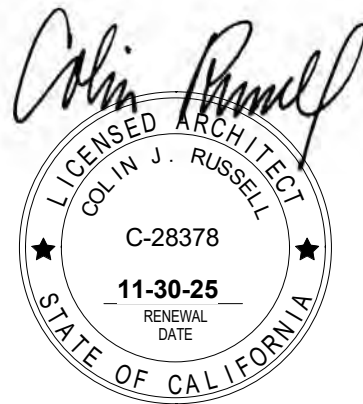




Harbor Flats Residences at Loch Lomond



990 A Street, Suite K
San Rafael, CA 94901
415.671.8892 tel.
415.594.0857 fax



Harbor Flats at Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

Project No.: 223006		
Drawn By: SB/CR		
Checked By: CR		
Issued Date: PLANNING SUBMITTAL 4/17/25		
Revisions		
No.	Description	Date

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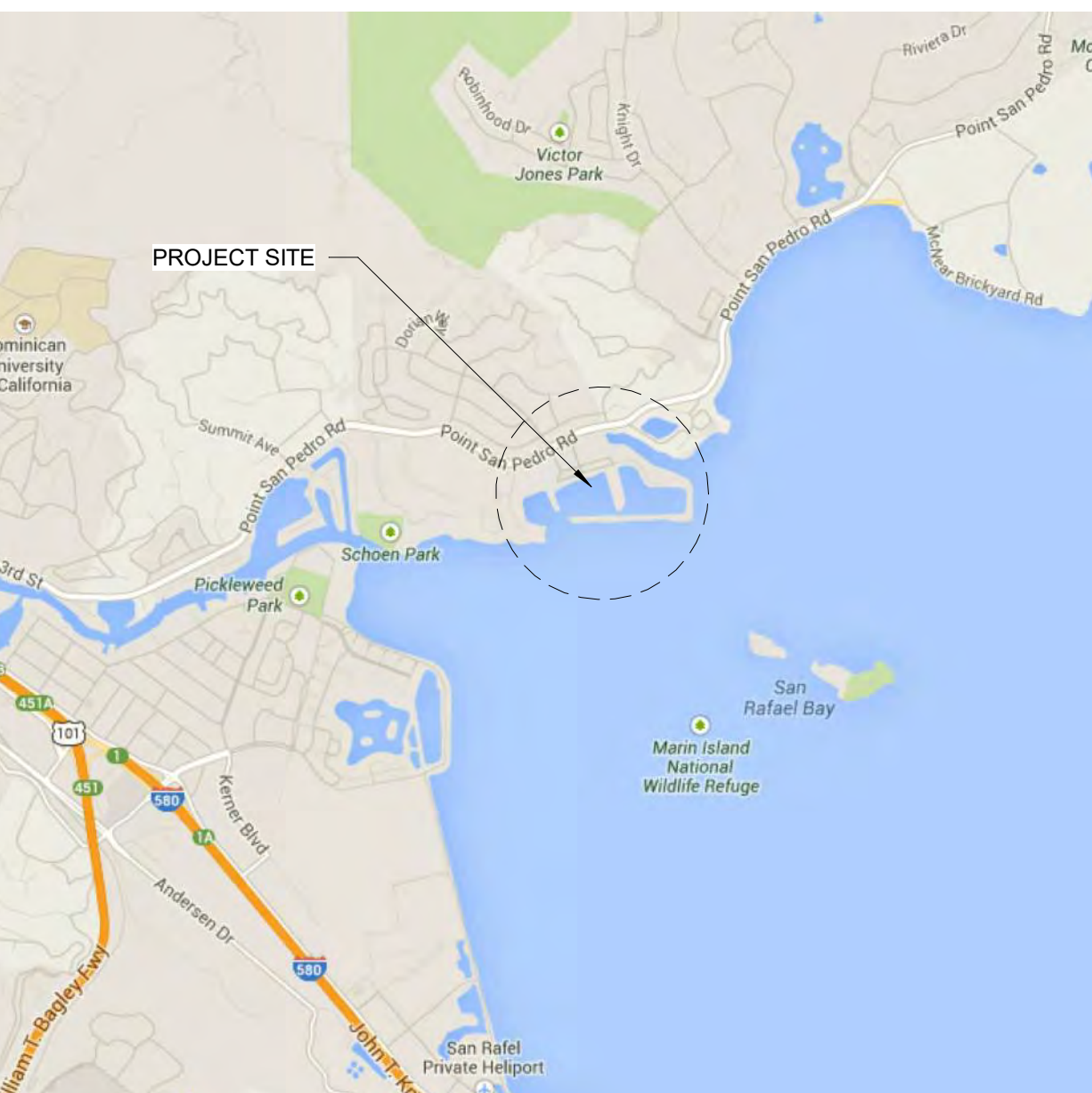
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COVER SHEET

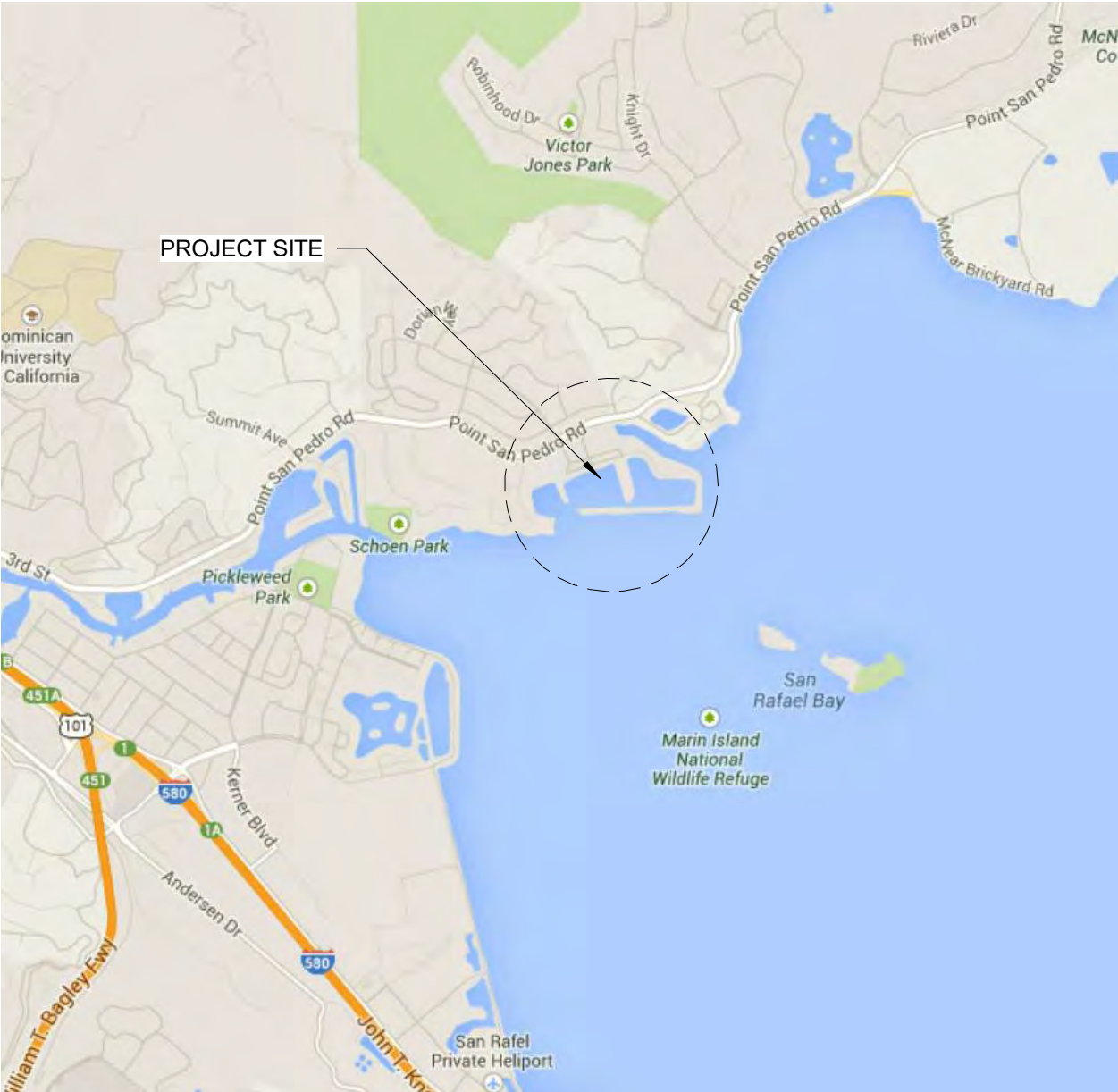
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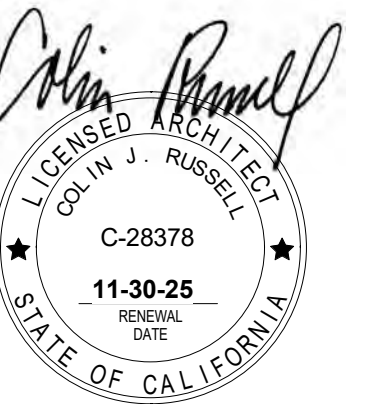
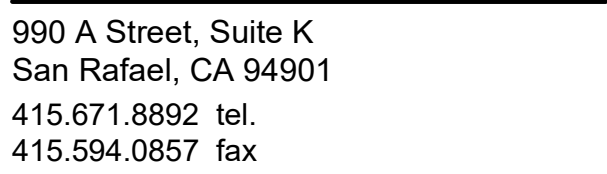
Sheet No:

A000

Of Sheets

SYMBOL LEGEND	CONTRACTOR GENERAL NOTES	SHEET INDEX		PROJECT TEAM																																																																															
<div>EXTERIOR ELEVATION : <div><div><div>1</div><div>A6</div></div><div>←</div><div>EXTERIOR ELEVATION NUMBER</div></div><div><div><div>SHEET WHERE ELEVATION OCCURS</div></div></div></div> <div>INTERIOR ELEVATION : <div><div><div>1</div><div>A7</div></div><div>←</div><div>WALL REFERENCE</div></div><div><div><div>1</div><div></div></div><div>←</div><div>DETAIL REFERENCE NUMBER</div></div><div><div><div>SHEET WHERE ELEVATION OCCURS</div></div></div></div> <div>WALL SECTION: <div><div><div>1</div><div>A8</div></div><div>←</div><div>WALL SECTION NUMBER</div></div><div><div><div>SHEET WHERE SECTION OCCURS</div></div></div></div> <div>DETAIL BUBBLE: <div><div><div>4</div><div>A6</div></div><div>←</div><div>DETAIL NUMBER</div></div><div><div><div>SHEET WHERE DETAIL OCCURS</div></div></div></div> <div>DETAIL SECTION: <div><div><div>3</div><div>A8</div></div><div>←</div><div>DETAIL NUMBER</div></div><div><div><div>SHEET WHERE DETAIL OCCURS</div></div></div></div> <div>KEYNOTE: <div><div><div>#</div><div></div></div><div>←</div><div>KEYNOTE NUMBER - NUMBER CORRESPONDS TO NUMBER IN KEYNOTE LEGEND</div></div></div> <div>WORKING POINT: <div><div><div>+8'-0"</div><div>T.O. STUD</div></div><div>←</div><div>ELEVATION TARGET OR WORKING POINT</div></div></div> <div>DOOR KEY: <div><div><div>#</div><div></div></div><div>←</div><div>DOOR NUMBER (SEE SHEET A0.1)</div></div></div> <div>FLOOR FINISH TAG: <div><div><div>FC2</div><div></div></div><div>←</div><div>FINISH REFERENCE (SEE SHEET A0.1)</div></div></div> <div>WALL / CEILING FINISH TAG: <div><div><div>B5</div><div></div></div><div>←</div><div>FINISH REFERENCE (SEE SHEET A0.1)</div></div></div>	<div>1. DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION FROM RUSSELL ARCHITECTS.</div> <div>2. THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO AND GOVERN THE WORK OF THIS CONTRACT. A COPY OF THE GENERAL CONDITIONS, ALTHOUGH NOT BOUND HEREIN, IS AVAILABLE FOR REVIEW AT THE OFFICE OF OWNER'S REPRESENTATIVE.</div> <div>3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE PROMPTLY OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.</div> <div>4. DISCREPANCIES AND INCONSISTENCIES IN CONTRACT DOCUMENTS: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD, OF ANY INCONSISTENCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF THIS INFORMATION, THE OWNER'S REPRESENTATIVE WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CLAIMS FOR EXTRAS WILL NOT BE HONORED.</div> <div>5. TESTING AND INSPECTIONS: THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE BUILDING CODES, ORDINANCES OR DIRECTIVES OF GOVERNING BUILDING OFFICIALS. THE OWNER OR OWNER'S REPRESENTATIVE MAY REQUIRE TESTING OF MATERIALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN THE TESTING INDICATES NON-CONFORMANCE.</div> <div>6. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR PLAN CHECKING FEES AND BUILDING PERMITS. EACH CONTRACTOR SHALL SECURE AND PAY FOR PERMITS REQUIRED FOR THEIR WORK AND FOR ALL INSPECTIONS WHICH MAY ALSO BE REQUIRED.</div> <div>7. SCOPE OF WORK: THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN ON THE DRAWINGS WITH THE EXCEPTION OF WATER AND POWER, WHICH WILL BE PAID BY THE OWNER.</div> <div>8. ALL MATERIALS SHALL BE NEW AND UNUSED AND OF HIGH QUALITY IN EVERY RESPECT. ALL WORK TO BE DONE IN A PROFESSIONAL MANNER. MANUFACTURER'S MATERIAL, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. ALL WORKERS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.</div> <div>9. MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO WORK DONE BY SUBCONTRACTORS AS WELL AS THE WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR.</div> <div>10. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING AND FORMWORK AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.</div> <div>11. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.</div> <div>12. SHOP DRAWINGS: CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NEW FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OR EXECUTION.</div> <div>13. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL SASH AND SLIDING GLASS DOORS TO HAVE WEATHERSTRIPPING.</div> <div>14. ALL GLAZING SHALL COMPLY WITH CHAPTER C.B.C., 2022 EDITION.</div> <div>15. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE (N.E.C.), LOCATION AND RATING OF ALL ELECTRICAL PANELS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.</div> <div>16. SEE TITLE 24 ENERGY COMPLIANCE DOCUMENTS FOR ALL ENERGY CONSERVATION INSULATION AND FURNACE REQUIREMENTS.</div> <div>17. MECHANICAL CONTRACTOR TO INSTALL A COMPLETE NEW HVAC SYSTEM INCLUDING: DUCTS, HEATING & COOLING UNITS, CONTROLS, THERMOSTATS, AND ALL OTHER REQUIRED COMPONENTS. COORDINATE HVAC WORK WITH ELECTRICAL CONTRACTOR. COORDINATE DUCT LOCATIONS WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION. PROVIDE SMOKE DETECTORS WITH PRIMARY POWER FROM BUILDING WIRING WHERE SHOWN ON DRAWINGS.</div> <div>18. ELECTRICAL CONTRACTOR TO COORDINATE ALL WORK WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.</div> <div>19. PROVIDE WATER-RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATIONS, INCLUDING BATHROOMS, SHOWER ROOMS AND KITCHENS. PROVIDE CEMENT BACKER BOARD AT ALL CERAMIC TILE SURFACES.</div>	<div>ARCHITECTURAL</div> <table><tr><th>Sheet Number</th><th>Sheet Name</th><th>Current Revision</th></tr><tr><td>A000</td><td>COVER SHEET</td><td></td></tr><tr><td>A001</td><td>Site Plan - Overall</td><td></td></tr><tr><td>A002</td><td>Site Plan</td><td></td></tr><tr><td>A002.1</td><td>Renderings</td><td></td></tr><tr><td>A002.3</td><td>Previously Approved Project - Level 1</td><td></td></tr><tr><td>A002.4</td><td>Previously Approved Project - Level 2</td><td></td></tr><tr><td>A002.5</td><td>Site Photos</td><td></td></tr><tr><td>A005</td><td>Areas</td><td></td></tr><tr><td>A201</td><td>Level 1 Floor Plan</td><td></td></tr><tr><td>A202</td><td>Level 2 Floor Plan</td><td></td></tr><tr><td>A203</td><td>Level 3 Floor Plan</td><td></td></tr><tr><td>A204</td><td>Roof Plan</td><td></td></tr><tr><td>A211</td><td>Elevator Mfr. Details</td><td></td></tr><tr><td>A501</td><td>Exterior Elevations</td><td></td></tr><tr><td>A502</td><td>Exterior Elevations</td><td></td></tr><tr><td>A601</td><td>Building Sections</td><td></td></tr></table> <div>Sheet Number</div> <div>Sheet Name - Civil</div> <div>Current Revision</div> <table><tr><td>TM1.0</td><td>VESTING TENTATIVE MAP</td><td></td></tr><tr><td>TM2.0</td><td>EXISTING CONDITIONS PLAN</td><td></td></tr><tr><td>TM3.0</td><td>PROPOSED LOTTING PLAN</td><td></td></tr><tr><td>TM4.0</td><td>RELIMINARY GRADING AND DRAINAGE PLAN</td><td></td></tr><tr><td>TM6.0</td><td>PRELIMINARY STORMWATER TREATMENT PLAN</td><td></td></tr><tr><td>TM7.0</td><td>PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN</td><td></td></tr><tr><td>TM2.0</td><td>EXISTING CONDITIONS PLAN</td><td></td></tr><tr><td>TM5.0</td><td>PRELIMINARY UTILITY PLAN</td><td></td></tr></table> <div>Sheet Number</div> <div>Sheet Name - Landscape</div> <div>Current Revision</div> <table><tr><td>L1.0</td><td>LANDSCAPE SITE PLAN</td><td></td></tr></table>		Sheet Number	Sheet Name	Current Revision	A000	COVER SHEET		A001	Site Plan - Overall		A002	Site Plan		A002.1	Renderings		A002.3	Previously Approved Project - Level 1		A002.4	Previously Approved Project - Level 2		A002.5	Site Photos		A005	Areas		A201	Level 1 Floor Plan		A202	Level 2 Floor Plan		A203	Level 3 Floor Plan		A204	Roof Plan		A211	Elevator Mfr. 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INSTALL TYPE 13 SPRINKLER SYSTEM THROUGHOUT, ALL FLOORS OCCUPANT LOADS: RESIDENTIAL: 164 PARKING: 80 Type of Construction (Table 601): V-A S1 (Fully Sprinklered) Fire Resistive Construction Requirements Primary Structural Frame 1 hour Bearing walls, exterior: 1 hour Bearing walls, interior 1 hour Non-bearing walls, exterior ≥30' separation (Table 705.5) 0 hour Non-bearing walls and partitions, interior 0 hour Floor Construction 1 hour Roof Construction 1 hour Max. Exterior Wall Openings (Table 705.5, ≥30' separation): No limit Elec Vehicle charging Residential Parking Spaces = 32 Total : Required 1 Provided 14</div> <div>All construction shall comply with 2022 California Building Code, 2022 California Plumbing code, 2022 California Mechanical code, 2022 California Electrical Code and other applicable sections of the San Rafael Municipal Code. No hazardous materials will be stored and/or used within the building which exceed the quantities listed in IBC Tables 307.1(1) and 307.1(2).</div> <div>SCOPE OF WORK A NEW RESIDENTIAL DEVELOPMENT WITH 14 UNITS OVER PARKING</div>	<div>PROJECT TEAM</div> <div>OWNER: Andy Bachich 75 Loch Lomond Drive San Rafael, CA 94901 (415) 456-5730 Andy@andyslocalmarket.com</div> <div>ARCHITECT: Russell Architects 1430 Fourth Street San Rafael, CA 94901 Attn: Colin Russell 415-686-1594 crussell@russarch.net</div> <div>CIVIL ENGINEER: Ruggeri-Jensen-Azar Engineers (RJA) 4690 Chabot Drive, Suite 200 Pleasanton, CA 94588 Attn: Dominic Carucci (925) 227-9100 dcarucci@rja-gps.com</div> <div>PLANNING CONSULTANT LAK Associates PO Box 7043 Corte Madera, CA 94976 (415) 533-2111 Sean Kennings sean@lakassociates.com</div> <div>LANDSCAPE ARCHITECT: Studio Green 232 Sir Francis Drake Blvd. San Anselmo CA 94960 (415) 721-0905 John Merten john@studiogreen.com Michelle Lorenz michelle@studiogreen.com</div>
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25 Loch Lomond Drive
San Rafael, CA

