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APPROVED  
SAN RAFAEL PLANNING DIVISION  
By: CC DENICOLOFF PC APPROVAL APPEAL  
Date: 9/4/18  
File No: AP18-002; E011010; UP17-030

**NOT FOR  
CONSTRUCTION**



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE 300  
SEATTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

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800 MISSION AVENUE, SUITE 300, SAN RAFAEL, CA 94901  
AEGIS SAN RAFAEL  
ASC SAN RAFAEL LLC

**PROJECT INFORMATION**

**GENERAL**

ZONING: HR-1  
MULTIFAMILY RESIDENTIAL  
(HIGH DENSITY)  
1,000 SF LAND PER DWELLING UNIT

MAX. BUILDING HEIGHT: 36'  
PROPOSED BUILDING HEIGHT: 35'-6"

MIN. USABLE OUTDOOR AREA: 100 SF  
PROPOSED USABLE OUTDOOR AREA: 3,955 SF

AP NUMBERS: 11-184-09, -08

UNITS PROPOSED: 77

BEDS: 88

**PROJECT DIRECTORY**

**GENERAL**

**APPLICANT**

ML SEVEN CAPITAL PARTNERS LLC  
1101 FIFTH AVENUE, SUITE #300  
SAN RAFAEL, CA 94901

CONTACT: TOM MONAHAN  
GEOFFREY FORNER  
PHONE: (415)456-0600  
EMAIL: gforner@monahanapacific.com  
tmm@monahanapacific.com

**ARCHITECT**

ANKROM MOISAN ARCHITECTS  
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CONTACT: JP EMERY  
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PHONE: (206)576-1600  
EMAIL: JPE@ANKROMMOISAN.COM  
JEREMY@ANKROMMOISAN.COM

**DESIGN DESCRIPTION**

PROPOSED OCCUPANCY: R2.1  
MULTIFAMILY RESIDENTIAL  
(HIGH DENSITY)

THE PROPOSED DESIGN IS AN 77 UNIT, FOUR STORY BUILDING WITH SUBTERRANEAN GARAGE. THE LOCATION IS AT THE CORNER OF MISSION AND LINCOLN IN SAN RAFAEL. IT IS WALKING DISTANCE TO DOWNTOWN, THE TRANSIT CENTER, AND FUTURE SMART RAIL STATION. THE FIRST FLOOR OF RESIDENTIAL LIVING, LOCATED ONE LEVEL ABOVE STREET, WILL HOUSE 25 UNITS DEDICATED TO MEMORY CARE RESIDENTS. THE UPPER TWO FLOORS WILL HOUSE 52 UNITS OF ASSISTED LIVING RESIDENTS. THE GROUND FLOOR PORT COCHERE WILL CONTAIN 2 ADA SPACES, 1 AEGIS VAN PARKING SPACE AND LOADING AREA. THERE ARE 2 STREET PULLOUTS PROPOSED FOR FIRE ACCESS AND LOADING. ONE AT MISSION AVE AND ONE AT LINCOLN AVE.

THE SUBTERRANEAN GARAGE WILL CONTAIN 37 SPACES TOTAL (INCLUDING 2 ADA SPACES). THE PARKING TOTAL FOR THE COMPLEX WILL INCLUDE 40 DEDICATED SPACES (INCLUDING 4 ADA SPACES). ENTRANCE AND EXIT TO SUBTERRANEAN GARAGE WILL BE LOCATED OFF MISSION. ENTRANCE AND EXIT TO GROUND LEVEL GARAGE WILL BE LOCATED OFF LINCOLN.

PROJECT CONTAINS A MIX OF 1 BEDROOM & STUDIO UNITS. FIRST LEVEL OF RESIDENTIAL (ONE LEVEL UP FROM STREET), WILL BE DESIGNATED FOR MEMORY CARE USE. THE UNITS ON THIS FLOOR WILL HAVE NON OPERATIONAL DOORS TO 'FALSE BALCONYS'. THERE WILL BE ONE CONTROLLED ACCESS POINT FOR GARDENING PURPOSES ON THIS FLOOR. THE SECOND AND THIRD RESIDENTIAL FLOORS (UPPER TWO) WILL BE DESIGNATED FOR ASSISTED LIVING AND WILL HAVE EXTERIOR BALCONY ACCESS FROM DESIGNATED UNITS ON THE MISSION AND LINCOLN SIDES.

