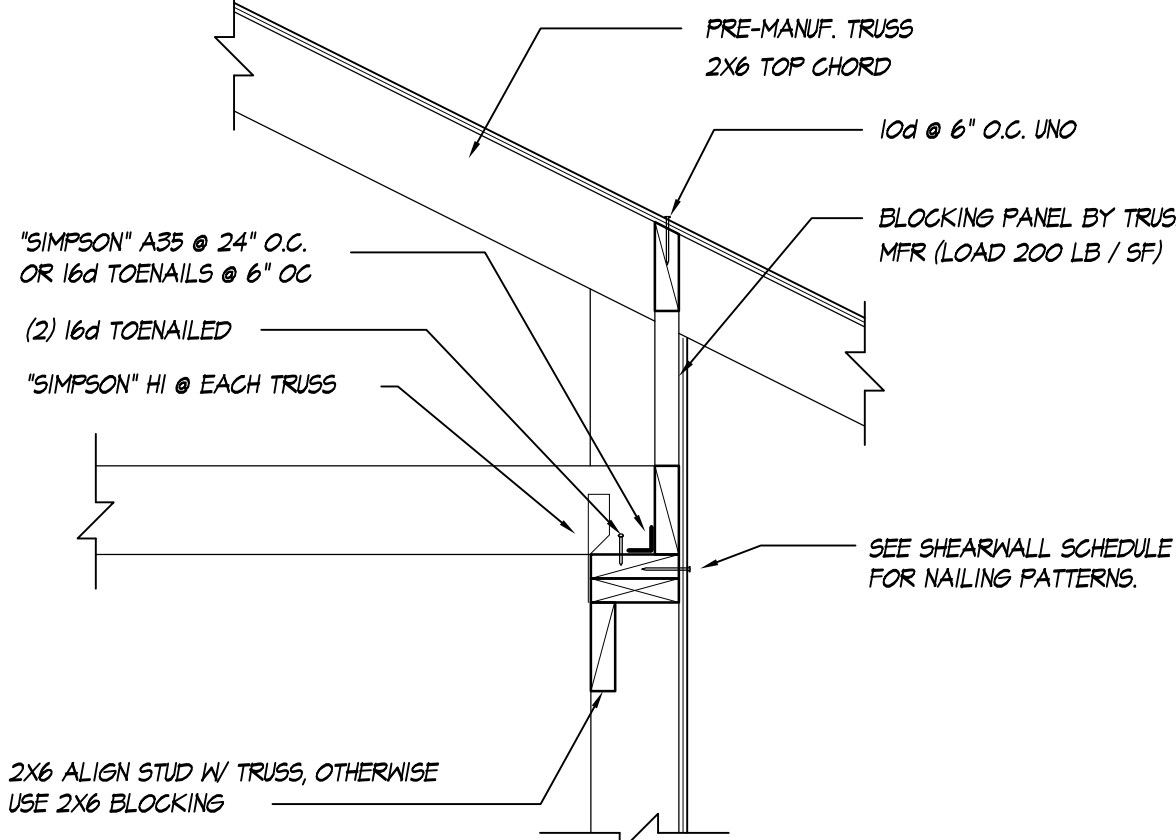


18. POST TO BEAM DETAIL
1" = 1'-0"

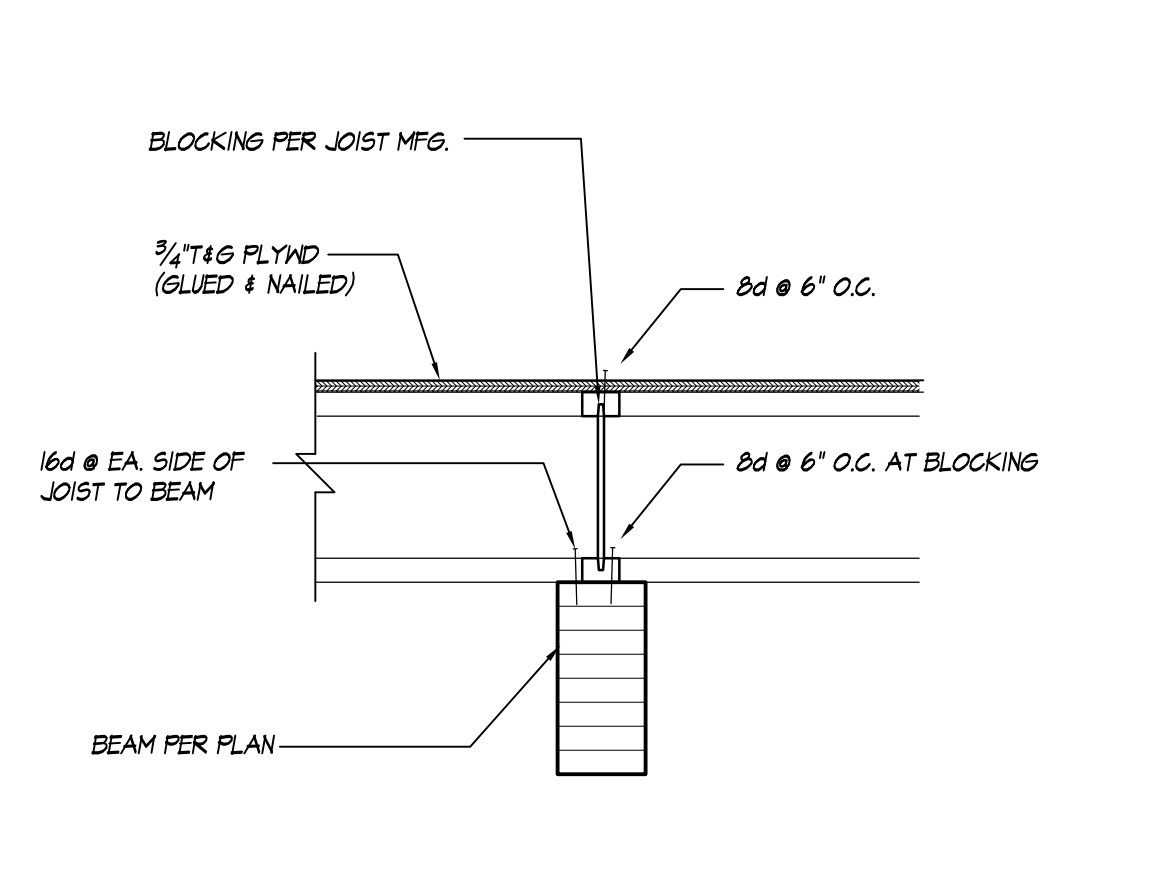