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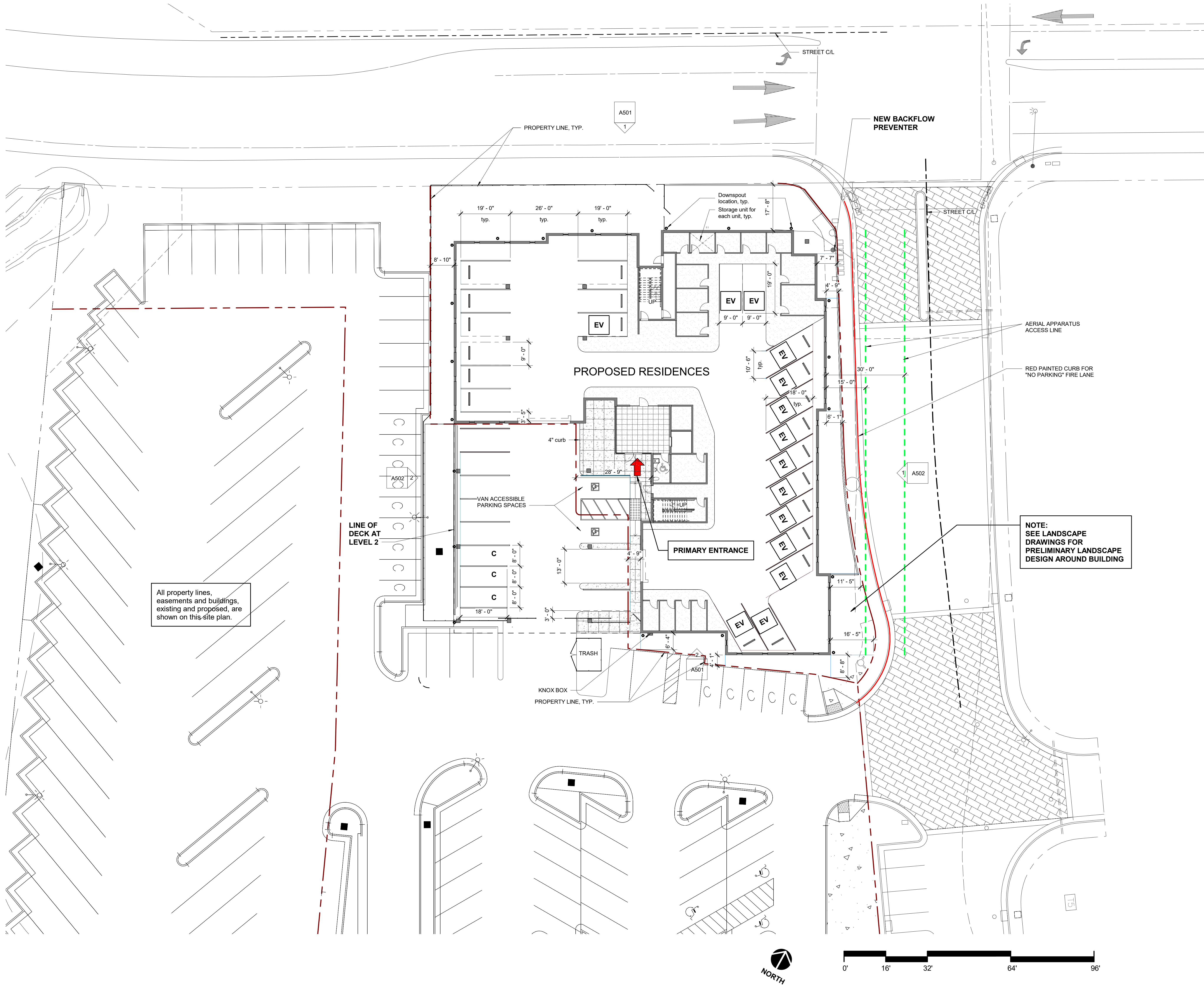
Sheet Title
Site Plan - Overall

Scale: 1" = 30'-0"

Sheet No: _____

A001

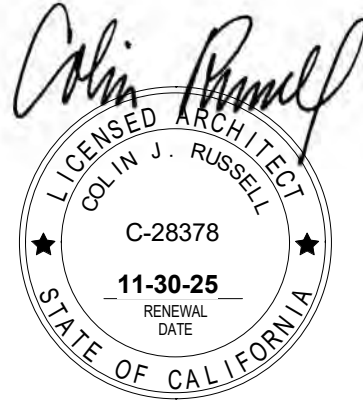
Of Sheets



1 Site Plan
1/16" = 1'-0"



990 A Street, Suite K
San Rafael, CA 94901
415.671.8892 tel.
415.594.0857 fax



Harbor Flats at Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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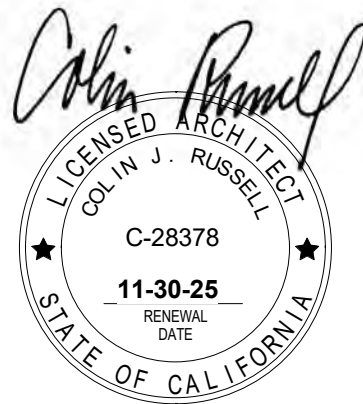
Sheet Title Site Plan

Scale: 1/16" = 1'-0"

Sheet No:

A002

Of Sheets



**Harbor Flats at
Loch Lomond**

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
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Sheet Title
Renderings

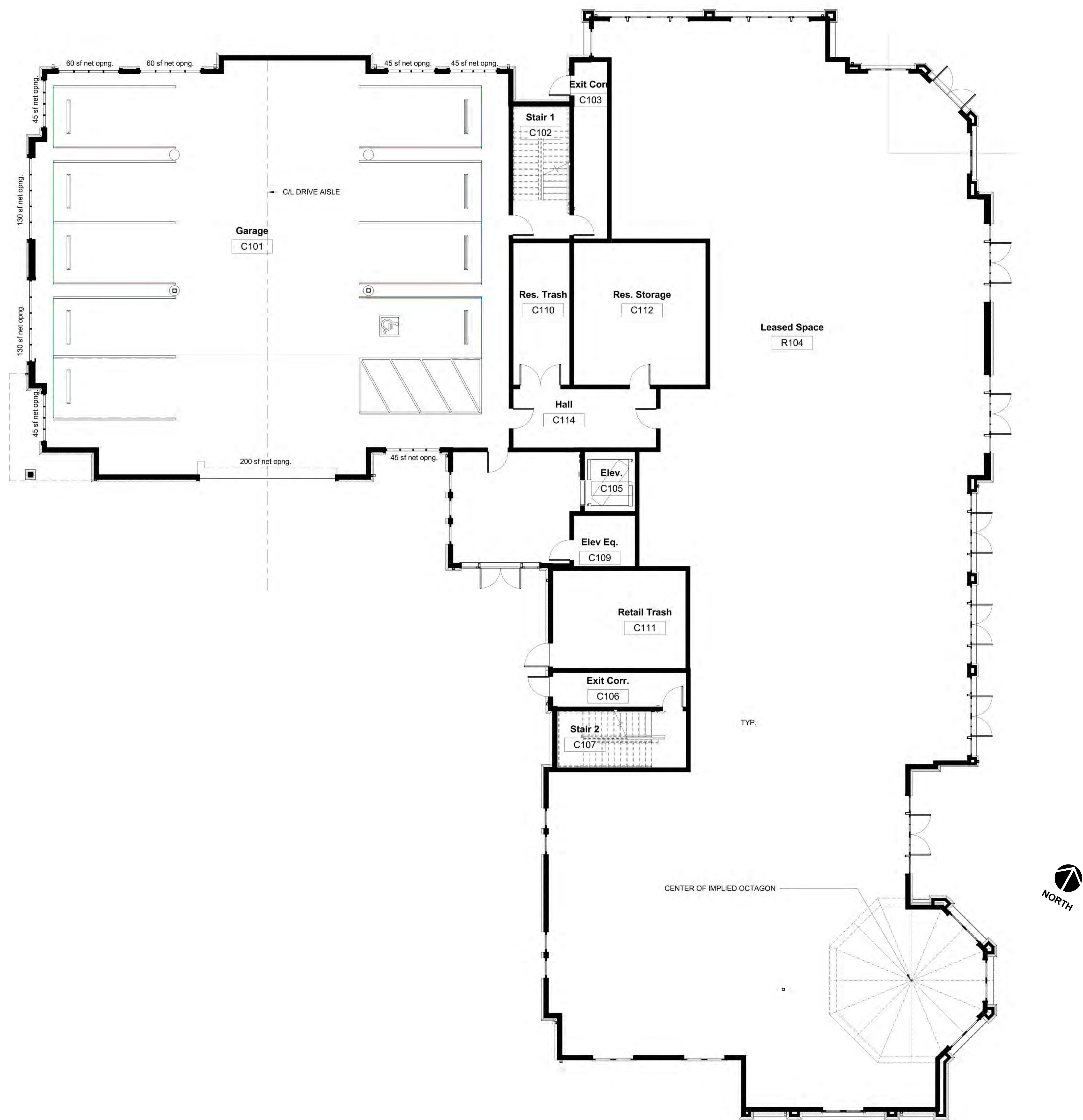
Scale:

Sheet No:

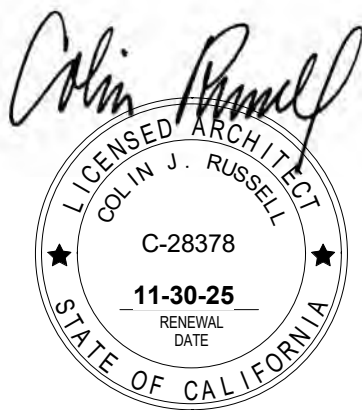
A002.1

Of Sheets





1 Previously Approved Plan Level 1
12" = 1'-0"



**Harbor Flats at
Loch Lomond**

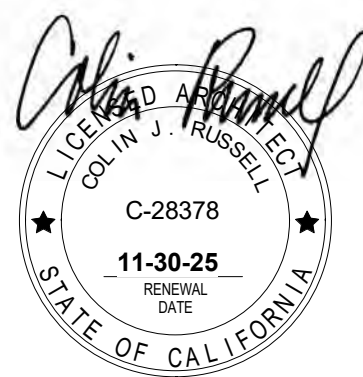
25 Loch Lomond Drive
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Sheet Title :
**Previously
Approved Project
- Level 1**
Scale: 12" = 1'-0"

Sheet No:
A002.3
Of Sheets



Harbor Flats at
Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

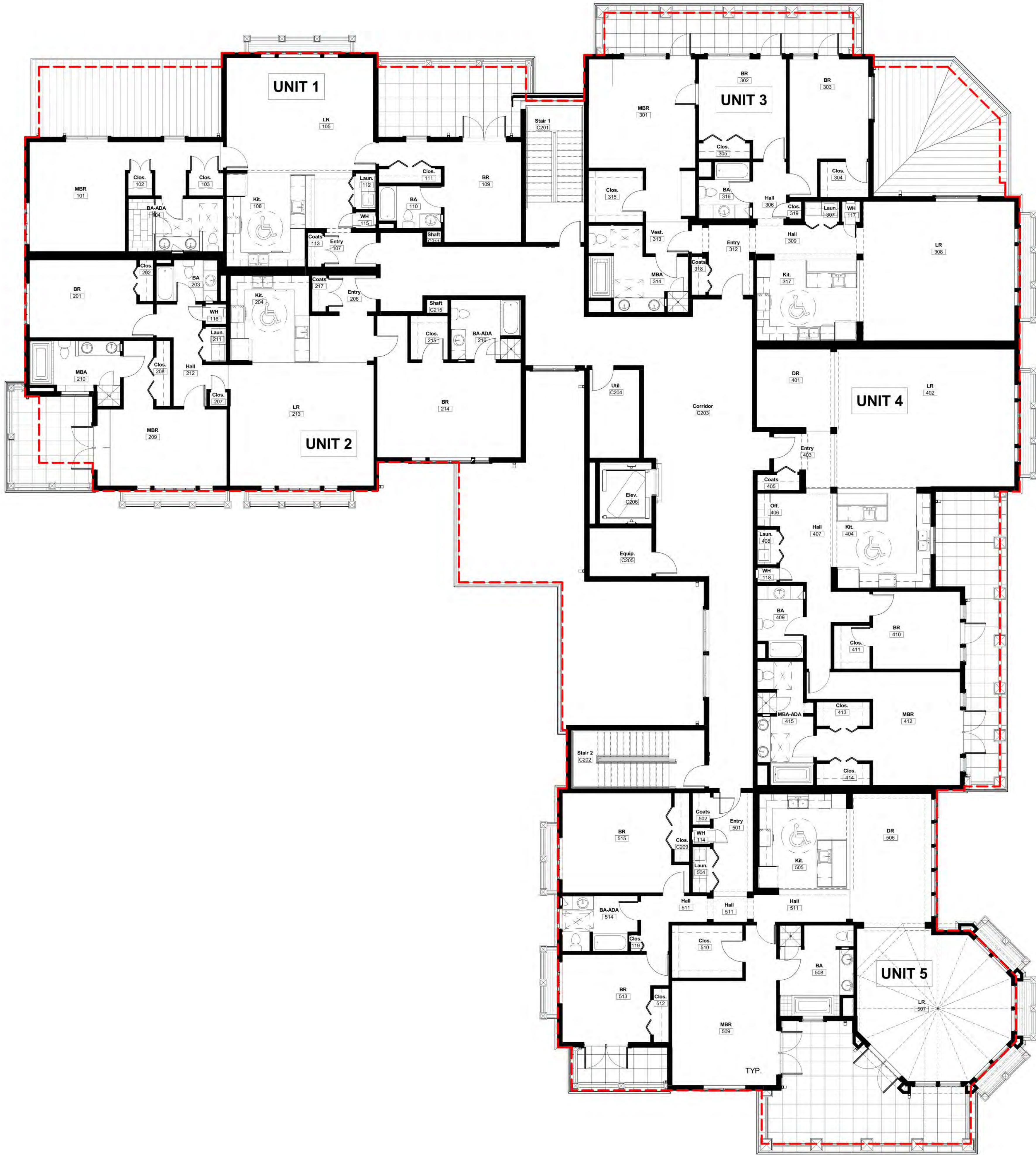
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Sheet Title :
**Previously
Approved Project
- Level 2**
Scale: 1/2" = 1'-0"

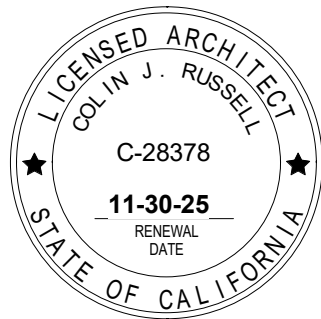
Sheet No:
A002.4
Of Sheets



1 Previously Approved Plan Level 2
1/2" = 1'-0"



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Harbor Flats at
Loch Lomond

25 Loch Lomond Drive
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Project No.:	223006	
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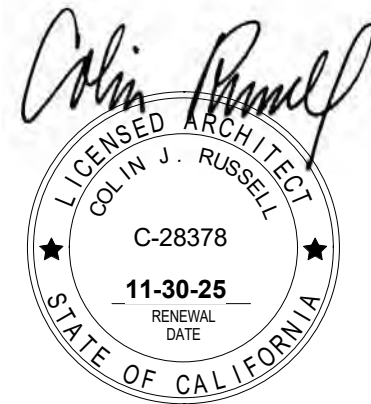
Sheet Title
Site Photos

Scale:

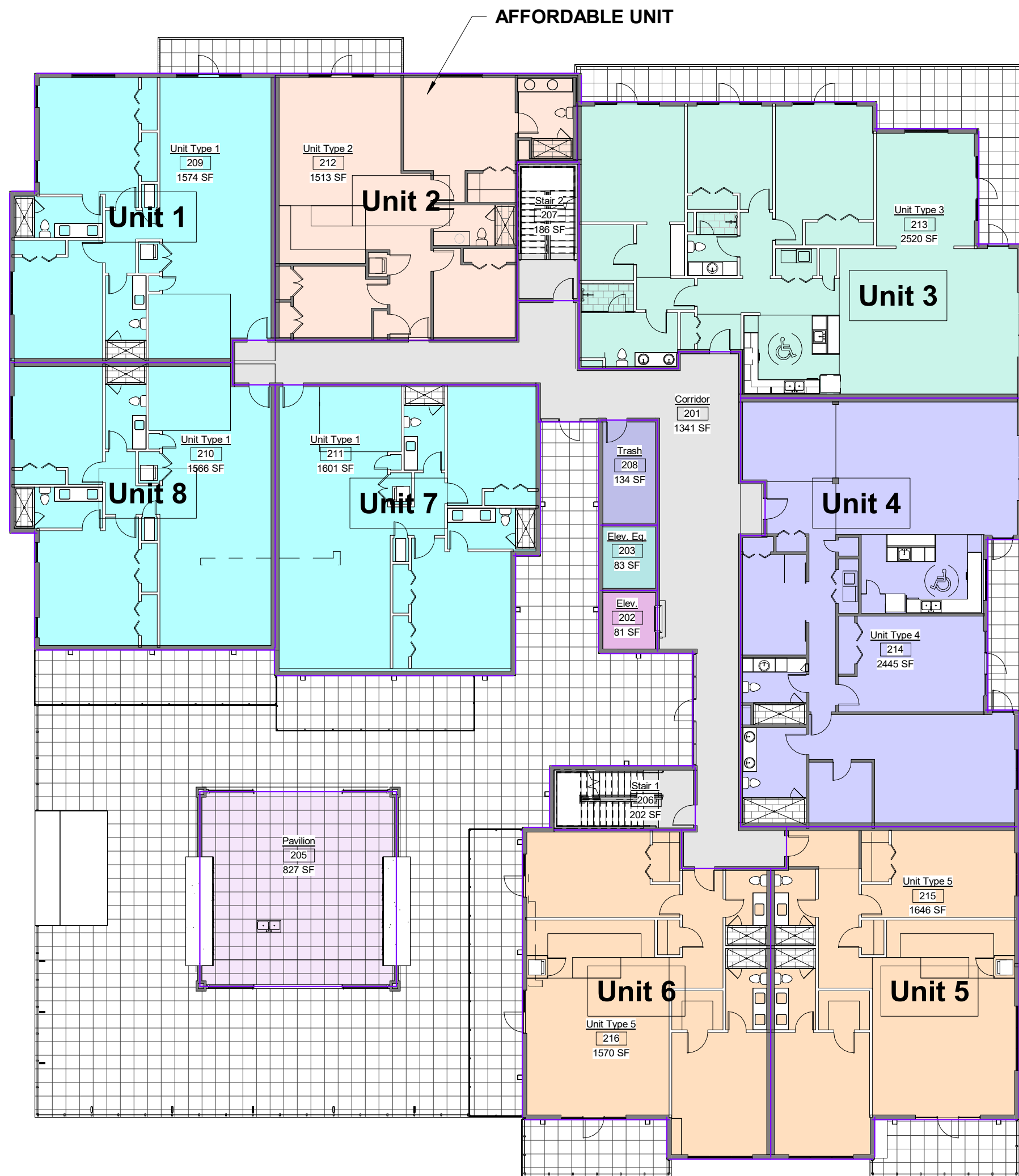
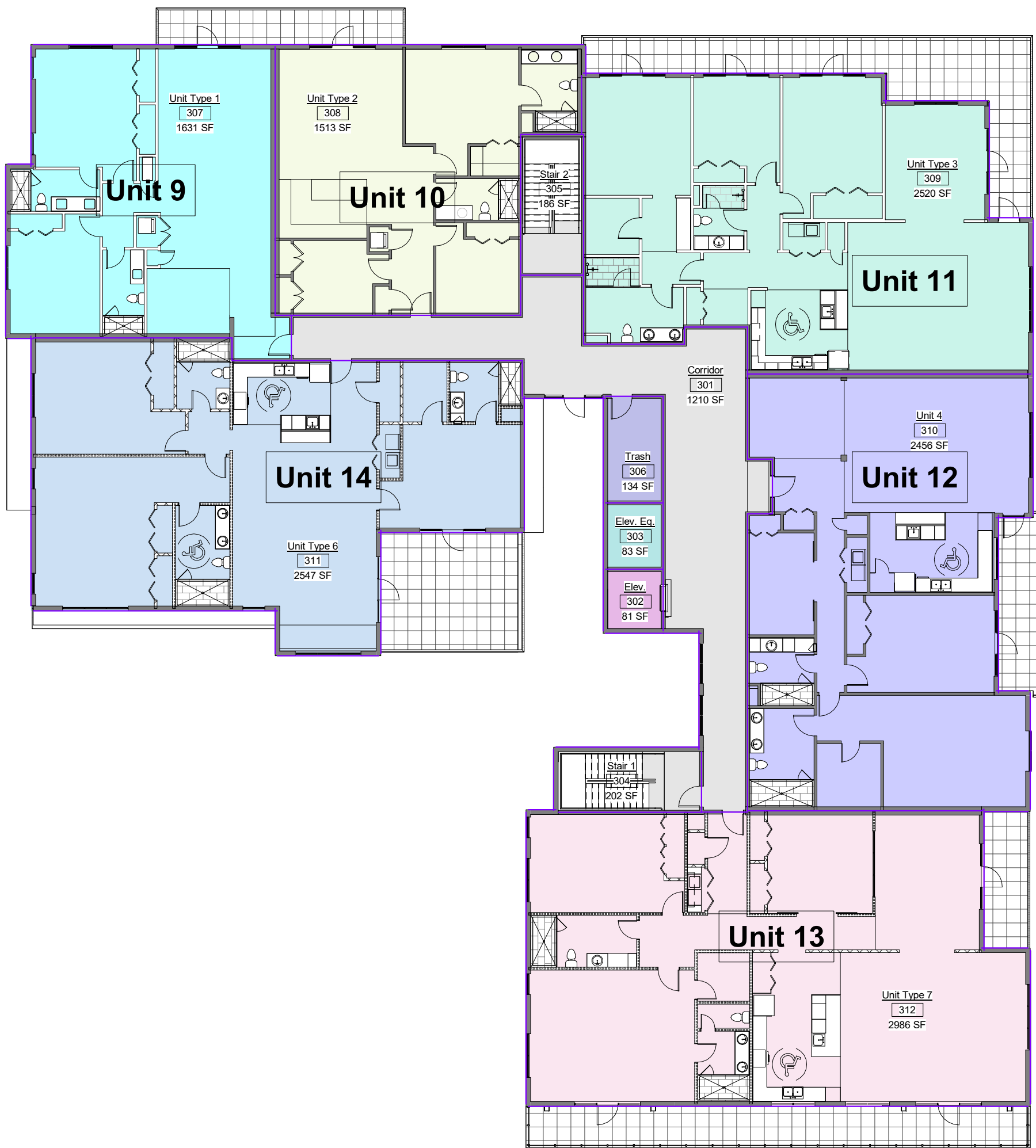
Sheet No:

