

Community and Economic Development Department – Planning Division

Meeting Date: November 20, 2024

Project Number(s): PLAN24-043/

UP24-007

Project Planner:

Renee Nickenig, Associate Planner

Agenda Item: 1

REPORT TO ZONING ADMINISTRATOR

SUBJECT: 38 Gary Place – Request for a Use Permit to operate a Crunch Fitness with indoor

and outdoor exercise facilities at 38 Gary Place; APN: 018-063-04; Light Industrial/Office (LI/O) District; Richard Tanaka, Applicant; CHELSEA PACIFIC

INVESTMENTS LP, Owner; Case Number(s): UP24-007 (PLAN24-043)

EXECUTIVE SUMMARY

The project proposes to operate a Crunch Fitness at the subject property. The use will be primary contained within the existing building, with limited use at the designated outdoor area of the site.

Pursuant to San Rafael Municipal Code (SRMC) Section 14.06.020, a Conditional Use Permit approved by the Zoning Administrator is required for fitness/recreation facilities in the Light Industrial/Office (LI/O) zoning district.

PROJECT DESCRIPTION

The project proposed to operate a Crunch Fitness facility within the existing building and outdoor area at 38 Gary Place. The facility will be open 5:00 AM to 11:00 PM Monday through Friday, and 7:00 AM to 7:00 PM Saturday and Sunday. Peak use is expected on weekdays from 6:00 AM to 8:00 AM and 5:30 PM to 7:00 PM. Weekday capacity is expected to peak at 79 persons, with up to six employees on site.

The majority of the use will take place within the interior of the existing building. Use of the outdoor fitness area will be limited, and as conditioned will be adequately screened from public view.

FINDINGS

The table below reviews the project's consistency with the findings required of a Conditional Use Permit pursuant to SRMC Section 14.22.080 and for indoor fitness/recreation facilities in the Light Industrial/Office (LI/O) district.

The proposed outdoor facilities are being considered as an accessory use to the primary facility pursuant to SRMC Section 14.02.040(B).

Table 1. Use Permit (SRMC §14.22.080)

	Yes	No	
Finding A			
That the proposed use is in accord with the general plan, the objectives of the zoning ordinance, and the purposes of the district in which the site is located:	X		The proposed use is in accord with the General Plan Policies LU-1, LU-2.1, LU-2.3, LU-2.4, and NH-3.9 as a specialty use in the Light Industrial/Office (LI/O) General Plan land use district. The existing FAR exceeds the maximum permitted (LU-1.10) in the LI/O district, but the project does not propose any additional built development at the site.
Finding B			
That the proposed use, together with the conditions applicable thereto, will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity, or to the general welfare of the city:	X		Analysis of the parking demand for the subject site and surrounding properties shows that there is sufficient parking available for the proposed use, and traffic patterns will not be detrimental to surrounding existing and proposed uses. As conditioned, the proposed outdoor fitness area will be adequately screened from view and appropriately lit and so is not anticipated to disrupt the surrounding area.
Finding C			
That the proposed use complies with each of the applicable provisions of the zoning ordinance:	Х		As conditioned, the proposed use will be compliant with the provisions of the zoning ordinance related to fitness and recreation uses.

CONDITIONS OF APPROVAL

- Term of Approval. This Use Permit (UP24-007) shall be valid for two years from approval or until November 21, 2026 and shall be null and void if not exercised or a time extension granted prior to the expiration date. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- 2. <u>Applicant Responsible for Compliance with Conditions.</u> The applicant shall ensure compliance with all of the following conditions.
- 3. <u>Subject to All Applicable Laws and Regulations</u>. The approved use is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to any construction, tenant improvement or installation of signage, the applicant shall identify and secure all applicable permits from the Planning and Building Divisions, Public Works Department and other affected City divisions and departments.

- 4. Notice of Fees Protest. The applicant may protest any fees, dedications, reservations, or other exactions imposed by the City as part of the approval or as a condition of approval of this development. Per California Government Code Section 66020, this 90-day protest period has begun as of the date of the approval of this application.
- 5. Outdoor Screening. The proposed outdoor fitness area shall be adequately screened from public view. All outdoor space designated for fitness or recreation use shall be surrounded by fencing a minimum of seven (7) feet tall. The fencing material should be visually impervious and in a material compliant with SRMC Section 14.16.140.
- Exterior Lighting. Any exterior lighting proposed for the site shall be compliant with light an glare standards pursuant to SRMC Section 14.16.227. All new lighting installed will be subject to a 90day post installation inspection.

PUBLIC COMMENT

Notice of hearing for the project was conducted in accordance with noticing requirements contained in Chapter 29 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the subject site and all other interested parties, 15 calendar days prior to the date of this hearing. No public comment has been received by the date of this staff report.



Community Development Department – Planning Division

Meeting Date: November 20, 2024

Project Number(s): PLAN24-142, ED24-034

Project Planner:

Jose M. Herrera-Preza, Principal Planner

Agenda Item: 2

REPORT TO ZONING ADMINISTRATOR

SUBJECT: 440 Smith Ranch Road. On-site private improvements to allow a minor modification to

outdoor tennis/padel courts, landscaping, and parking areas at the San Rafael Airport Sports Center; APN: 115-230-12; San Rafael Airport Planned Development District

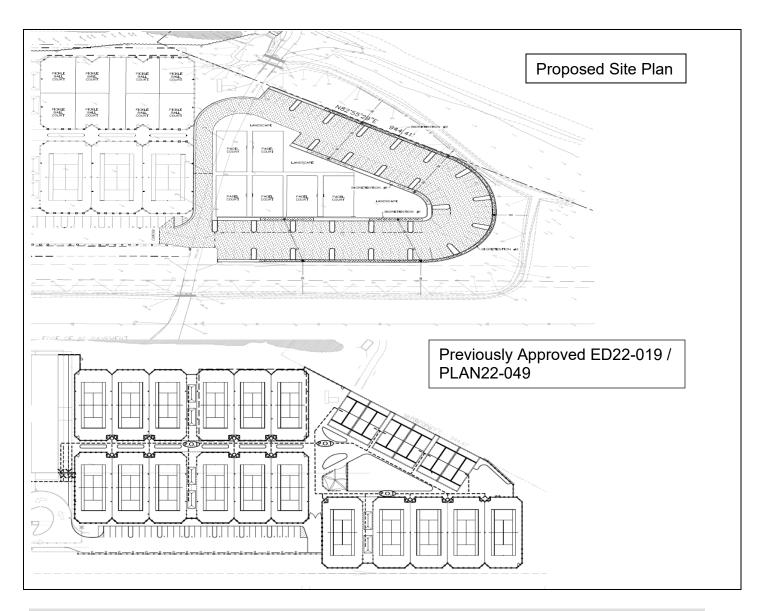
(PD1909-WO); ED24-034 and PLAN24-142.

EXECUTIVE SUMMARY

Pursuant to Ordinance No. 1909 San Rafael Airport Planned Development District - Recreational Facility PD1909 II(B)(2) allows for minor additions and modifications located within areas approved for development may be permitted subject to approval of a minor (Zoning Administrator) Environmental and Design Review permit.

PROJECT DESCRIPTION

The development application consists of minor amendments to planning entitlements ED22-019/PLAN22-049 to allow the construction of 23 outdoor tennis/padel courts, shade structures, landscaping, exterior lighting, and a parking lot at the San Rafael Airport Sports Center. The revision will reduce the total number of tennis/padel ball courts from 23 to 17, relocate the padel courts to the south of the previously approved location, and add 73 off-street parking spaces. The proposed revisions will improve vehicular traffic circulation on the site through the elimination of a dead-end drive aisle that would require vehicles to make three point turns or back out of the parking area. The revision will incorporate a flow-through lane around the perimeter of the sports courts connecting all vehicular traffic lanes on the site. The revision will improve the flow of vehicular traffic and increase parking capacity of the site. The overall site development area remains the same as detailed in PD1909, the revision is limited to on-site private improvements, and no new structures are proposed.



FINDINGS

Findings for Environmental and Design Review Permit (ED24-034)

CEQA Finding			
	Yes	No	
Section 15162 (Previously approved Environmental Impact Report "EIR") (2) If the agency finds that pursuant to Section 15162, no subsequent EIR would be required, the agency can approve the activity as being within the scope of the project covered by the program EIR, and no new	Х		On Dec. 12, 2012, the City Council by adoption of resolution no. 13477 certified the San Rafael Recreational Facility Project FEIR. State Clearing House (SCH) No. 2006012125. The project is consistent with the program EIR as there is no physical expansion or changes to the developable area.

environmental document would be required.			
Environmental and Desig			nit (SRMC §14.25.090)
	Yes	No	
That the project design is in accord with the general plan, the objectives of the zoning ordinance and the purposes of this chapter:	X		The project involves outdoor recreational sports court areas and increased capacity of on-site parking. The site is located in the Airport/Recreation General Plan designation and involves the uses of private and public recreation facilities such as the San Rafael Airport Sports Center. The area to be modified is entirely located within the previously approved development area and will support the current recreational land use on the site. Therefore, the project design is consistent with the General Plan and Planned Development District and further supported by the following General Plan Policy: Program LU1.15A: Planned Development Zoning. Continue to maintain Planned Development (PD) zoning districts.
Finding B			
The project design is consistent with all applicable site, architecture and landscaping design criteria and guidelines for the district in which the site is located:	X		The proposed revision is consistent with the overall design for the outdoor sports recreational facility that was evaluated under the San Rafael Airport Planned Development district. The site was previously approved under ED22-019/PLAN22-049 and the revision remains consistent with the outdoor recreational land use. The revision will eliminate a vehicular traffic dead end with a new a flow-through traffic design that will improve vehicular traffic circulation through the site and increased the parking capacity. The project does not propose any new structures and does not expand on the project area. The project was routed to the Department of Public Works and no comments were provided.
Finding C			
That the project design minimizes adverse environmental impacts:	X		The proposed revision is consistent with the Final Environmental Impact Report (FEIR) State Clearing House No. 2006012125 for the San Rafael Airport Recreational Facility Project, consisting of construction of a new recreational facility with a two-story building, two outdoor fields and associated parking, landscaping and related site improvements on an undeveloped portion of the 119.5 -acre San

Finding D		Rafael Airport property. The project will improve onsite vehicular traffic, increase off-street parking, and increase landscaping all of which will minimize adverse environmental impacts previously considered.
That the project design will not be detrimental to the public health, safety or welfare, nor materially injurious to properties or improvements in the vicinity.	X	The revised design is limited to an area of the parcel currently under construction and is intended to improve the circulation of pedestrians and vehicles on the site. The overall project design is consistent with the previous Environmental and Design Review and Master Use Permit, including no modifications to the hours of operation. The proposed project will maintain the outdoor recreational facilities in form and function, while allowing a variation in the type. It also improves traffic circulation and adds vehicular parking. Therefore, the revision will not be detrimental to the community.

CONDITIONS OF APPROVAL

Conditions of Approval from ED22-019/ PLAN22-049 remain in effect.

- 1. <u>Conditions Shall be Printed on Plans.</u> The conditions of this Permit shall be printed on the second sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' Additional sheets may also be used if the second sheet is not of sufficient size to list all the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.
- 2. <u>Applicant Responsible for Compliance with Conditions.</u> The applicant shall ensure compliance with all the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.

- 3. Plans and Representations Become Conditions. All information and representations, whether oral or written, including the building techniques, materials, elevations and appearance of the project, as presented for approval on plans, dated 12/29/2022 and on file with the Community Development Department, Planning Division, shall be the same as required for the issuance of a building permit, except as modified by these conditions of approval. Minor modifications or revisions to the project shall be subject to review and approval by Planning staff. Modifications deemed not minor by the Community Development Director may require review and approval as an amendment to the Environmental and Design Review Permit by Planning staff.
- 4. <u>Subject to All Applicable Laws and Regulations</u>. The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to any construction, tenant improvement or installation of signage, the applicant shall identify and secure all applicable permits from the Planning and Building Divisions, Public Works Department and other affected City divisions and departments.
- 5. Construction Hours: Consistent with the City of San Rafael Municipal Code Section 8.13.050.A, construction hours shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays. Construction shall not be permitted on Sundays or City-observed holidays. Construction activities shall include delivery of materials, hauling materials offsite; startup of construction equipment engines, arrival of construction workers, paying of radios and other noises caused by equipment and/or construction workers arriving at, or working on, the site.
- 6. <u>Landscaping</u>. Landscaping and irrigation must meet the Marin Municipal Water District's (MMWD) water conservation rules and regulations. All existing landscaping damaged during construction shall be replaced. All landscaping shall be maintained in a healthy and thriving condition, free of weeds and debris. Any dying or dead landscaping shall be replaced in a timely fashion. No part of the existing landscaping shall be removed, unless their removal has been reviewed and approved by the Planning Division.
- 7. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- 8. <u>Subject to Review</u>. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the

- neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.
- 9. <u>San Rafael Fire Prevention Bureau.</u> See Inter-Departmental Memorandum, dated December 20, 2022 by David Eaton.
- 10. <u>Public Works.</u> See Memorandum, dated November 8, 2022 by Matthew Pepin, Senior Civil Engineer.
- 11. <u>Outdoor Use Hours</u>: The hours of operation for the outdoor sports shall be as follows:
 - a. 9:00 A.M to 9:00 P.M. Daily (seven days a week).
 - b. Saturday and Sunday hours of operation can start at 8:00 A.M. during the winter season (November 1 to May 15).
- 12. Operations: All recreational activities and ancillary uses shall end by the designated hours of operation and all patrons shall be directed to leave the facility by the designated allowable hours of operation (e.g. event curfew) and/or premises parking areas promptly after close of facility. Congregating in parking areas shall be discouraged during non-business hours. Maintenance and cleaning crews, employees and security personnel may be allowed to conduct their routines tasks and shall enter the site no earlier than one hour before the beginning and leave no later than one hour past the allowable hours of operation.
- 13. <u>Noise:</u> No noise amplification devices including indoor or outdoor speaker systems, loudspeaker or bullhorns shall be allowed as this would create potential nuisance impacts on nearby residents.
- 14. <u>Outdoor Seating</u>: No fixed or temporary bleachers for spectator seating shall be permitted in conjunction with the use of the outdoor recreational fields.
- 15. <u>Concessions:</u> No sale or consumption of alcoholic beverages or food vendors are permitted to operate outside the recreational facility building.
- 16. Exterior Lighting: Exterior lighting at the recreational facility use shall be designed and maintained to implement mitigation measures MM Bio-2e (Event Curfew), MM Bio-3a (Nocturnal Lighting), MM Bio-3b (Lighting Curfew), and MM Aesth-1a as outlined in the MMRP incorporated by reference herein, an included under Environmental and Design Review Permit No. ED-05-15 conditions of approval. This includes the following lighting limitations related to use of the facility:
 - a. Exterior lighting provided on master photoelectric cell;
 - b. Provisions of sufficient security level lighting;
 - c. Outdoor field lighting shall be set to turn off 15 minutes after the last game; 9:00

- P.M. at the latest on weekdays and City holidays;
- d. Security level lighting shall be set to turn off in parking areas and pedestrian walkways one-half hour after close of the facility;
- e. Lighting of the outdoor tennis and paddle courts shall be designed to have focused illumination that will ensure no direct lighting of off-site areas, such as the North Fork of Gallinas Creek,
- f. Lighting fixtures on the perimeter of the project shall be outfitted with hoods and cut-off lenses so that the light source itself is not visible to the naked eye from neighboring properties, thereby avoiding indirect light "trespassing" into adjacent habitat areas.
- g. All outdoor event lighting shall set a 10:00 P.M restriction. By which time all outdoor field lighting should be turned off.

PUBLIC COMMENT

Notice of hearing for the project was conducted in accordance with noticing requirements contained in Chapter 14 of the Zoning Ordinance. A Notice of Public Hearing was mailed to all property owners and occupants within a 300-foot radius of the subject site and all other interested parties, 15 calendar days prior to the date of this hearing. No comments have been received.

Attachments

- 1. PD1909: San Rafael Airport Planned District.
- 2. San Rafael Fire Prevention Bureau Memo Dated: 4/25/2022.
- 3. Department of Public Works Memo dated: 11/8/2022.
- 4. Plans ED22-019/PLAN22-049.
- 5. Plans ED24-034 / PLAN24-142.

ATTACHMENT #1

ORDINANCE NO. 1909

AN ORDINANCE OF THE CITY OF SAN RAFAEL REZONING CERTAIN REAL PROPERTY FROM PLANNED DEVELOPMENT (PD) - WETLAND OVERLAY (-WO) DISTRICT (PD1764-WO) TO A REVISED PD - WO DISTRICT (ZC05-01) TO ALLOW THE ADDITION OF A NEW 85,700-SQUARE-FOOT RECREATIONAL BUILDING, TWO OUTDOOR FIELDS, AND ASSOCIATED SITE IMPROVEMENTS, LANDSCAPING AND PARKING TO THE EXISTING PRIVATE AIRPORT AND ANCILLARY LIGHT-INDUSTRIAL USES CURRENTLY ALLOWED BY PD 1764-WO, ON A VACANT PORTION OF THE 119.5-ACRE SAN RAFAEL AIRPORT PROPERTY LOCATED AT 397-400 SMITH RANCH ROAD (SAN RAFAEL AIRPORT) (APN'S: 155-230-10, 11, 12, 13, 14, 15 AND 16)

WHEREAS, on March 1, 2005, San Rafael Airport, LLC submitted planning application ZC05-01 to the City of San Rafael requesting an amendment to the properties existing Planned Development Zoning District (PD1764-WO) to allow approval of a new indoor and outdoor recreational facility on a portion of the 119.5-acre San Rafael Airport property, aka 155-230-12; and

WHEREAS, the current Planned Development (PD1764-WO) District, Wetland Overlay zoning ordinance adopted for this site (March 19, 2001) established land use regulations for a private airport use limited to 100-based aircraft and limited non-aviation uses consistent with those permitted in the Use Permit (UP99-9) at the San Rafael Airport. The current PD zoning ordinance does not contain appropriate land use limitations and development standards, as required by Section 14.07.060 of the Zoning Ordinance. Rezoning has been initiated to establish the required development standards for the proposed addition of an indoor and outdoor recreational facility as well as to incorporate the existing and previously approved standards for San Rafael Airport, as outlined in Attachment "B" - (San Rafael Airport - Planned Development District); and

WHEREAS, accompanying applications for an Environmental and Design Review Permit (ED05-16) and an amendment to the Master Use Permit (UP05-08) have been submitted and are being processed concurrent with the Rezoning application, as required by the Zoning Ordinance; and

WHEREAS, on January 24, 2012, the Planning Commission voted 6-0 (member Paul Absent, due to a conflict of interest) adopting Resolution No. 11-16 recommending to the City Council certification of a Final Environmental Impact Report/Response to Comments (FEIR) (SCH#2006012125) for the San Rafael Airport Recreational Facility Project; and

WHEREAS, on May 29, 2012, the San Rafael Planning Commission held a duly-noticed public hearing on the proposed Rezoning, as required by State law, accepting all oral and written public testimony and the written report of the Community Development Department staff reports relevant to the proposal; and

WHEREAS, the Planning Commission closed the May 29, 2012 public hearing and continued its meeting to June 6, 2012 in order to conclude its deliberations on the San Rafael Airport Recreation Facility project.

WHEREAS, on June 6, 2012, the Planning Commission by separate resolution 12-08 and vote of 5-1-1 (Sonnet opposed, Paul absent) has recommended to the City Council adoption of CEQA Findings of Fact for the San Rafael Airport Recreational Facility Project; and

WHEREAS, a Mitigation Monitoring and Reporting Program has been prepared for the project in compliance with California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, at its June 6, 2012 meeting the Planning Commission adopted Resolution 12-09 by 5-1-1 vote (Sonnet opposed, Paul absent) recommending the City Council adopt the PD rezoning for the San Rafael Airport Recreation Facility project; and

WHEREAS, on December 3, 2012, the San Rafael City Council held a duly-noticed public hearing on the proposed Rezoning, as required by State law, accepting all oral and written public testimony and the written report of the Community Development Department staff reports relevant to the proposal, closed the public hearing and voted to continue the matter for its deliberation on December 17, 2012 and directing staff to provide responses to specific questions raised at the hearing; and

WHEREAS, on December 17, 2012, the City Council received responses to its questions of staff and the consultant and conducted its deliberations on the project FEIR and merits; and

WHEREAS, the City Council by separate resolution has certified the Final Environmental Impact Report/Response to Comments (FEIR) (SCH#2006012125) for the San Rafael Airport Recreational Facility Project; and

WHEREAS, the City Council by separate resolution has adopted CEQA Findings of Fact and Mitigation Monitoring and Reporting Program for the San Rafael Airport Recreational Facility Project, in compliance with California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the Community Development Department of the City of San Rafael is the custodian of documents which constitute the record of proceedings upon which this decision is based.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF SAN RAFAEL DOES ORDAIN AS FOLLOWS:

DIVISION 1. Findings.

The City Council of the City of San Rafael hereby determines and finds that all of the facts and statements contained in the recitals herein and findings of the Planning Commission Resolution 12-09 recommending to the Council adoption of this ordinance, are true and correct.

DIVISION 2. Approval.

The City Council of the City of San Rafael hereby adopts the ordinance approving the San Rafael Airport – Planned Development District 'Zoning Map', 'Development District' standards and property 'Legal Description' as presented in Attachments "A" through "C" attached hereto and incorporated herein by reference.

DIVISION 3. Publication.

A summary of this Ordinance shall be published and a certified copy of the full text of this Ordinance shall be posted in the office of the City Clerk at least five (5) days prior to the Council meeting at which it is adopted.