RETAINING WALL SCHEDULE							
7'	7'	7'	7'	7'	7'	7'	7'
6'-0"	8'	12'	#5 @ 15" O.C.	3'-3"	1'-0"	1'-3/4"	0
8'-0"	8'	12'	#5 @ 10" O.C.	4'-0"	1'-3"	1'-3/4"	0



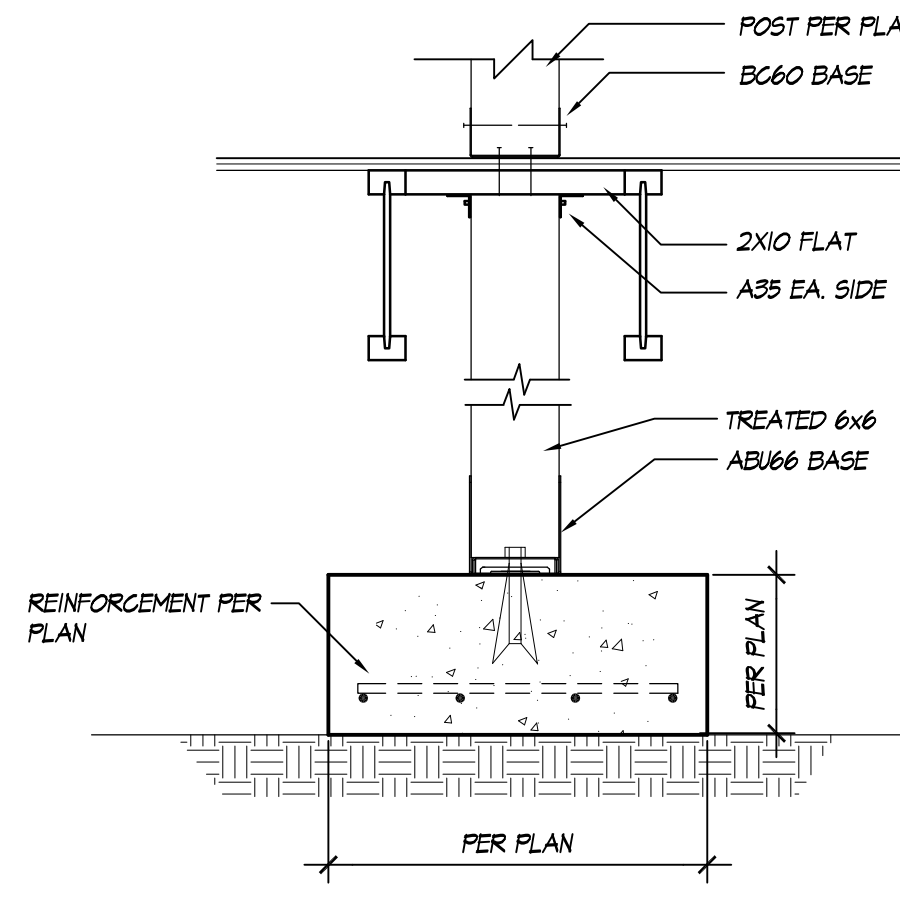
13. RETAINING WALL DETAIL
1" = 1'-0"



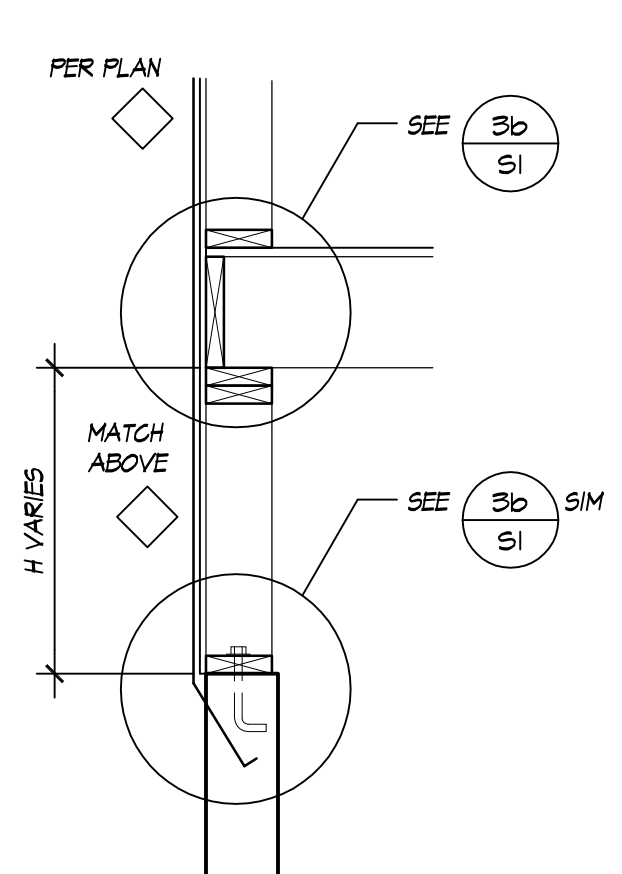