A002.5

Of Sheets



Harbor Flats at
Loch Lomond



3 Level 3 Areas
1/16" = 1'-0"

2 Level 2 Areas
1/16" = 1'-0"

1 Level 1 Areas
1/16" = 1'-0"

OCCUPANT LOAD BY AREA						
Level	Number	Name	Area	Occ Load Factor	Occupant Load	Exit Width Req'd (inches)
Level 1	101	Parking	13224 SF	200	66.12	13.2
Level 1	102	Stair 1	196 SF	200	0.98	0.2
Level 1	103	Stair 2	189 SF	200	0.94	0.2
Level 1	104	Trash	158 SF	200	0.79	0.2
Level 1	151	Lobby	394 SF	200	1.97	0.4
Level 1	152	Elev. Eq.	80 SF	200	0.40	0.1
Level 1	153	Elev.	74 SF	200	0.37	0.1
Level 1	157	Corridor	137 SF	200	0.68	0.1
Level 1	158	W.C.	85 SF	200	0.43	0.1
Level 1	159	Storage	791 SF	200	3.96	0.8
Level 1	160	Storage	348 SF	200	1.74	0.3
Level 1	161	Storage	320 SF	200	1.60	0.3
			15997 SF		79.99	16.0
Level 2	201	Corridor	1341 SF	200	6.71	1.3
Level 2	202	Elev.	81 SF	200	0.40	0.1
Level 2	203	Elev. Eq.	83 SF	200	0.42	0.1
Level 2	205	Pavilion	827 SF	200	4.14	0.8
Level 2	206	Stair 1	202 SF	200	1.01	0.2
Level 2	207	Stair 2	186 SF	200	0.93	0.2
Level 2	208	Trash	134 SF	200	0.67	0.1
Level 2	209	Unit Type 1	1574 SF	200	7.87	1.6
Level 2	210	Unit Type 1	1566 SF	200	7.83	1.6
Level 2	211	Unit Type 1	1601 SF	200	8.01	1.6
Level 2	212	Unit Type 2	1513 SF	200	7.57	1.5
Level 2	213	Unit Type 3	2520 SF	200	12.60	2.5
Level 2	214	Unit Type 4	2445 SF	200	12.22	2.4
Level 2	215	Unit Type 5	1646 SF	200	8.23	1.6
Level 2	216	Unit Type 5	1570 SF	200	7.85	1.6
			17291 SF		86.45	17.3
Level 3	301	Corridor	1210 SF	200	6.05	1.2
Level 3	302	Elev.	81 SF	200	0.40	0.1
Level 3	303	Elev. Eq.	83 SF	200	0.42	0.1
Level 3	304	Stair 1	202 SF	200	1.01	0.2
Level 3	305	Stair 2	186 SF	200	0.93	0.2
Level 3	306	Trash	134 SF	200	0.67	0.1
Level 3	307	Unit Type 1	1631 SF	200	8.15	1.6
Level 3	308	Unit Type 2	1513 SF	200	7.57	1.5
Level 3	309	Unit Type 3	2520 SF	200	12.60	2.5
Level 3	310	Unit 4	2456 SF	200	12.28	2.5
Level 3	311	Unit Type 6	2547 SF	200	12.73	2.5
Level 3	312	Unit Type 7	2986 SF	200	14.93	3.0
			15549 SF		77.75	15.5
Grand total			48837 SF		244.19	48.8

Area Schedule (Gross Building)			
Level	Number	Name	Area
Level 1	157	Corridor	137 SF
Level 1	153	Elev.	74 SF
Level 1	152	Elev. Eq.	80 SF
Level 1	151	Lobby	394 SF
Level 1	101	Parking	13224 SF
Level 1	102	Stair 1	196 SF
Level 1	103	Stair 2	189 SF
Level 1	159	Storage	791 SF
Level 1	160	Storage	348 SF
Level 1	161	Storage	320 SF
Level 1	104	Trash	158 SF
Level 1	158	W.C.	85 SF
			15997 SF
Level 2	201	Corridor	1341 SF
Level 2	202	Elev.	81 SF
Level 2	203	Elev. Eq.	83 SF
Level 2	205	Pavilion	827 SF
Level 2	206	Stair 1	202 SF
Level 2	207	Stair 2	186 SF
Level 2	208	Trash	134 SF
Level 2	209	Unit Type 1	1574 SF
Level 2	210	Unit Type 1	1566 SF
Level 2	211	Unit Type 1	1601 SF
Level 2	212	Unit Type 2	1513 SF
Level 2	213	Unit Type 3	2520 SF
Level 2	214	Unit Type 4	2445 SF
Level 2	215	Unit Type 5	1646 SF
Level 2	216	Unit Type 5	1570 SF
			17291 SF
Level 3	301	Corridor	1210 SF
Level 3	302	Elev.	81 SF
Level 3	303	Elev. Eq.	83 SF
Level 3	304	Stair 1	202 SF
Level 3	305	Stair 2	186 SF
Level 3	306	Trash	134 SF
Level 3	310	Unit 4	2456 SF
Level 3	307	Unit Type 1	1631 SF
Level 3	308	Unit Type 2	1513 SF
Level 3	309	Unit Type 3	2520 SF
Level 3	311	Unit Type 6	2547 SF
Level 3	312	Unit Type 7	2986 SF
			15549 SF
			48837 SF

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	MS	
Checked By:	CR	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. Russell Architects must be notified of any variations from the dimensions and conditions shown by these drawings. Electronic files furnished by Russell Architects are strictly for reference only. Russell Architects shall be indemnified and held harmless for any and all modifications to such electronic files by others.

Sheet Title
Areas

Scale: 1/16" = 1'-0"

Sheet No:

A005

Of Sheets

Harbor Flats at
Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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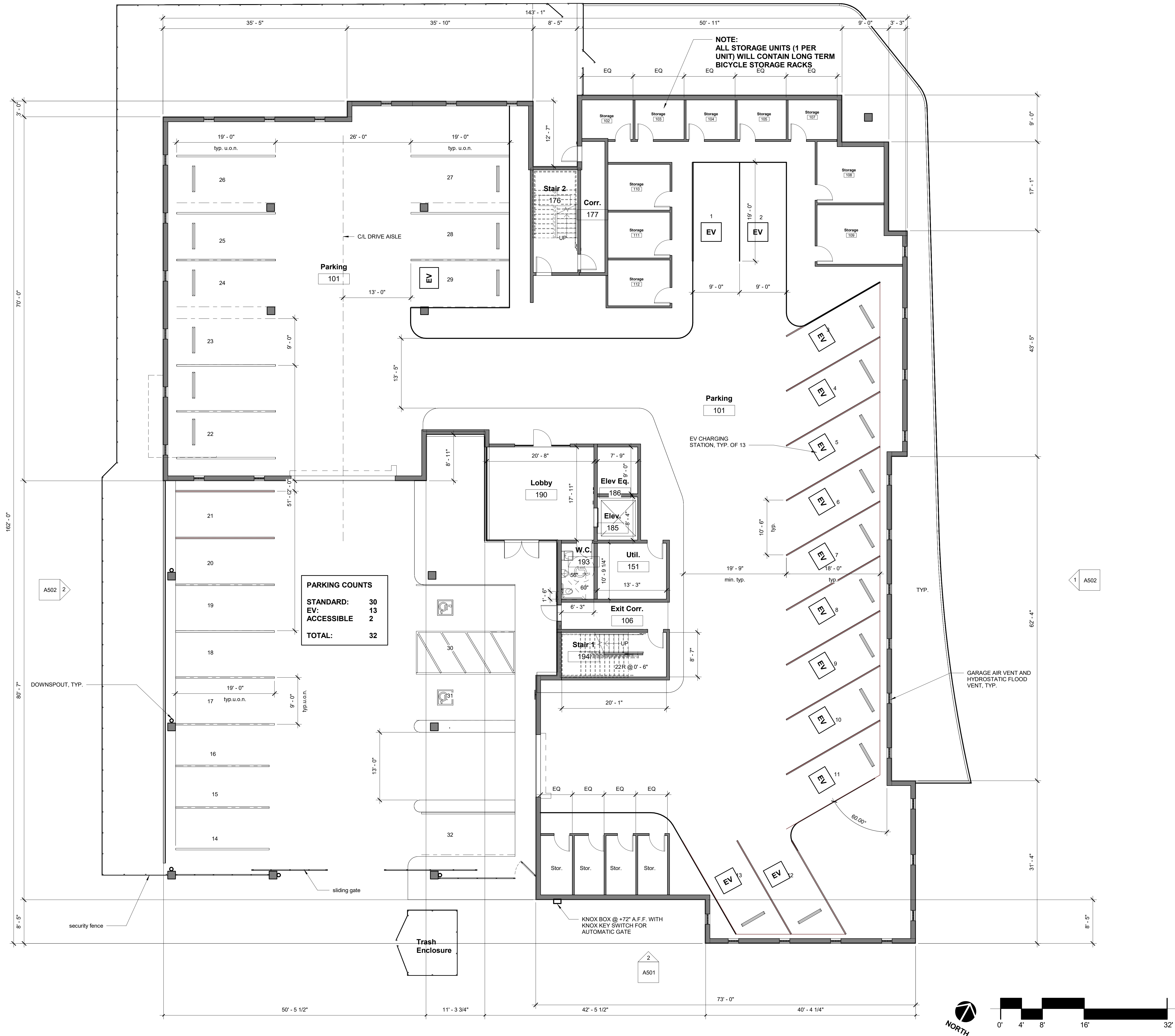
Sheet Title
Level 1 Floor Plan

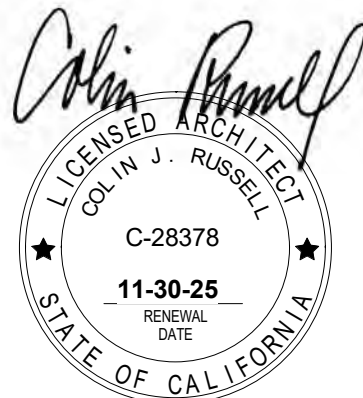
Scale: 1/8" = 1'-0"

Sheet No:

A201

Of Sheets





**Harbor Flats at
Loch Lomond**

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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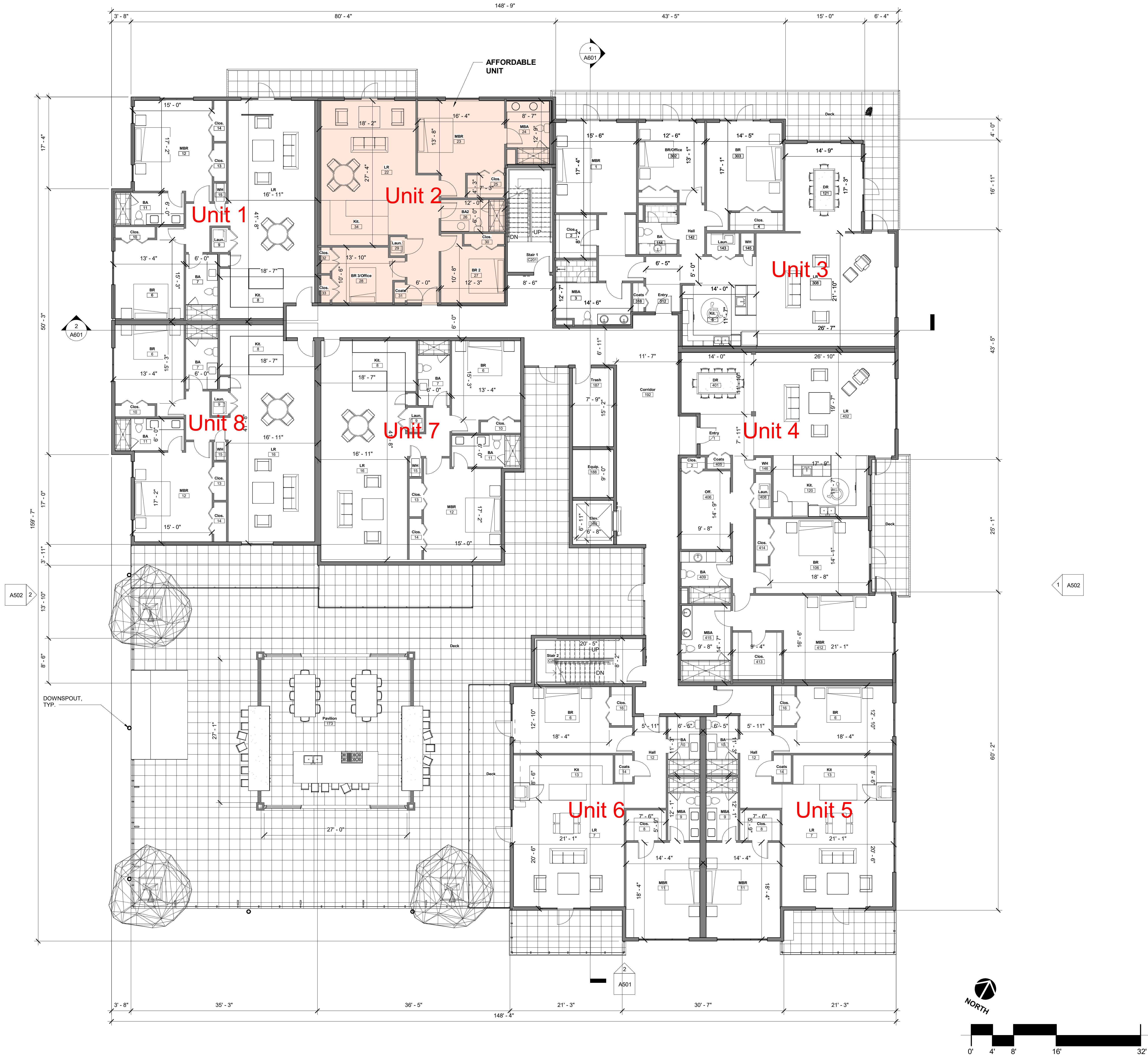
Sheet Title
Level 2 Floor Plan

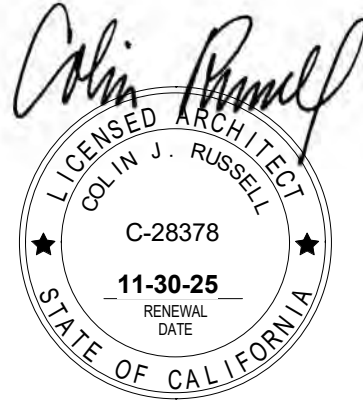
Scale: 1/8" = 1'-0"

Sheet No:

A202

Of Sheets





Harbor Flats at
Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
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Revisions		
No.	Description	Date

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Sheet Title
Level 3 Floor Plan

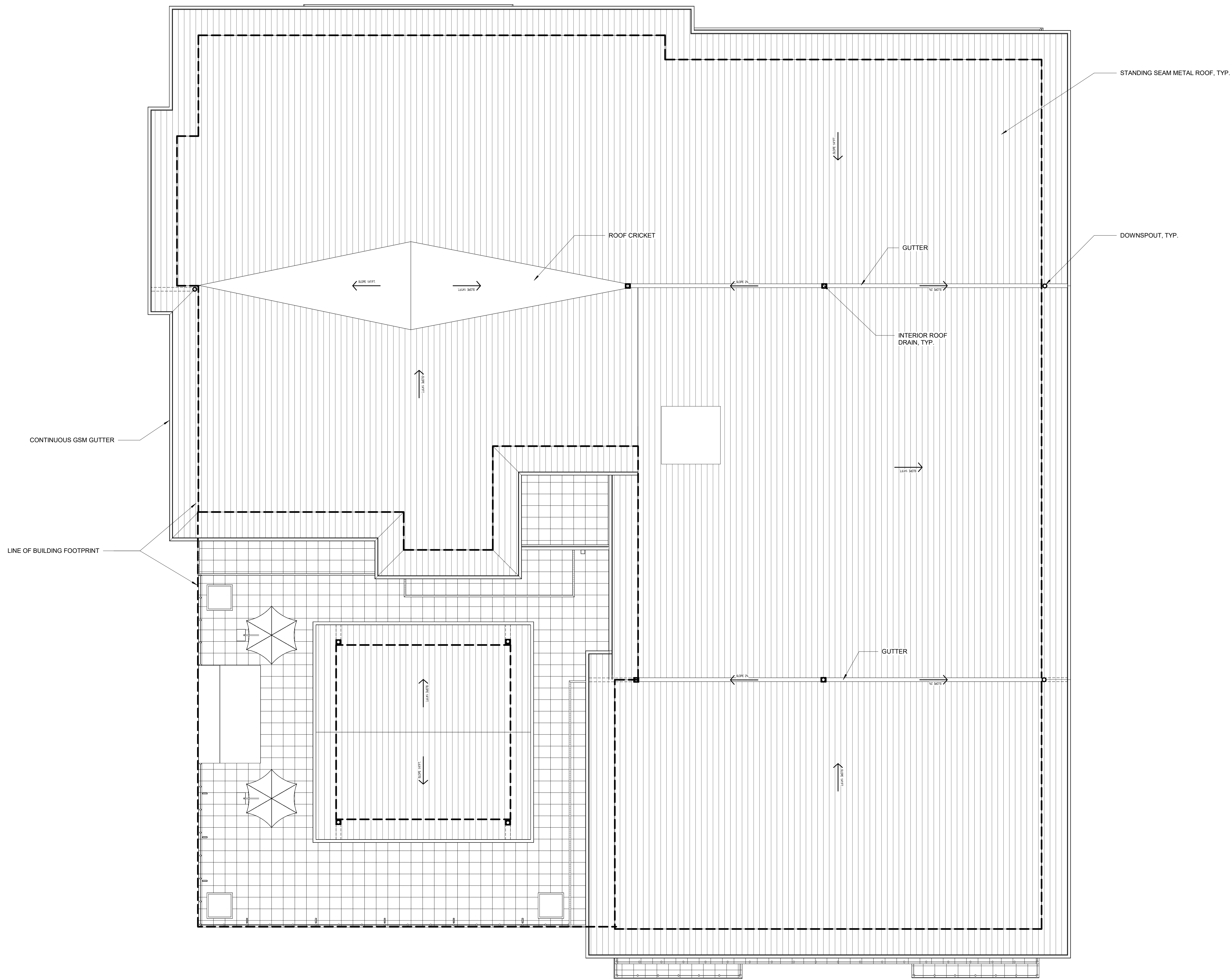
Scale: 1/8" = 1'-0"

Sheet No:

