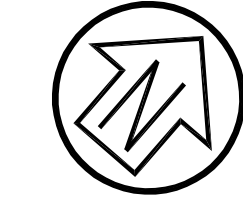


NOTES:

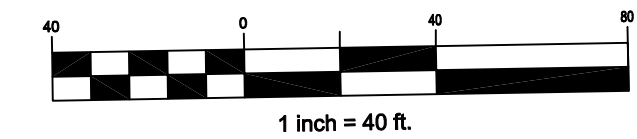
1. PORTIONS OF PARCELS AS SHOWN ON THIS MAP ARE DESIGNATED FEMA FLOOD ZONE X OTHER AREAS (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), FEMA FLOOD INSURANCE RATE MAP PANEL 06041C0293D EFFECTIVE DATE MAY 4, 2009.
2. GROSS LAND AREA = 318,424 Sq. Ft. ±, OR 7.31 AC. ±.
3. TOPOGRAPHIC SURVEY PROVIDED BY AMERICAN LAND SURVEYING, INC. ELEVATIONS SHOWN ON ASSUMED LOCAL DATUM.
4. UNDERGROUND UTILITIES SHOWN WERE PLOTTED FROM A COMBINATION OF OBSERVED SURFACE EVIDENCE (CONDITIONS PERMITTING) AND RECORD INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES, AND ARE NOT INTENDED TO REPRESENT THEIR ACTUAL LOCATIONS. ALL UTILITIES MUST BE VERIFIED WITH RESPECT TO SIZES, HORIZONTAL AND VERTICAL LOCATIONS BY THE OWNER AND/OR CONTRACTOR PRIOR TO DESIGN OR CONSTRUCTION.

IMPERVIOUS AREA SUMMARY

LOT SIZE	318,424 S.F. (7.31 AC.)
EXISTING IMPERVIOUS SURFACE:	193500 S.F.
PAVEMENT	120,500 S.F.
HARDSCAPE / PORCH / DECK (ALLOW)	25,000 S.F.
BUILDING	48,000 S.F.



Graphic Scale (in feet)



Rev	Date	Description	Drawn	Checked
03/29/18		Revised Property Lines	WFL/RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	WFL/RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	WFL

**NORTHGATE WALK
EXISTING CONDITIONS
EMPIRE, USA**

City Of
San Rafael
County Of
Marin
State Of
California

Prepared Under the Direction of:

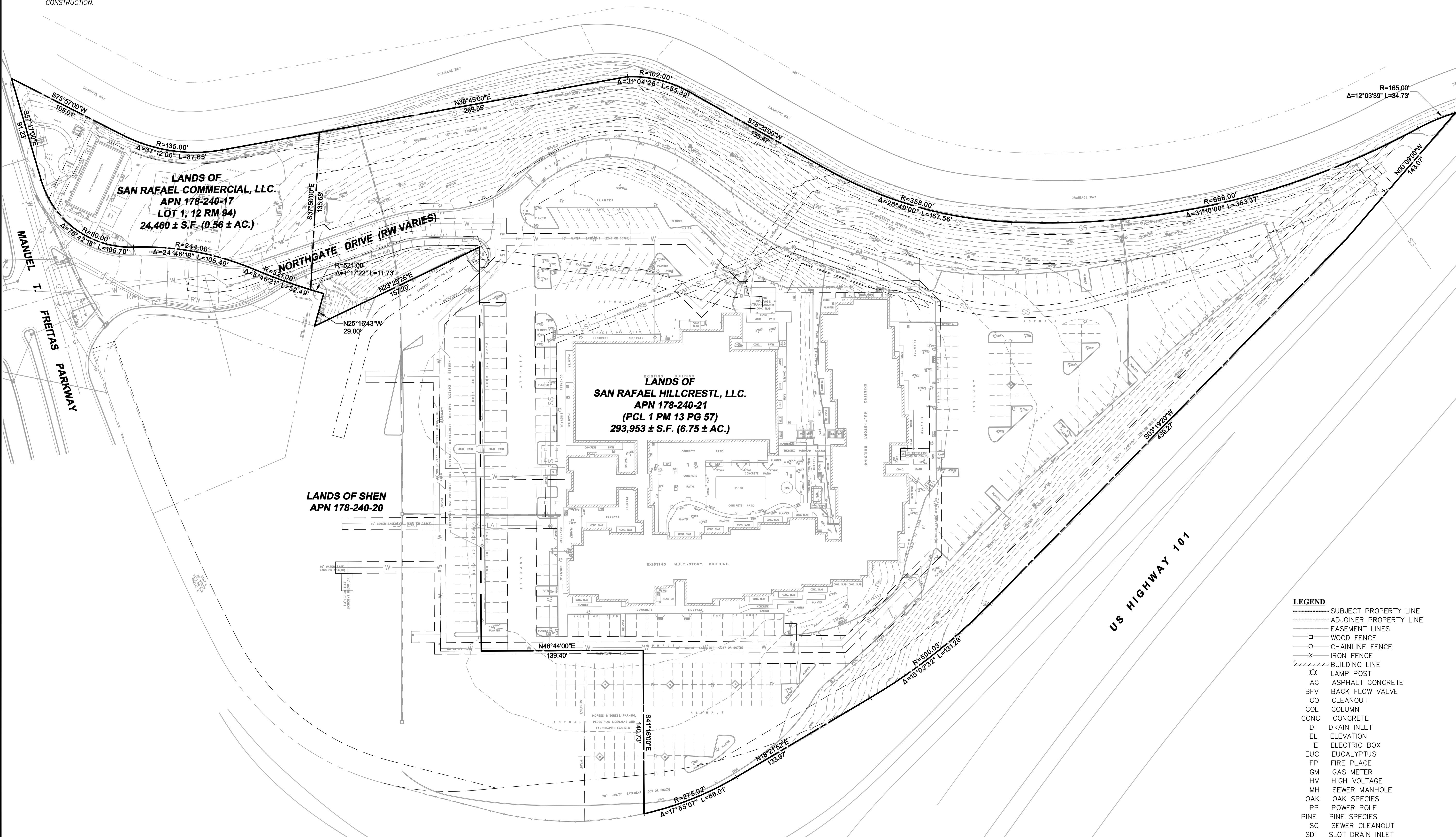
Sheet
CO
Scale: 1" = 40'
Date: 02/02/2016
Project Number: 5.1455.00
Plan File: D-5290

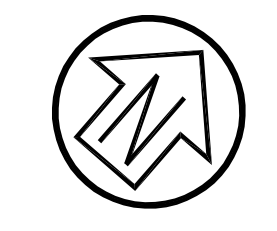
BASIS OF BEARING:

BASIS OF BEARING FOR THIS MAP IS N48°44'00"E BETWEEN FOUND RAILROAD SPIKES PER 13 PARCEL MAPS 57 FILED IN THE OFFICE OF THE MARIN COUNTY RECORDER.

