

5/14/2018 11:06:00 AM

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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
415.252.7063

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AEGIS SAN RAFAEL
800 MISSION AVENUE SAN RAFAEL CA 94549

ASC SAN RAFAEL LLC

PROJECT INFORMATION

GENERAL

ZONING: HR-1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 36'
PROPOSED BUILDING HEIGHT: 35'-6"

MIN. USABLE OUTDOOR AREA: 100 SF
PROPOSED USABLE OUTDOOR AREA: 3,955 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 77

BEDS: 99

PROJECT DIRECTORY

GENERAL

APPLICANT

ML SEVEN CAPITAL PARTNERS LLC
1101 FIFTH AVENUE, SUITE #300
SAN RAFAEL, CA 94901

CONTACT: TOM MONAHAN
GEOFFREY FORNER
PHONE: (415)455-0600
EMAIL: gforner@monahanpacific.com
tmm@monahanpacific.com

ARCHITECT

ANKROM MOISAN ARCHITECTS
1505 5TH AVENUE, SUITE 300
SEATTLE, WA 98101
CONTACT: JP EMERY
JEREMY SOUTHERLAND
PHONE: (206)576-1600
EMAIL: JPE@ANKROMMOISAN.COM
JEREMYS@ANKROMMOISAN.COM

DESIGN DESCRIPTION

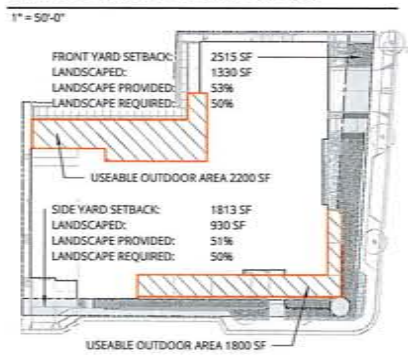
PROPOSED OCCUPANCY: R2.1
MULTIFAMILY RESIDENTIAL
(HIGH DENSITY)

THE PROPOSED DESIGN IS AN 77 UNIT, FOUR STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST FLOOR OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 25 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA, THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING. ONE AT MISSION AVE AND ONE AT LINCOLN AVE. THE SUBTERRANEAN GARAGE WILL CONTAIN 43 SPACES TOTAL, 34 STANDARD PARKING SPACES, AND 2 ADA SPACES. THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 46 DEDICATED SPACES (INCLUDING 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN. PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST LEVEL OF RESIDENTIAL (ONE LEVEL UP FROM STREET), WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO FALSE BALCONYS. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE SECOND AND THIRD RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES. THE ARCHITECTURAL GOALS OF THE GROUND LEVEL ARE TO CREATE A VERY AESTHETICALLY RICH, INVITING ENVIRONMENT WHILE SIMULTANEOUSLY RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL FROM THE STREET, A DEDICATED ENTRANCE FACADE, COUPLED WITH MULTI LEVEL, STAGGERED ROOFING ON EXTERIOR BALCONIES AND A FOCAL TOWER, WITH ARCHITECTURALLY SEPARATED BUILDING SECTIONS PROVIDES AN INTERESTING VIEW CONTAINING DESIRED CURB APPEAL. VISUAL DEPTH IS ACHIEVED THROUGH THE BALCONYS, THE ROOF SEPARATIONS, AND THE BUILDING SEPARATIONS FROM VERTICAL MOVEMENT POINTS. SHADOWS AND DEPTH PREVENT MONOTONOUS WALLS AND BORING PLANES, OR BORING OVERALL MASSING IN GENERAL. THE SITE WILL BE LANDSCAPED TO PROVIDE SCREENING AND NATURAL APPEAL.

SETBACKS

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

LANDSCAPE DIAGRAM



VICINITY MAP



SHEET INDEX

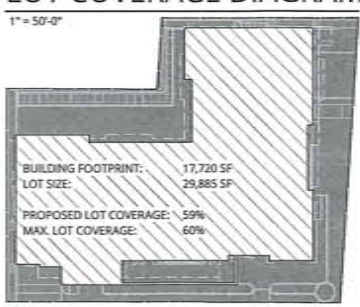
SHEET NUMBER	SHEET NAME
1	TITLE SHEET
2	LOWER GARAGE PLAN
3	MAIN LEVEL PLAN
4	FIRST FLOOR RESIDENTIAL PLAN
5	SECOND FLOOR RESIDENTIAL PLAN
6	THIRD FLOOR RESIDENTIAL PLAN
7	ROOF PLAN
8	EXTERIOR ELEVATIONS
9	EXTERIOR ELEVATIONS
10	SECTIONS
11	DETAILS

CIVIL	LANDSCAPE
C0.00	L1.1
C0.01	L2.0
C2.00	L2.1
C2.01	

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THESE DOCUMENTS ARE INTENDED ONLY TO ILLUSTRATE GENERAL DESIGN ELEMENTS.

DEVIATIONS MAY EXIST BETWEEN THESE DOCUMENTS AND DOCUMENTS THAT HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN RAFAEL PLANNING AUTHORITIES.

LOT COVERAGE DIAGRAM



UNIT SCHEDULE		
UNIT TYPE	COUNT	AREA TOTAL
LEVEL 4		
AL1	3	2094
ALS	23	8632
	26	10726
LEVEL 3		
AL1	3	2096
ALS	23	8794
	26	10830
LEVEL 2		
ALS	25	8541
	25	8541
Grand total	77	30097

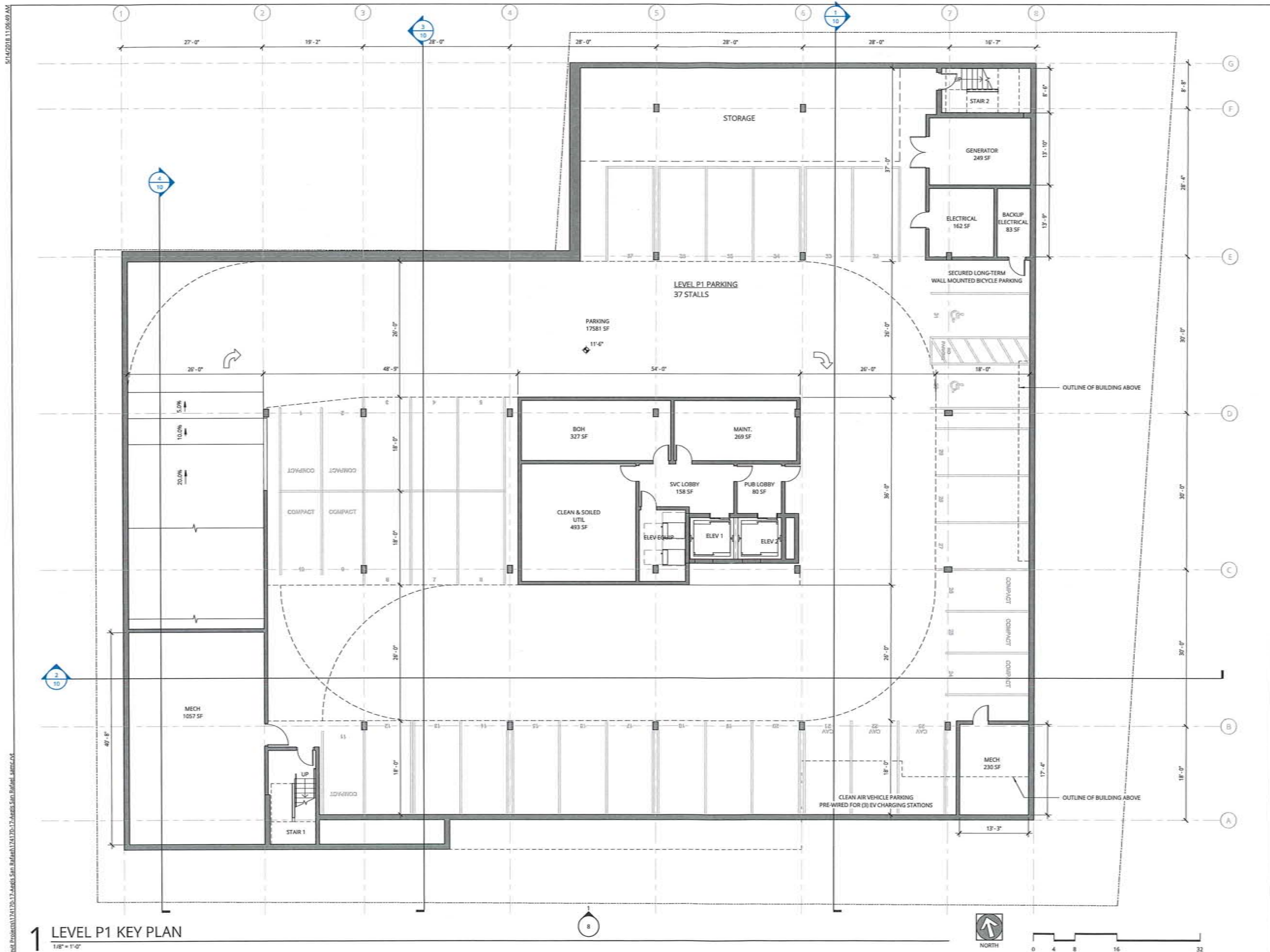
REVISION	DATE	REASON FOR ISSUE

RECEIVED
MAY 17 2018
PLANNING
TITLE SHEET

RESUBMITTAL SET

DATE: 05.16.2018 PROJECT NUMBER: 174170

SHEET NUMBER: 1



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REVISION	DATE	REASON FOR ISSUE