This Ordinance shall be in full force and effect thirty (30) days after its final passage, and the summary of this Ordinance shall be published within fifteen (15) days after the adoption, together with the names of those Councilmembers voting for or against same, in the Marin Independent Journal, a newspaper of general circulation published and circulated in the City of San Rafael, County of Marin, State of California.

Within fifteen (15) days after adoption, the City Clerk shall also post in the office of the City Clerk, a certified copy of the full text of this Ordinance along with the names of those Councilmembers voting for or against the Ordinance.

GARY O. PHILLIPS, Mayor

ATTEST:

Jeanna M. Leonaini, Deputy City Clark

ESTHER C. BEIRNE, City Clerk

The foregoing Ordinance No.1909 was read and introduced at a regular meeting of the City Council of the City of San Rafael on Monday, the 17th day of December, 2012, and was ordered passed to print by the following vote, to wit:

AYES:

Councilmembers: Heller, McCullough & Mayor Phillips

NOES:

Councilmembers: Connolly

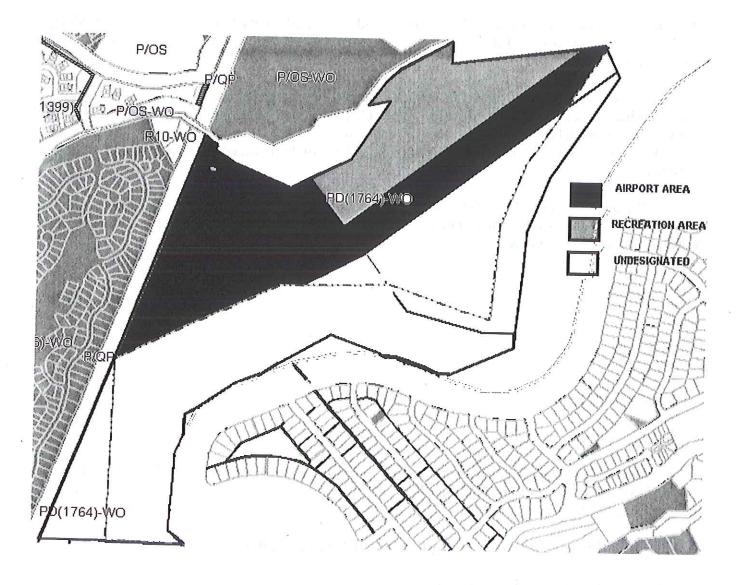
ABSENT:

Councilmembers: None

and will come up for adoption as an Ordinance of the City of San Rafael at a Regular Meeting of the Council to be held on the 7th day of January, 2013.

Jeanny Concini Deputy City Clark For ESTHER C. BEIRNE, CHy Clark

ZONING MAP



SAN RAFAEL AIRPORT – PLANNED DEVELOPMENT DISTRICT

I. PURPOSE OF PLANNED DEVELOPMENT DISTRICT

The purpose of the Planned Development (PD) –Wetland Overlay (-WO) District is to establish standards for development of the 119.5-acre San Rafael Airport property located off Smith Ranch Road, to accomplish the following:

- A. Accommodate development in compliance with the General Plan 2020 Airport/Recreation land use designation.
- B. Establish flexible development and design standards that will result in an integral development approach on this large and unique property in accord with an approved *Development Plan*.
- C. Locate development in areas to maintain open space buffers, preserve public views to the greatest extent feasible, and avoid sensitive areas on this property and in the surrounding area.
- D. Establish procedures for amendment to the PD District and approved Development Plan.
- E. Promote continued property maintenance for airport property use and safety.
- F. Maintain and implement the Wetland Overlay (-WO) classification for the entire site.

The PD-WO zoning classification will ensure the development of the site in accordance with the provisions of these property development regulations. The property development regulations may be modified through the PD amendment process.

II. LAND USES

Permitted uses consist of the following primary and ancillary land uses within areas designated on the PD-WO rezoning map exhibit, and subject to the approved *Development Plans*.

A. Permitted Land Uses

None

- B. Conditionally Permitted Primary Uses:
 - 1. Private airport. Use limited to 100-based aircraft; non-aviation uses consistent with those described in Attachment D and permitted by use permit; 100 airplane hangars; two residential units for a caretaker and security guard; 2,450 square foot non-aviation building (that has been constructed as part of the 22,500 square feet commercial/light industrial buildings); and landscaping and parking area improvements.
 - 2. Private recreational facility. Indoor multi-purpose gymnasium and outdoor field recreational areas for exercise, training, recreation, and instruction for individuals or groups. Examples include but are not limited to gymnasiums, sports/court facilities, dance, gymnastics, swimming, etc. This facility may include accessory uses such as community

SAN RAFAEL AIRPORT - PLANNED DEVELOPMENT DISTRICT

meeting rooms, administrative offices, café, sports shop and similar support services that are subordinate and related to the primary recreational use.

C. Ancillary Land Uses

Animal grazing in confined, fenced space for vegetation management purposes.

D. Undeveloped Areas

Areas of the property which are not designated for development with approved land uses, as indicated on the zoning map exhibit and the approved *Development Plans*, including perimeter levees, wetland and creek buffers, and designated conservations areas, shall be maintained as required for preservation, protection and airport safety.

E. Zoning Entitlements Required

- 1. All land uses shall be implemented through approval of a Master Use Permit.
- 2. All development shall be implemented in accordance with an approved Development Plan.
- 3. All building and site improvements shall require approval of an Environmental and Design Review permit.

II. DEVELOPMENT STANDARDS

The Planned Development–WO overlay district shall only be developed with the conditionally permitted private airport and private recreational facility uses in conformance with the PD-WO zoning map exhibit and the approved *Development Plans*, which consists of the associated drawings and reports submitted with the Planned Development as listed in the Exhibit section below (i.e., *Exhibit "A"*; approved Site Plan and Master Plan – San Rafael Airport, approved March 19, 2001 and Exhibit "B"; site plan titled Recreation Facility at the San Rafael Airport, Sheet A-1), and in the development standards set forth below.

A. Minimum Lot Area

The airport property shall be maintained as a single parcel of land, as described in the attached Legal Description (Attachment C). Minimum areas dedicated for approved land uses as shown on the approved Zoning Map Exhibit (Attachment A) shall remain subject to the standards and restrictions contained in this PD zoning district and indicated on the approved *Development Plans*.

B. Allowable Lot Coverage

1. Private airport and private recreation facility improvements shall be limited within the areas approved for development consistent with the approved *Development Plan*.

SAN RAFAEL AIRPORT – PLANNED DEVELOPMENT DISTRICT

- 2. Minor additions and modifications, including small, ancillary accessory structures located within areas approved for development may be permitted subject to approval of a minor Environmental and Design Review permit. Major modifications or expansion to structures or improvements shall be subject to a major Environmental and Design Review permit.
- 3. Undesignated property area shall not contain any permanent structures.

Areas that are not designated for development with land uses, i.e., undesignated property areas, include APN: 155-230-13 located south of the runway and in the City corporate boundary, APN: 155-230-10 located at the southwest terminus of the site and in the City corporate boundary, and APN's: 155-230-14, 15 and 11 that run along the South Fork of Gallinas Creek outside of the City corporate boundary.

C. Gross Building Areas

The conditionally permitted land uses shall be limited to the following building areas:

- 1. 210,000 square feet for the aircraft hangers/ancillary airport administrative office on the land area designated Private Airport use (e.g., approx. 38 acres of land identified as APN: 155-230-11)
- 2. 22,500 square feet for commercial/light-industrial buildings in a segregated area on the land area designated Private Airport use
- 3. 85,700 square feet for an indoor recreational building on the area designated for Private Recreational Facility use (e.g., approx. 16 acres of land identified as APN: 155-230-12)

Minor increases in gross building areas may be permitted for minor additions and ancillary accessory structures for land uses within the developable areas on the approved *Development Plans*, subject to approval of a minor amendment through grant of Environmental and Design Review permit. Major modifications or expansion to structures or improvements shall be subject to a major Environmental and Design Review permit.

D. Setbacks

- 1. Setbacks for the airport facility and associated light-industrial/commercial uses and the two residential uses are as established by the approved Site Plan and Master Plan San Rafael Airport, approved March 19, 2001 (Exhibit "A").
- 2. Setbacks for the indoor and outdoor recreational facility and associated improvements are as established by the approved site plan titled *Recreation Facility* at the San Rafael Airport, Sheet A-1 (Exhibit "B"). This includes the following minimum setbacks established for the development footprint:
 - a. 100-foot setback measured from top of North Fork of Gallinas Creek to the recreational facility structures and improvements.

SAN RAFAEL AIRPORT - PLANNED DEVELOPMENT DISTRICT

- b. 135-foot setback from the edge of the runway to the south perimeter of the recreational facility site improvements.
- c. 50-foot setback from designated wetlands to the nearest wall of the recreational facility building.

E. Building Height

- 1. Height limits for the airport and light industrial buildings shall not exceed 36 feet, as illustrated on the Site Plan and Master Plan San Rafael Airport, dated March 19, 2001 (Exhibit "A").
- 2. Height limits for the recreational facility shall be as follows:
 - a. Building heights shall not exceed 36-feet, as measured in accordance with the San Rafael Zoning Ordinance method for measurement (UBC 1997). The recreational building shall not exceed 39-foot-6-inch *overall* height as measured from finished grade to peak of roof.
 - b. Vegetation, structures, or improvements shall not intersect the 7:1 'ascending clear zone' established from the airport runway for aircraft safety.

Exclusions to the maximum height limits shall be as prescribed by Section 14.16.120 of the Zoning Ordinance, as amended.

F. Parking Standards

- 1. Private airport and non-aviation uses shall maintain the following parking spaces, as shown on the Site Plan and Master Plan San Rafael Airport, dated March 19, 2001 (Exhibit "A")
 - a. 24 visitor and employee parking spaces in front of the main entry gate to the airport facility.
 - b. 2 parking spaces for each residential unit.
- 2. Private recreational uses shall provide sufficient parking spaces for all permitted multipurpose gymnasium and sports field recreational uses in compliance with the City of San Rafael Parking Regulations (Chapter 14.18). Parking for the recreational facility shall include the following parking rates based on the mix of uses evaluated by the parking study prepared for the facility:
 - a. Gymnastics Studio:

1 space per 300 sq. ft. of gross floor area

b. Dance Studio:

1 space per 240 sq. ft. of gross floor area

SAN RAFAEL AIRPORT - PLANNED DEVELOPMENT DISTRICT

c. Indoor Sports Field:

32.5 spaces per field

d. Outdoor Sports Field:

65 spaces

Ancillary support services shall provide parking as determined by facility parking study, or default to San Rafael Municipal Code Chapter 14.18 parking ordinance requirement.

Parking shall be provided for change in occupancy or expansion based on the standards above. Any proposed new occupancies that do not have a specific parking rate assigned shall be parked at the rate established for the use in the City Parking Regulations Chapter 14.18, and/or subject to review by the City Traffic Engineer to determine the appropriate parking rate. An updated parking study may be required.

G. Conservation Area

A conservation area shall be established between the recreational facility and north fork of Gallinas Creek. The purpose of the conservation area shall be to permanently preclude development with structures and improvements between the recreational facility improvements and the North Fork of Gallinas Creek.

The conservation area shall include the jurisdictional wetland areas and 50-foot minimum wetland setbacks and the 100-foot buffer zone setback established from the North Fork of Gallinas Creek top of bank.

Maintenance practices and activities including disking, mowing, sheep grazing and levee maintenance may continue to occur within the conservation area.

H. Levee Protection

The perimeter levee system located on the property that protects the developed portions of the site shall be maintained by the property owner(s) (currently at minimum elevation of 9-feet MSL) to provide adequate protection from flooding. The site shall be subject to any future zoning ordinance standards or adaptive strategies adopted by the City to assure that ongoing levee maintenance and flood protection is provided for the site and community.

Modifications to the height or design of the levee system shall be subject to additional City review and permits, including Environmental and Design Review permits.

I. Undesignated Land Area

The undesignated and undeveloped lands within the City of San Rafael jurisdiction are primarily located south of the airport runway and South Fork of Gallinas Creek, inboard of the levee system. Additional lands are located within the County of Marin jurisdiction and may include some lands outboard of the levee. Undeveloped land areas are not approved for development with structures or additional land uses, and shall remain as low-lying undeveloped

SAN RAFAEL AIRPORT – PLANNED DEVELOPMENT DISTRICT

lands that may be maintained for airport safety purposes (including grazing and maintenance of grasses and aviation aids).

J. Definition of Terms

Land uses shall be established in compliance with the provisions of the PD district through issuance of a use permit. The Community Development Director shall be responsible for implementing this PD district and all conditions of approval, and making any determinations necessary regarding land uses. An administrative decision of the Planning Director may be appealed to the Planning Commission.

III. EXHIBITS

This PD shall be implemented in accordance with the following approved *Development Plan* exhibits:

- A. The "San Rafael Airport Master Plan" approved plans for the private airport use area include exhibits prepared by L.A. Paul & Associates, March 19, 2001, Sheets A-0, A-1, A-2, A-3, A-4 and A-5.
- B. The "San Rafael Airport Recreational Facility" plans for the private recreational use area include:
 - Architectural Plans prepared by L.A. Paul & Associates Sheets A.0, A.1, A.2, A.3, A.4, A.5, A.6 and A.7.
 - Civil Engineering Plans prepared by Oberkamper & Associates consisting of Sheet C-1, C-2, C-3, C-4 and C-5.
 - Landscape Plan prepared by Baronian & Whisler Landscape Architecture and Land Planning, consisting of Sheet L-1.
 - Photometric Study prepared by Associated Lighting Representatives consisting of Sheet 1.

IV. AMENDMENTS

- A. Modifications that exceed the standards prescribed by this PD, or proposed uses that are not consistent with the land use regulations of the approved *Development Plan*, shall require an amendment to the PD District and associated *Development Plan*.
- B. Changes to the land uses permitted in this Planned Development (PD) District shall be administered through an amendment to the Use Permit as prescribed by the Master Use Permit.

SAN RAFAEL AIRPORT – PLANNED DEVELOPMENT DISTRICT

C. Revisions to the design of structures or construction of new accessory building(s) associated with permitted or conditionally permitted uses shall be administered through an Environmental and Design Review Permit.

Legal Property Description

ALL THAT CERTAIN real property situate partly in the City of San Rafael, County of Marin, State of California, described below as follows:

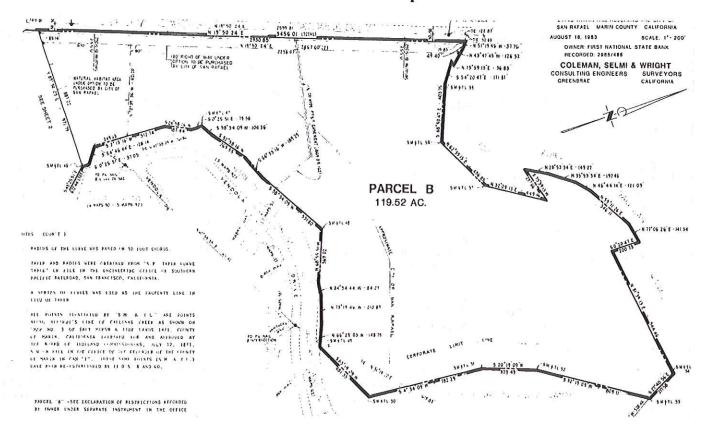
PARCEL ONE:

Parcel B, as shown upon that certain Parcel Map entitled "Parcel Map Civic Center North, lying within and adjoining the City of San Rafael, Marin County, California", filed for record December 15, 1983 in Book 21 of Parcel Maps, at Page 70, Marin County Records.

EXCEPTING THEREFROM any portion of the above described property lying within the bed of the Gallinas Canal (North or South Forks) below the line of natural ordinary high tide and also excepting any artificial accretions to said land waterward of said line of Natural ordinary high tide, as said canal is shown upon that certain map entitled, "Map No. 3 of Salt Marsh and Tide Lands, situate in the County of Marin, State of California", filed for record July 25, 1960 in Can "F", Marin County Records.

Legal Property Description

Plat - Parcel Map



Permitted Non-aviation Use at San Rafael Airport Facility

KEY	TENANT	TYPE OF USE	DESCRIPTION	EMPLOYEES	UPDATE
2	Steve Cosey	Auto Repair	Warehouse w/small office Outside storage	3	Building formerly occupied by Underground Construction fenced yard approx. 900 sf
3	Pat Phillips	Boat repair and storage	Shop	3	No change. Use is same under new plan.
4	Bartlett Tree Experts Remote Yard	Contractor	Outside storage	0	Relocated, next to Linscott's yard approx. 3500 S.F, formerly Roots yard
5	H&H Management	Grazing	Livestock, hay and grain storage structures, fences, staging areas	0	H&H will reintroduce in future.
6	Lulu Metal	Metal Sculpture Artist	Workshop. Storage of materials	1	Formerly Community Playgrounds.
7	Superior Roofing	Contractor	Small office, shop and fenced storage of roofing supplies and equipment.	4	Building formerly occupied by Caron plumbing, Storage yard Formerly used by Lyle Reed Striping and Newton trucking, The yard shape is adjusted under the new plan; otherwise there are no changes.
8	demolished	Warehouse	Shop and storage within building.	2	Demolished as part of current Master Planimprovements.
9	Tom Muirhead	Warehouse	Cabinet shop and storage within building	1	Replaced Bartlett Tree Experts
10	Vacant	Office	Contractor's office.	2 (assumed)	Formerly Rich Nave Building Contractor office.
11	Walt Jewell Trucking	Truck storage	26	1	No change. Under new plan remains in approximately same place.
12	3 Containers (southwest of Linscott)	Misc. Storage	8' X 20' sea containers	0	Current use is as permitted under condition #8 of previous use permit. Under new plan these are eliminated.
13	Bartlett Tree Experts	Contractor	Office shop and fenced storage yard.	14	Building and fenced yard Previously occupied by Bauman then Four Seasons.

CITY OF SAN RAFAEL

SAN RAFAEL, CALIFORNIA

INTER-DEPARTMENTAL MEMORANDUM

DATE: April 25, 2022

TO: LUIS RODRIGUEZ

FROM: David Eaton 415-847-8411

SUBJECT: Planning File #PLAN22-049 - 440 SMITH RANCH RD

Junior tennis facility at 440 Smith Ranch Rd

This memorandum is intended to assist the applicant in determining the feasibility of this project and in the preparation of construction documents regarding compliance with the California Code of Regulations Title 24 and local ordinance requirements. After review of the application and plans provided for this project, the **Fire Prevention Bureau** has the following comments:

- 1. The design and construction of all site alterations shall comply with the 2019 California Fire Code, current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.
- 2. A detailed fire apparatus access plan shall be prepared for this project.

These preliminary comments could change as the project progresses through the review processes.

CITY OF SAN RAFAEL, CALIFORNIA DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

TO: LUIS RODRIGUEZ DATE: November 8, 2022

ASSISTANT PROJECT PLANNER

FROM: MATTHEW PEPIN, PE SENIOR CIVIL ENGINEER

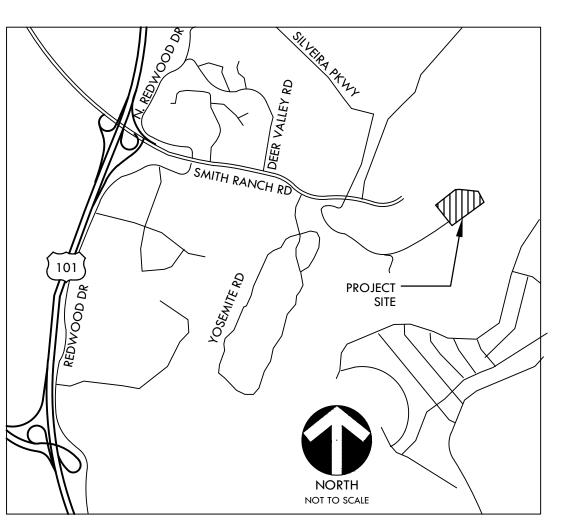
SUBJECT: Planning File #PLAN22-049 – 440 Smith Ranch Rd

We have reviewed the referenced application and have the following comments:

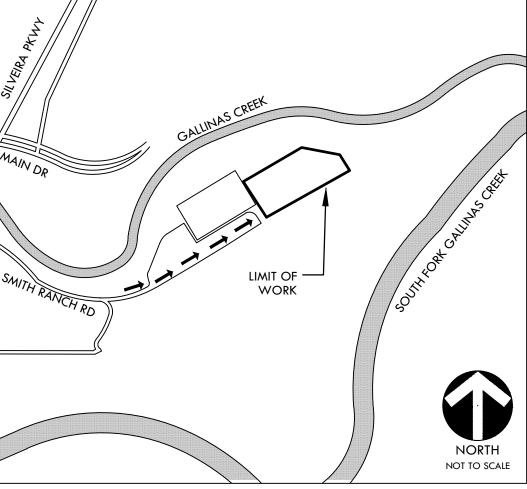
- Prior to start of construction, a grading permit shall be required from the Department of Public Works. Applications can be found on the City's website: https://www.cityofsanrafael.org/grading-permits/
- Please provide a cross section detail of the proposed treatment area that includes the thicknesses of the proposed soil and gravel layers and the placement on the perforated pipe. Please refer to the BASMAA post construction manual for additional information.
- This project proposes work adjacent to a creek. The applicant will be responsible for obtaining any permits from regulatory agencies prior to starting work.
- Include energy dissipators at storm drain discharge points for proper erosion control.
- Self-retaining areas are typically vegetative areas that can retain water. DMA 16 includes synthetic turf with a sub drain and does not appear to be retaining water. Please route the area to a treatment area or provide a detail demonstrating the turf is retaining stormwater.
- A construction vehicle impact fee shall be required at the time of building permit issuance, which is calculated at 1% of the valuation, with the first \$10,000 of valuation exempt.
- This project is considered a regulated project and the following documents are required in addition to the stormwater control plan.
 - O Stormwater Facilities Operations and Maintenance (O&M) Plan A short written document and exhibit outlining facilities on-site and maintenance activities and responsibilities for property owners. (Provide prior to occupancy)
 - Operations and Maintenance Agreement A formal agreement between the property owner and the city that shall be recorded with the property deed prior to occupancy. Please contact Public Works for agreement template (Provide prior to occupancy)
- An encroachment permit is required from the Department of Public Works prior to conducting any
 work within or any time the Public Right-of-Way (ROW) is restricted. Encroachment permits can be
 applied for online on the City of San Rafael website:
 https://www.cityofsanrafael.org/encroachment-permits/

Please contact Matt Pepin at the Department of Public Works with questions regarding these comments:
Matt Pepin – 415.725.9346 or email at Matthew.Pepin@cityofsanrafael.org

PROJECT MAPS



VICINITY MAP



APPLICABLE CODES

1. 2019 CBC CHAPTER 35: PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS. WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.