A203

Of Sheets

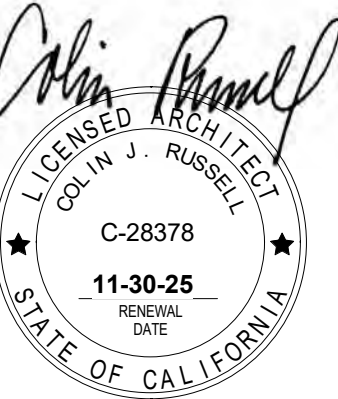




1 Roof
1/8" = 1'-0"



990 A Street, Suite K
San Rafael, CA 94901
415.671.8892 tel.
415.594.0857 fax



**Harbor Flats at
Loch Lomond**

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
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Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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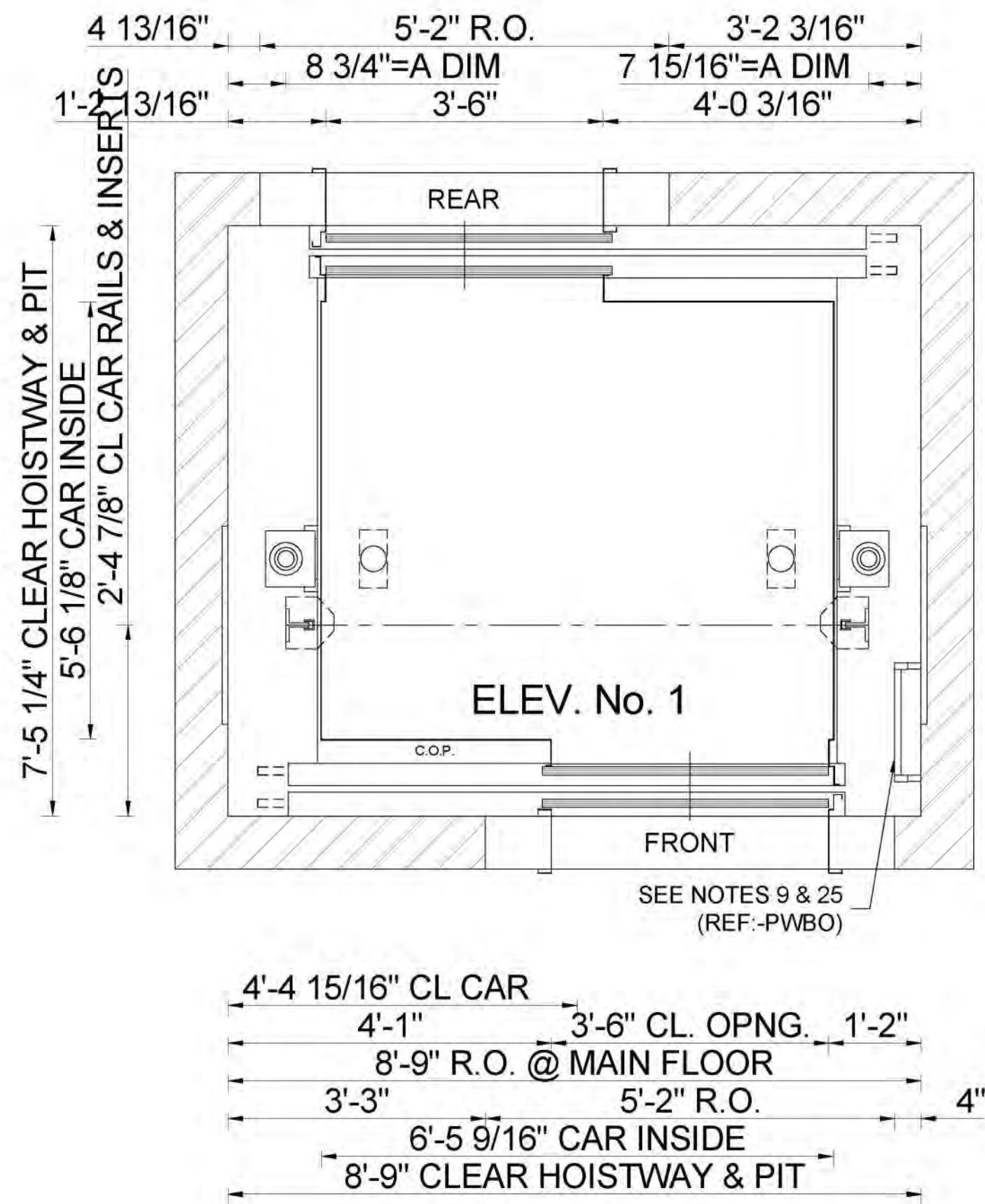
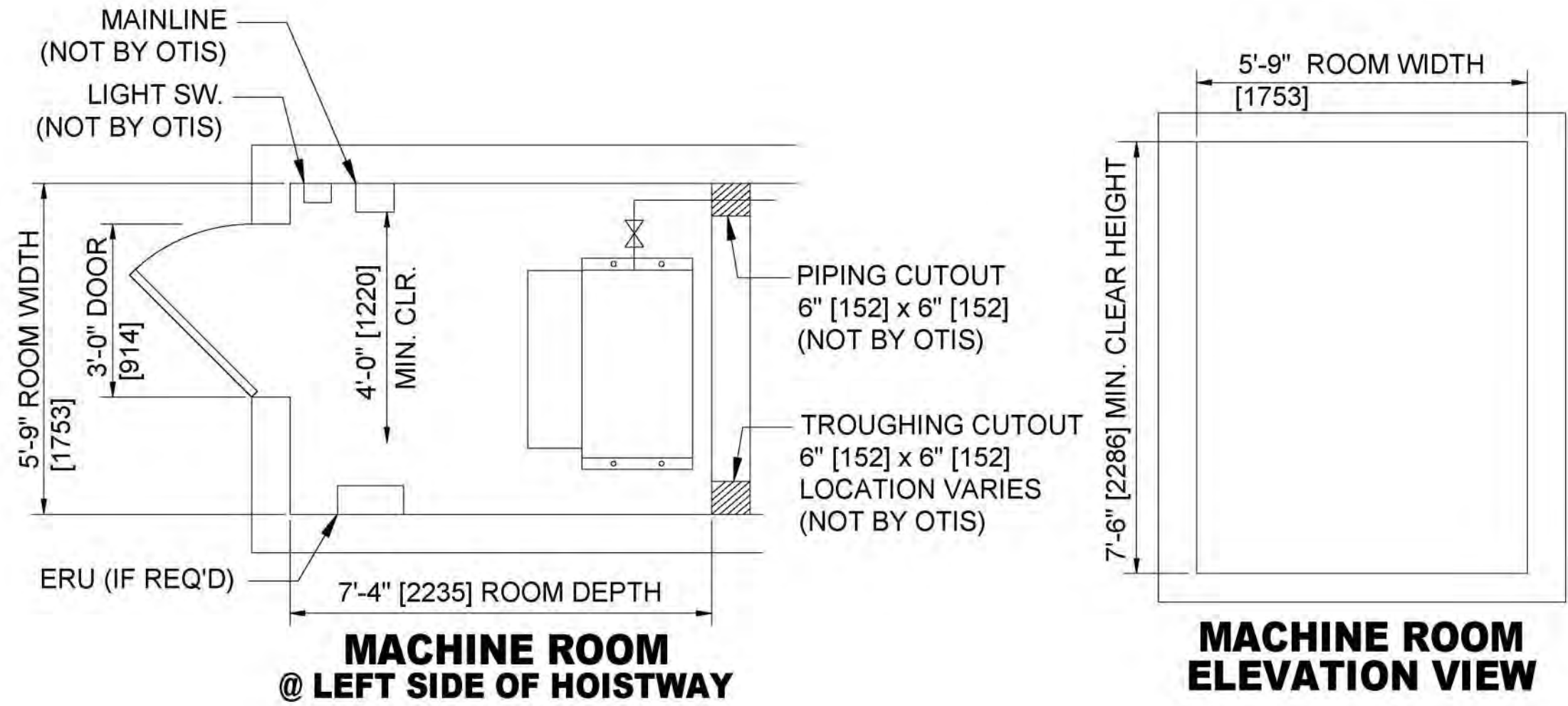
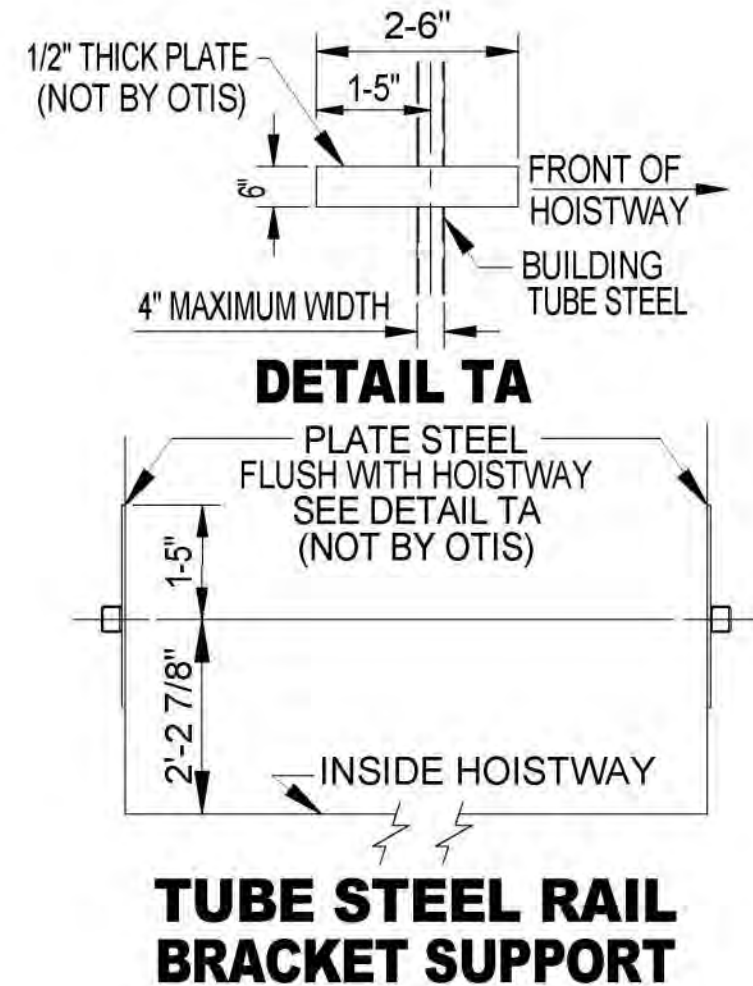
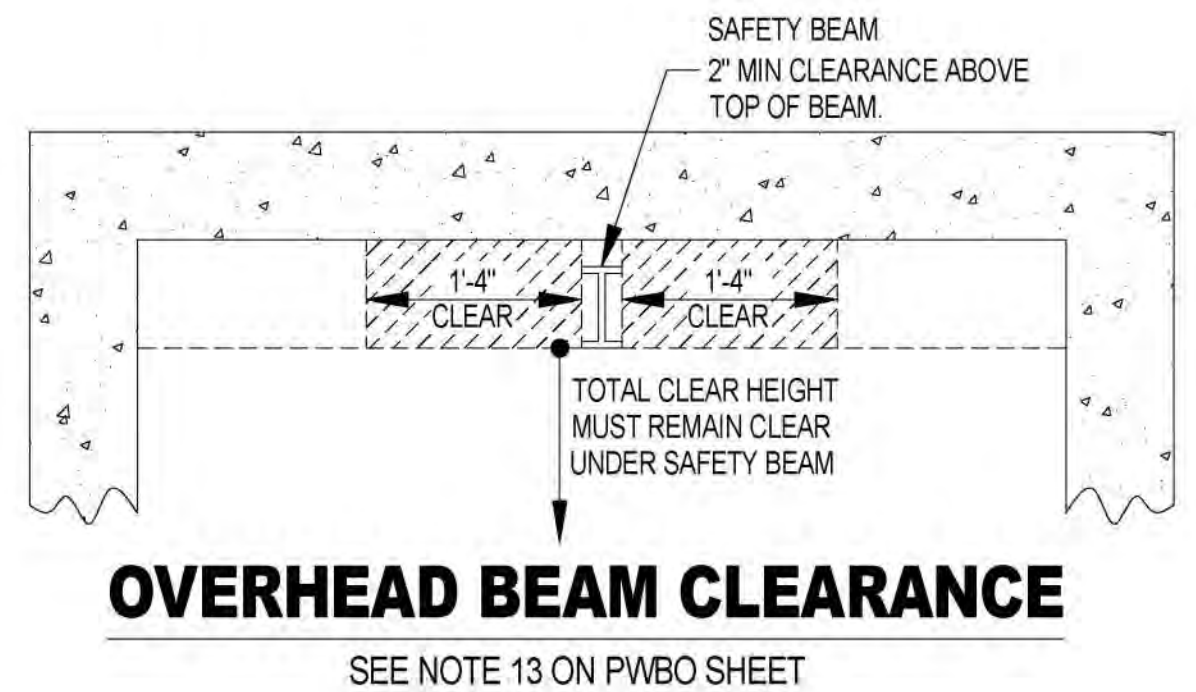
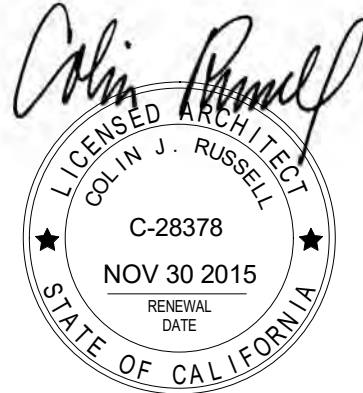
Sheet Title :
Roof Plan

Scale: 1/8" = 1'-0"

Sheet No:

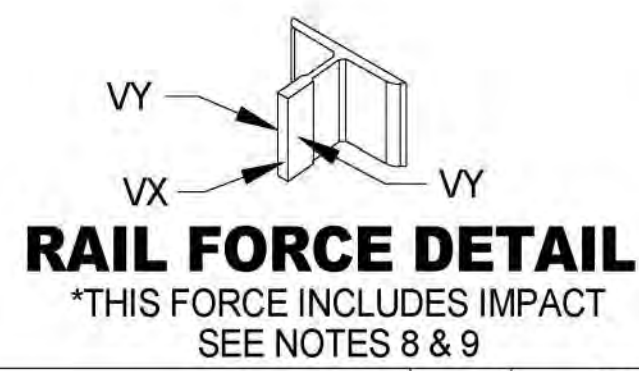
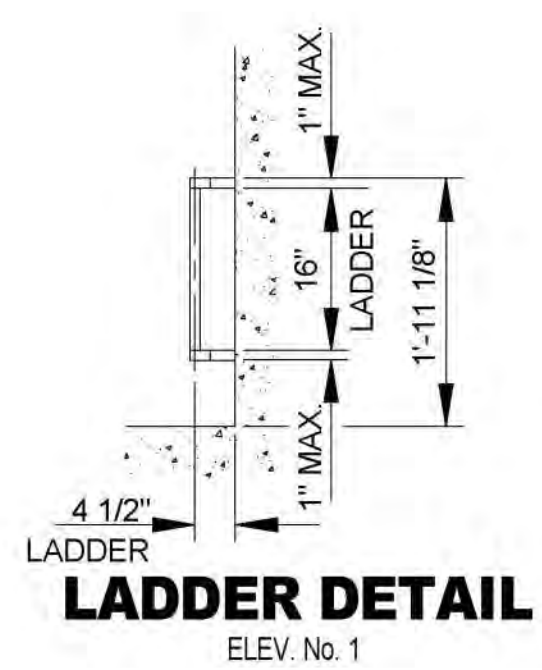
A204

Of Sheets

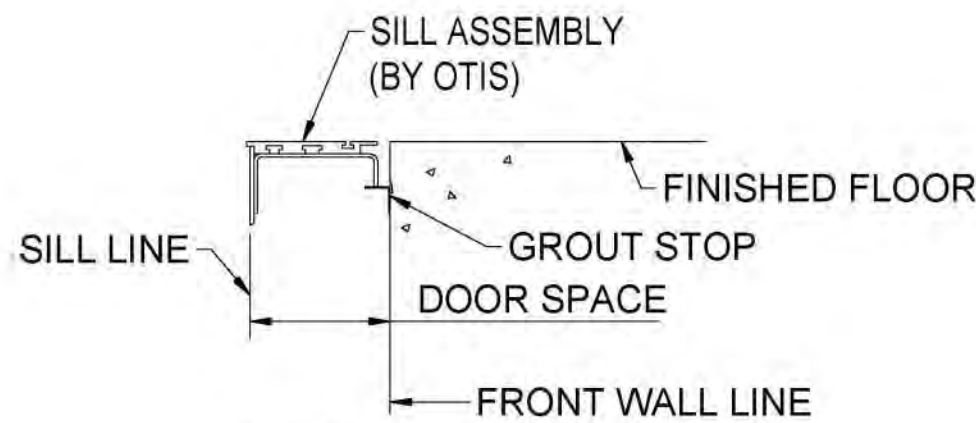
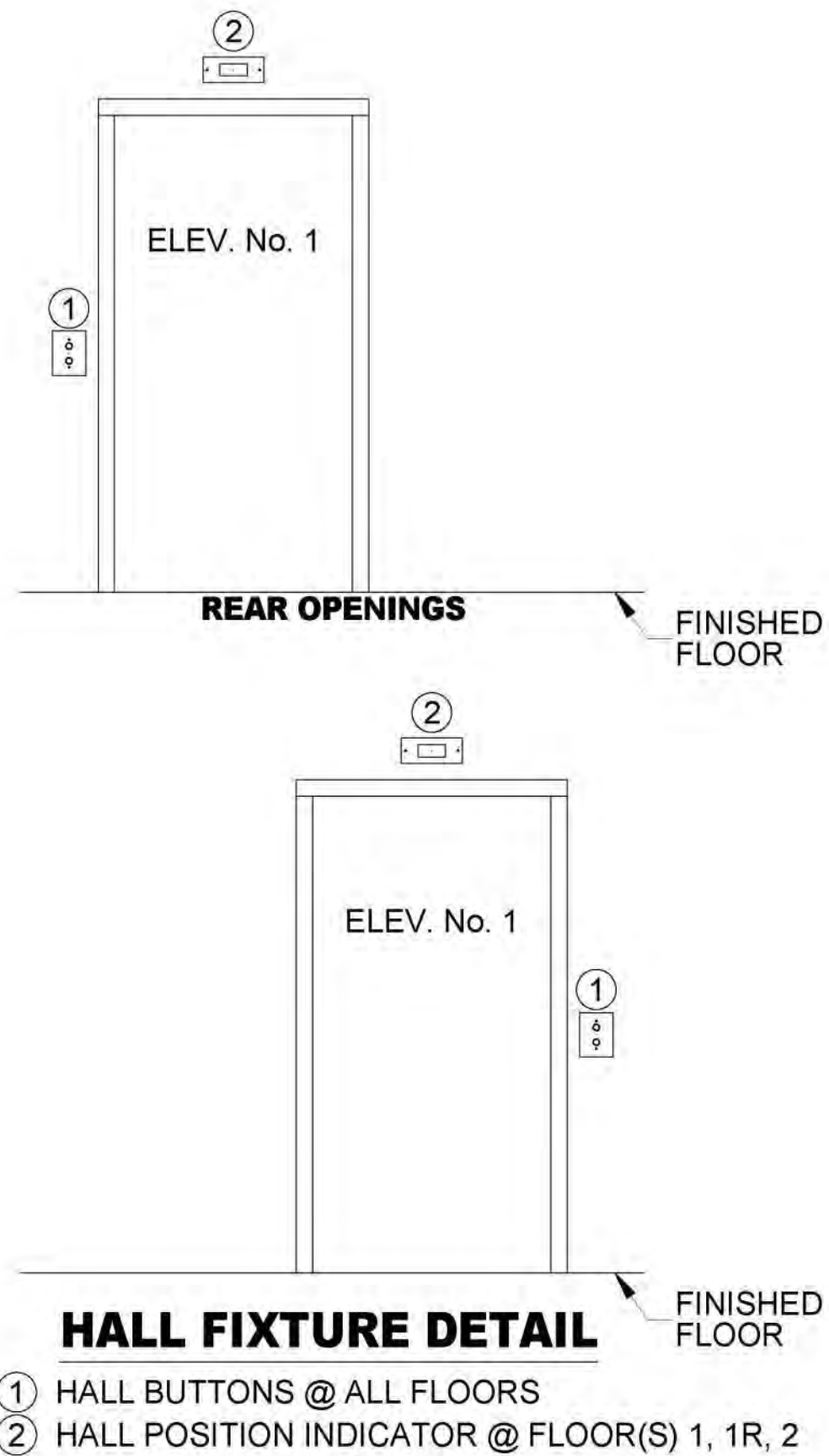


PLAN VIEW

NOTE:
THIS DRAWING IS FOR REFERENCE ONLY.
VERIFY ALL DIMENSIONS AND
REQUIREMENTS WITH ELEVATOR
MANUFACTURER PRIOR TO CONSTRUCTION.

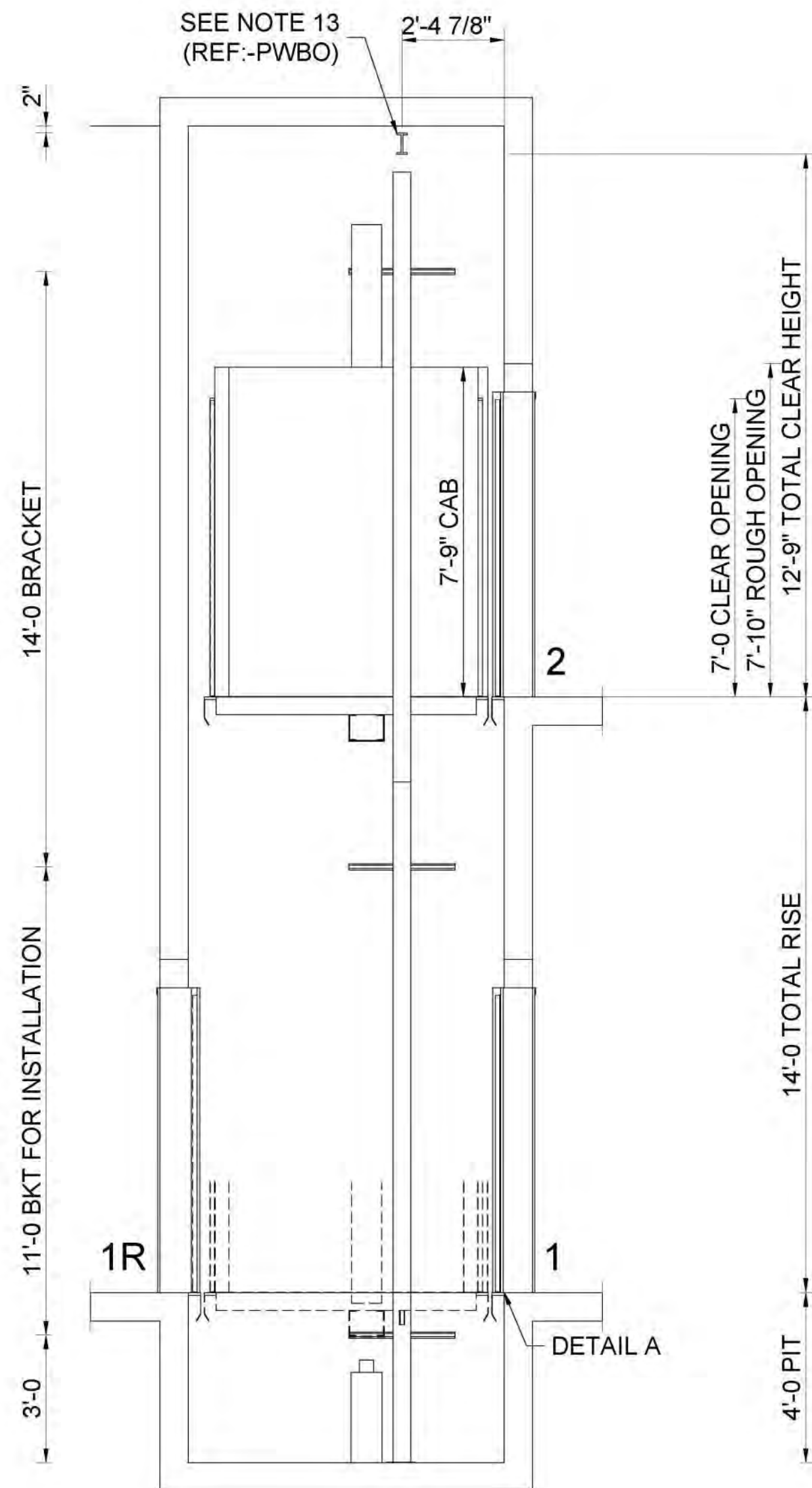


CAR	VX	2425 lbs
	VY	1213 lbs
*EACH BUFFER IMPACT LOAD		12293 lbs
*EACH CYLINDER IMPACT LOAD		9615 lbs
CAR MAXIMUM BRACKET SPACING		14' 0"



DETAIL "A" SILL SUPPORT

ADEQUATE SUPPORT AT ALL FASTENING POINTS OF ENTRANCE ASSEMBLY REQUIRED. MUST WITHSTAND A HORIZONTAL PULL-OUT FORCE OF 140 LBS. @ EA. FASTENING POINT (8 @ EA. ENTRANCE) INCLUDING SUPPORT FOR CENTER SILL SUPPORT BRACKET (NOT BY OTIS).