LOWER GARAGE PLAN

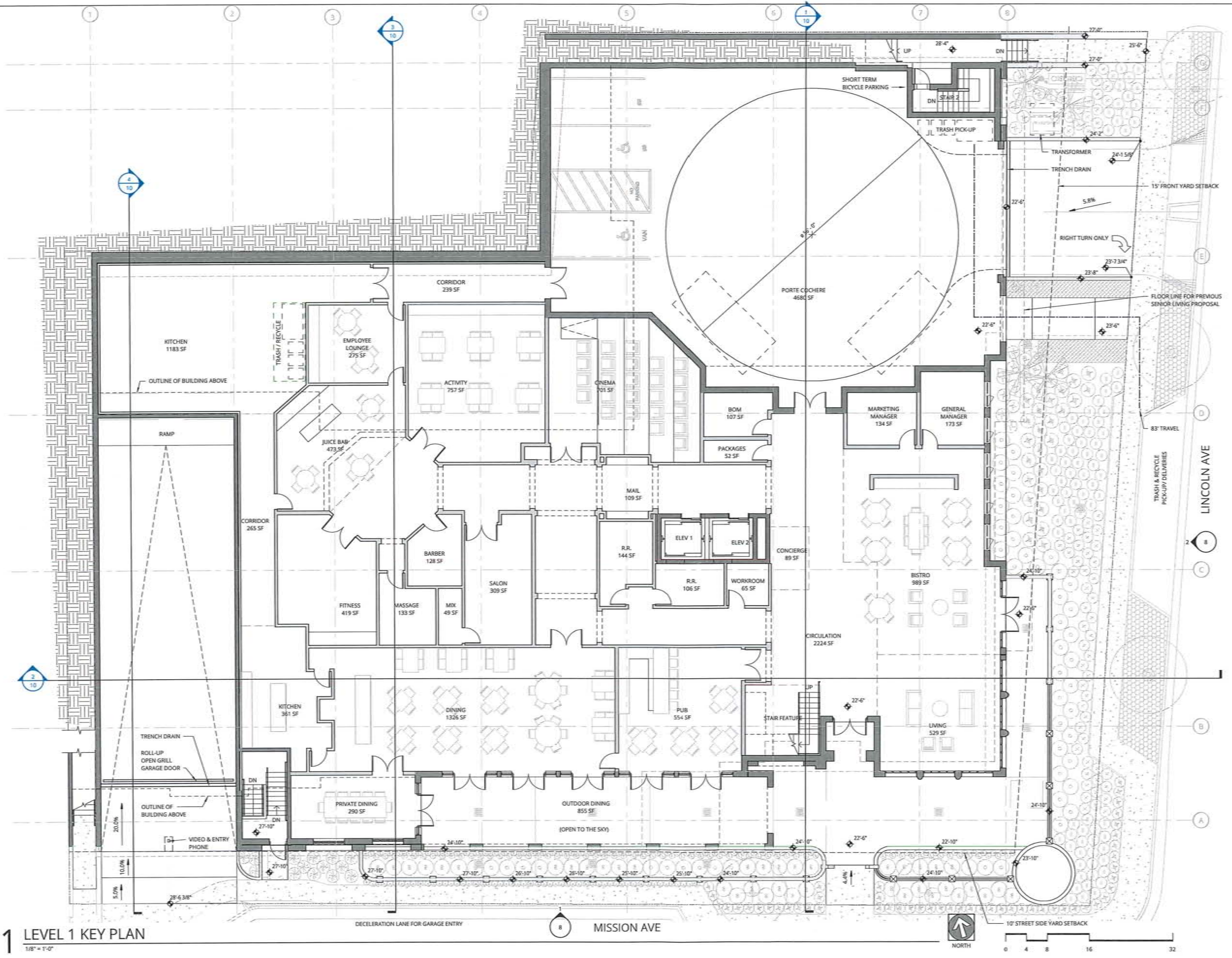
RESUBMITTAL SET

DATE 05.16.2018	PROJECT NUMBER 174170
SHEET NUMBER	

1 LEVEL P1 KEY PLAN
 1/8" = 1'-0"

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1 LEVEL 1 KEY PLAN
1/8" = 1'-0"

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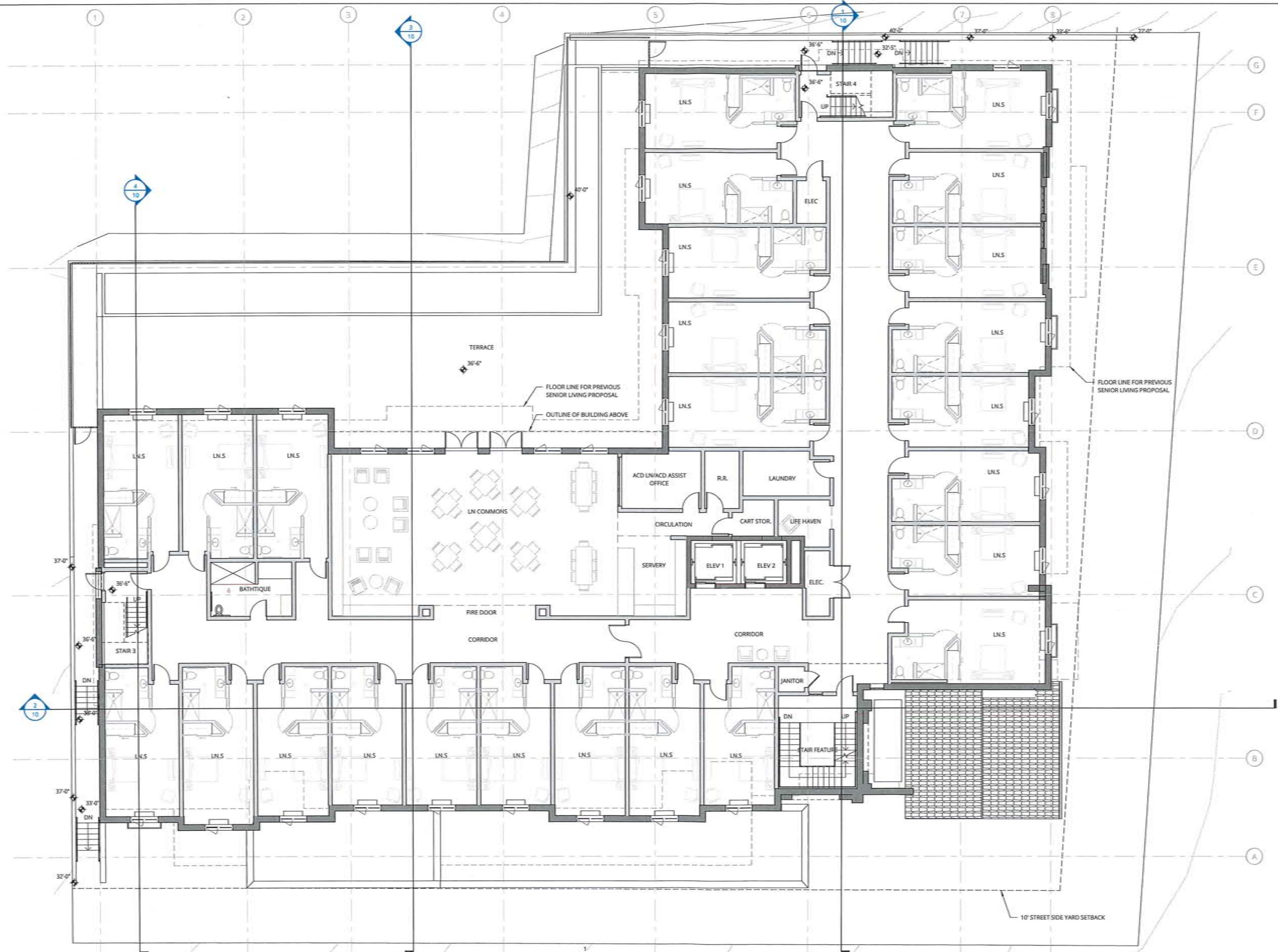
MAIN LEVEL PLAN

RESUBMITTAL SET

DATE: 05.16.2018 PROJECT NUMBER: 174170

SHEET NUMBER: **3**

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1 LEVEL 2 KEY PLAN
1/8" = 1'-0"

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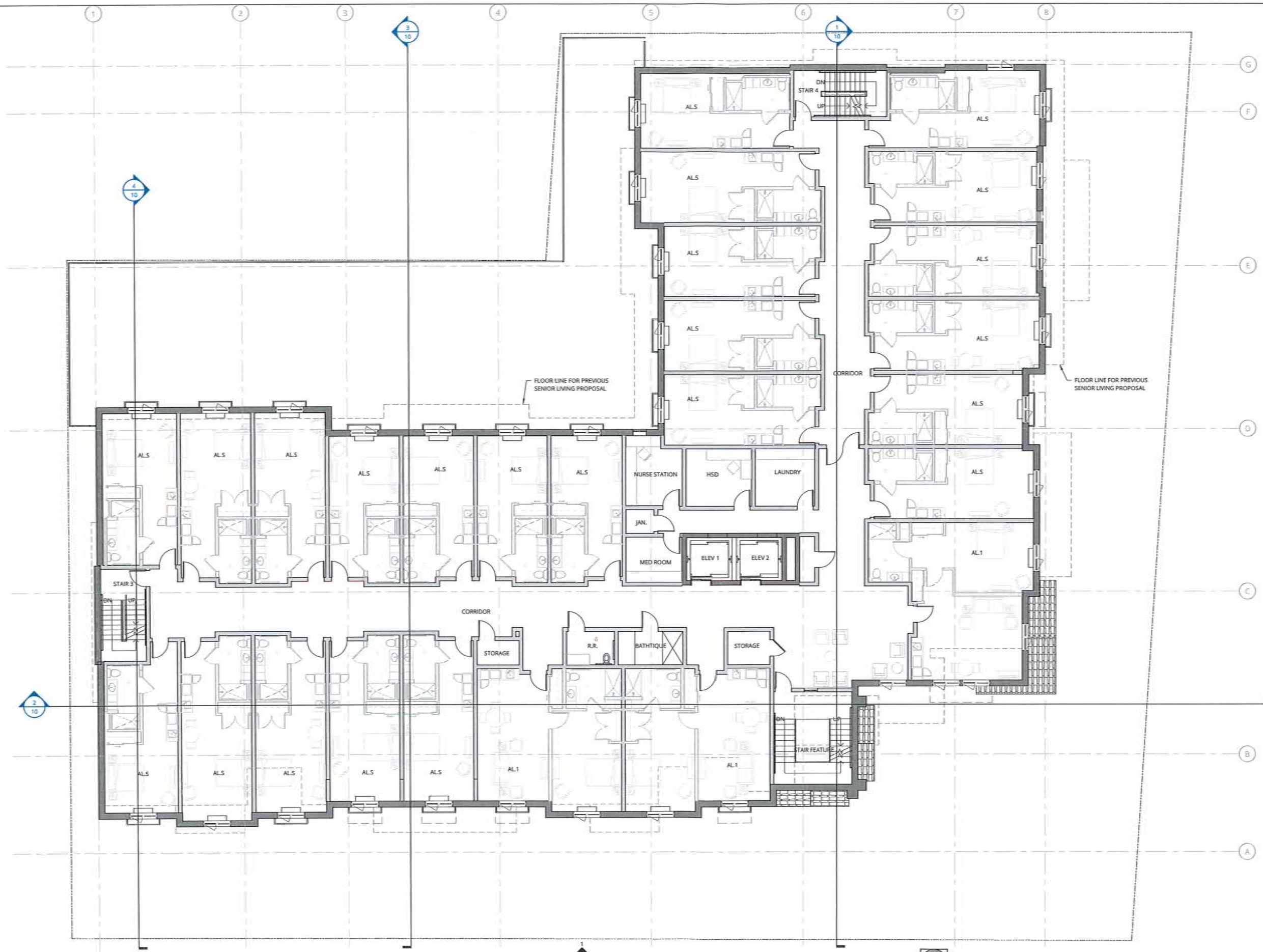
REVISION	DATE	REASON FOR ISSUE