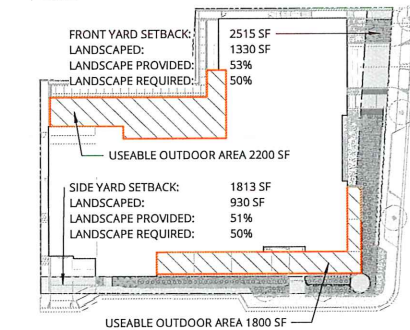
THE ARCHITECTURAL GOALS OF THE GROUND LEVEL ARE TO CREATE A VERY AESTHETICALLY RICH, INVITING ENVIRONMENT WHILE SIMULTANEOUSLY RELATING TO THE EXISTING HISTORIC ARCHITECTURE OF SAN RAFAEL. FROM THE STREET, A DEDICATED ENTRANCE FACADE, COUPLED WITH MULTI LEVEL, STAGGERED ROOFING ON EXTERIOR BALCONIES AND A FOCAL TOWER, WITH ARCHITECTURALLY SEPARATED BUILDING SECTIONS PROVIDES AN INTERESTING VIEW CONTAINING DESIRED CURB APPEAL. VISUAL DEPTH IS ACHIEVED THROUGH THE BALCONYS, THE ROOF SEPARATIONS, AND THE BUILDING SEPARATIONS FROM VERTICAL MOVEMENT POINTS. SHADOWS AND DEPTH PREVENT MONOTONOUS WALLS AND BORING PLANES, OR BORING OVERALL MASSING IN GENERAL. THE SITE WILL BE LANDSCAPED TO PROVIDE SCREENING AND NATURAL APPEAL.

**SETBACKS**

THE SETBACKS OF THE ORIGINAL APPROVED DESIGN ARE MAINTAINED TO INCLUDE 5' SETBACKS ON THE REAR AND SIDES OF THE FOOTPRINT, AS WELL AS A 10' SETBACK FROM MISSION AND A 15' SETBACK FROM LINCOLN. PROPOSED BUILDING FACADES/ARTICULATIONS EMULATE APPROVED DESIGN.

**LANDSCAPE DIAGRAM**

1" = 50'-0"



**VICINITY MAP**



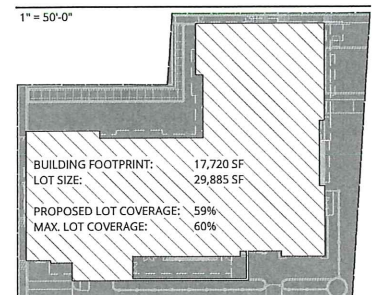
**SHEET INDEX**

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1	TITLE SHEET
2	LOWER GARAGE PLAN
3	MAIN LEVEL PLAN
4	FIRST FLOOR RESIDENTIAL PLAN
5	SECOND FLOOR RESIDENTIAL PLAN
6	THIRD FLOOR RESIDENTIAL PLAN
7	ROOF PLAN
8	EXTERIOR ELEVATIONS
9	EXTERIOR ELEVATIONS
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CIVIL	
C0.00	SITE SURVEY
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C2.00	STORMWATER CONTROL PLAN
C2.01	STORMWATER CONTROL DETAIL AND TABLES
LANDSCAPE	
L1.1	PLANTING PLAN
L2.0	PLANT - SCHEDULE
L2.1	PLANTING DETAILS

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THESE DOCUMENTS ARE INTENDED  
ONLY TO ILLUSTRATE GENERAL  
DESIGN ELEMENTS.  
  
DEVIATIONS MAY EXIST BETWEEN  
THESE DOCUMENTS AND  
DOCUMENTS THAT HAVE BEEN  
REVIEWED AND APPROVED BY THE  
CITY OF SAN RAFAEL PLANNING  
AUTHORITIES.