SECTIONAL ELEVATION

FOR MAX. SPACING BETWEEN INSERTS SEE RAIL FORCE DETAIL

NOTE - DO NOT SCALE THIS DRAWING

REFER TO DWG'S. NO. _____

APPROVAL
THIS ARRANGEMENT AND
SUPPLEMENTARY NOTES APPROVED

SIGNED: _____ DATE: _____

HydroFit 3512R
MODEL HydroFit PASSENGER
3500# @ 125 F.P.M.
SEISMIC 3+

Otis
A United Technologies Company

DWG. NO.: **HYD 3500R**

BUILDING The Village at Loch Lomond - Mixed Use Building

LOCATION San Rafael California

CONT. WITH
OWNER

ARCHT. Russell Architects

CONTRACT NO. _____

EXPRESS DRAW: WEB:19

Harbor Flats at Loch Lomond

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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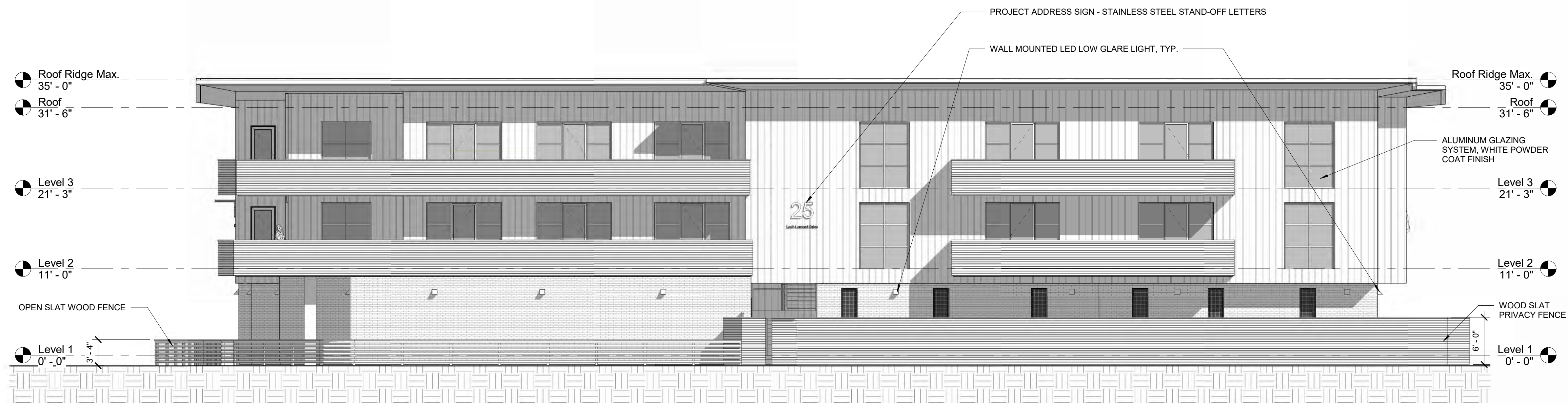
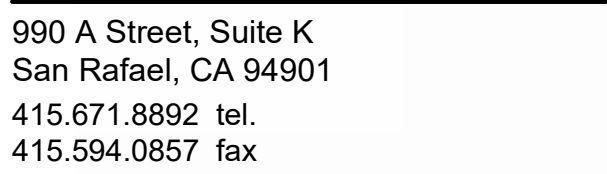
Elevator Mfr. Details

Scale: 1/2" = 1'-0"

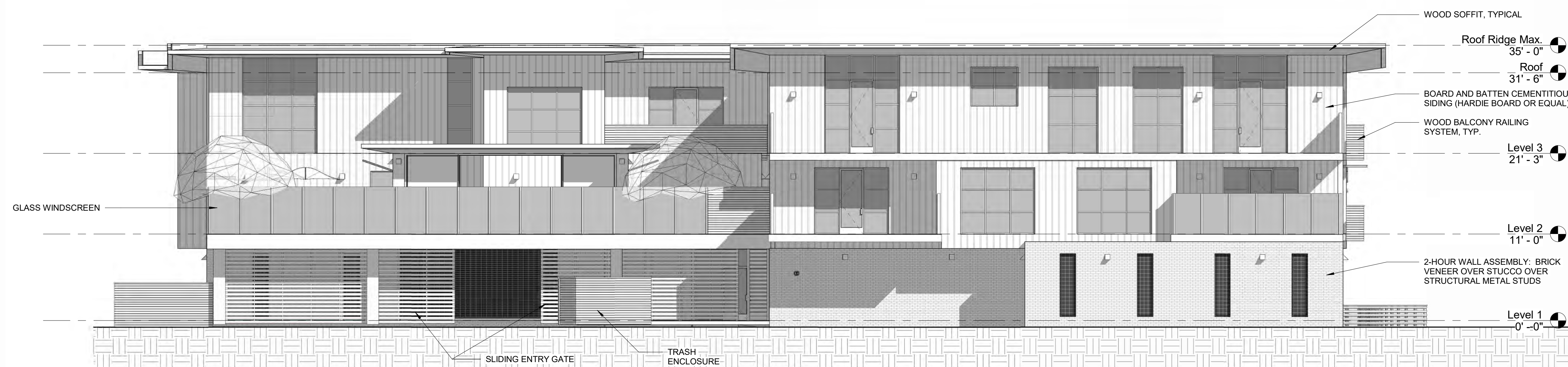
Sheet No:

A211

Of Sheets



1 North
1/8" = 1'-0"



2 South
1/8" = 1'-0"

25 Loch Lomond Drive
San Rafael, CA

[illegible]

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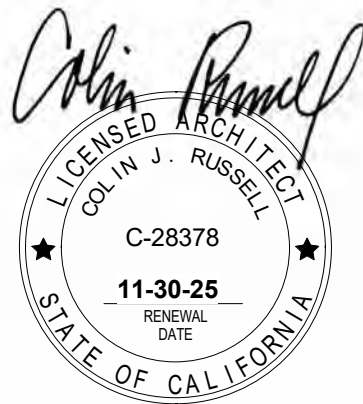
Sheet Title
**Exterior
Elevations**

Scale: $1/8" = 1'-0"$

Sheet No:

A501

Of Sheets



Harbor Flats at
Loch Lomond

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
Revisions		
No.	Description	Date

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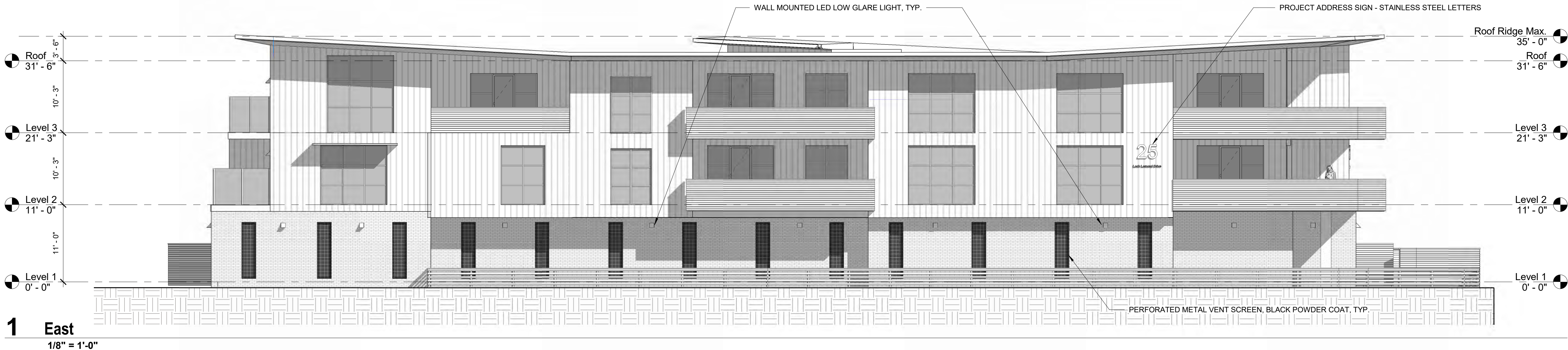
Sheet Title
Exterior Elevations

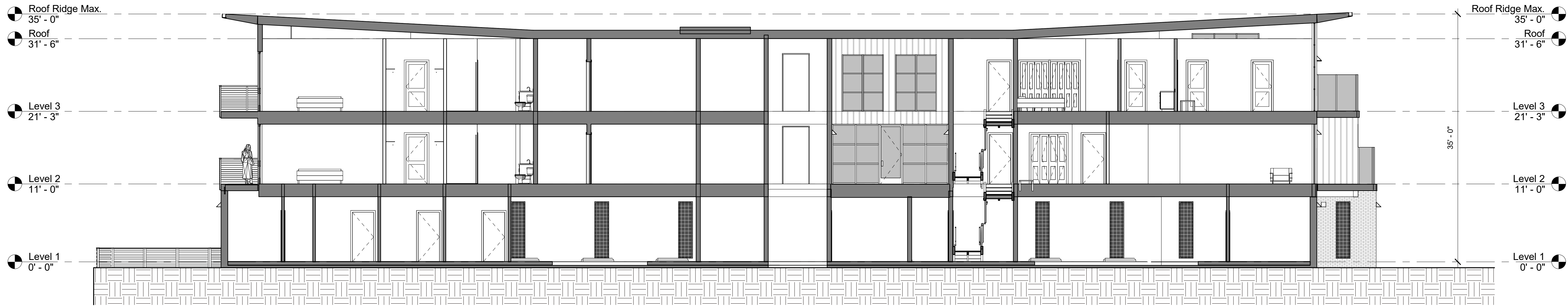
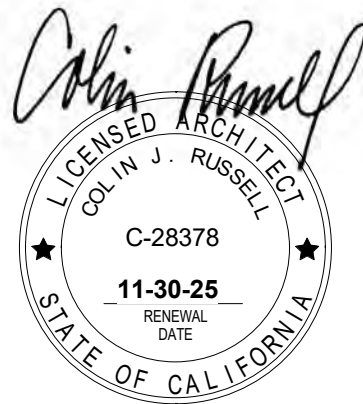
Scale: 1/8" = 1'-0"

Sheet No:

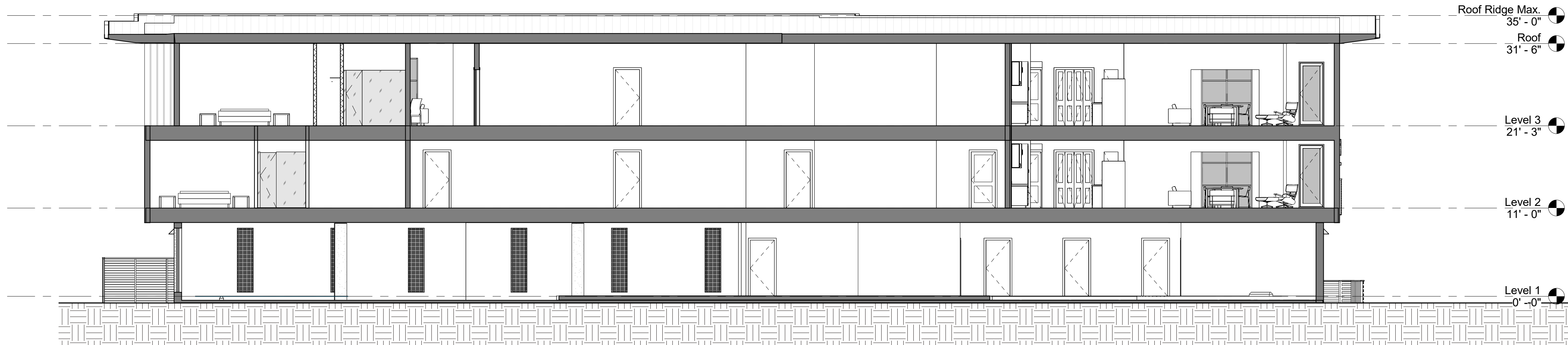
A502

Of Sheets





1 Section - Longitudinal
1/8" = 1'-0"



2 Section - Transverse
1/8" = 1'-0"

**Harbor Flats at
Loch Lomond**

25 Loch Lomond Drive
San Rafael, CA

Project No.:	223006	
Drawn By:	Author	
Checked By:	Checker	
Issued Date:	PLANNING SUBMITTAL 4/17/25	
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No.	Description	Date

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Sheet Title
Building Sections

Scale: 1/8" = 1'-0"

Sheet No:

A601

Of Sheets

BENCHMARK

BENCHMARK IS COUNTY BENCHMARK 3625, SET IN N.E. CORNER OF WALKWAY ON BRIDGE OVER WALNUT CREEK AT INTERSECTION WALNUT BOULEVARD, CHERRY LANE, AND WALDEN ROAD.

ELEVATION: 111.982 (NAVD 88)

LEGEND

PROPOSED	DESCRIPTION	EXISTING
---	TRACT BOUNDARY	---
---	LOT LINE	---
---	RIGHT OF WAY	---
---	CENTER LINE	---
---	MATCH LINE	---
---	RETAINING WALL	---
---	EASEMENT LINE	---
---	STORM DRAIN	---
---	SANITARY SEWER	---
---	POTABLE WATER	---
---	RECYCLED WATER	---
---	CURB & GUTTER	---
---	SAWCUT	---
---	SIDEWALK	---
---	EARTH OR GRASS SWALE	---
---	VALLEY GUTTER	---
---	STORM WATER INLET	---
---	DROP INLET	---
---	AREA DRAIN	---
---	BUBBLE UP	---
---	MANHOLE	---
---	SANITARY SEWER CLEAN OUT	---
---	SANITARY SEWER LATERAL	---
---	FIRE HYDRANT	---
---	BLOW OFF	---
---	WATER SERVICE WITH METER BOX	---
---	BACKFLOW DEVICE	---
---	WATER VALVE	---
---	AIR RELEASE VALVE	---
---	POST INDICATOR VALVE	---
---	FIRE DEPARTMENT CONNECTION	---
---	SINGLE ARM STREET LIGHT	---
---	DOUBLE ARM STREET LIGHT	---
---	POST TOP LIGHT	---
---	PEDESTRIAN LIGHT	---
---	MONUMENT	---
---	TRAFFIC SIGN	---
---	STREET NAME SIGN	---
---	FENCE	---
---	BARRICADE	---
---	CURB RAMP	---
---	CONTOUR ELEVATIONS	---
---	SPOT ELEVATION	---
---	NEW ASPHALT PAVEMENT	---
---	BIO-RETENTION AREA IN LANDSCAPE AREA	---
---	BIO-RETENTION AREA ADJACENT TO SIDEWALK	---
---	HYDROMOD VAULT	---

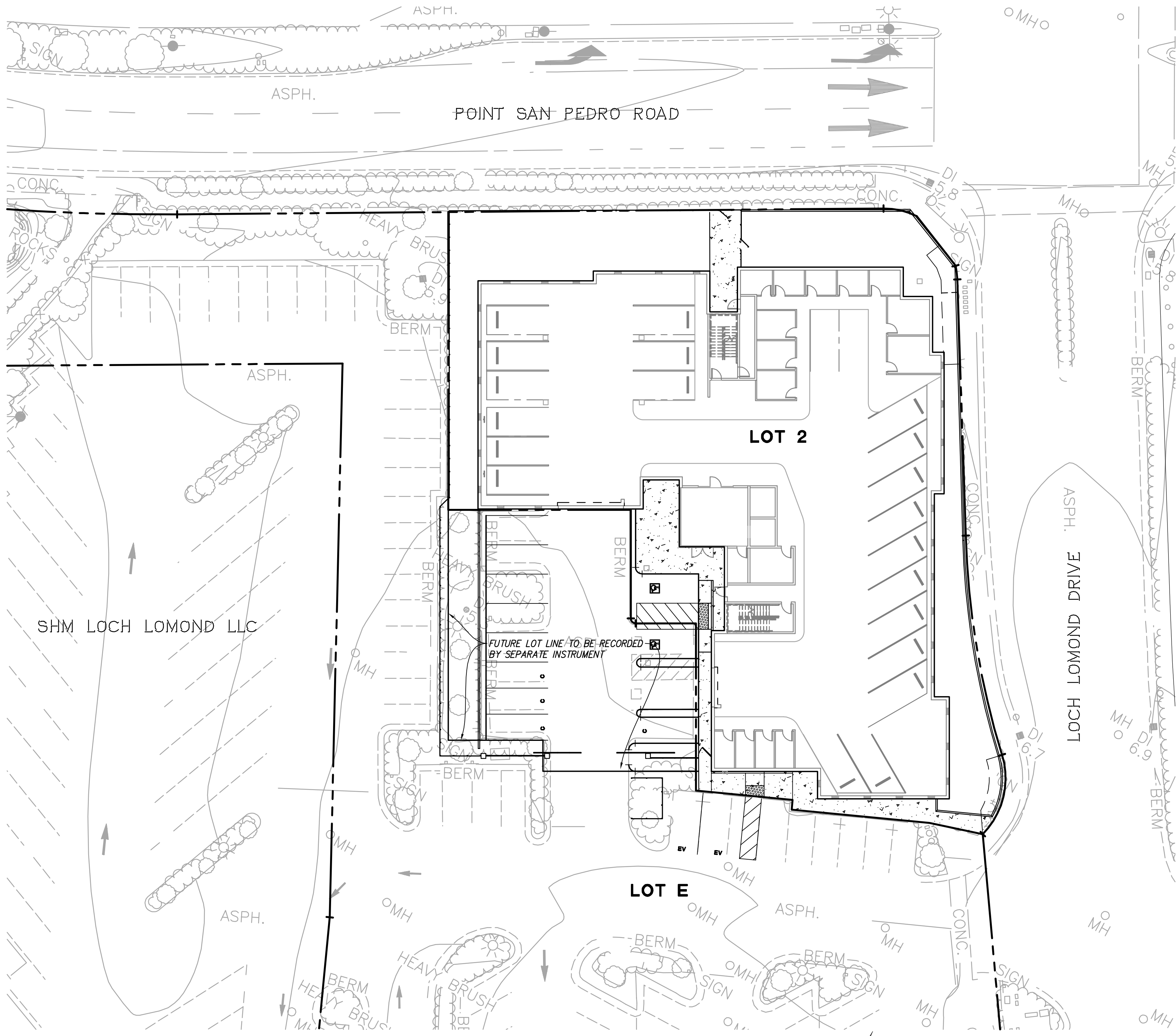
ABBREVIATIONS

AB	AGGREGATE BASE	P	PAD ELEVATION
AC	ASPHALT CONCRETE	PAE	PRIVATE ACCESS EASEMENT
AD	AREA DRAIN	PAV	PAVEMENT
BC	BEGINNING OF CURVE	PL	PROPERTY LINE
BOC	BACK OF CURVE	PIEE	PRIVATE VEHICULAR AND PEDESTRIAN
BNDY	BOUNDARY		INGRESS AND EGRESS EASEMENT
DOT	BOTTOM	PSSE	PRIVATE SANITARY SEWER EASEMENT
BSW	BACK OF SIDEWALK	PSDE	PRIVATE STORM DRAIN EASEMENT
BW	BOTTOM OF WALL	PMLE	PRIVATE WATER LINE EASEMENT
CL	CENTER LINE	PUE	PUBLIC UTILITY EASEMENT
DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE
DMA	DRAINAGE MANAGEMENT AREA	RET	CURB RETURN
DU	DWELLING UNITS	RW	RIGHT OF WAY
EC	END OF CURVE	SD	STORM DRAIN
ESMT	EASEMENT	SF	SQUARE FEET
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SL	STREET LIGHT
EX	EXISTING	SNS	STREET NAME SIGN
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GRADE	STD	STANDARD
FH	FIRE HYDRANT	SWE	PUBLIC SIDEWALK EASEMENT
FL	FLOW LINE	SWK	SIDEWALK
GB	GRADE BREAK	SWI	STORM WATER INLET
HP	HIGH POINT	TC	TOP OF CURB
INV	INVERT ELEVATION	TOM	TREATMENT CONTROL MEASURE
LAT	LATERAL	TO	TOP OF GRATE
LF	LINEAR FOOT	TW	TOP OF WALL
LP	LOW POINT	TYP	TYPICAL
JT	JOINT TRENCH	W	WATER LINE
MAX	MAXIMUM	WLE	WATER LINE EASEMENT
MH	MANHOLE	WM	WATER METER
MIN	MINIMUM	WS	WATER SERVICE
OH	OVERHEAD		