FIRST FLOOR
RESIDENTIAL PLAN

RESUBMITTAL SET

DATE 05.16.2018 PROJECT NUMBER 174170
 SHEET NUMBER

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REVISION	DATE	REASON FOR ISSUE

SECOND FLOOR
 RESIDENTIAL PLAN

RESUBMITTAL SET

DATE 05.16.2018	PROJECT NUMBER 174170
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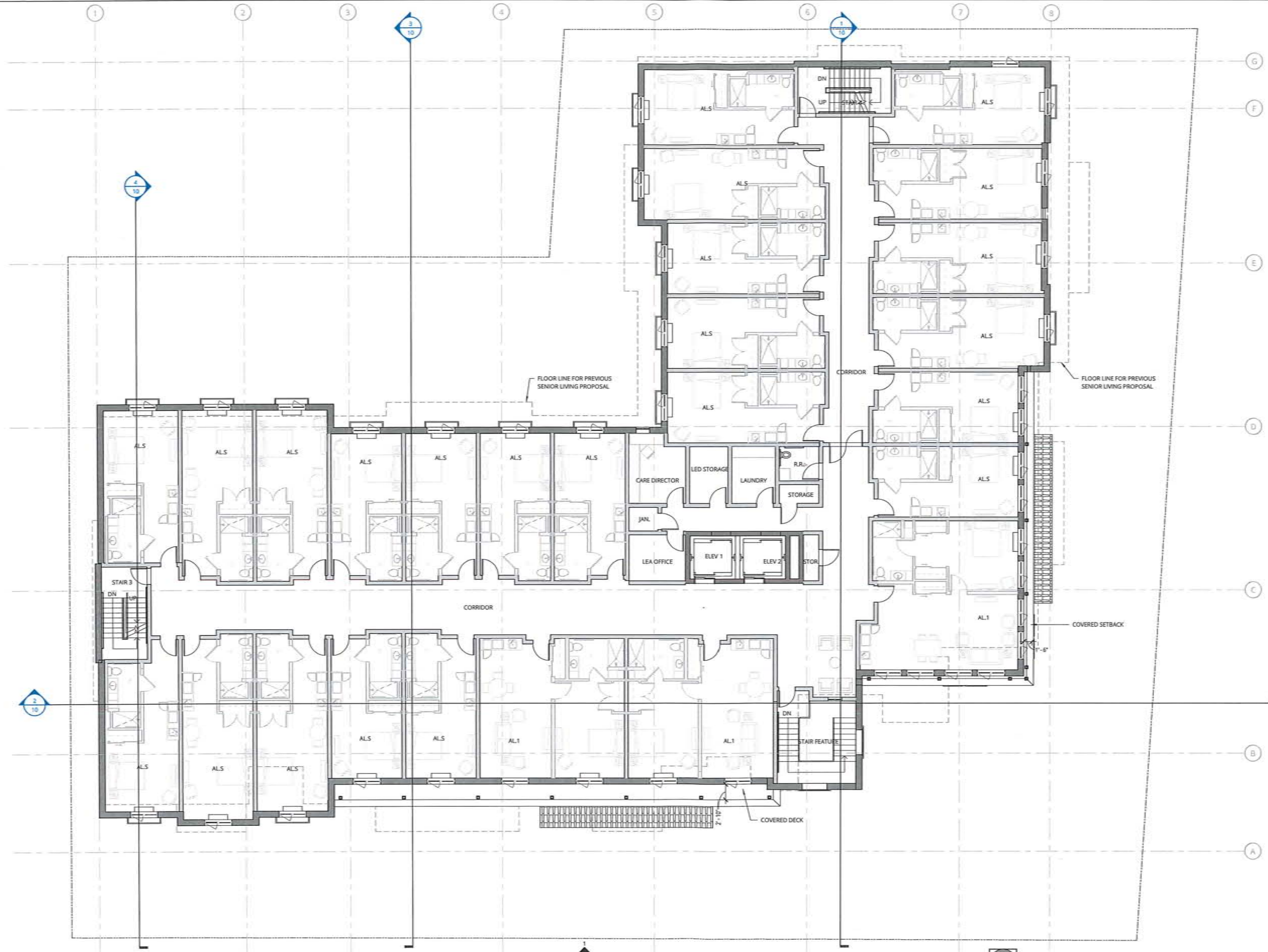
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1 LEVEL 3 KEY PLAN / L4 SIM
 1/8" = 1'-0"

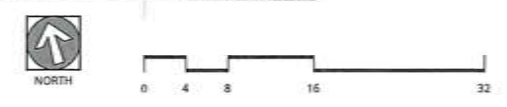
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1 LEVEL 4 KEY PLAN
1/8" = 1'-0"



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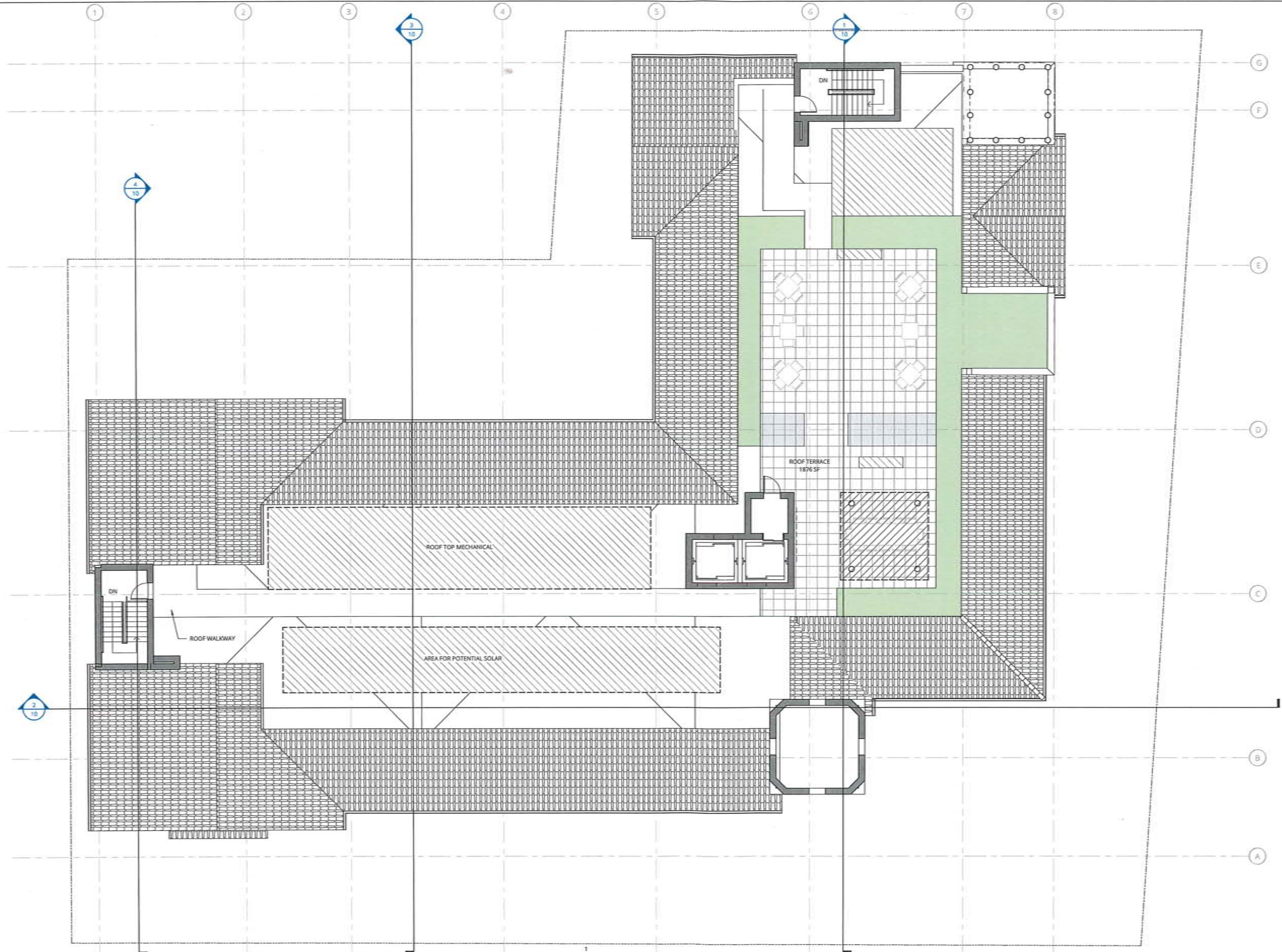
**THIRD FLOOR
RESIDENTIAL PLAN**

RESUBMITTAL SET

DATE: 05.16.2018 PROJECT NUMBER: 174170

SHEET NUMBER: **6**

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1 ROOF KEY PLAN
1/8" = 1'-0"

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ROOF PLAN

RESUBMITTAL SET

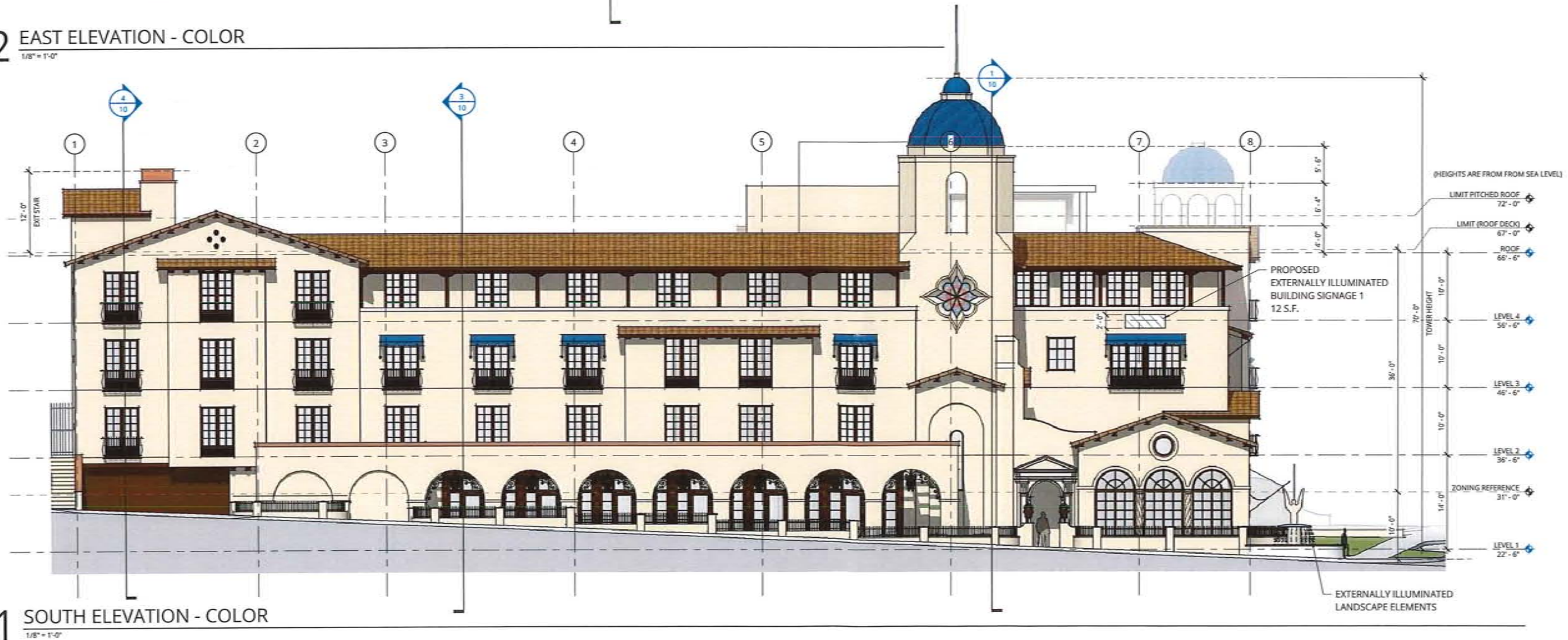
DATE 05.16.2018	PROJECT NUMBER 174170
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SHEET NUMBER
7

