




TOWN OF RUSTON
PLANNING SERVICES

5117 North Winnifred Street Ruston, Washington 98407-6597
 Phone (253)759-3544 Fax (253)752-3754

Conditional Use Permit
Application and Submittal Checklist

Tax Parcel Number <i>TBD - new parcel</i>	Permit Number (staff use only)
Site Address <i>5332 NORTH BENNETT ST RUSTON, WA 98407</i>	Project Name (staff use only)
Property Owner Name <i>253 HOMER LLC</i>	Applicant Name <i>Anne Curry</i>
Property Owner Mailing Address <i>2605 NO. WARNER ST TACOMA WA 98407</i>	Applicant Mailing Address <i>Same as owner address</i>
Property Owner Phone <i>253-232-5899</i>	Applicant Phone <i>Same</i>
Property Owner E-mail Address <i>Anne@annecurryhomer.com</i>	Applicant E-mail Address <i>Same</i>

Zoning Designation <input checked="" type="checkbox"/> RES <input type="checkbox"/> COM <input type="checkbox"/> COM-P <input type="checkbox"/> MPD	I certify that I have read and examined this application and have completed it with information that I know to be true and correct. I also give permission for Town employees to enter the site to perform any necessary inspections.
	<div style="display: flex; justify-content: space-between;"> <div style="text-align: center;">  _____ Property Owner Signature </div> <div style="text-align: center;"> _____ Date <i>12-8-16</i> </div> </div>

Applicant Checklist		Included?		
		Yes	Need	N/A
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Review Fee Deposit of \$3,350 (\$150 fee, plus \$3200 deposit per RMC 1.14.050(e)). Please attach a copy of proof of payment.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Project Description (general description of the proposed use, including the existing/proposed sq/ft, amount of fill materials imported/exported, etc)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Statement of Justification Please provide a written statement that addresses all approval criteria for the proposed conditional use as specified in RMC 25.01.110(b)(1)(A), and also for any specific criteria applicable to the underlying zone.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Site Plan - showing grade, the height, the lot coverage, the dimensions of all existing and proposed structures and the distance from property lines and all improvements to be added to the property.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Impervious Surface Calculations (Show impervious surface in sq/ft on Site Plan)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Critical Areas Documentation Provide documentation regarding the presence of any critical areas located on site. (wetlands, steep slopes, aquifer recharge, fish and wildlife, etc)		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> N/A	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/> Additional Information - additional written or graphic information necessary to enable the Planning Commission and Town Council to act on the application.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Conditional Use Permit:

Site Address:

5332 N Bennett Street
Ruston WA 98407

Project description:

Conditional use permit requested to allow an Accessory Dwelling Unit (ADU) above a new garage to be built during construction of proposed new house. Building permit and plans for new house, garage/ADU were submitted to City of Ruston on or about Dec 1, 2016.

Proposed ADU to be approx. 600sf and to include kitchenette, living room, full bath, and one bedroom. Stairs to be located on the North side of the exterior of the garage.

No fill dirt needed.

Exterior elevation of garage/ADU to match new house and to be esthetically pleasing and consistent to the overall neighborhood and surrounding homes.

The Architect carefully reviewed Ruston building code and feels the ADU plans meet code.



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ARCHITECTURE

—
THOUGHTFUL
NORTHWEST
ARCHITECTURE

December 12, 2016

Subject: Statement of Justification for Conditional Use Permit Application for a new Accessory Dwelling Unit – to be located at 5332 N Bennett Street, Ruston, WA 98407

The proposed Accessory Dwelling Unit (ADU) for The North lot of Former 5332 N. Bennett St. shall meet the criteria for conditional use as specified in RMC 25.01.110(b)(1)(A), and the criteria of the underlying Zone. RMC 25.01.110(b)(1)(A) states that “The proposed use will not be injurious to the neighborhood or otherwise result in substantial or undue adverse economic, aesthetic, or environmental effects on adjacent property.”

The proposed ADU is designed to incorporate the principal structure’s aesthetics and features, being integrated into the Principal structure’s detached garage, matching the neighborhood’s context of single-family dwellings, many with detached garages. Environmental effects are addressed by following Ruston’s Municipal Code Requirements, such as meeting open space requirements, WSEC requirements, and addressing site drainage. By providing additional diverse housing options to the community, the ADU will provide a benefit to the neighboring residents and local economy, and will not result in any substantial adverse economical injuries to the adjacent properties which already include a number of rental units including the mid rise Commencement Apartments building nearby.

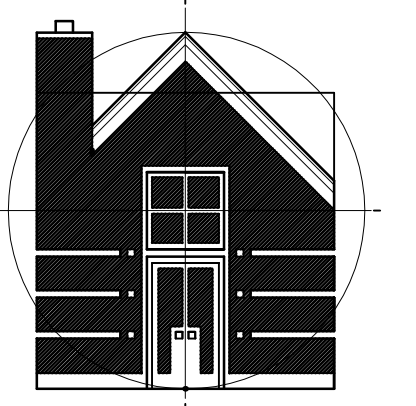
The Proposal also addresses the requirements of the underlying zone, particularly as specified in 25.01.040(j). There is only one proposed ADU as required, the owner will be occupying the principal structure, and as stated above the aesthetics are integrated with the primary structure to match the community’s single-family residential nature. Height limitations, open space requirements, and setback requirements are addressed in the proposal. Additionally parking requirements as set forth in 25.01.090 are met by providing on-site parking for the primary residence in the form of two detached garage parking spaces, and for the ADU by providing two additional on-site parking spaces in the driveway.

With the submittal of the Conditional Use Permit Application and Submittal Checklist all requirements for conditional use of the accessory dwelling unit should be addressed. Please feel free to contact Drager Architecture with any questions or comments regarding the proposal.

2602 N PROCTOR ST
SUITE 206
TACOMA, WA 98407

—
253.593.0131

www.dragerarchitecture.com



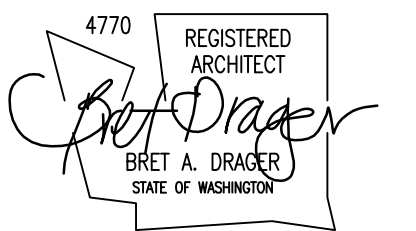
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

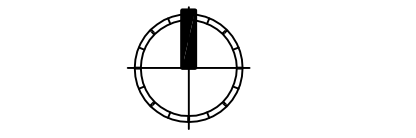
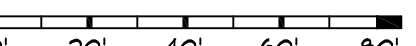
PERMIT SET

DATE: 11/14/2016

REVISIONS:

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SCALE: 1" = 20'-0" SITE PLAN



REF NORTH

SHEET TITLE: COVER SHEET

SITE PLAN

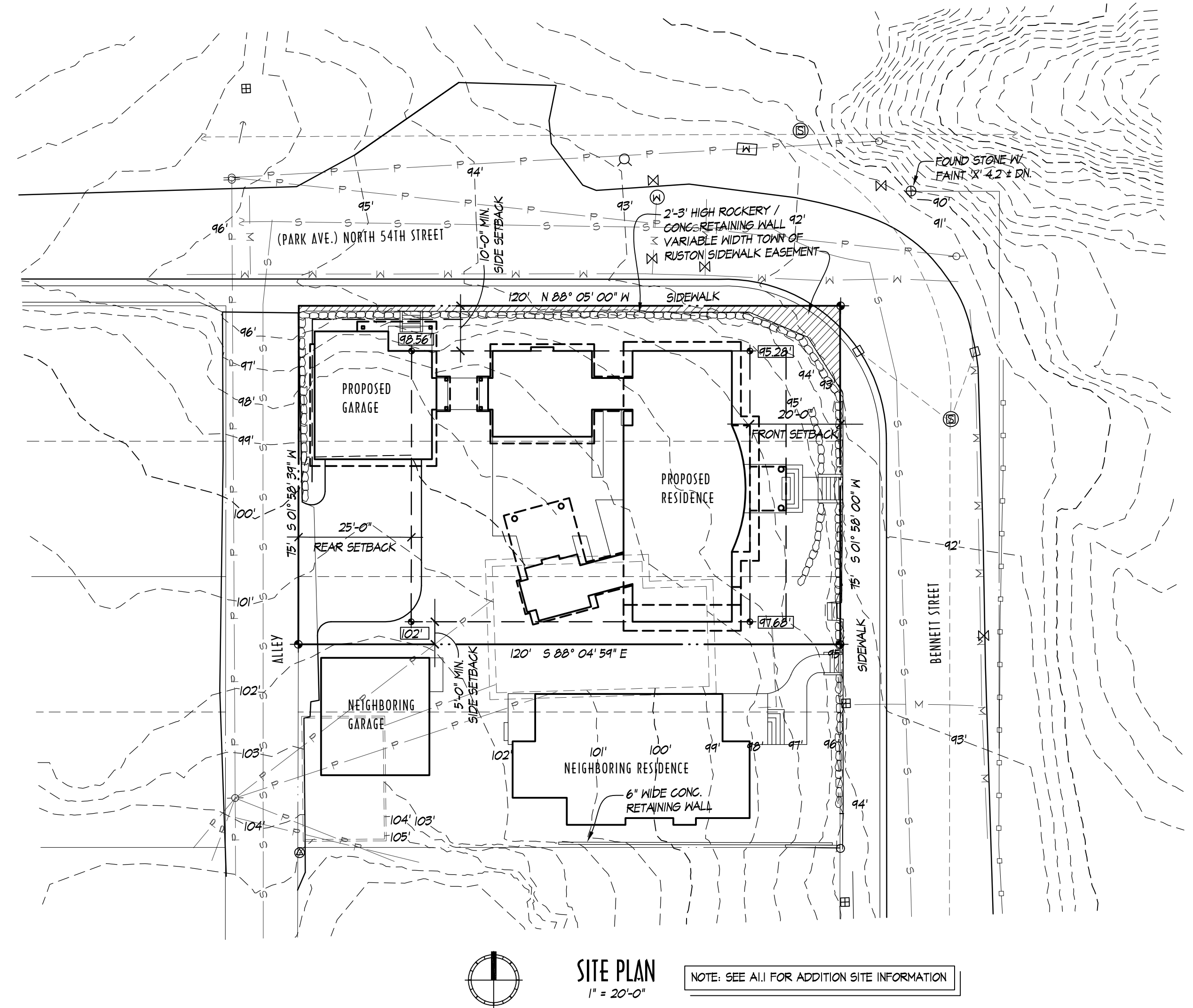
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SHEET NUMBER: A1.0

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GENERAL NOTES

- 1. BY THE ACT OF SUBMITTING A BID FOR THIS PROJECT, THE CONTRACTOR WARRANTS THAT HE/SHE HAS CAREFULLY EXAMINED THE SITE AND EXISTING CONDITIONS AND HAS SATISFIED HIMSELF/HERSELF AS TO THE NATURE OF THE WORK, CHARACTER, QUALITIES, QUANTITIES OF MATERIALS AND ANY DIFFICULTIES THAT MAY BE ENCOUNTERED DURING THE PROCESS OF CONSTRUCTION WHICH MAY IN ANY WAY AFFECT THE PERFORMANCE OF THE WORK.
2. DO NOT SCALE DRAWINGS, CONTRACTOR TO USE DIMENSIONS SHOWN. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND IN THE FIELD. IF ANY ERRORS, OMISSIONS OR INCONSISTENCIES APPEAR IN THE DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH ERRORS, OMISSIONS OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
3. COORDINATE ALL BUILDING CONSTRUCTION WITH OWNER, INCLUDING MATERIALS STORAGE, GARBAGE DISPOSAL, WORK HOURS, DISRUPTIONS TO POWER, WATER AND LIFE SAFETY SYSTEMS TO ENSURE THE SAFETY OF THE STRUCTURE.
4. THE APPROVED PLANS SHALL NOT BE CHANGED OR ALTERED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL. THE APPROVED PLANS ARE REQUIRED TO BE ON THE JOBSITE.
5. THE WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
6. WHERE NEW CONSTRUCTION ABUTS OR INTERFACES WITH EXISTING, MATCH ADJACENT MATERIALS AND TEXTURES FOR SEAMLESS TRANSITION.
7. UNLESS OTHERWISE INDICATED OR AGREED, WHERE ITEMS ARE NOTED TO BE REMOVED, IT SHALL MEAN THE COMPLETE REMOVAL AND DISPOSAL OF THE NOTED WORK AND THE PATCHING AND REPAIRING OF ADJACENT SURFACES TO MATCH.
8. ALL DOORS NOT DIMENSIONED SHALL BE LOCATED 4 1/2" FROM FACE OF STUD OR INTERSECTING WALL TO EDGE OF ROUGH OPENING.
9. SEE STRUCTURAL NOTES FOR INFORMATION RELATING TO FRAMING, NAILING AND OTHER STRUCTURAL INFORMATION.
10. COMPLIANCE GARD TO BE POSTED VERIFYING INSULATION INSTALLED IN WALLS, CEILING AND FLOORS.
11. PROVIDE METAL NAIL STOPPERS TO PROTECT PLUMBING AND WIRING FROM DAMAGE BY NAILS OR SCREWS.
12. MAINTAIN 3" CLEAR (MIN.) BETWEEN RECESSED CEILING FIXTURES AND INSULATION UNLESS FIXTURE IS RATED FOR CONTACT WITH INSULATION.
13. WATER PIPES SHALL BE INSULATED TO R-5.
14. METAL DUCTS TO BE INSULATED TO R-8 AND JOINTS TO BE TAPED.
15. BATT INSULATION SHALL HAVE ALL TEARS AND JOINTS IN VAPOR BARRIER SEALED WITH TAPE.
16. ALL OPENINGS TO BE CAULKED, SEALED AND WEATHERSTRIPPED.
17. ALL EXTERIOR WINDOWS AND DOORS SHALL INSTALLED WITH FLASHING AT THE HEAD TO PROVIDE POSITIVE WATER FLOW AWAY FROM THE STRUCTURE.
18. SHOWERS SHALL BE FLOW CONTROLLED TO 2.5 GPM AT 80 PSI AND MIXING VALVES SHALL COMPLY WITH ASSE 1016.
19. ALL BATHROOM, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT AND VENTILATION BY MEANS OF OPERABLE EXTERIOR OPENINGS WITH A GLAZING AREA OF NOT LESS THAN 3 SF, ONE HALF OF WHICH MUST BE OPERABLE. IF AN OPERABLE WINDOW IS NOT PROVIDED, MECHANICAL VENTILATION SHALL BE PROVIDED, CONNECTED DIRECTLY TO THE OUTSIDE, CAPABLE OF PROVIDING AN EXHAUST RATE OF 50 CFM IF INTERMITTENT, AND 20 CFM IF CONTINUOUS EXHAUST IS PROVIDED.
20. KITCHEN EXHAUST SHALL BE VENTED TO THE OUTSIDE UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. KITCHEN VENTILATION SHALL BE PROVIDED AT THE RATE OF 100 CFM IF INTERMITTENT AND 25 CFM IF CONTINUOUS EXHAUST IS PROVIDED.
21. CLOTHES DRYER EXHAUST SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS. DRYER DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL TERMINATE NOT LESS THAN 3'-0" IN ANY DIRECTION FROM OPENINGS INTO THE BUILDING, AND BE EQUIPPED WITH A BACKDRAFT DAMPER.
22. HOT WATER HEATER SHALL MEET THE REQUIREMENTS OF THE IRC.
23. PROVIDE AN INTERCONNECTED SMOKE ALARM SYSTEM PER IRC R314, AND CARBON MONOXIDE DETECTOR PER IRC R315, POWERED BY 110V AC WITH BATTERY BACKUP. SMOKE ALARMS ARE TO BE INSTALLED ON EACH SEPARATE FLOOR OF THE RESIDENCE, INCLUDING THE BASEMENT. ALL ALARM DEVICES ARE TO BE INTERCONNECTED ON ALL FLOORS. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN CLOSE PROXIMITY TO THE BEDROOMS. SMOKE ALARMS SHALL COMPLY WITH NFPA 72.
24. WHERE ATTIC HAS A VERTICAL HEIGHT OF 30' OR MORE, PROVIDE ATTIC ACCESS 22 INCHES BY 30 INCHES AS LOCATED ON THE PLANS. PROVIDE 30" MIN. UNOBSTRUCTED HEAD HEIGHT ABOVE THE ACCESS OPENING.
25. PROVIDE ATTIC AND CRAWLSPACE VENTILATION AT A RATE OF 1:800 WITH VAPOR BARRIER PER IRC 408 OF AREA VENTED. OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT MESH PER IRC REQUIREMENTS. PROVIDE A MINIMUM OF ONE VENT WITHIN 3'-0" OF EACH CORNER OF THE BUILDING.
26. PROVIDE CLEARANCE IN CRAWLSPACE OF 18" MINIMUM FOR JOISTS AND 12" FOR BEAMS.
27. PROVIDE CRAWLSPACE ACCESS OPENINGS AS FOLLOWS: FOR FLOOR HATCHES 18" X 24" MINIMUM. FOR PERIMETER WALL ACCESS 16" X 24" MINIMUM. WHERE PERIMETER ACCESS IS PROVIDED BELOW GRADE, A 16" X 24" AREAWAY SHALL BE PROVIDED.
28. DOORS BETWEEN GARAGE AND RESIDENCE TO BE SELF-CLOSING, TIGHT FITTING SOLID WOOD DOORS (1-3/8" MINIMUM THICKNESS) OR 20 MIN. RATED DOORS.
29. GARAGES SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM SUCH ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD STRUCTURE SUPPORTING SUCH FLOOR CEILING ASSEMBLIES SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD. EXTERIOR WALLS OF GARAGES LOCATED WITHIN 3'-0" OF A DWELLING UNIT ON THE SAME LOT SHALL BE PROTECTED WITH NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE INSIDE OF THE EXTERIOR WALLS OF THE GARAGE. (DOES NOT APPLY TO WALLS THAT ARE PERPENDICULAR TO RESIDENCE WALL)
30. EVERY BASEMENT AND SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR ESCAPE OR RESCUE. ESCAPE/RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF, AND HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24", AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". ESCAPE/RESCUE WINDOWS SHALL HAVE A SILL HEIGHT NOT EXCEEDING 44" ABOVE FINISHED FLOOR. ENCLOSED USABLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM WALL BOARD.
31. PROVIDE FIRE BLOCKING AT STAIRS BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND ALONG RUNS BETWEEN STUDS.
32. HEATING OR COOLING EQUIPMENT (INCLUDING HOT WATER HEATERS) LOCATED IN THE GARAGE AND WHICH GENERATE A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH THE PILOTS AND BURNERS OR HEATING ELEMENTS AND SWITCHES AT LEAST 18" ABOVE THE FLOOR LEVEL.
33. CONTRACTOR DESIGNED SYSTEMS: (CONTRACTOR TO OBTAIN REQUIRED PERMITS) ELECTRICAL, PLUMBING, HVAC. CONTRACTOR DESIGNED SYSTEMS SHALL MEET ALL CODE AND OWNER REQUIREMENTS AND SHALL BE ADEQUATELY SIZED TO SUPPLY BUILDING SPACES AND PROVIDE FOR ANTICIPATED LOADS. HEATING SYSTEM SHALL BE CAPABLE OF MAINTAINING AN INDOOR TEMPERATURE OF 68° F.
34. ALL DUCTWORK SHALL BE CONCEALED WITHIN WALL AND CEILING CONSTRUCTION UNLESS OTHERWISE SHOWN ON DRAWINGS. CONTRACTOR SHALL CONTACT ARCHITECT BEFORE UTILIZING SPACE FOR DUCT WORK OR CREATING CHASES OR SOFFITS NOT SHOWN ON PLANS.



AVERAGE LOT GRADE CALC.

Table with 2 columns: Description and Value. Includes 'BUILDING ENVELOPE' area, 'LOT GRADE' calculation, and 'AVERAGE LOT GRADE' result of 343.52 / 4 = 85.88.

LEGAL DESCRIPTION

LOTS 12 THROUGH 13, INCLUSIVE, IN BLOCK 2 OF HOWARD HEIGHTS 2ND ADDITION, AS PER PLAT RECORDED IN VOLUME 1 OF PLATS, PAGE 59, RECORDS OF PIERCE COUNTY AUDITOR, TOGETHER WITH THE NORTH 15 FEET OF LOT 11 IN SAID BLOCK 2. SITUATED IN THE CITY OF RUSTON, COUNTY OF PIERCE, STATE OF WASHINGTON. SUBJECT TO AND TOGETHER WITH COVENANTS, RESTRICTIONS, AND EASEMENTS OF RECORD.

VICINITY MAP NO SCALE. SHEET INDEX. PROJECT DATA table with columns for OWNER, PROJECT ADDRESS, TAX PARCEL NUMBER, GOVERNING CODE, CONSTRUCTION TYPE, OCCUPANCY, ZONE, BUILDING AREAS, OPEN SPACE CALCULATION, and BASEMENT/GARAGE ADU.

ENERGY CODE INFORMATION

Table of energy code information including R-values for building in areas of new construction and ceiling/insulation requirements.

ADDITIONAL ENERGY EFFICIENCY CREDIT

Table showing energy efficiency credit options for medium dwelling units, including minimum required credit and implemented options.

CURRY RESIDENCE

RUSTON, WASHINGTON

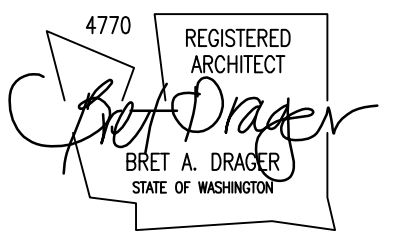


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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

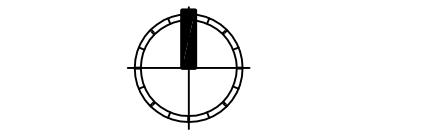
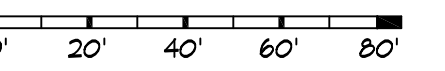
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:
▲ FENCE, ADU, LIGHTS - 12/13/2016

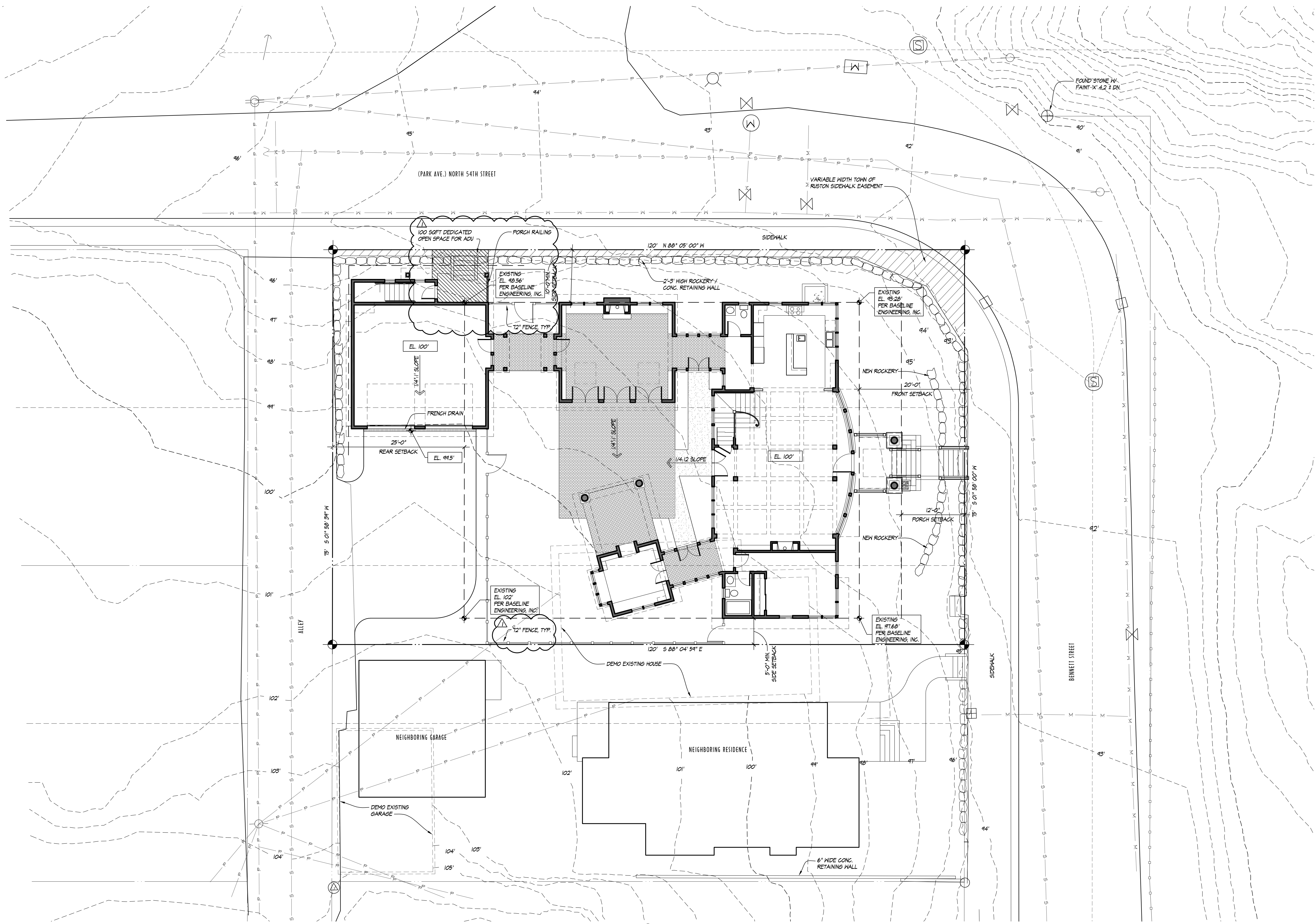
SCALE: 1/8" = 1'-0" SITE PLAN



REF NORTH
SHEET TITLE: SITE PLAN

SHEET NUMBER: **A1.1**

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SITE PLAN
1/8" = 1'-0"

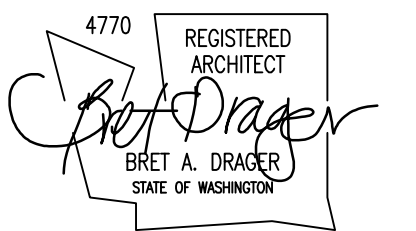


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2602 N. PROCTOR ST.
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253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

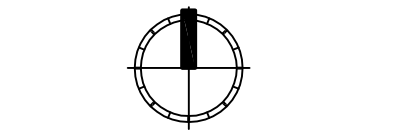
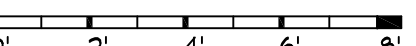
PERMIT SET

DATE: 11/14/2016

REVISIONS:

▲ FENCE, ADU, LIGHTS - 12/13/2016

SCALE: 1/4" = 1'-0"

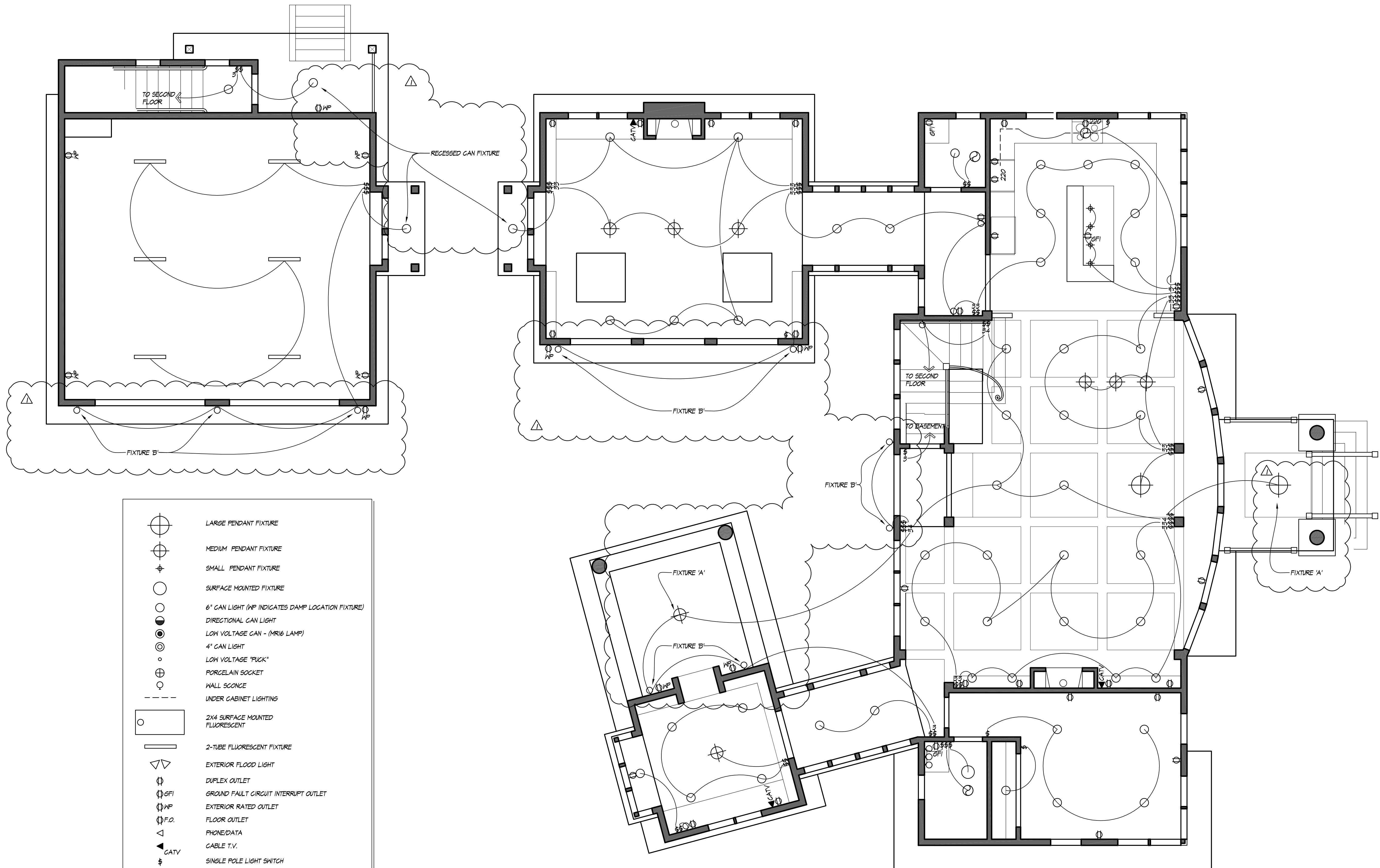


REF NORTH

SHEET TITLE: MAIN FLOOR ELECTRICAL
PLAN

SHEET NUMBER: E1.0

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	LARGE PENDANT FIXTURE
	MEDIUM PENDANT FIXTURE
	SMALL PENDANT FIXTURE
	SURFACE MOUNTED FIXTURE
	6" CAN LIGHT (MP INDICATES DAMP LOCATION FIXTURE)
	DIRECTIONAL CAN LIGHT
	LOW VOLTAGE CAN - (MR16 LAMP)
	4" CAN LIGHT
	LOW VOLTAGE "PUCK"
	PORCELAIN SOCKET
	WALL SCONCE
	UNDER CABINET LIGHTING
	2X4 SURFACE MOUNTED FLUORESCENT
	2-TUBE FLUORESCENT FIXTURE
	EXTERIOR FLOOD LIGHT
	DUPLEX OUTLET
	GROUND FAULT CIRCUIT INTERRUPT OUTLET
	EXTERIOR RATED OUTLET
	FLOOR OUTLET
	PHONE/DATA
	CABLE T.V.
	SINGLE POLE LIGHT SWITCH
	3 WAY LIGHT SWITCH
	4 WAY LIGHT SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	CONTROL LOCATION (THERMOSTAT, ETC.)
	FAN
	FANLIGHT (WHERE NOTED ON PLAN)

NOTE:
VERIFY ALL EQUIPMENT AND APPLIANCE REQUIREMENTS WITH OWNER PRIOR TO HIRING INSTALLATION.

MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

Sumner Court Collection
 Sumner Court 1 Light Outdoor Pendant in WZC
 49663WZC

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



FIXTURE TYPE 'A' Ordering Information

Product ID	49663WZC
Collection	Sumner Court Collection

Dimensions

Base Backplate	5.00 SQ
Chain/Stem Length	72.00"
Weight	12.00 LBS

Specifications

Material	Aluminum
Glass Description	Etched Seeded

Electrical

Voltage	120V
Lead Wire Length	29.00"

Qualifications

Safety Rated	Damp
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
Number of Lights/LEDs	1
Max or Nominal Watt	150W
Socket Wire	105
Socket Type	Medium
Lamp Type	A21

Dimensions

Height	20.50"
Overall Height	95.00"
Width	11.75"

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	30-52W		

Sumner Court Collection
 Sumner Court Large Outdoor Wall Lantern in
 WZC

49661WZC

FIXTURE TYPE 'B'



Dimensions

Height	15.00"
Width	9.00"

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Hybrid	CFL	23-30W		

Project Name: _____
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____

Ordering Information

Product ID	49661WZC
Collection	Sumner Court Collection

Dimensions

Extension	10.00"
Height from center of Wall opening	5.00"
Base Backplate	5.00 X 9.00
Weight	8.00 LBS

Specifications

Material	Aluminum
Glass Description	Etched Seeded

Electrical

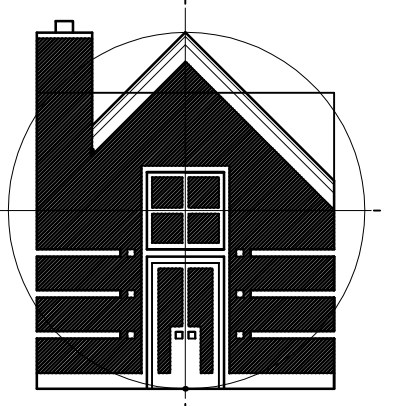
Voltage	120V
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Qualifications

Safety Rated	Wet
Warranty	www.kichler.com/warranty

Primary Lamping

Light Source	Incandescent
Lamp Included	Not Included
Number of Lights/LEDs	1
Max or Nominal Watt	100W
Socket Wire	150
Socket Type	Medium
Lamp Type	A19

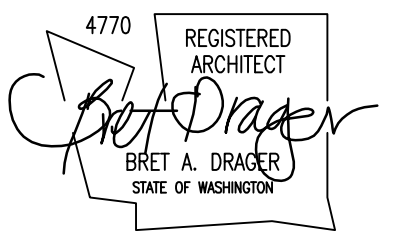


DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:



PROJECT:

CURRY RESIDENCE

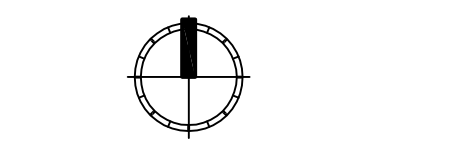
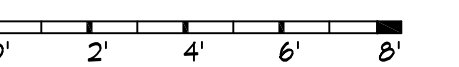
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

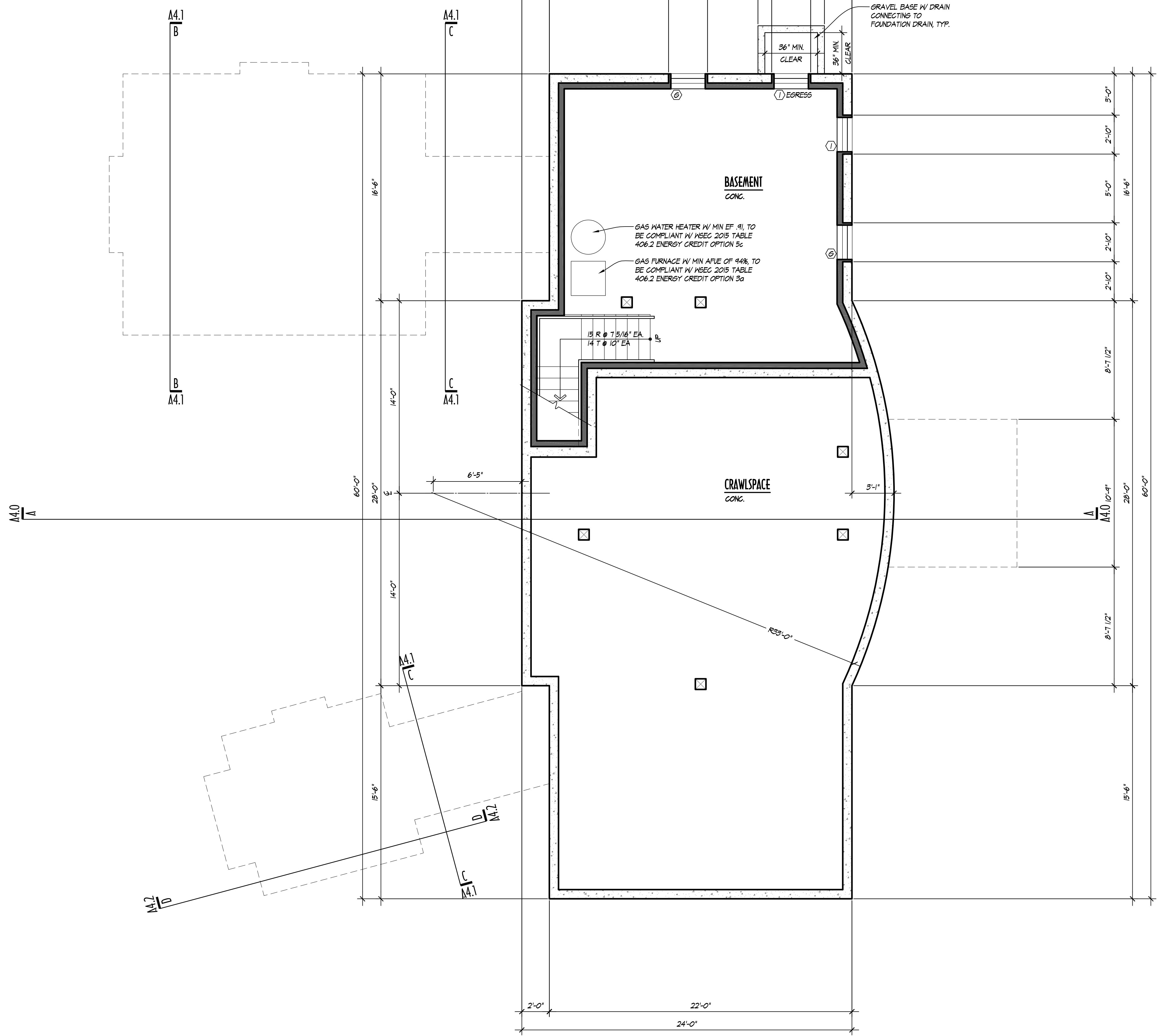
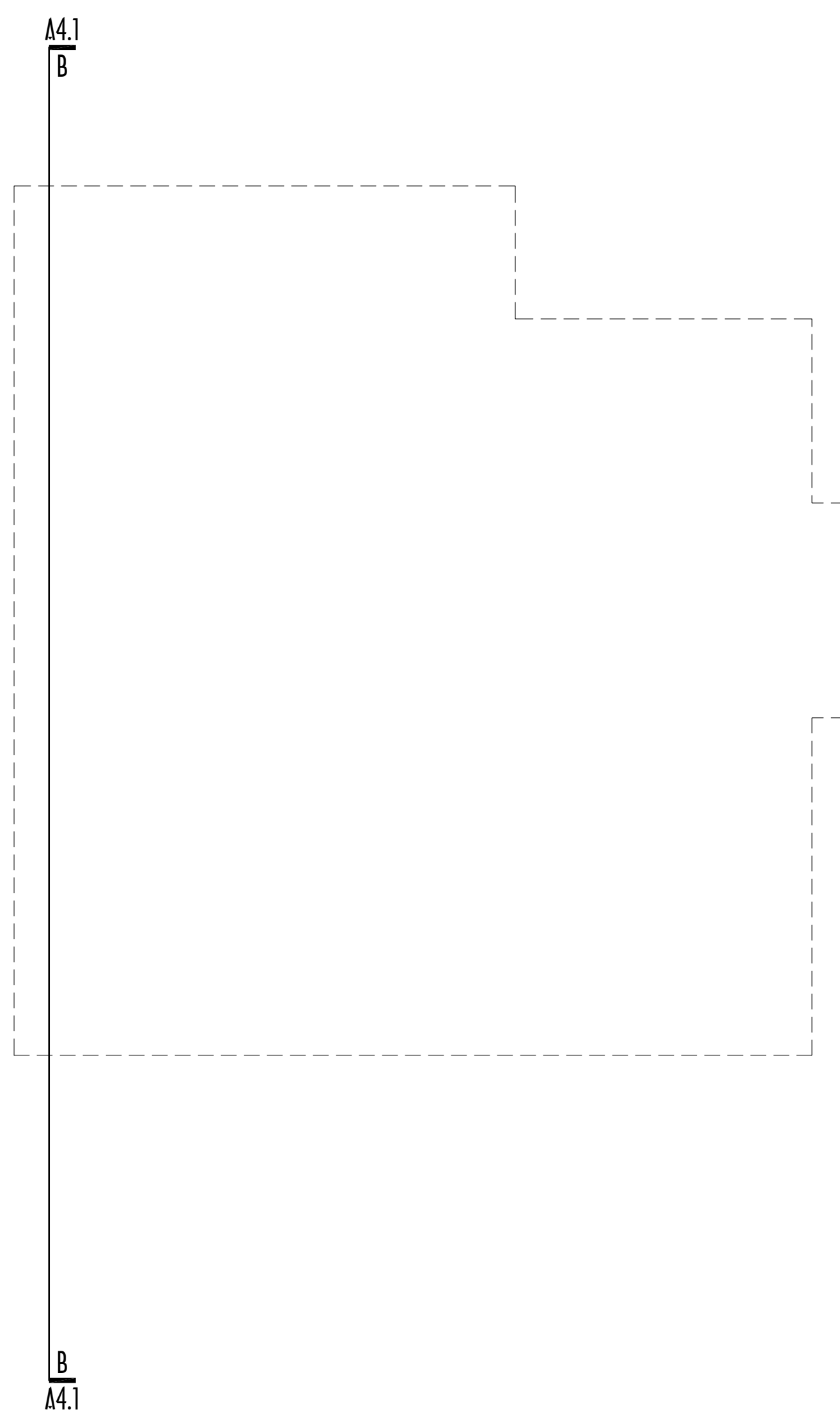


REF NORTH

SHEET TITLE: BASEMENT PLAN

SHEET NUMBER: A2.0

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BASEMENT PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 3a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

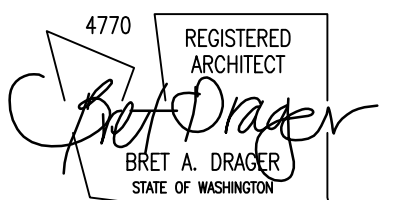


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2602 N. PROCTOR ST.
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253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

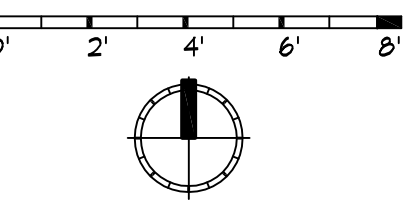
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

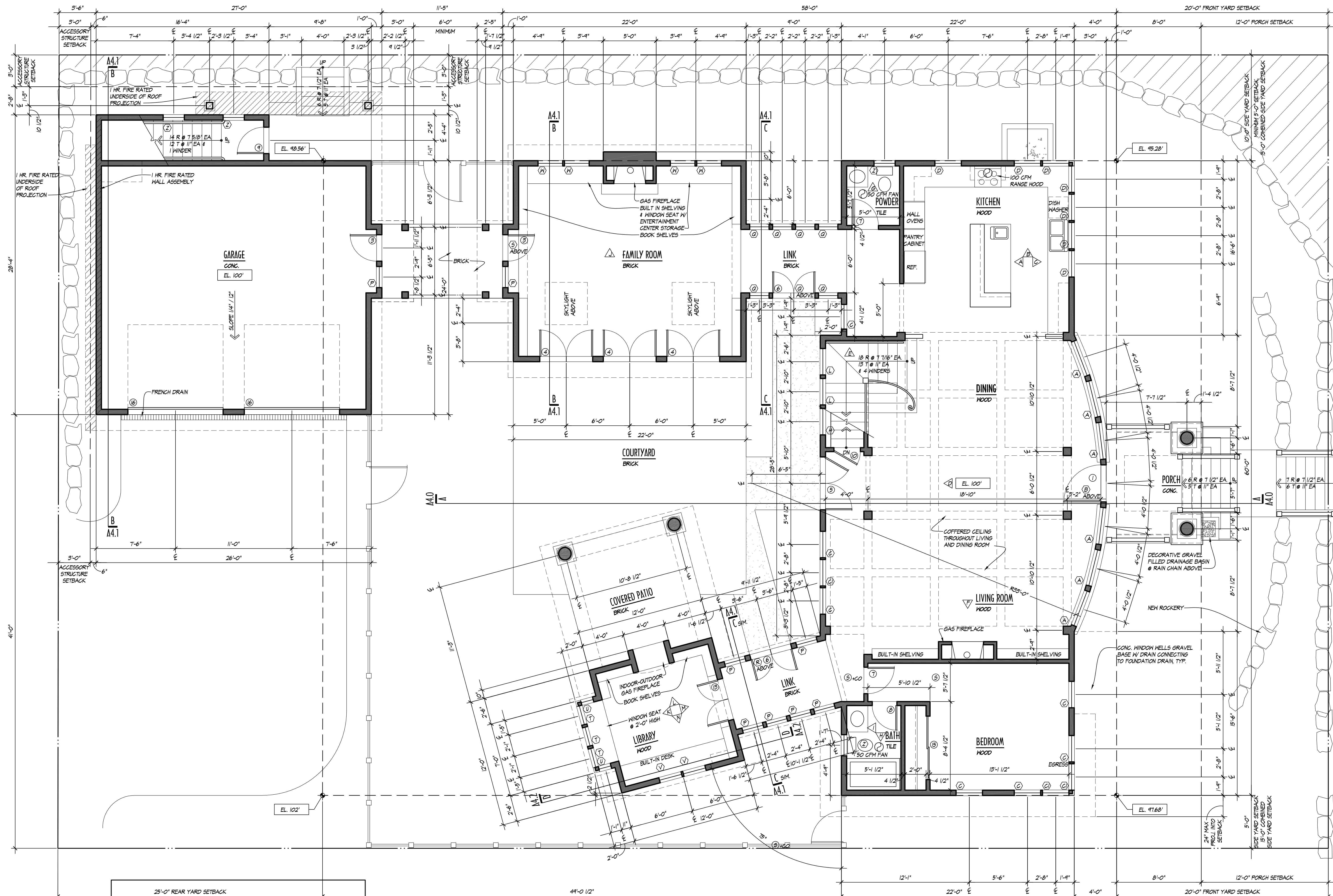


REF NORTH

SHEET TITLE: MAIN FLOOR PLAN

SHEET NUMBER: A2.1

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MAIN FLOOR PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 5a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB



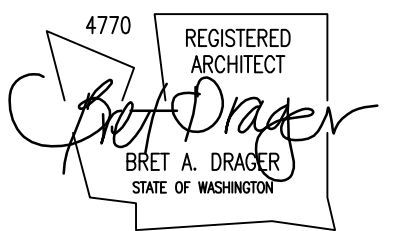
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ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

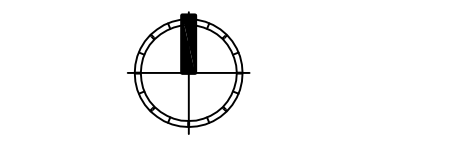
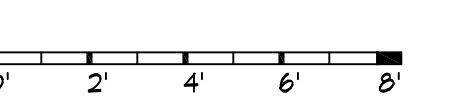
PERMIT SET

DATE: 11/14/2016

REVISIONS:

Blank lines for revision notes.