2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 C.C.R.

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R. (2018 INTERNATIONAL BUILDING CODE VOLUMES 1-2 AND 2019 CALIFORNIA AMENDMENTS)

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.

(2017 NATIONAL ELECTRICAL CODE AND 2019 CALIFORNIA AMENDMENTS) 2019 CALIFORNIA MECHANICAL CODE (CMC) PART 4, TITLE 24 C.C.R.

(2018 UNIFORM MECHANICAL CODE AND 2019 CALIFORNIA AMENDMENTS) 2019 CALIFORNIA PLUMBING CODE (CDC), PART 5, TITLE 24 C.C.R.

(2018 UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS) 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.

2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.

(2018 INTERNATIONAL FIRE CODE AND 2019 CALIFORNIA AMENDMENTS) 2019 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.

(2018 INTERNATIONAL EXISTING BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS) 2019 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.

2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R. TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

LIST OF FEDERAL CODES AND STANDARDS (IF APPLICABLE)

AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III

FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)

FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) 2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN

NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE MAY APPLY TO THE PROJECT.

28 CFR 35.151(C)

28 CFR 36.406

NFPA 13	AUTOMATIC SPRINKLER SYSTEMS	2019 EDITION	
NFPA 14	STANDPIPE SYSTEMS	2019 EDITION	
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION	
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION	
NFPA 20	STATIONARY FIRE PUMPS	2019 EDITION	
NFPA 24	PRIVATE FIRE SERVICE MAINS	2019 EDITION	
NFPA 72	NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) (NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES)	2019 EDITION	
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION	
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION	
ASME 17.1	ELEVATOR STANDARD	2016 EDITION	

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2019 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35

ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)

2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS. DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING

3. ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.11, CFC 904.11.

CONSTRUCTION DRAWINGS FOR

Attachment #4

SAN RAFAEL AIRPORT RACQUET CLUB COMPLEX

(PREVIOUSLY APPROVED AS OUTDOOR SOCCER) 440 SMITH RANCH RD. SAN RAFAEL, CA 94903 VERDE DESIGN, INC. PROJECT NO. 2117500

PREPARED BY









SCOPE OF WORK

*CONSTRUCTION OF WORK COULD BE DONE IN TWO PHASES. SEE SHEET L1.1 FOR PHASING PLAN

GENERAL NOTES

- PRIOR TO BIDDING. THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT 15. OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT
- 2. NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE OWNER.
- 3. THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & 17. THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE OWNER, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES, AND REPORT POTENTIAL CONFLICTS TO THE OWNER PRIOR TO EXCAVATING FOR NEW FACILITIES.
- 4. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS. 19.
- 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- 6. DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER.
- 7. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- 8. ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- 9. THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE HEREIN REFERRED TO AS THE "CONTRACT DOCUMENTS".
- 10. DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED
- 11. ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.

ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.

- 12. CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS 24. OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- 13. ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS 25. AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

- 14. ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE OWNER AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- 16. ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL/OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- 20. NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBMITTAL AND SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- 22. ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- 23. CONTRACTOR SHALL PERFORM THEIR CONSTRUCTION AND OPERATIONS IN A MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR THE OWNER DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

CITY OF SAN RAFAEL REVIEWED FOR CODE COMPLIANCE

This set of plans and specifications shall be kept on the iob site at all times and readily available to City Review of these plans and specifications shall not be held to permit or to be an approval to violate any Don C. Jeppson Date 05/05/2023 Permit # B2303-046

APPROVED w/ conditions Planning Division

Project: B2303-046

Please see planning comments dated 4/27/2023

CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
OWNER SAN RAFAEL AIRPORT LLC	BOB HERBST	(415) 472-7700
CIVIL ENGINEER/ LANDSCAPE ARCHITECT VERDE DESIGN INC.	DEVIN CONWAY WES DOWNING	(408) 850-3420 (707) 800-4204
ELECTRICAL ENGINEER FBA ENGINEERING	STEPHEN ZAJICEK	(949) 852-9995

CHEET INIDEX

2HEEL INDEX	(22 Sheets)
SHEET NO.	SHEET DESCRIPTION
_	COVER SHEET
LANDSCAPE/CIVIL	
L1.0	CONDITIONS OF APPROVAL PLAN
L1.1	PHASING PLAN
L2.0	EXISTING CONDITIONS SURVEY PLAN
L3.0	EROSION AND SEDIMENT CONTROL PLAN
L4.0	GRADING PLAN
L5.0	DRAINAGE AND UTILITY PLAN
L6.0	LAYOUT PLAN
L7.0	MATERIAL AND DETAIL REFERENCE PLAN
L8.0	IRRIGATION PLAN
L9.0	PLANTING PLAN
LD1.0	CONSTRUCTION DETAILS
LD1.1	CONSTRUCTION DETAILS
LD2.0	CONSTRUCTION DETAILS
LD3.0	CONSTRUCTION DETAILS
LD4.0	CONSTRUCTION DETAILS
LD5.0	CONSTRUCTION DETAILS
ELECTRICAL	
E-1	GENERAL NOTES & SYMBOL LIST
E-2	SINGLE LINE DIAGRAMS
E-3	PANEL SCHEDULES & LIGHTING CONTROLS
E-4	LIGHTING FIXTURES SCHEDULES & DETAILS

E-1	GENERAL NOTES & SYMBOL LIST
E-2	SINGLE LINE DIAGRAMS
E-3	PANEL SCHEDULES & LIGHTING CONTROL
E-4	LIGHTING FIXTURES SCHEDULES & DETAILS
- 5	SITE ELECTRICAL PLAN

Planning Division Standard Conditions of Approval

- Conditions Shall be Printed on Plans. The conditions of this Permit shall be printed on the second sheet of each plan set submitted for a building permit pursuant to this Use Permit, under the title 'Use Permit Conditions.' Additional sheets may also be used if the second sheet is not of sufficient size to list all the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.
- Applicant Responsible for Compliance with Conditions. The applicant shall ensure compliance with all the following conditions, including submittal to the project planner of required approval signatures at the times specified. Failure to comply with any condition may result in construction being stopped, issuance of a citation, and/or modification or revocation of the Use Permit.
- 3. Plans and Representations Become Conditions. All information and representations, whether oral or written, including the building techniques, materials, elevations and appearance of the project, as presented for approval on plans, dated 12/29/2022 and on file with the Community Development Department, Planning Division, shall be the same as required for the issuance of a building permit, except as modified by these conditions of approval. Minor modifications or revisions to the project shall be subject to review and approval by Planning staff. Modifications deemed not minor by the Community Development Director may require review and approval as an amendment to the Environmental and Design Review Permit by Planning staff.
- 4. <u>Subject to All Applicable Laws and Regulations</u>. The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to any construction, tenant improvement or installation of signage, the applicant shall identify and secure all applicable permits from the Planning and Building Divisions, Public Works Department and other affected City divisions and departments.
- 5. Permit Validity. This Permit shall become effective on 12/29/2022 and shall be valid for a period of two (2) years from the date of final approval, or 12/29/2024, and shall become null and void if a building permit is not issued or a time extension granted by 12/29/2024. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced. A permit for the use of a building or a property is exercised when, if required, a valid City business license has been issued, and the permitted use has commenced on the property.
- 6. Construction Hours: Consistent with the City of San Rafael Municipal Code Section 8.13.050.A, construction hours shall be limited to 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays. Construction shall not be permitted on Sundays or City-observed holidays. Construction activities shall include delivery of materials, hauling materials off-site; startup of construction equipment engines, arrival of construction workers, paying of radios and other noises caused by equipment and/or construction workers arriving at, or working on, the site.
- 7. <u>Landscaping</u>. Landscaping and irrigation must meet the Marin Municipal Water District's (MMWD) water conservation rules and regulations. All existing landscaping damaged during construction shall be replaced. All landscaping shall be maintained in a healthy and thriving condition, free of weeds and debris. Any dying or dead landscaping shall be replaced in a timely fashion. No part of the existing landscaping shall be removed, unless their removal has been reviewed and approved by the Planning Division.
- 8. Exterior Lighting. All exterior lighting shall be energy efficient where feasible; and shielded and directed downward and away from property lines to prevent excessive glare beyond the subject property.
- 9. <u>Subject to Review</u>. This permit is subject to review, imposition of additional conditions, or revocation if factual complaint is received by the Zoning Officer that the maintenance or operation of this establishment is violating any of these or other required conditions or is detrimental to the health, safety, peace, morals, comfort or general welfare of persons residing or working in the neighborhood or is detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

DRAWING NAME: Y:\Projects-SR\2021\2117501 - San Rafael PLOT DATE: 02-22-23 PLOTTED BY: station5

- 10. San Rafael Fire Prevention Bureau. See Inter-Departmental Memorandum, dated December 20, 2022 by David Eaton.
- 11. Public Works. See Memorandum, dated November 8, 2022 by Matthew Pepin, Senior Civil Engineer.
- 12. Outdoor Use Hours: The hours of operation for the outdoor sports shall be as follows:
- a. 9:00 A.M to 9:00 P.M. Daily (seven days a week)
 b. Saturday and Sunday hours of operation can start at 8:00 A.M. during the winter season (November 1 to May 15)
- 13. All recreational activities and ancillary uses shall end by the designated hours of operation and all patrons shall be directed to leave the facility by the designated allowable hours of operation (e.g. event curfew) and/or premises parking areas promptly after close of facility. Congregating in parking areas shall be discouraged during non-business hours. Maintenance and cleaning crews, employees and security personnel may be allowed to conduct their routines tasks and shall enter the site no earlier than one hour before the beginning and leave no later than one hour past the allowable hours of operation.
- 14. No noise amplification devices including indoor or outdoor speaker systems, loudspeaker or bullhorns shall be allowed as this would create potential nuisance impacts on nearby residents.
- 15. No fixed or temporary bleachers for spectator seating shall be permitted in conjunction with the use of the outdoor recreational fields,
- 16. No sale or consumption of alcoholic beverages or food vendors are permitted to operate outside the recreational facility building.
- 17. Exterior lighting at the recreational facility use shall be designed and maintained to implement mitigation measures MM Bio-2e (Event Curfew), MM Bio-3a (Nocturnal Lighting), MM Bio-3b (Lighting Curfew), and MM Aesth-1a as outlined in the MMRP incorporated by reference herein, an included under Environmental and Design Review Permit No. ED-05-15 conditions of approval. This includes the following lighting limitations related to use of the facility:
- a. Exterior lighting provided on master photoelectric cell;
 b. Provisions of sufficient security level lighting;
- c. Outdoor field lighting shall be set to turn off 15 minutes after the last game; 9:00
- P.M. at the latest on weekdays and City holidays;
 d. Security level lighting shall be set to turn off in parking areas and pedestrian
- walkways one-half hour after close of the facility;
 e. Lighting of the outdoor tennis and paddle courts shall be designed to have focused illumination that will ensure no direct lighting of off-site areas, such as the North Fork of Gallinas Creek.
- Lighting fixtures on the perimeter of the project shall be outfitted with hoods and cut-off lenses so that the light source itself is not visible to the naked eye from neighboring properties, thereby avoiding indirect light "trespassing" into adjacent habitat areas.
- g. All outdoor event lighting shall set a 10:00 P.M restriction. By which time all outdoor field lighting should be turned off.

CITY OF SAN RAFAEL, CALIFORNIA DEPARTMENT OF PUBLIC WORKS

MEMORANDUM

TO:

DATE: November 8, 2022

FROM:

: MATTHEW PEPIN, PE SENIOR CIVIL ENGINEER

LUIS RODRIGUEZ

SUBJECT: Planning File #PLAN22-049 – 440 Smith Ranch Rd
We have reviewed the referenced application and have the following comments:

ASSISTANT PROJECT PLANNER

- Prior to start of construction, a grading permit shall be required from the Department of Public Works. Applications can be found on the City's website: https://www.cityofsanrafael.org/grading-permits/
- Please provide a cross section detail of the proposed treatment area that includes the thicknesses of the proposed soil and gravel layers and the placement on the perforated pipe. Please refer to the BASMAA post construction manual for additional information.
- This project proposes work adjacent to a creek. The applicant will be responsible for obtaining any
 permits from regulatory agencies prior to starting work.
- Include energy dissipators at storm drain discharge points for proper erosion control.
- Self-retaining areas are typically vegetative areas that can retain water. DMA 16 includes synthetic
 turf with a sub drain and does not appear to be retaining water. Please route the area to a treatment
 area or provide a detail demonstrating the turf is retaining stormwater.
- A construction vehicle impact fee shall be required at the time of building permit issuance, which is
 calculated at 1% of the valuation, with the first \$10,000 of valuation exempt.
- This project is considered a regulated project and the following documents are required in addition to the stormwater control plan.
 - Stormwater Facilities Operations and Maintenance (O&M) Plan A short written document and exhibit outlining facilities on-site and maintenance activities and responsibilities for property owners. (Provide prior to occupancy)
 - Operations and Maintenance Agreement A formal agreement between the property owner and the city that shall be recorded with the property deed prior to occupancy. Please contact Public Works for agreement template (Provide prior to occupancy)
- An encroachment permit is required from the Department of Public Works prior to conducting any
 work within or any time the Public Right-of-Way (ROW) is restricted. Encroachment permits can be
 applied for online on the City of San Rafael website:
 https://www.cityofsanrafael.org/encroachment-permits/

Please contact Matt Pepin at the Department of Public Works with questions regarding these comments:

Matt Pepin - 415.725.9346 or email at Matthew.Pepin@cityofsanrafacl.org

CITY OF SAN RAFAEI

SAN RAFAEL, CALIFORNIA

INTER-DEPARTMENTAL MEMORANDUM

 DATE:
 April 25, 2022

 TO:
 LUIS RODRIGUEZ

 FROM:
 David Eaton 415-847-8411

 SUBJECT:
 Planning File #PLAN22-049 - 440 SMITH RANCH RD

Junior tennis facility at 440 Smith Ranch Rd

This memorandum is intended to assist the applicant in determining the feasibility of this project and in the preparation of construction documents regarding compliance with the California Code of Regulations Title 24 and local ordinance requirements. After review of the application and plans provided for this project, the Fire Prevention Bureau has the following comments:

- The design and construction of all site alterations shall comply with the 2019 California Fire Code, current NFPA Standards, and all applicable City of San Rafael Ordinances and Amendments.
- 2. A detailed fire apparatus access plan shall be prepared for this project.

These preliminary comments could change as the project progresses through the review processes.