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2 EAST ELEVATION - COLOR
1/8" = 1'-0"



1 SOUTH ELEVATION - COLOR
1/8" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE

EXTERIOR
ELEVATIONS

RESUBMITTAL SET

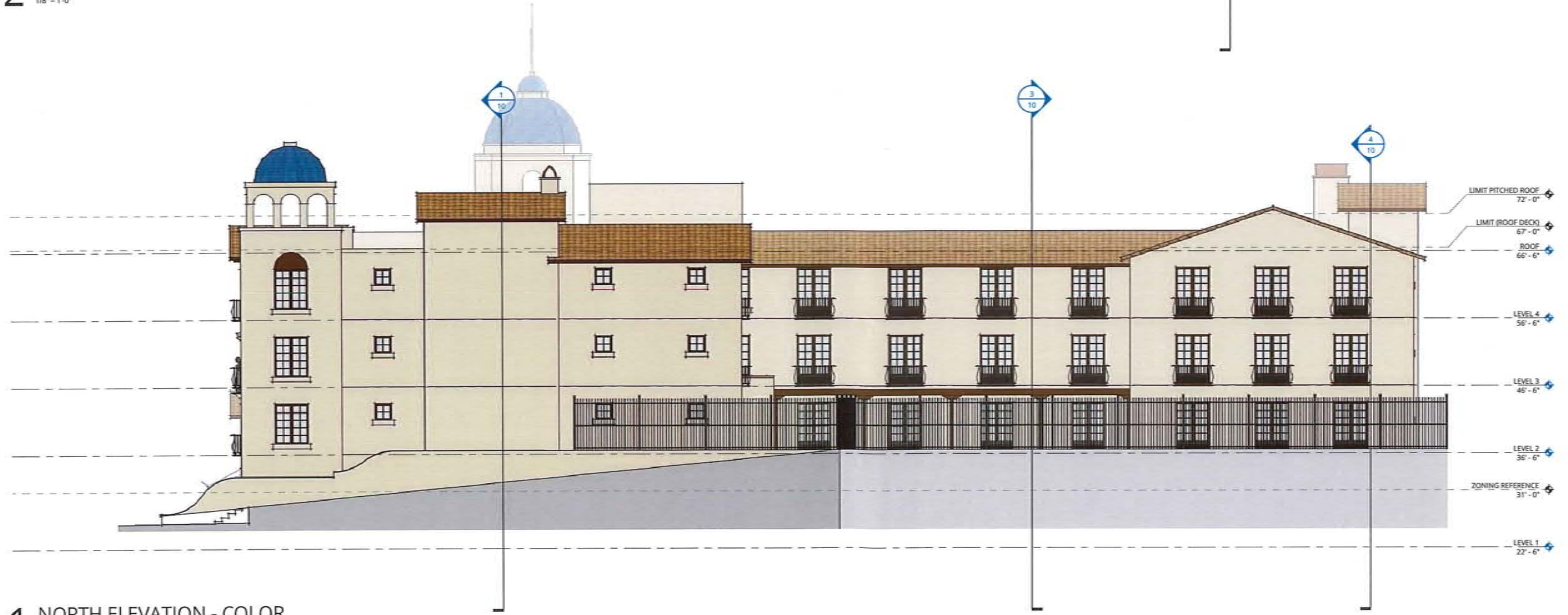
DATE 05.16.2018	PROJECT NUMBER 174170
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SHEET NUMBER

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2 WEST ELEVATION - COLOR
1/8" = 1'-0"



1 NORTH ELEVATION - COLOR
1/8" = 1'-0"

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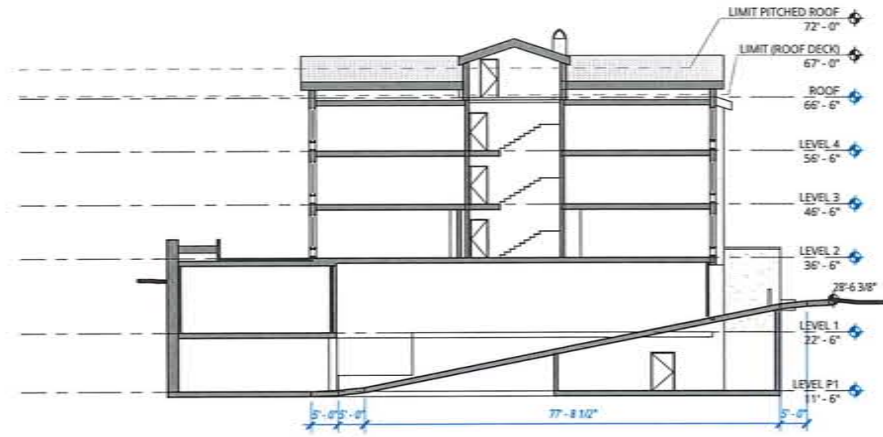
EXTERIOR ELEVATIONS

RESUBMITTAL SET

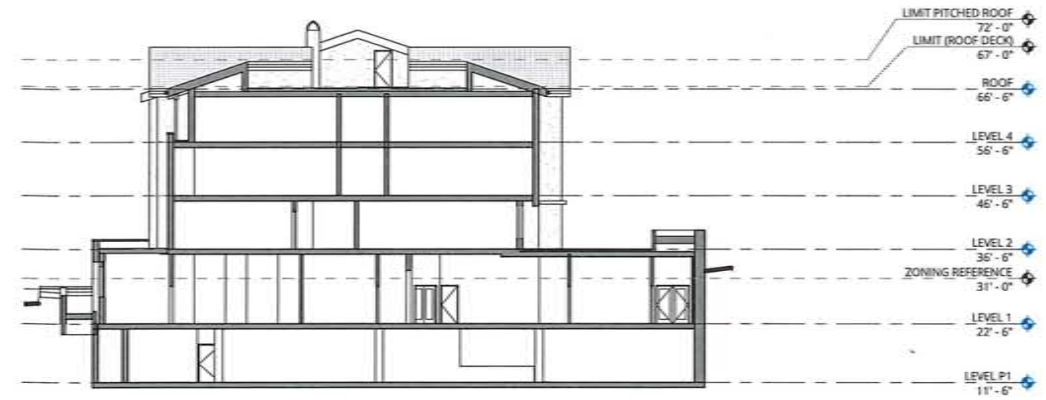
DATE 05.16.2018	PROJECT NUMBER 174170
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SHEET NUMBER
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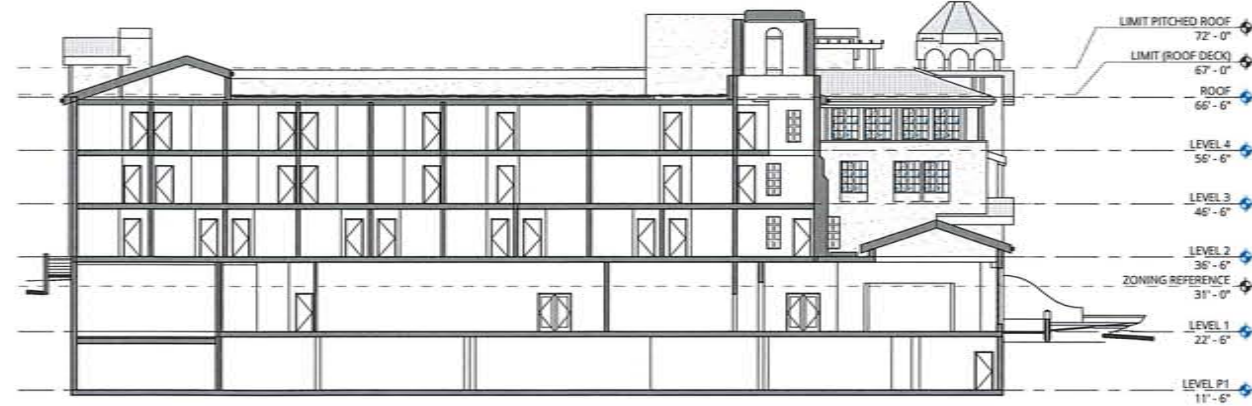
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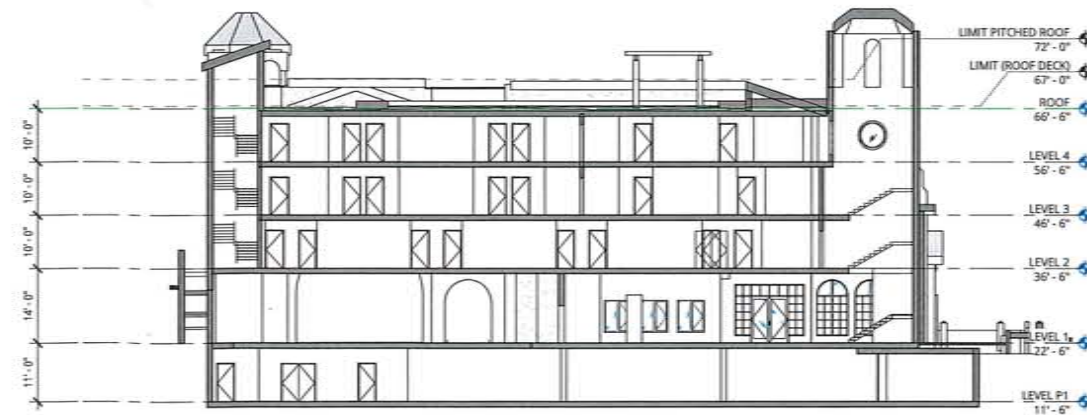
4 BUILDING SECTION AT PARKING RAMP
1/16" = 1'-0"