SCALE: 1/4" = 1'-0"

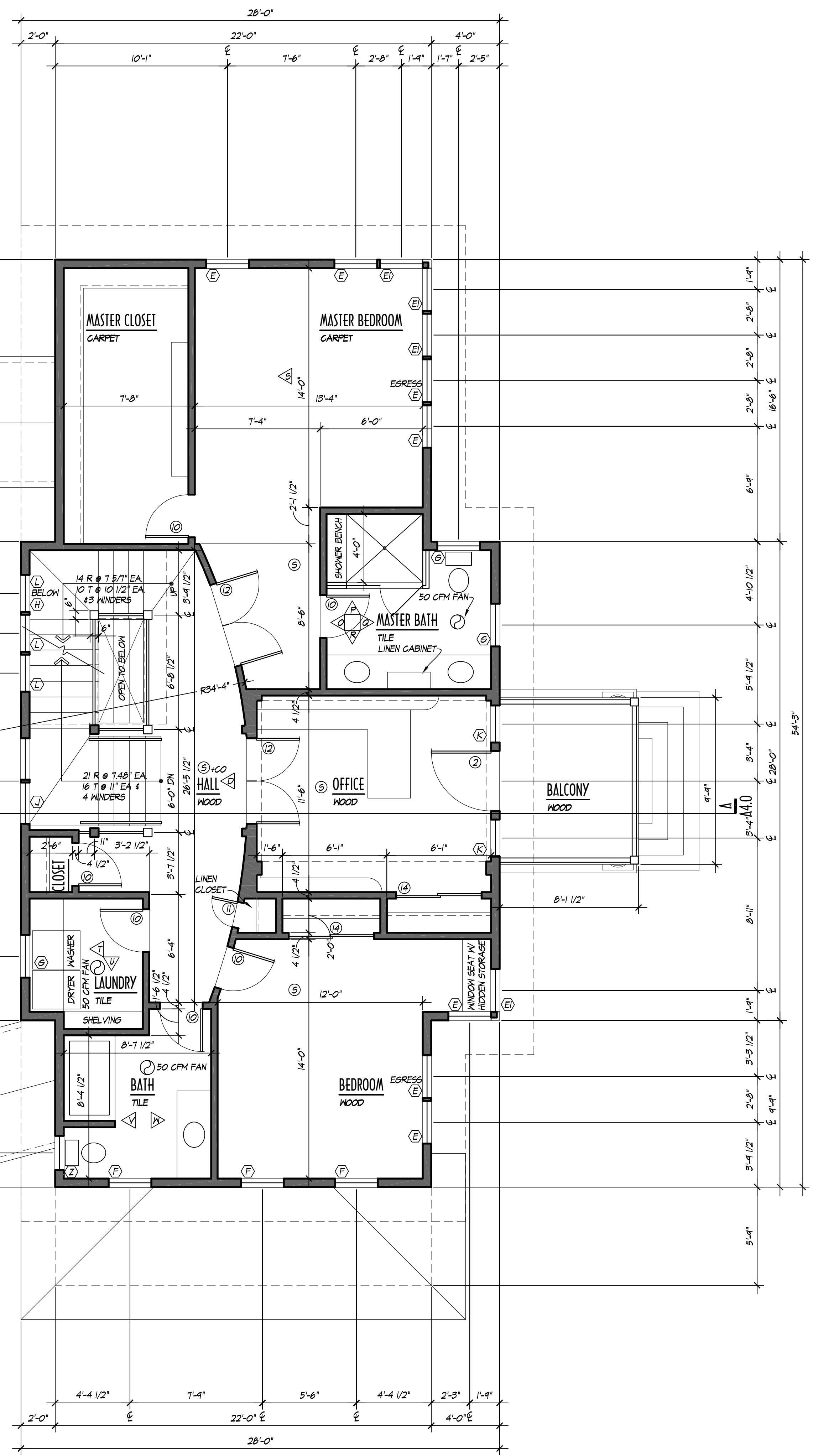
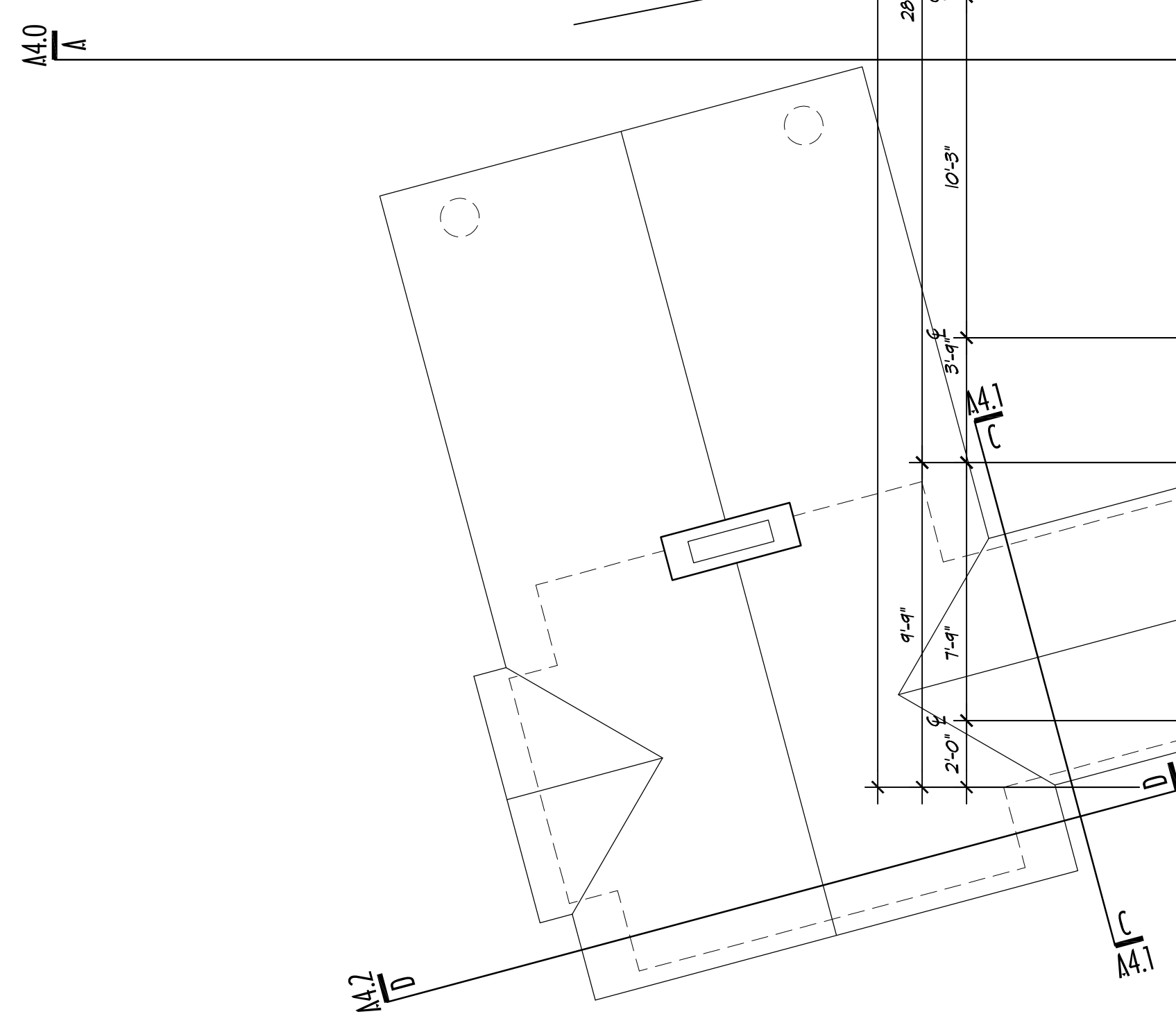
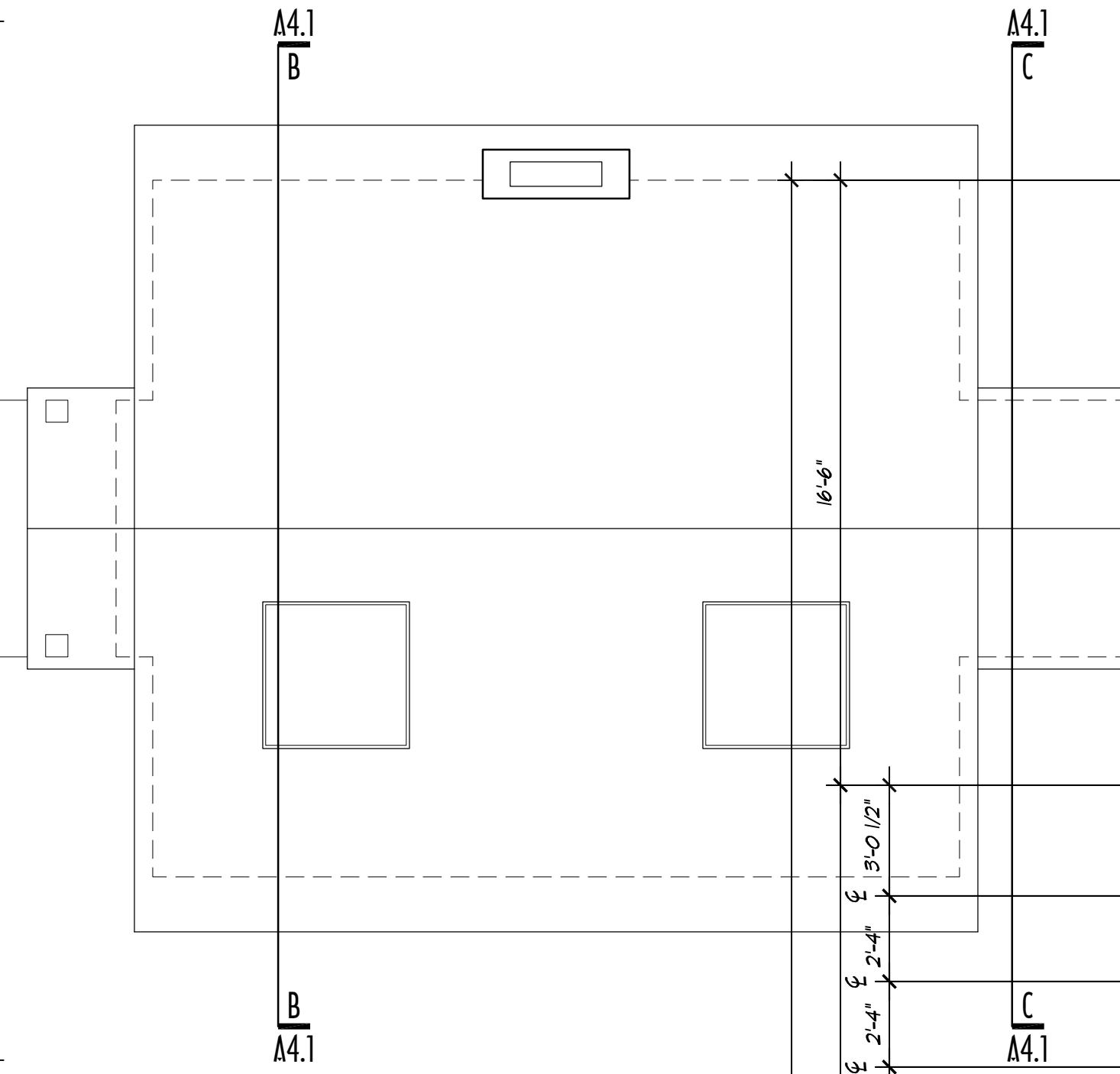
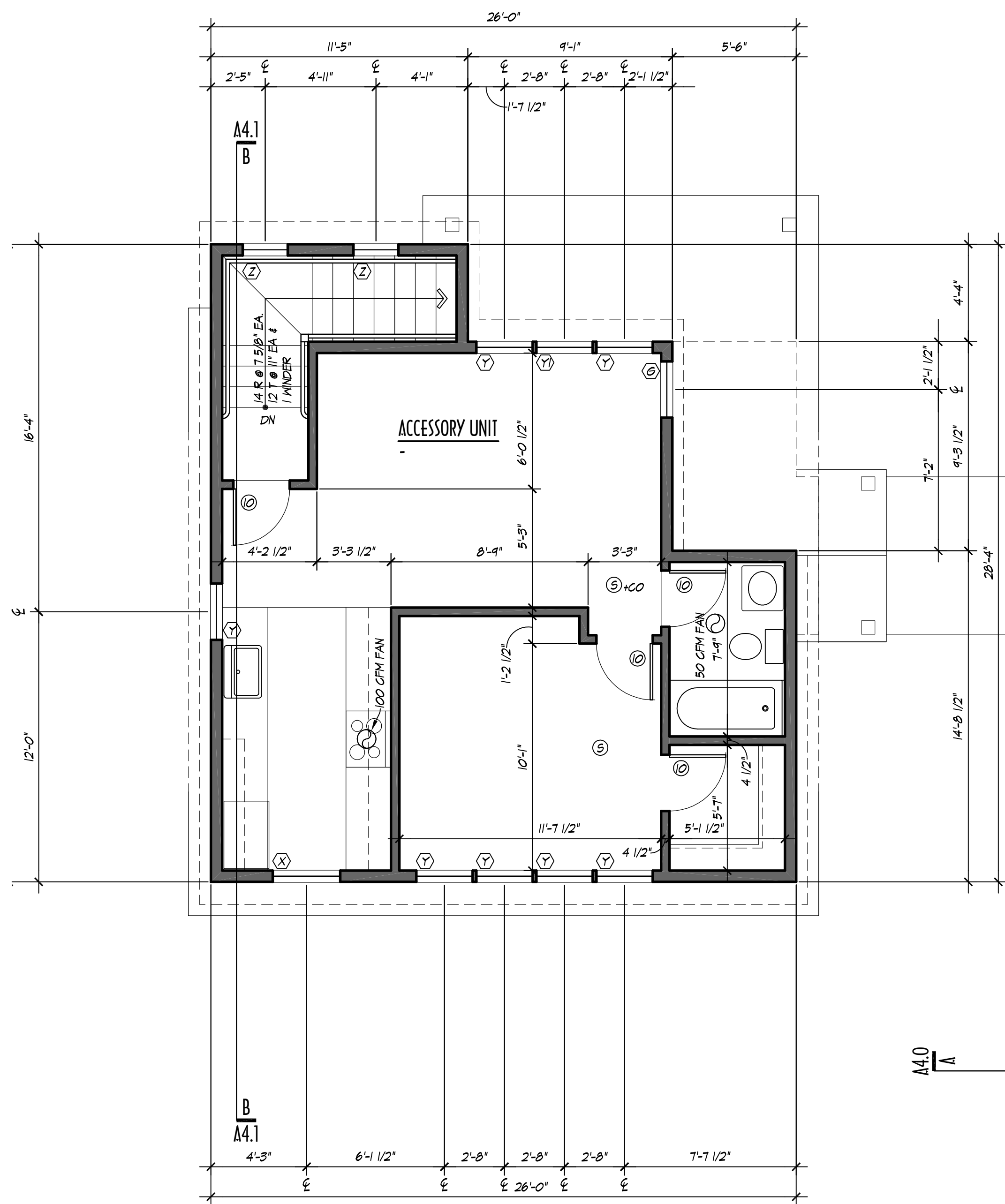


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SHEET TITLE: UPPER FLOOR PLAN

SHEET NUMBER: A2.2

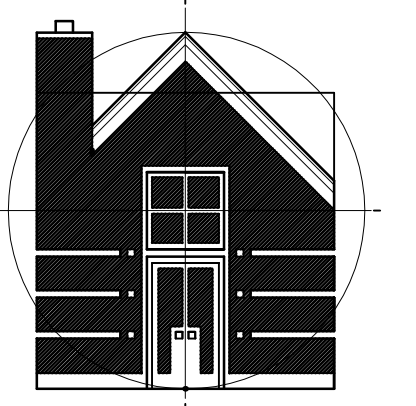
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UPPER FLOOR PLAN 1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 3a.

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

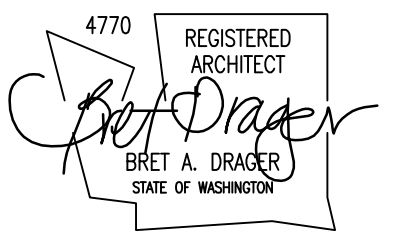


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TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

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RESIDENCE

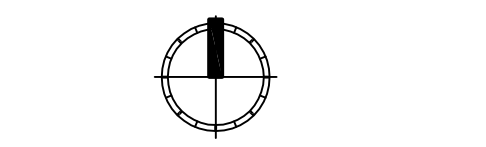
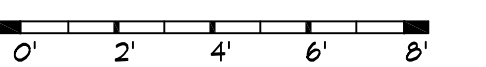
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

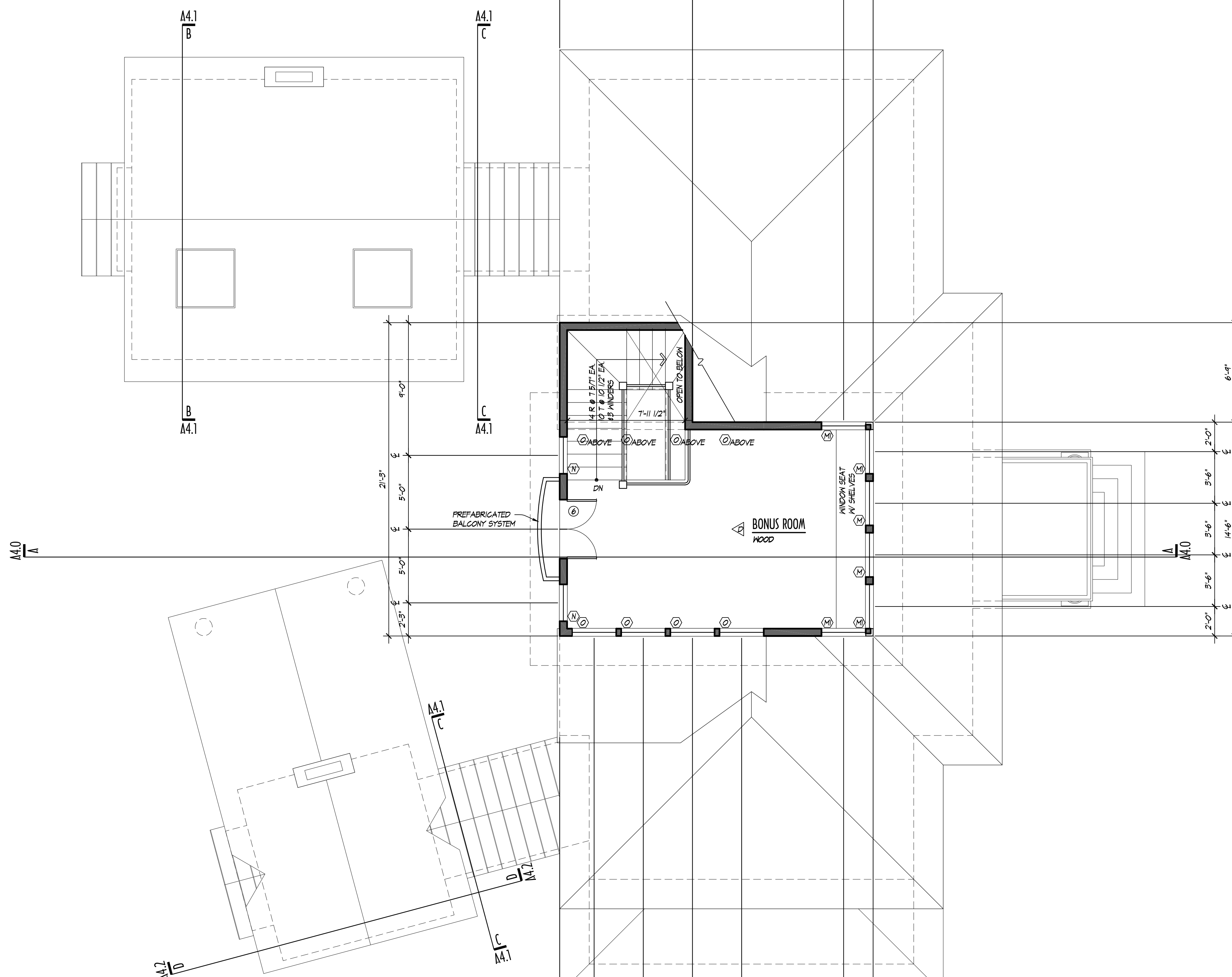
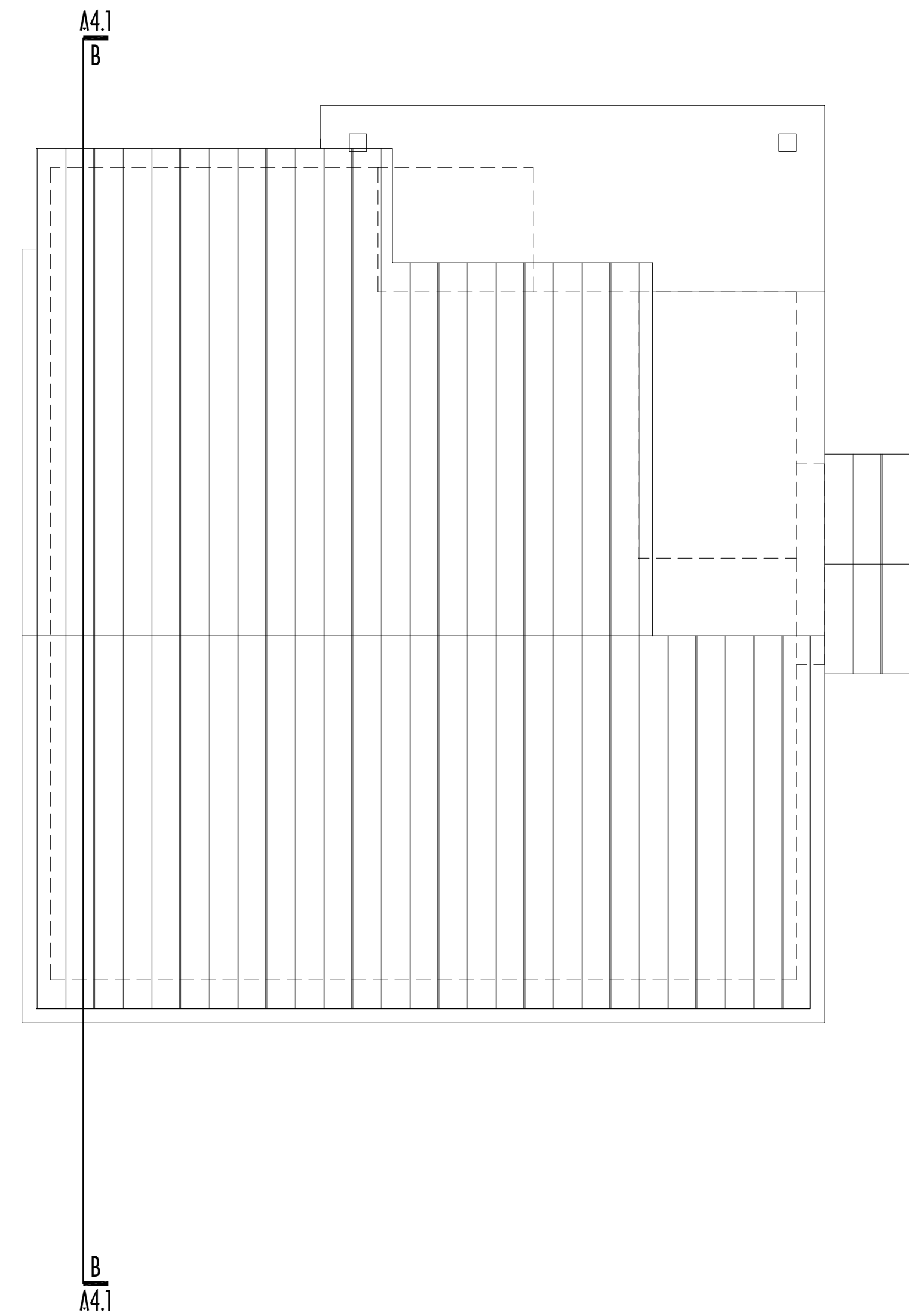


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SHEET NUMBER: A2.3

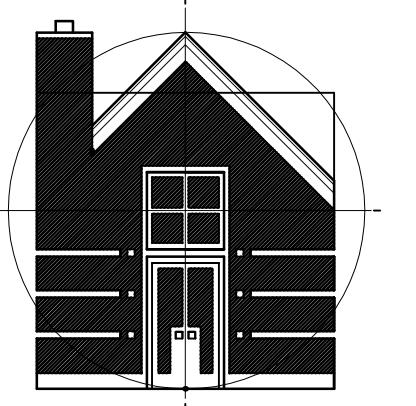
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LOFT PLAN
1/4" = 1'-0"

NOTE: ALL SHOWERHEADS AND KITCHEN SINK FAUCETS SHALL BE RATED AT 1.75 GPM OR LESS, ALL OTHER LAVATORY FAUCETS SHALL BE RATED AT 1.0 GPM OR LESS, TO BE COMPLIANT WITH ISEEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 5a.

NOTE: TO MEET ISEEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a: VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

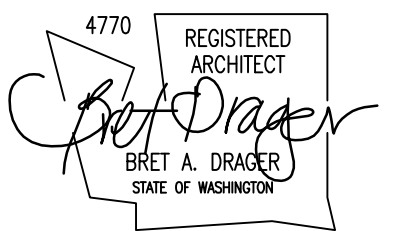


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TACOMA WA, 98407
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PROJECT:

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RESIDENCE

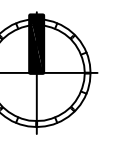
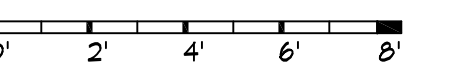
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

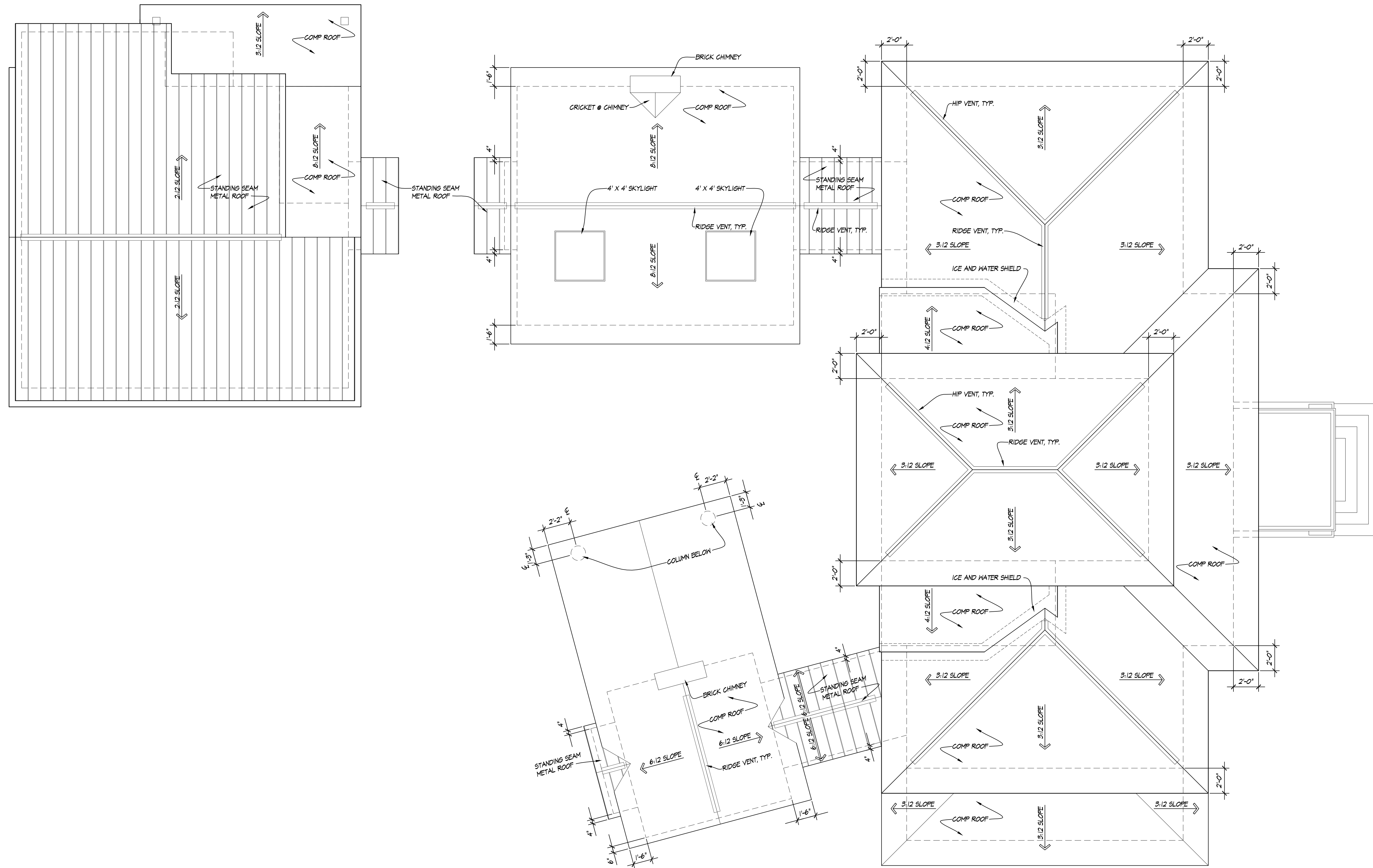


REF NORTH

SHEET TITLE: ROOF PLAN

SHEET NUMBER: A2.4

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ROOF PLAN
1/4" = 1'-0"



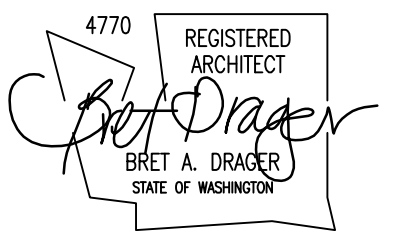
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2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for consultant information.

PROJECT:

CURRY RESIDENCE

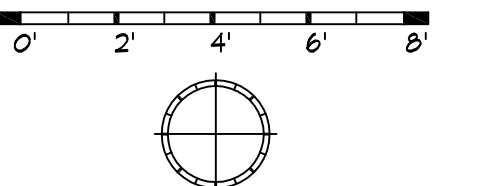
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

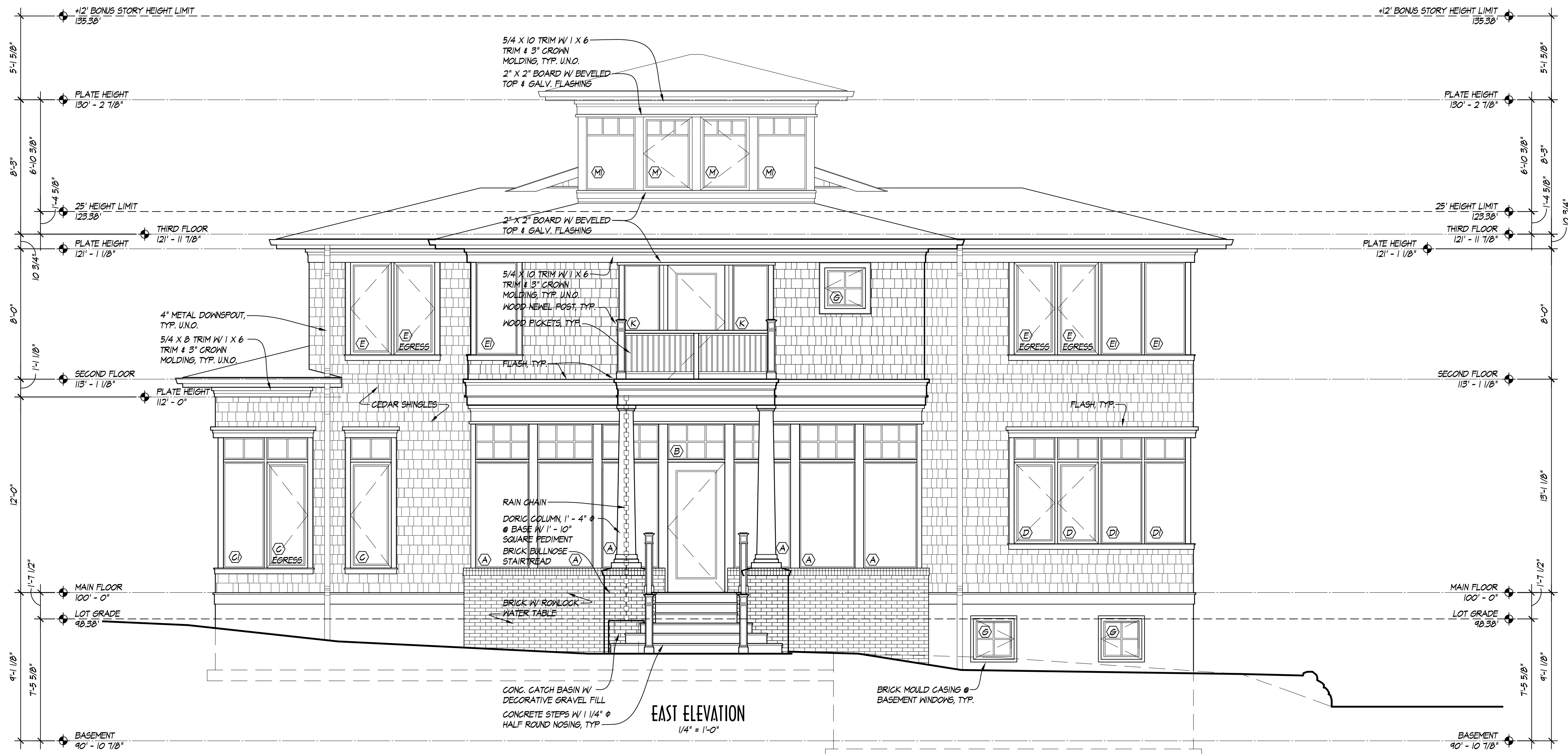
SCALE: 1/4" = 1'-0"



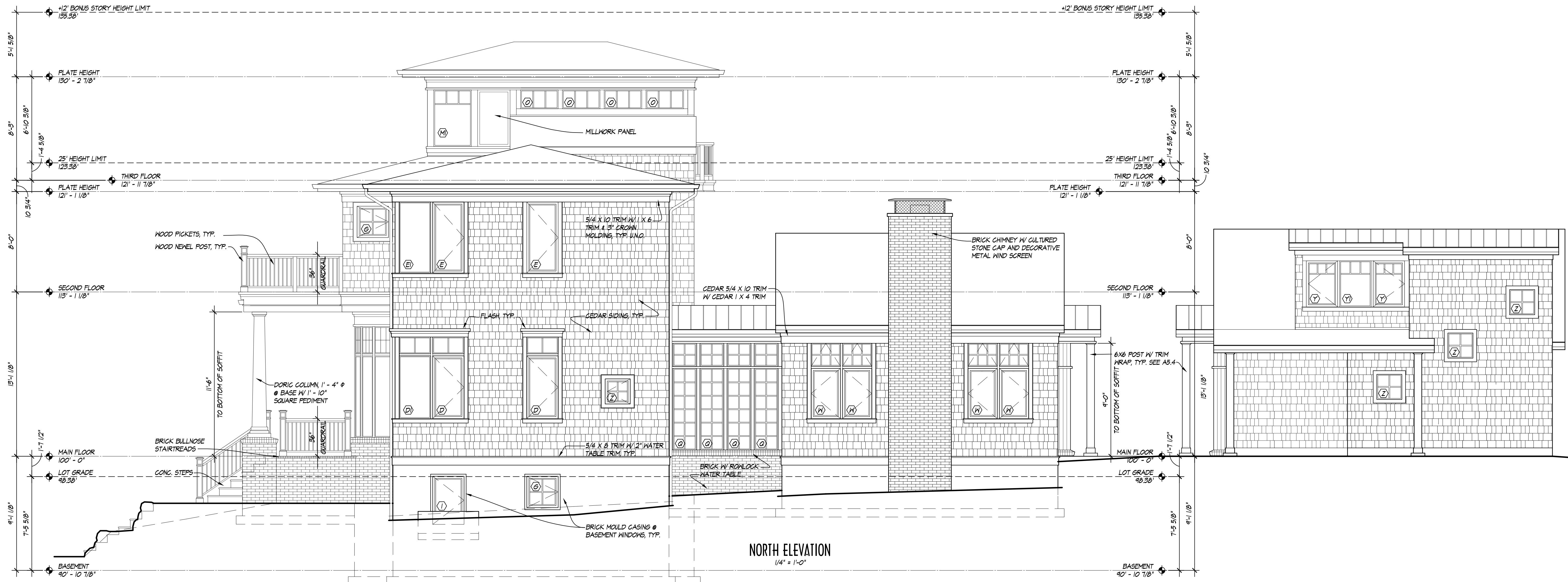
SHEET TITLE: ELEVATIONS EAST AND NORTH

SHEET NUMBER: A3.0

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EAST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"



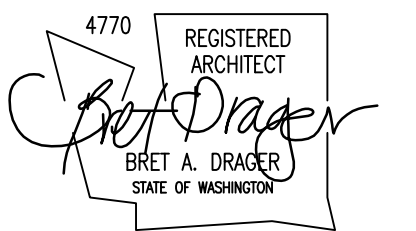
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CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

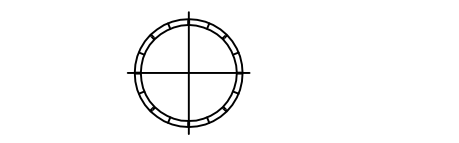
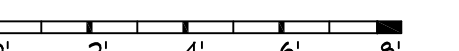
PERMIT SET

DATE: 11/14/2016

REVISIONS:

Blank lines for revision notes.

SCALE: 1/4" = 1'-0"



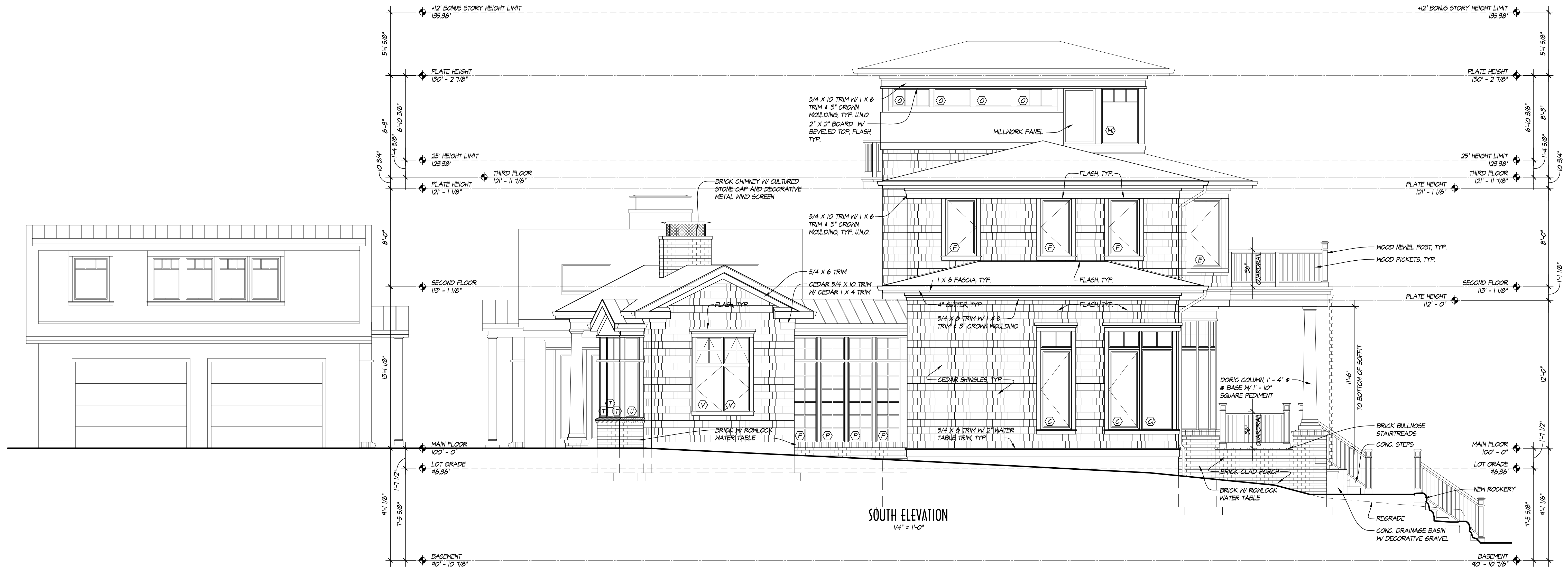
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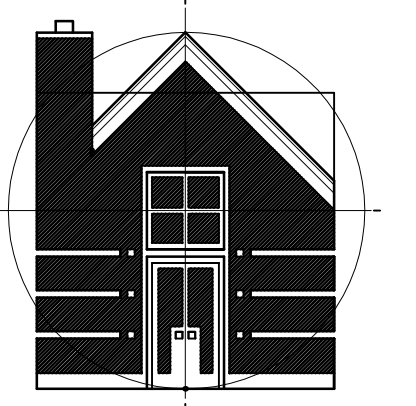
SHEET TITLE: ELEVATIONS SOUTH AND WEST

Blank lines for sheet title and other notes.