CITY OF SAN RAFAEL CONDITIONS OF APPROVA PLAN 22-049/ED22-019

REVISIONS

SAN RAFAEL TENNIS COMPL 440 SMITH RANCH ROAD SAN RAFAEL, CA 94903

Date (-31-23)
Scale

Drawn

Job

Sheet

Of | Sheets

VERDE DESIGN

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

3558 Round Born Blvd. Suite 200
Santa Rosa, CA 95403
tel: 707.800.4204
fax: 408.985.7260
www.VerdeDesignInc.com

STAMP

PROFESS/ONA

No. C-56494

Signature

EXPIRATION DATE:
June 30, 2023

OF CAL IFORM

OF CAL IFORM

PROFESS/ONA

No. C-56494

PROFESS/ONA

PROFESS/ONA

No. C-56494

PROFESS/ONA

PROFE

CONSULTANT

REVIEWED FOR CODE COMPLIANCE Building Inspection Division City of San Rafael

SHEET TITLE

CONDITIONS OF APPROVAL PLAN

PROJECT NAME

SAN RAFAEL
AIRPORT RACQUET
CLUB COMPLEX

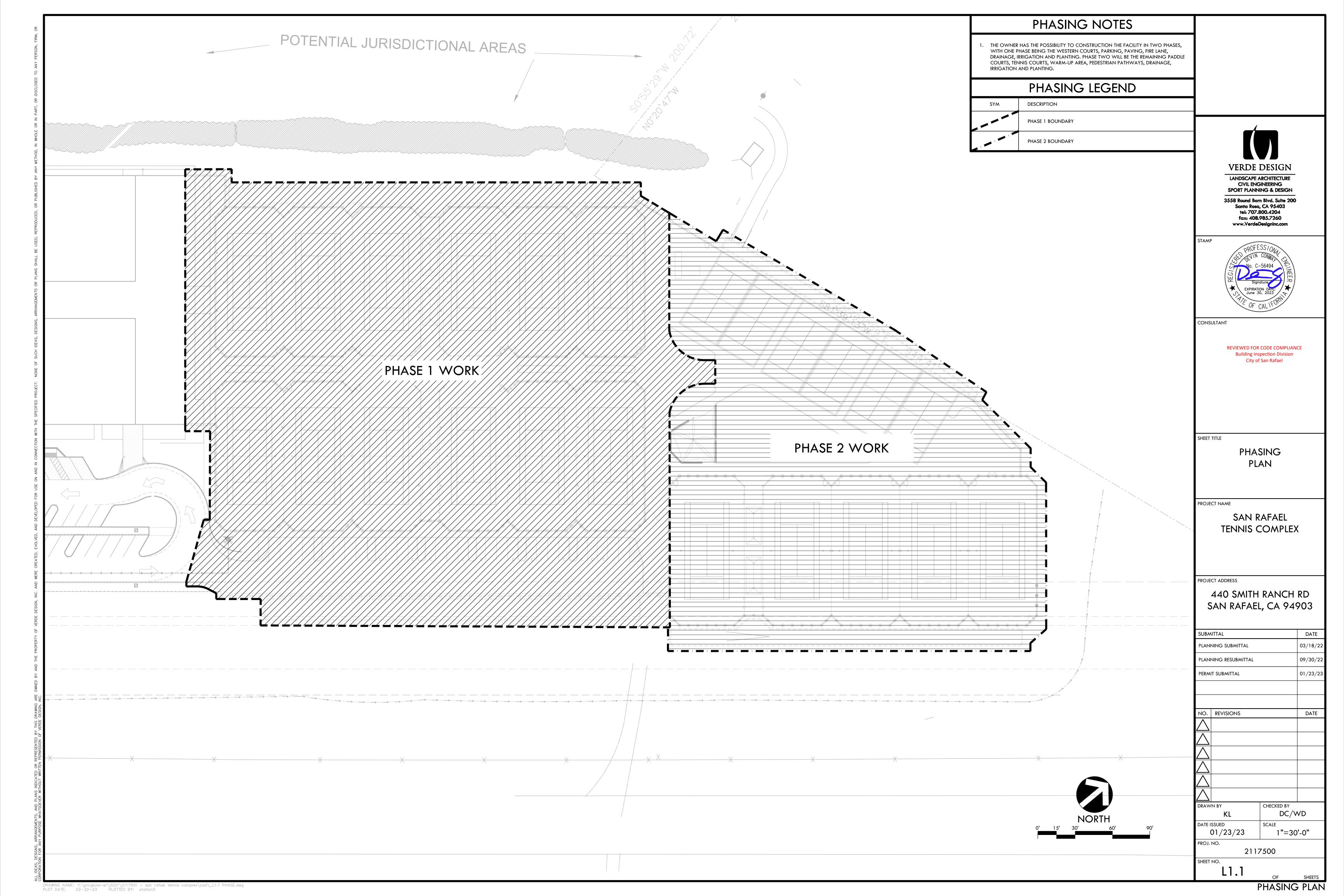
PROJECT ADDRESS

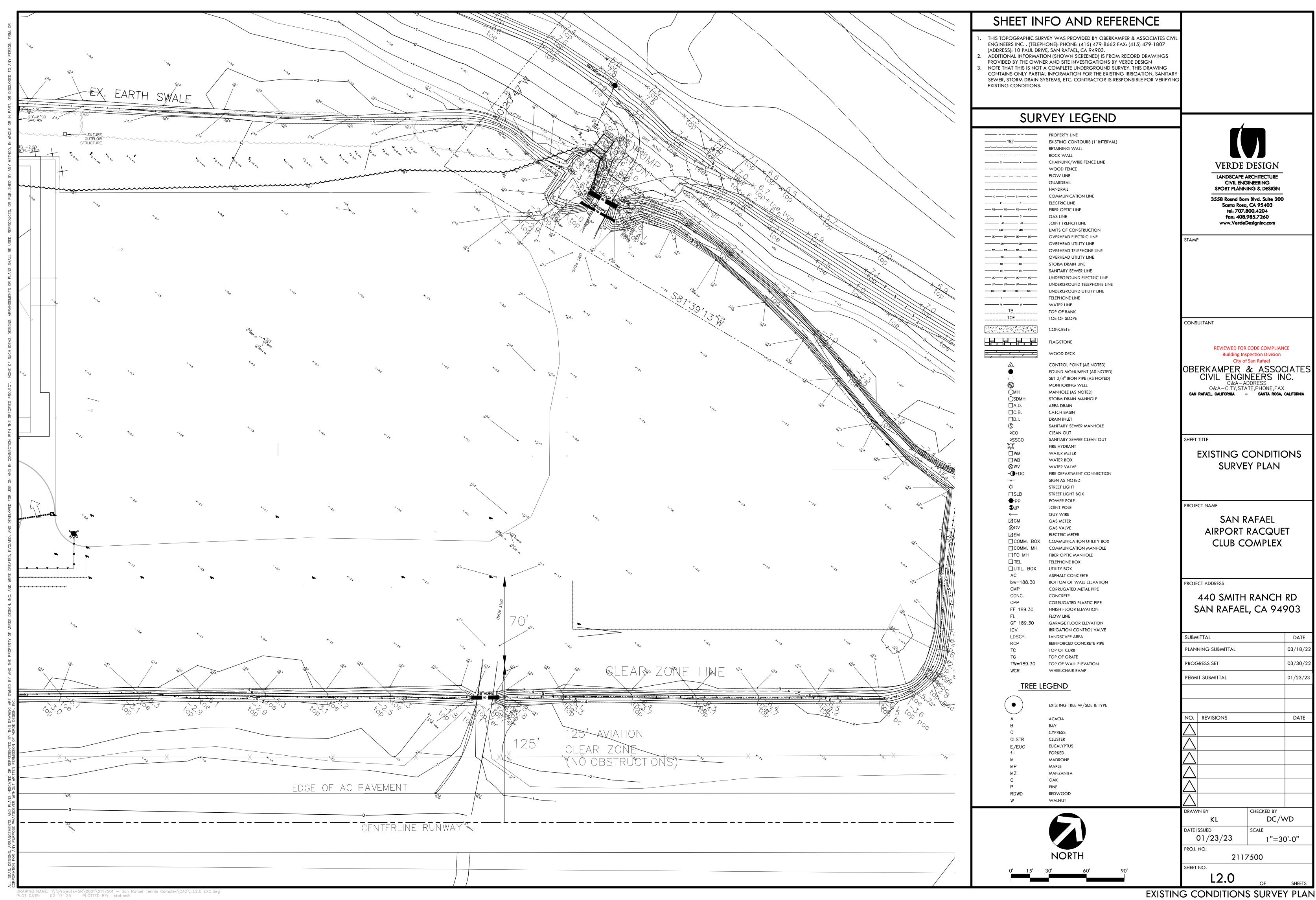
440 SMITH RANCH RD SAN RAFAEL, CA 94903

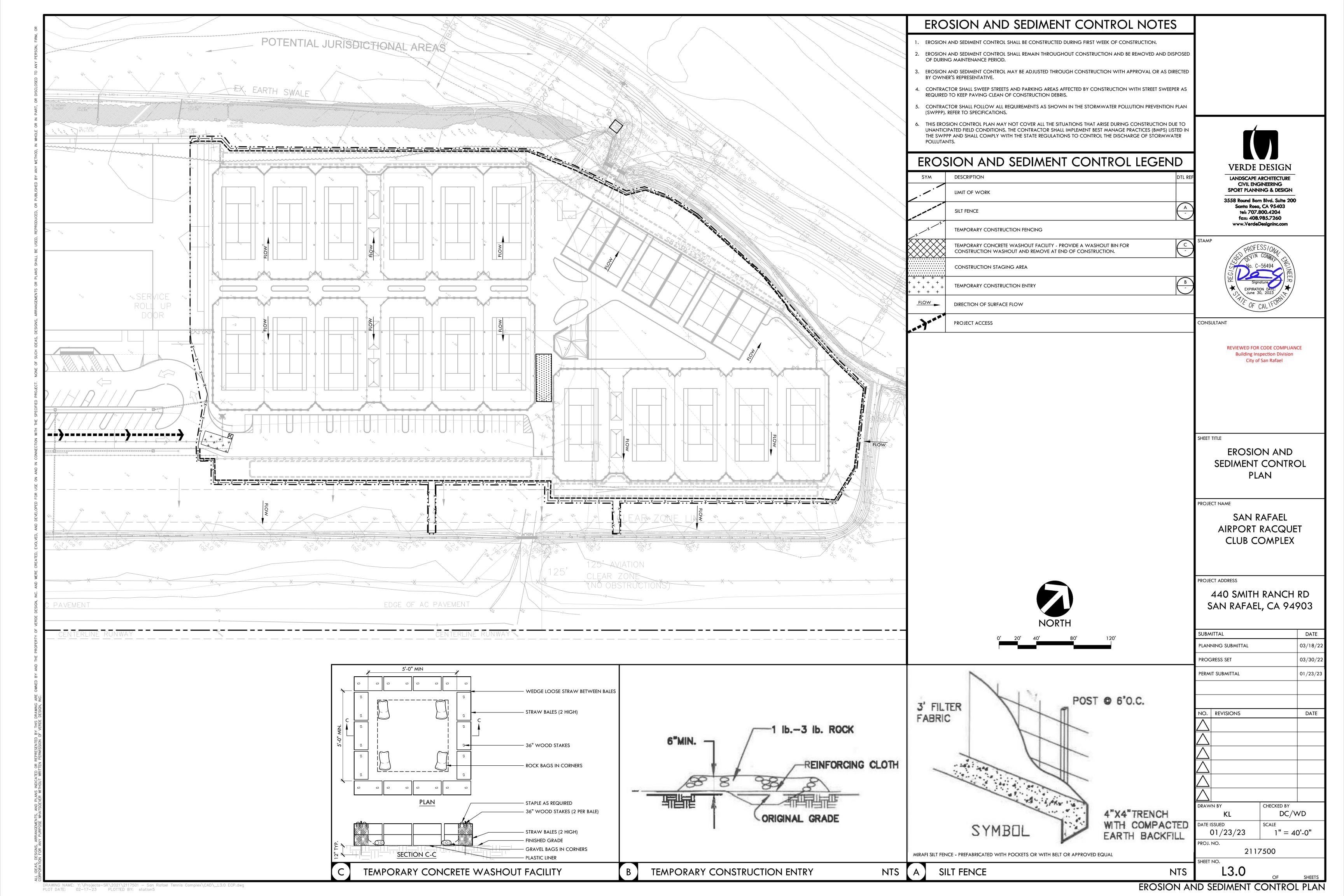
SUBMITTAL DATE 03/18/22 PLANNING SUBMITTAL 03/30/22 PROGRESS SET PERMIT SUBMITTAL 01/23/23 NO. REVISIONS DATE DRAWN BY CHECKED BY DC/WD DATE ISSUED 01/23/23 1"=30'-0" PROJ. NO. 2117500

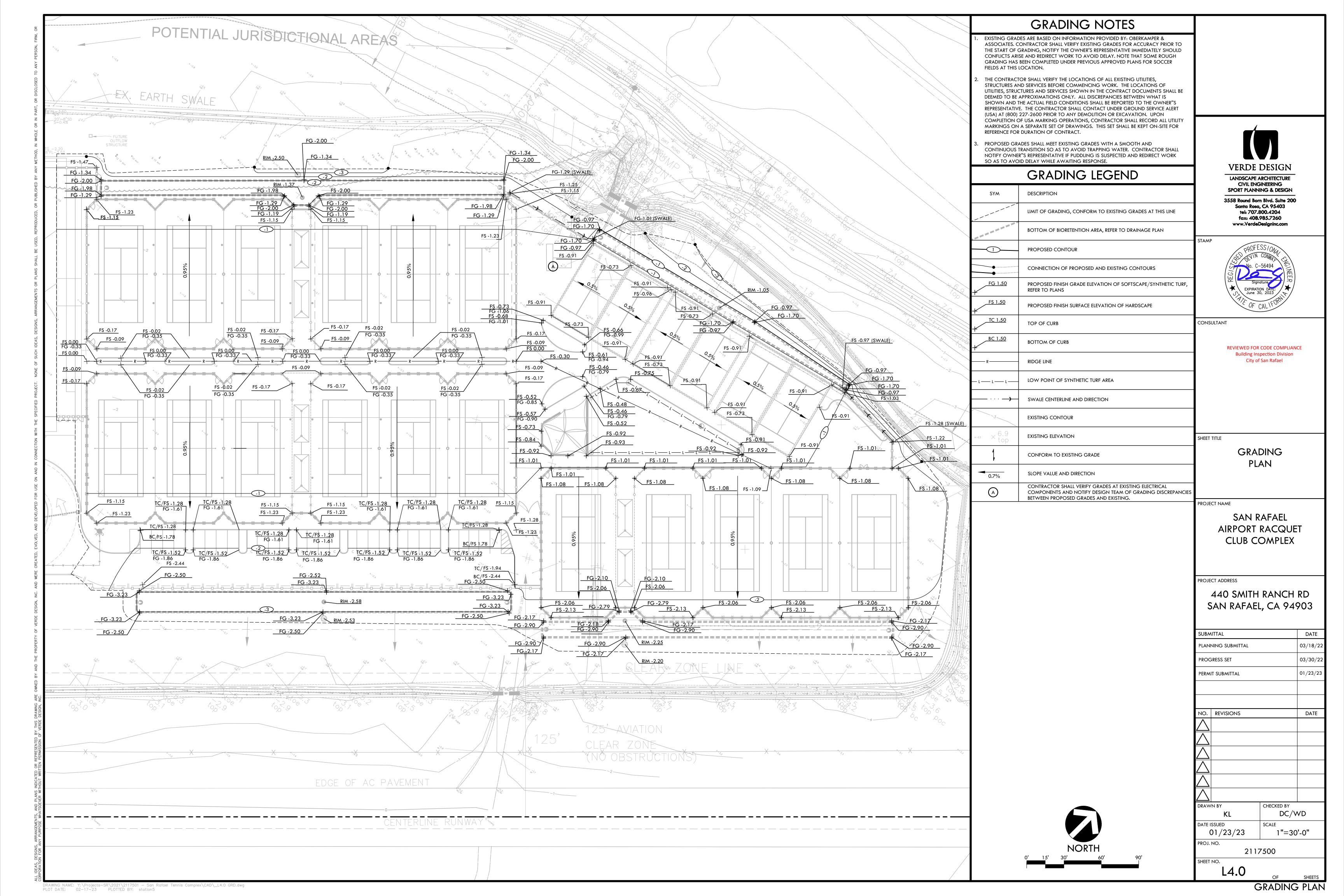
SAN RAFAEL TENNIS COMPLEX CONDITIONS OF APPROVAL PLAN 22-049/ED22-019

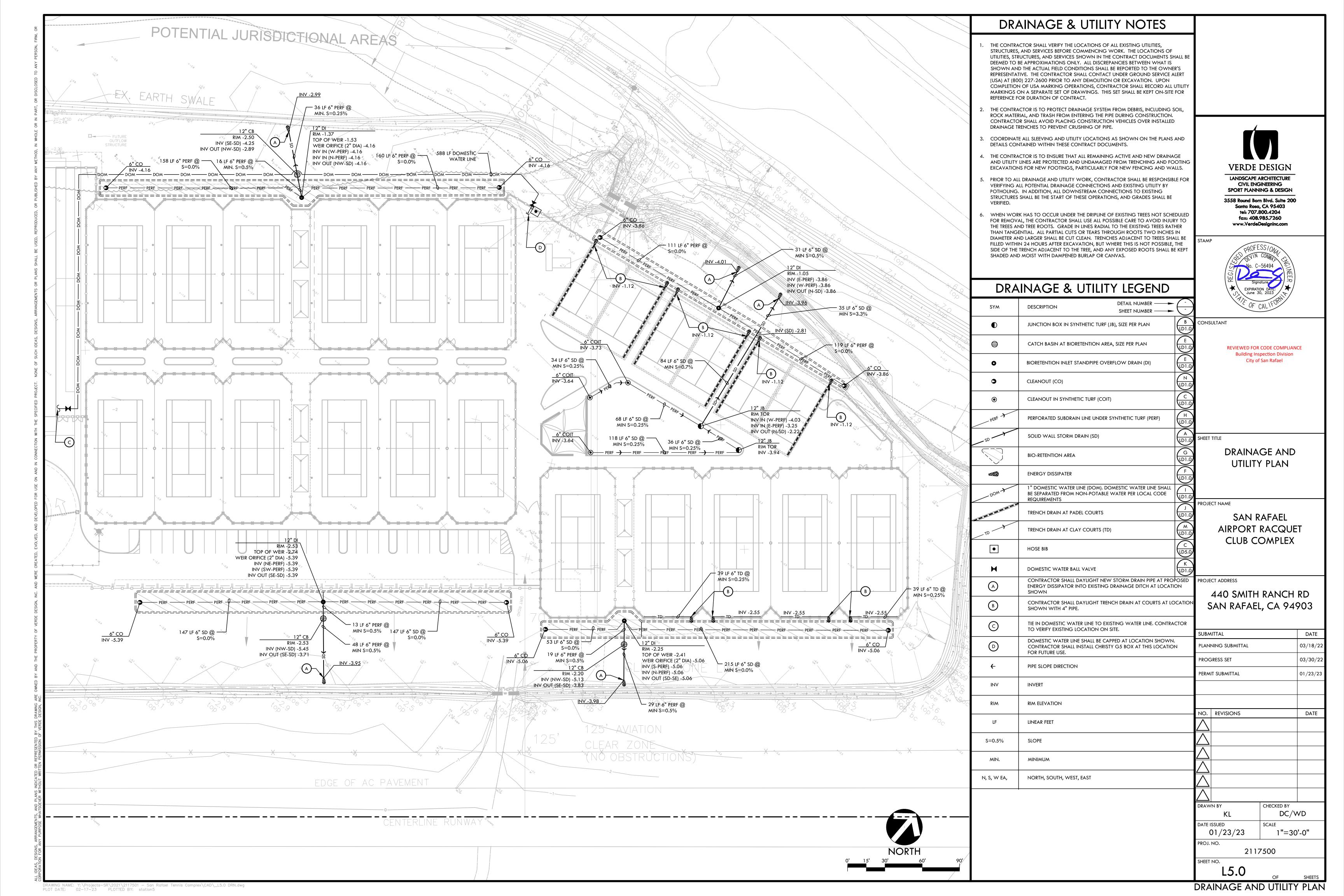
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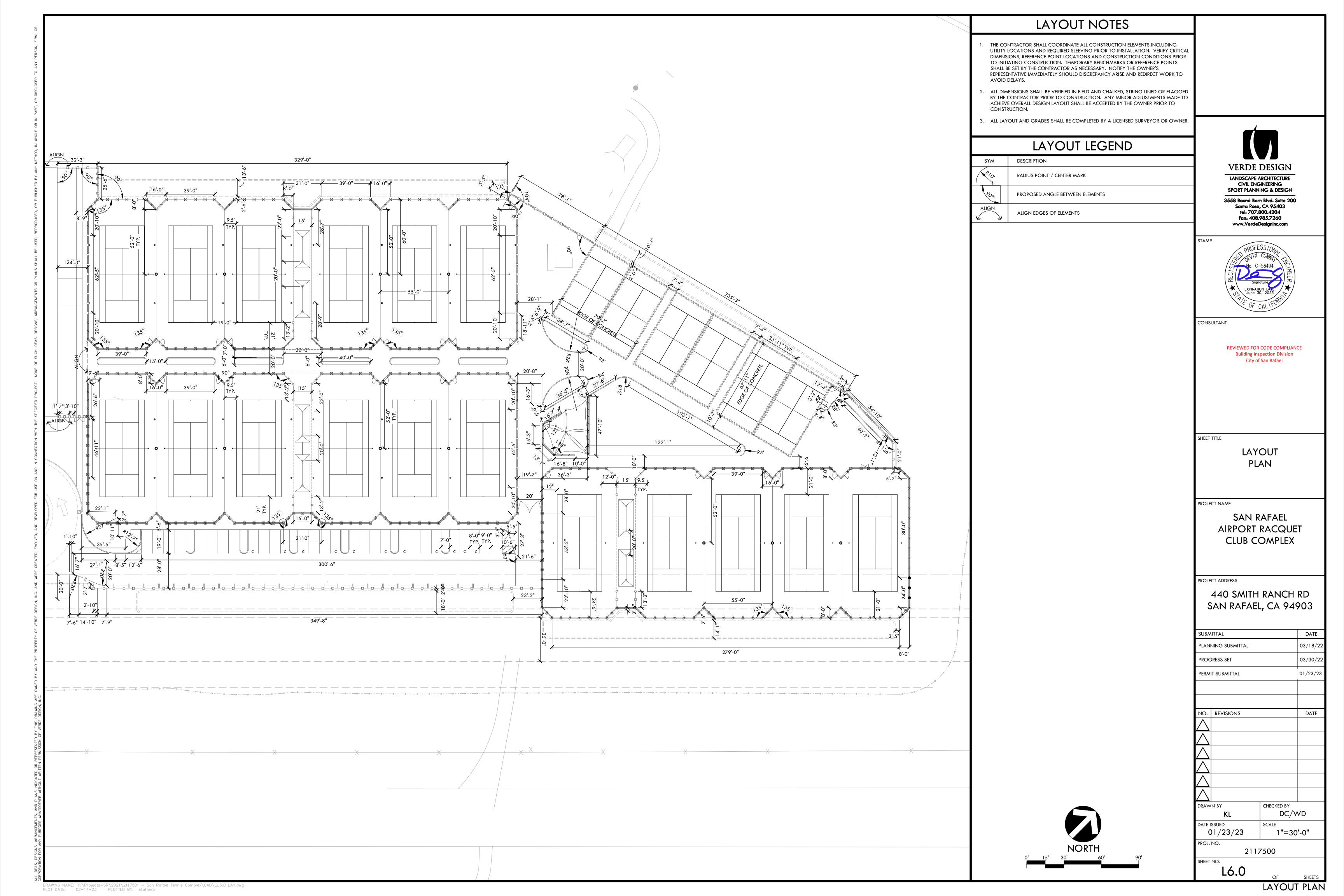