3 BUILDING SECTION 3
1/16" = 1'-0"



2 BUILDING SECTION 2
1/16" = 1'-0"



1 BUILDING SECTION 1
1/16" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE

SECTIONS

RESUBMITTAL SET

DATE 05.16.2018	PROJECT NUMBER 174170
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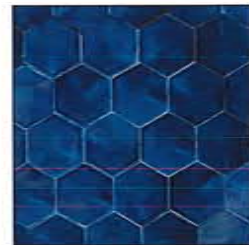
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10

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BUILDING MATERIALS, COLOR AND DETAILS



1. TILE ROOF



2. BLUE ROOF TILE



3. TIMBER DETAILING

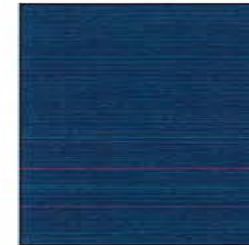


4. WROUGHT IRON

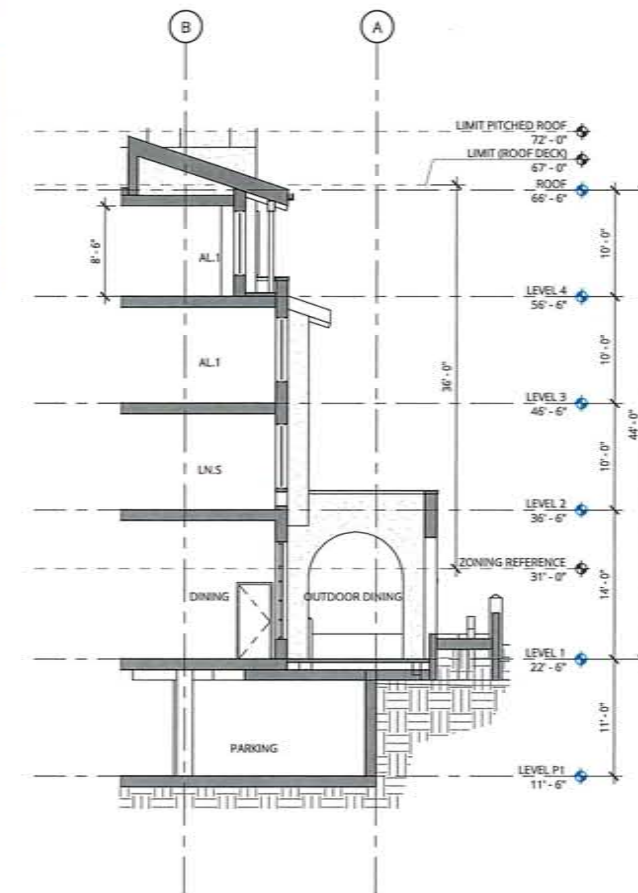


5. STUCCO

COLOR SELECTION: STUCCO SW-7569



6. FABRIC AWNINGS



1 WALL SECTION
1/8" = 1'-0"

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DETAILS

RESUBMITTAL SET

DATE 05.16.2018	PROJECT NUMBER 174170
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SHEET NUMBER

11

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 Ref: aegrc.rvt

LEGEND

- PROPERTY LINE
- - - FENCE LINE
- TELECABLE OVERHEAD LINES
- ELECTRIC LINES
- ☐ CATCH BASIN
- ☐ UTILITY BOX
- POLE GUY/ANCHOR LOCATION
- FOUND 1/2" IP (TAGGED LS 2738)
- D/W DRIVEWAY
- ⊙ SANITARY SEWER MH
- ⊙ STORM DRAIN MH
- TP TELEPHONE POLE
- SSCO SANITARY SEWER CLEANOUT
- (R1) 18 PM 96
- R/W RIGHT-OF-WAY

BASIS OF BEARINGS

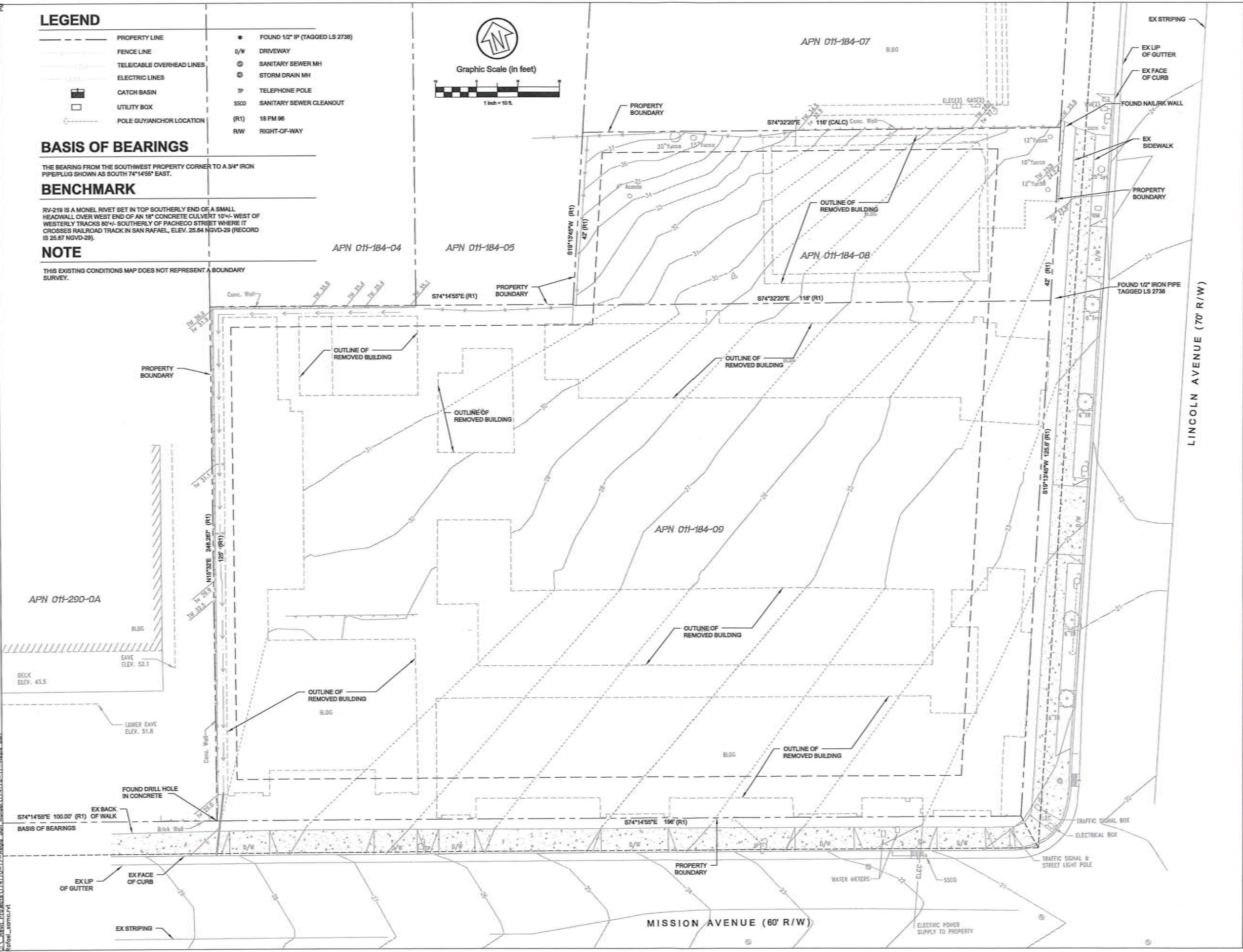
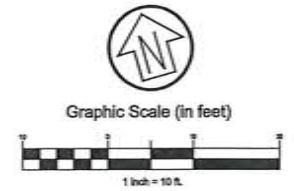
THE BEARING FROM THE SOUTHWEST PROPERTY CORNER TO A 3/4" IRON PIPE/PLUG SHOWN AS SOUTH 74°14'56" EAST.

BENCHMARK

RV-219 IS A MONEL RIVET SET IN TOP SOUTHERLY END OF A SMALL HEADWALL OVER WEST END OF AN 18" CONCRETE CULVERT 10'-4" WEST OF WESTERLY TRACKS 80'-4" SOUTHERLY OF PACHECO STREET WHERE IT CROSSES RAILROAD TRACK IN SAN RAFAEL, ELEV. 25.64 NGVD-29 (RECORD IS 25.67 NGVD-29).

NOTE

THIS EXISTING CONDITIONS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.



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CSW|Stroh
Engineering Group, Inc.

45 Laurel Court No. 415.883.9850
 Novato, CA 94949 No. 415.883.9828

Civil & Structural Engineers
 Surveying & Mapping
 Land Planning
 Construction Management

AEGIS SAN RAFAEL
 800 MISSION AVENUE, SAN RAFAEL CA
 94549

ASC SAN RAFAEL
 LLC

REVISION	DATE	REASON FOR ISSUE
Δ	4/25/18	RESPONSE TO COMMENTS
		NO CHANGES THIS SHEET
Δ	5/15/18	NO CHANGES THIS SHEET



PRELIMINARY

SITE SURVEY

RESUBMITTAL SET

DATE 03.05.2018	PROJECT NUMBER 164890
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SHEET NUMBER
C0.00

2/27/2018 2:59:04 PM
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ABBREVIATIONS

AB	AGGREGATE BASE	FC	FACE OF CURB	MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
AC	ASPHALT CONCRETE	FF	FINISH FLOOR	NO.	NUMBER	SSMH	SANITARY SEWER MANHOLE
AD	AREA DRAIN	FG	FINISH GRADE	NTS	NOT TO SCALE	SSW	SIDEWALK
ACR	ACCESS COMPLIANT RAMP	FH	FIRE HYDRANT	PB	PULLBOX	SW	SIDEWALK
BSW	BACK OF SIDEWALK	FL	FLOWLINE	P.C.C.	PORTLAND CEMENT CONCRETE	TC	TOP OF CURB
CB	CATCH BASIN	FS	FINISH SURFACE	PRO	PROPOSED	TG	TOP OF GRATE
DI	DROP INLET	GB	GRADE BREAK	PVC	POLYVINYL CHLORIDE PIPE	TW	TOP OF WALL
DL	DAYLIGHT	GFF	GARAGE FINISH FLOOR	RIGHT OF WAY		tr	TOE OF WALL
DWG	DRAWING	HP	HIGH POINT	SD	STORM DRAIN	UCS	UNIFORM CONSTRUCTION STANDARDS
DWY	DRIVEWAY	INV	INVERT	SSCO	STORM DRAIN CLEANOUT	UNO	UNLESS NOTED OTHERWISE
EG	EXISTING GRADE	JP	JOINT POLE	SDMH	STORM DRAIN MANHOLE	VIF	VERIFY IN FIELD
EL	ELEVATION	JT	JOINT TRENCH	SF	SQUARE FEET	WL	WATER LINE
EP	EDGE OF PAVEMENT	LF	LINEAR FEET	SS	SANITARY SEWER		
(E), EX	EXISTING	LP	LOW POINT				