SHEET NUMBER: A3.1

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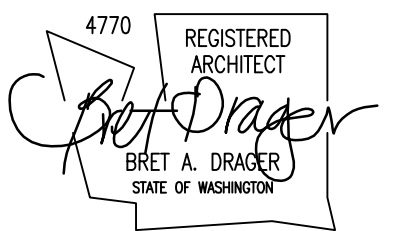


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TACOMA WA, 98407
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PROJECT:

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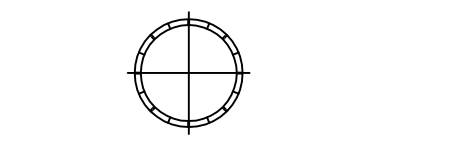
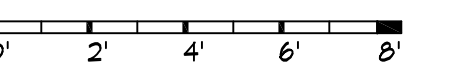
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"



REF NORTH

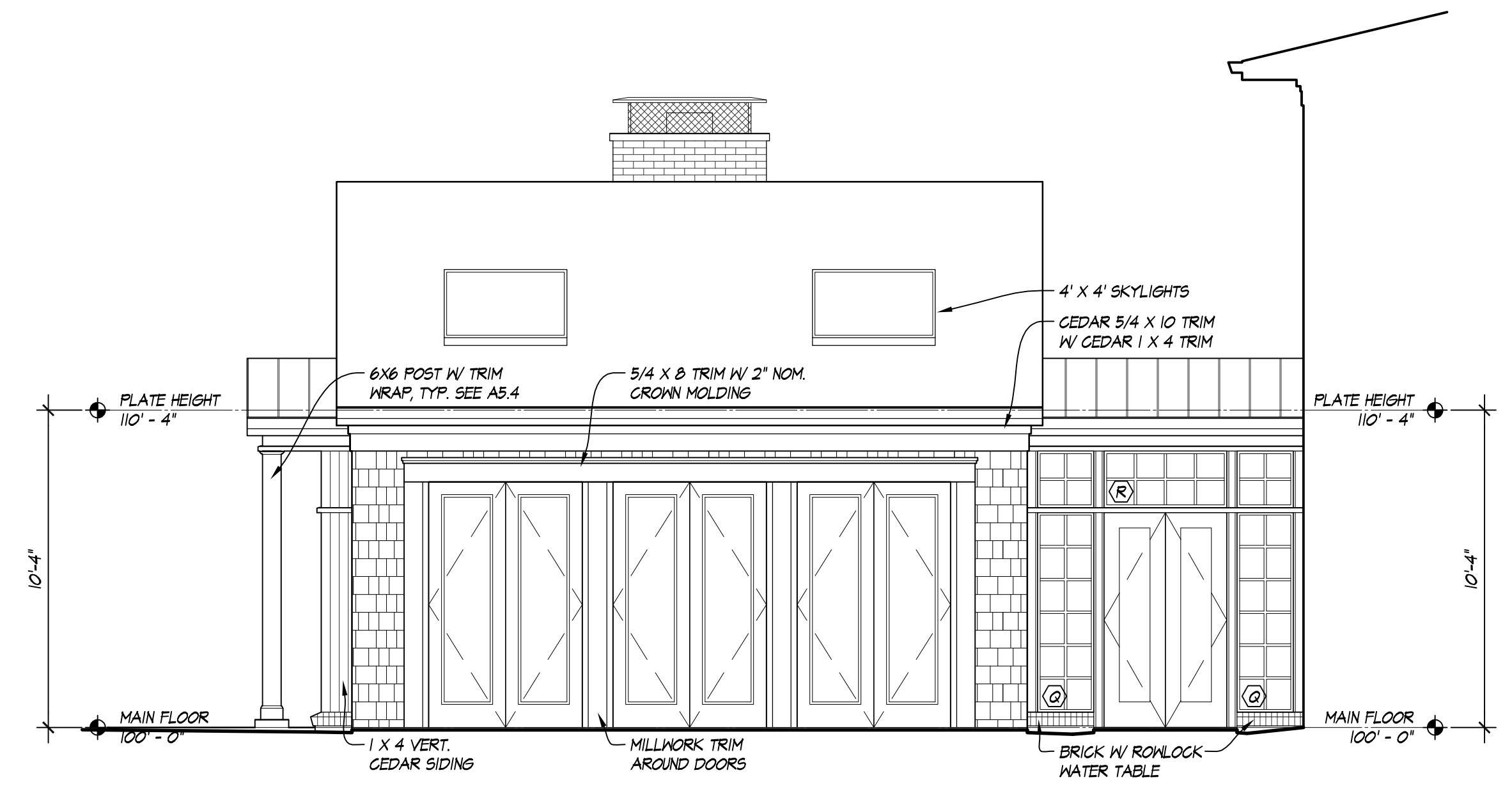
SHEET TITLE: ELEVATIONS
FAMILY ROOM AND LIBRARY

SHEET NUMBER: A3.2

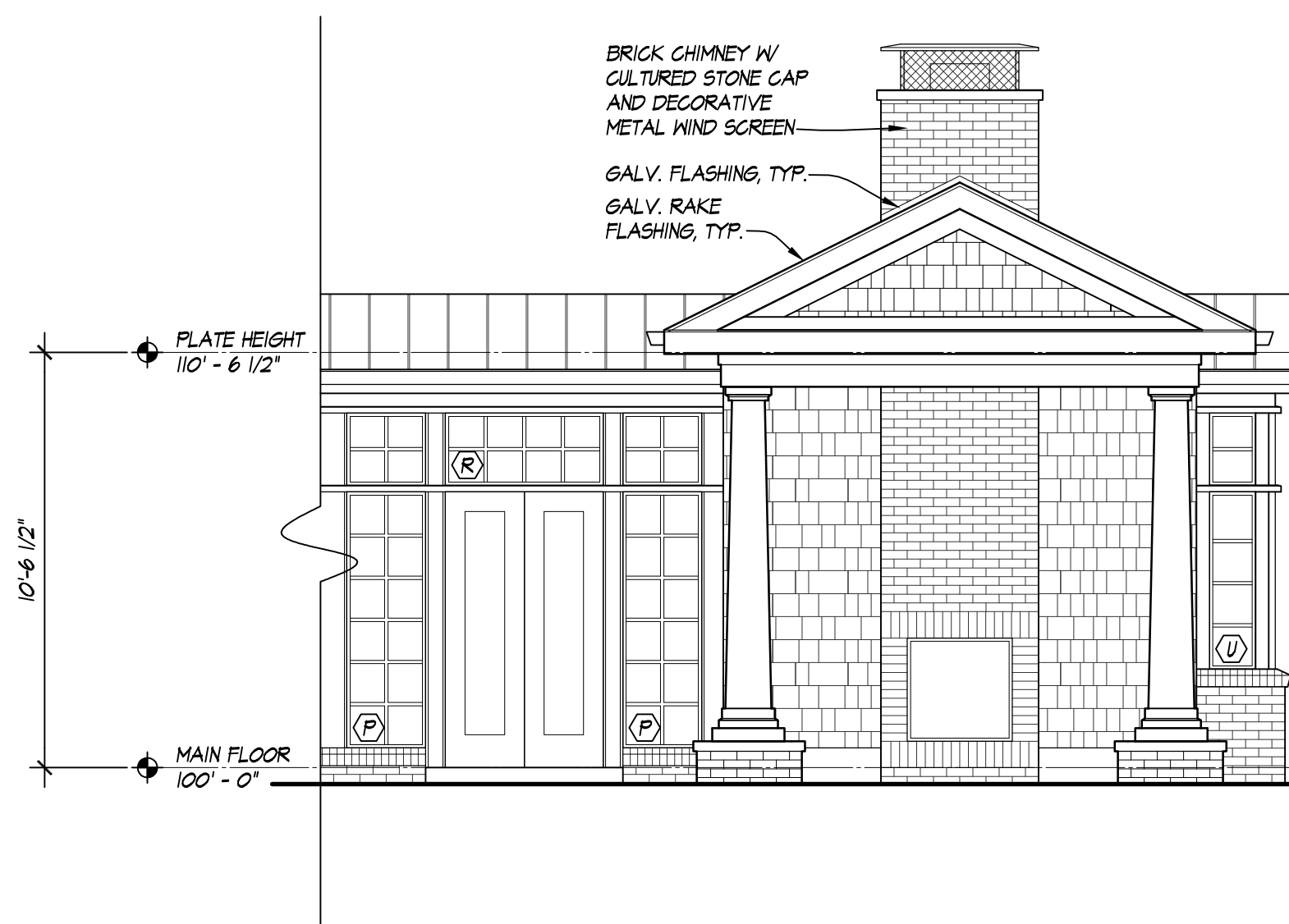
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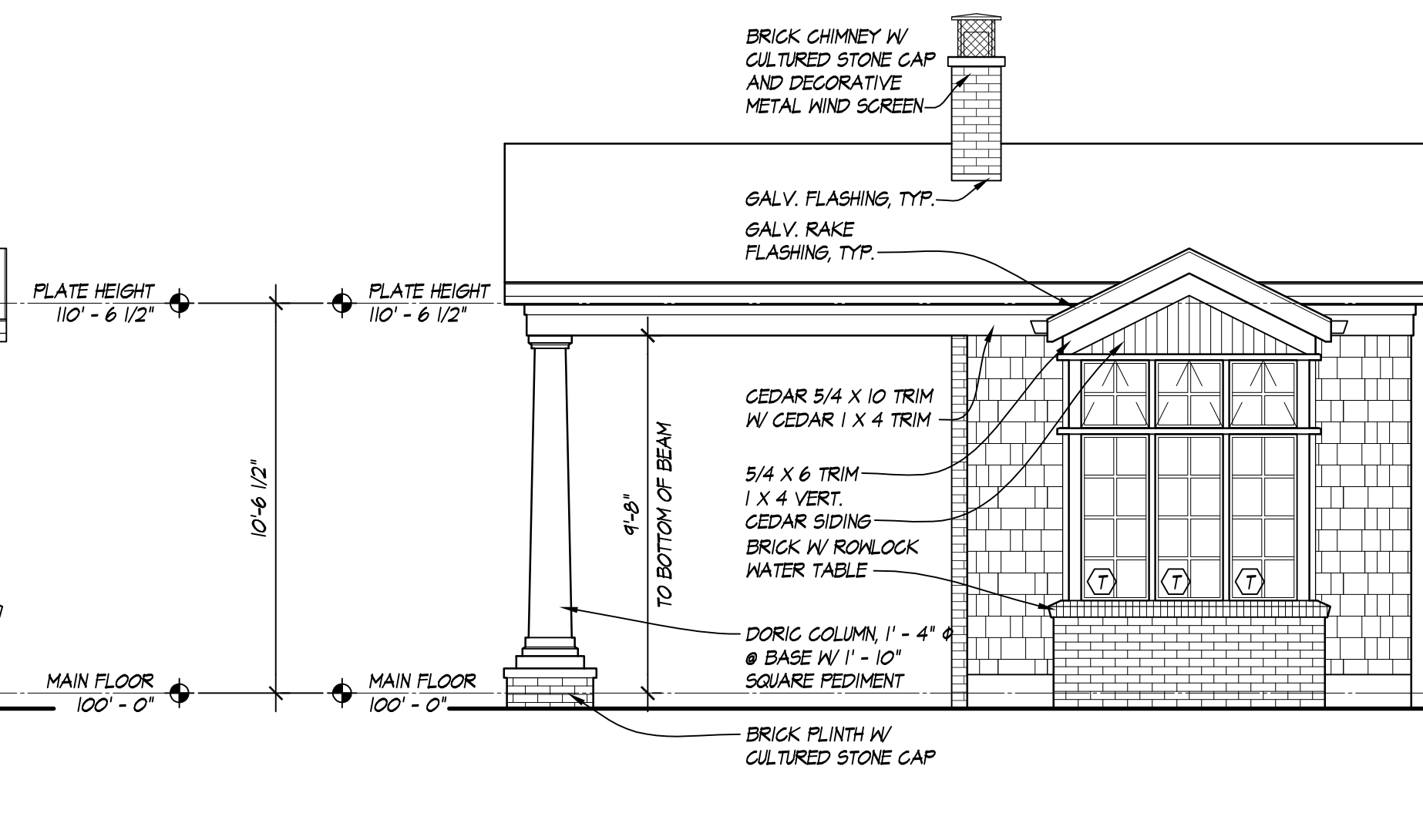
WEST ELEVATION: FAMILY ROOM
1/4" = 1'-0"



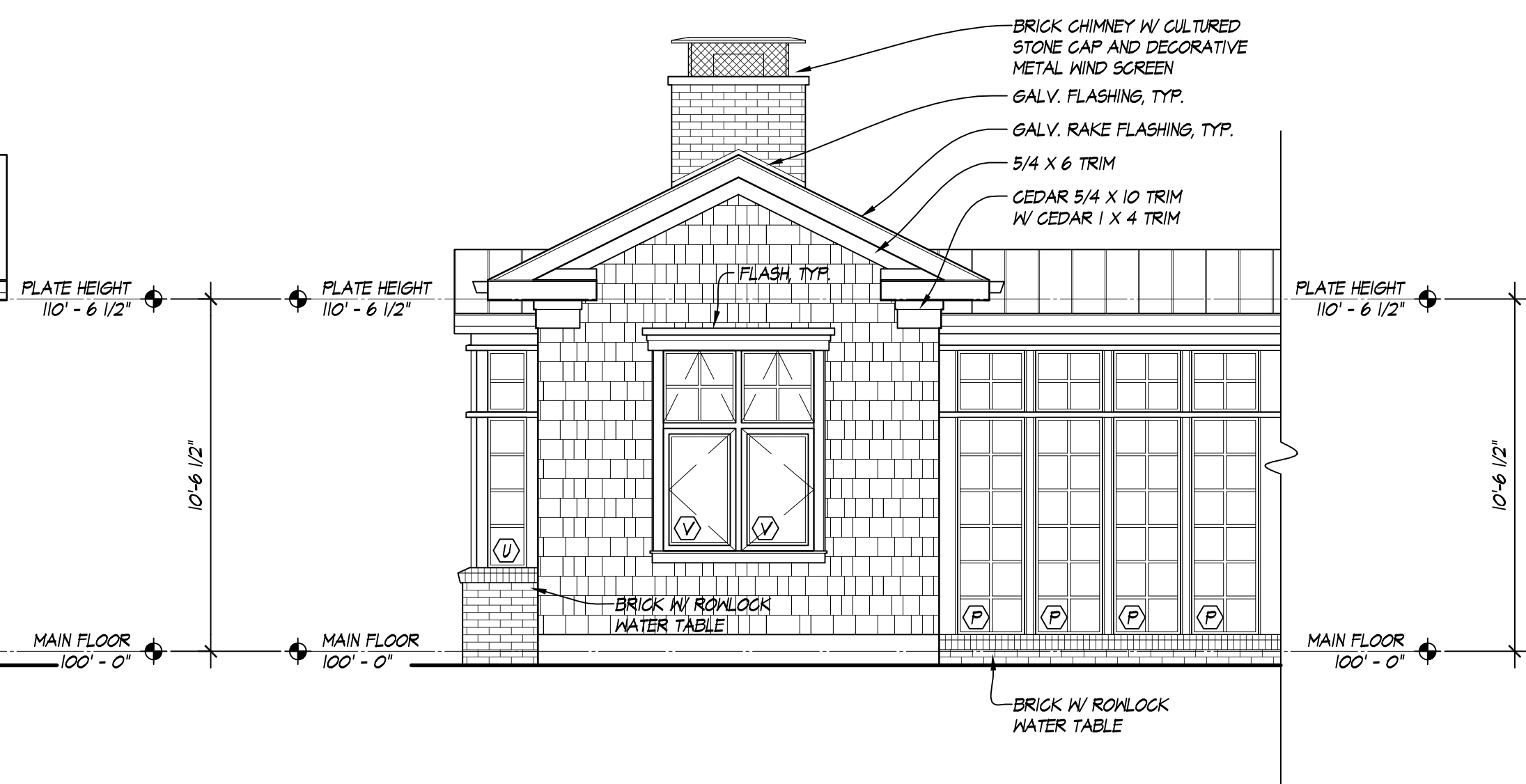
SOUTH ELEVATION: FAMILY ROOM
1/4" = 1'-0"



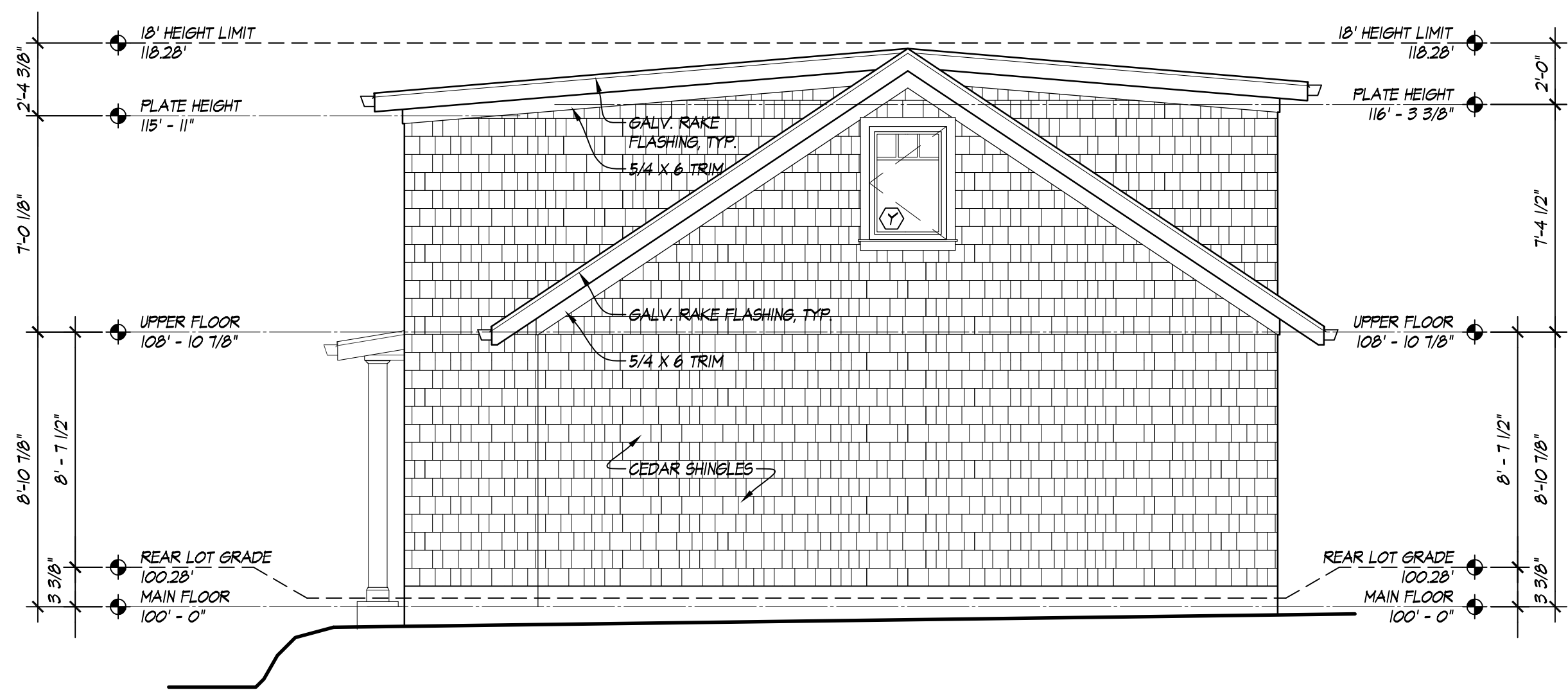
NORTH ELEVATION: LIBRARY
1/4" = 1'-0"



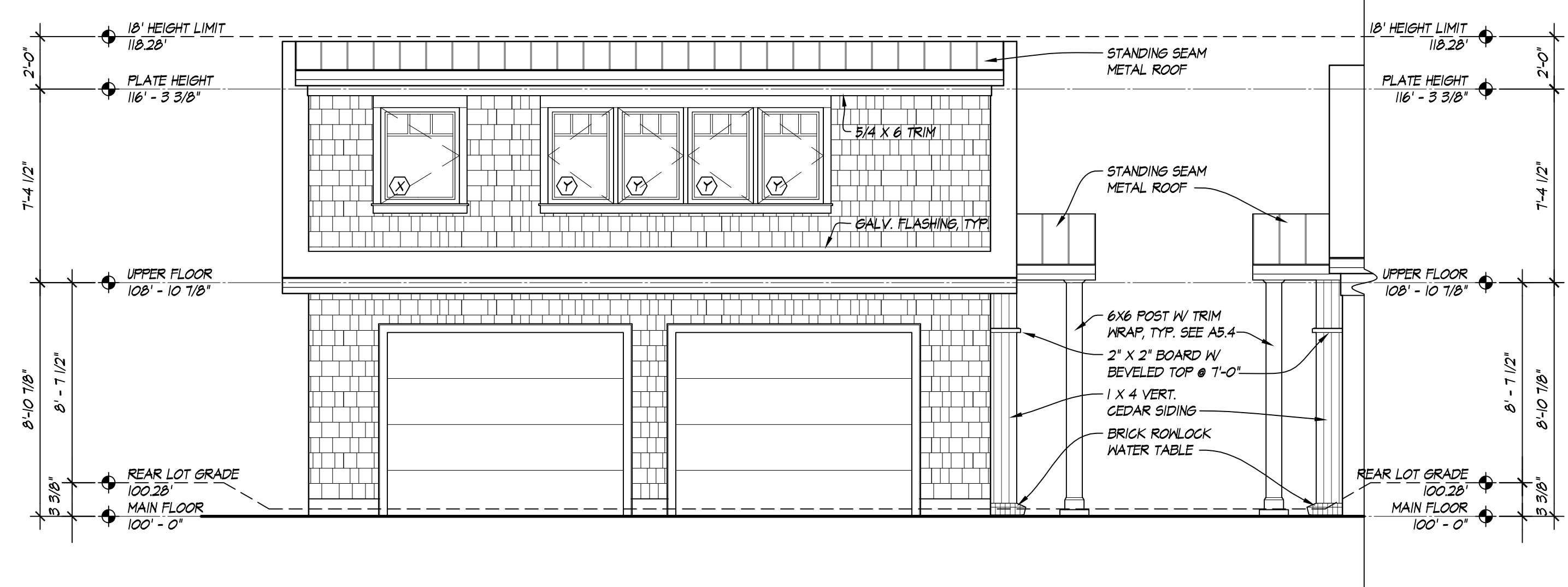
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1/4" = 1'-0"



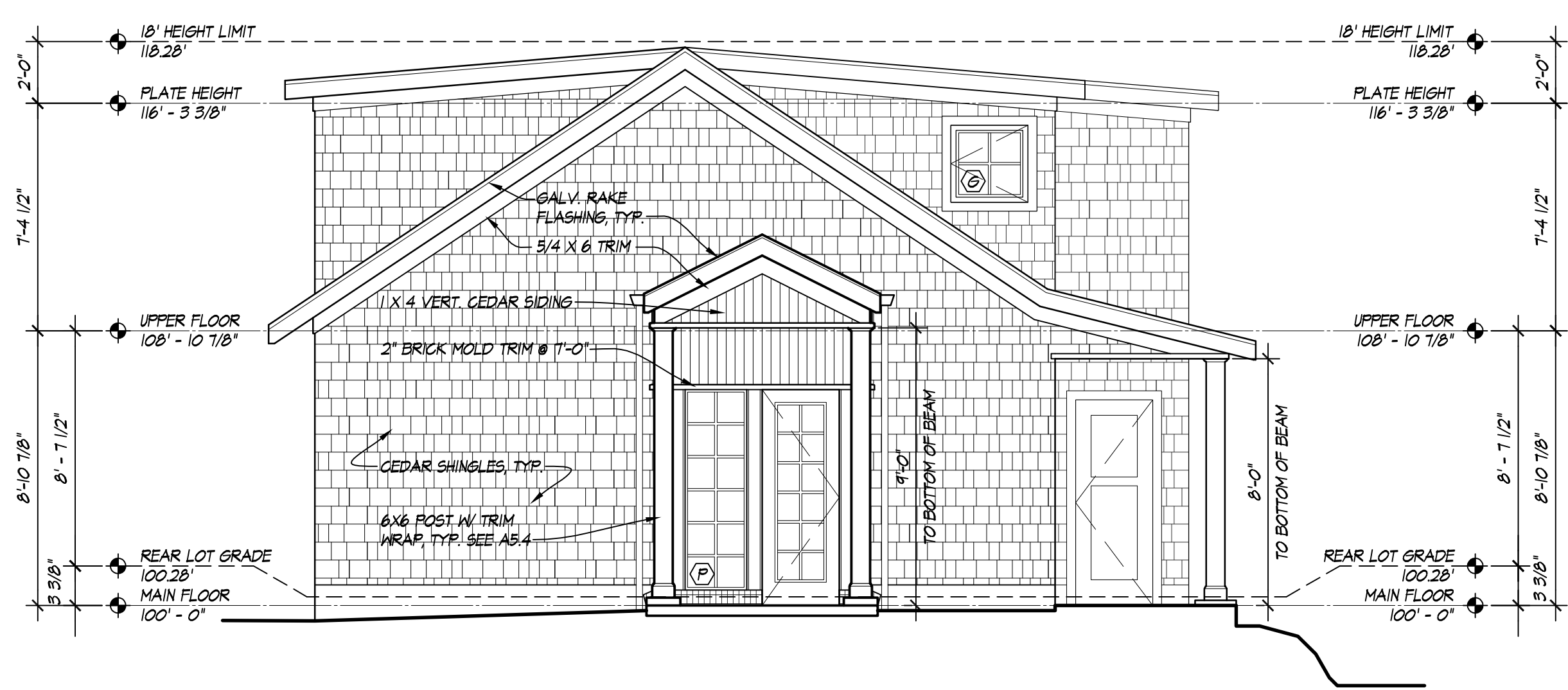
SOUTH ELEVATION: LIBRARY
1/4" = 1'-0"



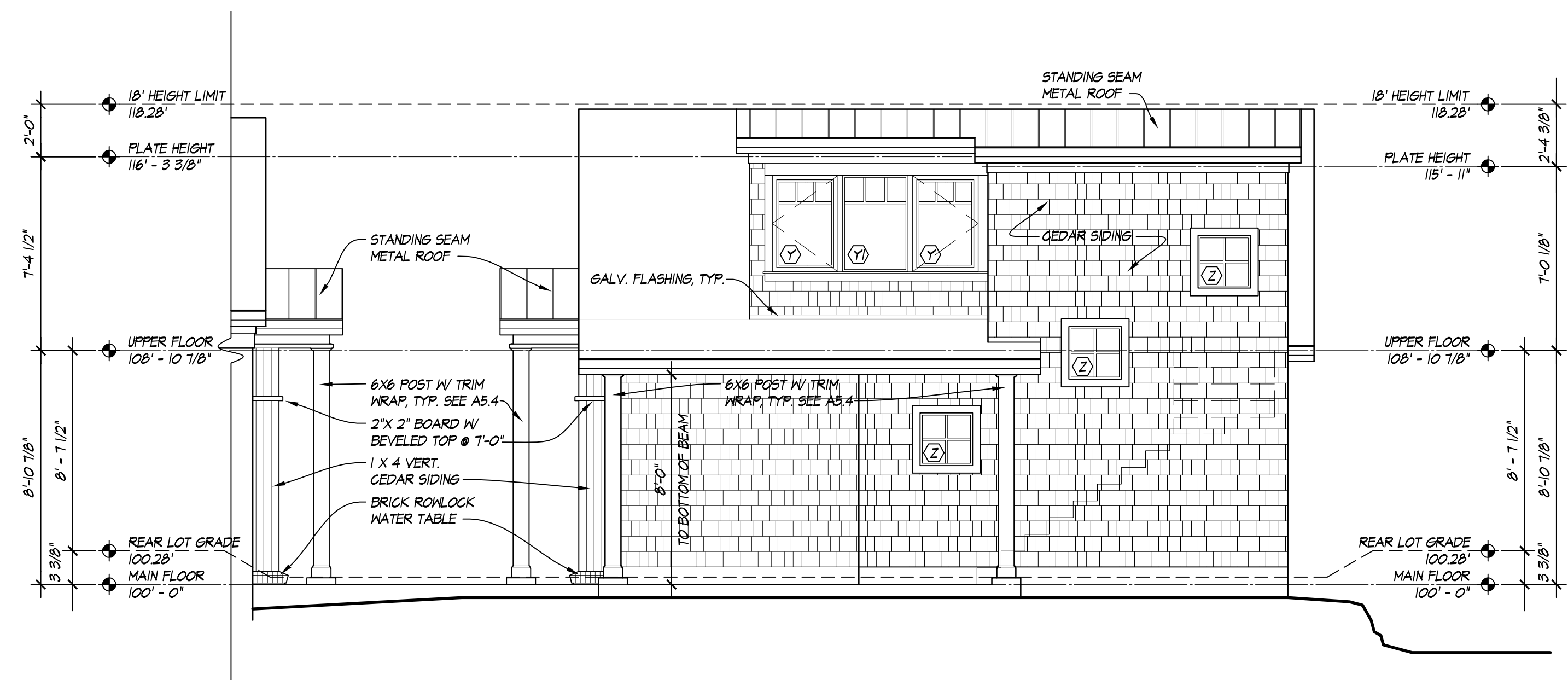
WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

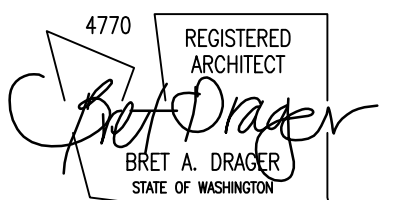


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2602 N. PROCTOR ST.
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TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

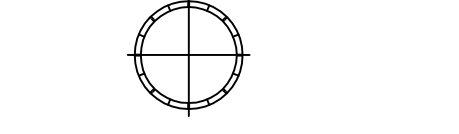
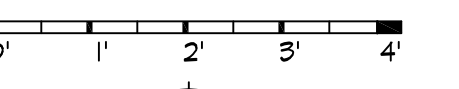
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

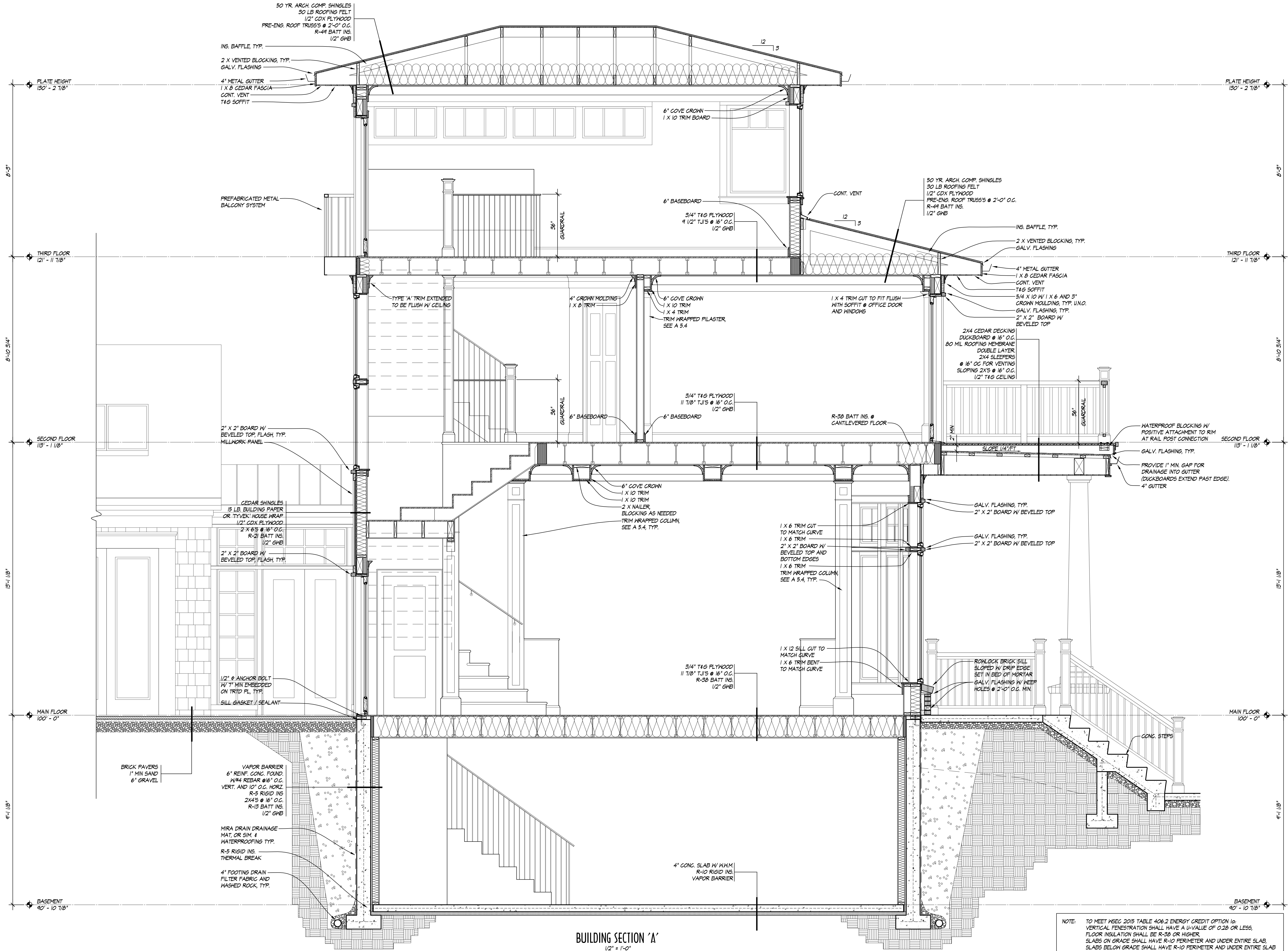


REF NORTH

SHEET TITLE: BUILDING SECTION 'A'

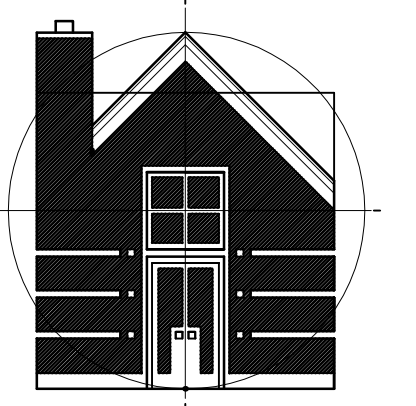
SHEET NUMBER: A4.0

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BUILDING SECTION 'A'
1/2" = 1'-0"

NOTE: TO MEET IBC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1b, VERTICAL PENETRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

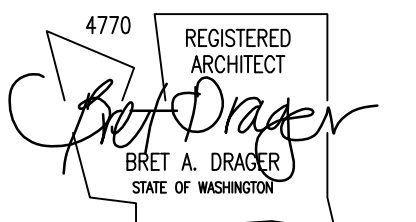


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2602 N. PROCTOR ST.
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TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

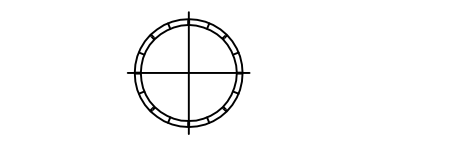
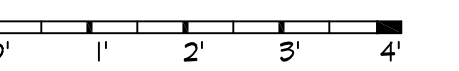
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

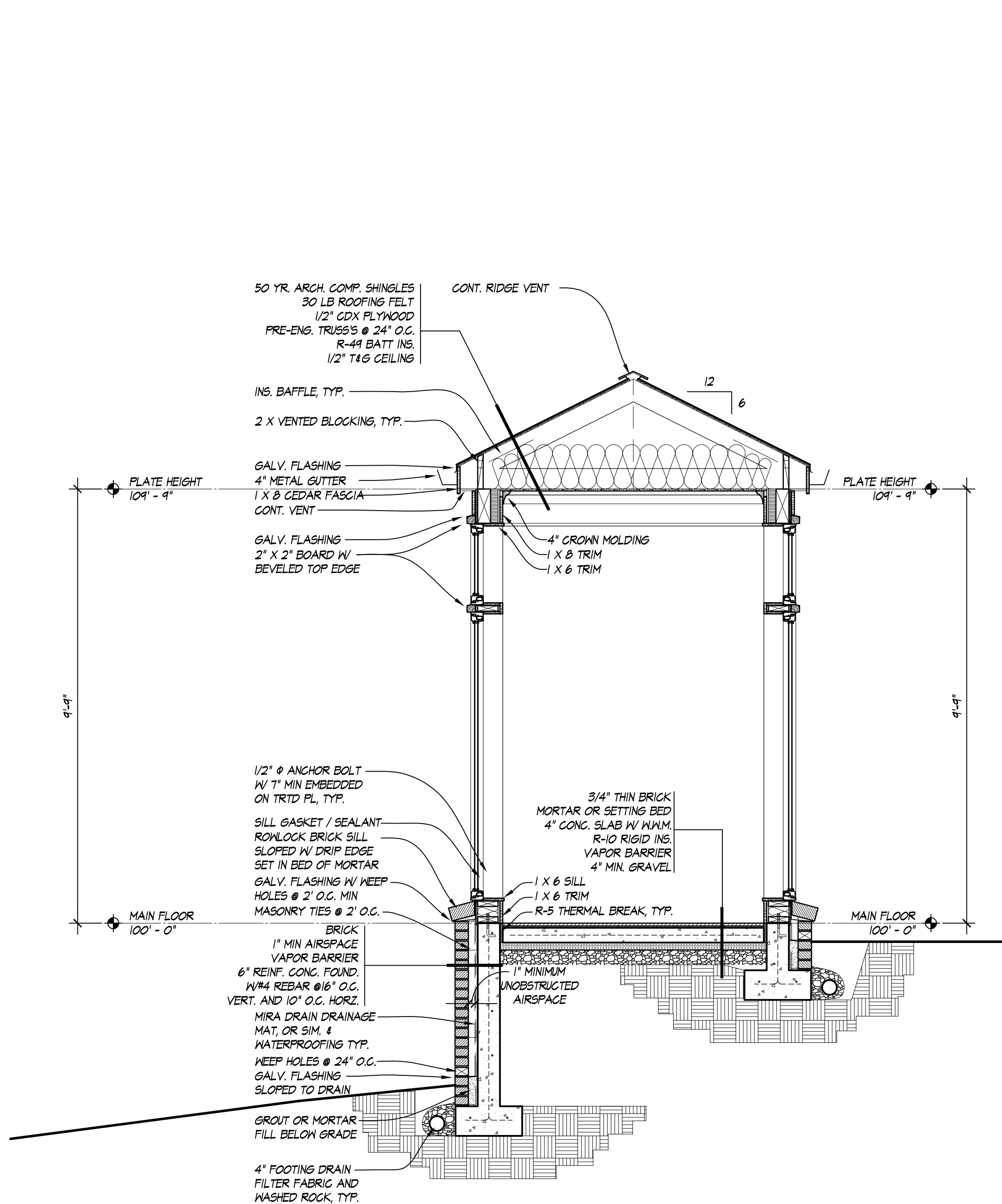


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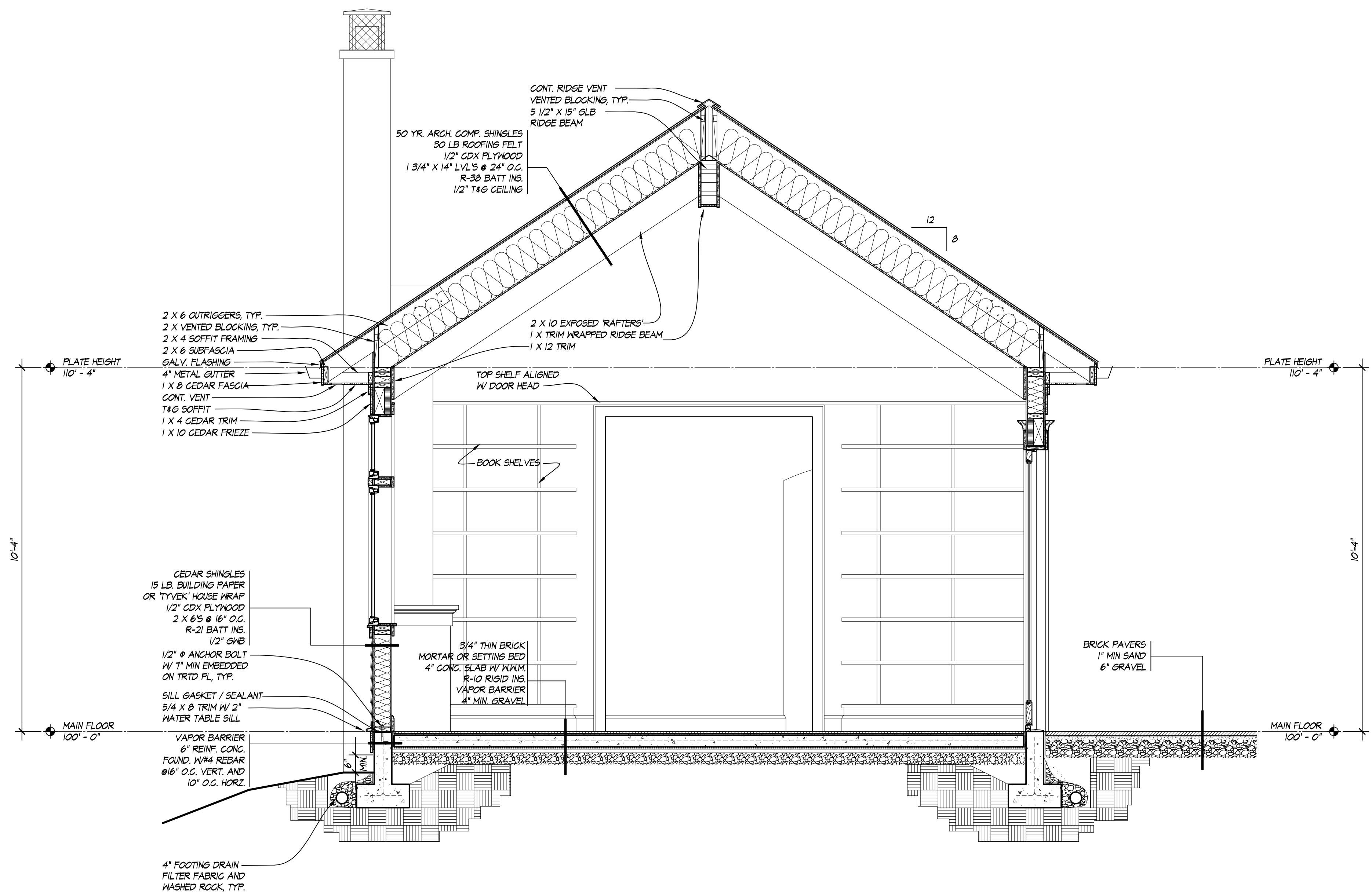
SHEET TITLE: BUILDING SECTIONS 'B' & 'C'