VESTING TENTATIVE MAP
HARBOR FLATS

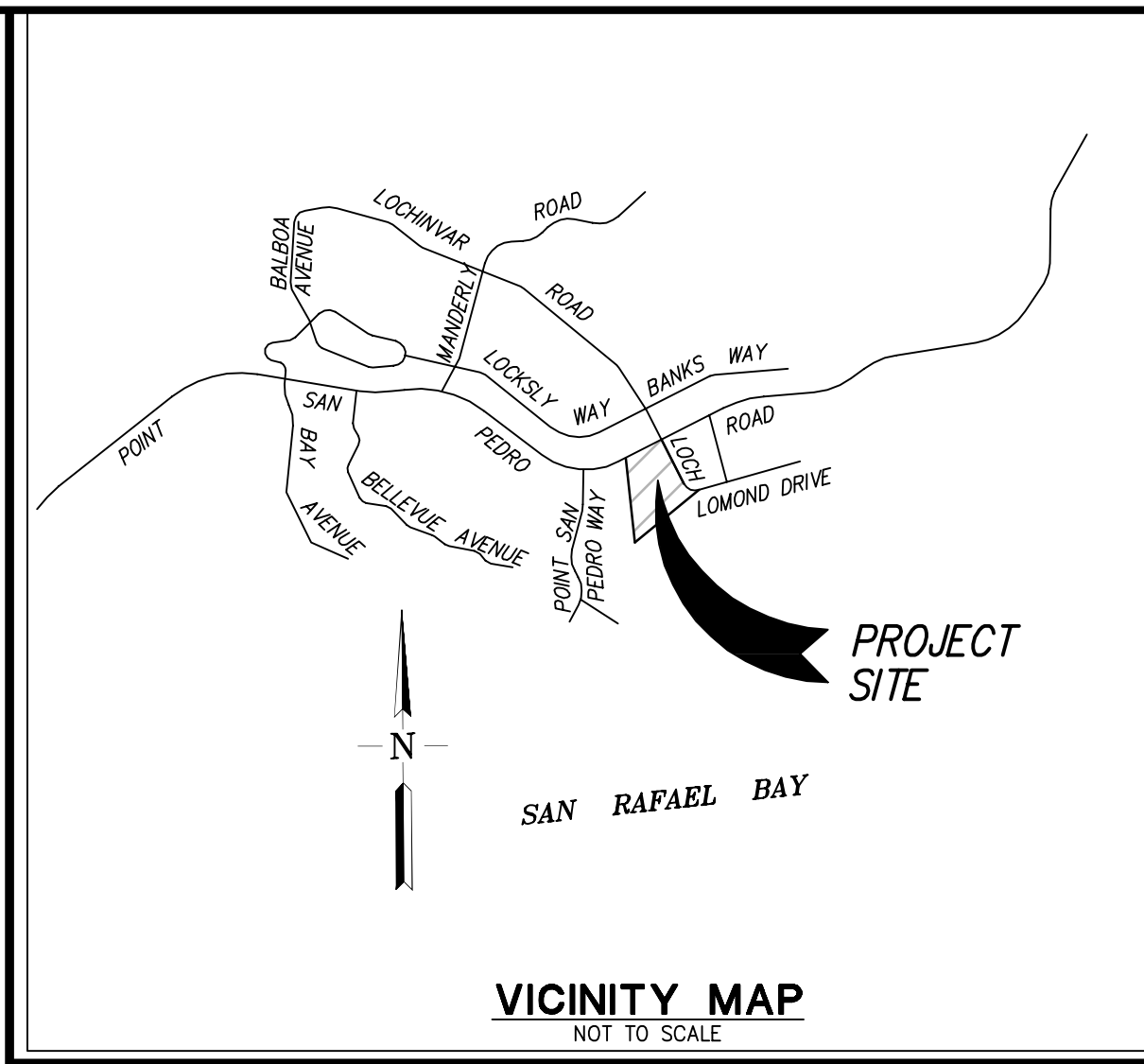
MARIN COUNTY, CALIFORNIA

FOR: ANDY'S LOCAL MARKET



LOCATION MAP

SCALE: 1"=20'



- OWNER: ANDY BACHICH
75 LOCH LOMOND
SAN RAFAEL, CA 94901
(415) 456-5730
CONTACT: ANDY BACHICH
- DEVELOPER: ANDY BACHICH
75 LOCH LOMOND
SAN RAFAEL, CA 94901
(415) 456-5730
CONTACT: ANDY BACHICH
- CIVIL ENGINEER: RUGGERI-JENSEN-AZAR
4690 CHABOT DRIVE, SUITE 200
PLEASANTON, CA 94588
(925) 227-9100
CONTACT: DOMINIC CARUCCI, RCE 85585
- SOILS ENGINEER: MILLER PACIFIC ENGINEERING GROUP
504 REDWOOD BLVD., SUITE 220
SAN FRANCISCO, CA 94133
(415) 433-4672
CONTACT: COLIN BLY
- ASSESSOR'S PARCEL NUMBERS: 016-070-14, 016-070-15
- PROPERTY DESCRIPTION: LOTS 2 AND E, AS SHOWN ON THE MAP ENTITLED "VILLAGE AT LOCH LOMOND MARINA, PHASE 1"
RECORDED MARCH 16, 2015 IN BOOK 2015 OF MAPS AT PAGE 12 (SERIES NO. 2015-0002827), IN THE
OFFICE OF THE COUNTY RECORDER OF MARIN COUNTY, CALIFORNIA.
- EXISTING USE: COMMERCIAL USE
- PROPOSED USE: RESIDENTIAL
- EXISTING ZONING: PD(1860)-Z04-002
- PROPOSED ZONING: PD(1860)-Z04-002
- GENERAL PLAN LAND DESIGNATION: NEIGHBORHOOD COMMERCIAL MIXED USE
- GROSS AREA: 0.53± ACRES
- TOTAL NUMBER OF LOTS: 1
- TOTAL NUMBER OF UNITS: 14
- UTILITIES:
a. WATER: MARIN MUNICIPAL WATER DISTRICT
b. SANITARY SEWER: SAN RAFAEL SANITATION DISTRICT
c. STORM DRAIN: CITY OF SAN RAFAEL
d. ELECTRIC: PACIFIC GAS AND ELECTRICAL
e. TELEPHONE: AT&T
f. CABLE TV: COMCAST
- TOPOGRAPHIC INFORMATION SHOWN IS BASED ON AERIAL SURVEY PREPARED IN MARCH 2021.
- THE PROPERTY IS WITHIN ZONE X-AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN AS SHOWN IN FLOOD INSURANCE
RATE MAP COMMUNITY-PANEL NUMBER 0604100476E, DATED MARCH 16, 2016
- IT IS THE INTENT OF THE DEVELOPER TO FILE CONDOMINIUM PLANS AFTER THE FINAL MAP APPROVAL.

SHEET INDEX

SHEET NO. DESCRIPTION

TM1.0	COVER SHEET
TM2.0	EXISTING CONDITIONS PLAN
TM3.0	PROPOSED LOTTING PLAN
TM4.0	PRELIMINARY GRADING AND DRAINAGE PLAN
TM5.0	PRELIMINARY UTILITY PLAN
TM6.0	PRELIMINARY STORMWATER TREATMENT PLAN
TM7.0	PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN

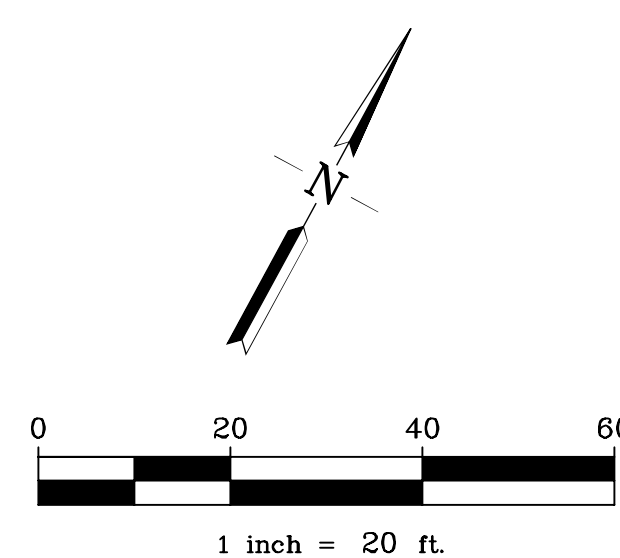


RUGGERI-JENSEN-AZAR
ENGINEERS • PLANNERS • SURVEYORS
4690 CHABOT DRIVE, SUITE 200 PLEASANTON, CA 94588
PHONE: (925) 227-9100 FAX: (925) 227-9300

DATE: APRIL 16, 2025

JOB NO. 131002

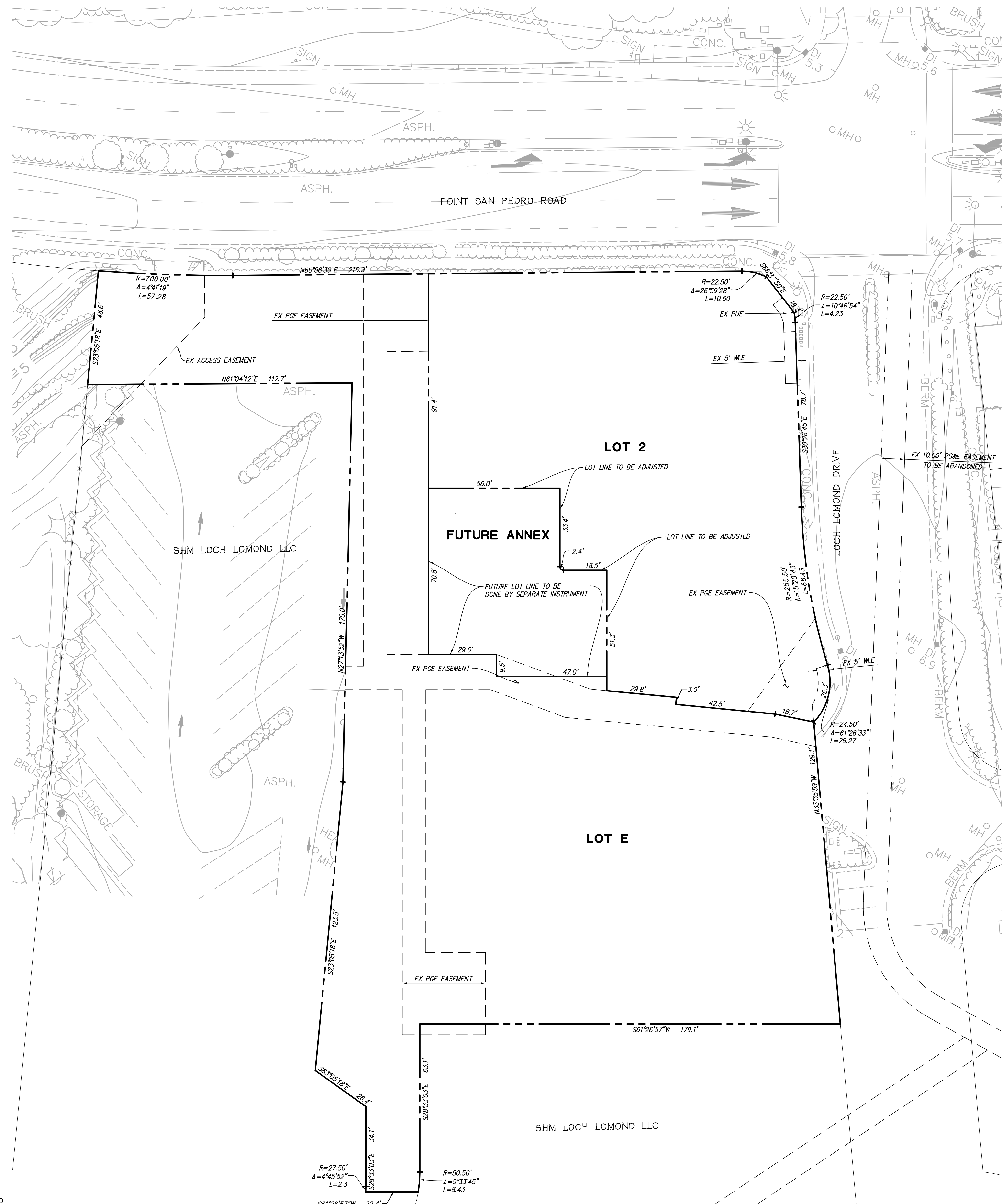
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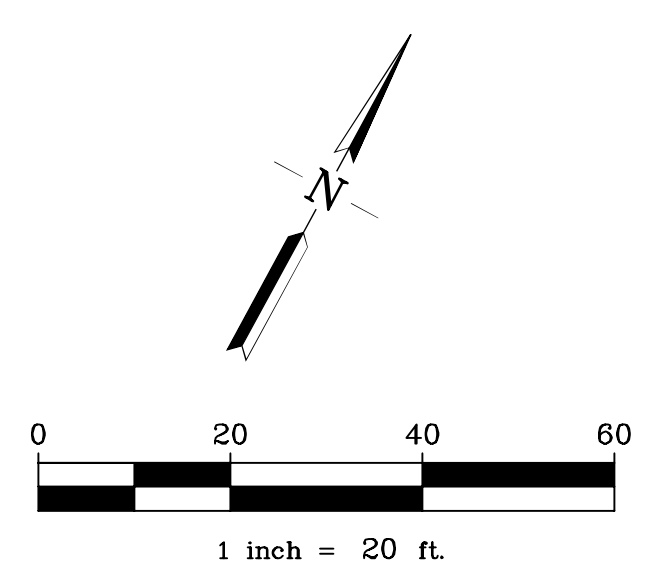
CITY OF SAN RAFAEL, MARIN COUNTY, CALIFORNIA
FOR: TRUMARK HOMES

RUGGERI-JENSEN-AZAR
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TM2.0



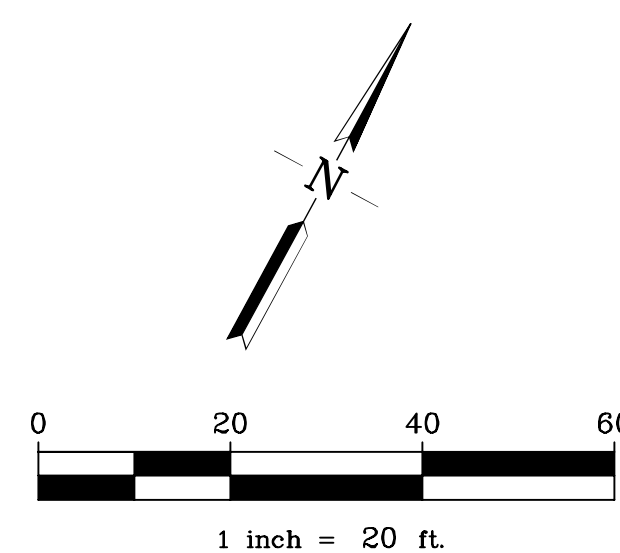
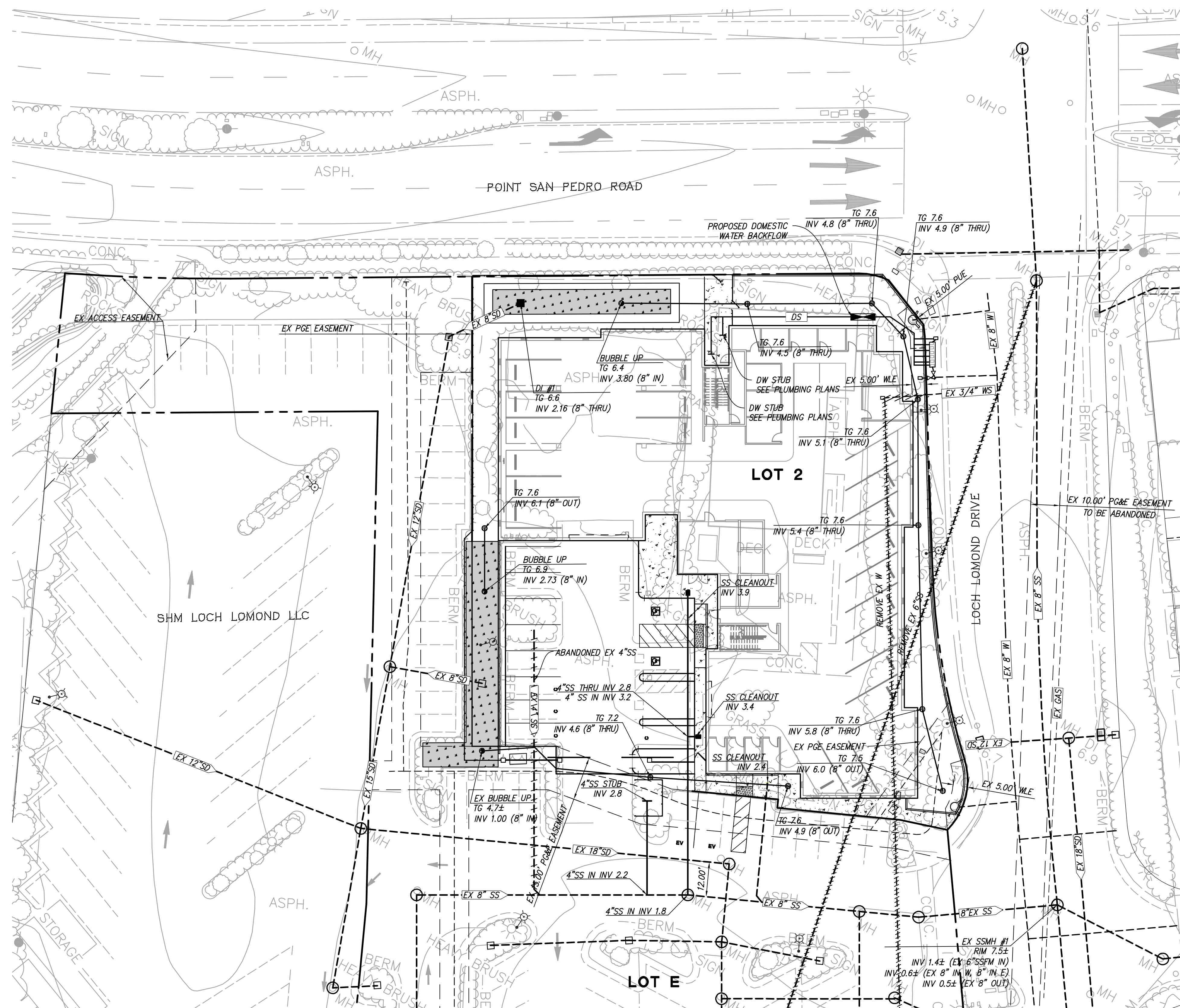
LOT AREA TABLE	
LOT #	AREA (SQ)
2	23,190
E	41,315
FUTURE ANNEX	5,128



PROPOSED LOTTING PLAN
HARBOR FLATS
CITY OF SAN RAFAEL, MARIN COUNTY, CALIFORNIA
FOR: TRUMARK HOMES

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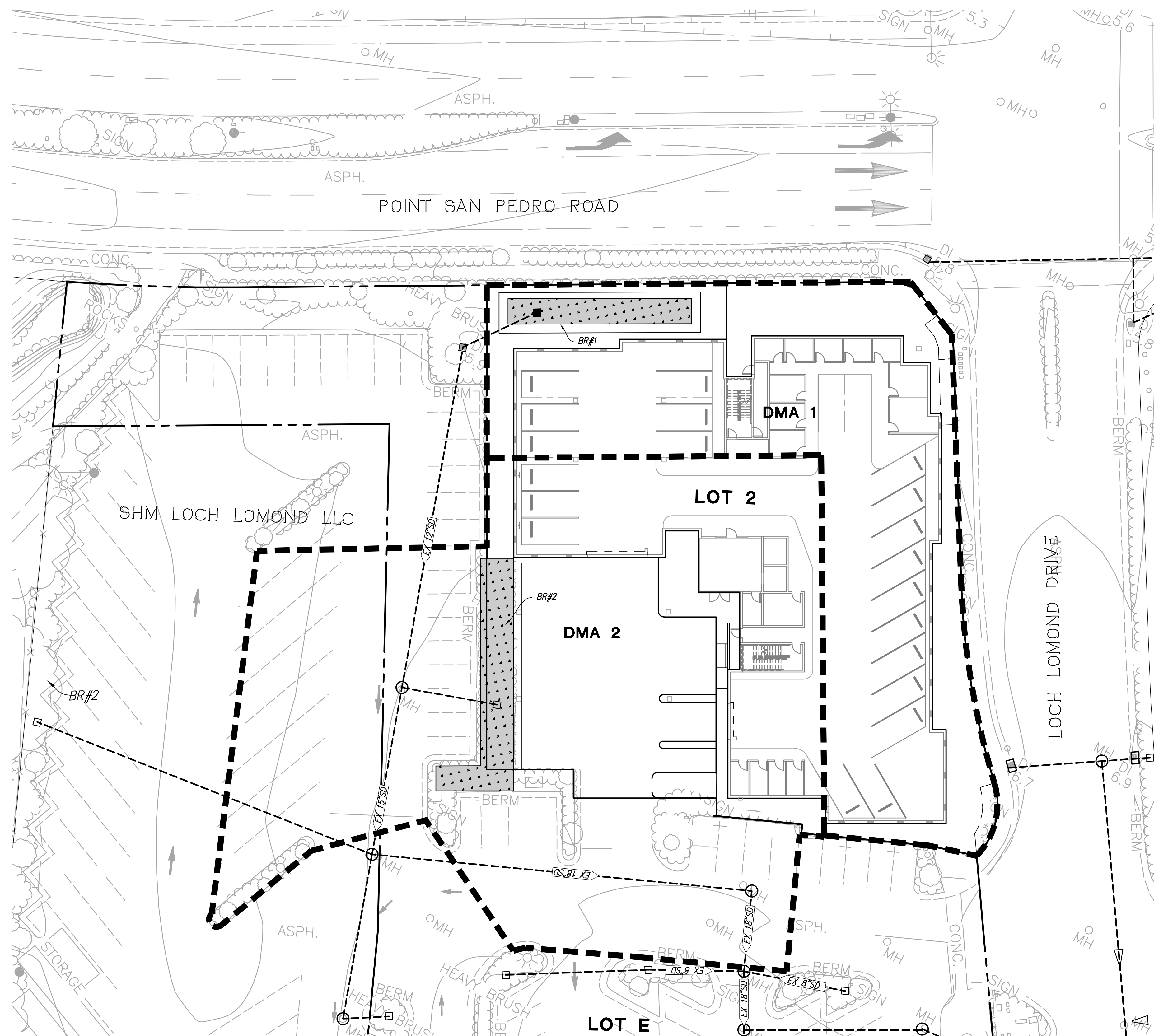
PRELIMINARY UTILITY PLAN
HARBOR FLATS
 CITY OF SAN RAFAEL, MARIN COUNTY, CALIFORNIA
 FOR: TRUMARK HOMES