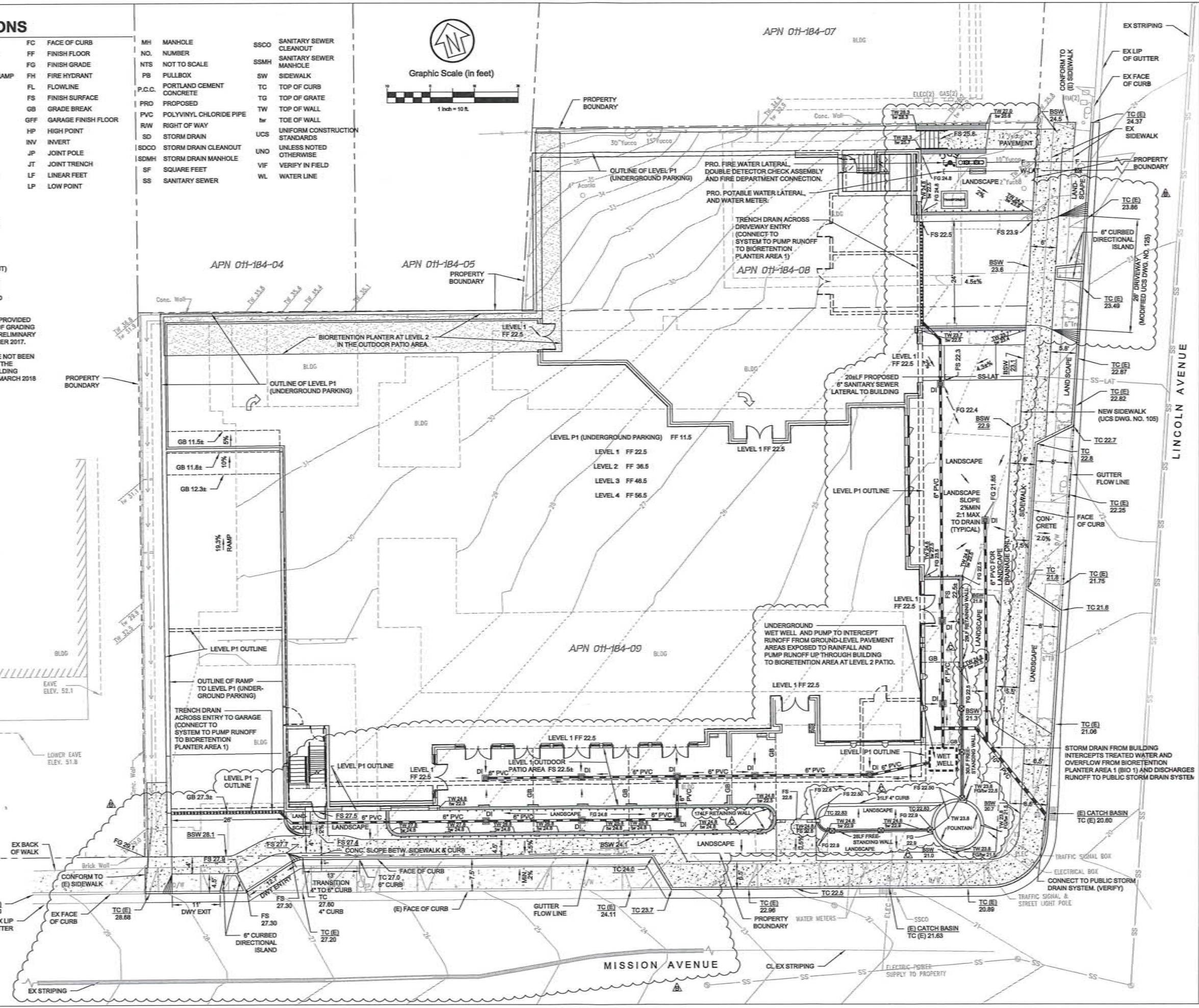
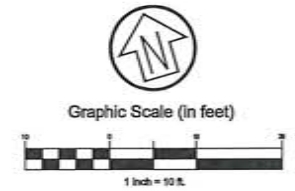
PRELIMINARY GRADING QUANTITIES:

CUT 13,100 CUBIC YARDS
FILL 100 CUBIC YARDS

NET 13,000 CUBIC YARDS (CUT)

THE ABOVE QUANTITIES ARE PROVIDED FOR ORDER OF MAGNITUDE OF GRADING AND ARE BASED UPON THE PRELIMINARY PLANS PREPARED IN DECEMBER 2017.

THE ABOVE QUANTITIES HAVE NOT BEEN ADJUSTED FOR CHANGES TO THE PRELIMINARY PLANS AND BUILDING OUTLINE CHANGES FOR THE MARCH 2018 SUBMITTAL.



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Civil & Structural Engineers
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ASC SAN RAFAEL
LLC

REVISION	DATE	REASON FOR ISSUE
1	4/20/18	REVISE GARAGE ENTRY
2	4/25/18	RESPONSE TO COMMENTS
3	5/15/18	ADD SITE WALL INFORMATION



PRELIMINARY

GRADING,
DRAINAGE AND
UTILITY PLAN

RESUBMITTAL SET

DATE 03.05.2018 PROJECT NUMBER 164890

SHEET NUMBER C1.00

2/27/2018 2:58:04 PM



Graphic Scale (in feet)

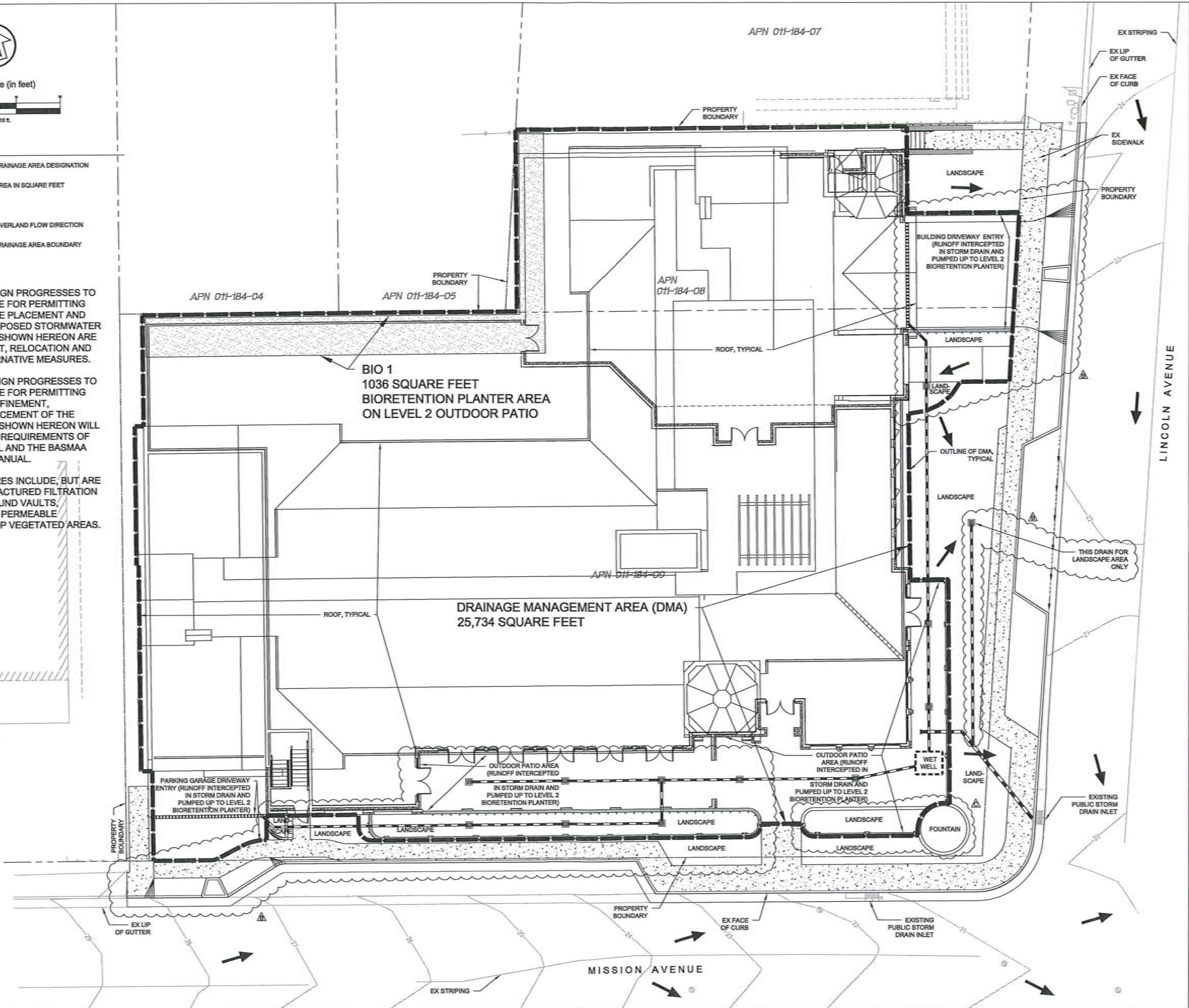


LEGEND

- DRAINAGE AREA DESIGNATION
- AREA IN SQUARE FEET
- OVERLAND FLOW DIRECTION
- DRAINAGE AREA BOUNDARY

NOTES:

1. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, THE PLACEMENT AND CONFIGURATION OF PROPOSED STORMWATER TREATMENT MEASURES SHOWN HEREON ARE SUBJECT TO REFINEMENT, RELOCATION AND REPLACEMENT BY ALTERNATIVE MEASURES.
2. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, REFINEMENT, RELOCATION AND REPLACEMENT OF THE TREATMENT MEASURES SHOWN HEREON WILL CONTINUE TO MEET THE REQUIREMENTS OF THE CITY OF SAN RAFAEL AND THE BASMAA POST-CONSTRUCTION MANUAL.
3. ALTERNATIVE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, MANUFACTURED FILTRATION SYSTEMS IN UNDERGROUND VAULTS, SELF-RETAINING AREAS, PERMEABLE PAVEMENT AND ROOFTOP VEGETATED AREAS.