SHEET NUMBER: A4.1

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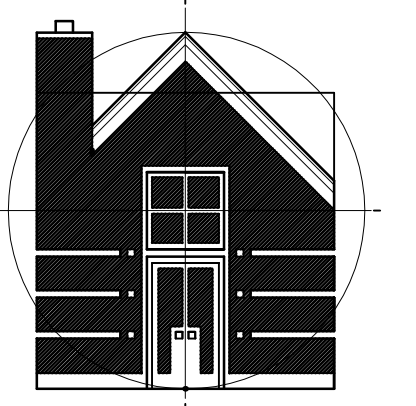


SECTION 'C' LINK
1/2" = 1'-0"



SECTION 'B' FAMILY ROOM
1/2" = 1'-0"

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a, VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS, FLOOR INSULATION SHALL BE R-38 OR HIGHER, SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB, SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

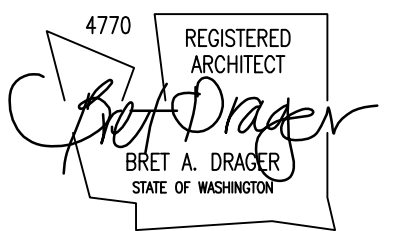


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2602 N. PROCTOR ST.
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TACOMA WA, 98407
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CONSULTANT:



PROJECT:

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RESIDENCE

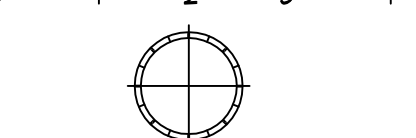
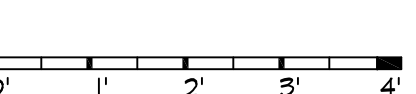
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

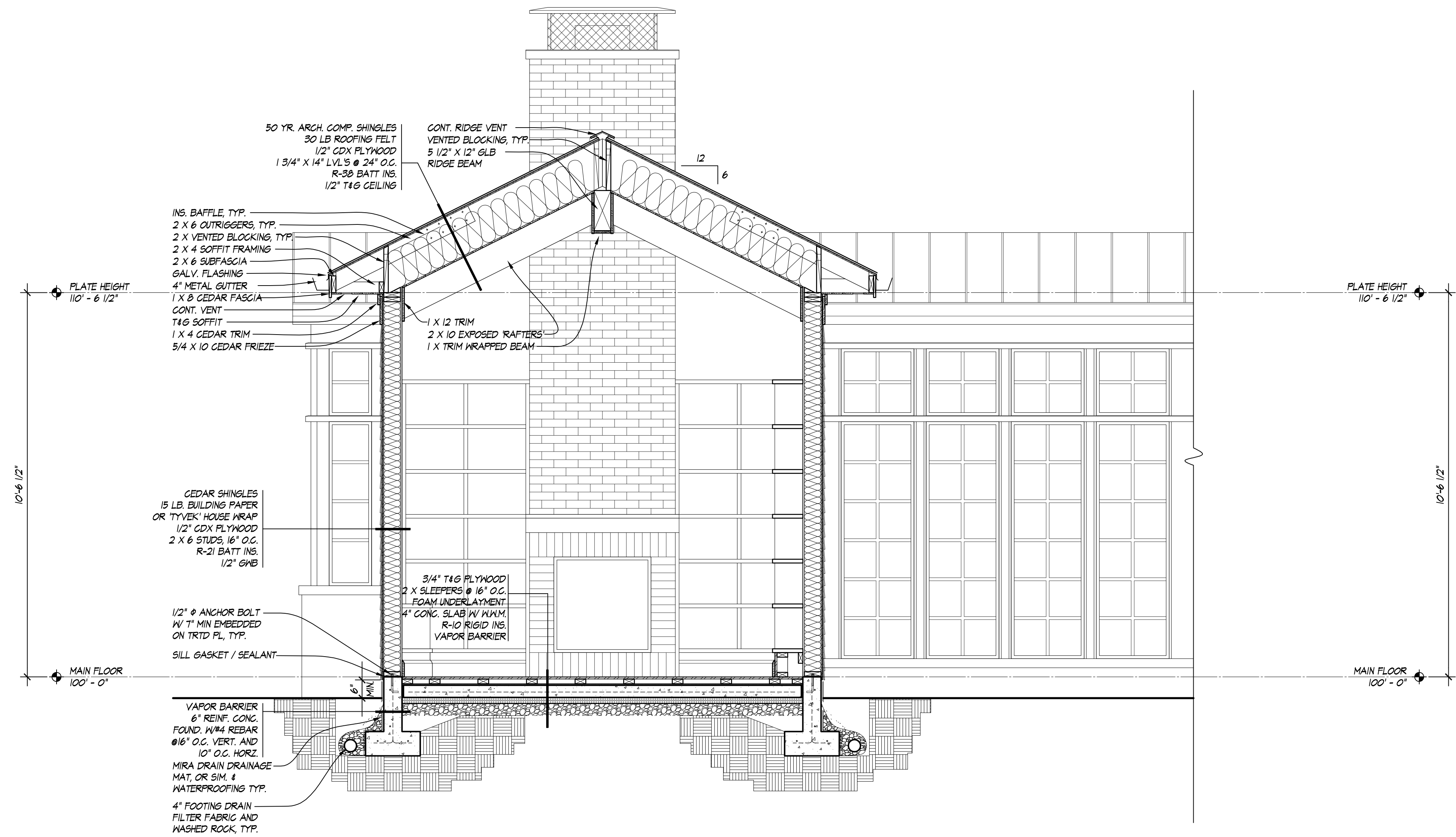
REVISIONS:

SCALE: 1/2" = 1'-0"



REF NORTH

SHEET TITLE: BUILDING SECTION 'D'

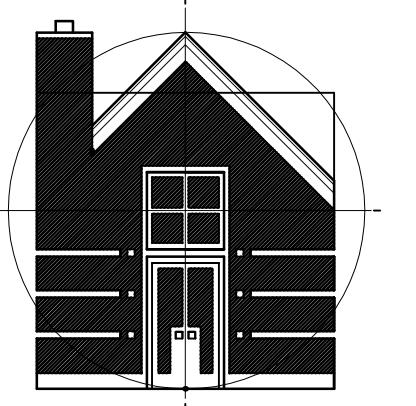


SECTION 'D' LIBRARY
1/2" = 1'-0"

NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a:
VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS,
FLOOR INSULATION SHALL BE R-38 OR HIGHER,
SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB,
SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

SHEET NUMBER: A4.2

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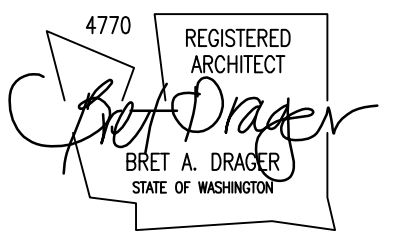


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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

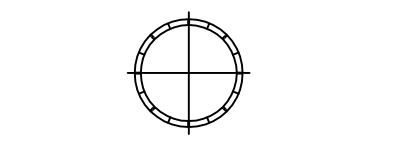
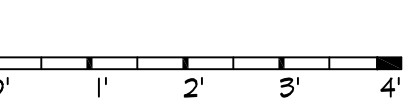
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

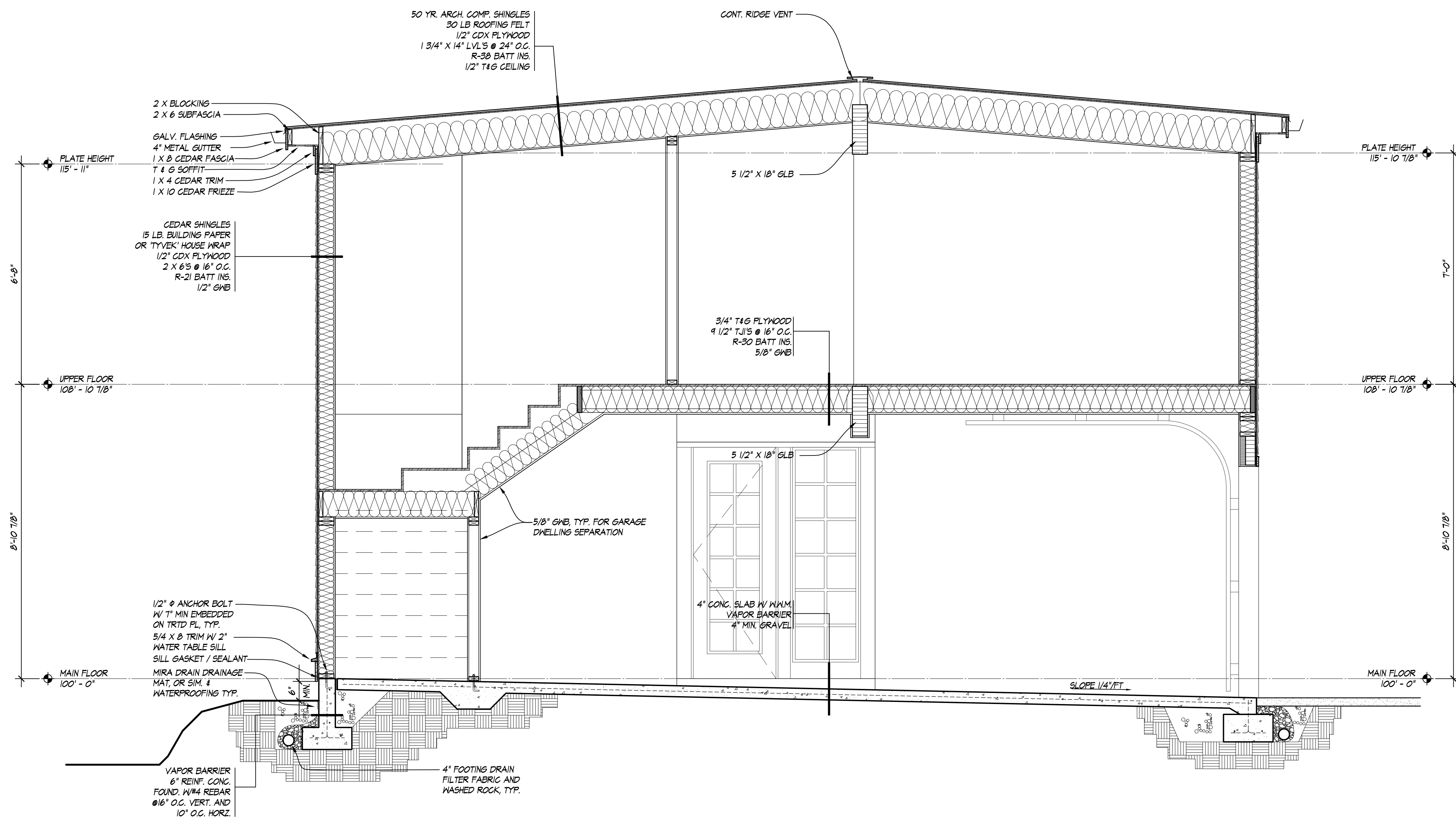


REF NORTH

SHEET TITLE: BUILDING SECTION 'E'

SHEET NUMBER: A4.3

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SECTION 'E' GARAGE AND A.D.U.
1/2" = 1'-0"

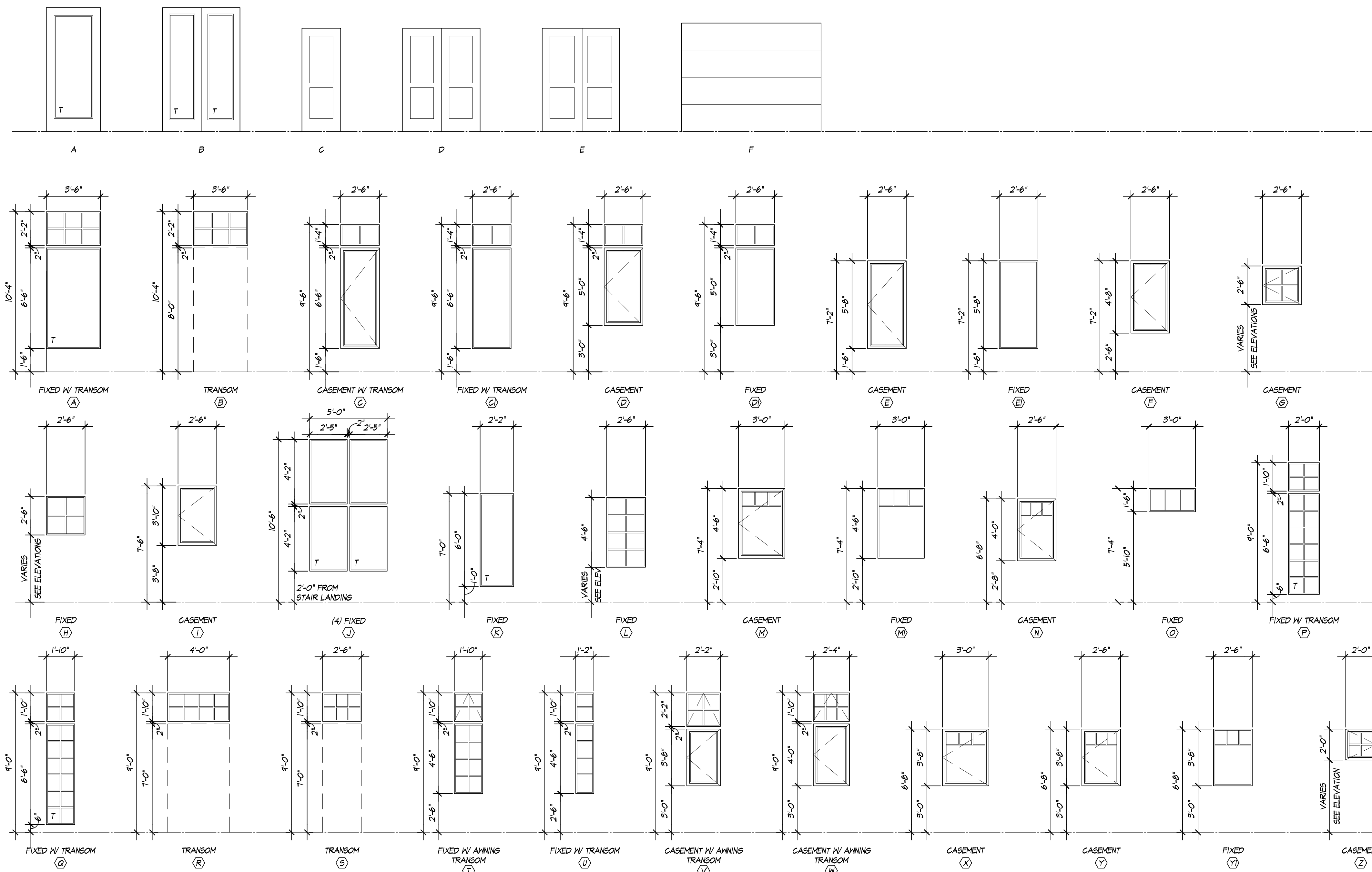
NOTE: TO MEET WSEC 2015 TABLE 406.2 ENERGY CREDIT OPTION 1a,
VERTICAL FENESTRATION SHALL HAVE A U-VALUE OF 0.28 OR LESS,
FLOOR INSULATION SHALL BE R-39 OR HIGHER,
SLABS ON GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB
SLABS BELOW GRADE SHALL HAVE R-10 PERIMETER AND UNDER ENTIRE SLAB

DOOR SCHEDULE					
SYM	SIZE	TYPE	MAT	GLAZING	REMARKS
1	3'-6" X 8'-0"	A	WOOD	INSUL	FULL LITE, PAINTED FINISH
2	3'-6" X 7'-0"	A			FULL LITE, PAINTED FINISH
3	2'-6" X 7'-0"	A			FULL LITE, W/ DIVIDED LITES, PAINTED FINISH
4	5'-0" X 8'-0"	B			DOUBLE FULL LITE, PAINTED FINISH
5	5'-0" X 6'-8"	B			DOUBLE FULL LITE, PAINTED FINISH
6	4'-0" X 7'-0"	B			DOUBLE FULL LITE W/ DIVIDED LITES, P.F.
7	2'-6" X 8'-0"	C			PAINTED FINISH
8	2'-4" X 8'-0"	C			PAINTED FINISH
9	2'-6" X 6'-8"	C		INSUL	EXTERIOR, PAINTED FINISH
10	2'-6" X 6'-8"	C			PAINTED FINISH
11	1'-6" X 6'-8"	C			PAINTED FINISH
12	5'-0" X 6'-8"	D			DOUBLE DOOR, PAINTED FINISH
13	4'-0" X 7'-8"	D			DOUBLE DOOR, PAINTED FINISH
14	5'-0" X 6'-8"	E			DOUBLE SLIDER DOOR, PAINTED FINISH
15	6'-0" X 6'-8"	E			DOUBLE SLIDER DOOR, PAINTED FINISH
16	9'-0" X 7'-0"	F			OVERHEAD GARAGE DOOR

NOTE:
1. EXTERIOR DOORS TO BE SIMPSON THERMAL FRENCH 7001 OR SIMILAR
2. ALL INTERIOR DOORS TO BE SIMPSON PRIME FLAT PANEL 8082 OR SIMILAR
3. ALL GLAZING IN DOORS TO BE TEMPERED
T = TEMPERED

WINDOW SCHEDULE				
SYM	MAT	GLAZING	TRIM	REMARKS
A	WD/MTL	INSUL	SEE A4.0	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
B			SEE A4.0	TRANSOM OVER DOOR, DIVIDED LITES
C			A	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
D			A	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
E			A	
F			A	
G			B	DIVIDED LITES
H			B	DIVIDED LITES
I			SEE A5.0	
J			A	FOUR WINDOW GROUP
K			SEE A4.0	FOUR WINDOW GROUP
L			B	DIVIDED LITES
M			B	T 3 DIVIDED LITES
N			B	T 3 DIVIDED LITES
O			B	DIVIDED LITES
P			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
Q			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
R			SEE A4.1	TRANSOM OVER DOOR, DIVIDED LITES
S			SEE A4.1	TRANSOM OVER DOOR, DIVIDED LITES
T			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
U			SEE A4.1	TWO WINDOW GROUP, DIVIDED LITES
V			B	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
W			B	TWO WINDOW GROUP, DIVIDED LITES IN TRANSOM
X			B	T 3 DIVIDED LITES
Y			B	T 3 DIVIDED LITES
Z			B	DIVIDED LITES

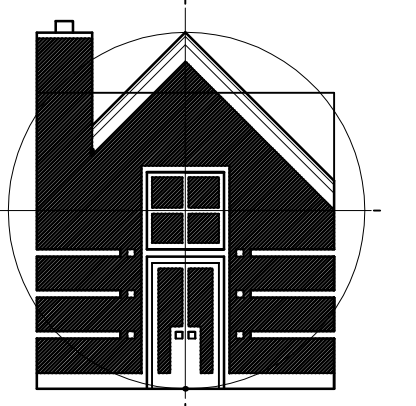
NOTE:
1. SEE ELEVATIONS FOR LOCATION AND SILL OF OPERABLE WINDOWS
2. TEMPERED GLASS IN WINDOWS WITH SILL BELOW 18" A.F.F. OR WITHIN 24" OF DOORS, SEE ELEVATIONS
T = TEMPERED
3. WINDOWS TO BE U 0.28 OR BETTER



DOOR AND WINDOW SCHEDULES
1/4" = 1'-0"



DOOR AND WINDOW TRIM
1/2" = 1'-0"

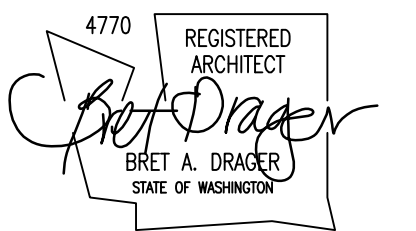


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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

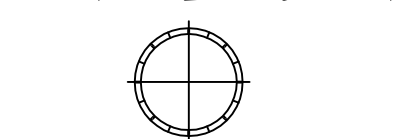
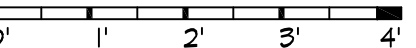
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

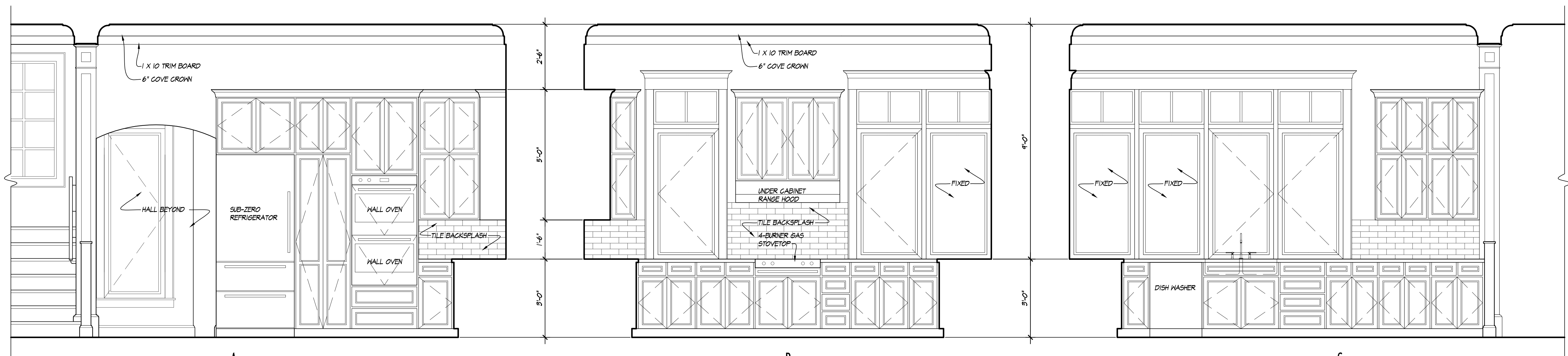


REF NORTH

SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: **A5.1**

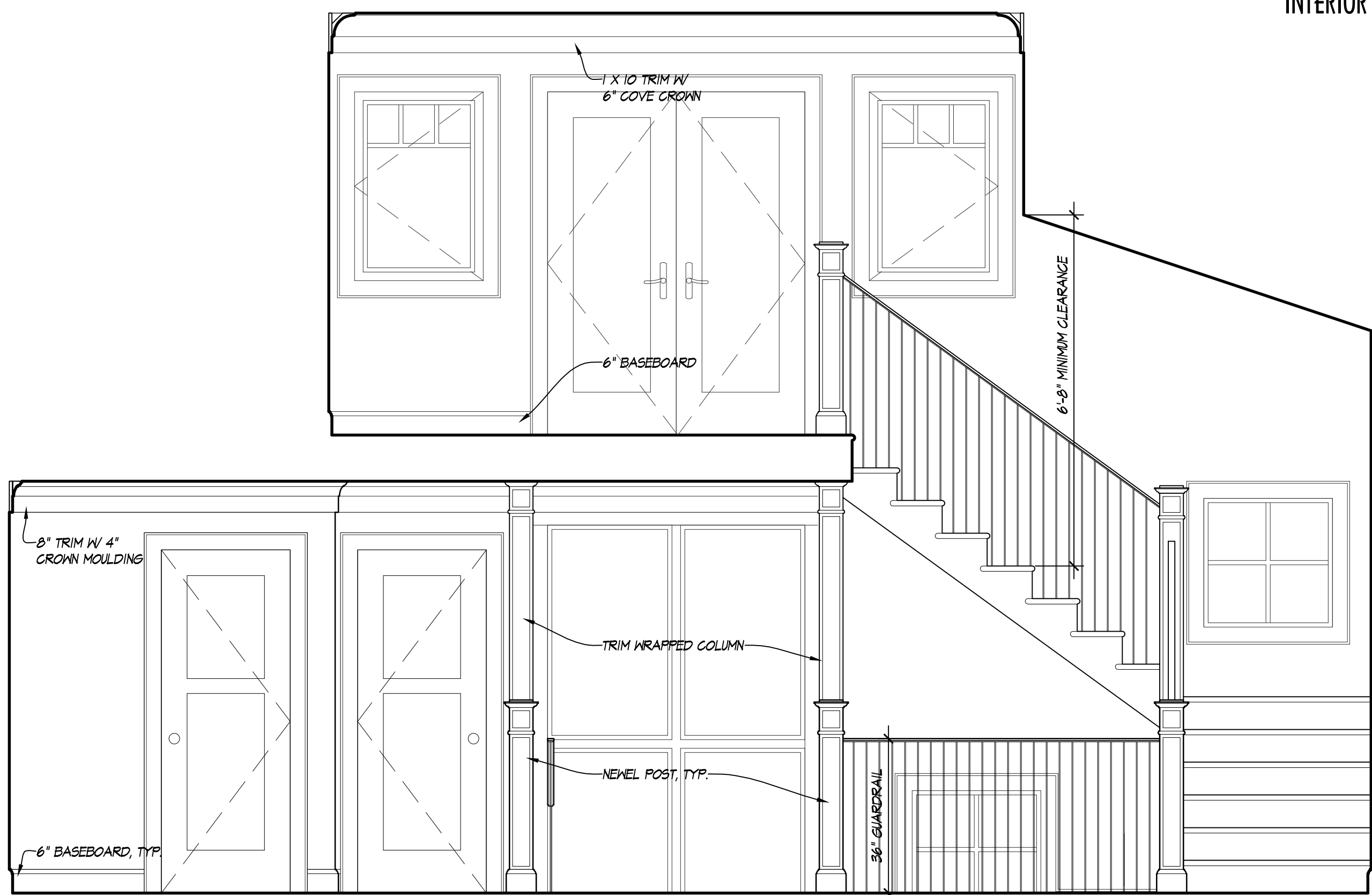
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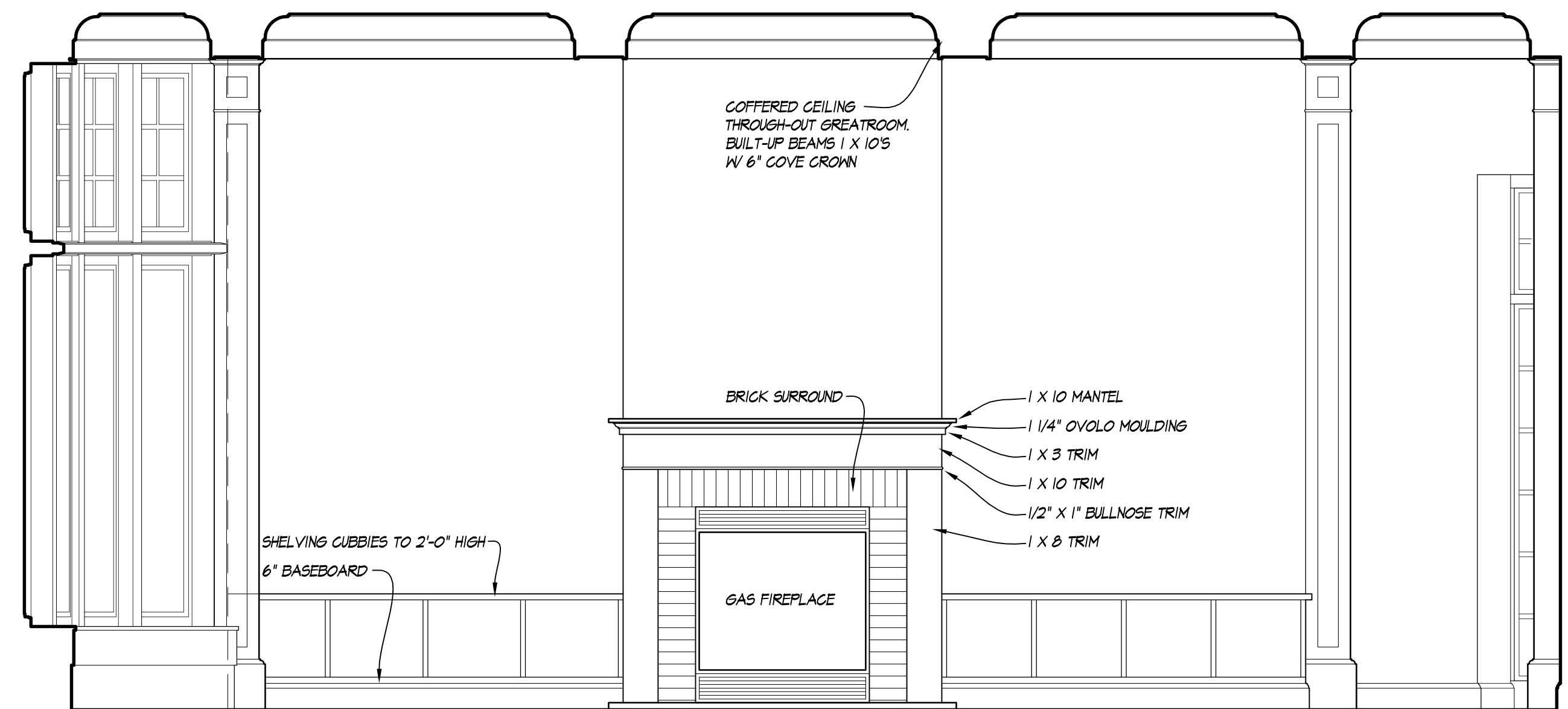
A

B
INTERIOR ELEVATION: KITCHEN
1/2" = 10"

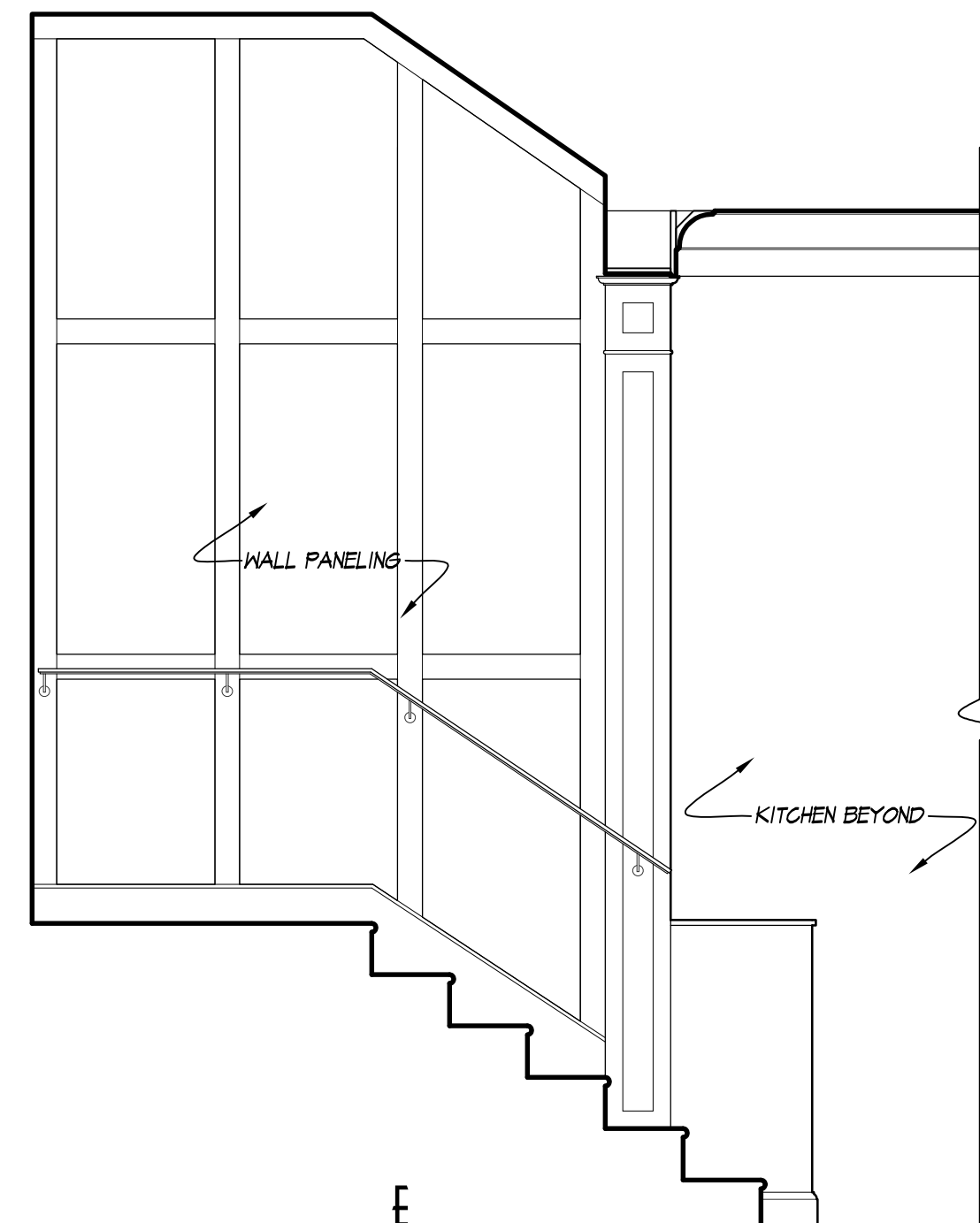
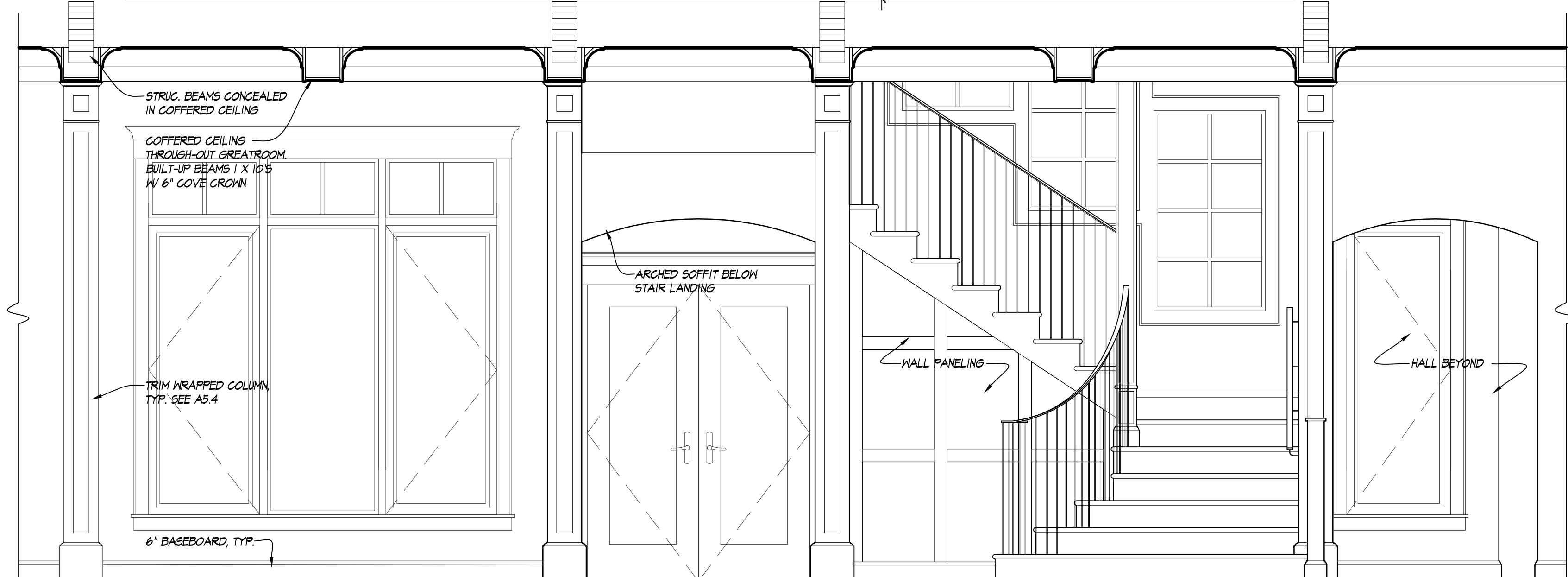
C



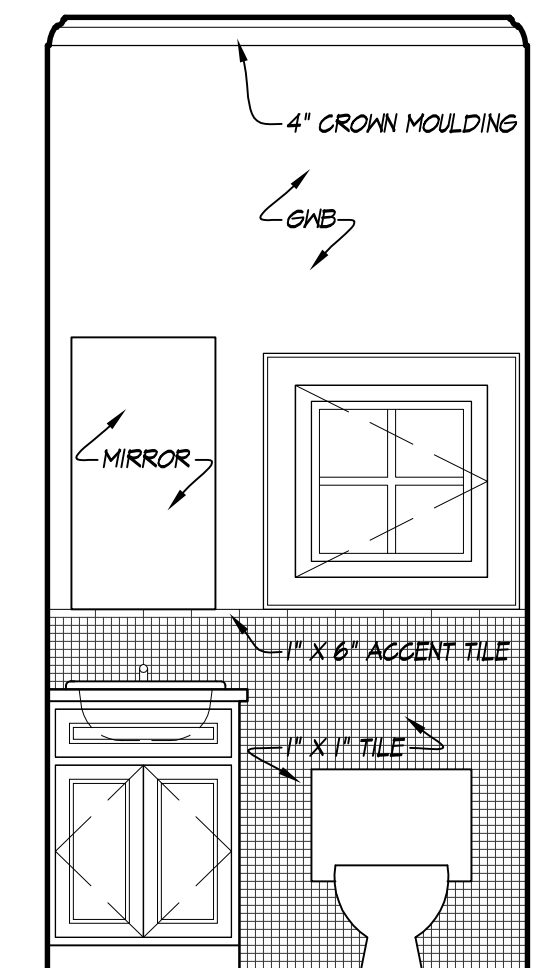
D
INTERIOR ELEVATION: GREAT ROOM, STAIR, HALL, AND BONUS ROOM
1/2" = 10"



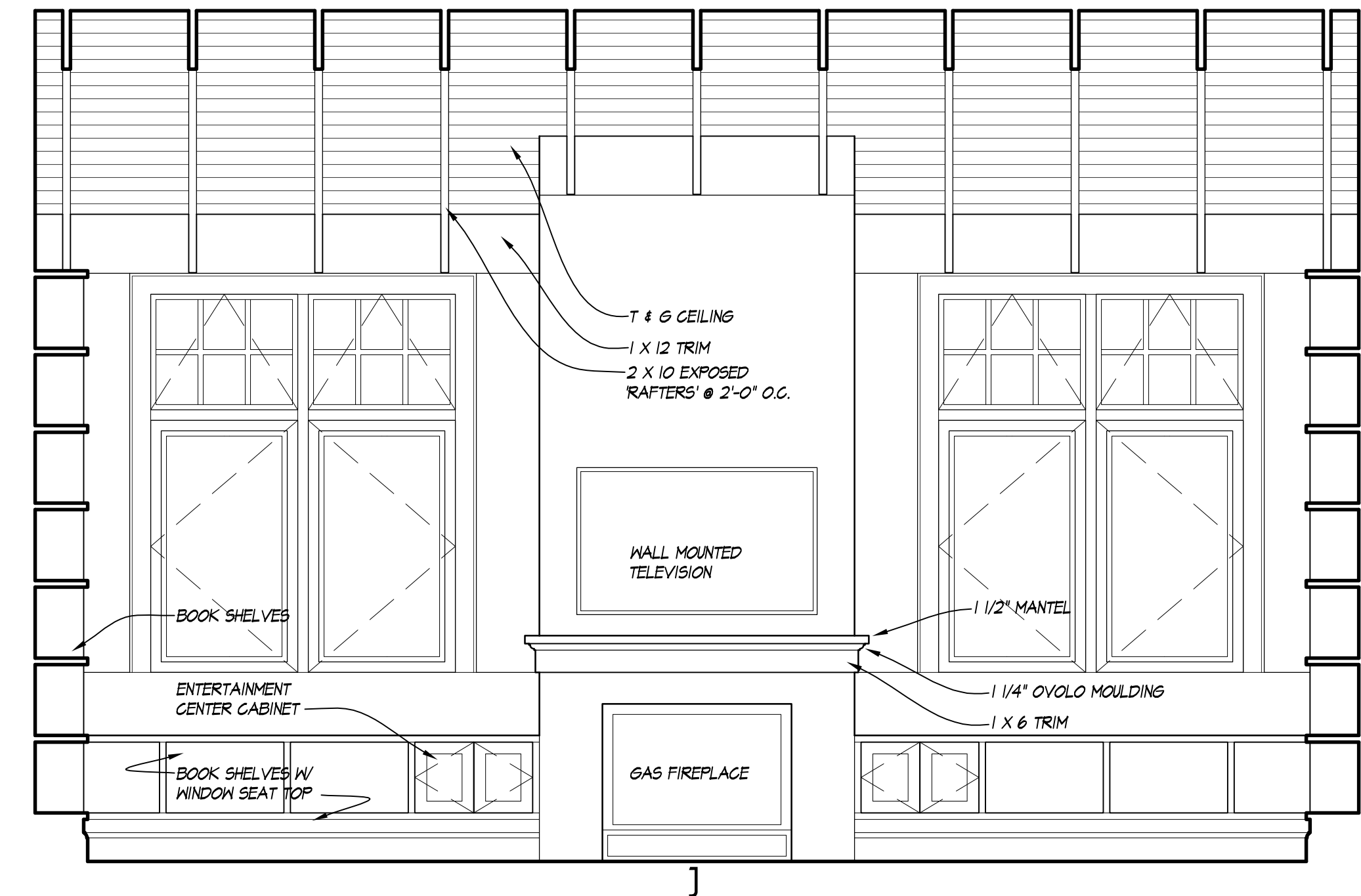
F
INTERIOR ELEVATION: GREAT ROOM
1/2" = 10"



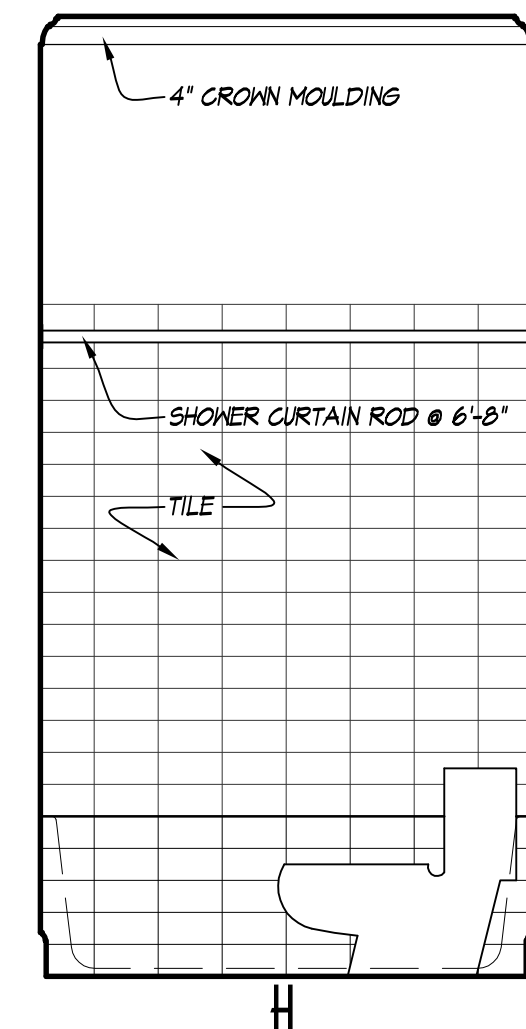
E
INTERIOR ELEVATION: POWDER ROOM
1/2" = 10"