RJA
RUGGERI-JENSEN-AZAR
 ENGINEERS • PLANNERS • SURVEYORS
 4690 CHABOT DRIVE, SUITE 200 • PLEASANTON, CA 94588
 PHONE: (925) 227-9100 • FAX: (925) 227-9300

DATE: APRIL 16, 2025

JOB NO. 131002

TM5.0



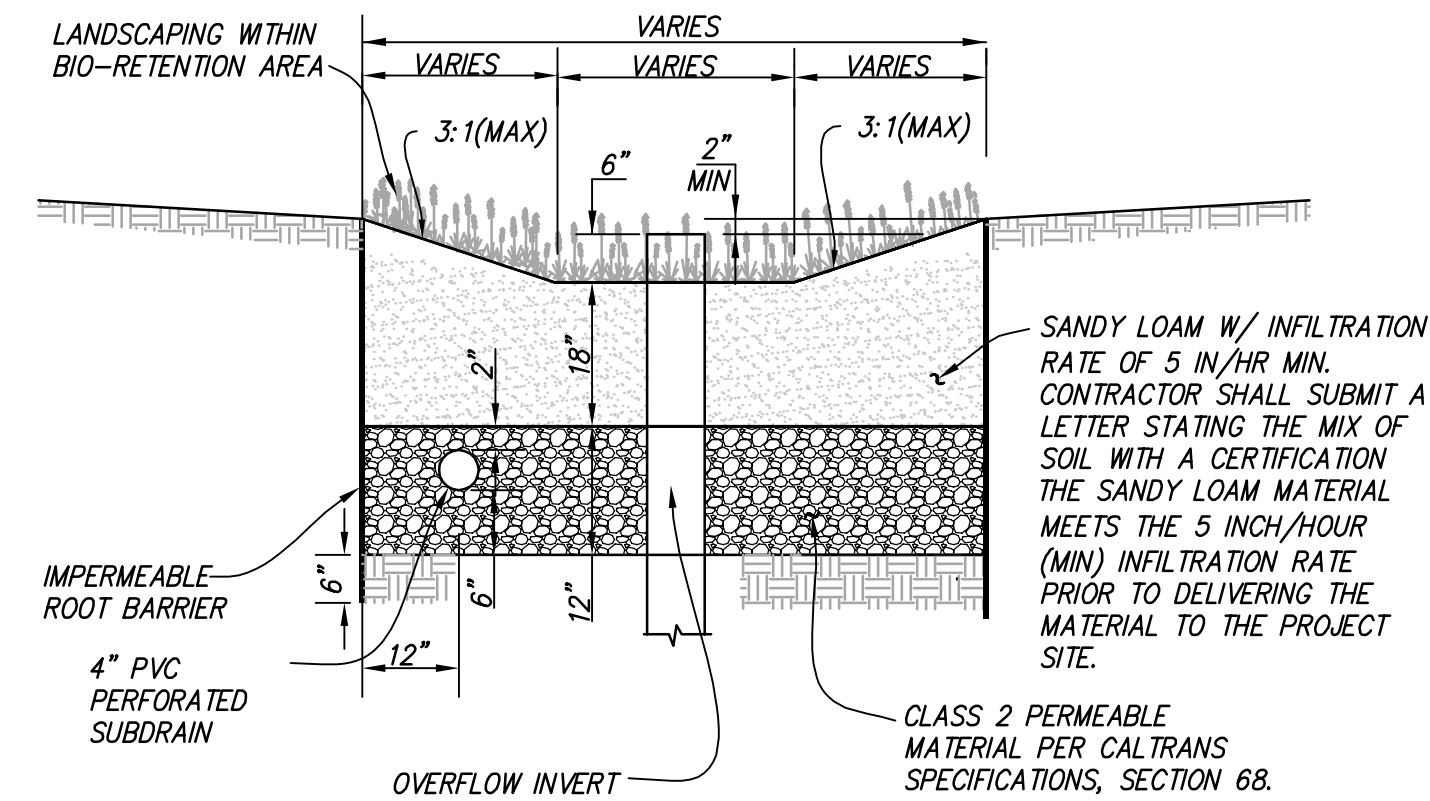
LEGEND

BIO-RETENTION (BR)

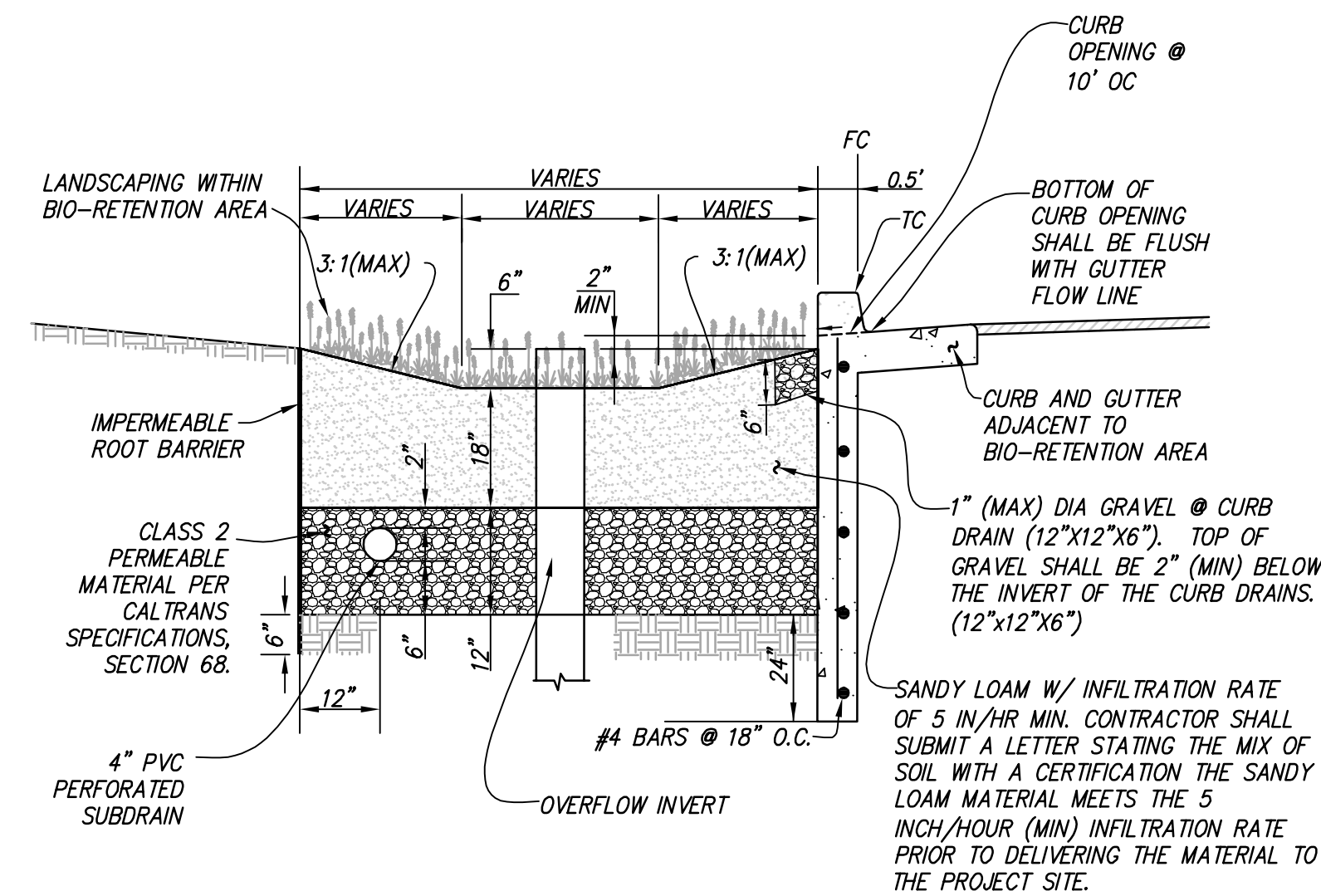
DRAINAGE MANAGEMENT AREA BOUNDARY

STORMWATER TREATMENT CALCULATIONS						
AREA ID	SURFACE TYPE	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE LANDSCAPE AREA (SF)	TREATMENT AREA REQUIRED (SF)	TREATMENT AREA PROVIDED (SF)
DMA 1	ROOF/PAV	15,423	10,421	500	437	522
DMA 2	ROOF/PAV	27,170	23,811	336	966	985

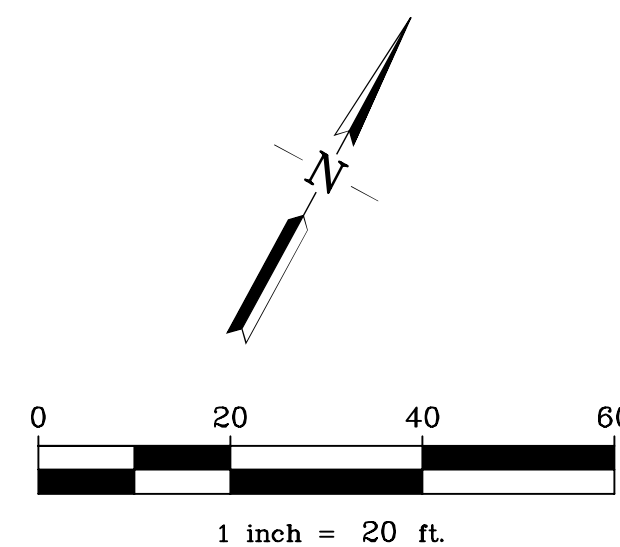
- NOTES:**
- THE ABOVE CALCULATIONS ARE BASED ON THE CONTRA COSTA CLEAN WATER PROGRAM, STORMWATER C.3 GUIDEBOOK, DATED JUNE 21, 2017, AND THE FOLLOWING CRITERIA:
 - EFFECTIVE IMPERVIOUS AREA = IMPERVIOUS AREA + 10% OF PERVIOUS AREA
 - 0.2 INCHES/HOUR RAINFALL INTENSITY ON 100% OF EFFECTIVE IMPERVIOUS AREA.
 - SOIL FOR TREATMENT MEDIUM WITH A 5 INCHES/HOUR INFILTRATION RATE.
 - SIZING FACTOR OF 0.04 NOTED ABOVE IS CALCULATED BASED ON THE FOLLOWING CRITERIA:
 - SIZING FACTOR=(0.2 IN/HR)/(5 IN/HR)=0.04



BIO-RETENTION AREA AT LANDSCAPE



BIO-RETENTION AREA ADJACENT TO CURB

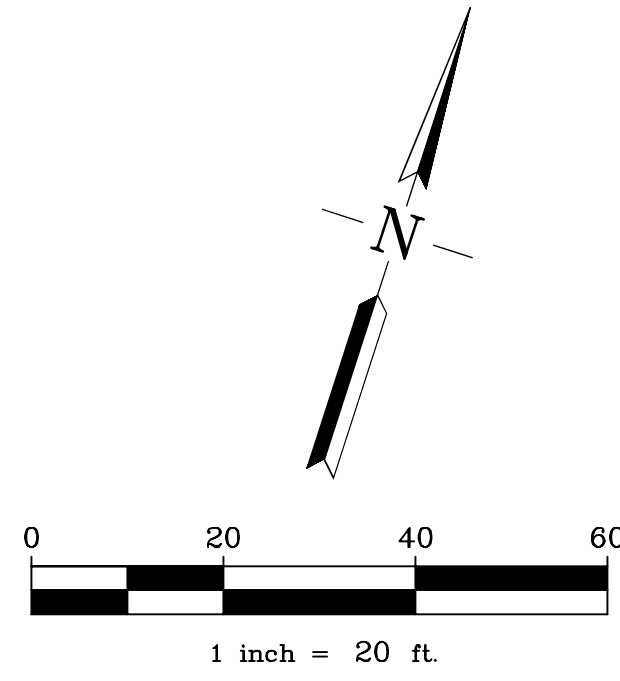
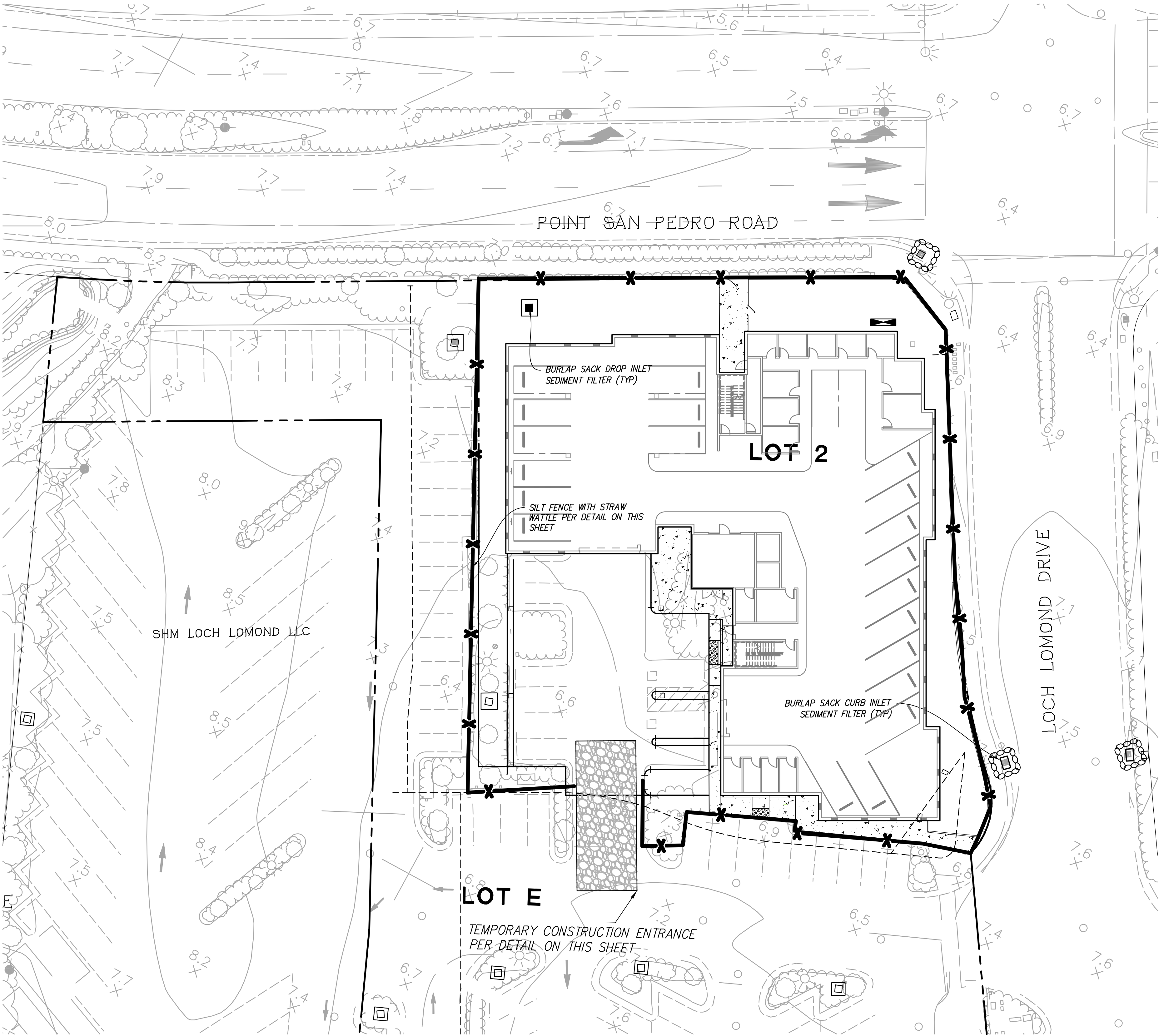


PRELIMINARY STORMWATER TREATMENT PLAN
HARBOR FLATS
CITY OF SAN RAFAEL, MARIN COUNTY, CALIFORNIA
FOR: TRUMARK HOMES

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PHONE: (925) 227-9100 FAX: (925) 227-9300

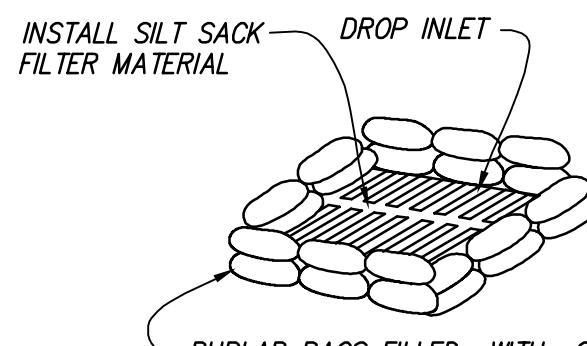
EROSION & SEDIMENT CONTROL NOTES
GENERAL

1. EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BUT NOT LIMITED TO RUN-ON AND RUNOFF CONTROL, EFFECTIVE SITE MANAGEMENT, AND ONSITE STORM WATER MANAGEMENT THROUGH ALL PHASES OF CONSTRUCTION SHALL BE UTILIZED AT THE SITE AT ALL TIME, YEAR ROUND, UNTIL THE SITE IS FULLY STABILIZED BY LANDSCAPING OR THE INSTALLATION OF PERMANENT EROSION CONTROL MEASURES.
2. NO STORM WATER SHALL BE ALLOWED TO DRAIN DIRECTLY INTO THE EXISTING STORM DRAIN SYSTEM BEFORE THE ONSITE STORM DRAIN SYSTEM IS INSTALLED.
3. AFTER THE NEW ONSITE STORM SYSTEM IS INSTALLED, THE STORM WATER INLETS SHALL BE INSTALLED AS SOON AS PRACTICAL. EROSION CONTROL DEVICES SHALL BE AT AROUND THOSE CATCH BASINS AS SHOWN ON THESE PLANS.
4. SHOULD THE PROPOSED ONSITE STORM SYSTEM NOT BE INSTALLED BY SEPTEMBER 15, TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED AROUND THE OPENINGS OF ANY EXISTING STORM PIPES WHICH DRAIN THE SITE.
5. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CITY OF SAN RAFAEL.
6. A MINIMUM OF 50' OF DRAIN ROCK, 2" TO 3" DIAMETER OR LARGER, AT A MINIMUM DEPTH OF 8", SHALL BE INSTALLED AT EACH DRIVEWAY ENTRANCE TO THE SITE (DETAIL ON THIS SHEET). THIS DOES NOT NEED TO BE DONE AT DRIVEWAYS WHICH WILL BE CLOSED BY IMMOVABLE BARRICADES DURING CONSTRUCTION.
7. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE PROJECT OSD (QUALIFIED SWPPP DEVELOPER) AND/OR THE CITY ENGINEER.
8. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF FROM ENTERING ANY STORM DRAINAGE SYSTEM.
9. THE EROSION CONTROL PLAN COVERS ONLY THE FIRST WINTER DURING WHICH CONSTRUCTION IS TO TAKE PLACE. PLANS ARE TO BE RESUBMITTED PRIOR TO SEPTEMBER 1ST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH WORK DAY DURING THE RAINY SEASON.
11. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE OCTOBER 1 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATIONS. THE CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY THE PROJECT STORM WATER POLLUTION PREVENTION PLAN AND AS REQUIRED BY THE STATE WATER BOARD, MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM, AND CITY OF SAN RAFAEL FOR CONSTRUCTION ACTIVITY.
12. ALL EROSION CONTROL DEVICES TO BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AFTER SITE IS FULLY STABILIZED BY LANDSCAPING OR THE INSTALLATION OF PERMANENT EROSION CONTROL MEASURES.
13. THE CONTRACTOR SHALL PERFORM FINAL CLEANUP OF THE JOB SITE TO THE SATISFACTION OF THE CITY OF SAN RAFAEL.



LEGEND

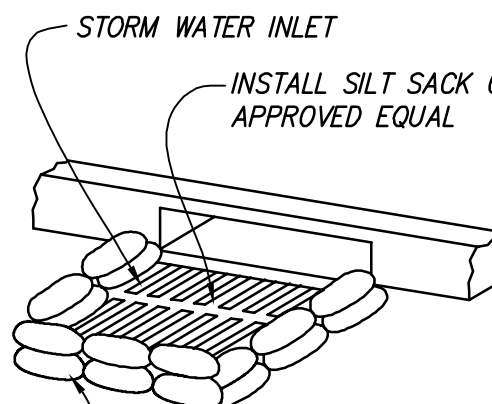
- SILT FENCE WITH STRAW WATTLE
- BURLAP SACK DROP INLET SEDIMENT FILTER
- BURLAP SACK DROP INLET SEDIMENT FILTER
- BURLAP SACK CURB INLET SEDIMENT FILTER



- NOTES:
1. THICKNESS OF FILLED BAGS WHEN LAID FLAT SHALL NOT EXCEED 4".
 2. ENSURE THERE ARE NO GAPS BETWEEN THE BAGS.
 3. REMOVE ACCUMULATED SILT, DIRT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK AROUND THE INLET.
 4. INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.

BURLAP BAGS FILLED WITH GRADED ROCK (NO FINES), NO SMALLER THAN 1/2" IN SIZE; SURROUND DROP INLET ALL SIDES TWO SACK HIGH.