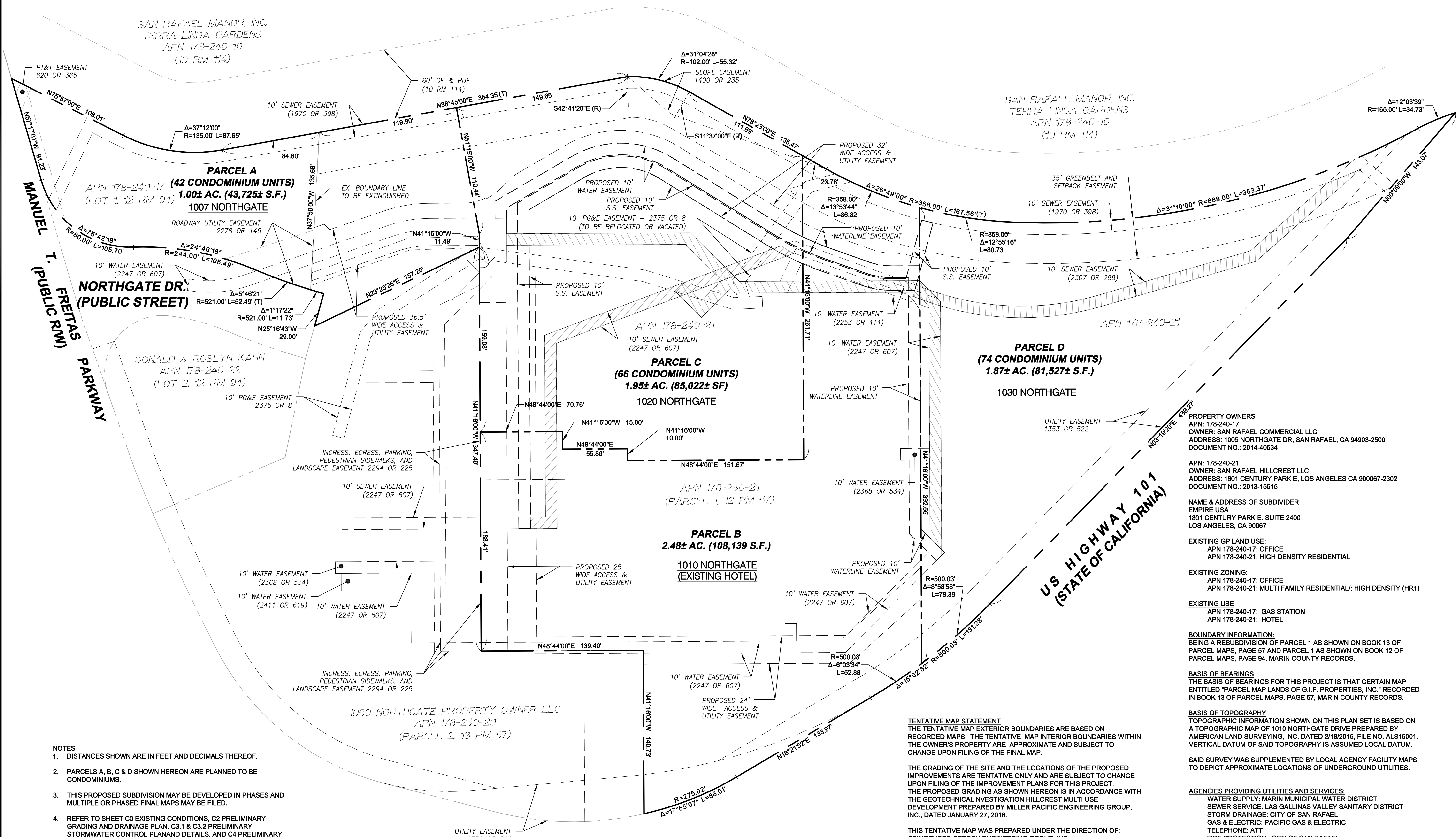
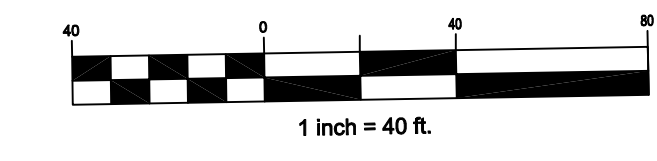
LEGEND

---	SUBJECT PROPERTY LINE
---	ADJOINER PROPERTY LINE
---	EASEMENT LINES
□	WOOD FENCE
○	CHAINLINE FENCE
×	IRON FENCE
---	BUILDING LINE
⊙	LAMP POST
AC	ASPHALT CONCRETE
BFV	BACK FLOW VALVE
CO	CLEANOUT
COL	COLUMN
CONC	CONCRETE
DI	DRAIN INLET
EL	ELEVATION
E	ELECTRIC BOX
EUC	EUCALYPTUS
FP	FIRE PLACE
GM	GAS METER
HV	HIGH VOLTAGE
MH	SEWER MANHOLE
OAK	OAK SPECIES
PP	POWER POLE
PINE	PINE SPECIES
SC	SEWER CLEANOUT
SDI	SLOT DRAIN INLET
T	TELEPHONE/CABLE
U	UTILITY BOX
W	WATER VALVE
V	IRRIGATION VALVE
FL	DESCRIPTION
111.96'	ELEVATION





Graphic Scale (in feet)



- NOTES**
- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
 - PARCELS A, B, C & D SHOWN HEREON ARE PLANNED TO BE CONDOMINIUMS.
 - THIS PROPOSED SUBDIVISION MAY BE DEVELOPED IN PHASES AND MULTIPLE OR PHASED FINAL MAPS MAY BE FILED.
 - REFER TO SHEET C0 EXISTING CONDITIONS, C2 PRELIMINARY GRADING AND DRAINAGE PLAN, C3.1 & C3.2 PRELIMINARY STORMWATER CONTROL PLAN AND DETAILS, AND C4 PRELIMINARY UTILITY PLAN FOR ADDITIONAL TENTATIVE MAP INFORMATION.
 - REFER TO SHEET A0.0 FOR ADDITIONAL INFORMATION RELATED TO A WRITTEN STATEMENT OF INTENT UNDER SITE INFORMATION AND PROJECT DESCRIPTION.



TENTATIVE MAP STATEMENT
 THE TENTATIVE MAP EXTERIOR BOUNDARIES ARE BASED ON RECORDED MAPS. THE TENTATIVE MAP INTERIOR BOUNDARIES WITHIN THE OWNER'S PROPERTY ARE APPROXIMATE AND SUBJECT TO CHANGE UPON FILING OF THE FINAL MAP.

THE GRADING OF THE SITE AND THE LOCATIONS OF THE PROPOSED IMPROVEMENTS ARE TENTATIVE ONLY AND ARE SUBJECT TO CHANGE UPON FILING OF THE IMPROVEMENT PLANS FOR THIS PROJECT. THE PROPOSED GRADING AS SHOWN HEREON IS IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION HILLCREST MULTI USE DEVELOPMENT PREPARED BY MILLER PACIFIC ENGINEERING GROUP, INC., DATED JANUARY 27, 2016.

THIS TENTATIVE MAP WAS PREPARED UNDER THE DIRECTION OF:
 CSW/STUBER-STROEH ENGINEERING GROUP, INC.