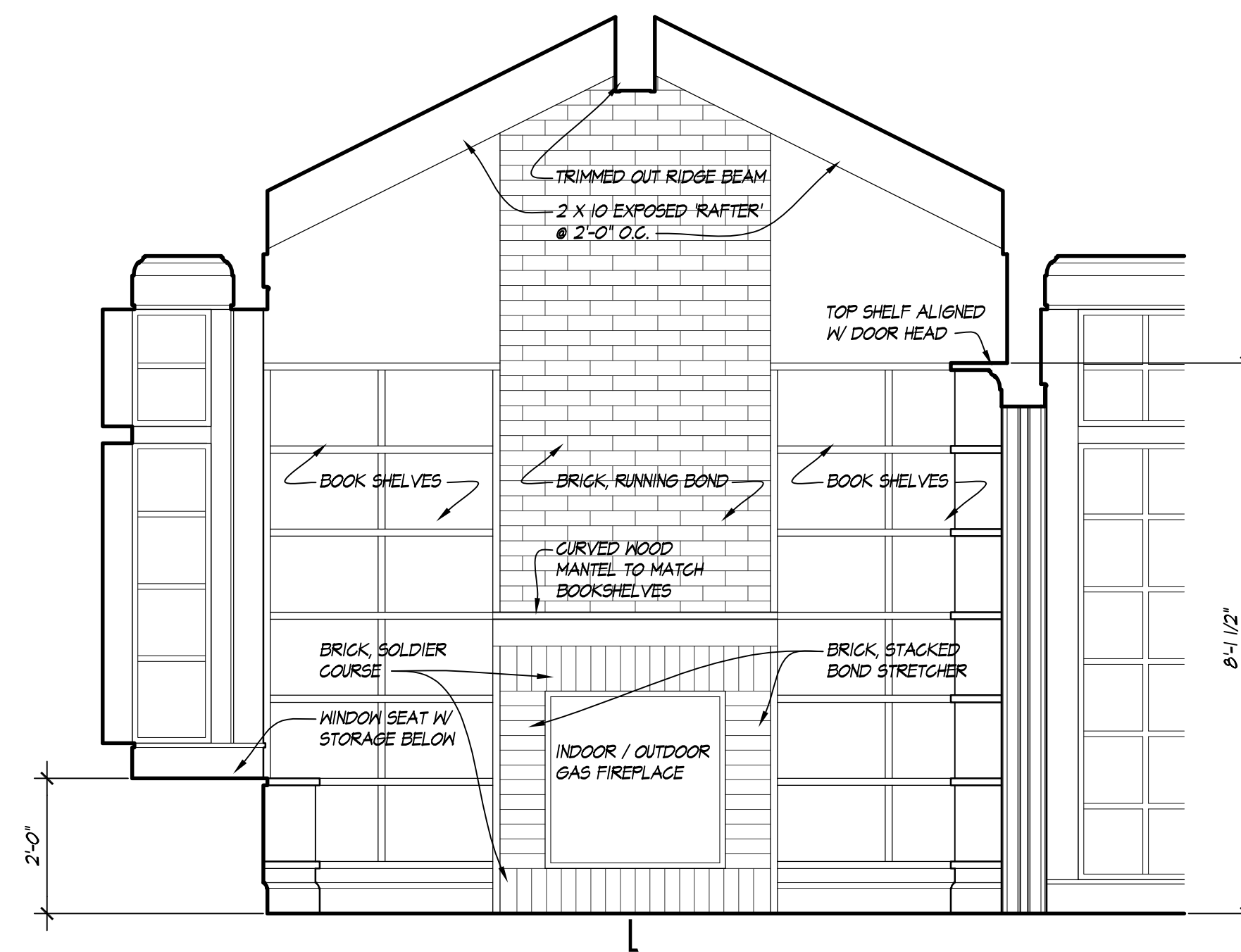
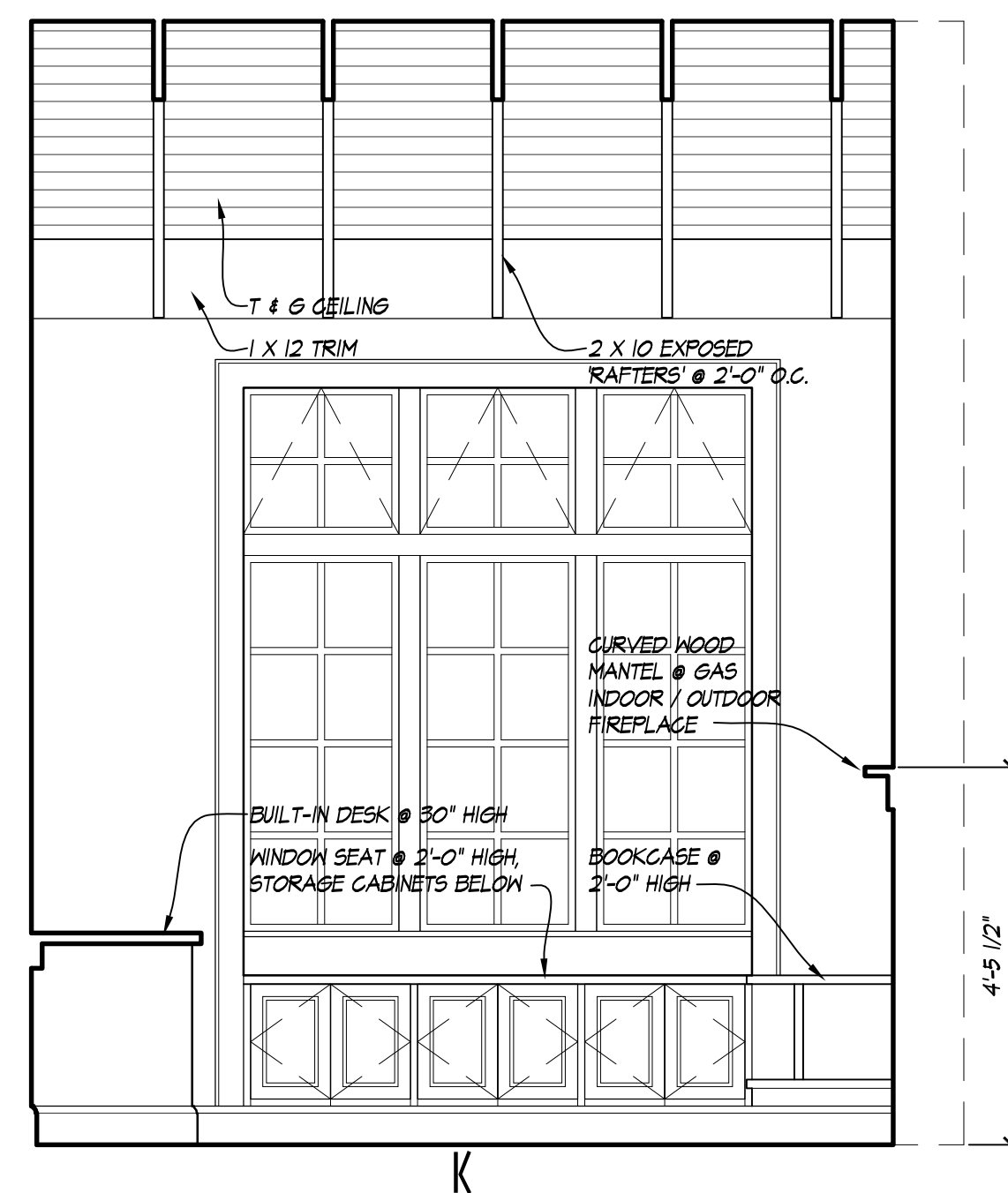
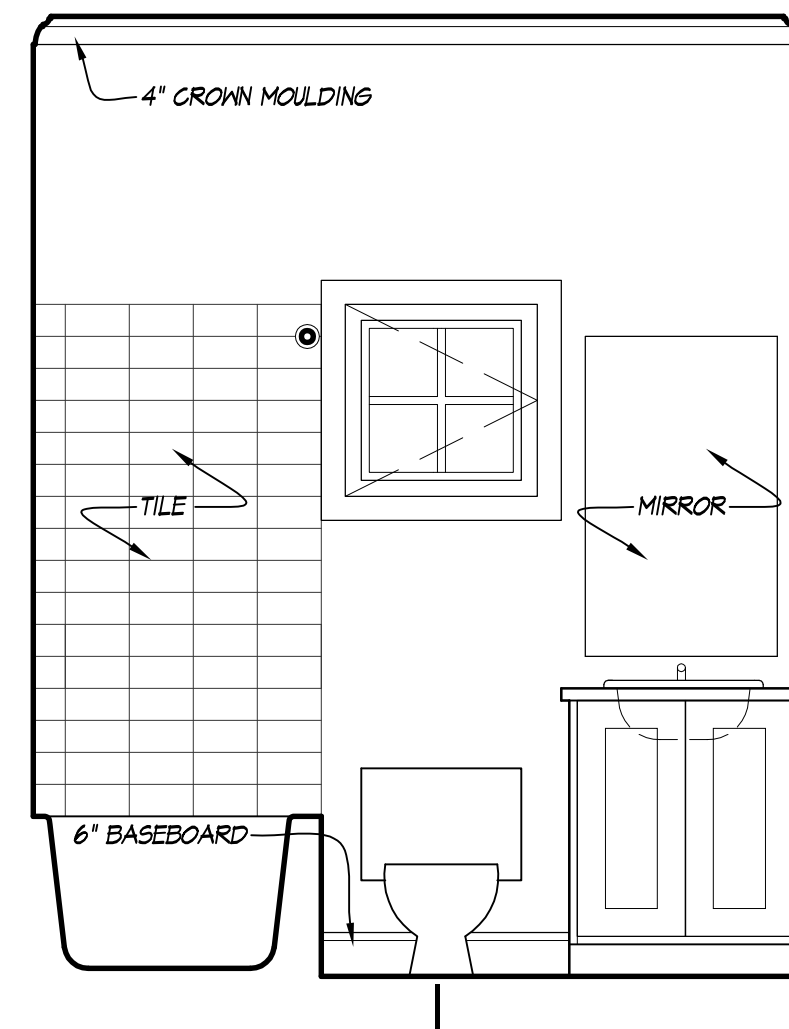
G
INTERIOR ELEVATION: POWDER ROOM
1/2" = 10"



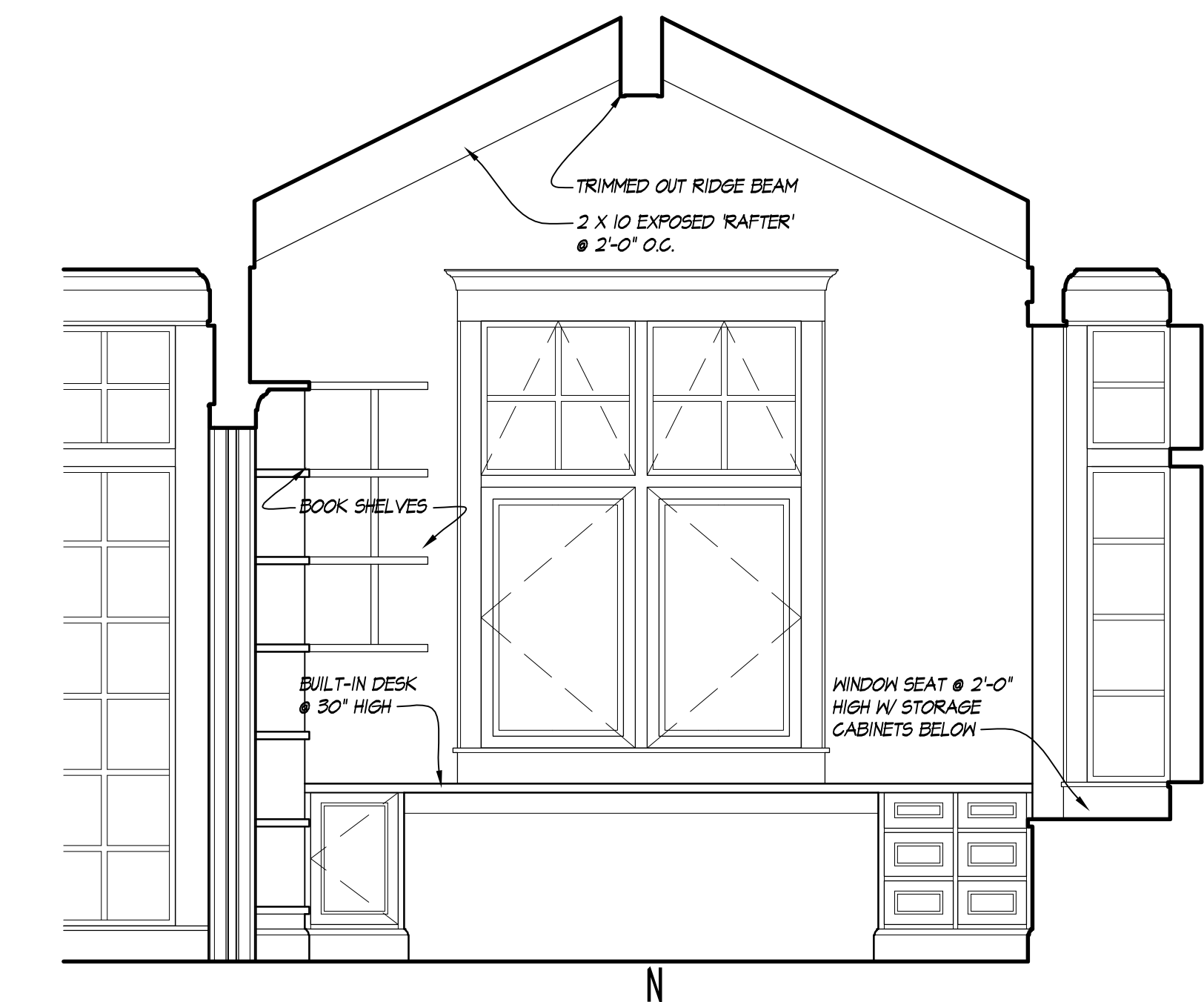
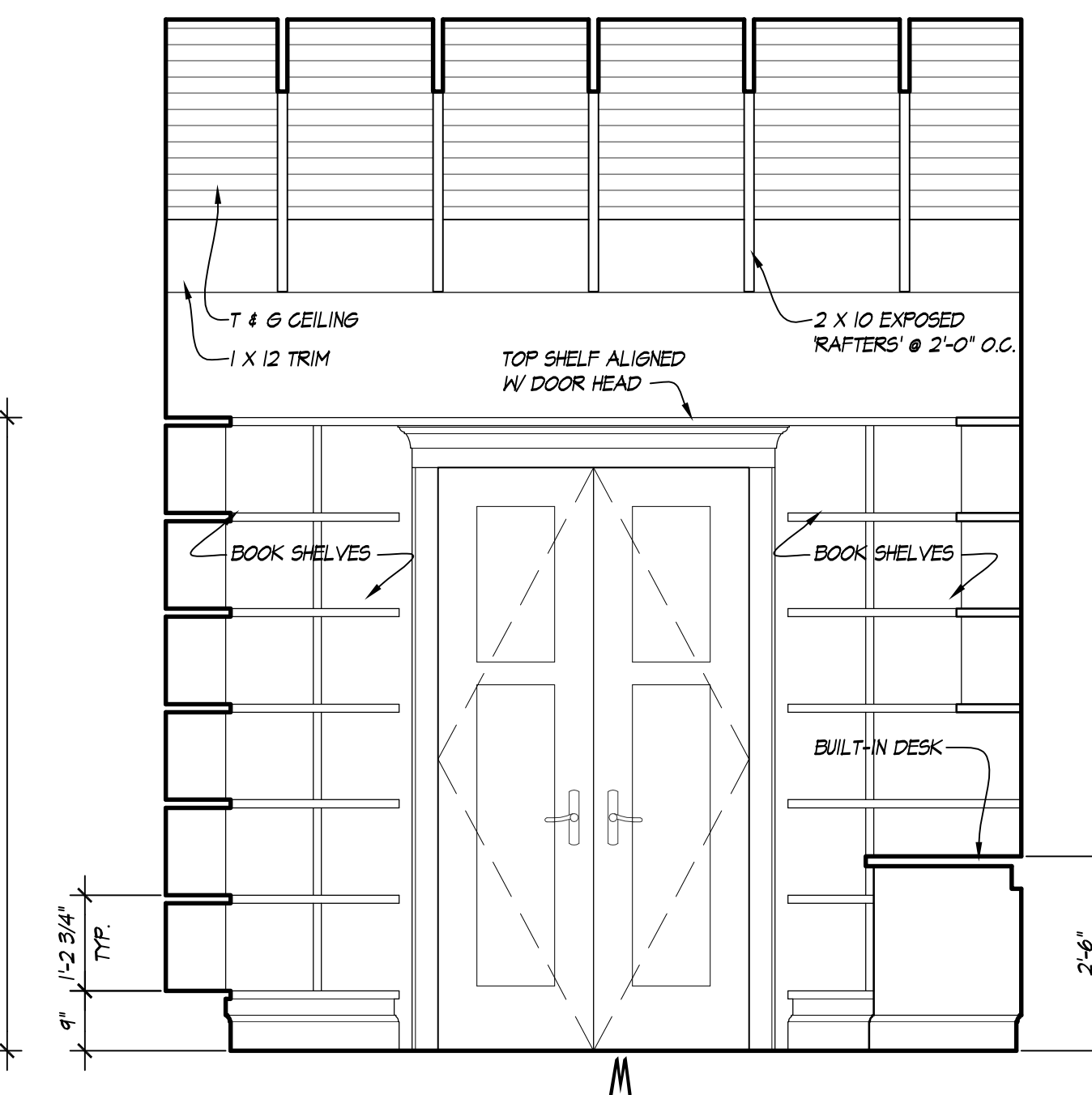
INTERIOR ELEVATION: FAMILY ROOM FIREPLACE
1/2" = 10"

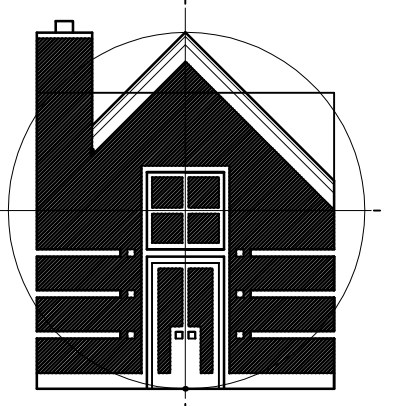


INTERIOR ELEVATION: GUEST BATHROOM
1/2" = 10"



INTERIOR ELEVATION: LIBRARY
1/2" = 10"





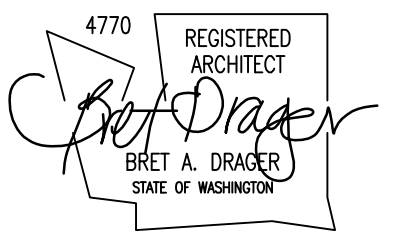
DRAGER ARCHITECTURE

ARCHITECTURE DESIGN PLANNING

2602 N. PROCTOR ST. SUITE 206 TACOMA WA, 98407 253.593.0131

CONSULTANT:

Blank lines for consultant information.



Blank lines for project information.

PROJECT:

CURRY RESIDENCE

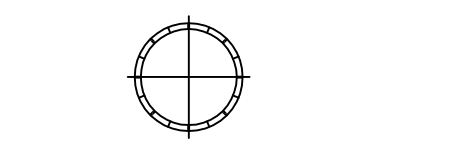
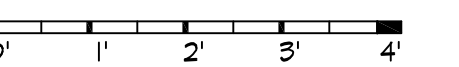
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/2" = 1'-0"

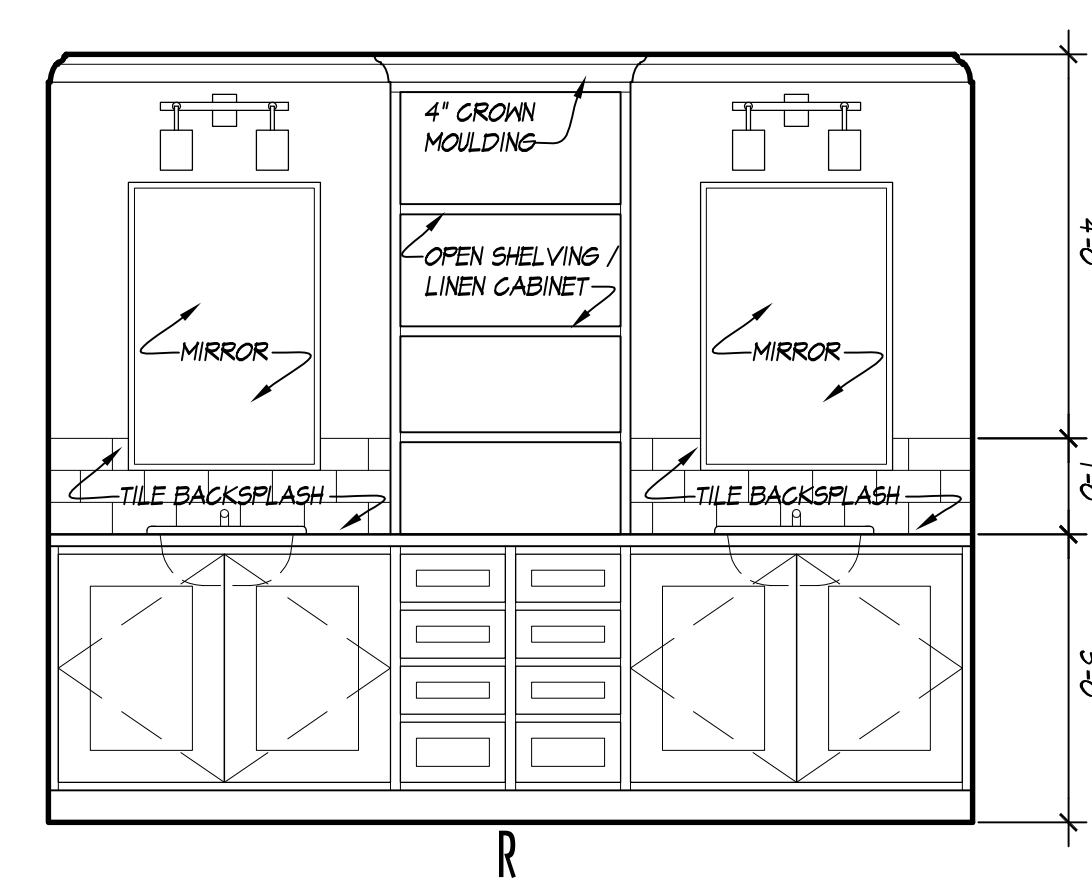
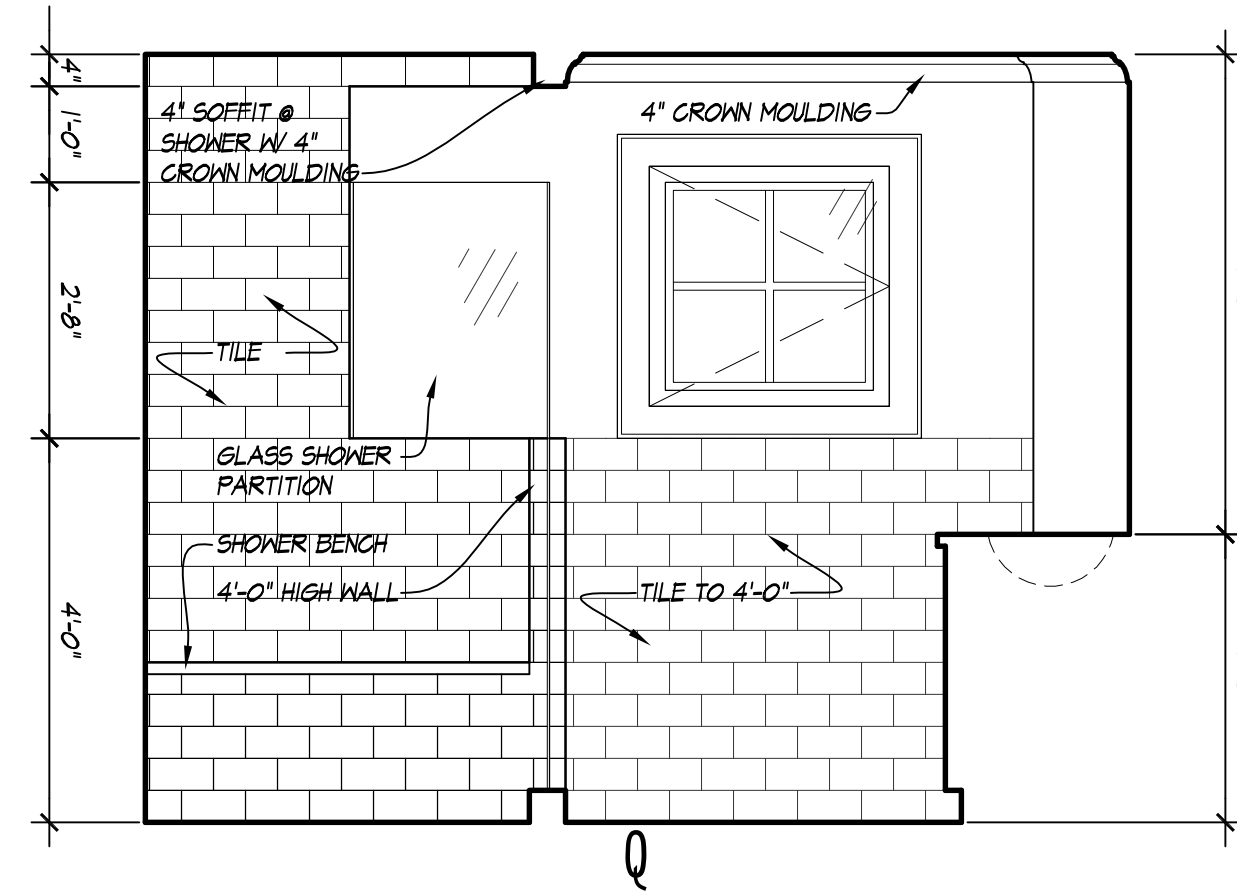
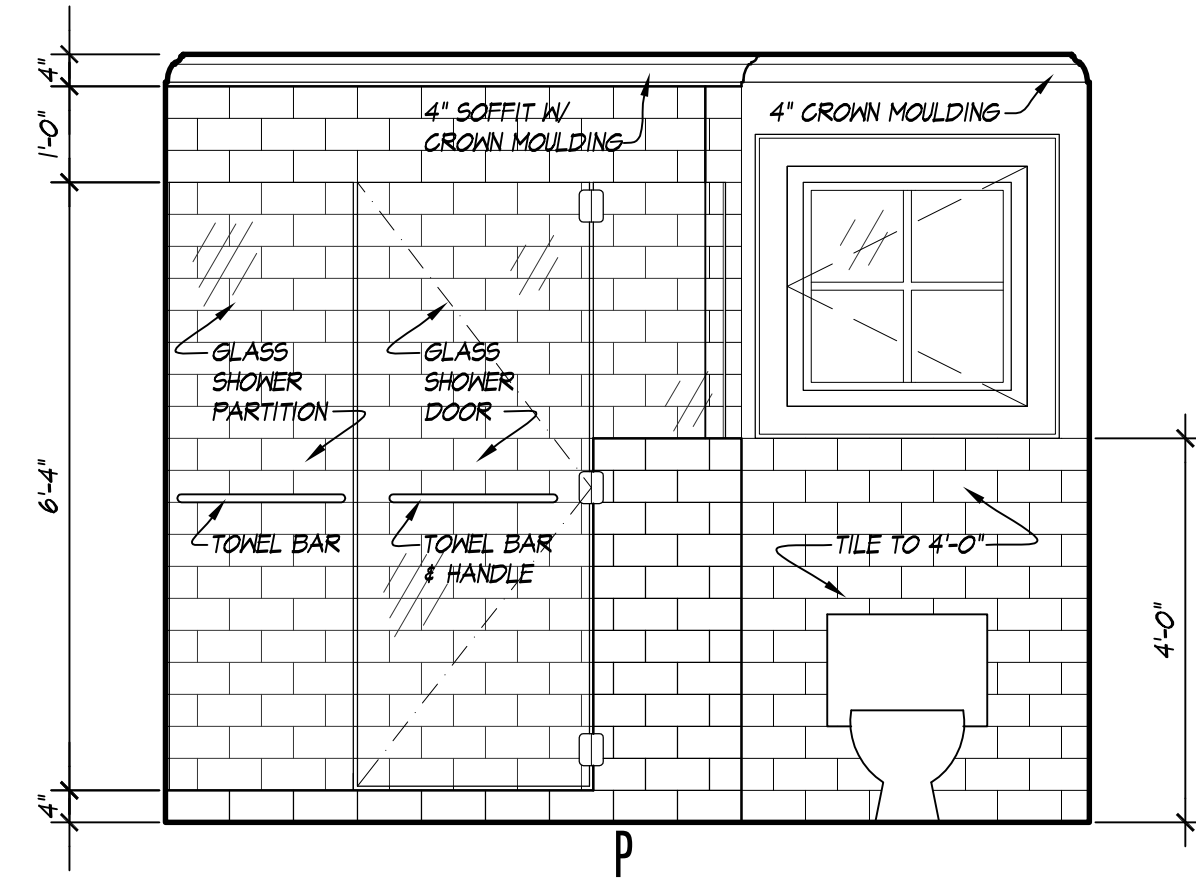
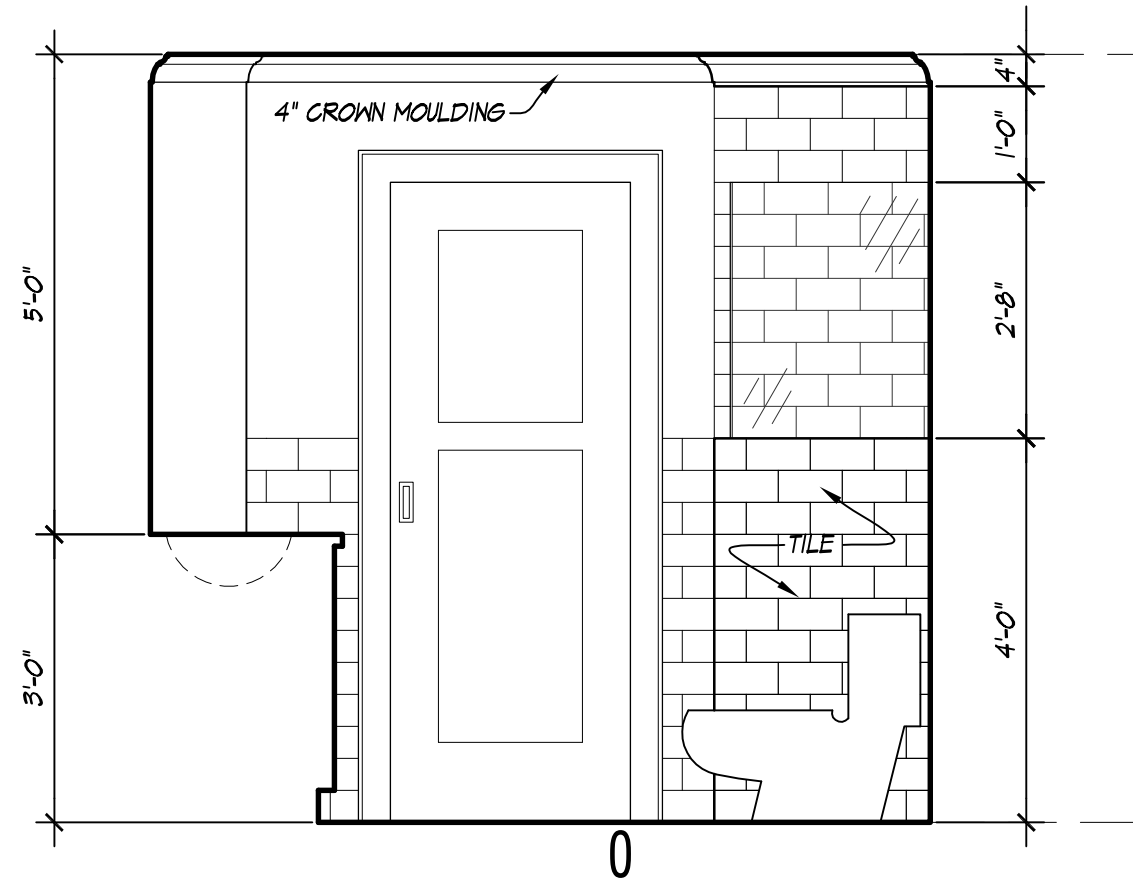


REF NORTH

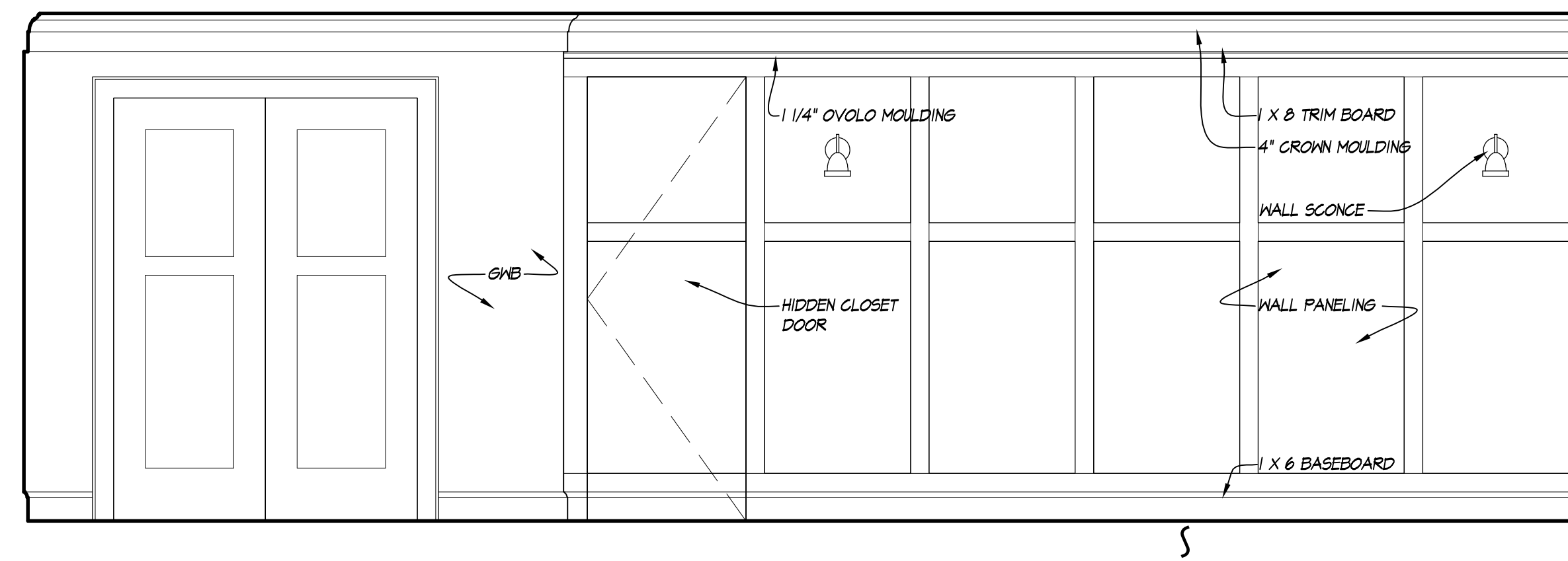
SHEET TITLE: INTERIOR ELEVATIONS

SHEET NUMBER: A5.3

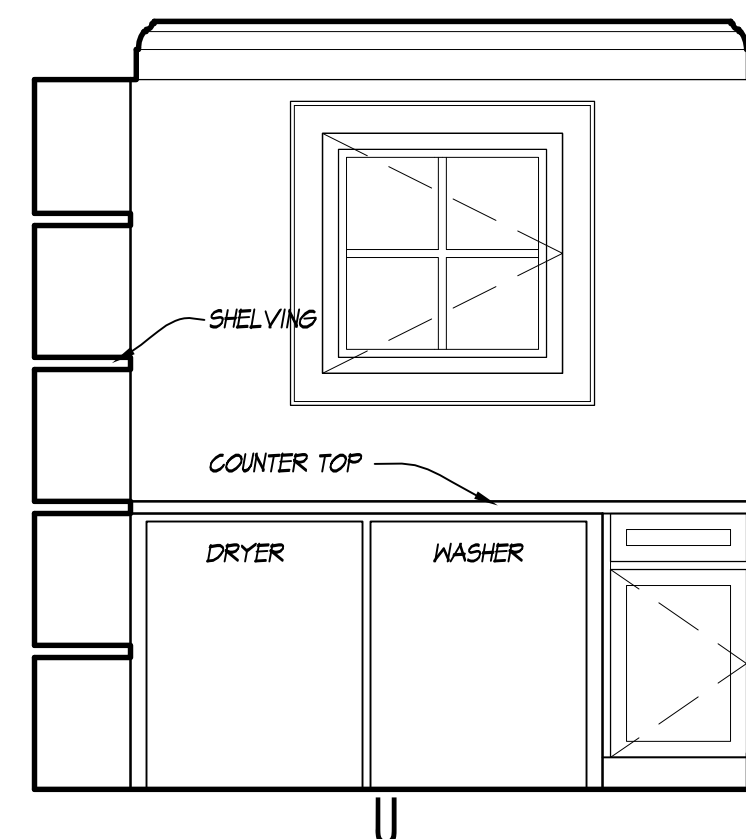
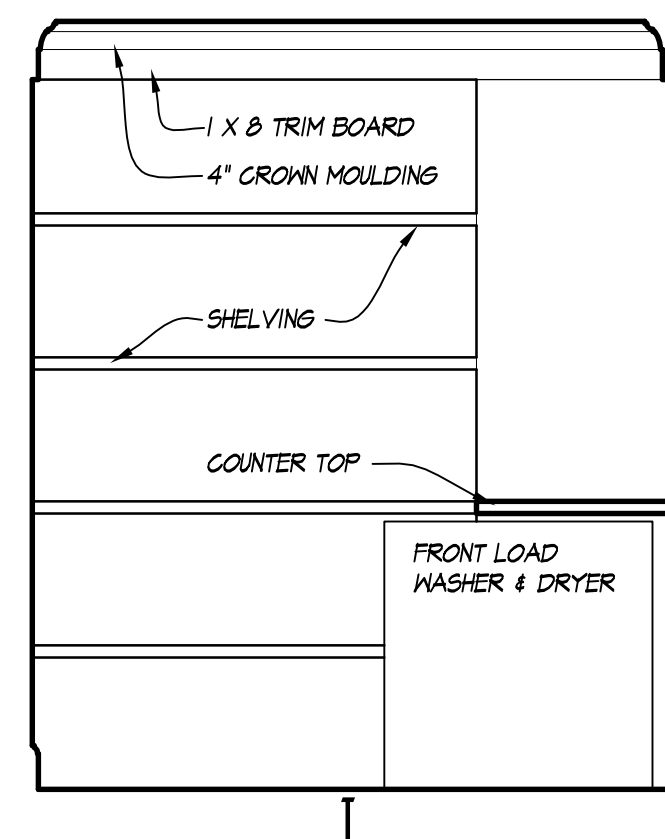
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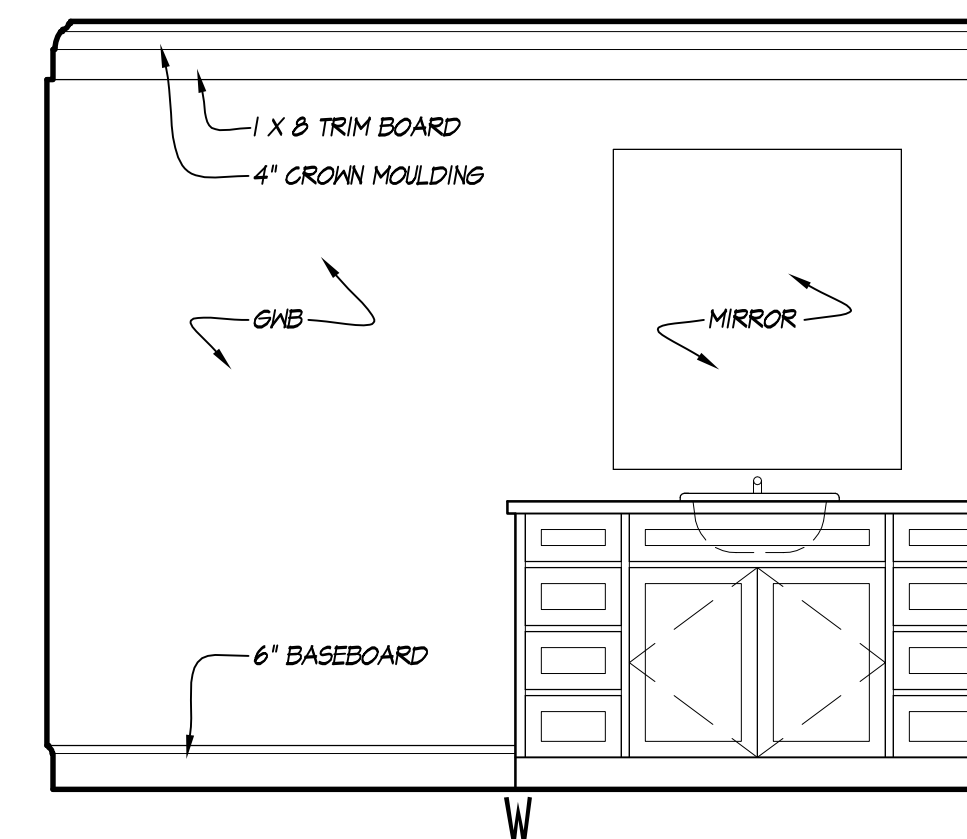
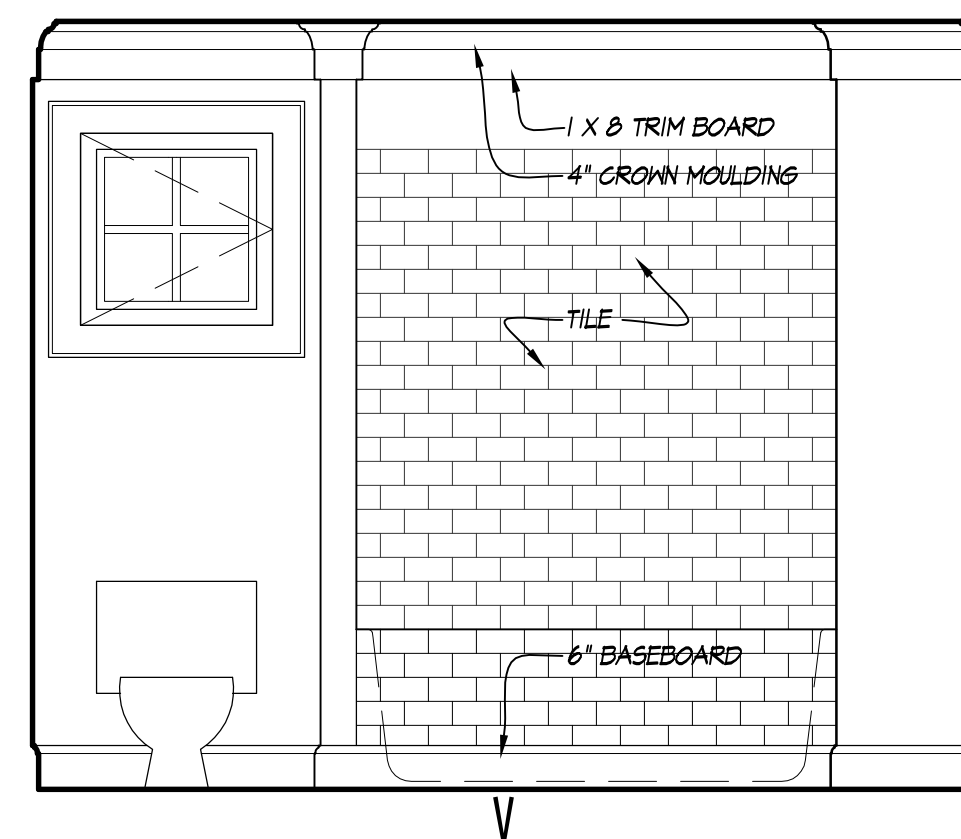
INTERIOR ELEVATION: MASTER BATHROOM
1/2" = 10"



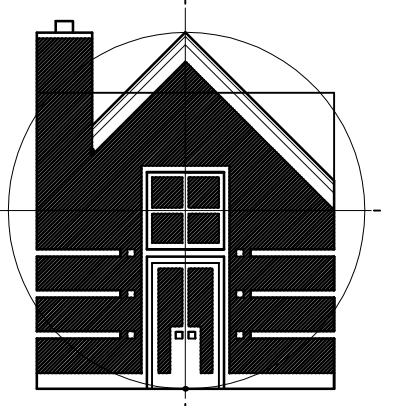
INTERIOR ELEVATION: MASTER BEDROOM
1/2" = 10"