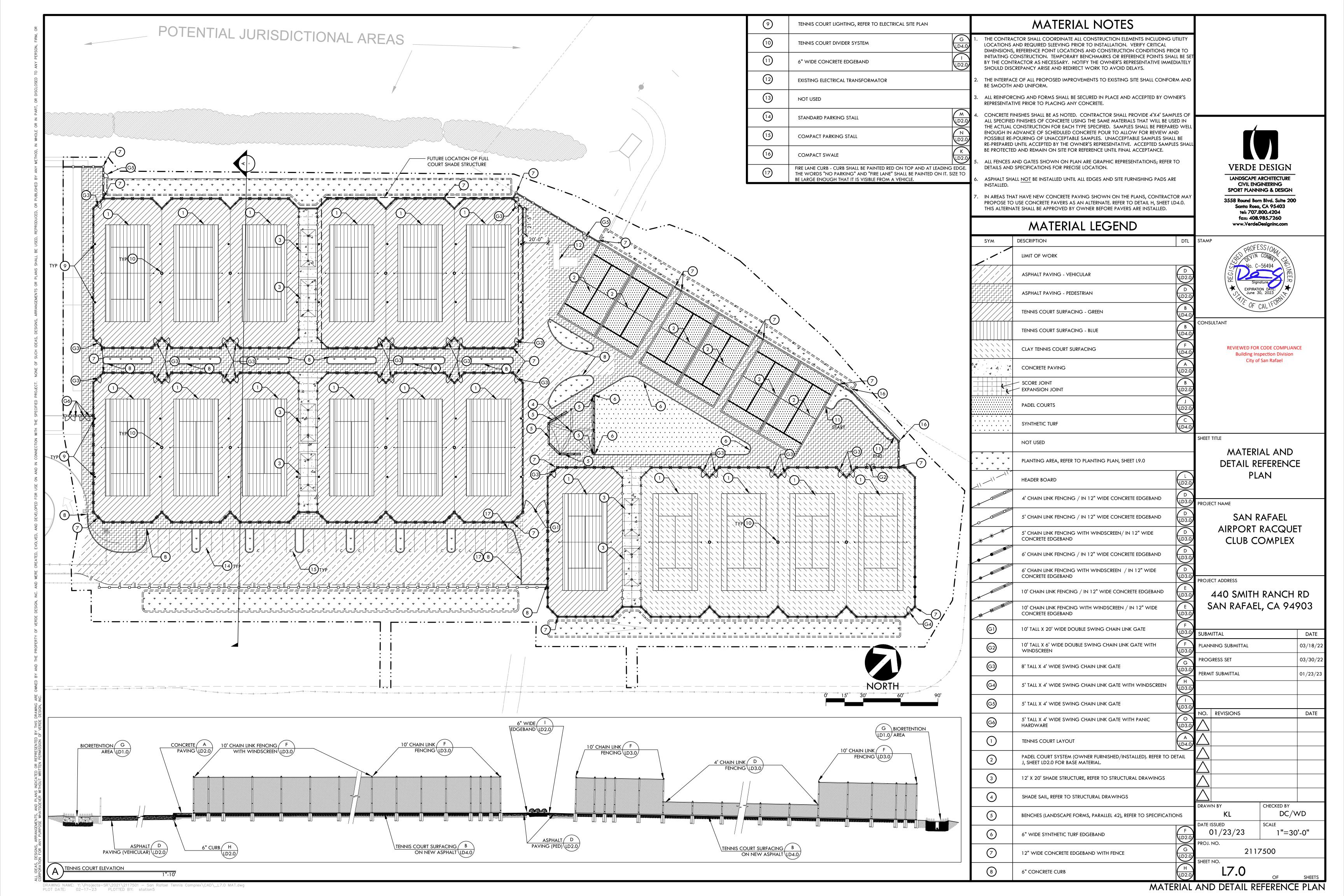


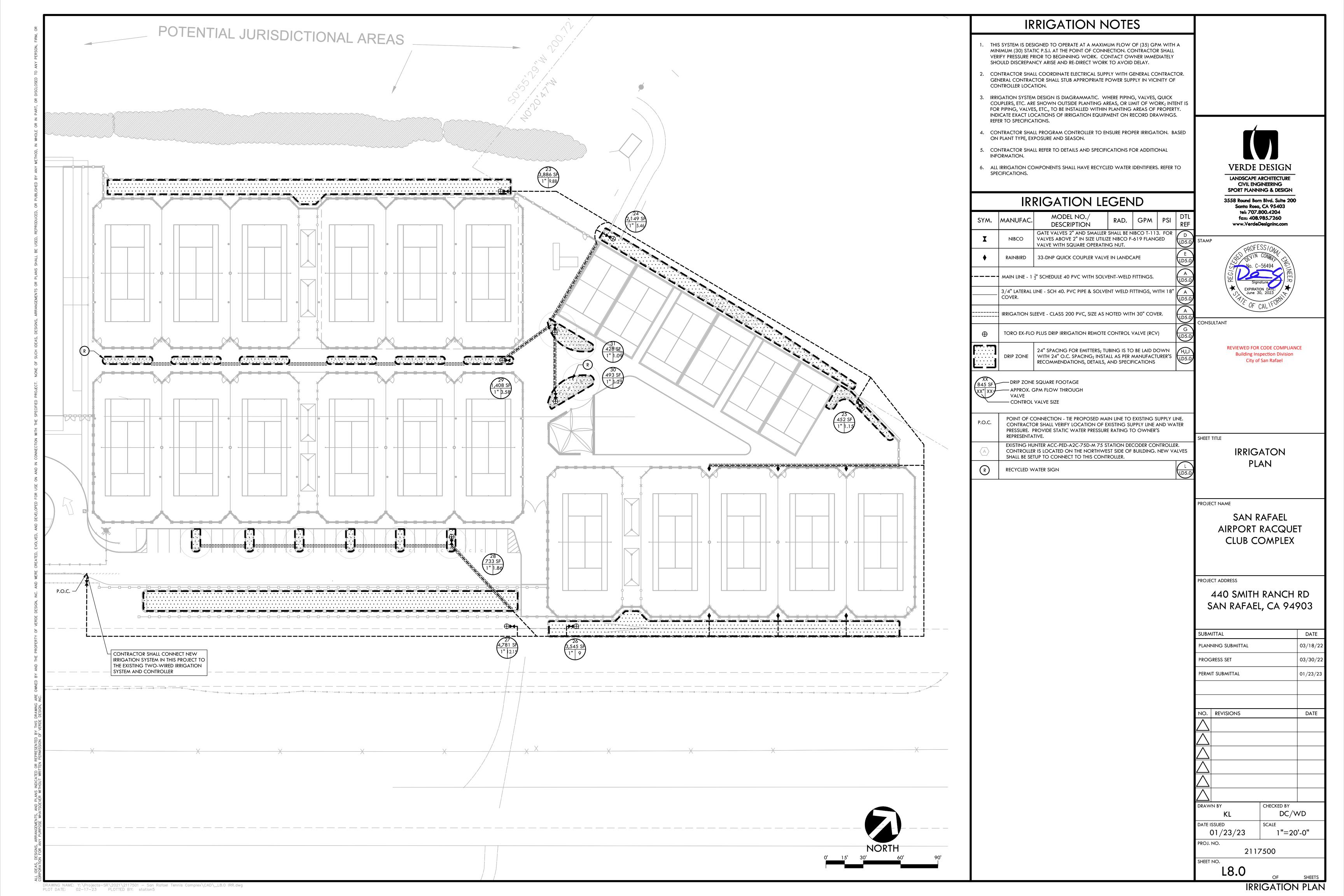


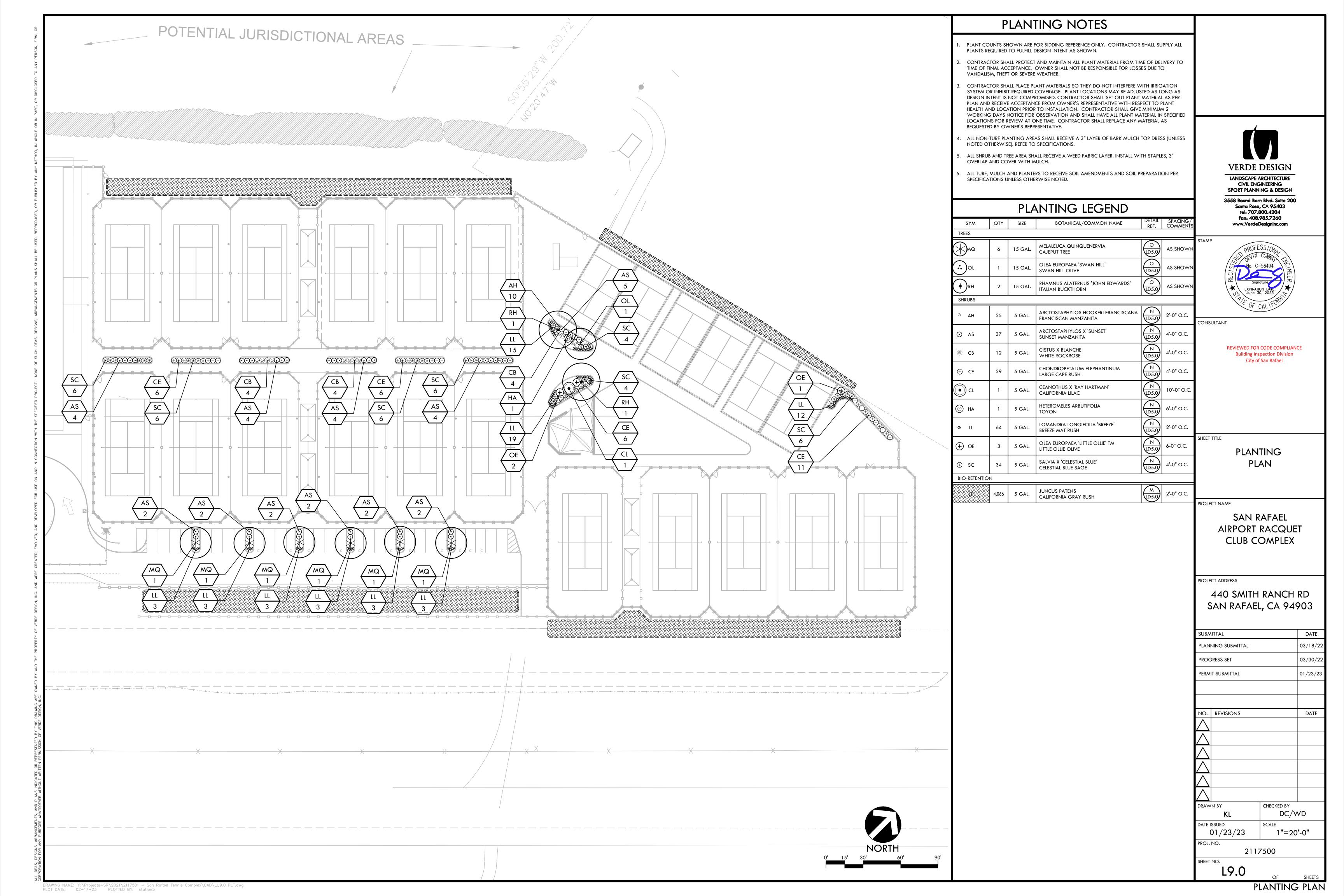


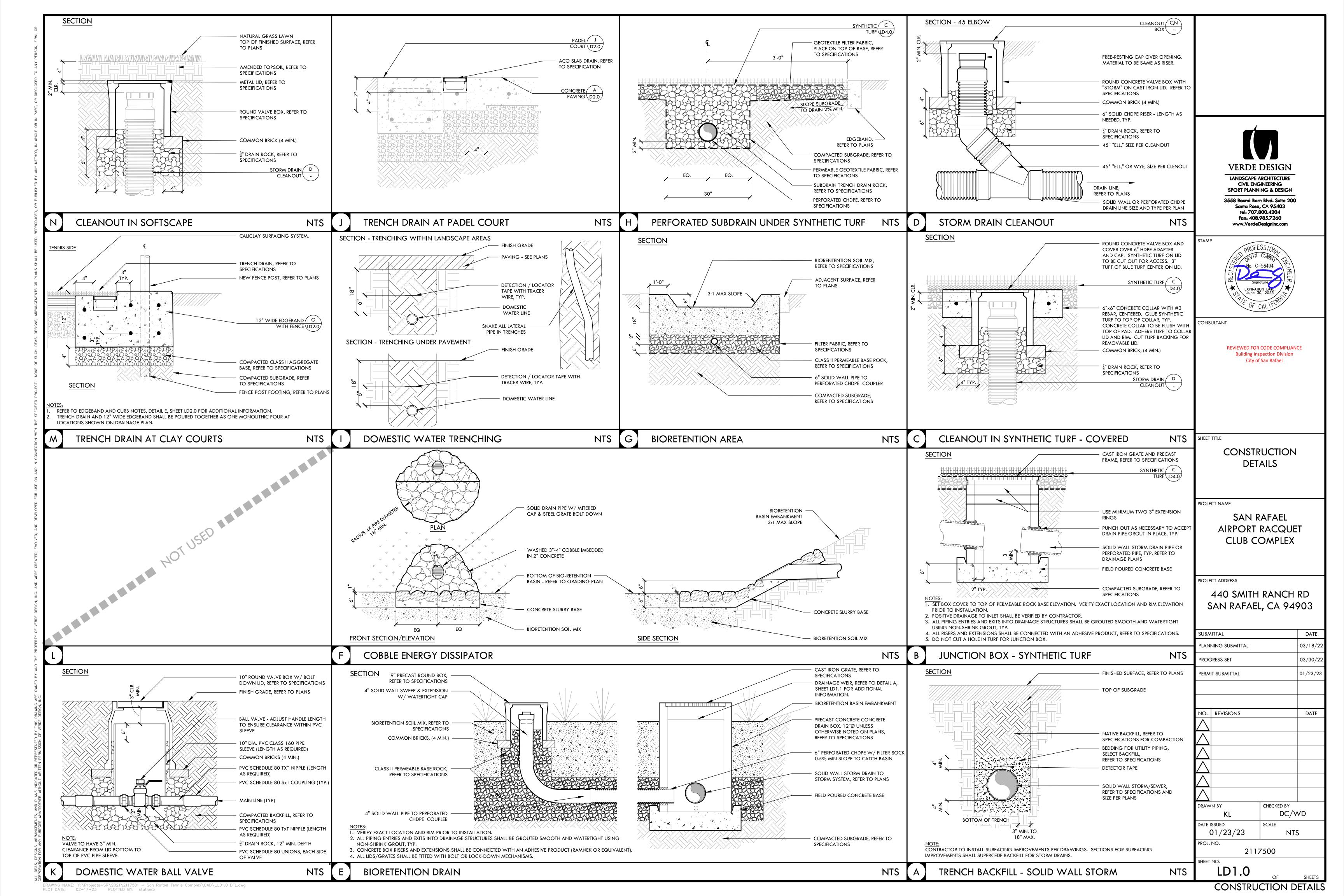


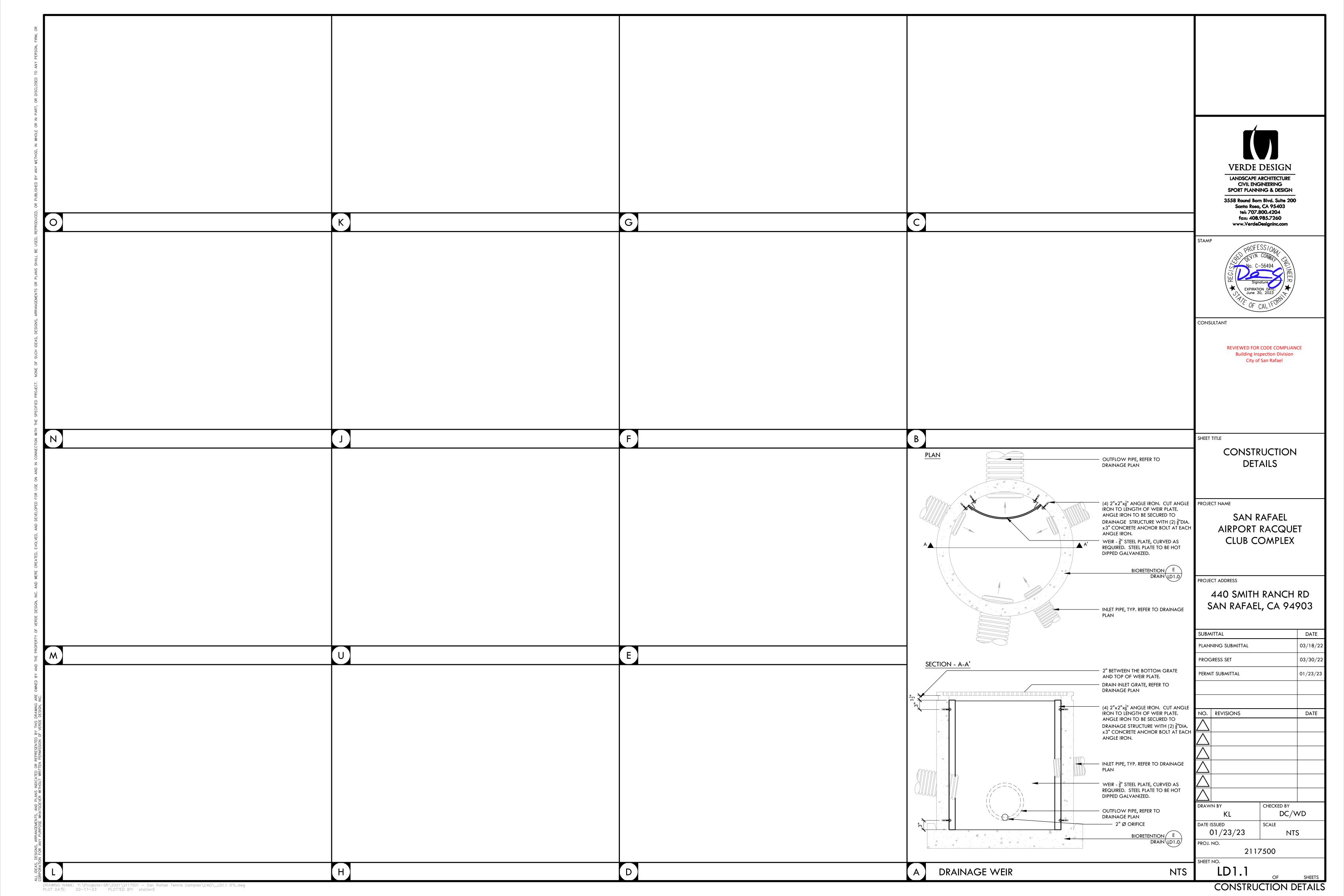


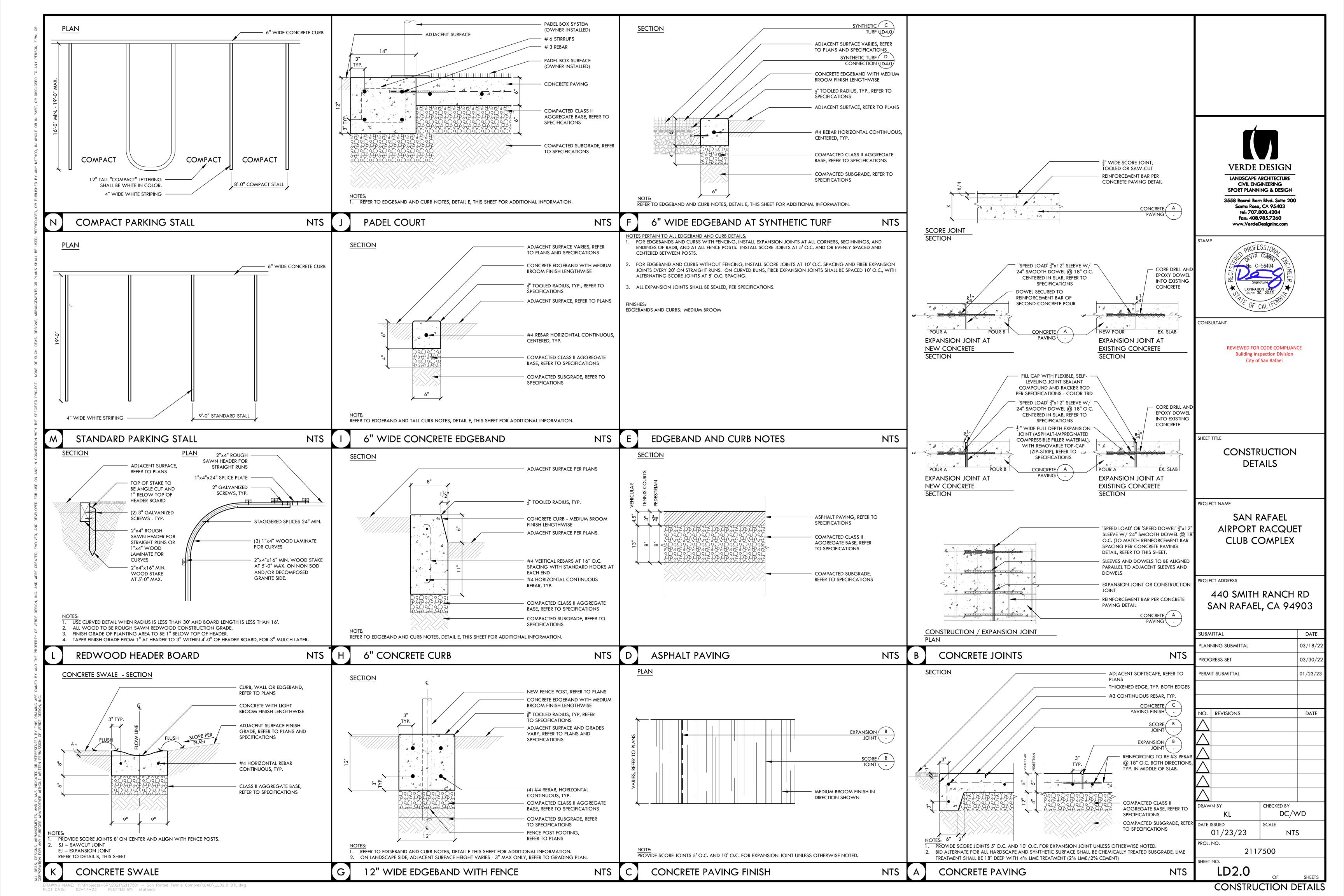


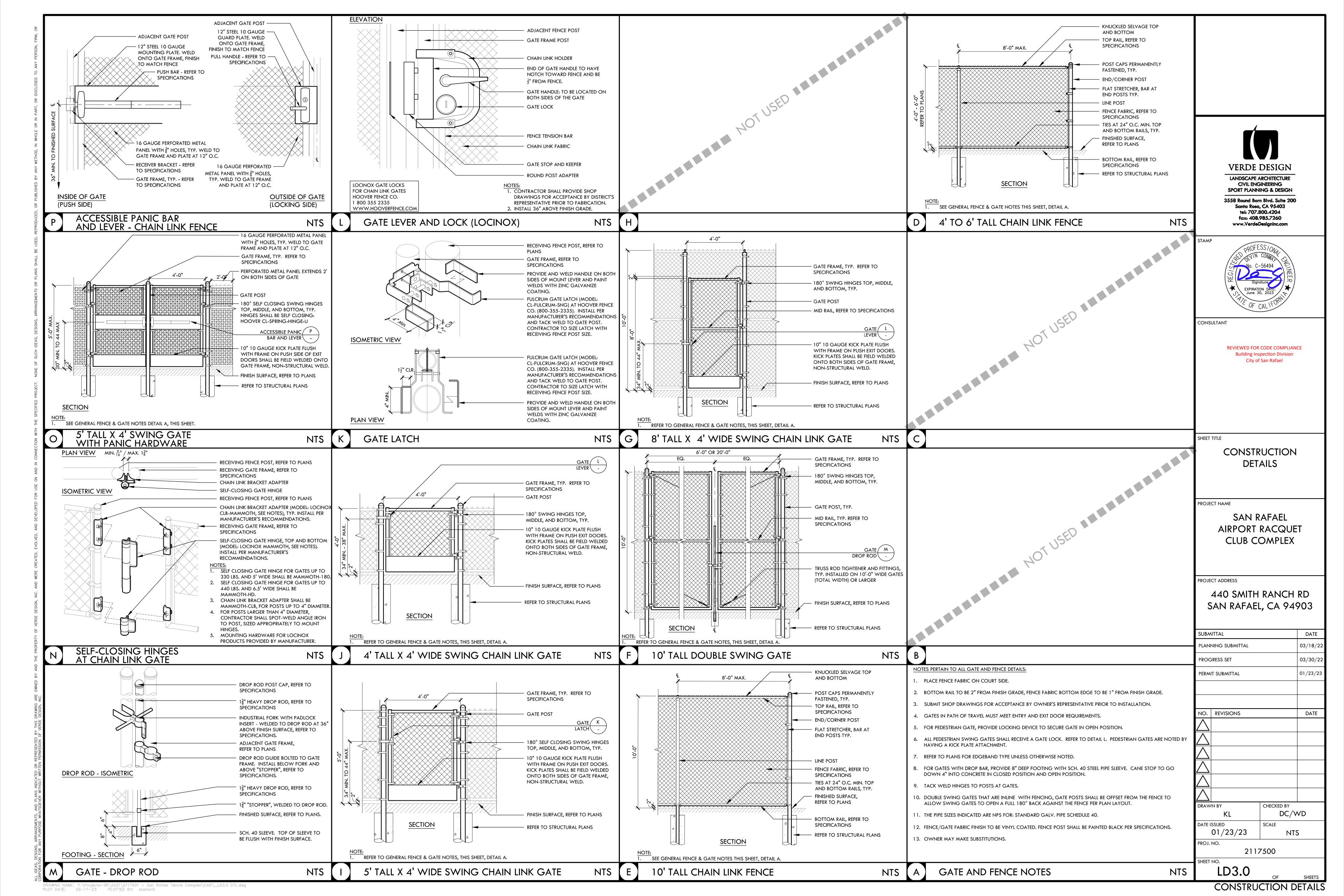


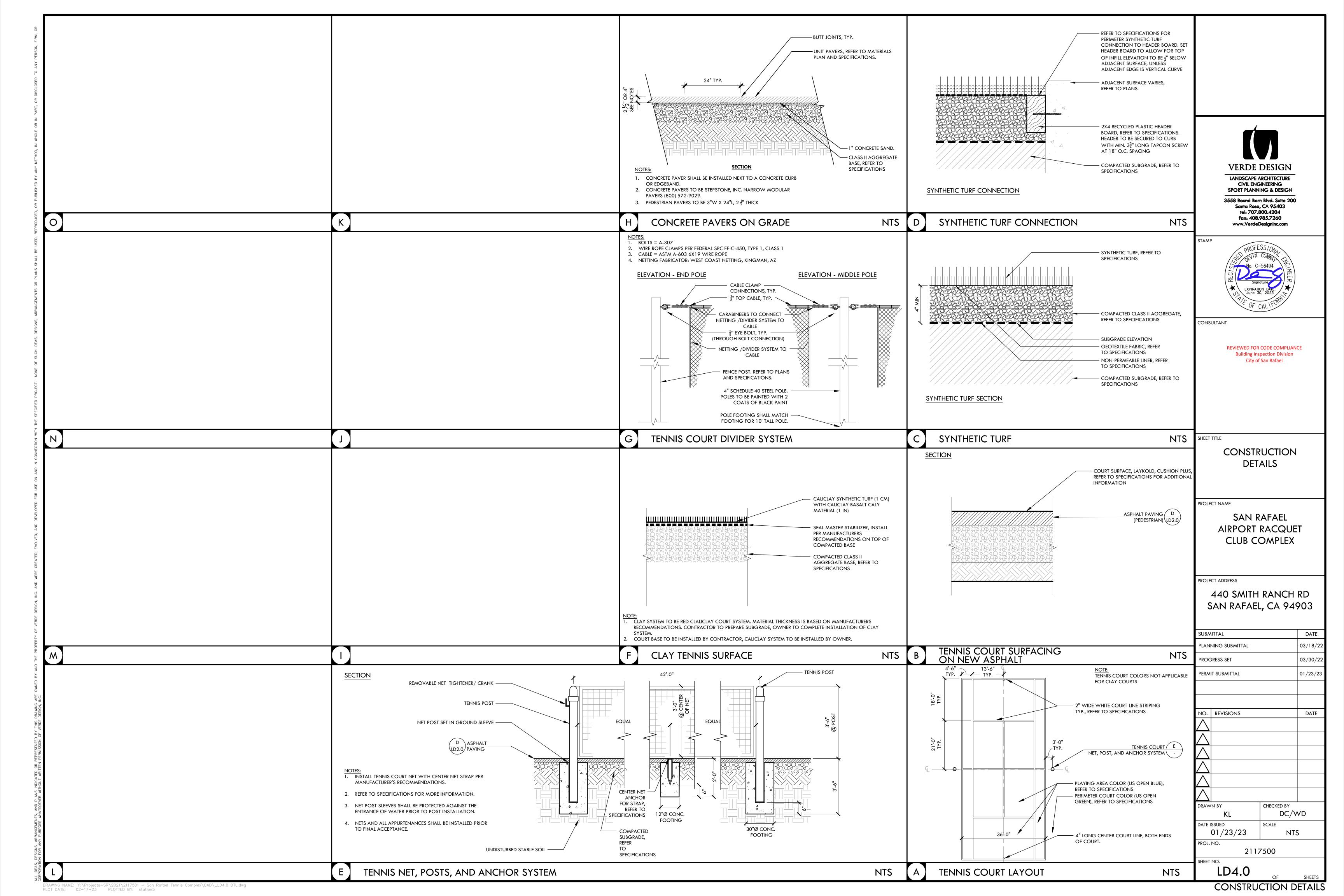


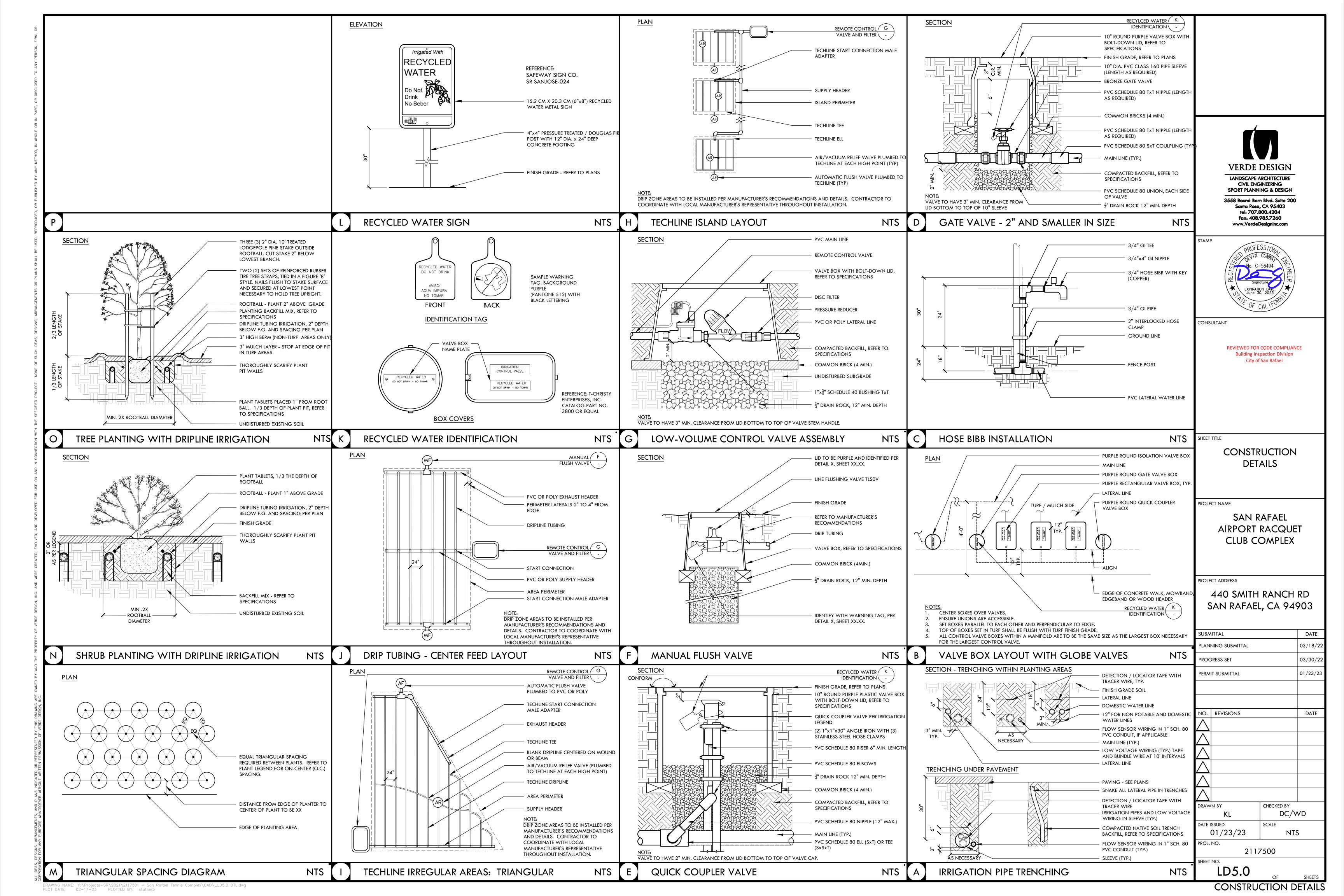












DATE

DATE

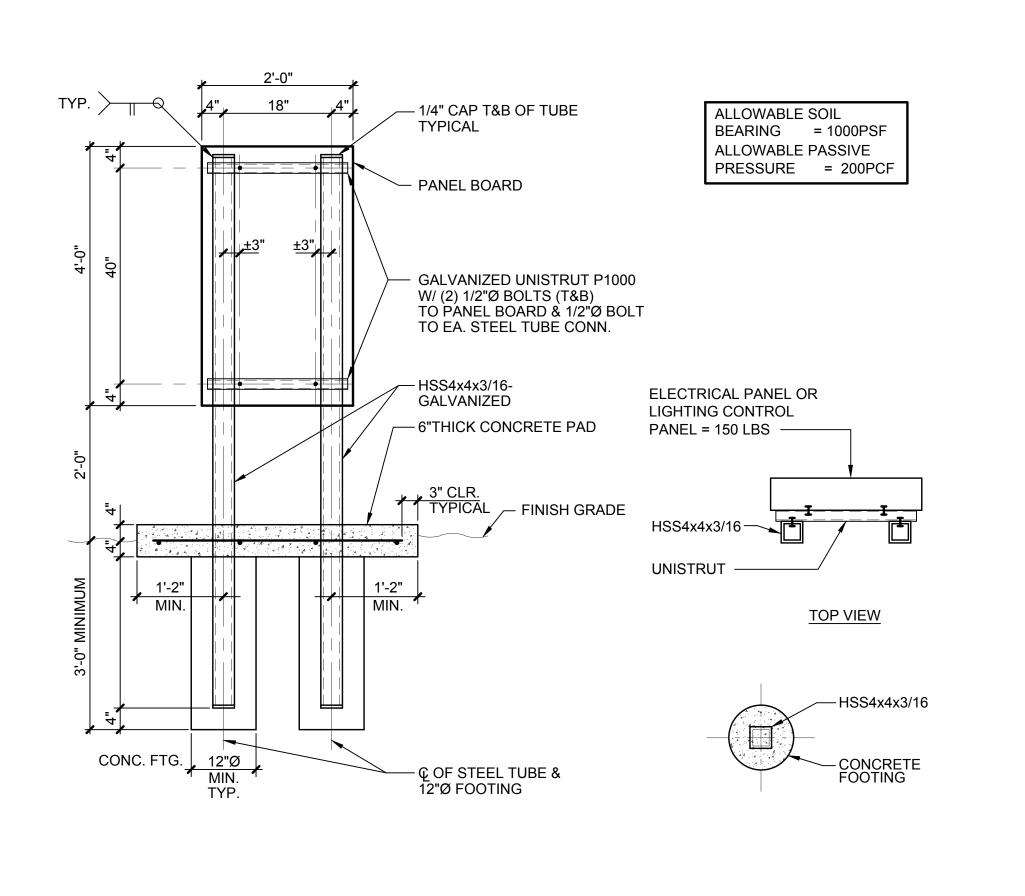
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PROJ. NO.

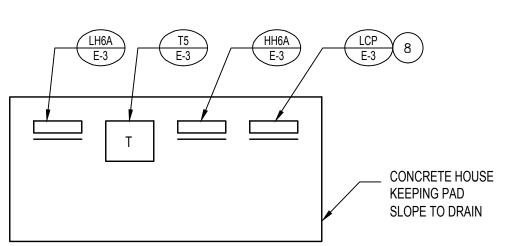
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OF

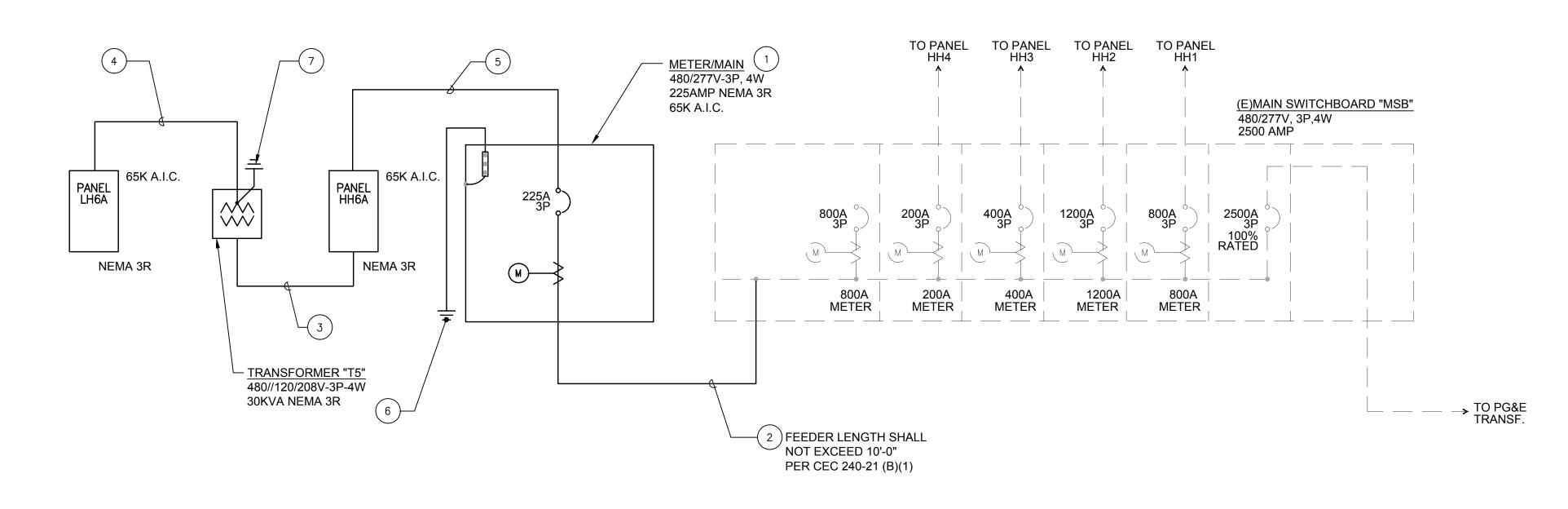


PANELBOARD/LIGHTING CONTROL PANEL MOUNTING DETAIL SCALE: NTS



ELECTRICAL EQUIPMENT PAD LAYOUT SCALE: 1/4"=1'-0"

NOTE: ALL ELECTRICAL SHOWN LIGHT AND DASHED IS EXISTING. ALL ELECTRICAL SHOWN BOLD IS NEW.



SINGLE LINE DIAGRAM SCALE: NTS

GENERAL NOTES

- ALL CIRCUIT BUSSING, CIRCUIT BREAKERS, FUSIBLE SWITCHES AND ELECTRICAL EQUIPMENT SHALL BE FULLY RATED WITH A SHORT-CIRCUIT (A.I.C.) RATING THAT EXCEEDS THE AVAILABLE SHORT-CIRCUIT CURRENT AVAILABLE AT THE EQUIPMENT. SERIES RATED EQUIPMENT IS NOT ALLOWED UNLESS NOTED
- ELECTRICAL EQUIPMENT INCLUDING SWITCHBOARDS, DISTRIBUTION BOARDS, PANEL BOARDS, INDUSTRIAL CONTROL PANELS, METER SOCKET ENCLOSURES, MOTOR CONTROL CENTERS, ETC. SHALL BE FIELD MARKED WARNING QUALIED PERSONNEL OF TE POTENTENTIAL ARC FLAS HAZARDS AND APPROPRIATE PPE REQUIRED PER CEC ART. 110.16 AND NFPA-70E-2000.

KEY NOTES

- (1) MATCH A.I.C. RATING OF MSB.
- (2) 3"C. 4#250KCMIL-1#2 GROUND.
- (3) 1 1/4"C. 4#6 1#10 GROUND.
- (4) 2"C. 4#1 1#8 GROUND.
- (5) 3"C. 4#4/0 1#4 GROUND.
- (6) 1#2 GROUND TO 3/4" DIA. x 10'- 0" GROUND ROD.
- (7) 1#4 GROUND TO 3/4" DIA. x 10'-0" GROUND ROD.
- 8 PROVIDE LOCKABLE WEATHERPROOF ENCLOSURE.



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SHEET TITLE

SINGLE LINE **DIAGRAM**

PROJECT NAME

SAN RAFAEL TENNIS COMPLEX

PROJECT ADDRESS

440 SMITH RANCH RD SAN RAFAEL, CA 94903

SUBM	DATE			
PLAN	ning Submittal		03/18/22	
PROC	GRESS SET		03/30/22	
PERM	IT SUBMITTAL		01/23/23	
NO.	REVISIONS	DATE		
DRAWN BY CHECKED BY				
	ВМ	BZ		
	SSUED 01/23/23	SCALE		
PROJ. NO.				
211 <i>75</i> 00				

E-2

LIGHTING CONTROL PANEL "LCP"

LIGHTING CONTROL PANEL LOP								
MOUNTING:IN SWITCHGEAR ENCLOSURE PHOTOCELL: NO								