PROPERTY OWNERS
 APN: 178-240-17
 OWNER: SAN RAFAEL COMMERCIAL LLC
 ADDRESS: 1005 NORTHGATE DR, SAN RAFAEL, CA 94903-2500
 DOCUMENT NO.: 2014-40534

APN: 178-240-21
 OWNER: SAN RAFAEL HILLCREST LLC
 ADDRESS: 1801 CENTURY PARK E, LOS ANGELES CA 90007-2302
 DOCUMENT NO.: 2013-15615

NAME & ADDRESS OF SUBDIVIDER
 EMPIRE USA
 1801 CENTURY PARK E SUITE 2400
 LOS ANGELES, CA 90067

EXISTING GP LAND USE:
 APN 178-240-17: OFFICE
 APN 178-240-21: HIGH DENSITY RESIDENTIAL

EXISTING ZONING:
 APN 178-240-17: OFFICE
 APN 178-240-21: MULTI FAMILY RESIDENTIAL; HIGH DENSITY (HR1)

EXISTING USE
 APN 178-240-17: GAS STATION
 APN 178-240-21: HOTEL

BOUNDARY INFORMATION:
 BEING A RESUBDIVISION OF PARCEL 1 AS SHOWN ON BOOK 13 OF PARCEL MAPS, PAGE 57 AND PARCEL 1 AS SHOWN ON BOOK 12 OF PARCEL MAPS, PAGE 94, MARIN COUNTY RECORDS.

BASIS OF BEARINGS
 THE BASIS OF BEARINGS FOR THIS PROJECT IS THAT CERTAIN MAP ENTITLED "PARCEL MAP LANDS OF G.I.F. PROPERTIES, INC." RECORDED IN BOOK 13 OF PARCEL MAPS, PAGE 57, MARIN COUNTY RECORDS.

BASIS OF TOPOGRAPHY
 TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN SET IS BASED ON A TOPOGRAPHIC MAP OF 1010 NORTHGATE DRIVE PREPARED BY AMERICAN LAND SURVEYING, INC. DATED 2/18/2015, FILE NO. ALS15001. VERTICAL DATUM OF SAID TOPOGRAPHY IS ASSUMED LOCAL DATUM.

SAID SURVEY WAS SUPPLEMENTED BY LOCAL AGENCY FACILITY MAPS TO DEPICT APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.

AGENCIES PROVIDING UTILITIES AND SERVICES:
 WATER SUPPLY: MARIN MUNICIPAL WATER DISTRICT
 SEWER SERVICE: LAS GALLINAS VALLEY SANITARY DISTRICT
 STORM DRAINAGE: CITY OF SAN RAFAEL
 GAS & ELECTRIC: PACIFIC GAS & ELECTRIC
 TELEPHONE: ATT
 FIRE PROTECTION: CITY OF SAN RAFAEL

Rev	Date	Description	Designed	Drawn	Checked
03/29/18		Revised Property Lines	WFL/RRB	RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	WFL/RRB	RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	RRB	WFL

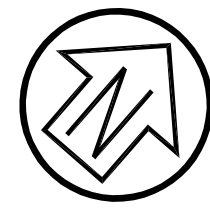
NORTHGATE WALK
VESTING TENTATIVE MAP
 EMPIRE, USA

City Of
San Rafael
 County Of
Marin
 State Of
California

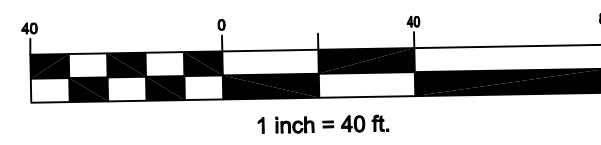
Prepared Under the Direction of:

Sheet
C1

Scale: 1" = 40'
 Date: 02/02/2016
 Project Number: 5.1455.00
 Plan File: D-5290



Graphic Scale (in feet)



PRELIMINARY GRADING QUANTITIES

1007 NORTHGATE: CUT: 2,690± CUBIC YARDS FILL: 510± CUBIC YARDS NET: 2,180± CUBIC YARDS	1020 NORTHGATE: CUT: 25,550± CUBIC YARDS FILL: 0± CUBIC YARD NET: 25,550± CUBIC YARDS	1030 NORTHGATE: CUT: 30,670± CUBIC YARDS FILL: 40± CUBIC YARDS NET: 30,630± CUBIC YARDS	1010 NORTHGATE: CUT: 250± CUBIC YARDS FILL: 30± CUBIC YARDS NET: 220± CUBIC YARDS
--	---	---	---

TOTAL: CUT: 59,160± CUBIC YARDS
FILL: 580± CUBIC YARDS
NET: CUT: 58,580± CUBIC YARDS

NOTES:

- PROPOSED FINISH GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN.
- THE EARTHWORK QUANTITIES ABOVE WERE TAKEN FROM THE DIFFERENCE BETWEEN EXISTING GRADING AND FINISHED GRADE. THE ABOVE EARTHWORK QUANTITIES HAVE NOT BEEN ADJUSTED.

LEGEND / ABBREVIATIONS

- BIORETENTION AREA
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- CONCRETE VALLEY GUTTER
- RETAINING WALL
- CB CATCH BASIN - UCS
- DI DROP INLET
- SDMH STORM DRAIN MANHOLE
- TREE TO BE REMOVED
- RETAINING WALL HEIGHT

- BW BACK OF WALK
- EG EXISTING GRADE
- (E) EXISTING
- EP. EDGE OF PAVEMENT
- F.F. FINISH FLOOR
- FG FINISH GRADE
- FS FINISH SURFACE
- INV. INVERT
- (N) NEW
- SD STORM DRAIN
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP OF PAVEMENT
- TW TOP WALL
- tw TOE WALL

Rev	Date	Description	Drawn	Checked
03/29/18		Revised Property Lines	WFL/RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk.	WFL/RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	WFL/RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	WFL