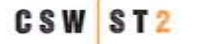
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REVISION	DATE	REASON FOR ISSUE
▲	4/20/18	REVISE GARAGE ENTRY
▲	4/25/18	RESPONSE TO COMMENTS
▲	5/15/18	ADD SITE WALL INFORMATION



PRELIMINARY

STORMWATER CONTROL PLAN

RESUBMITTAL SET

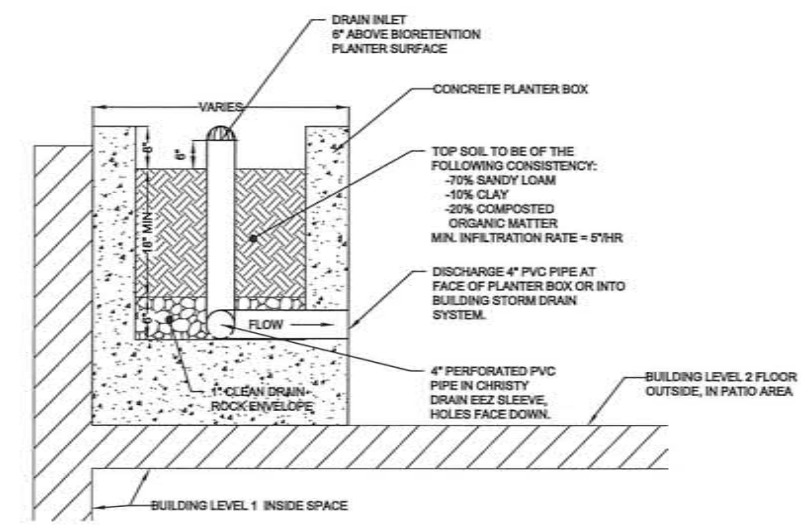
DATE	PROJECT NUMBER
03.05.2018	164890

SHEET NUMBER
C2.00

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2 BIORETENTION PLANTER DETAIL
SCALE: 1" = 1'

BIORETENTION SIZING TABLE

DMA	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	(DMA AREA) x (RUNOFF FACTOR)	FACILITY NAME		
					SIZING FACTOR	MINIMUM FACILITY AREA (SF)	PROPOSED FACILITY AREA (SF)
DMA 1	21,746	ROOF	1.0	21,746	0.04	1,000	1,036
	3,183	PAVEMENT	1.0	3,183			
	805	LANDSCAPE	0.1	81			
TOTAL	25,734			25,010			

AND

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REVISION	DATE	REASON FOR ISSUE
4/20/18	ADJUST PAVEMENT AREA	
4/25/18	RESPONSE TO COMMENTS	
5/15/18	REVISED TABLE DUE TO ADDED LANDSCAPE	



PRELIMINARY

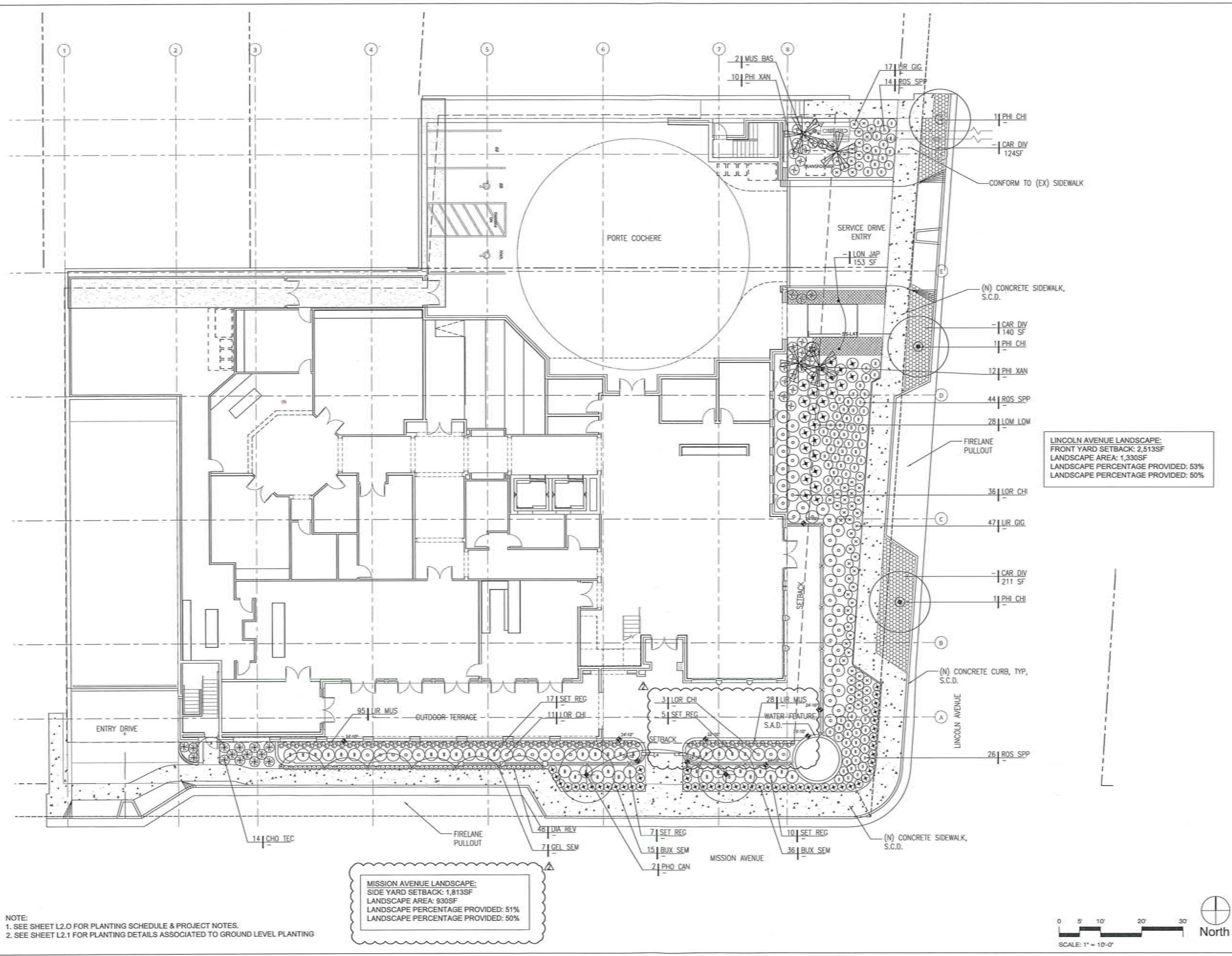
STORMWATER CONTROL DETAIL AND TABLES

RESUBMITTAL SET

DATE: 03.05.2018 PROJECT NUMBER: 164890
SHEET NUMBER:

C2.01

2/27/2018 2:50:04 PM
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LINCOLN AVENUE LANDSCAPE:
FRONT YARD SETBACK: 2,513SF
LANDSCAPE AREA: 1,330SF
LANDSCAPE PERCENTAGE PROVIDED: 53%
LANDSCAPE PERCENTAGE PROVIDED: 50%

MISSION AVENUE LANDSCAPE:
SIDE YARD SETBACK: 1,813SF
LANDSCAPE AREA: 930SF
LANDSCAPE PERCENTAGE PROVIDED: 51%
LANDSCAPE PERCENTAGE PROVIDED: 50%

NOTE:
1. SEE SHEET L2.0 FOR PLANTING SCHEDULE & PROJECT NOTES.
2. SEE SHEET L2.1 FOR PLANTING DETAILS ASSOCIATED TO GROUND LEVEL PLANTING

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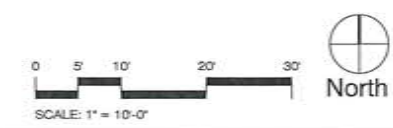
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REVISION	DATE	REASON FOR ISSUE
1	03/05/2018	RESPONSE TO COMMENTS
2	03/05/2018	RESPONSE TO COMMENTS

SHEET TITLE
PLANTING PLAN
RESUBMITTAL SET

DATE: 03.05.2018 PROJECT NUMBER: 164890

SHEET NUMBER: L1.1



PLANTING SCHEDULE

ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
TREES						
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12' HERBACEOUS	MEDIUM
PHO CAN	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	36" BOX	30' O.C.	30'+ / EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30' DECIDUOUS	LOW
SHRUBS & GRASSES						
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2' EVERGREEN	MEDIUM
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12' EVERGREEN	VERY LOW
CHO TEC	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18" / EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6' / EVERGREEN	LOW
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVERGREEN	MEDIUM
VINES						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0"	6'-6" TRAILING/EVERGREEN	MEDIUM

PLANT CHARACTER IMAGERY

TREES



MUSA BASJOO



PHOENIX CANARIENSIS



PISTACIA CHINENSIS

SHRUBS



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



CAREX DIVULSA



CHONDROPETALUM TECTORUM



DIANELLA REVOLUTA 'LITTLE REV'



LIRIOPE GIGANTEA



LOMANDRA LONGIFOLIA 'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



LIRIOPE MUSCARI

VINES



GELSEMIUM SEMPERVIRENS 'MARGARITA'

PLANTING NOTES

- Plant list provided is for the convenience of the Contractor. In case of discrepancies, the plan shall govern.
- Unless otherwise noted, all groundcover and shrubs shall be spaced triangularly.
- All plants shall conform to standards set in the American Standards for Nursery Stock by the American Association of Nurserymen. All plants to be container stock, healthy, vigorous, pest and disease-free, and without fresh abrasions to the bark or excessive abrasions or disfigurements. All plants shall have well-developed branch systems and fibrous root systems which are not pot-bound. All plants shall be of the species, variety, size and condition as specified on the drawings.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, physical damage, or theft until planting.
- All plants shall be placed in approximate locations on plan. Final adjustment shall be made by the Landscape Architect prior to planting. The Landscape Architect reserves the right to make deletions, additions, or substitutions to the planting plan in the field as necessary, with adjustments in the contract as appropriate.
- Areas with 1 gallon or smaller pots shall have a soil amendment. Rototill the amendment to a depth of 8". Take care not to rototill within the drip line of existing trees to remain; instead, perform the work by hand to protect roots. Amend with 'Walt Whitman' or equal amendment at a rate of 6 cu yds per 1000sq ft.
- Areas with 5 gallon or larger size containers shall be planted by plant pit. When pits have been backfilled approximately 2/3 their depth, water thoroughly with a hose before installing remainder of planting mix to top of pit. When backfilling is partially completed, extra care should be taken to see that planting mix is worked around root ball. Eliminate air pockets. Backfilling shall be completed by a tamping process. Do not allow root balls to dry out before planting. Do not allow soil or dense mulch to build up around stem of plant.
- A mound of earth shall be formed around each tree or shrub to produce a shallow basin to retain water, located on the backfill such that water will be forced throughout the root ball. Plants shall be watered in place during and after backfilling.
- Shrub and tree backfill mix shall be a ratio of 70% native soil to 30% amendment.
- All trees shall be staked. Stakes shall be lodgepole pine, copper naphthanate treated 10"x2" diameter with chamfered top. Stakes shall be driven 2' into firm ground and fastened securely with ties. All stakes to be set plumb.
- All 1 gallon or larger size trees and shrubs shall have BestPak or equal fertilizer packets set at the midpoint of the backfill, amount and size according to the manufacturer's recommendations. All smaller size containers shall be fertilized with Osmocote or equal at the manufacturer's recommended application rate.
- All areas shall be treated with pre-emergent herbicide by a Certified Applicator. Applications shall be to pre-dampened soil within three days of planting, after having been thoroughly watered in and before mulch has been applied. After this initial application, weed seed germination may be controlled by subsequent applications of pre-emergent on March 1st and September 15th.
- The Contractor is responsible for maintenance of the landscape until final approval.
- Trees and shrubs shall be under warranty for a period of 9 months, all other planting for 90 days from the date of final project approval by the Owner. Upon determination by Landscape Architect, replacement shall require plants of the same species, variety, and size and will be at the Contractor's expense.
- Per MMWD Ordinance 421, Contractor to cover all planting areas with 3" layer of bark mulch on all exposed soils (except turf areas) provide samples to Landscape Architect for final approval.
- Per MMWD Ordinance 421, Contractor to provide compost or natural fertilizer to all planting areas at a rate of 6 cubic yards per 1000 sq ft. with a min depth of 8". A min of 8" of non-mechanically compacted soil shall be available for water absorption & root growth in planted areas.