PANEL	CIRCUIT	RELAY	DESCRIPTOIN	LOCAL SWITCH	OVERRIDE SWITCH	MASTER SWITCH	ZONE TYPE	NOTES
HH5A	1	1	N.W. TENNIS COURTS			A	T/T	
HH5A	3	2	N.W. TENNIS COURTS			Α	T/T	
HH5A	5	3	N.W. TENNIS COURTS			Α	T/T	
HH5A	7	4	N.W. TENNIS COURTS			Α	T/T	
HH5A	9	5	N.W. TENNIS COURTS			Α	T/T	
HH5A	11	6	N.W. TENNIS COURTS			A	T/T	
HH5A	13	7	N.W. TENNIS COURTS			A	T/T	
HH5A	15	8	PADEL COURTS			В	T/T	
HH5A	17	9	S.W. TENNIS COURTS			С	T/T	
HH5A	2	10	S.W. TENNIS COURTS			С	T/T	
HH5A	4	11	S.W. TENNIS COURTS			С	T/T	
HH5A	6	12	S.W. TENNIS COURTS			С	T/T	
HH5A	8	13	S.W. TENNIS COURTS			С	T/T	
HH5A	10	14	S.W. TENNIS COURTS			С	T/T	
HH5A	12	15	S.W. TENNIS COURTS			С	T/T	
HH5A	14	16	S.W. TENNIS COURTS			С	T/T	
HH5A	16	17	WALKWAY LIGHTS			D	T/T	
				Ш				

T/T TIMECLOCK ON/OFF

T/P TIMECLOCK ON/ PHOTOCELL OFF
P/T PHOTOCELL ON/TIMECLOCK OFF

P/P PHOTOCELL ON/PHOTOCELL OFF

LIGHTING CONTROL DIAGRAM NOTES:

1 PROGRAMMABLE LIGHTING CONTROL RELAY PANEL. NLIGHT #ARP INTENC 32 NLT MVOLT HLK DTC SERIES. PROVIDE WEATHERPROOF ENCLOSURE TO MOUNT PANEL IN.

2 PROVIDE PANEL WITH NLIGHT #NECY ECLYPE FOR TIME CLOCK AND NLIGHT #NECYMOD CLARITY LINK ROUTER TO ALLOW REMOTE CONTROL AND PROGRAMMING THRU CELLULAR CONNECTIVITY.

3 CONDUIT WITH LINE VOLTAGE CONDUCTORS AS REQUIRED.

4 CAT-5e-3/4"C.- 4 TWISTED PAIR.

5 TO LIGHTING LOADS.

LIGHTING CONTROL PANEL DETAIL SCALE: NTS 1

SAN RAFAEL TENNIS COMPLEX VOLTS 277/480 PHASE 3PH, 4W MTG SURFACE (NEMA 3R)	PANELBOARD HH6A LOCATION		PROJECT NO. Main Bus	
	TLET AN DESCRIPTION	< L□AD (VA)> L CKT A B C	LOAD OUTLET TYPE BKR QUAN	DESCRIPTION
3 2636 L 20/1 5 2636 L 20/1 7 2636 L 20/1 9 2636 L 20/1 11 2636 L 20/1 13 1318 L 20/1 15 2800 L 20/1	R1-N. W. CDURTS LIGHTS R3-PADEL CDURTS LIGHTS R3-PADEL CDURTS LIGHTS CC R4-N. W. CDURTS LIGHTS R3-PADEL CDURTS LIGHTS CC ABBC CC ABBC CC ABBC CC	2 1318 4 2636 6 2636 8 2636 10 2636 12 2636 12 2636 14 1318 2636 18 2636	L 20/1 4 L 20/1 4 L 20/1 4 L 20/1 4 L 20/1 4 L 20/1 2 L 20/1 15 20/1 20/1	R2-S. W. COURTS LIGHTS R4-WALKWAY LIGHTS SPARE TRANSF. T5 PANEL LLH5
CONNECTED: VA AMPS PHASE A = 20544 74 PHASE B = 24439 88 PHASE C = 22544 81	L.C.L. @ 125% RECEPT. (> 10 kVA @ 50%) KITCHEN @ 65% DTHER LDAD @ 100% TDTAL VA	= ; = ; = 30000		00%) M - MOTOR (100%) 25%) M1 - MOTOR (125%) 50%) X - X-RAY (100%)

R - INDICATES CIRCUIT ROUTED THROUGH DESIGNATED RELAY IN LIGHTING CONTROL PANEL LCP.