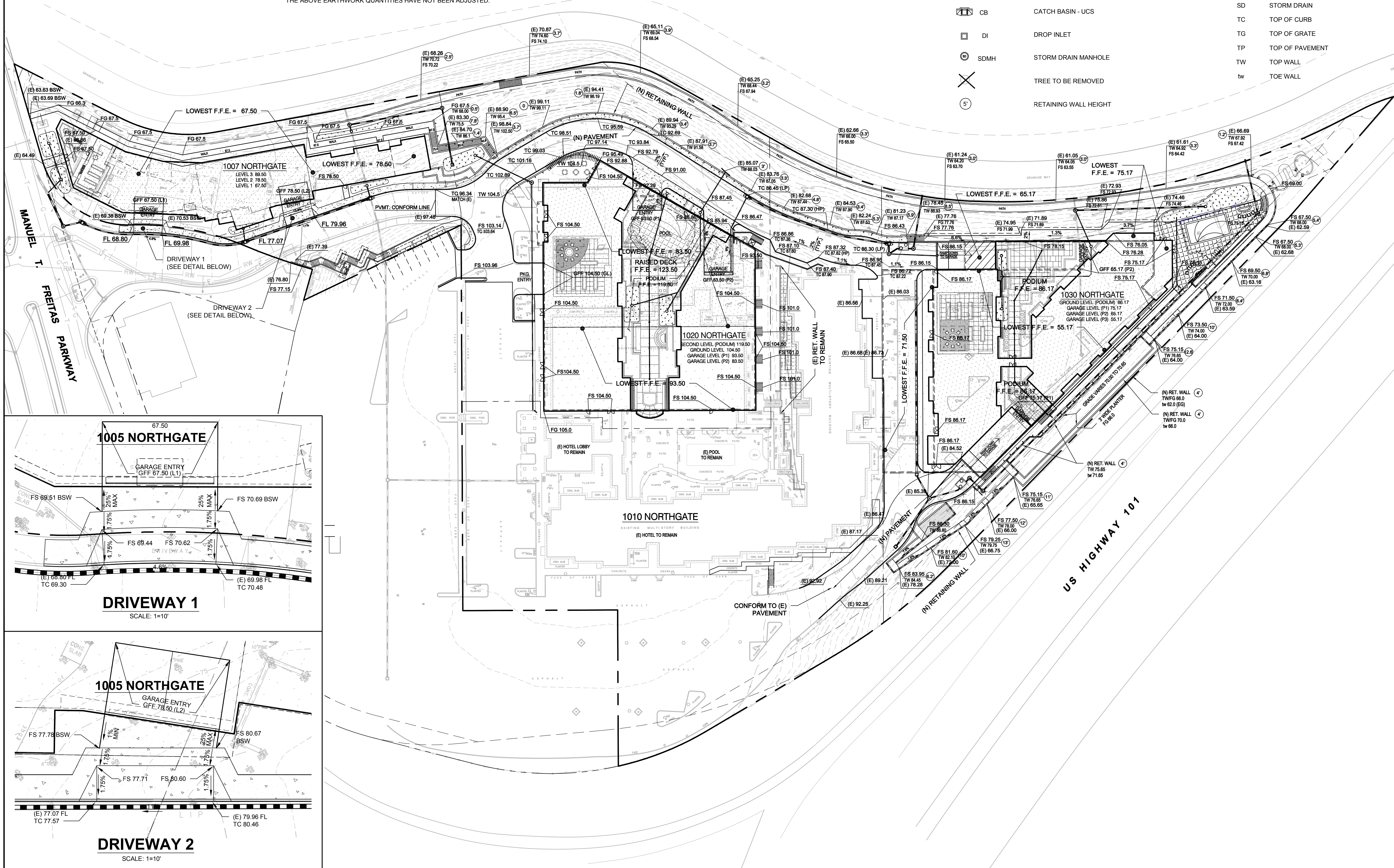
NORTHGATE WALK PRELIMINARY GRADING AND DRAINAGE PLAN EMPIRE, USA

City Of
San Rafael
County Of
Marin
State Of
California

Prepared Under the Direction of:

Sheet C2

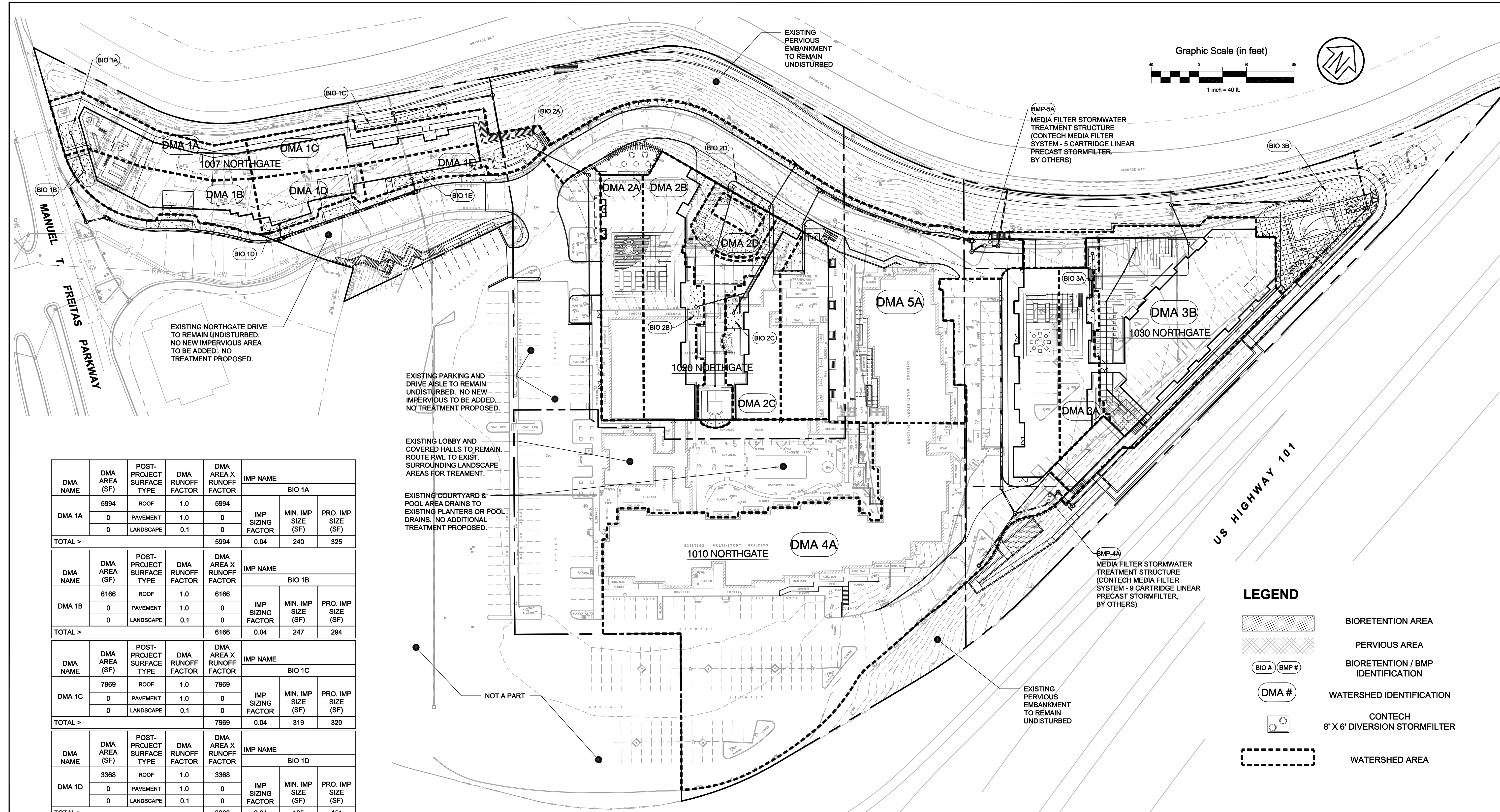
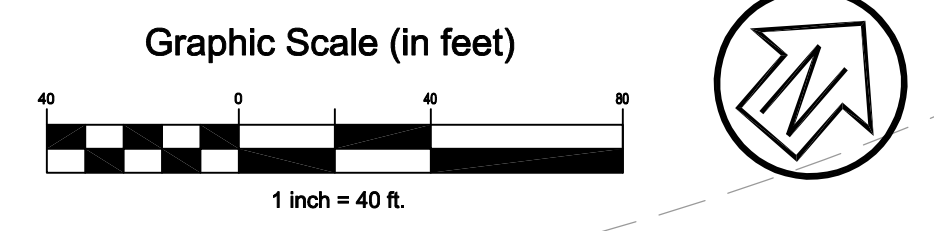
Scale: 1" = 40'
Date: 02/02/2016
Project Number: 5.1455.00
Plan File: D-5290



DRIVEWAY 1
SCALE: 1"=10'

DRIVEWAY 2
SCALE: 1"=10'

P:\05145500\DWG\Sheet_Drawing\C2_Grading and Drainage.dwg 03/29/2018 - 01:57 PM User: 11692



DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 1A								
DMA 1A	5994	ROOF	1.0	5994				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	5994			5994	0.04	240	325	
BIO 1B								
DMA 1B	6166	ROOF	1.0	6166				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6166			6166	0.04	247	294	
BIO 1C								
DMA 1C	7969	ROOF	1.0	7969				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	7969			7969	0.04	319	320	
BIO 1D								
DMA 1D	3368	ROOF	1.0	3368				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	3368			3368	0.04	135	151	
BIO 1E								
DMA 1E	2549	ROOF	1.0	2549				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	2549			2549	0.04	102	187	
BIO 2A								
DMA 2A	7307	ROOF	1.0	7307				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	7307			7307	0.04	292	440	
BIO 2B								
DMA 2B	10038	ROOF	1.0	10038				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	10038			10038	0.04	402	407	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 2C								
DMA 2C	6434	ROOF	1.0	6434				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6434			6434	0.04	257	351	
BIO 2D								
DMA 2D	6292	ROOF	1.0	6292				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	6292			6292	0.04	252	268	
BIO 3A								
DMA 3A	5032	ROOF	1.0	5032				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	5032			5032	0.04	201	217	

DMA NAME	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	DMA AREA X RUNOFF FACTOR	IMP NAME	IMP SIZING FACTOR	MIN. IMP SIZE (SF)	PRO. IMP SIZE (SF)
BIO 3B								
DMA 3B	24887	ROOF	1.0	24887				
	0	PAVEMENT	1.0	0				
	0	LANDSCAPE	0.1	0				
TOTAL >	24887			24887	0.04	995	993	

DRAINAGE MANAGEMENT AREA 4A							
SURFACE TYPE	AREA (AC)	RUNOFF COEFFICIENT	RAINFALL INTENSITY (IN/HR)	TREATMENT FLOW RATE (CFS)	TREATMENT FLOW RATE (GPM)	CARTRIDGE FLOW RATE (GPM)	MINIMUM NO. CARTRIDGES
ROOF/PVMT.	1.61	0.85	0.2	0.27	121	15	9
TOTAL				0.27	121	15	9

DRAINAGE MANAGEMENT AREA 5A							
SURFACE TYPE	AREA (AC)	RUNOFF COEFFICIENT	RAINFALL INTENSITY (IN/HR)	TREATMENT FLOW RATE (CFS)	TREATMENT FLOW RATE (GPM)	CARTRIDGE FLOW RATE (GPM)	MINIMUM NO. CARTRIDGES
ROOF/PVMT.	0.89	0.85	0.2	0.15	67	15	5
TOTAL				0.15	67	15	5

LEGEND

- BIORETENTION AREA
- PERVIOUS AREA
- BIORETENTION / BMP IDENTIFICATION
- WATERSHED IDENTIFICATION
- CONTECH 8' X 6' DIVERSION STORMFILTER
- WATERSHED AREA

Rev	Date	Description	Designed	Drawn	Checked
03/29/18		Revised Property Lines	WFL/RRB	RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk	WFL/RRB	RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	WFL/RRB	RRB	WFL
08/17/16		Revised in response to City comments 8/22/16	WFL/RRB	RRB	WFL
06/30/16		Submitted to Client	WFL/RRB	RRB	WFL
04/08/16		Submitted to Client	WFL/RRB	RRB	WFL

NORTHGATE WALK
PRELIMINARY STORMWATER CONTROL PLAN
 EMPIRE, USA

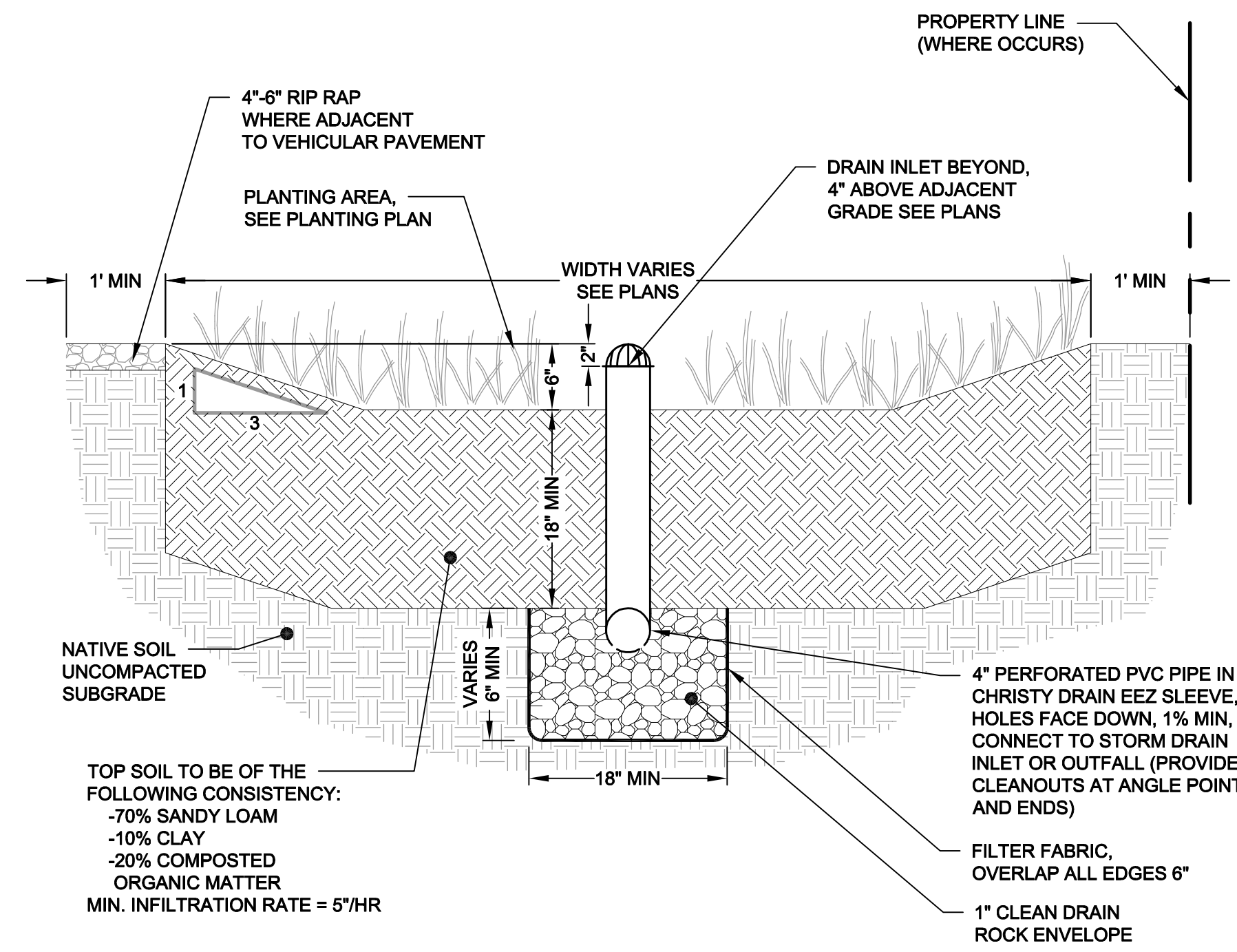
City Of
San Rafael
 County Of
Marin
 State Of
California

Prepared Under the Direction of:

Sheet
C3.1

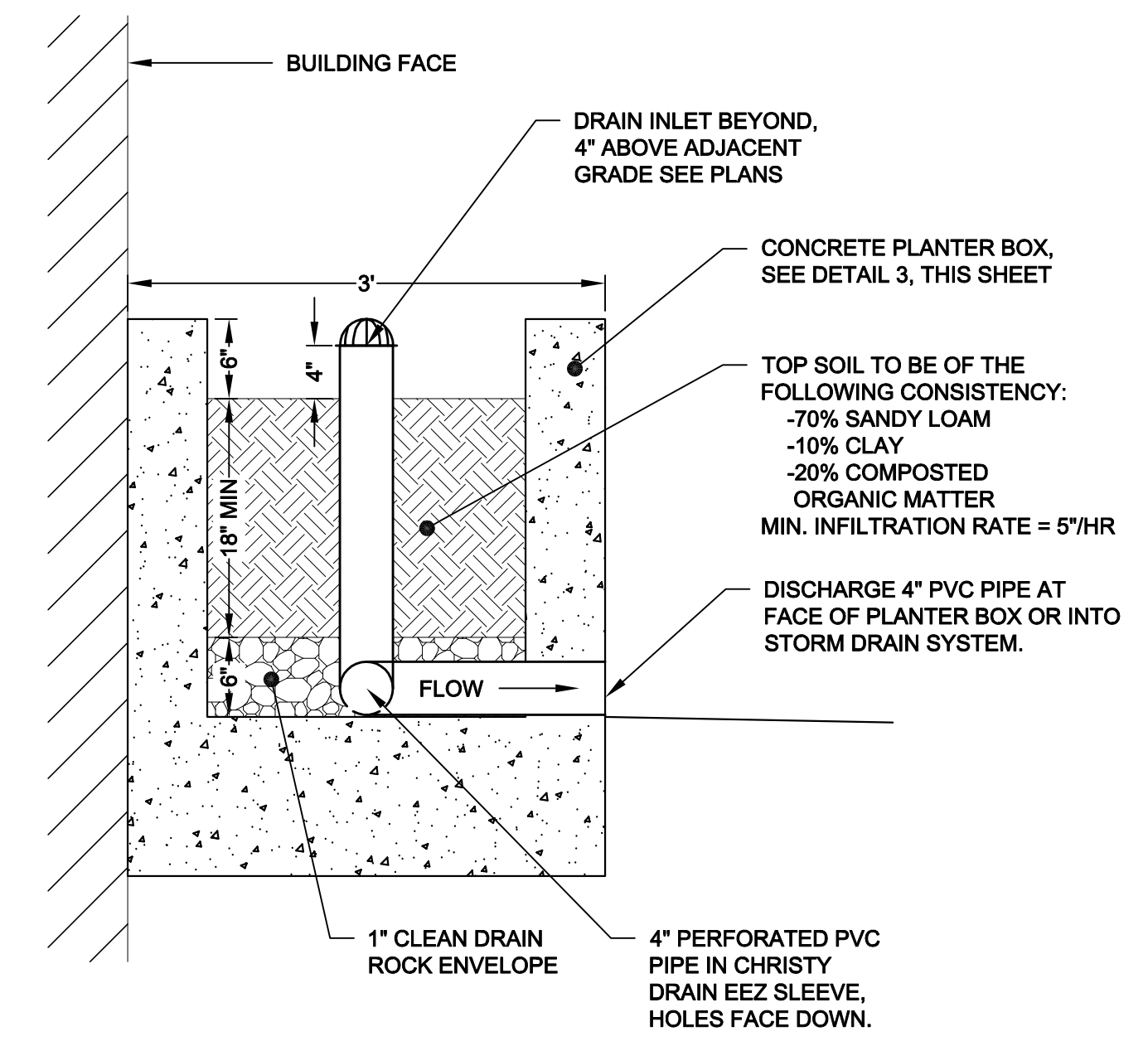
Scale: 1" = 40'
 Date: 02/02/2016
 Project Number: 5.1455.00
 Plan File: D-5290

P:\05145500\DWG\Sheet_Drawing\C3.1 (Stormwater Control) dwg 03/29/2018 - 01:09 PM Job: 11-18-62