INTERIOR ELEVATION: LAUNDRY
1/2" = 10"



INTERIOR ELEVATION: BATHROOM
1/2" = 10"

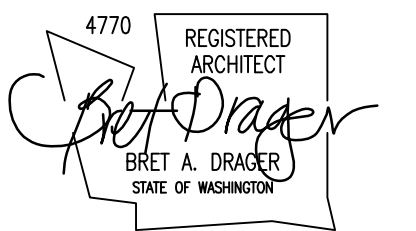


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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

CURRY
RESIDENCE

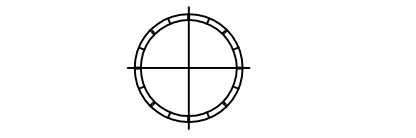
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: VARIES

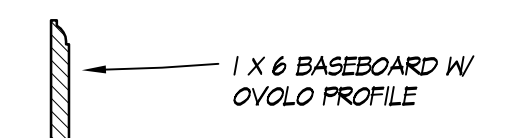
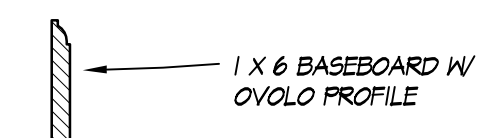
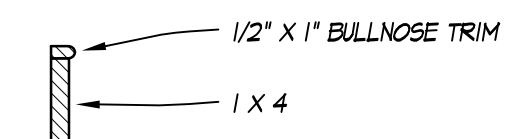
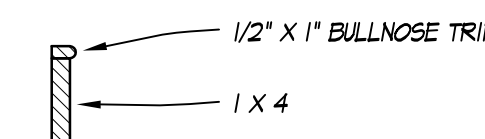
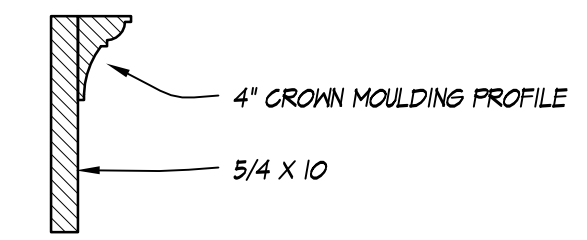


REF NORTH

SHEET TITLE: DETAILS

SHEET NUMBER: A5.4

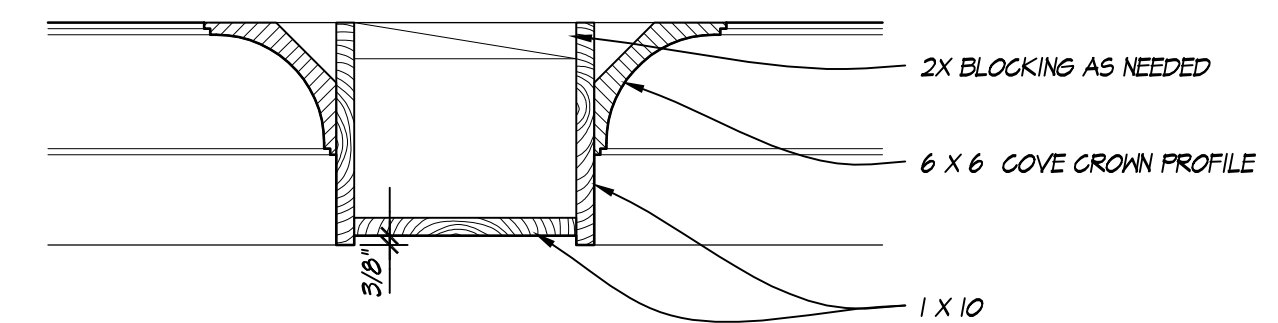
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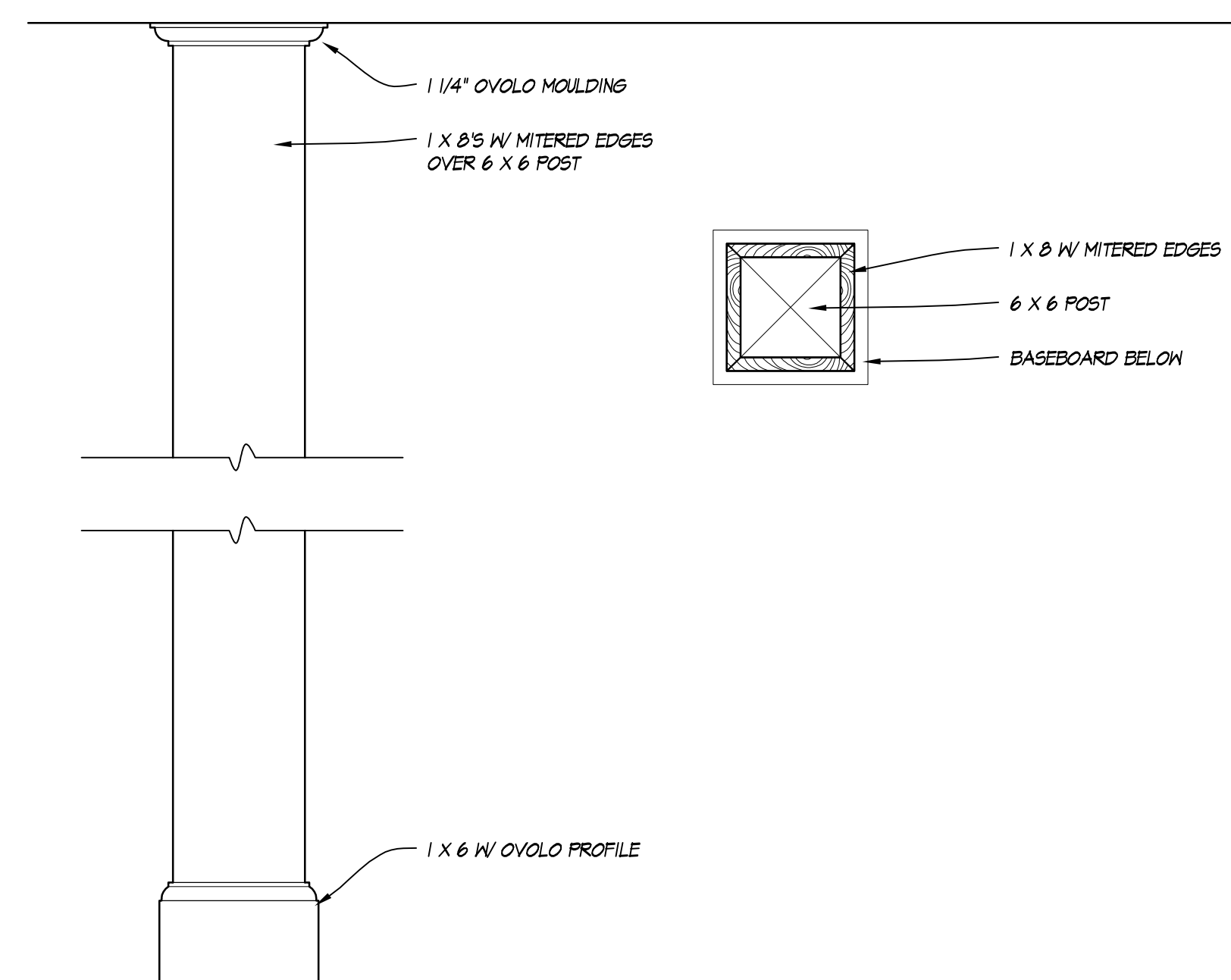
WINDOW AND DOOR TRIM 'B'

WINDOW AND DOOR TRIM 'A'

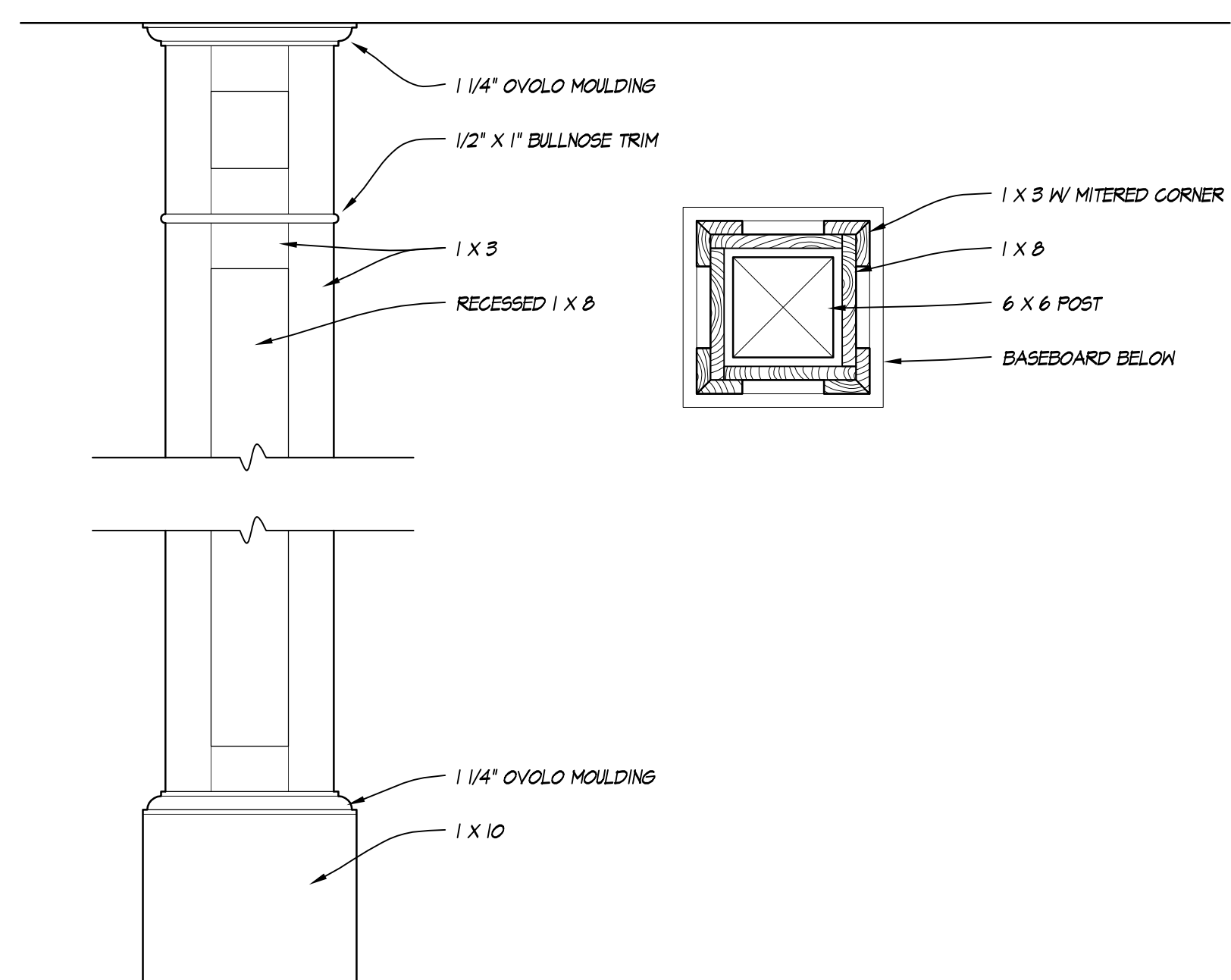
TRIM PROFILES
1/12" = 1'-0"



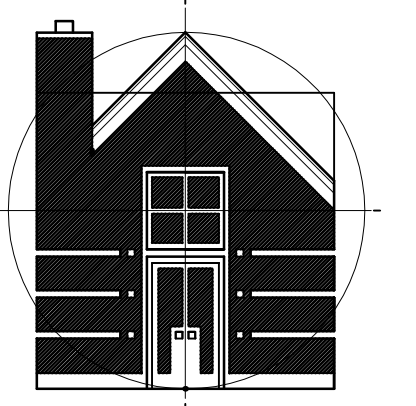
COFFERED CEILING DETAIL
1/12" = 1'-0"



EXTERIOR TRIM WRAPPED COLUMN DETAIL
1/12" = 1'-0"



INTERIOR TRIM WRAPPED COLUMN DETAIL
1/12" = 1'-0"



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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:

4770 REGISTERED
ARCHITECT
Bret Drager
BRET A. DRAGER
STATE OF WASHINGTON

PROJECT:

CURRY
RESIDENCE

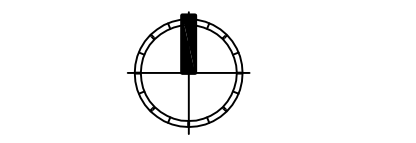
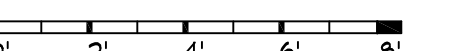
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

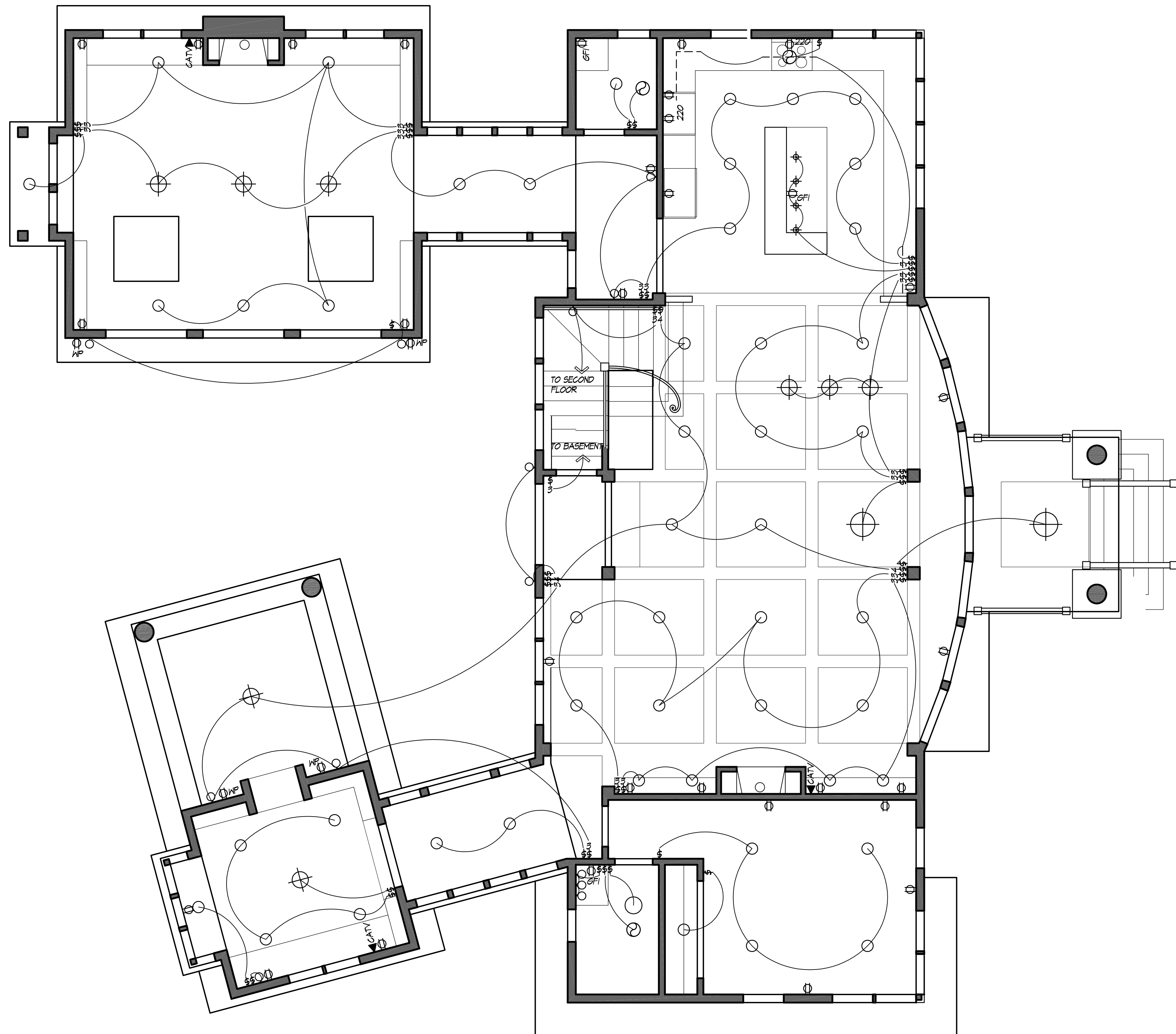
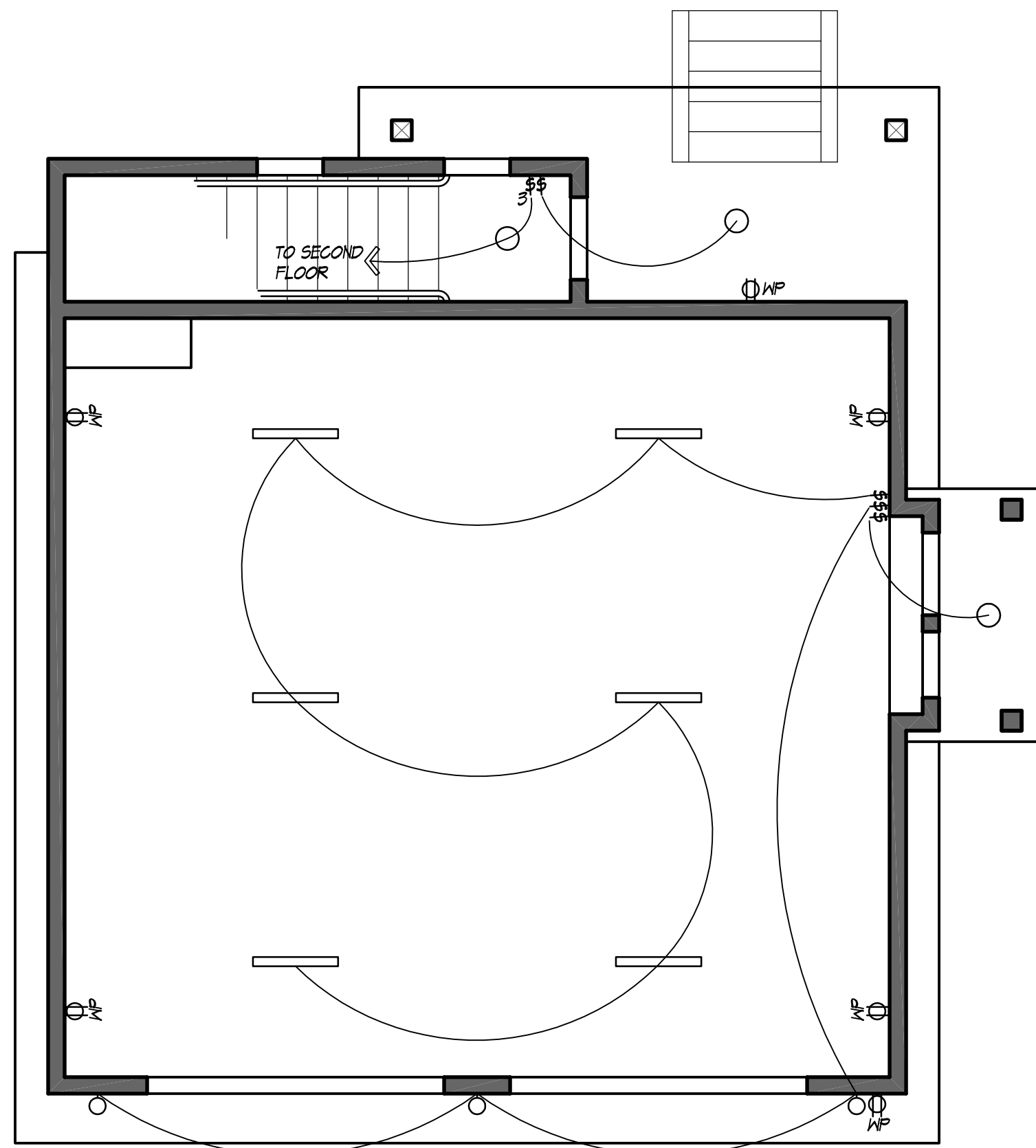


REF NORTH

SHEET TITLE: MAIN FLOOR ELECTRICAL
PLAN

SHEET NUMBER: E1.0

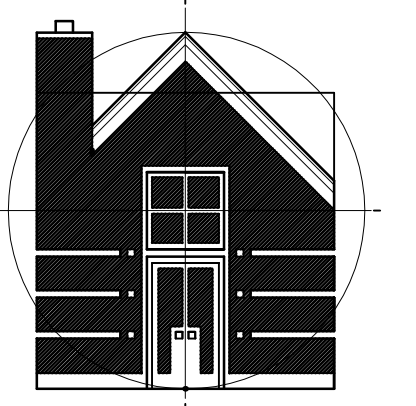
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	LARGE PENDANT FIXTURE
	MEDIUM PENDANT FIXTURE
	SMALL PENDANT FIXTURE
	SURFACE MOUNTED FIXTURE
	6" CAN LIGHT (MP INDIGATES DAMP LOCATION FIXTURE)
	DIRECTIONAL CAN LIGHT
	LOW VOLTAGE CAN - (MR16 LAMP)
	4" CAN LIGHT
	LOW VOLTAGE "PUCK"
	PORCELAIN SOCKET
	WALL SCONCE
	UNDER CABINET LIGHTING
	2X4 SURFACE MOUNTED FLUORESCENT
	2-TUBE FLUORESCENT FIXTURE
	EXTERIOR FLOOD LIGHT
	DUPLEX OUTLET
	GROUND FAULT CIRCUIT INTERRUPT OUTLET
	EXTERIOR RATED OUTLET
	FLOOR OUTLET
	PHONE/DATA
	CABLE T.V.
	SINGLE POLE LIGHT SWITCH
	3 WAY LIGHT SWITCH
	4 WAY LIGHT SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	CONTROL LOCATION (THERMOSTAT, ETC.)
	FAN
	FANLIGHT (WHERE NOTED ON PLAN)

NOTE:
VERIFY ALL EQUIPMENT AND APPLIANCE REQUIREMENTS WITH OWNER PRIOR TO HIRING INSTALLATION.

MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

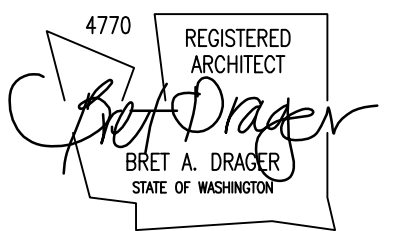


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2602 N. PROCTOR ST.
SUITE 206
TACOMA WA, 98407
253.593.0131

CONSULTANT:



PROJECT:

**CURRY
RESIDENCE**

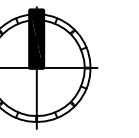
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

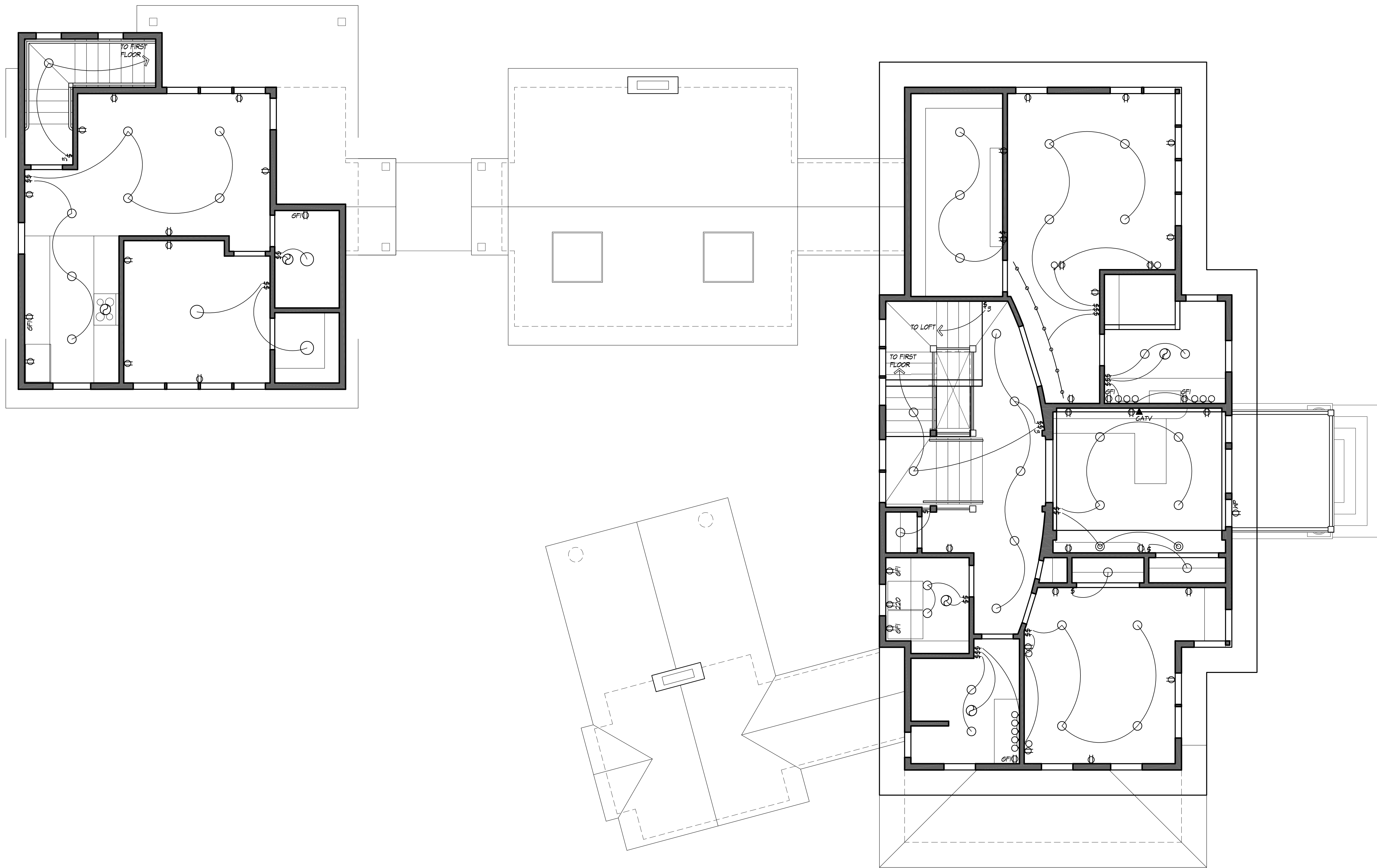


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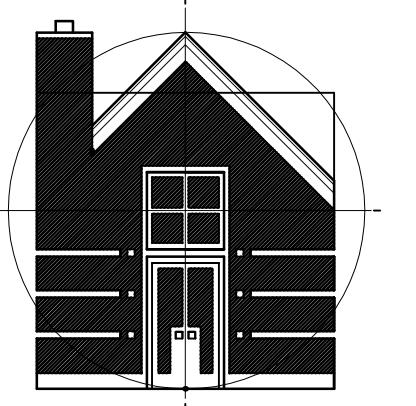
SHEET TITLE: **SECOND FLOOR
ELECTRICAL PLAN**

SHEET NUMBER: **E1.1**

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SECOND FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

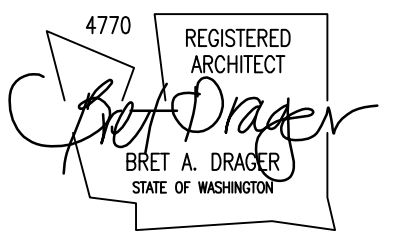


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CONSULTANT:



PROJECT:

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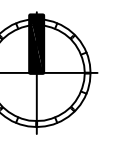
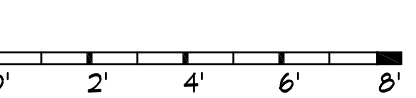
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/4/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

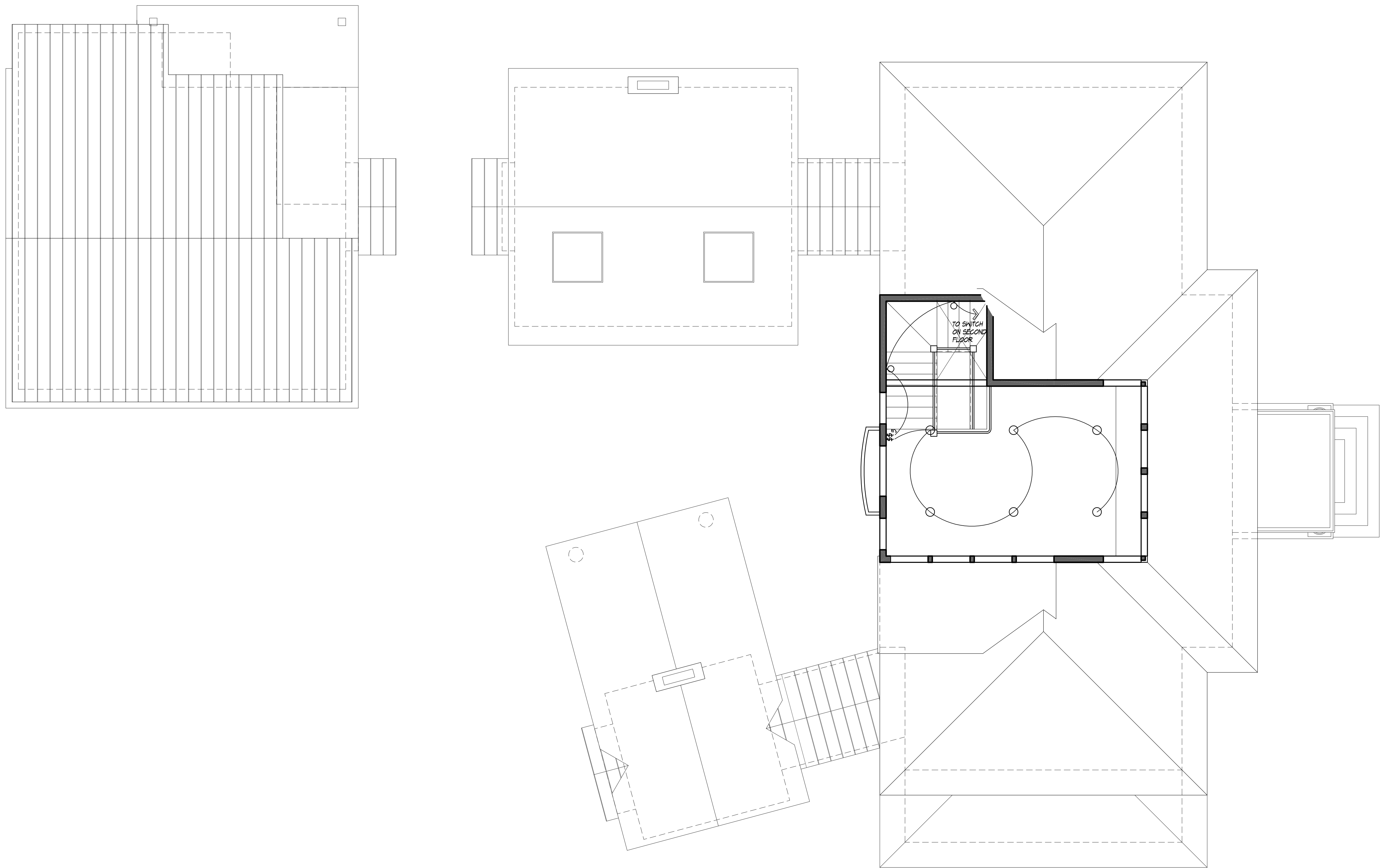


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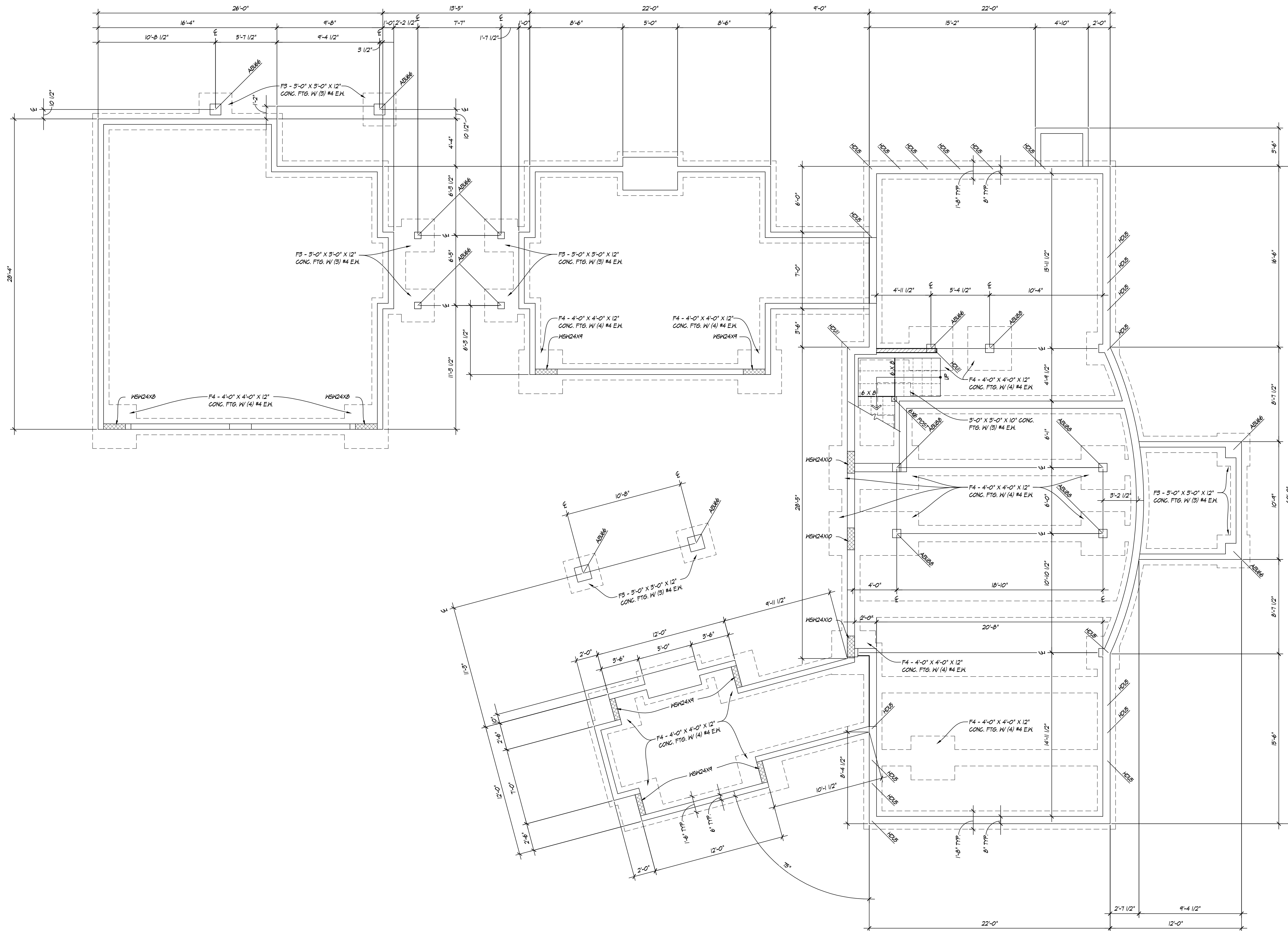
SHEET TITLE: LOFT ELECTRICAL PLAN

SHEET NUMBER: **E1.2**

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LOFT ELECTRICAL PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



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CONSULTANT:

C. CHRISTIAN FYNBOE, P.E.
12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



PROJECT:

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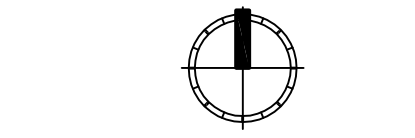
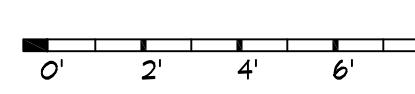
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

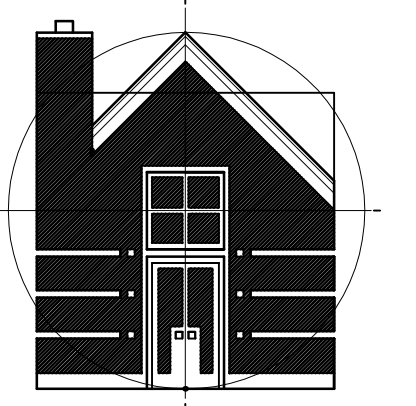
REVISIONS:

SCALE: 1/4" = 1'-0"



REF NORTH
SHEET TITLE: FOUNDATION PLAN

SHEET NUMBER: S2.0
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CONSULTANT:

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12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



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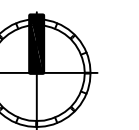
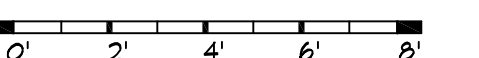
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

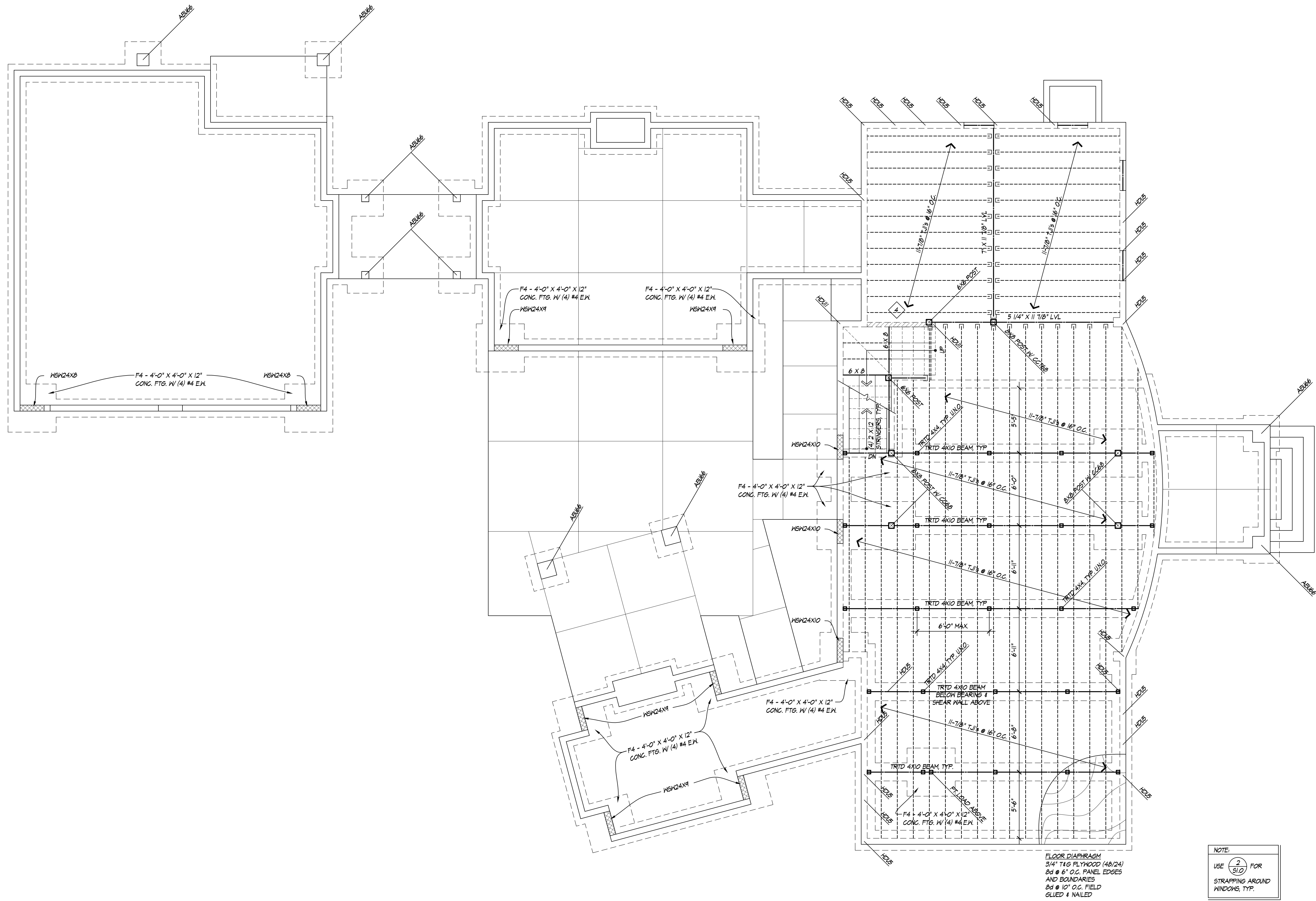


REF NORTH

SHEET TITLE: MAIN FLOOR
FRAMING PLAN

SHEET NUMBER: S2.1

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NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.

FLOOR DIAPHRAGM
3/4\"/>

MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"



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PROJECT:

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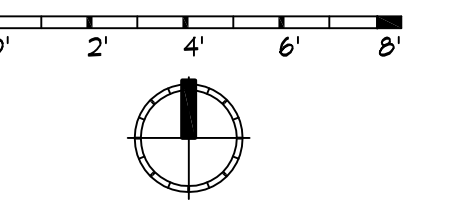
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

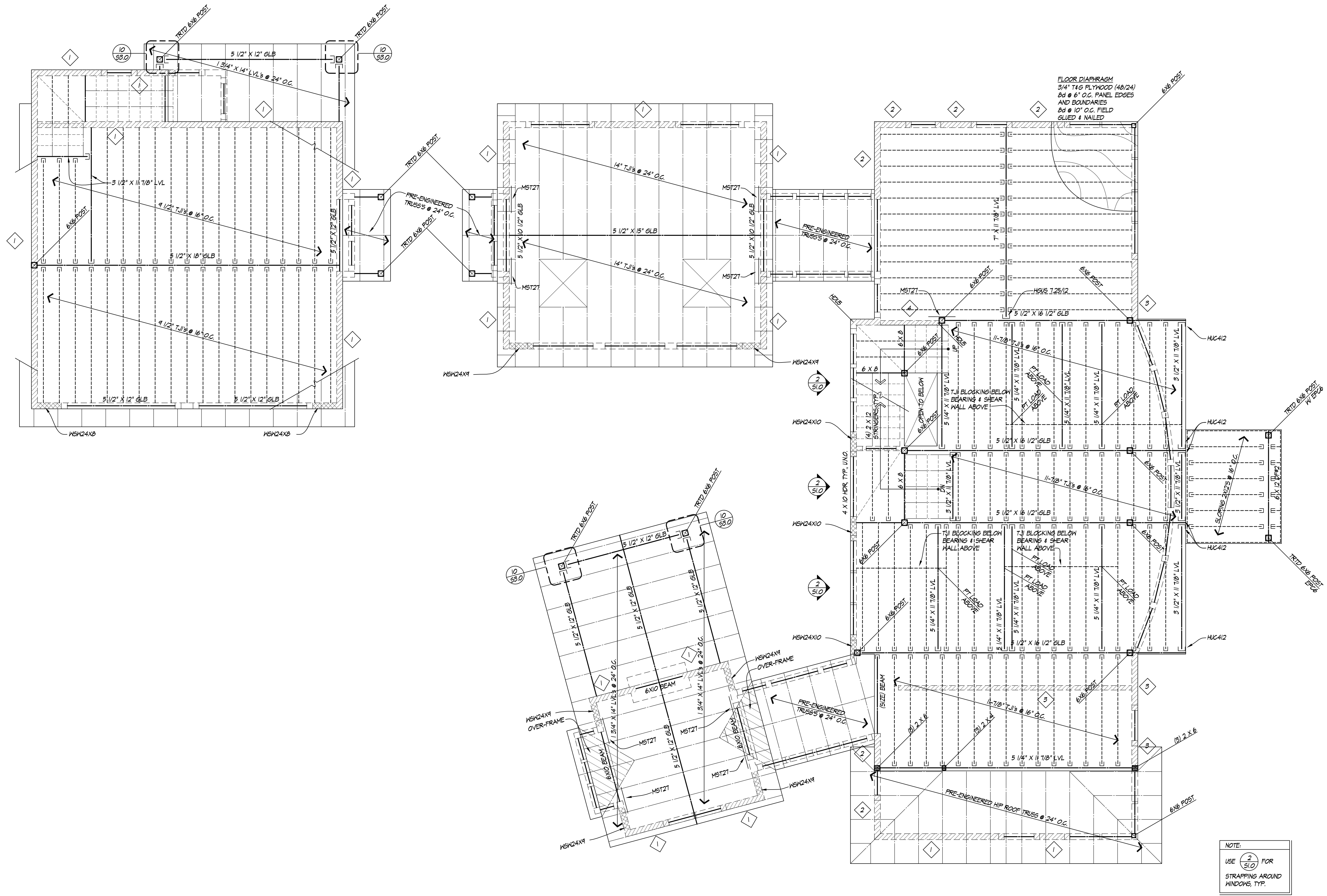


REF NORTH

SHEET TITLE: SECOND FLOOR FRAMING PLAN

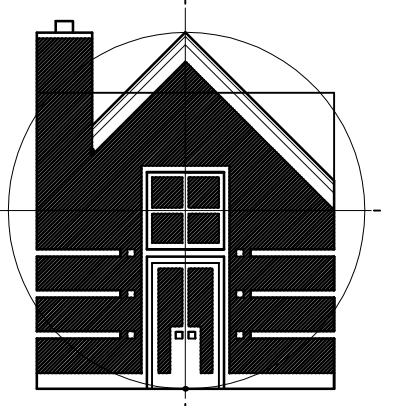
SHEET NUMBER: S2.2

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NOTE: USE 2/SLO FOR STRAPPING AROUND WINDOWS, TYP.