SAN RAFAEL TENNIS COMPLEX VOLTS 120/208 PHASE 3PH, 4W MTG SURFACE (NEMA 3R)	PANELBOARD LOCATION	PANE	ELBOARD LH6A		1175. 008 100 A/3 PDLE 100 AMP
< L□AD (VA)>L□AD	DESCRIPTION		< L□AD (VA)> L□A CKT A B C TYP		DESCRIPTION
1 1000 G 20/1 1 3 720 R 20/1 4 5 540 R 20/1 3 7 720 R 20/1 4 9 540 R 20/1 3 11 540 R 20/1 3 13 360 R 20/1 2 15 360 R 20/1 2 17 1000 G 20/1 1 19 20/1 2 21 20/1 2 23 20/1 2 25 20/1 2 27 20/1 2 29 20/1 31	STORAGE SHED HEATER COURTS RECEPTS COURTS RECEPTS COURTS RECEPTS COURTS RECEPTS COURTS RECEPTS COURTS RECEPTS STORAGE SHED HEATER	A B C A B C A B C A B C A B C	2	20/2 - 20/1 20/1 20/1 20/1 20/1 20/1 20/1 20/1	RESTROOM BLDG RESTROOM BLDG
CONNECTED: VA AMPS PHASE A = 2080 17 PHASE B = 1620 14 PHASE C = 2080 17 TOTAL = 5780 16		e 50%) e 65%	0 = 3780 ½ = G ¼ = 2000 L A = 5780 R		00%) X1 - X-RAY (50%)

R - INDICATES CIRCUIT ROUTED THROUGH DESIGNATED RELAY IN LIGHTING CONTROL PANEL LCP.



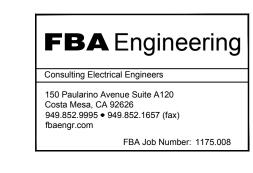


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SHEET TITLE

PANEL SCHEDULES & LIGHTING CONTROLS

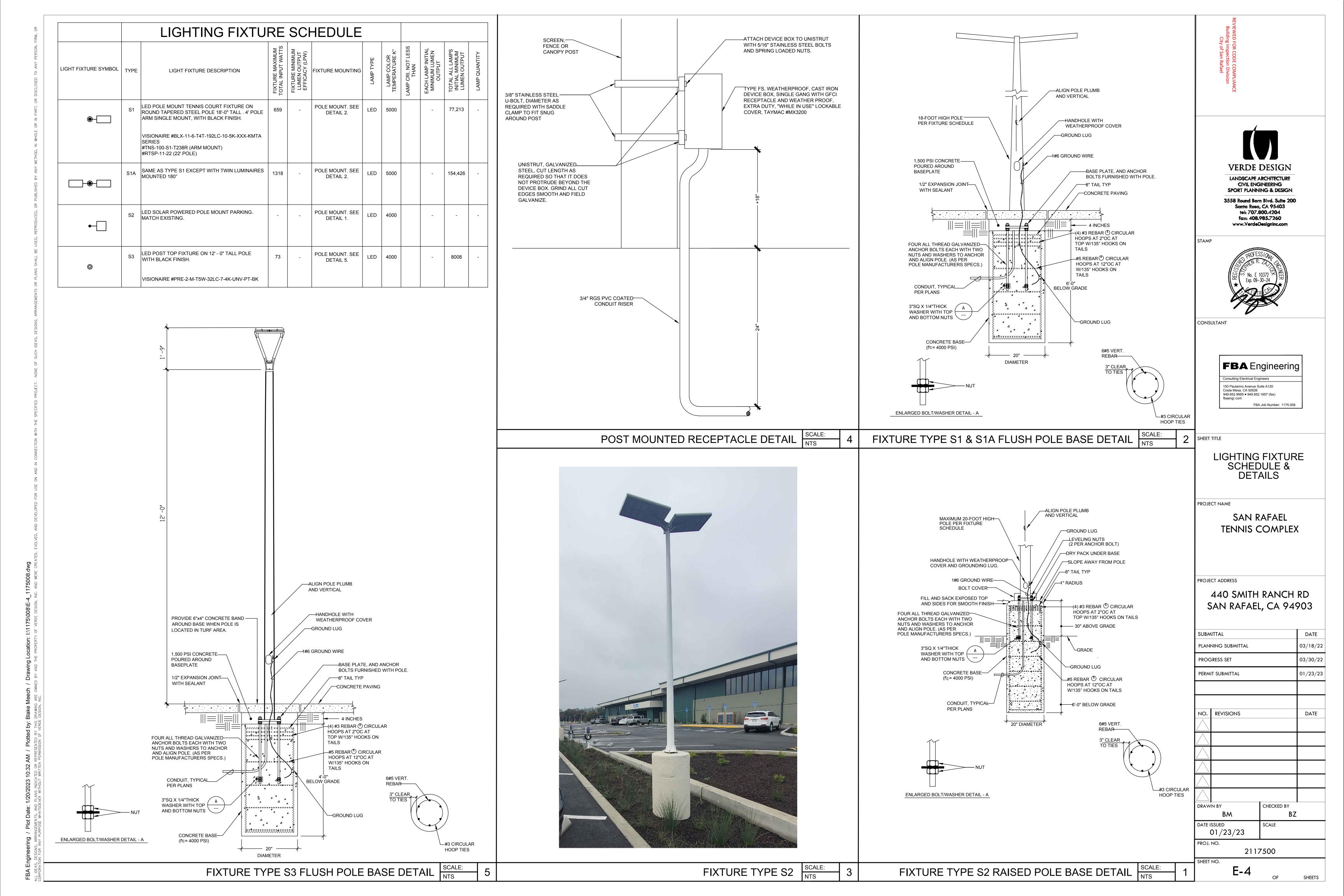
PROJECT NAME

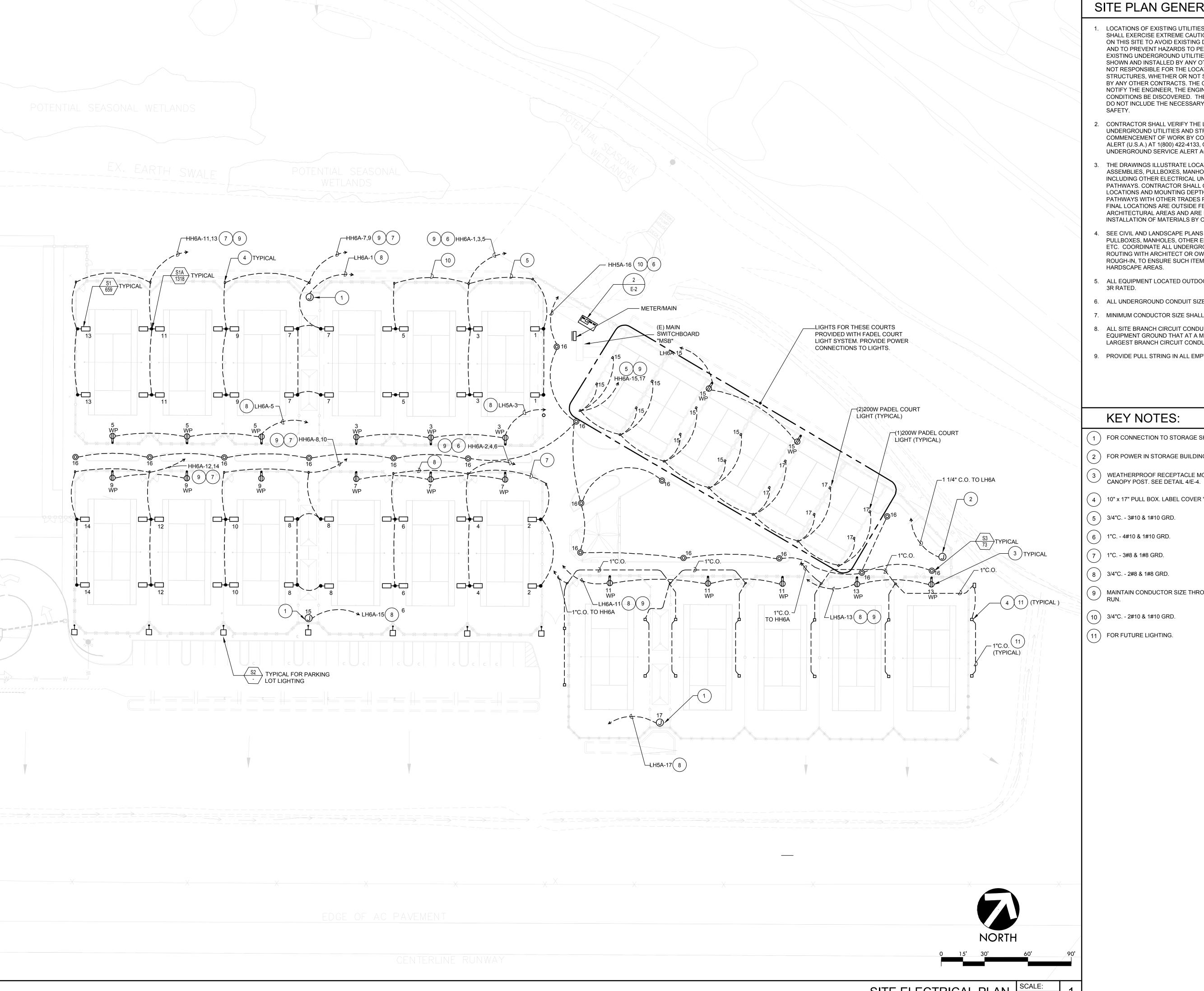
SAN RAFAEL TENNIS COMPLEX

PROJECT ADDRESS

440 SMITH RANCH RD SAN RAFAEL, CA 94903

SUBM	NITTAL		DATE		
PLAN	03/18/22				
PROC	03/30/22				
PERM	IT SUBMITTAL		01/23/23		
NO.	REVISIONS		DATE		
DRAW	'N BY	CHECKED BY			
	ВМ	BZ			
	SSUED 01/23/23	SCALE			
PROJ. NO. 2117500					
SHEET	E-3	OF	SHEETS		





SITE PLAN GENERAL NOTES

- 1. LOCATIONS OF EXISTING UTILITIES ARE NOT SHOWN AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING, OR CONDUITS, ETC., AND TO PREVENT HAZARDS TO PERSONNEL AND/OR DAMAGE TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES WHETHER OR NOT SHOWN AND INSTALLED BY ANY OTHER CONTRACTS. THE ENGINEER IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, WHETHER OR NOT SHOWN OR DETAILED AND INSTALLED BY ANY OTHER CONTRACTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER, THE ENGINEER SHOULD SEARCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY ELEMENTS FOR CONSTRUCTION
- 2. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO COMMENCEMENT OF WORK BY CONTACTING UNDERGROUND SERVICE ALERT (U.S.A.) AT 1(800) 422-4133, OR OTHER LOCAL APPLICABLE UNDERGROUND SERVICE ALERT AGENCIES.
- 3. THE DRAWINGS ILLUSTRATE LOCATIONS OF EQUIPMENT AND ASSEMBLIES, PULLBOXES, MANHOLES, HANDHOLES, AND VAULTS, INCLUDING OTHER ELECTRICAL UNDERGROUND STRUCTURES AND PATHWAYS. CONTRACTOR SHALL CLOSELY COORDINATE EXACT LOCATIONS AND MOUNTING DEPTHS OF ALL DEVICES, STRUCTURES AND PATHWAYS WITH OTHER TRADES PRIOR TO PLACEMENT, TO ENSURE FINAL LOCATIONS ARE OUTSIDE FEATURE LANDSCAPE AND ARCHITECTURAL AREAS AND ARE NOT IN CONFLICT WITH THE INSTALLATION OF MATERIALS BY OTHER TRADES.
- 4. SEE CIVIL AND LANDSCAPE PLANS FOR EXACT LOCATION OF FIXTURES, PULLBOXES, MANHOLES, OTHER ELECTRICAL EQUIPMENT AND DEVICES, ETC. COORDINATE ALL UNDERGROUND STRUCTURES AND CONDUIT ROUTING WITH ARCHITECT OR OWNERS' REPRESENTATIVE PRIOR TO ROUGH-IN, TO ENSURE SUCH ITEMS ARE NOT PLACED IN PLANTING / HARDSCAPE AREAS.
- 5. ALL EQUIPMENT LOCATED OUTDOORS SHALL BE WEATHERPROOF, NEMA 3R RATED.
- 6. ALL UNDERGROUND CONDUIT SIZE SHALL NOT BE LESS THAN ¾" U.N.O.
- 7. MINIMUM CONDUCTOR SIZE SHALL BE #10 AWG. U.N.O.
- 8. ALL SITE BRANCH CIRCUIT CONDUIT RUNS SHALL INCLUDE AN EQUIPMENT GROUND THAT AT A MINIMUM, MATCHES THE SIZE OF THE LARGEST BRANCH CIRCUIT CONDUCTOR.
- 9. PROVIDE PULL STRING IN ALL EMPTY CONDUITS.

KEY NOTES:

- $\left(\begin{array}{c}1\end{array}
 ight)$ FOR CONNECTION TO STORAGE SHED HEATER.
- (2) FOR POWER IN STORAGE BUILDING.
- (3) WEATHERPROOF RECEPTACLE MOUNTED ON SCREEN, FENCE OR
- (4) 10" x 17" PULL BOX. LABEL COVER "LIGHTING".
- (5) 3/4"C. 3#10 & 1#10 GRD.
- 6 1"C. 4#10 & 1#10 GRD.
- 7 1"C. 3#8 & 1#8 GRD.
- (8) 3/4"C. 2#8 & 1#8 GRD.
- 9 MAINTAIN CONDUCTOR SIZE THROUGH OUT ENTIRE BRANCH CIRCUIT
- (10) 3/4"C. 2#10 & 1#10 GRD.
- 11) FOR FUTURE LIGHTING.





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CONSULTANT

FBA Engineering

150 Paularino Avenue Suite A120 Costa Mesa, CA 92626 949.852.9995 • 949.852.1657 (fax) fbaengr.com

SHEET TITLE

SITE ELECTRICAL PLAN

PROJECT NAME

SAN RAFAEL TENNIS COMPLEX

440 SMITH RANCH RD SAN RAFAEL, CA 94903

ID AAITT A I		DATE
JBMITTAL	DATE	
anning submittal	03/18/22	
COGRESS SET		03/30/22
RMIT SUBMITTAL		01/23/23
•		
O. REVISIONS		DATE
AWN BY	CHECKED BY	
ВМ	BZ	
TE ISSUED 01/23/23	SCALE	

2117500

E-5

SITE ELECTRICAL PLAN | SCALE: 1/32" = 1' - 0"

Attachment #5

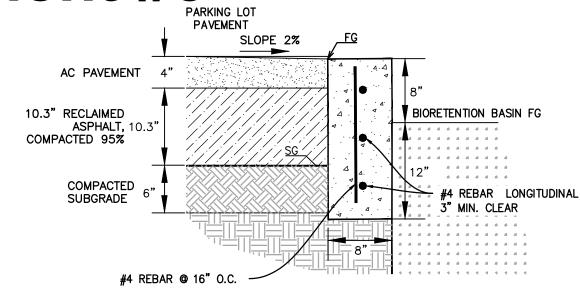
GENERAL NOTES:

- 1. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITIES OF MARIN AND COUNTY OF MARIN STANDARD SPECIFICATIONS, AND UNIFORM CONSTRUCTION STANDARDS DETAILS.
- 2. NO WORK SHALL START UNTIL NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF SAN RAFAEL DEPARTMENT OF PUBLIC WORKS (DPW).
- 3. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. IN THE EVENT OF A DISCREPANCY OR CONFLICT WITH INFORMATION SHOWN ON THESE PLANS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER IMMEDIATELY.
- 4. CONTRACTORS SHALL CALL "UNDERGROUND SERVICE ALERT" AT (800)642-2444 AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION FOR LOCATING UNDERGROUND UTILITIES.
- 5. THE LOCATIONS OF UNDERGROUND IMPROVEMENTS SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHOULD NOT BE TAKEN AS FINAL OR ALL INCLUSIVE. THE CONTRACTOR IS CAUTIONED THAT THE PLANS MAY NOT INCLUDE ALL EXISTING UTILITIES AND THAT THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY FOR OBSTRUCTIONS THAT MAY BE ENCOUNTERED.
- 6. CONTRACTOR SHALL HOLD HARMLESS THE OWNER, HIS AUTHORIZED REPRESENTATIVES AND THE CITY FROM ALL LIABILITIES AND DAMAGES RESULTING FROM HIS CONSTRUCTION OPERATIONS.
- 7. ALL THE IMPROVEMENTS SHALL BE CONSTRUCTED TO THE LINES AND GRADES SHOWN ON THE APPROVED PLANS.
- 8. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL GRADE OF CONCRETE UNLESS THEY HAVE CHECKED FORMS PRIOR TO POURING.
- 9. CONTRACTOR SHALL NOTIFY ENGINEER 72 HOURS PRIOR TO ANY NEED FOR CONSTRUCTION STAKING.
- 10. THE SOIL ENGINEER SHALL BE NOTIFIED 72 HOURS PRIOR TO COMMENCING WORK. ALL SOIL WORK TO BE PERFORMED UNDER INSPECTION OF SOIL ENGINEER.
- 11. THE REMOVAL OF OBSTRUCTIONS (POWER POLES, FENCES, RETAINING WALLS, TREES, STRUCTURES, PIPELINES, ETC.) SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 12. MATERIAL SPILLS ON PUBLIC STREETS AND SILTATION OF DOWN STREAM STORM DRAIN FACILITIES DUE TO THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.
- 13. ALL CONSTRUCTION OR RELATED PROJECT MATERIAL AND FLUID SHALL BE CAREFULLY STORED OR REMOVED OFF SITE TO PREVENT DAMAGE TO NATIVE VEGETATION AND ASSOCIATED WILDLIFE.
- 14. ALL EXCAVATIONS SHALL BE SHORED AND BRACED ACCORDING TO OSHA REGULATIONS.
- 15. ALL DRAINAGE INLETS (DI) TO BE OLDCASTLE PRECAST GROUP TYPE 18x18 OR APPROVED EQUAL. CATCH BASINS TO BE UCS TYPE "C".
- 16. SITE STORM DRAINS SHALL BE PVC SDR35 PIPES WITH MANUFACTURED ELBOWS AND FITTINGS, GLUED AND CONNECTED WATERTIGHT AS PER MANUFACTURER'S RECOMMENDATIONS. FLEXIBLE PIPE IS NOT PERMITTED.
- 17. ALL FILL PLACEMENT, TRENCH BACKFILL, BASEROCK PREPARATION, AND SUBGRADE PREPARATION IS TO BE INSPECTED BY THE PROJECT GEOTECHNICAL ENGINEER. COMPACTION TESTING IS TO BE PROVIDED BY THE GEOTECHNICAL ENGINEER AS NECESSARY.
- 18. ANY FILL MATERIAL TO BE IMPORTED TO THE SITE SHALL BE TESTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO ARRIVING ONSITE.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT AND FILL. ANY REQUIRED FILL MATERIAL SHALL BE IMPORTED TO THE SITE AT THE CONTRACTOR'S EXPENSE.
- 20. EARTHWORK SUMMARY: 196 YD³ CUT

 1,808 YD³ FILL

 BALANCE 1,612 YD³ IMPORT

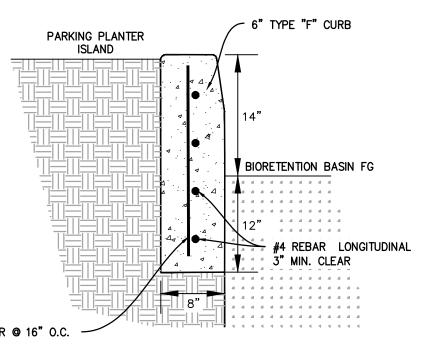
THE EARTHWORK QUANTITIES SHOWN ABOVE ARE APPROXIMATE. CALCULATED EXCESS AND SHORTAGE ARE TO FINISHED ROUGH GRADE AND EXISTING GROUND. THE ACTUAL AMOUNT OF EARTH MOVED WILL VARY, DEPENDENT ON COMPACTION, CONSOLIDATION, STRIPPING REQUIREMENTS, AND THE CONTRACTOR'S METHOD OF OPERATION.