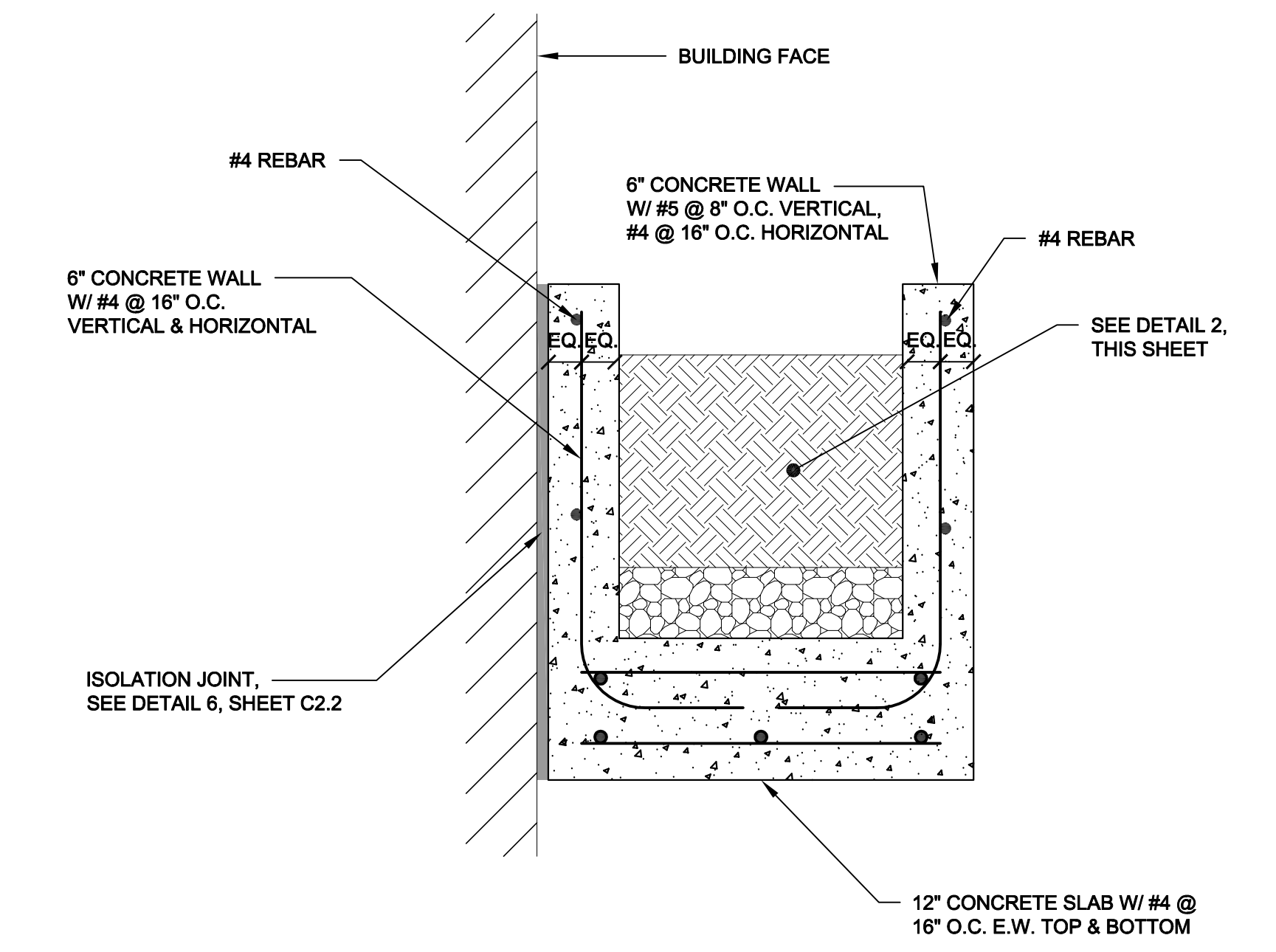


- BIORETENTION AREA CONSTRUCTION NOTES**
1. SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BIORETENTION SOIL MEDIA.
 2. COMPACT EACH 6" LIFT OF BIORETENTION SOIL MEDIA WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING. IF WETTING, LET DRY OVERNIGHT BEFORE PLANTING.
 3. NEVER WORK WITHIN BIORETENTION AREA LIMITS DURING RAIN OR UNDER WET CONDITIONS.
 4. KEEP ALL HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS.

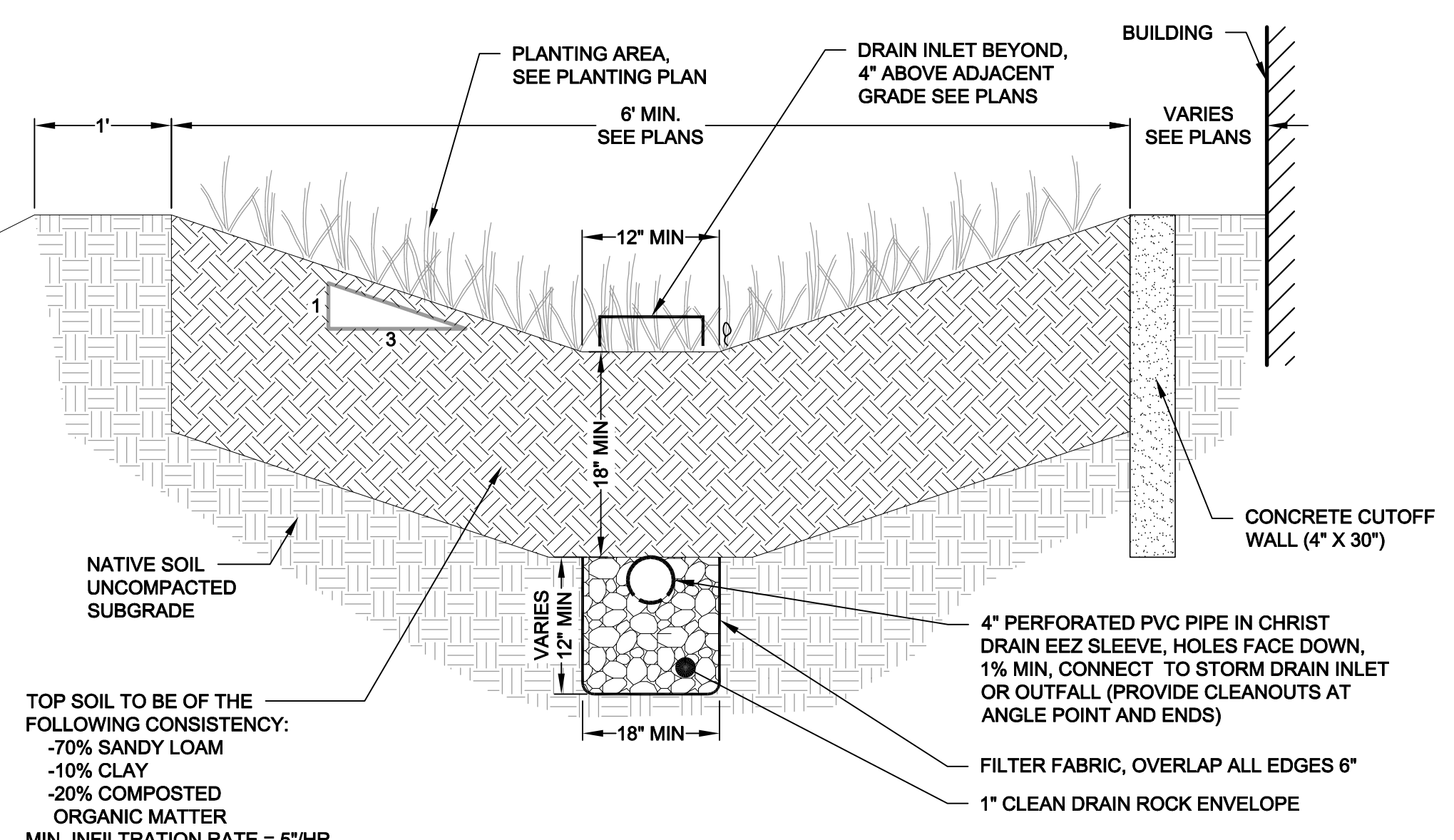
1 BIORETENTION AREA DETAIL
 SCALE: 1" = 1'



2 BIORETENTION PLANTER DETAIL
 SCALE: 1" = 1'



3 CONCRETE PLANTER BOX DETAIL
 SCALE: 1" = 1'



- NOTE:**
1. BIORETENTION AREAS HAVE A MINIMUM DEPTH OF 12".
 2. EXCLUDE THE PERFORATED SUBDRAIN AT BIORETENTION AREA B1.

5 BIORETENTION DETAIL
 SCALE: 1" = 1'

GENERAL NOTES

1. REMOVE EXISTING SOIL IN BIORETENTION AREAS.
2. THE BASE OF A BIORETENTION AREAS IS GRADED FLAT WITH A 2" MINIMUM WIDTH. IN AREAS WHERE THE 7" TOTAL WIDTH CANNOT BE ACHIEVED, THE BASE MAY BE REDUCED TO A 1" MINIMUM WIDTH. SEE PLANS FOR GRADING AND DRAIN LINES.
3. ALL BIORETENTION AREAS SHALL MAINTAIN A MINIMUM 1' SETBACK FROM PROPERTY LINES.
4. ALL PLANTING IN THE BIORETENTION AREAS SHALL BE CONSISTENT WITH LANDSCAPE PLANS.