8. TRUSS BLOCKING DETAIL
1" = 1'-0"



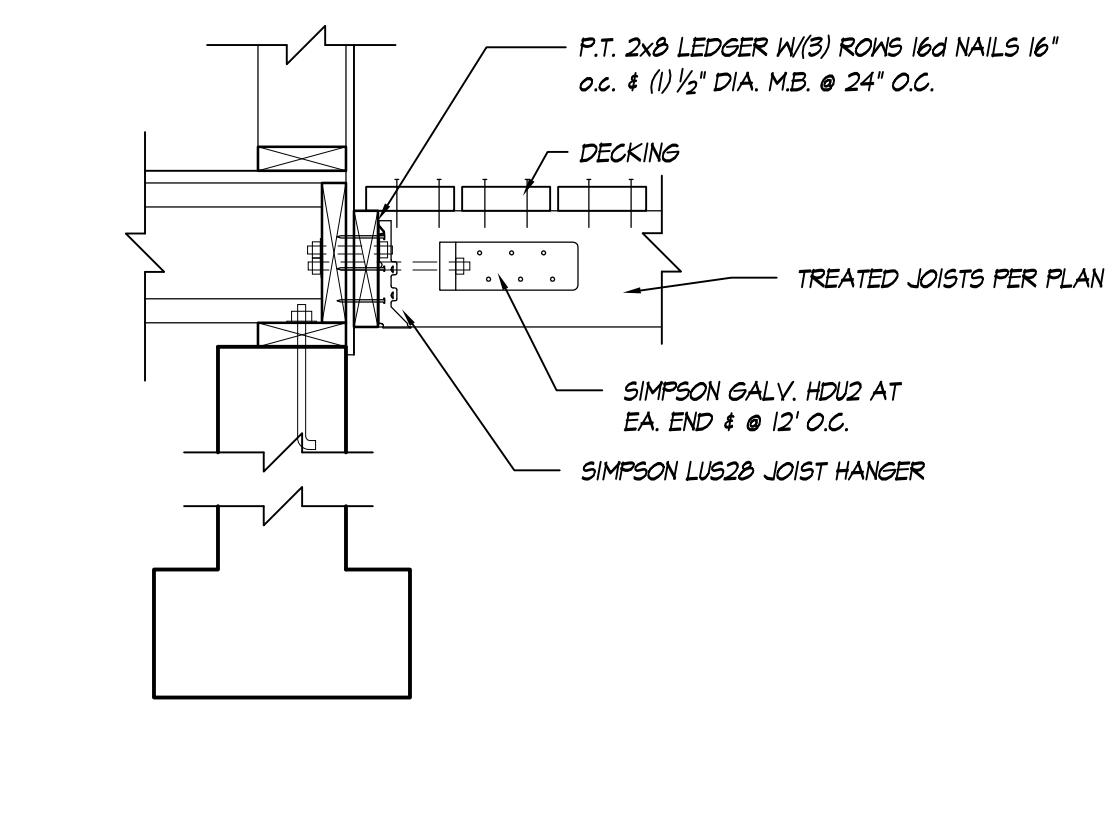
3. FLOOR FRAMING DETAIL
1" = 1'-0"