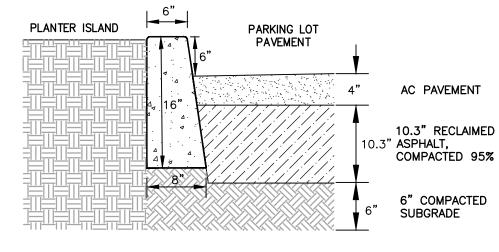
PARKING EDGE DETAIL @

BIORETENTION BASIN

NOT TO SCALE



PLANTER ISLAND CURB DETAIL @
BIORETENTION BASIN
NOT TO SCALE



TYPE "E" CURB DETAIL W/ 3" AC @ PARKING LOT

NOT TO SCALE

3

LEGEND



BIORETENTION STORMWATER TREATMENT AREA



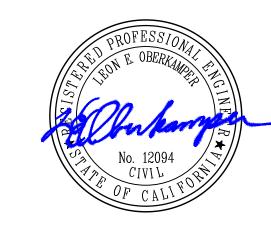
AC PAVEMENT

BDC_BUILDING CORNER ~ EP_EDGE PAVEMENT
(E)_EXISTING ~ (N)_NEW ~ FL_FLOWLINE
DI_DRAINAGE INLET ~ CB_CATCH BASIN
EG_EXISTING GRADE ~ FG_FINISH GRADE ~ SG_SUBGRADE
TC_TOP OF CURB ~ BC_BOTTOM OF CURB
TG_TOP OF GRATE ~ TW_TOP OF WALL ~ BW_BOTTOM OF WALL

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET & DETAILS	C1.0
PADEL COURT GRADING AND DRAINAGE PLAN	C2.0
STORMWATER CONTROL PLAN	C3.0
STORMWATER CONTROL DETAILS	C3.1
EROSION CONTROL PLAN & DETAILS	C4.0
BEST MANAGEMENT PRACTICES	C4.1

Revised Plan Sheet
Reviewed for Code Compliance
By: Don C. Jeppson
Date: 07/14/2024
Permit # B2303-046



OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 949

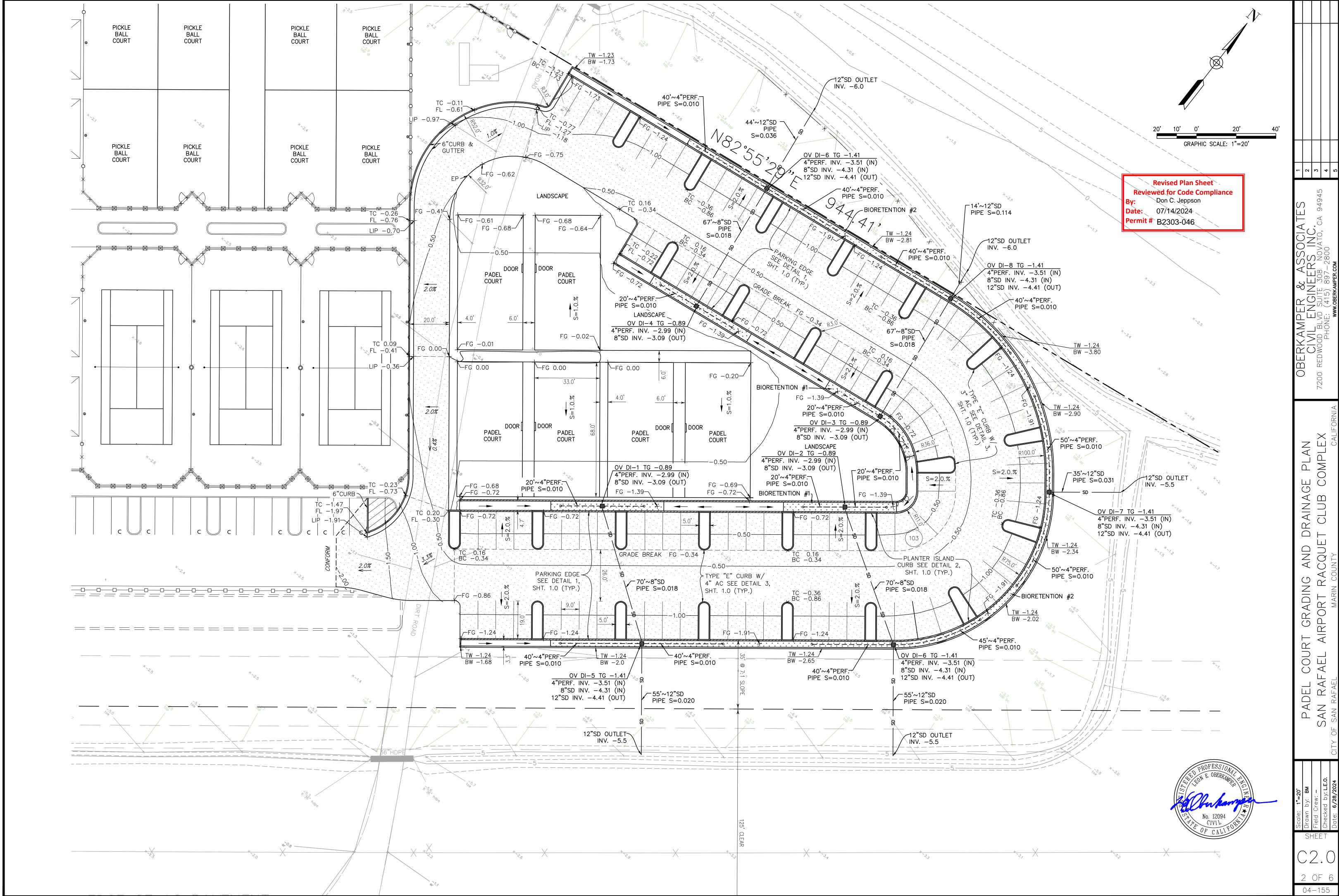
COVER SHEET & DETAILS
AEL AIRPORT RACQUET CLUB COMPLE

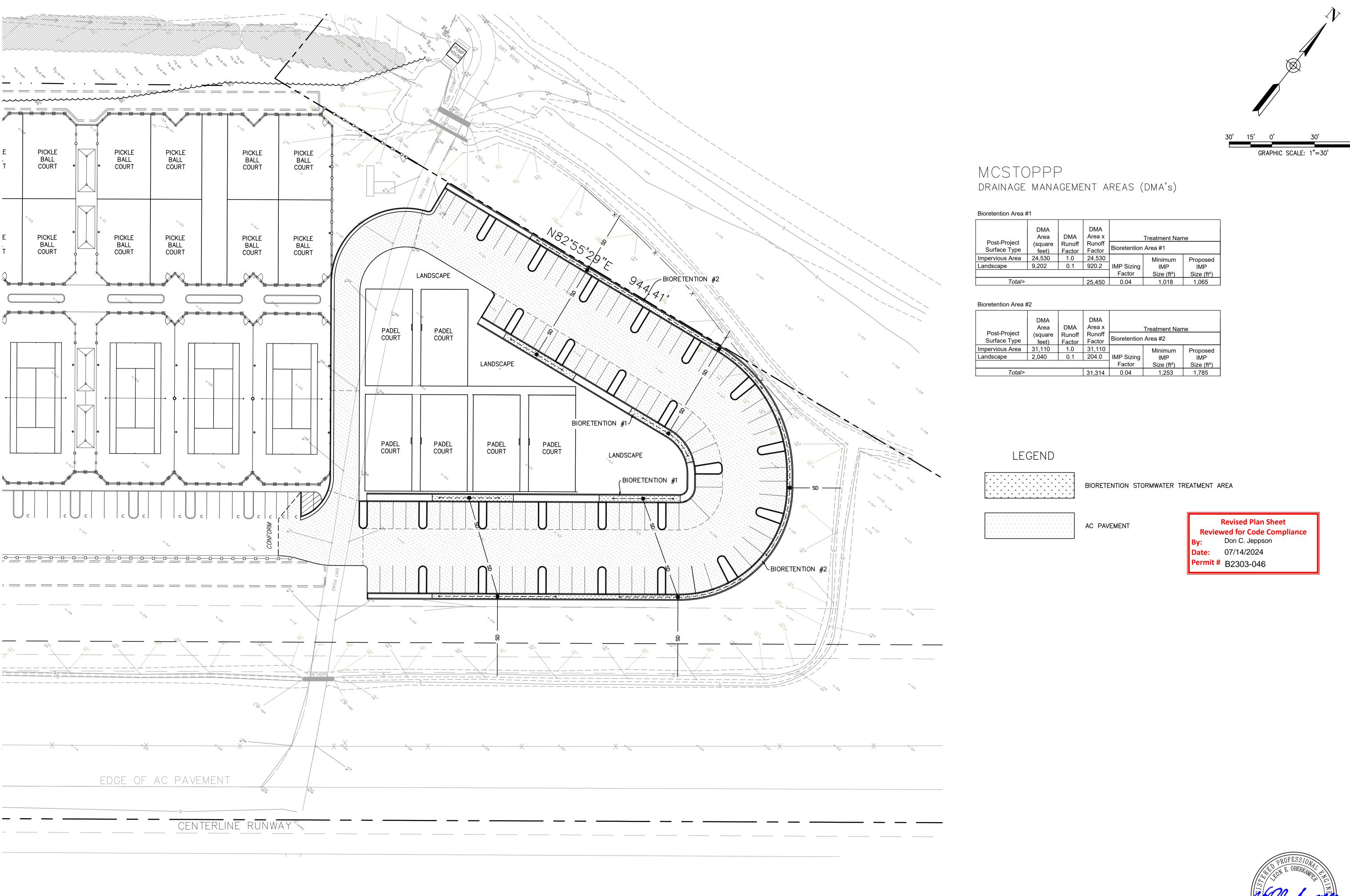
eld Crew: – necked by: **L.E.O.** ate: **7/2/2024** Cl

RAF

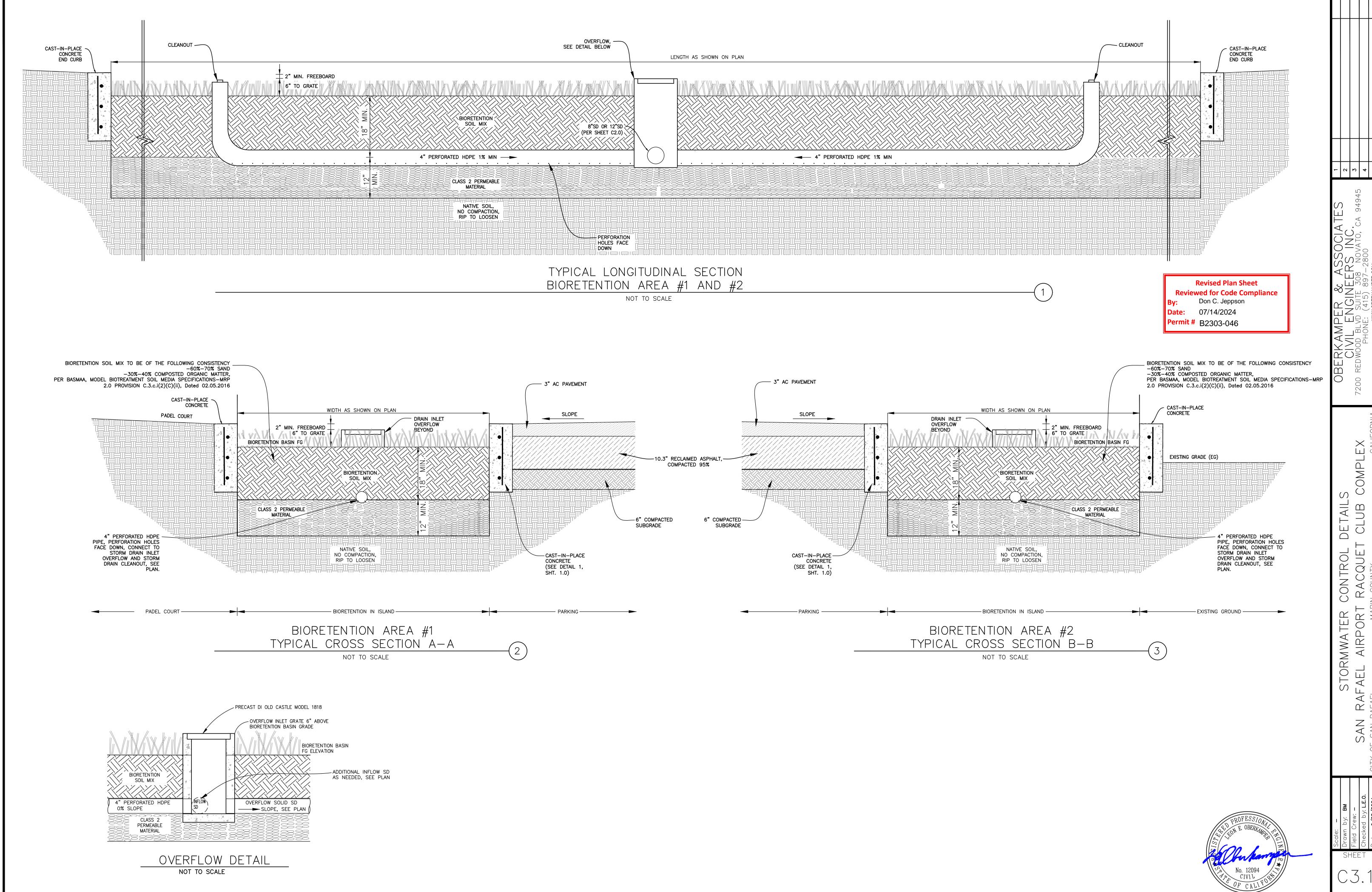
Z

SHEET 21.0





COMPLEX



MPLE COV DETAIL CLUB CONTROL

-"NO TRESSPASSING

SENSITIVE HABITAT"

BUFFER ZONE BARRIER

WETLANDS PROTECTION FENCING

NOT TO SCALE

SIGN EVERY 30' O.C.

_

SILT FENCE W/

PROTECTION FENCING

NOT TO SCALE

LOCATION OF THE REQUIRED

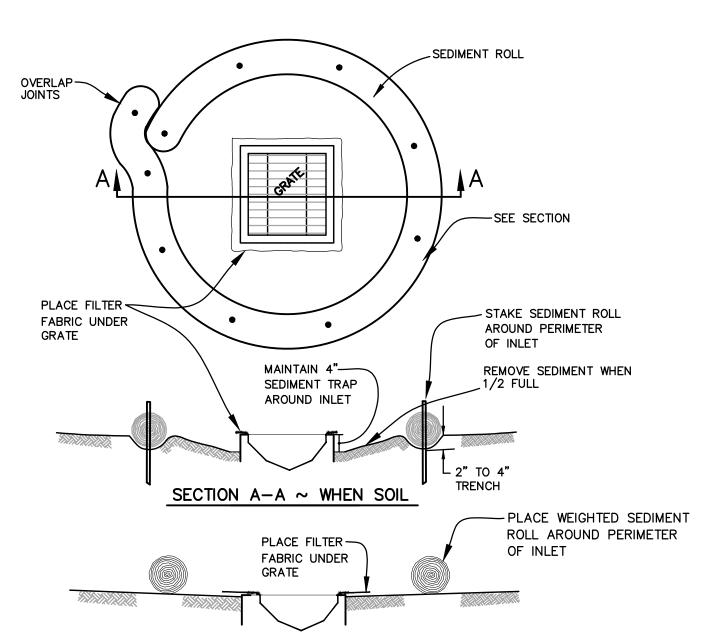
FENCING DETERMINED BY A

QUALIFIED BIOLOGIST WHEN THE NESTED SURVEYS ARE

CONDUCTED.

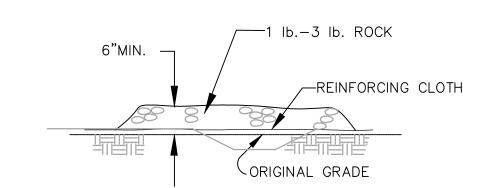
EROSION & SEDIMENT CONTROL NOTES

- 1. THIS PLAN IS INTENDED TO SERVE AS A CONCEPTUAL GUIDE FOR THE INSTALLATION OF EFFECTIVE SITE EROSION AND SEDIMENTATION CONTROL MEASURES. THE EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN SHALL BE MOVED, REVISED AND UPDATED AS NECESSARY IN ORDER TO PROVIDE THE MOST EFFECTIVE SITE PROTECTION.
- 2. ALL STORM DRAIN INLETS IN THE VICINITY OF EXCAVATION ACTIVITIES SHALL BE
- 3. CONTRACTOR SHALL PROVIDE SOIL STABILIZATION AND SEDIMENT CONTROL PRACTICES DURING CONSTRUCTION.
- 4. CONTRACTOR SHALL SCHEDULE CONSTRUCTION WORK TO AVOID EXCESS EXPOSURE DURING RAIN EVENTS.
- 5. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER.
- 6. THE SITE SHALL BE MAINTAINED SO THAT NO SEDIMENT ENTERS THE STORM DRAINAGE SYSTEM. CONTRACTOR SHALL HAVE TOOLS, EQUIPMENT AND MATERIALS TO PROVIDE EROSION CONTROL MEASURES NECESSARY FOR ANY CONSTRUCTION OPERATION ON SITE BEFORE BEGINNING THAT OPERATION.
- 7. FIBER ROLLS AND/OR SILT FENCES SHALL BE INSTALLED BELOW ALL BARE SOIL AREAS TO PROTECT SEDIMENT FROM LEAVING THE WORK ZONE.
- 8. UNLESS DIRECTED OTHERWISE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY OCTOBER 15 AND MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION. REPAIRS TO THE EROSION AND SEDIMENTATION CONTROL FACILITIES SHOULD BE MADE AS REQUIRED.
- 9. ALL SILT CONTAINMENT FEATURES SHALL BE CLEANED AND READY TO FUNCTION AT THE START OF THE RAINY SEASON. INSPECT AFTER EACH SIGNIFICANT RAINFALL EVENT AND DAILY DURING PROLONGED STORM EVENTS. REMOVE SEDIMENT WHEN ACCUMULATIONS REACH ONE THIRD OF THE HEIGHT OF THE BARRIER.
- 10. ALL VEHICLES ENTERING ONTO A PUBLIC ROADWAY FROM THIS SITE SHALL HAVE CLEAN TIRES. WHEN A WASHING OF TIRES IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH 1-1/2" CRUSHED ROCK WHICH DRAINS INTO A SEDIMENT TRAP.
- 11. DUST CONTROL KEEP ALL SOIL STOCKPILES ADEQUATELY PROTECTED TO PREVENT WIND FROM BLOWING SEDIMENT AND DUST INTO THE ATMOSPHERE BY COVERING STOCKPILES OR BY APPLYING WATER OR OTHER DUST PALLIATIVE.
- 12. HOUSEKEEPING KEEP ALL SOILS AND FILL MATERIAL STORED AT THE CONSTRUCTION SITE IN A CLEAN AND ORDERLY FASHION. DO NOT LET EXCESS SOILS ACCUMULATE ON PAVED OR CONCRETE SURFACES. SWEEP OR CONTAIN EXCESS SOILS AT THE END OF EVERY WORKDAY.



SECTION A-A ~ WHEN PAVED

DROP INLET PROTECTION~ SOIL OR PAVED NOT TO SCALE



TYPICAL SECTION TEMPORARY CONSTRUCTION ENTRANCE NOT TO SCALE

POST @ 6'0.C. 3' FILTER FABRIC 4"X4"TRENCH WITH COMPACTED SYMBOL EARTH BACKFILL

MIRAFI SILT FENCE ~ PREFABRICATED WITH POCKETS OR WITH BELT OR APPROVED EQUAL SILT FENCE

LEGEND

· *|-|-|-|-|-|-|-|-|-|-|-|-*

FIBER ROLL

SEE CORRESPONDING BMP DETAIL ON THIS SHEET

SILT FENCE

COVER ALL MOUNDS W/ VISQUEEN FASTENED DOWN WITH ROPE AND SAND BAGS SECTION SOIL STOCKPILES NOT TO SCALE

> **Revised Plan Sheet Reviewed for Code Compliance** Don C. Jeppson 07/14/2024 Permit # B2303-046

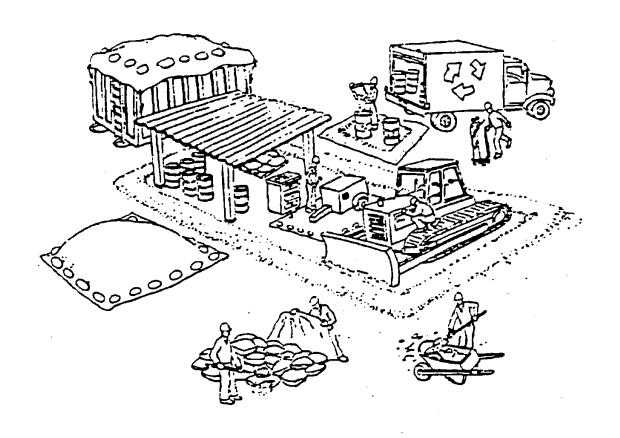
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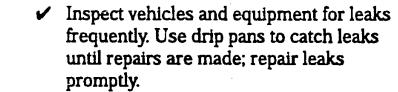
CLUE



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with City of San Rafael ordinance requirements.

Vehicle and equipment maintenance & cleaning



- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Dewatering operations Reuse water for dust control, irrigation, or another on-site purpose to the greates

- or another on-site purpose to the greatest extent possible.

 Be sure to call the City's Stormwater
- Manager before discharging water to a street, gutter, or storm drain. Call the Stormwater Manager at (415) 485-3435. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the City Fire Dept. to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✔ Place drip pans or absorbent material under paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



City of San Rafael Storm Water Program (415) 485-3435

Concrete, grout, and mortar storage & waste disposal

- ✔ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.
- Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain. If a suitable dirt area is not available, filter the wash water through hay bales before discharging to a storm drain.

Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible.

 Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition
- Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Call City of San Rafael
 Fire Department, (415) 485-3308

Earthwork & contaminated soils

- Keep excavated soil on the site where it is least likely to collect in the street.
 Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.

- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fastgrowing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Fire Dept., (415) 485-3308, for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Storm drain polluters may be liable for fines of up to \$500 per day!

BEST MANAGEMENT PRACTICES
RAFAEL AIRPORT RACQUET CLUB COMPLEX

BEST MA
SAN RAFAEL AIR

vn by: BM 1 Crew: – cked by: L.E.O.

C4.1

04-15