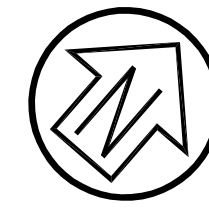
Rev	Date	Description	Designed	Drawn	Checked
	03/29/18	Revised Property Lines	WFL/RRB	RRB	WFL
	12/07/17	Rev. Bldg 1007 stairs, northern drive, walk.	WFL/RRB	RRB	WFL
	11/18/16	Revised in response to City comments 10/21/16	WFL/RRB	RRB	WFL
	08/17/16	Revised in response to City comments 8/2/16	WFL/RRB	RRB	WFL
	06/30/16	Submitted to Client	WFL/RRB	RRB	WFL
	04/08/16	Submitted to Client	WFL/RRB	RRB	WFL

**NORTHGATE WALK
 PRELIMINARY STORMWATER
 CONTROL DETAILS
 EMPIRE, USA**

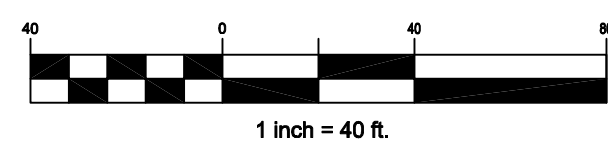
City Of
San Rafael
 County Of
Marin
 State Of
California

Prepared Under the Direction of:

Sheet
C3.2
 Scale: 1" = 40'
 Date: 02/02/2016
 Project Number: 5.1455.00
 Plan File: D-5290

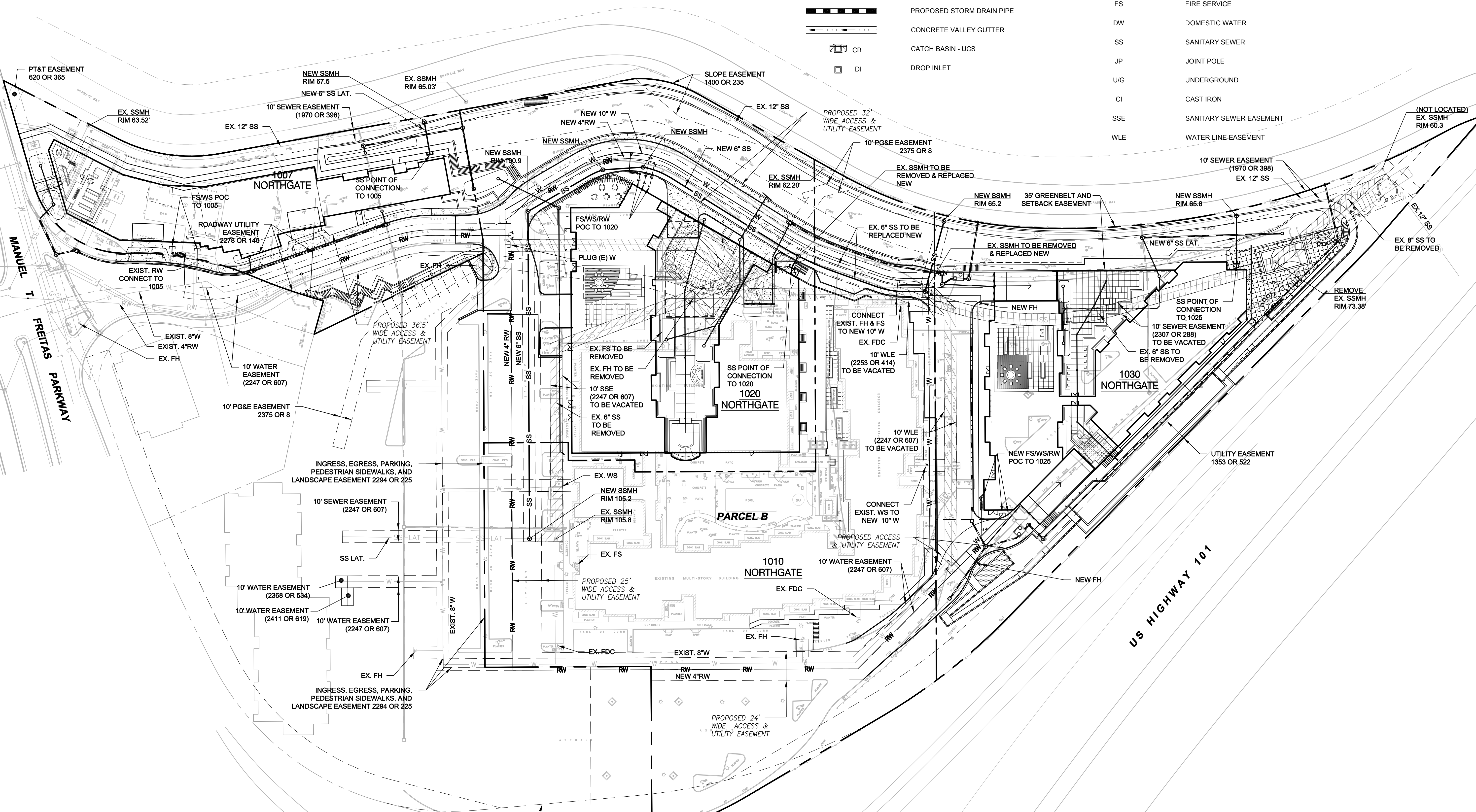


Graphic Scale (in feet)



LEGEND / ABBREVIATIONS

- W — WATERLINE
- SS — SANITARY SEWER LINE
- JT — JOINT TRENCH
- RW — RECYCLED WATER (EXISTING)
- OH — OVERHEAD LINE (EXISTING)
- — STORM DRAIN PIPE (EXISTING)
- — PROPOSED STORM DRAIN PIPE
- — CONCRETE VALLEY GUTTER
- CB CATCH BASIN - UCS
- DI DROP INLET
- SD(S) SDMH STORM DRAIN MANHOLE
- SS(S) SSMH SANITARY SEWER MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- POC POINT OF CONNECTION
- FS FIRE SERVICE
- DW DOMESTIC WATER
- SS SANITARY SEWER
- JP JOINT POLE
- U/G UNDERGROUND
- CI CAST IRON
- SSE SANITARY SEWER EASEMENT
- WLE WATER LINE EASEMENT



CSW | ST2
CSW/Stuber-Stroeh Engineering Group, Inc.
 45 Leverett Court Novato, CA 94949 tel: 415.883.9850 fax: 415.883.9858
 Civil & Structural Engineers
 Surveying & Mapping
 Environmental Planning
 Land Planning
 Construction Management
<http://www.cswst2.com> © 2013

Rev	Date	Description	Drawn	Checked
03/29/18		Revised Property Lines	RRB	WFL
12/07/17		Rev. Bldg 1007 stairs, northern drive, walk.	RRB	WFL
11/18/16		Revised in response to City comments 10/21/16	RRB	WFL
08/17/16		Revised in response to City comments 8/2/16	RRB	WFL
06/30/16		Submitted to Client	RRB	WFL
04/08/16		Submitted to Client	RRB	WFL

NORTHGATE WALK
PRELIMINARY UTILITY PLAN
EMPIRE, USA

City Of San Rafael
 County Of Marin
 State Of California

Prepared Under the Direction of:

- NOTES**
1. TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN SET IS BASED ON A TOPOGRAPHIC MAP OF 1010 NORTHGATE DRIVE PREPARED BY AMERICAN LAND SURVEYING, INC. DATED 2/18/2015, FILE NO. ALS15001. VERTICAL DATUM OF SAID TOPOGRAPHY IS ASSUMED LOCAL DATUM.
 2. APPROXIMATE LOCATION OF UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS COMPILED FROM LOCAL AGENCY FACILITY AND SCHEMATIC MAPS. LOCATIONS OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
 3. DISTANCES AND ELEVATIONS SHOWN ARE IN FEET A DECIMALS THEREOF

Sheet **C4**
 Scale: 1" = 40'
 Date: 02/02/2016
 Project Number: 5.1455.00
 Plan File: D-5290

P:\054\45500\05\Sheet_Drawing\CA_Utility.dwg 02/02/2016 - 02:03 PM User: 1116492