SECOND FLOOR FRAMING PLAN 1/4" = 1'-0"



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12202 Pacific Avenue, Suite B
Tacoma, WA 98444
Ph 253.537.8128



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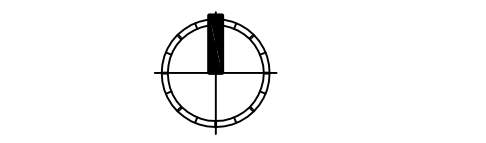
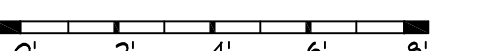
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

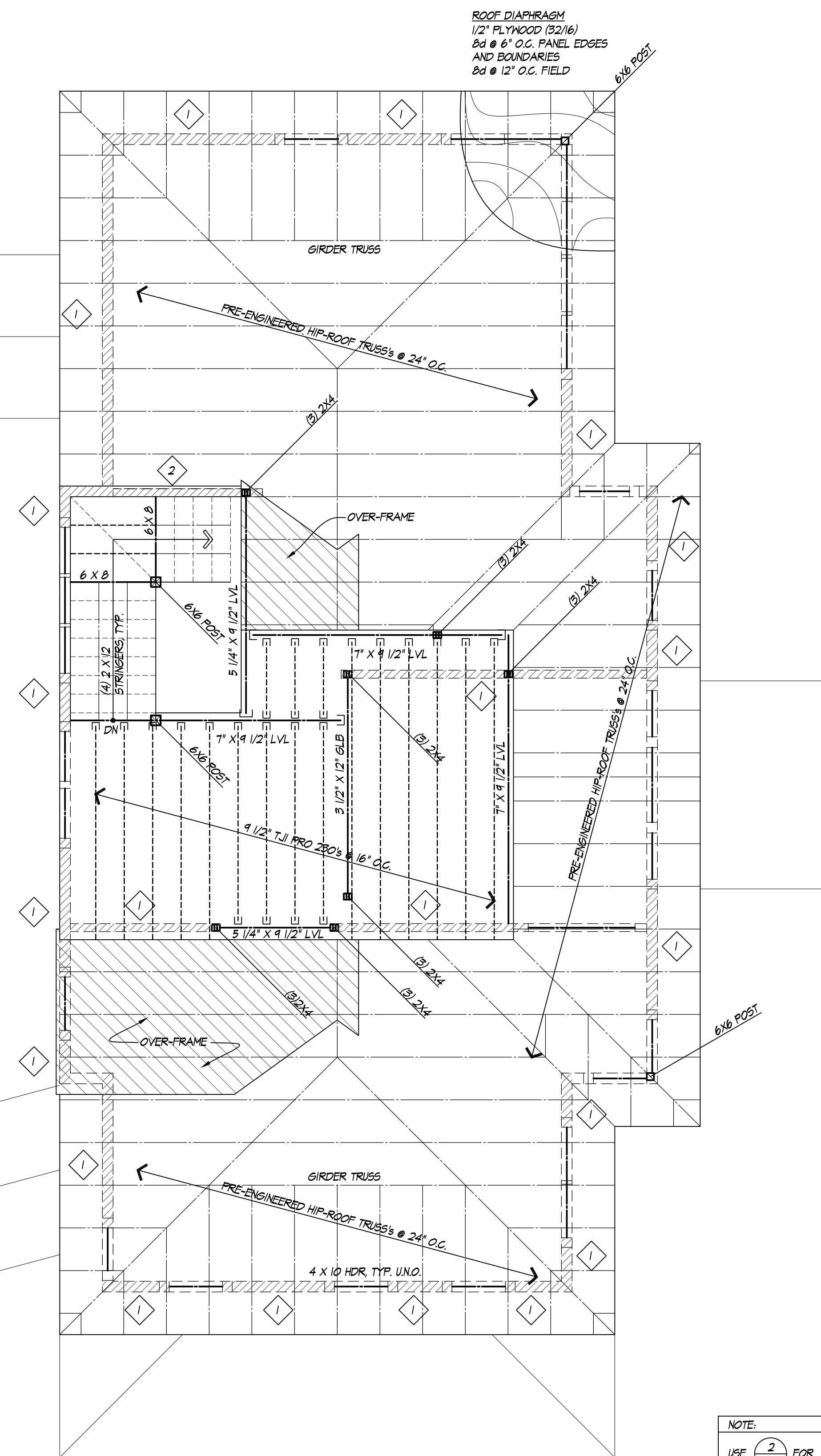
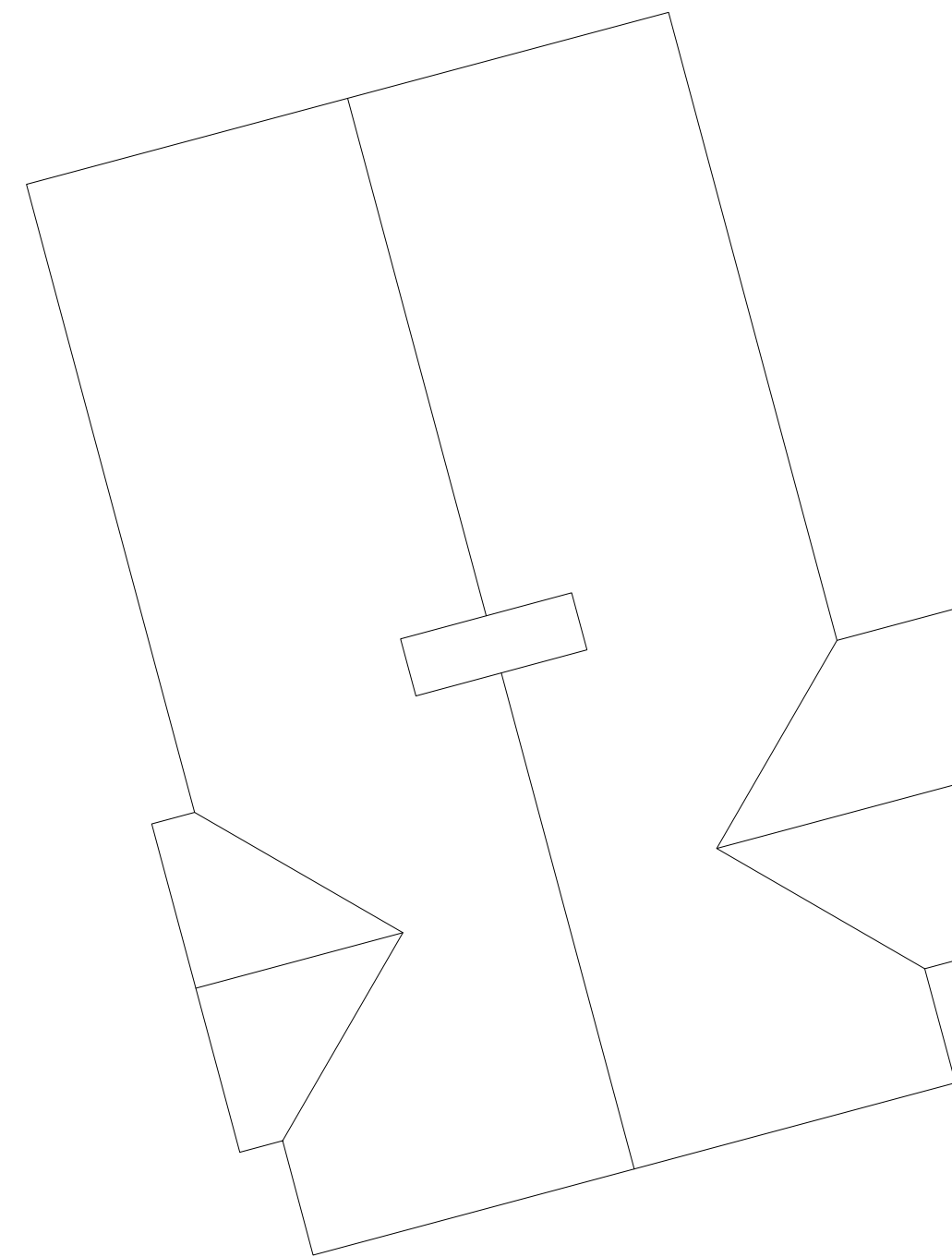
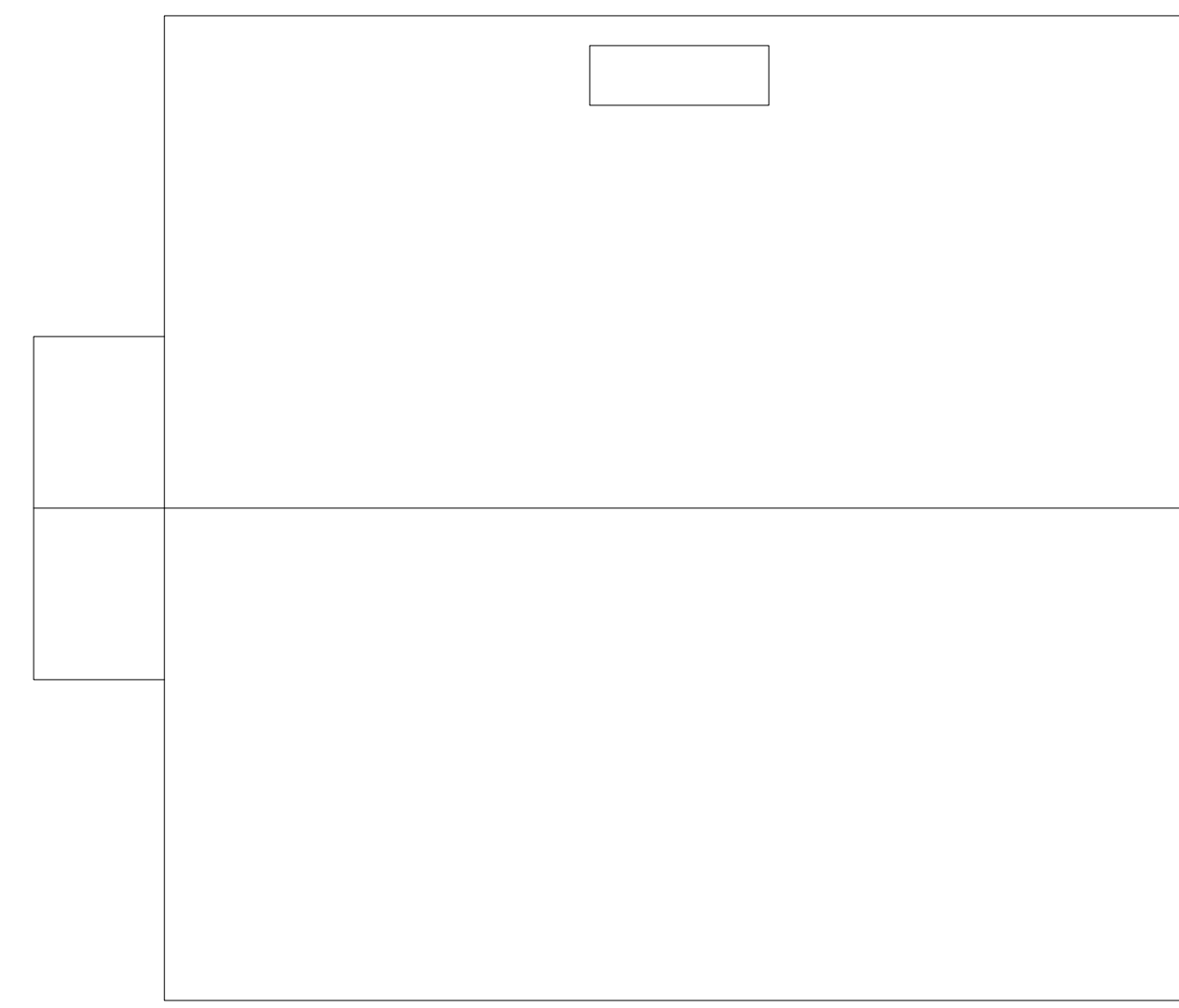
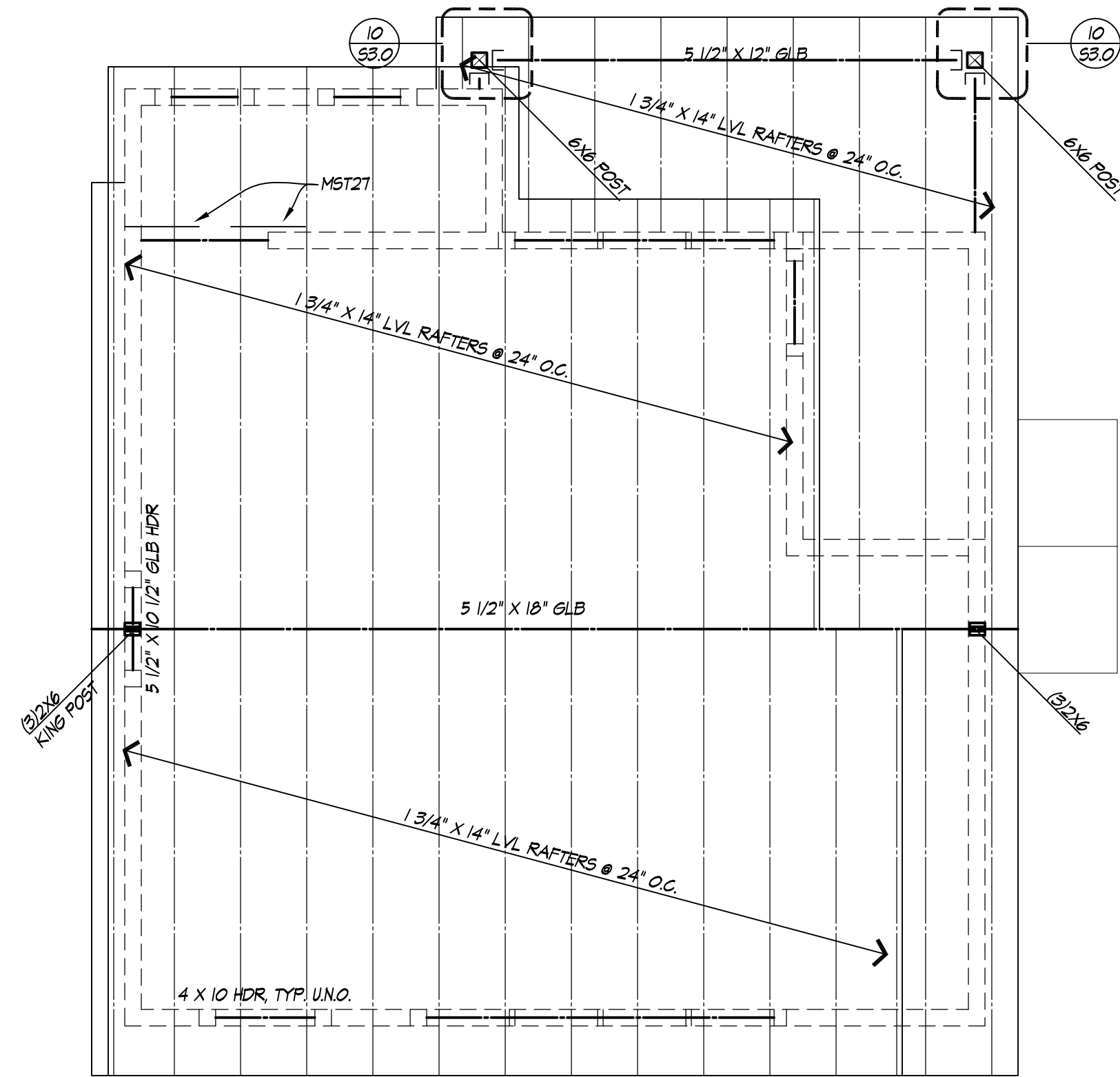
SCALE: 1/4" = 1'-0"



REF NORTH
SHEET TITLE: ROOF & LOFT
FRAMING PLAN

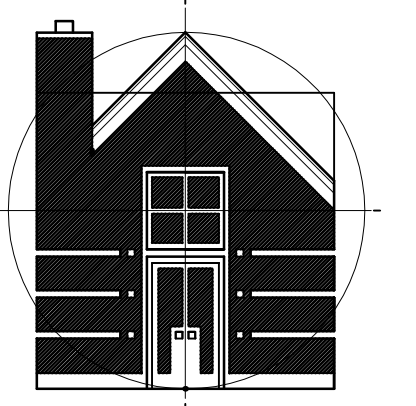
SHEET NUMBER: S2.3

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NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.

ROOF & LOFT FRAMING PLAN
1/4" = 1'-0"



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253.593.0131

CONSULTANT:

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Tacoma, WA 98444
Ph 253.537.8128



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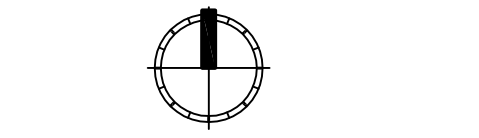
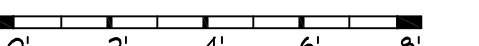
SHORT PLAT:
NORTH LOT OF FORMER LOT
5332 N. BENNETT ST.
RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: 1/4" = 1'-0"

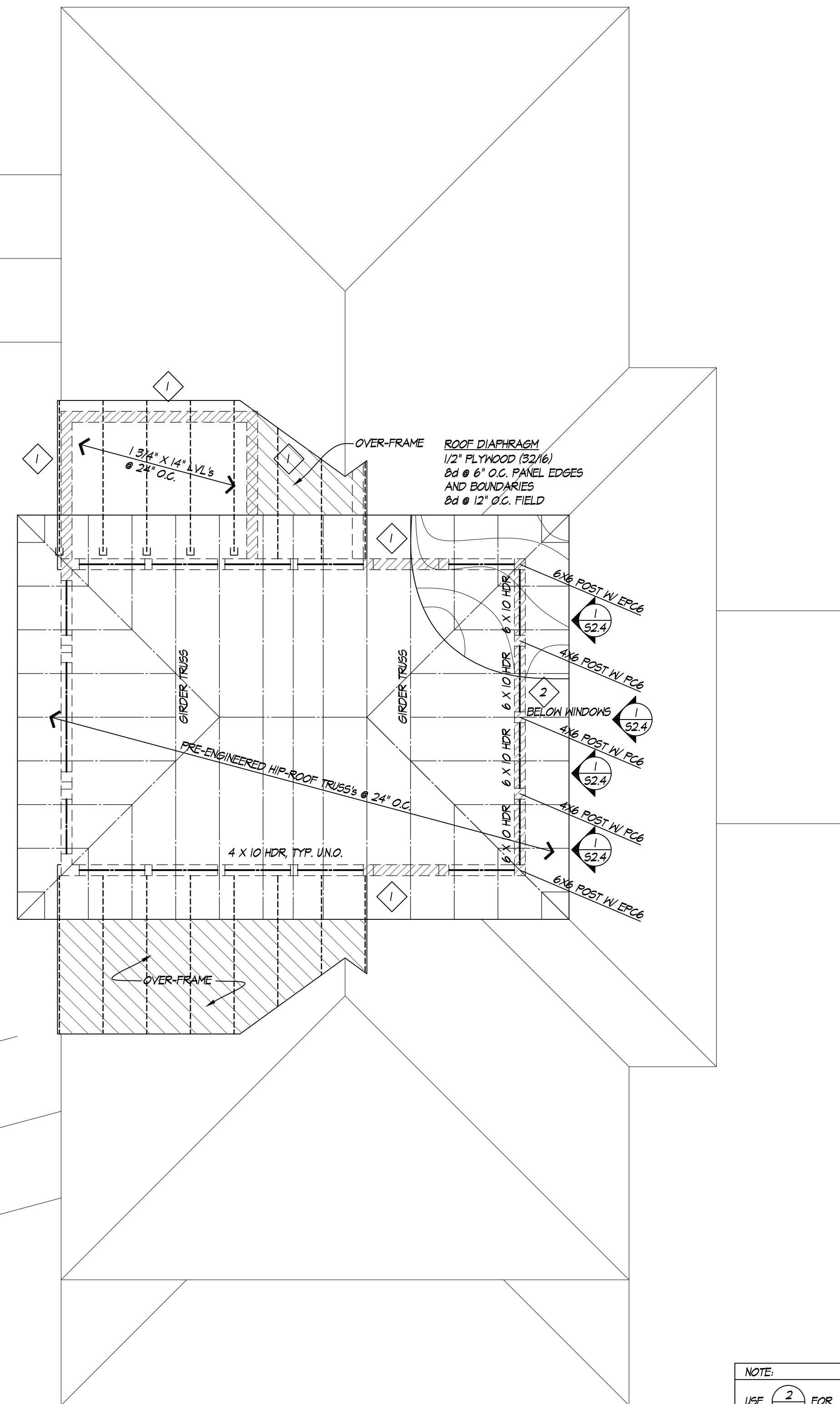
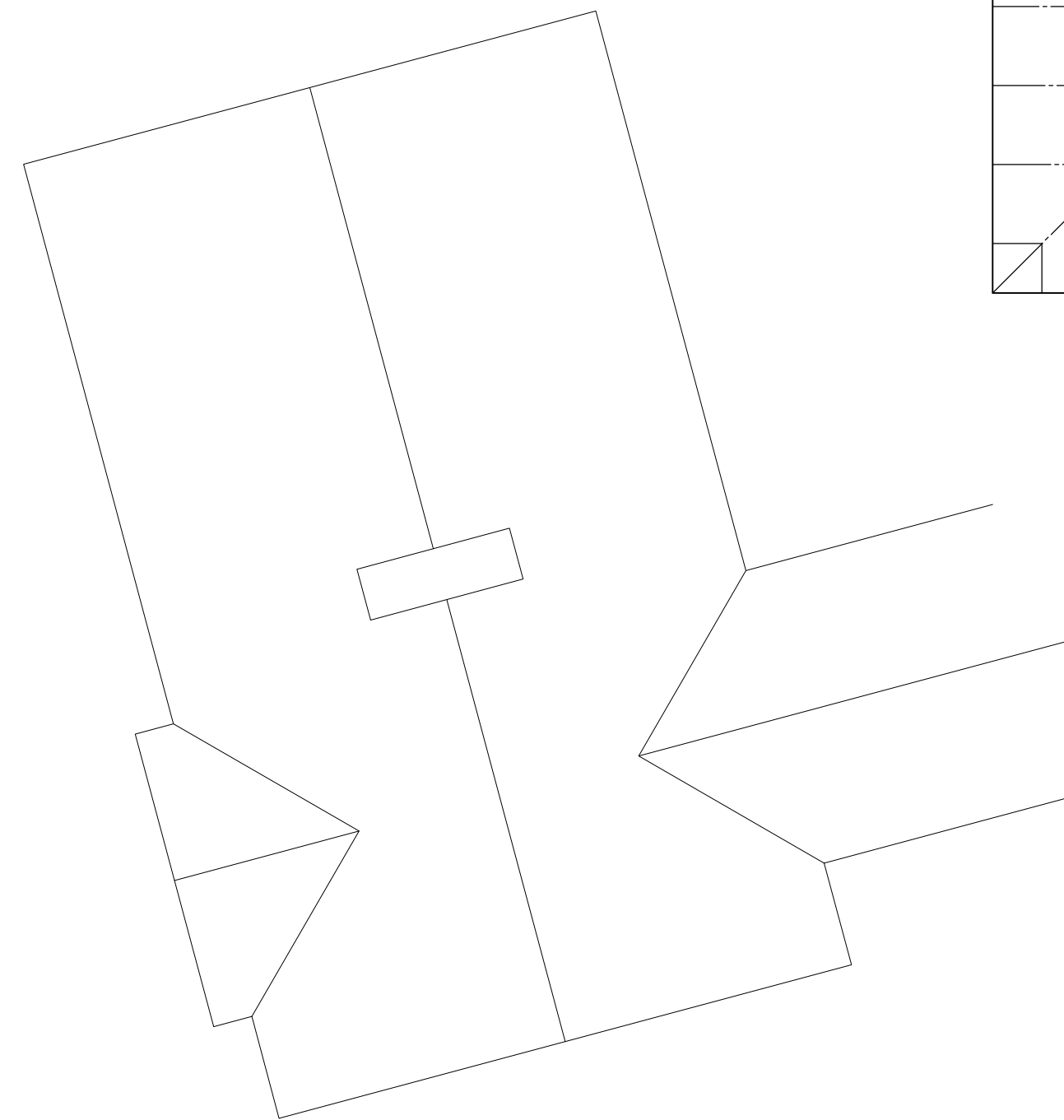
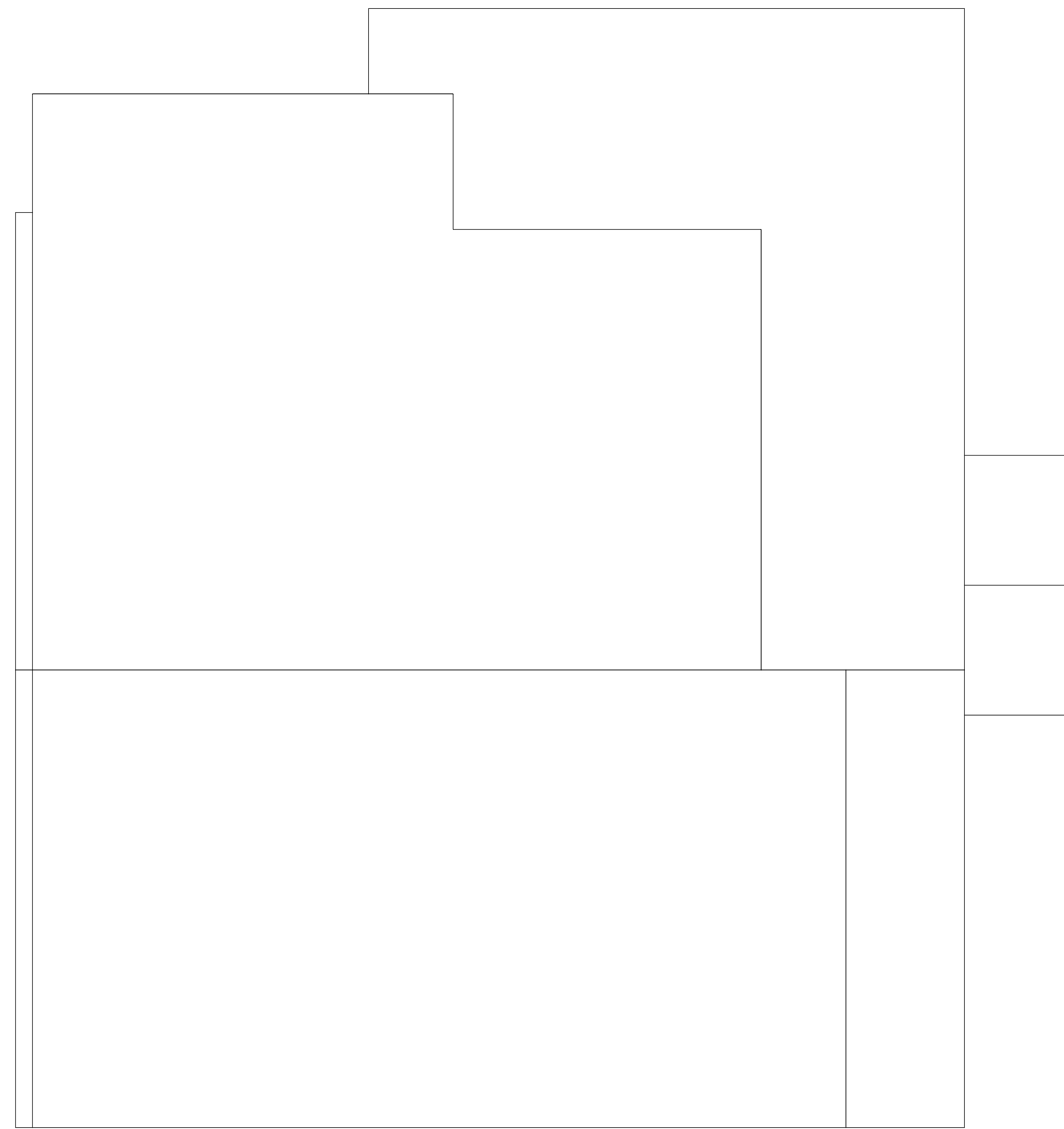


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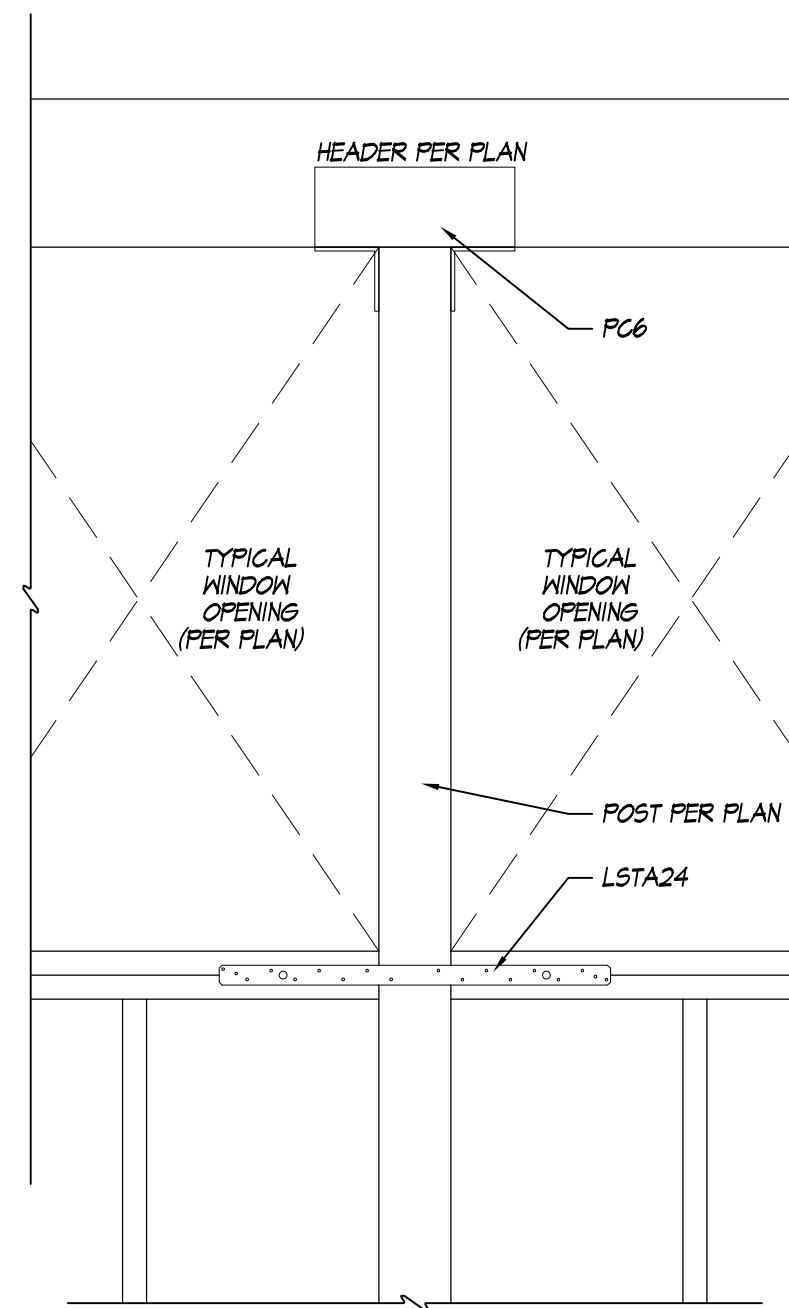
SHEET TITLE: **ROOF FRAMING PLAN**

SHEET NUMBER: **S2.4**

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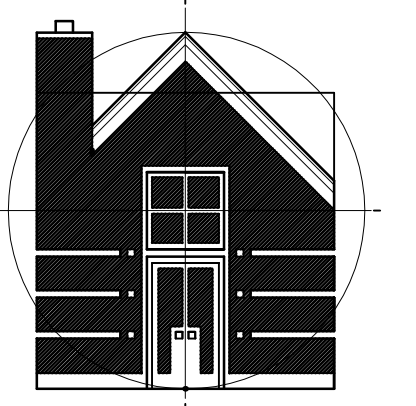


NOTE:
USE $\frac{2}{510}$ FOR
STRAPPING AROUND
WINDOWS, TYP.



1. WINDOW STRAPPING @ LOFT
1" = 1'-0"

ROOF FRAMING PLAN
1/4" = 1'-0"



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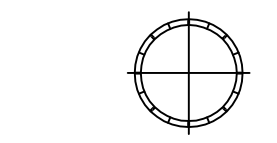
SHORT PLAT: NORTH LOT OF FORMER LOT 5332 N. BENNETT ST. RUSTON, WA

PERMIT SET

DATE: 11/14/2016

REVISIONS:

SCALE: VARIES

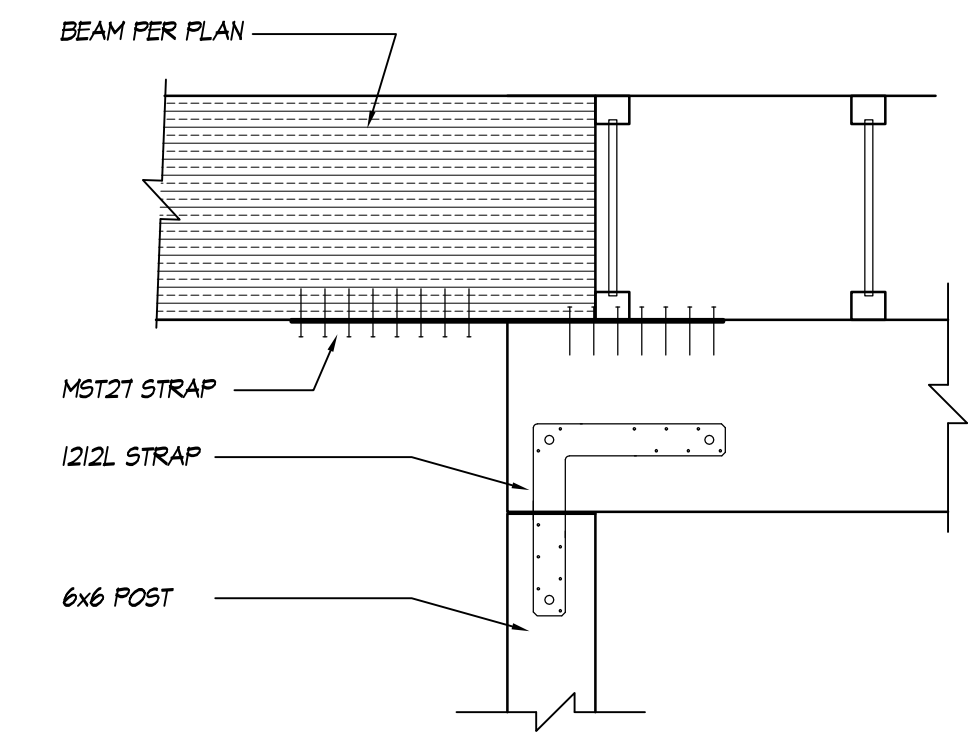


REF NORTH

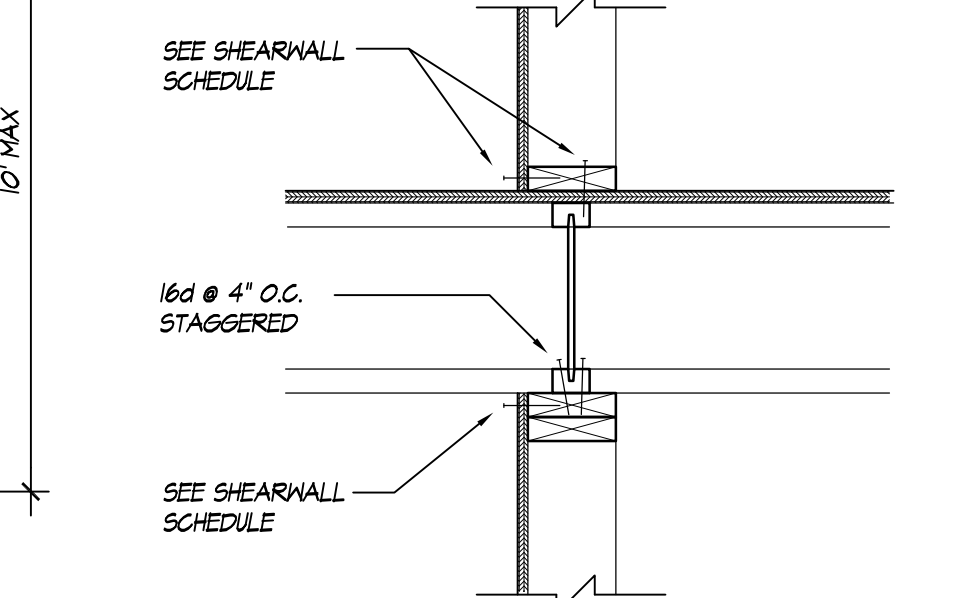
SHEET TITLE: STRUCTURAL DETAILS

SHEET NUMBER: S3.0

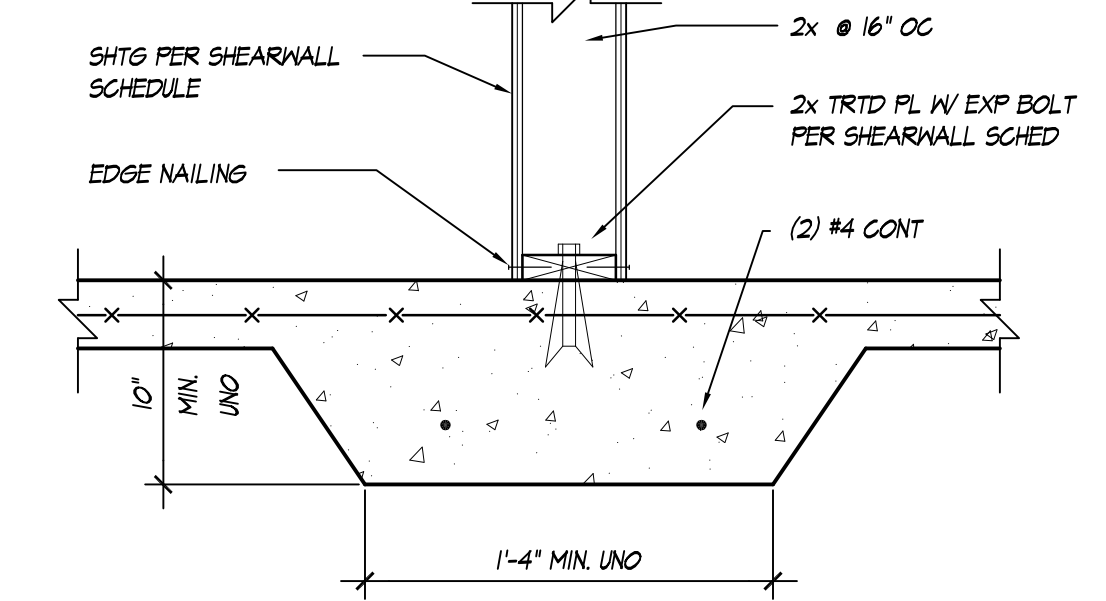
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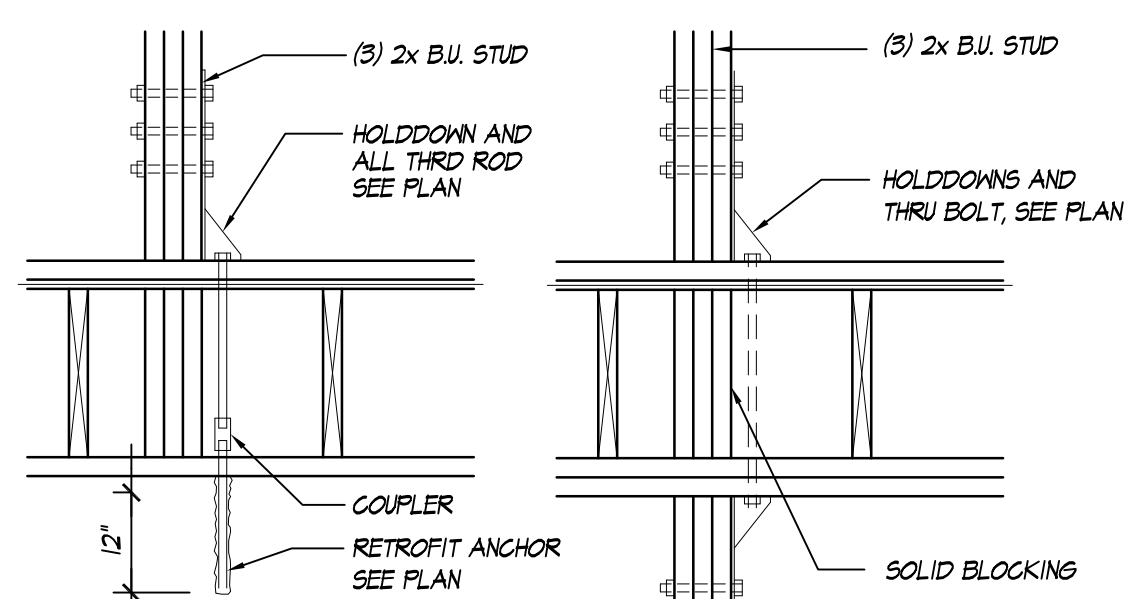
16. POST TO BEAM DETAIL 1" = 1'-0"



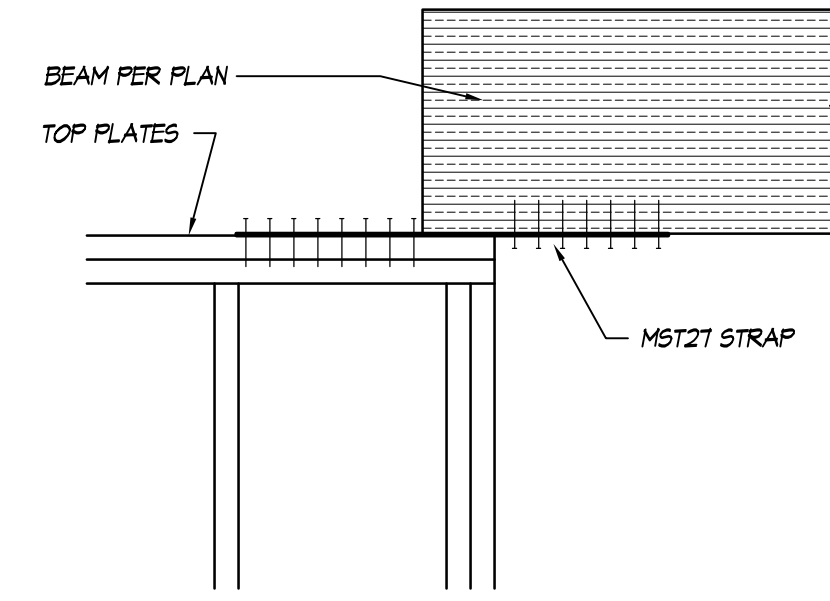
11. FLOOR DETAIL 1" = 1'-0"