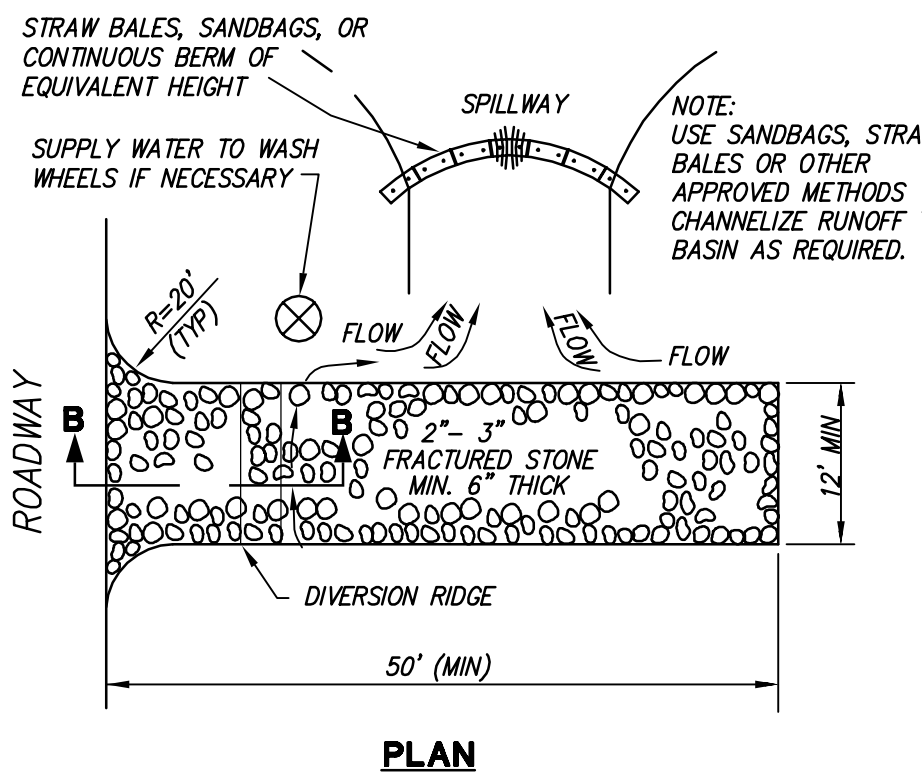
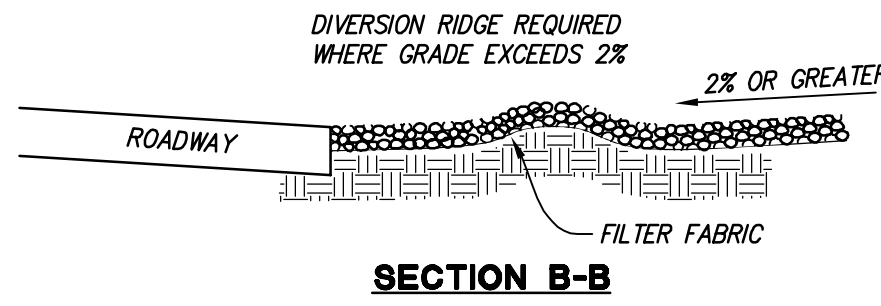
BURLAP SACK DROP INLET SEDIMENT FILTER DETAIL
NOT TO SCALE



- NOTES:
1. THICKNESS OF FILLED BAGS WHEN LAID FLAT SHALL NOT EXCEED 4".
 2. ENSURE THERE ARE NO GAPS BETWEEN THE BAGS OR BETWEEN THE BAGS AND THE FACE OF CURB.
 3. REMOVE ACCUMULATED SILT, DIRT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK IN THE GUTTER.
 4. INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.

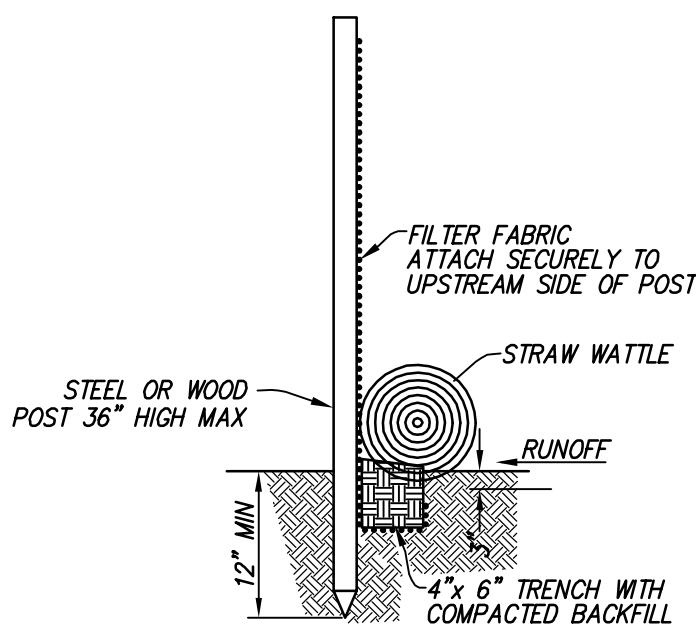
BURLAP BAGS FILLED WITH GRADED ROCK (NO FINES), NO SMALLER THAN 1/2" IN SIZE; SURROUND STORM WATER INLET ALL THREE SIDES.

BURLAP SACK CURB INLET SEDIMENT FILTER DETAIL
NOT TO SCALE



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

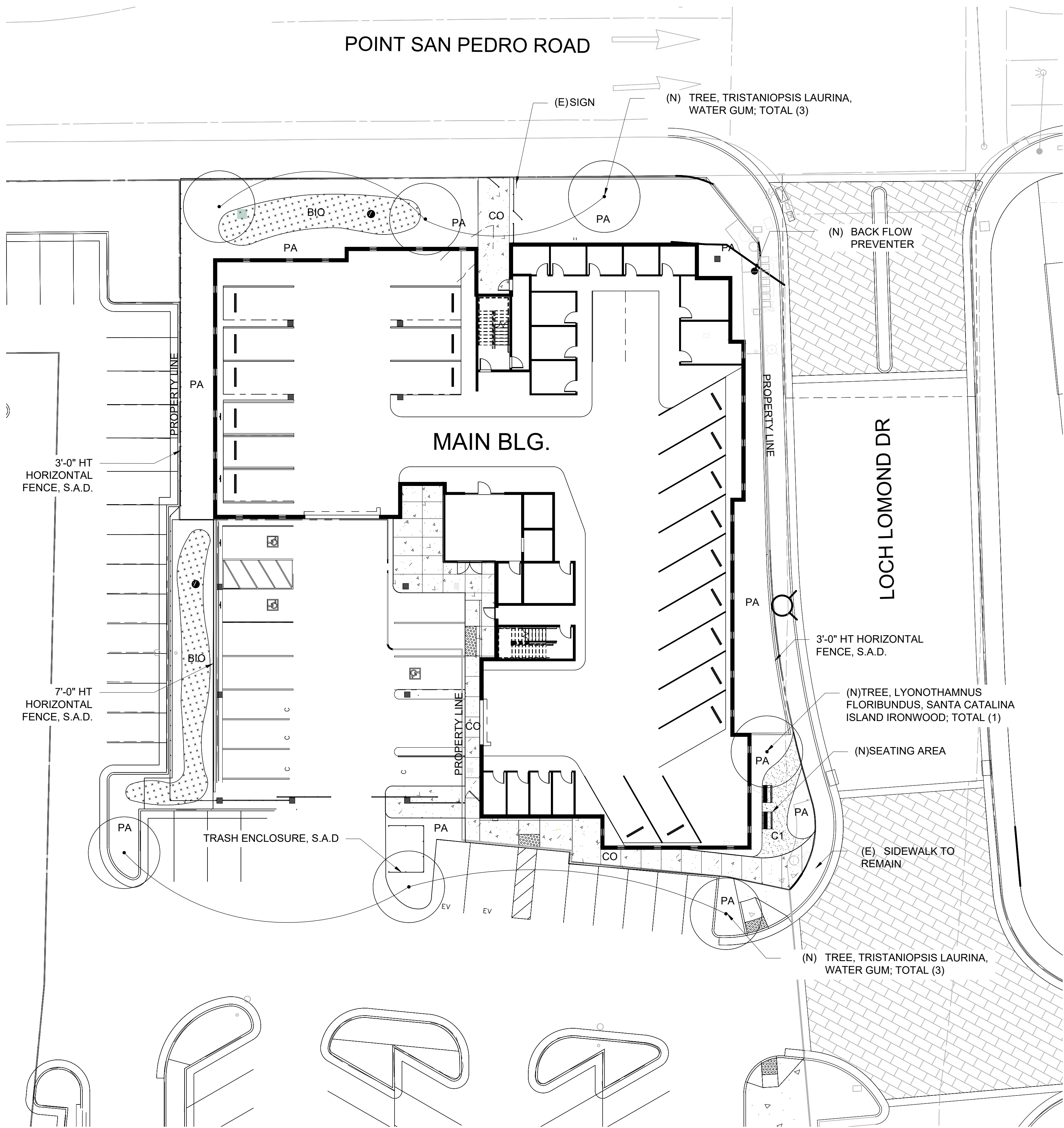
TEMPORARY CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



SILT FENCE WITH STRAW WATTLE DETAIL
NOT TO SCALE

PRELIMINARY EROSION AND SEDIMENT CONTROL PLAN
HARBOR FLATS
CITY OF SAN RAFAEL, MARIN COUNTY, CALIFORNIA
FOR: TRUMARK HOMES

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1 LANDSCAPE SITE PLAN

MATERIALS SCHEDULE

- C0 CONCRETE
- C1 GRANITE CRETE, COLOR TBD
- PA PLANTING AREA
- BIO BIO PLANTING AREA

TREES



TRISTANIOPSIS LAURINA
WATER GUM



LYONOTHAMNUS FLORIBUNDUS
SANTA CATALINA ISLAND IRONWOOD

SHRUB PLANTING



DIETES BIOCOLOR
FORTNIGHT LILY

LIMONIUM PEREZII
SEA LAVENDER

MULENBERGIA DUBIA
PINE MULY



CEANOTHUS YANKEE POINT
YANKEE POINT CEANOTHUS

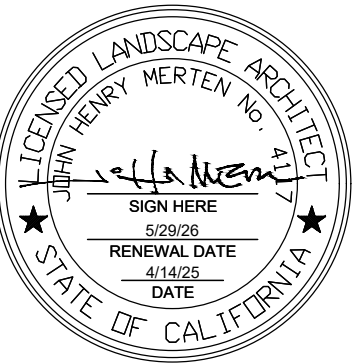
RHAMNUS CALIFORNICA
COFFEEBERRY

BIORETENTION PLANTING



CHONDROPETALUM TECTORUM
CAPE RUSH

STUDIO GREEN
Landscape Architecture
232 Sir Francis Drake Blvd.
San Anselmo, CA 94960
Phone: (415) 721-0905
Fax: (415) 721-0910
Web: studiogreen.com
Email: info@studiogreen.com



PROGRESS SET
NOT FOR
CONSTRUCTION

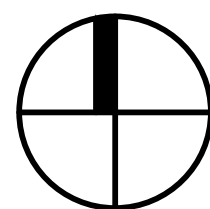
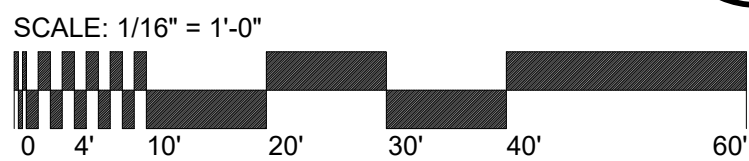
**HARBOR FLATS
AT LOCH LOMOND**
SAN RAFAEL, CA 94027

Date: 4/16/2025 Issue: PLANNING

**LANDSCAPE
SITE PLAN**

Drawn by: MH
Checked by: JM

L1.0



Project Narrative

Harbor Flats at Loch Lomond (“the Project”) is a proposed new residential development to be located at 25 Loch Lomond Drive in San Rafael, CA (“the Property”). The Property is approximately .54 acres in size. The Project proposes fourteen (14) new residential units, 1 unit is proposed to be offered at the low-income affordability level. The Project reaches a maximum height of 35’, with ground-level parking and two stories of residential units. Amenities for the residents include decks/patios and an open-air common area with a pavilion on the second floor. Andy’s Market and a children’s playground are located in close proximity.

The Project is a qualified housing development governed by:

- SB 330 (The Housing Crisis Act);
- State Density Bonus Law (Cal. Government Code § 65915; and
- Housing Accountability Act (Cal. Government Code § 65589.5).

I. General Plan and Zoning

The zoning for the Property is established by PD 1860, which governs the Loch Lomond Village project. Per the PD, the Property is already authorized for a mixed-use project with 5 residential units. However, the Property is designated as Neighborhood Commercial Mixed-Use (NC) in San Rafael’s General Plan 2040, which has a higher density range of 8.7 – 24.2 units per net acre. Accordingly, there is a discrepancy between the density allowed by PD 1860 and that allowed by the Property’s general plan land use designation.

The Project is a “housing development” as defined by Cal. Government Code § 65915(i) and, because the Project will provide 10% of its units as Below Market Rate units, it qualifies as a State Density Bonus project pursuant to Cal. Government Code § 65915 (“SDBL”). Government Code § 65915(o)(6) defines “maximum allowable residential density” or “base density” in relevant part as:

“the **greatest number of units allowed** under the zoning ordinance, specific plan, or land use element of the general plan, or, if a range of density is permitted, means the greatest number of units allowed by the specific zoning range, specific plan, or land use element of the general plan applicable to the project.” (Emphasis added.)

Therefore, pursuant to the above definition, the maximum allowable residential density is the greatest number of units allowed per the governing land use controls, including if there is a range of density set forth in the land use element in General Plan. Therefore, the density for the Property is 24.2 units per acre and the allowable base density for the Project is 13 units. There is no need to amend the Property's PD to allow for the greater density of the General Plan because the greater density is allowed by the SDBL. Furthermore, as will be discussed below, there is no need to amend the Property's PD to allow a 100% residential project because that use requirement can be waived via a concession.

II. State Density Bonus Law

As a SDBL project that will provide 10% of its units at the Low-Income level, the Project is eligible for a 20% density bonus of two units, however, the Project is designed to only utilize one density bonus unit, for a total of 14 units. The Project has been designed to meet the development standards of PD-1860, however, the Project is entitled to one incentive or concession and unlimited waivers of development standards that would preclude its development at the permitted density.

Government Code § 65915(o)(2) defines "Development standard" as:

"a site or construction condition, including, but not limited to, a height limitation, a setback requirement, a floor area ratio, an onsite open-space requirement, a minimum lot area per unit requirement, or a parking ratio that applies to a residential development pursuant to any ordinance, general plan element, specific plan, charter, or other local condition, law, policy, resolution, or regulation that is adopted by the local government or that is enacted by the local government's electorate exercising its local initiative or referendum power, whether that power is derived from the California Constitution, statute, or the charter or ordinances of the local government."

California case law has established that waivers must be granted for development projects as designed if the project satisfies the criteria of the SDBL. (See *Wollmer v. City of Berkeley* (2011) 193 Cal. App. 4th 1329; *Bankers Hill 150 v. City of San Diego* (2022) 74 Cal. App. 5th 755). The SDBL establishes that granting appropriate development standard waivers is mandatory, "In no case may a city, county, or city and county apply any development standard that will have the effect of physically precluding the construction of a development meeting the criteria of subdivision (b) at the densities or with the concessions or incentives permitted by this section." (Cal. Gov't Code §65915(e)(1).) Additionally, the local agency can only deny a waiver if the waiver or reduction shall have a specific adverse impact upon health or safety and for which there is no feasible method to satisfactorily mitigate or avoid the impact; would have an adverse impact on any real property that is listed in the California Register of Historical Resources; or the waiver or reduction would be contrary to state or federal law. (*Id.*)

The Project is requesting one incentive/concession (hereinafter referred to collectively as “concession”) under Government Code Section 65915(d) to waive the mixed-use requirement and provide residential units only. A concession is defined at Section 65915(k) as:

- A reduction in site development standards or a modification of zoning code or architectural design requirements, such as a reduction in setback or minimum square footage requirements; or
- Approval of mixed-use zoning; or
- Other regulatory incentives or concessions which actually result in identifiable and actual cost reductions.

Any requested concession must be approved by the local agency unless it makes a written finding, based upon substantial evidence, that: A. The concession or incentive does not result in “identifiable and actual cost reductions” to provide for affordable housing; B. The concession or incentive would have a specific, adverse impact on public health, safety or on any property listed in the California Register of Historical Resources; and C. The concession or incentive would be contrary to state or federal law. (Cal. Gov’t Code §65915(d)(1)(A)-(C).) An applicant seeking a concession pursuant to the SDBL “is not required to establish that cost reductions will result. Instead, ‘[t]he city . . . shall bear the burden of proof for the denial of a requested concession or incentive.’ (Cal. Government Code § 65915(d)(4).” (*Schreiber v. City of Los Angeles* (2021) 69 Cal.App.5th 549, 555). Demand and rents for commercial space are objectively near all-time lows. Furthermore, the requested reduction in square footage requirements is specifically identified as an example of a concession in the statute. Finally, the findings necessary for denial of the requested concession cannot be made.

In sum, an amendment to the PD is not necessary for the Project because both the increased density and the concession concerning the requirement to provide commercial space are allowed pursuant to the State Density Bonus Law.

III. Affordable Housing

The Project will provide 10% of its units at the Low-Income Affordability level. This complies with San Rafael’s Affordable Housing requirement set forth in Resolution 14890. For projects that provide 2 – 15 units only, the project only needs to comply with the primary requirement of providing 10% of the units at BMR levels. This results in a requirement for 1.3 BMR units. If the number of units required results in a fraction below .5, the developer can pay the pro-rated in lieu fee. Accordingly, the Project will provide 1 BMR unit and pay the pro-rated fee.

IV. SB 330

The Project applicant submitted a complete Preliminary Application pursuant to SB 330 on September 10, 2024. The primary effect of submitting the Preliminary Application is that the Project is only subject to San Rafael's ordinances, policies, standards, and fees in place as of that date.

SB 330 also prevents jurisdictions from conducting more than 5 public hearings in connection with the approval of a housing development project that is in compliance with the applicable objective general plan and zoning standards in effect at the time an application is deemed complete. The five hearings¹, which do not include hearings related to CEQA law, are counted from the deemed-complete date of the development application.

V. Housing Accountability Act

The Housing Accountability Act significantly restricts a local agency's ability to deny housing projects that are consistent with objective standards. Furthermore, "the receipt of a density bonus, incentive, concession, waiver, or reduction of development standards," pursuant to the State Density Bonus Law, "shall not constitute a valid basis on which to find a proposed housing development project is inconsistent, not in compliance, or not in conformity, with an applicable plan, program, policy, ordinance, standard, requirement."

A proposed housing development project is not inconsistent with the applicable zoning standards and criteria and shall not require a rezoning (or amendment) if the housing development project is consistent with the objective general plan standards and criteria, but the zoning for the project site is inconsistent with the general plan.

Once it is established that a project complies with applicable objective standards, a city's discretion to disapprove or reduce the density of the project is very limited. Government Code section 65589.5(j)(1) establishes that a development project that complies with objective standards can

¹ "Hearing" includes any public hearing, workshop, or similar meeting, including any appeal, conducted by the city or county with respect to the housing development project, including any meeting relating to Section 65915, whether by the legislative body of the city or county, the planning agency established pursuant to Section 65100, or any other agency, department, board, commission, or any other designated hearing officer or body of the city or county, or any committee or subcommittee thereof. "Hearing" does not include a hearing to review a legislative approval, including any appeal, required for a proposed housing development project, including, but not limited to, a general plan amendment, a specific plan adoption or amendment, or a zoning amendment, or any hearing arising from a timely appeal of the approval or disapproval of a legislative approval. (Cal. Gov't Code 65905.5(b)(2)).

only be disapproved, or approved at a lower density, based upon written findings supported by a preponderance of the evidence on the record that both of the below conditions exist:

“(A) The housing development project would have a specific adverse impact upon the public health or safety unless the project is disapproved or approved upon the condition that the project be developed at a lower density. As used in this paragraph, a “specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete.

(B) There is no feasible method to satisfactorily mitigate or avoid the adverse impact identified . . . other than the disapproval of the housing development project or the approval of the project upon the condition that it be developed at a lower density.”

Pursuant to section 65589.5(a)(3), it is the intent of the Legislature that the conditions that would have a specific, adverse impact “arise infrequently.” Accordingly, other than determining noncompliance with applicable objective standards, this is the only manner in which the Project could be denied or reduced by the local agency.

VI. Entitlements Requested

The Project will seek a Major Environmental and Design Review permit, which findings are set forth at 14.25.090.

- A. That the project design is in accord with the general plan, the objectives of the zoning ordinance and the purposes of this chapter;
- B. That the project design is consistent with all applicable site, architecture and landscaping design criteria and guidelines for the district in which the site is located;
- C. That the project design minimizes adverse environmental impacts; and
- D. That the project design will not be detrimental to the public health, safety or welfare, nor materially injurious to properties or improvements in the vicinity.

The Project’s design complies with many key plans and policies of the San Rafael General Plan 2040 as provided below:

Policy LU-3.3: Housing Mix

Encourage a diverse mix of housing choices in terms of affordability, unit type, and size, including opportunities for both renters and owners.

Policy CDP-4.5: Higher Density Design

Encourage high-quality architecture and landscape design in new higher-density housing and mixed use projects. Such projects should be designed to be compatible with nearby buildings and respect the character-defining features of the surrounding neighborhood or district.

Policy CDP- 4.6: Open Space in Multi-Family Housing

Require private outdoor areas such as decks and patios, as well as common space areas, in new multi-family development and mixed use housing. Common open space may include recreation facilities, gathering places, and site amenities such as picnic and play areas.

Policy H-4.3: Affordable Housing Requirements

Require the inclusion of affordable housing units in market-rate housing projects. Ensure that affordable housing requirements are economically viable, do not negatively affect overall housing production, and provide sufficient flexibility for the private sector. When new affordable units are created, pursue deed restriction and affordability terms of at least 55 years so that fewer tenants are at risk of being displaced in any given year.

Policy H-4.14: Commercial to Residential Conversion

Encourage the adaptive reuse of older commercial buildings, including office and retail buildings, for housing.