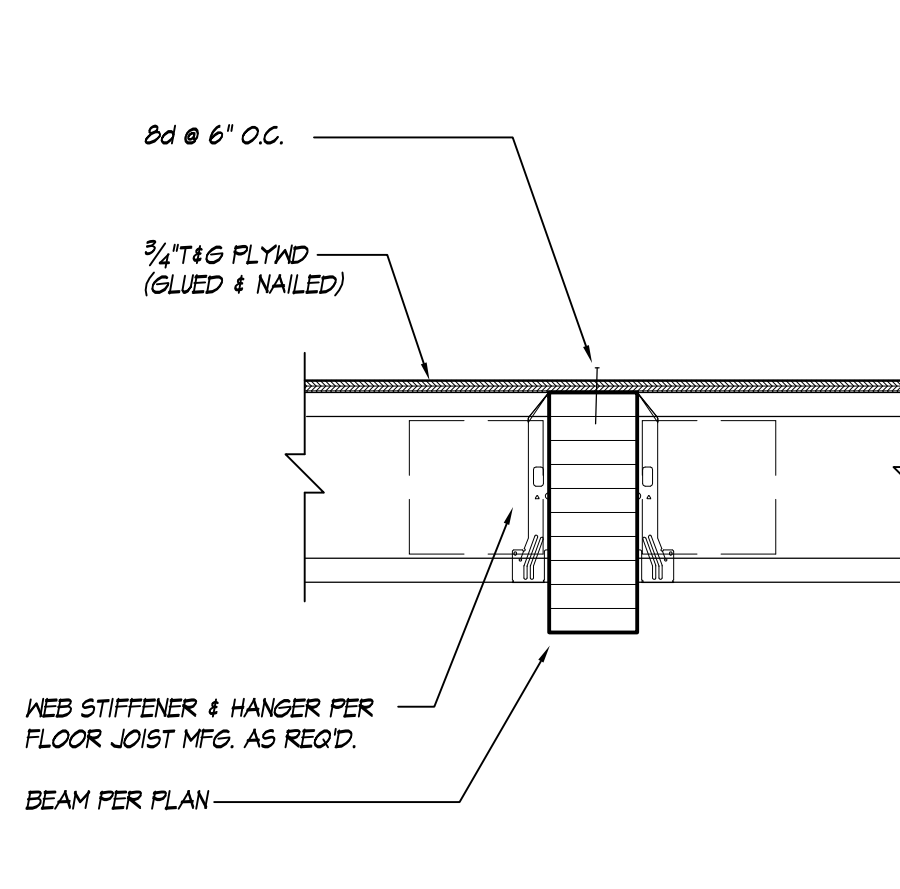
19. POST DETAIL
1" = 1'-0"



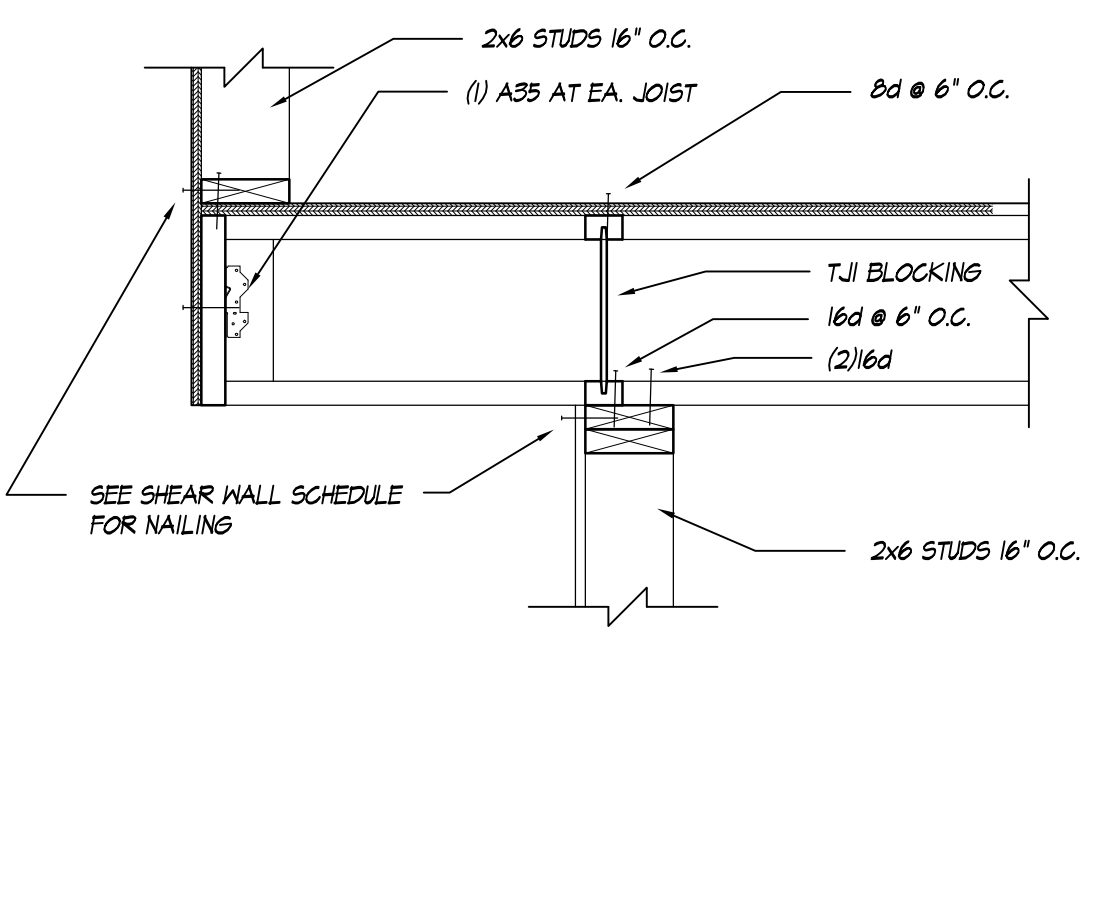
15. PONY WALL DETAIL
1" = 1'-0"