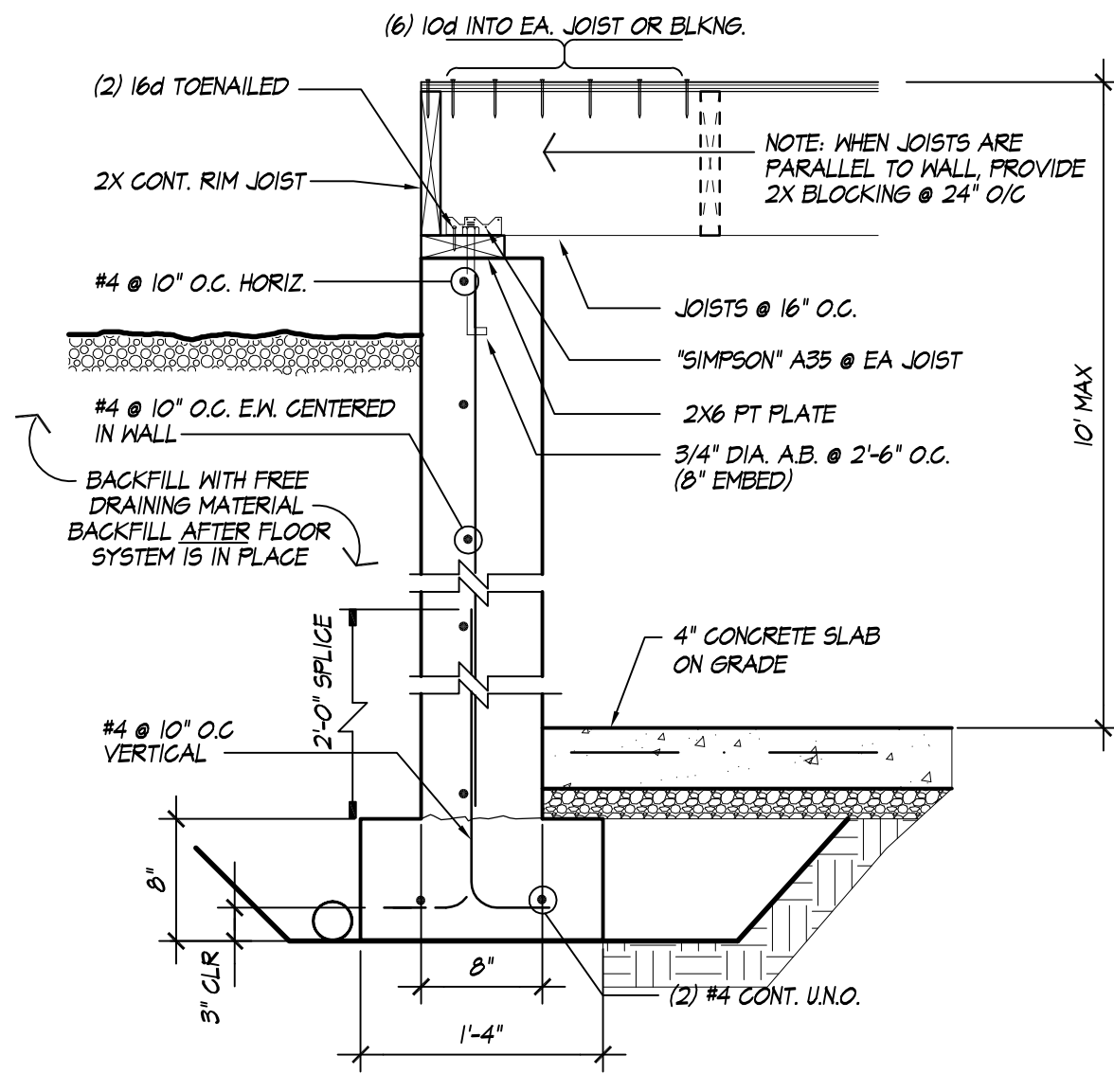
6. FOOTING DETAIL 1" = 1'-0"



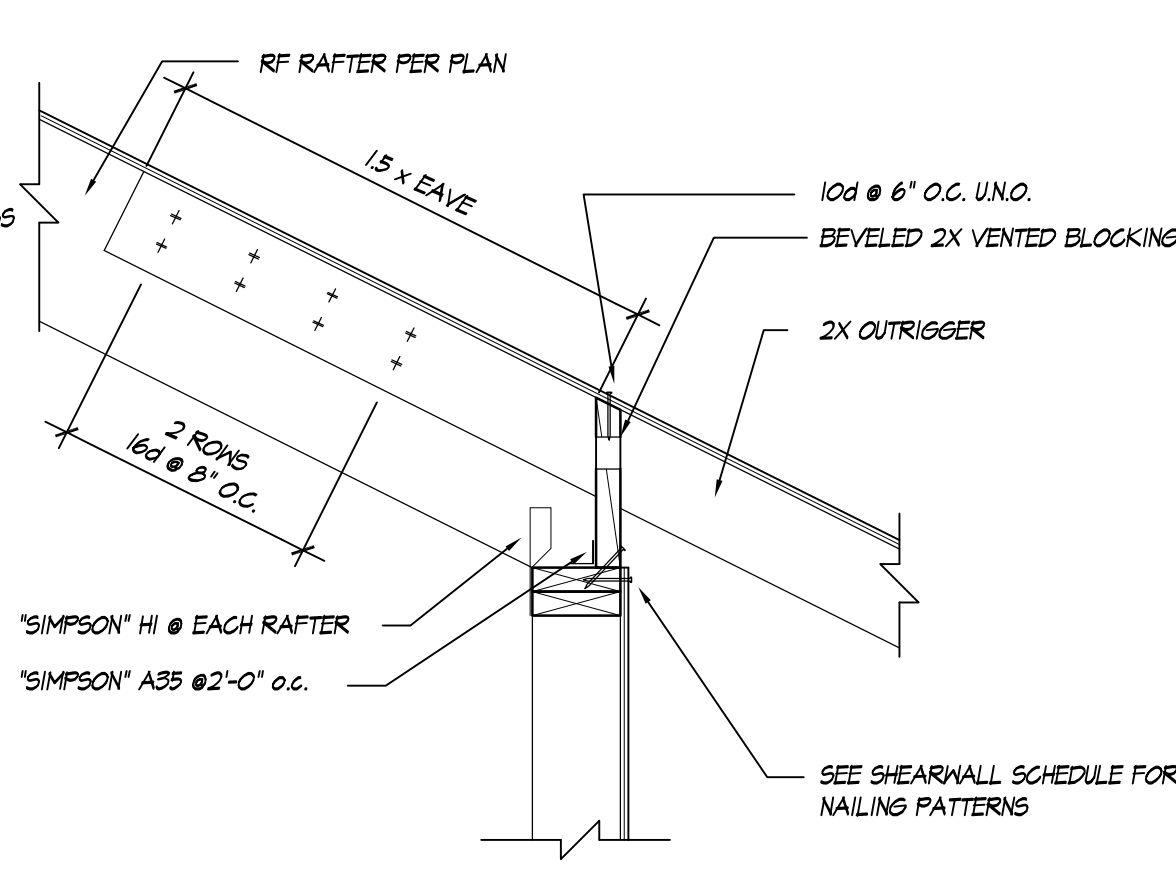
1. TYPICAL HOLDDOWN DETAILS N.T.S.



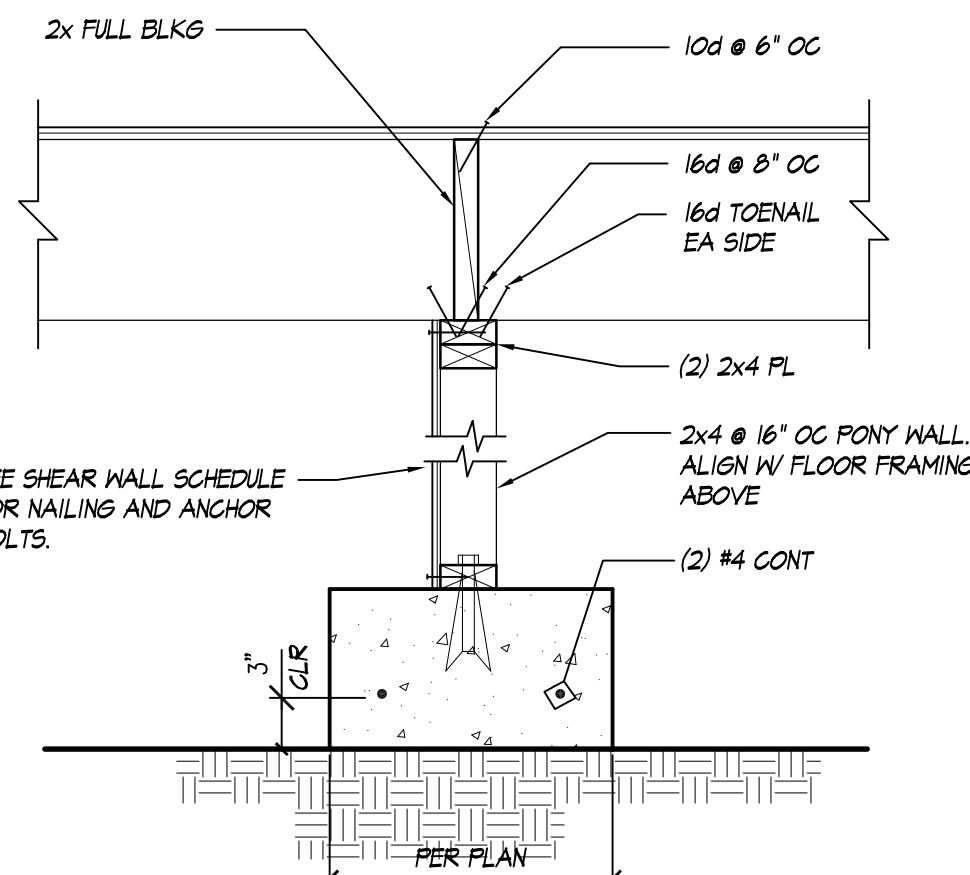
17. WALL TO BEAM DETAIL 1" = 1'-0"



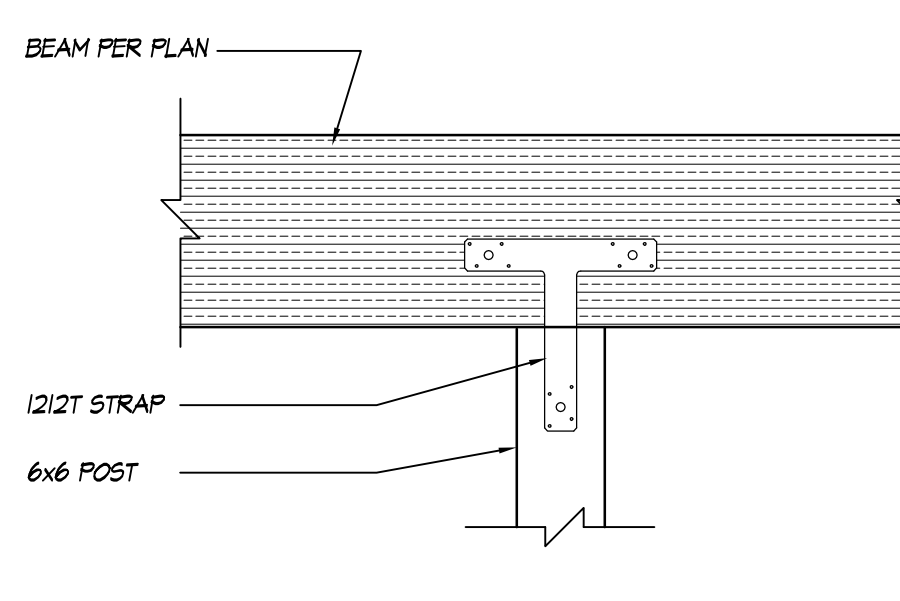
12. FOUNDATION DETAIL 1" = 1'-0"



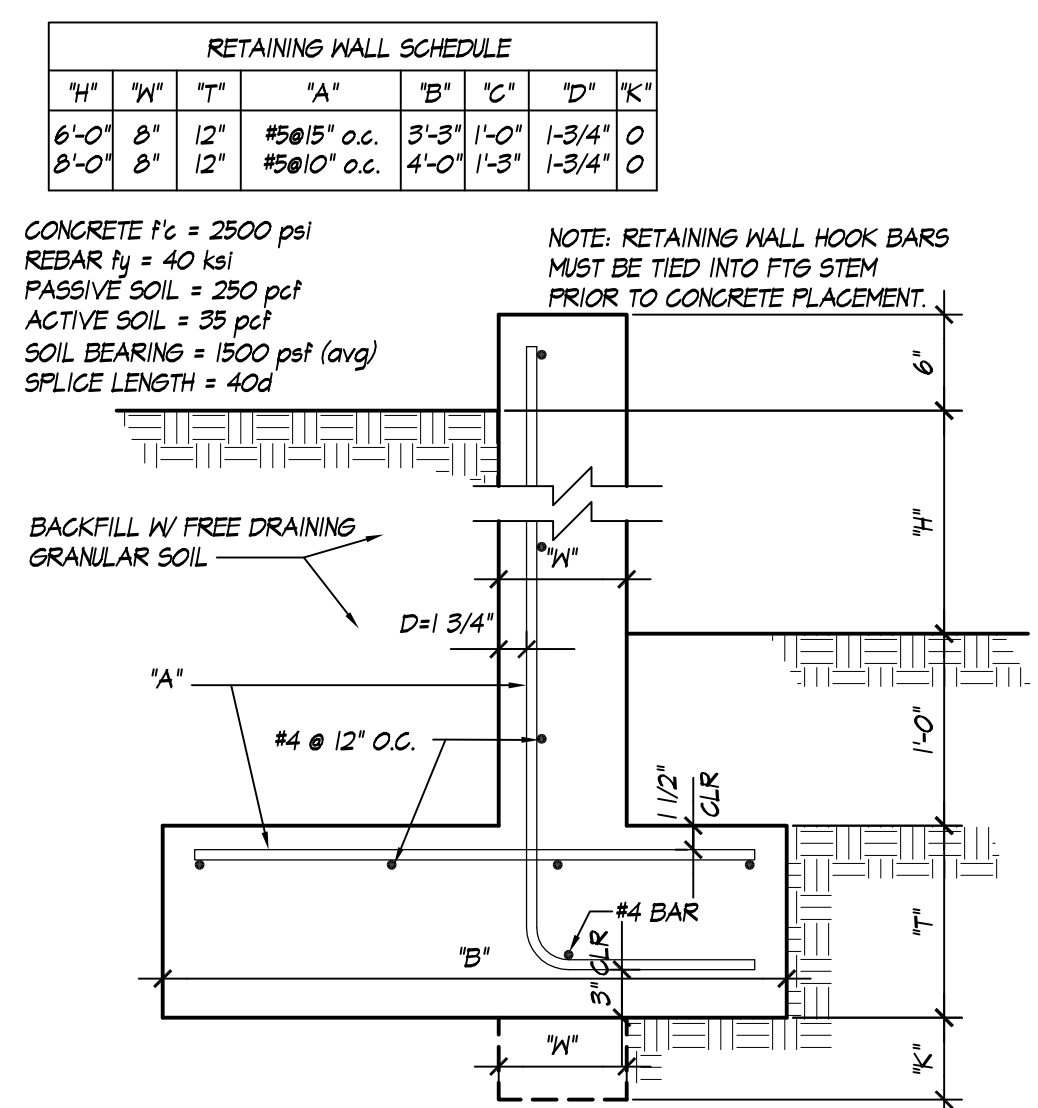
7. ROOF FRAMING DETAIL 1" = 1'-0"



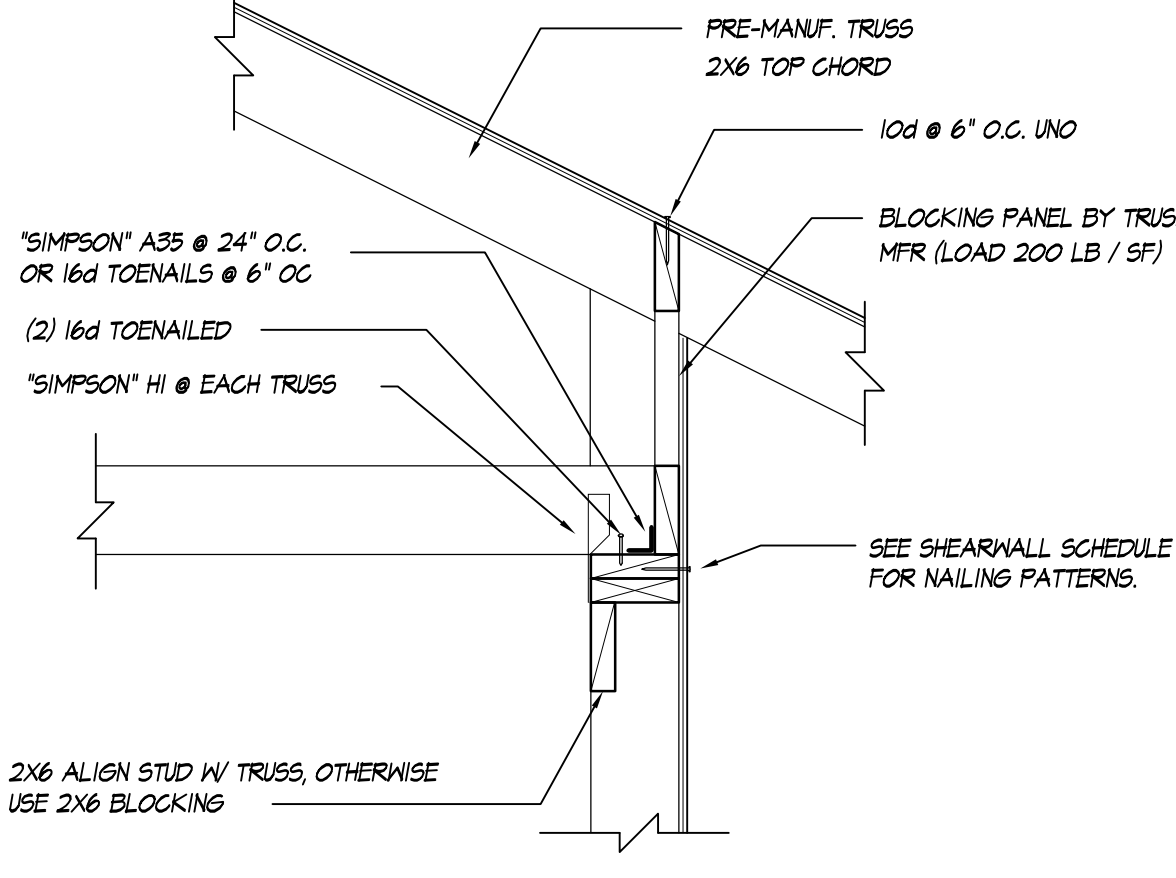
2. FLOOR FRAMING DETAIL 1" = 1'-0"



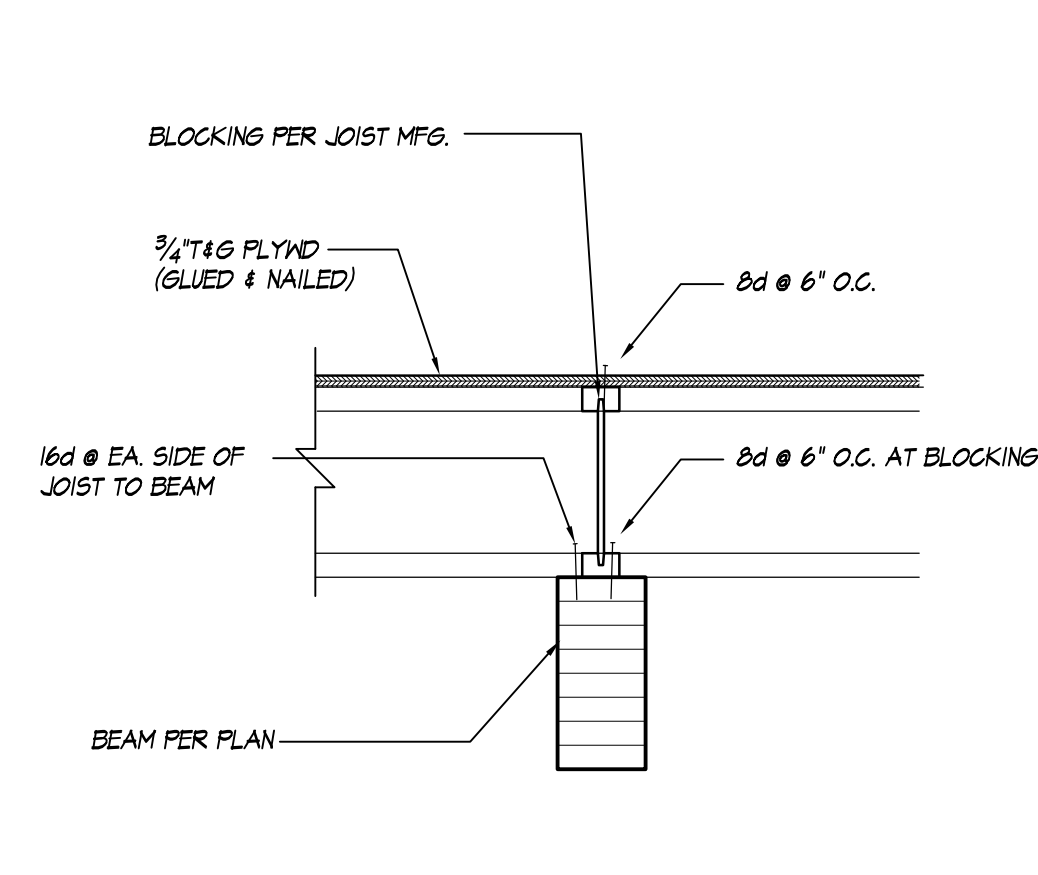
18. POST TO BEAM DETAIL 1" = 1'-0"



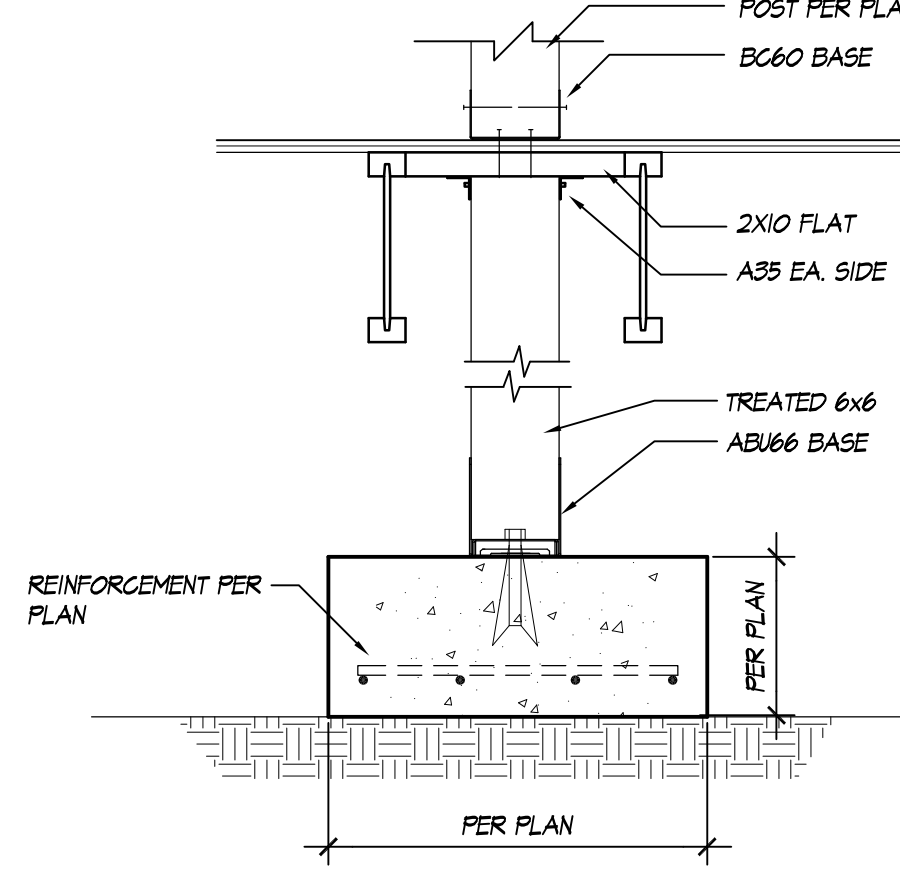
13. RETAINING WALL DETAIL 1" = 1'-0"



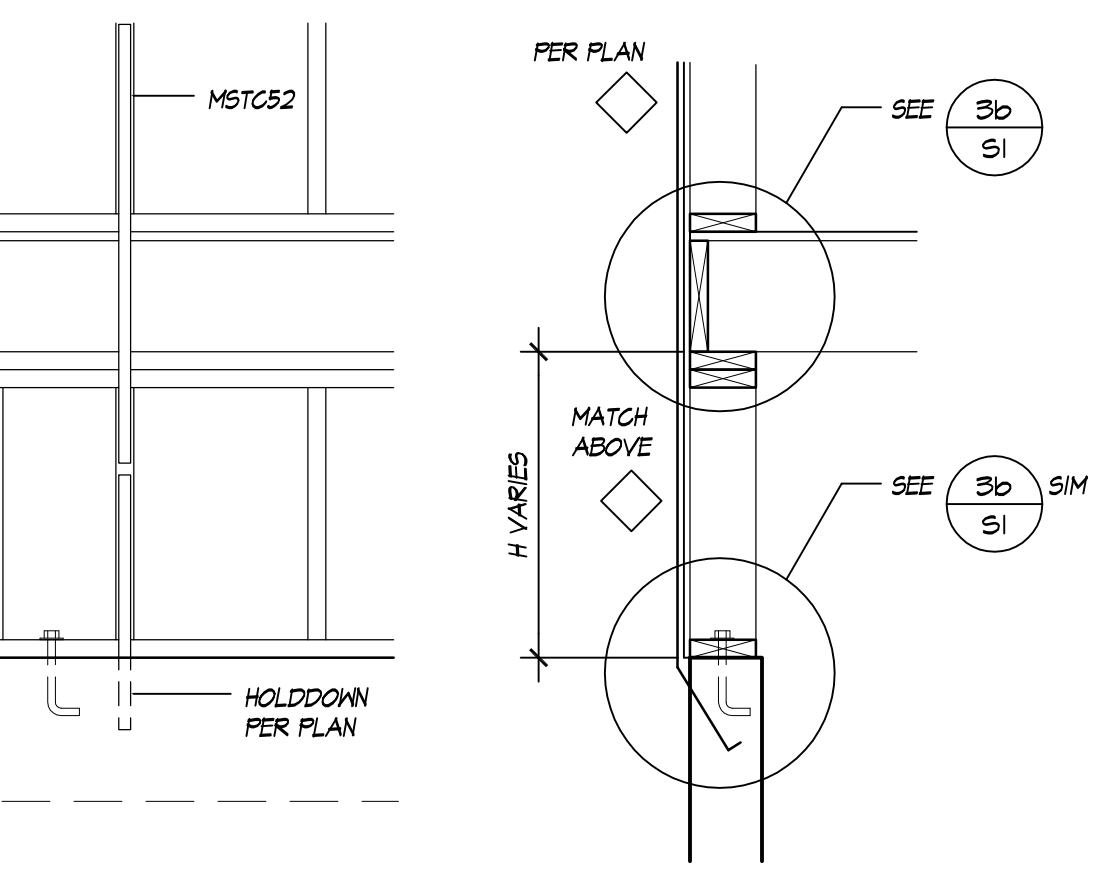
8. TRUSS BLOCKING DETAIL 1" = 1'-0"



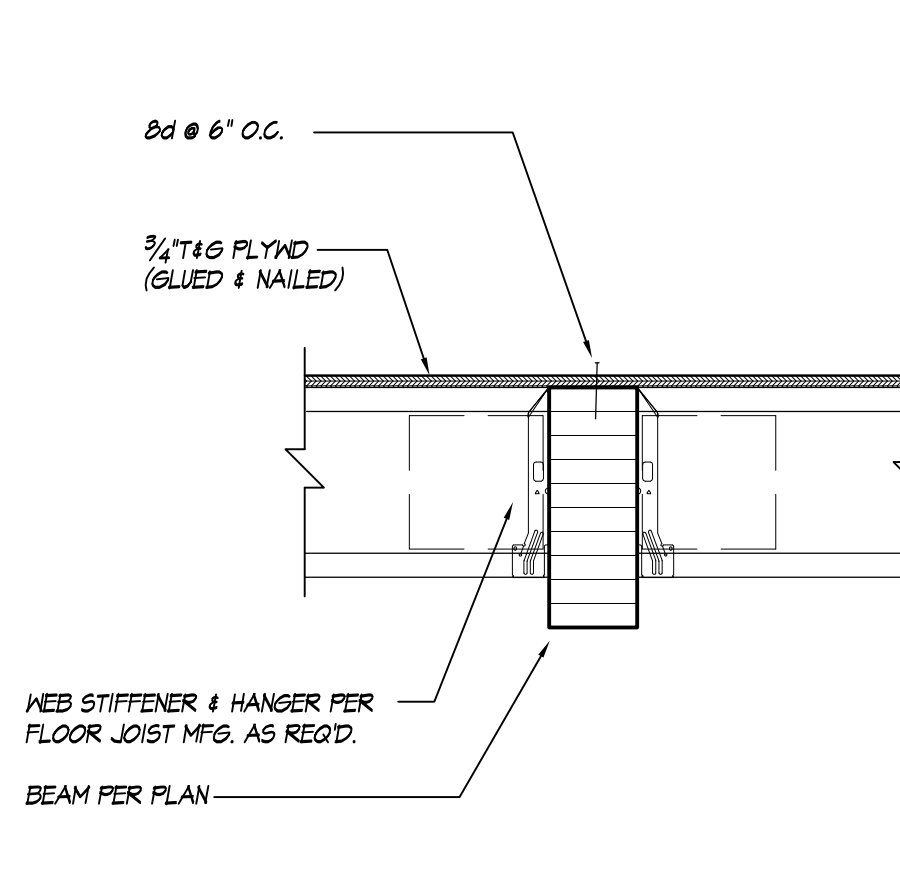
3. FLOOR FRAMING DETAIL 1" = 1'-0"



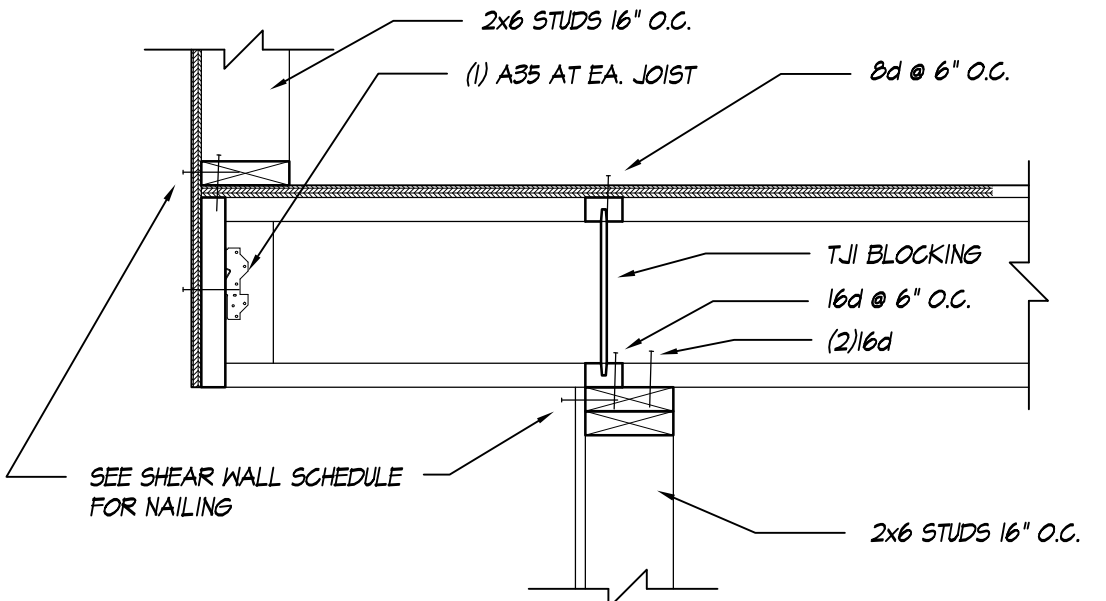
19. POST DETAIL 1" = 1'-0"



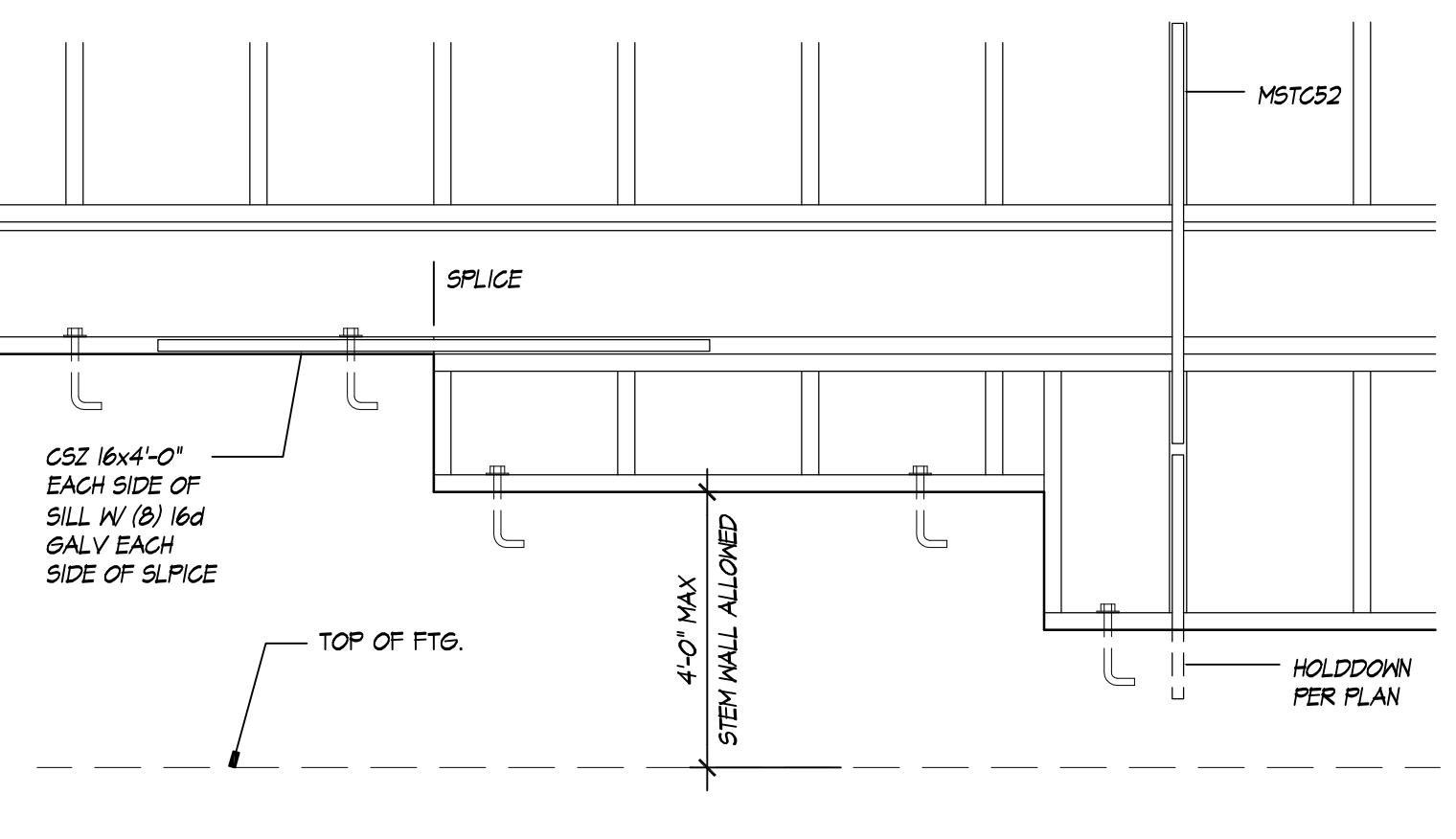
9. DECK LEDGER DETAIL 1" = 1'-0"



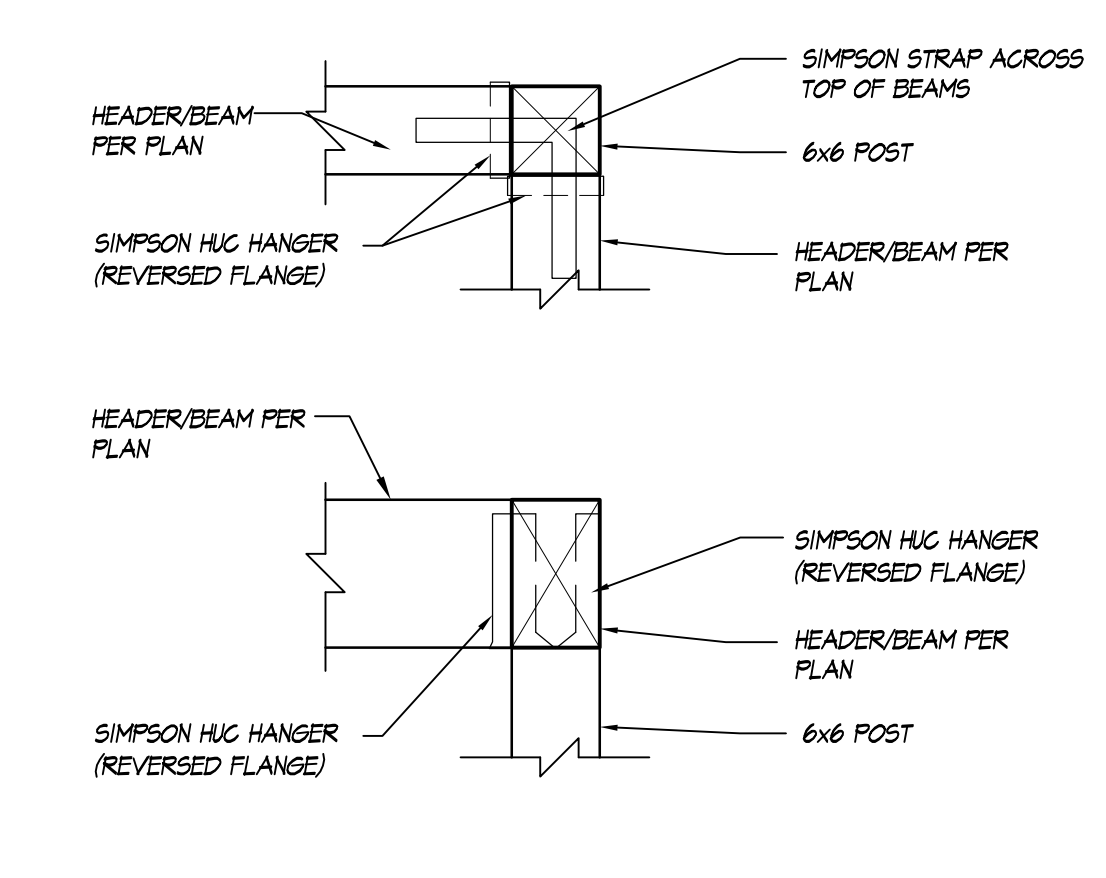
4. FLOOR FRAMING DETAIL 1" = 1'-0"



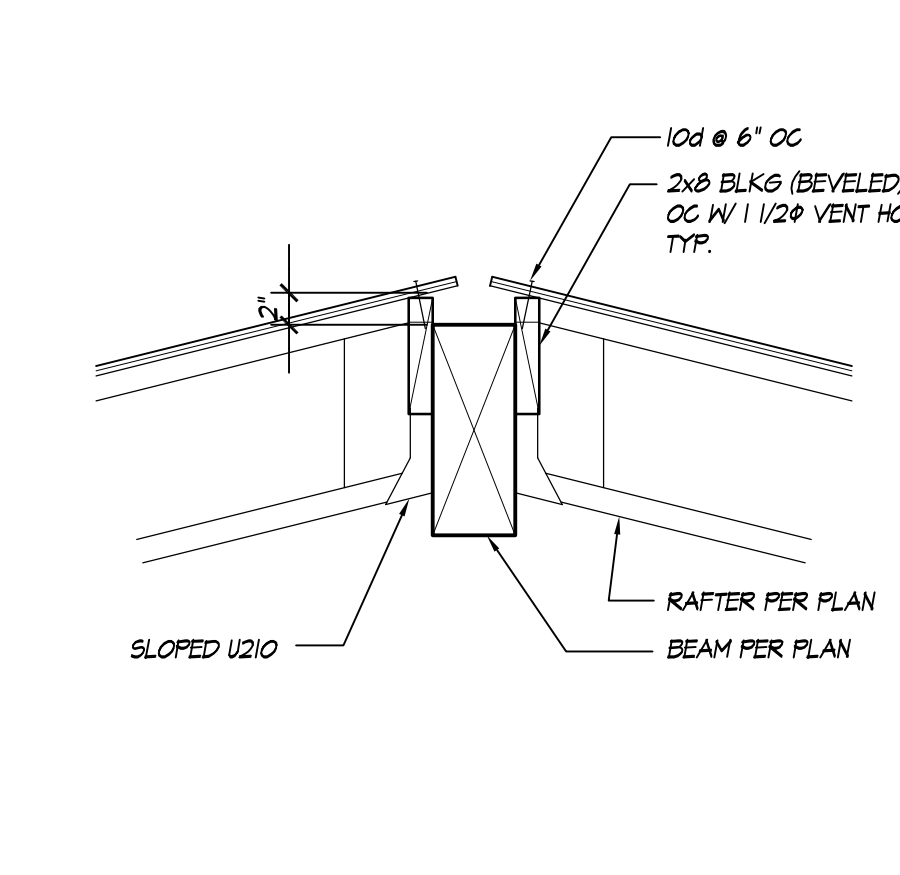
20. FLOOR FRAMING DETAIL 1" = 1'-0"



15. PONY WALL DETAIL 1" = 1'-0"



10. POST TO BEAM DETAIL 1" = 1'-0"



5. RIDGE BEAM DETAIL 1" = 1'-0"

RETAINING WALL SCHEDULE							
7'	7'	7'	7'	7'	7'	7'	7'
6'-0"	8'	12'	#5@15" o.c.	3'-3"	1'-0"	1'-3/4"	0
8'-0"	8'	12'	#5@10" o.c.	4'-0"	1'-3"	1'-3/4"	0

CONCRETE $f_c = 2500$ psi
 REBAR $f_y = 40$ ksi
 PASSIVE SOIL = 250 psf
 ACTIVE SOIL = 35 psf
 SOIL BEARING = 1500 psf (avg)
 SPLICE LENGTH = 40d

NOTE: RETAINING WALL HOOK BARS MUST BE TIED INTO FTG STEM PRIOR TO CONCRETE PLACEMENT.

ALT. CONN. @ RETROFIT ANCHOR
 OMIT COUPLER AND ROD EXTENSION WHERE WALL STUD REST DIRECTLY ON CONCRETE FOUNDATION.

CONN. BETWEEN FLOORS

ALT. CONN. @ HEADER OR BEAM

CONN. @ CONCRETE FOUNDATION