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REVISION	DATE	REASON FOR ISSUE
1	4/25/2018	RESPONSE TO COMMENTS
2	5/16/2018	RESPONSE TO COMMENTS

**SHEET TITLE
PLANTING
SCHEDULE**

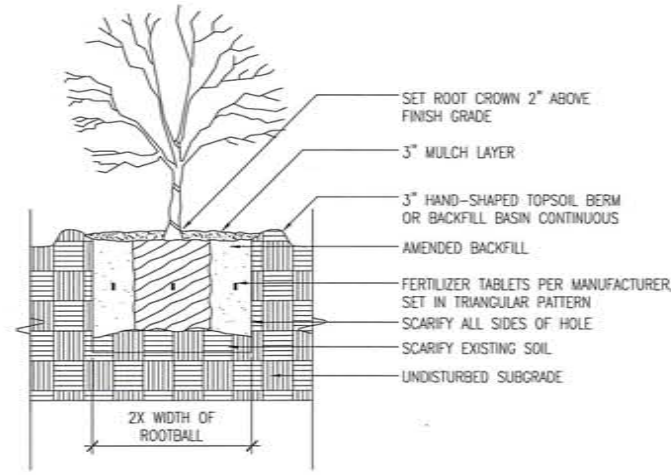
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DATE: 03.05.2018 PROJECT NUMBER: 164890

SHEET NUMBER

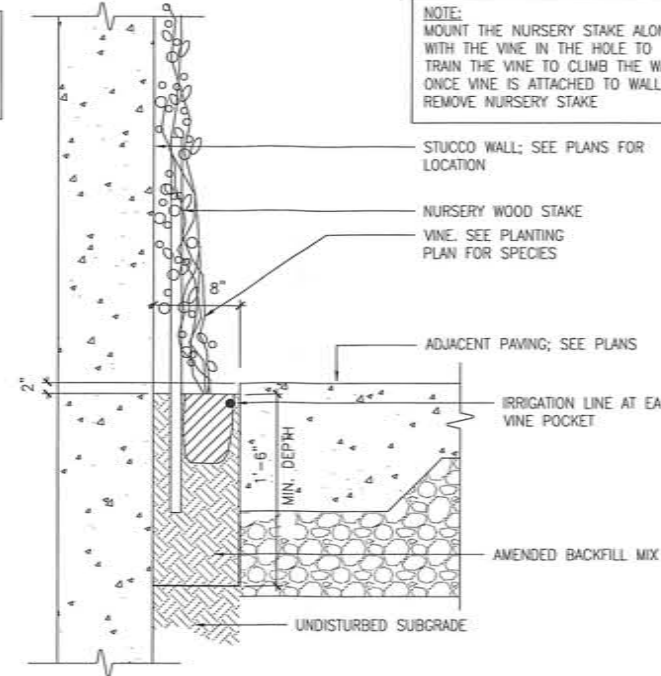
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NOTES:
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.
 2. HAND-COMPACT SOIL AROUND ROOTBALL.
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION.



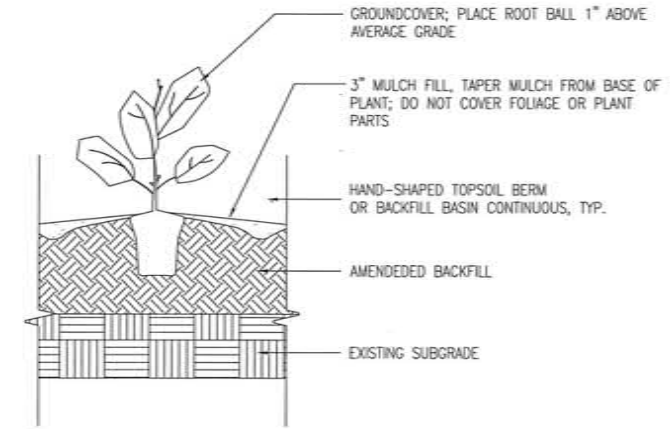
○ SHRUB PLANTING ON NATURAL GRADE
 SCALE: NTS

NOTE:
 MOUNT THE NURSERY STAKE ALONG WITH THE VINE IN THE HOLE TO TRAIN THE VINE TO CLIMB THE WALL. ONCE VINE IS ATTACHED TO WALL, REMOVE NURSERY STAKE.

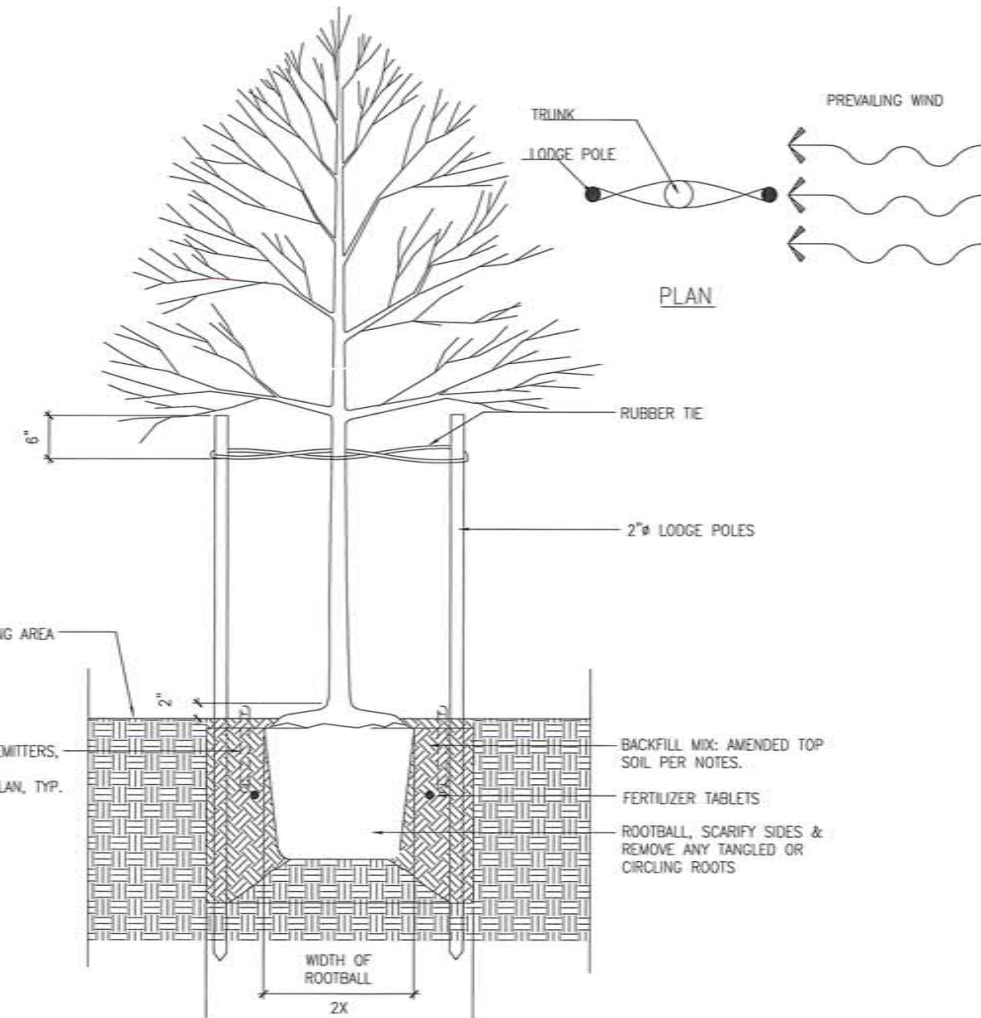


○ VINE POCKET @ WALL
 SCALE: 1/2"=1'-0"

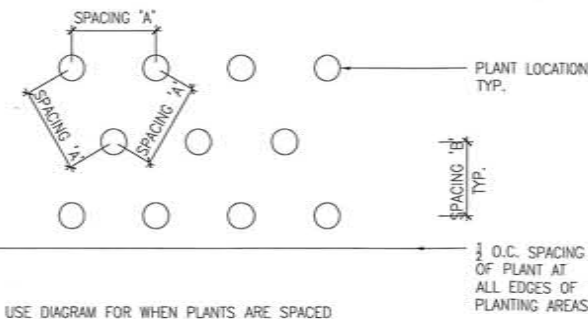
NOTE:
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.
 2. COMPACT SOIL AROUND ROOT BALL.
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION UNTIL IRRIGATION IS INSTALLED.



○ GROUNDCOVER PLANTING
 SCALE: NTS



○ TREE PLANTING & STAKING
 SCALE: NTS



USE DIAGRAM FOR WHEN PLANTS ARE SPACED EQUAL DISTANCE FROM EACH OTHER AS IN ALL SAME GROUND COVER PLANTINGS AND SAME MASSED SHRUB PLANTINGS.

○ PLANT SPACING DIAGRAM
 SCALE: NOT TO SCALE

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REVISION	DATE	REASON FOR ISSUE
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▲	5/16/2018	RESPONSE TO COMMENTS

SHEET TITLE
 PLANTING
 DETAILS

RESUBMITTAL SET

DATE: 03.05.2018 PROJECT NUMBER: 164890

SHEET NUMBER

L2.1