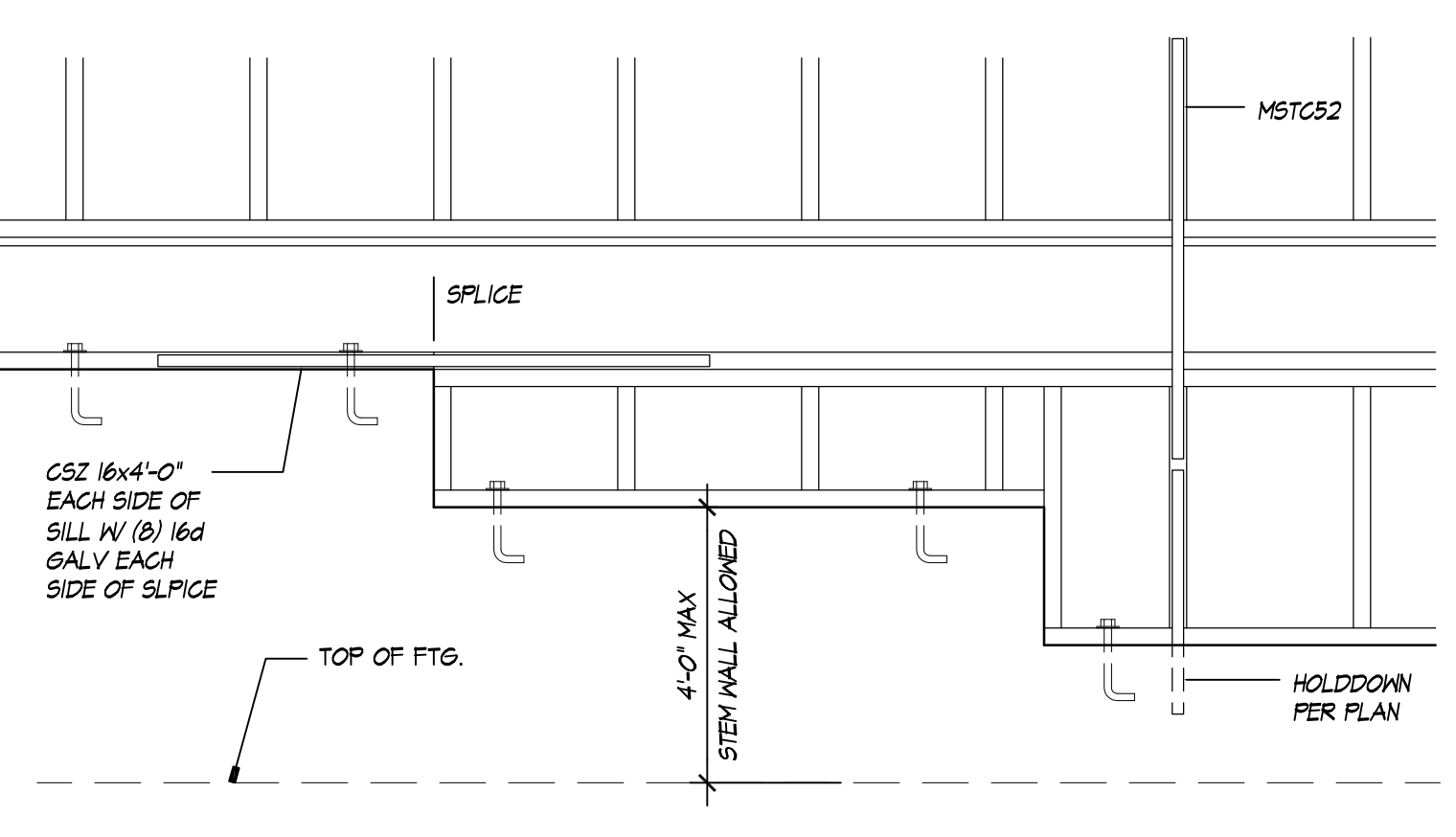
9. DECK LEDGER DETAIL
1" = 1'-0"



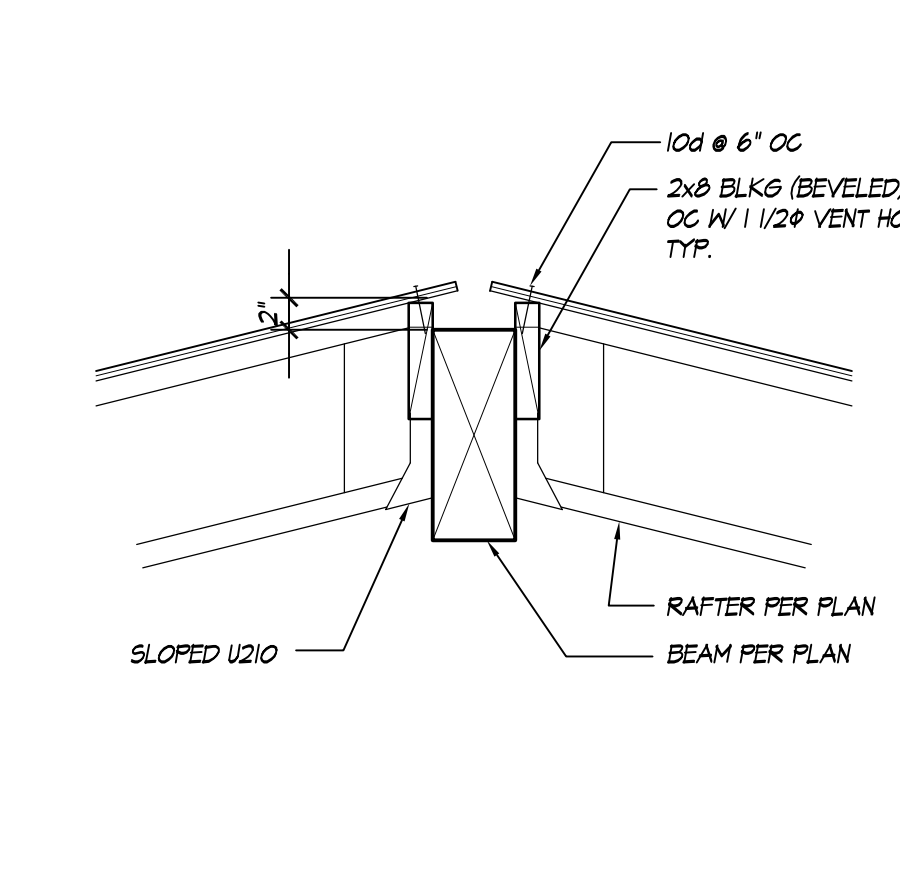
4. FLOOR FRAMING DETAIL
1" = 1'-0"



20. FLOOR FRAMING DETAIL
1" = 1'-0"



10. POST TO BEAM DETAIL
1" = 1'-0"



5. RIDGE BEAM DETAIL
1" = 1'-0"