**LOT COVERAGE DIAGRAM**

1" = 50'-0"



UNIT SCHEDULE		
UNIT TYPE	COUNT	AREA TOTAL
LEVEL 4		
AL.1	3	2094
AL.S	23	8631
	26	10725
LEVEL 3		
AL.1	3	2036
AL.S	23	8803
	26	10839
LEVEL 2		
LN.S	25	8577
	25	8577
Grand total	77	30141

REVISION	DATE	REASON FOR ISSUE

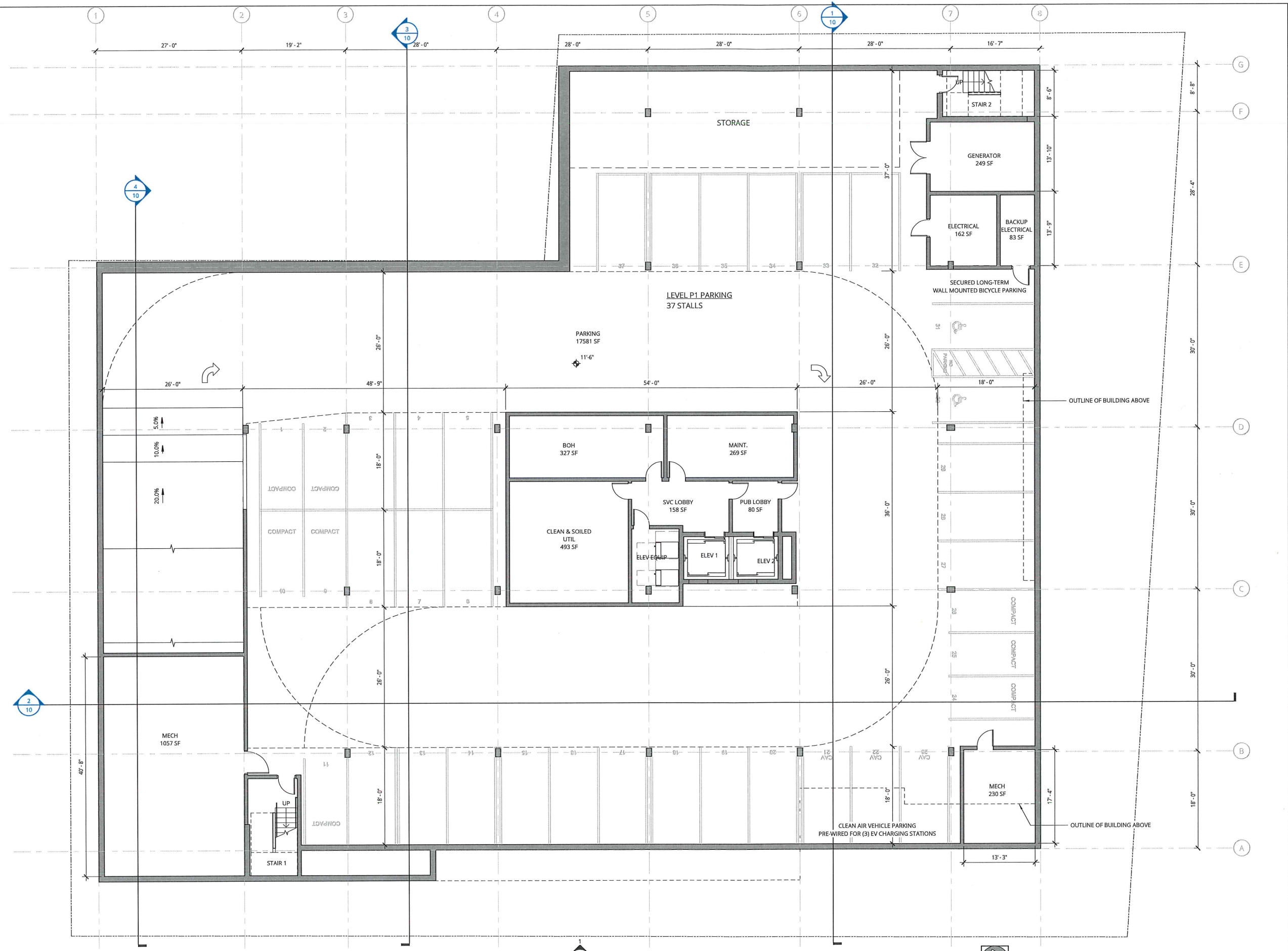
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JUL 03 2018  
PLANNING  
TITLE SHEET

DATE 05.30.2018	PROJECT NUMBER 174170
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SHEET NUMBER

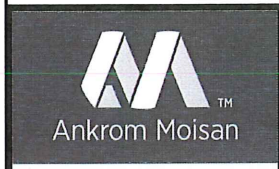


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**1 LEVEL P1 KEY PLAN**  
 1/8" = 1'-0"

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**LOWER GARAGE PLAN**

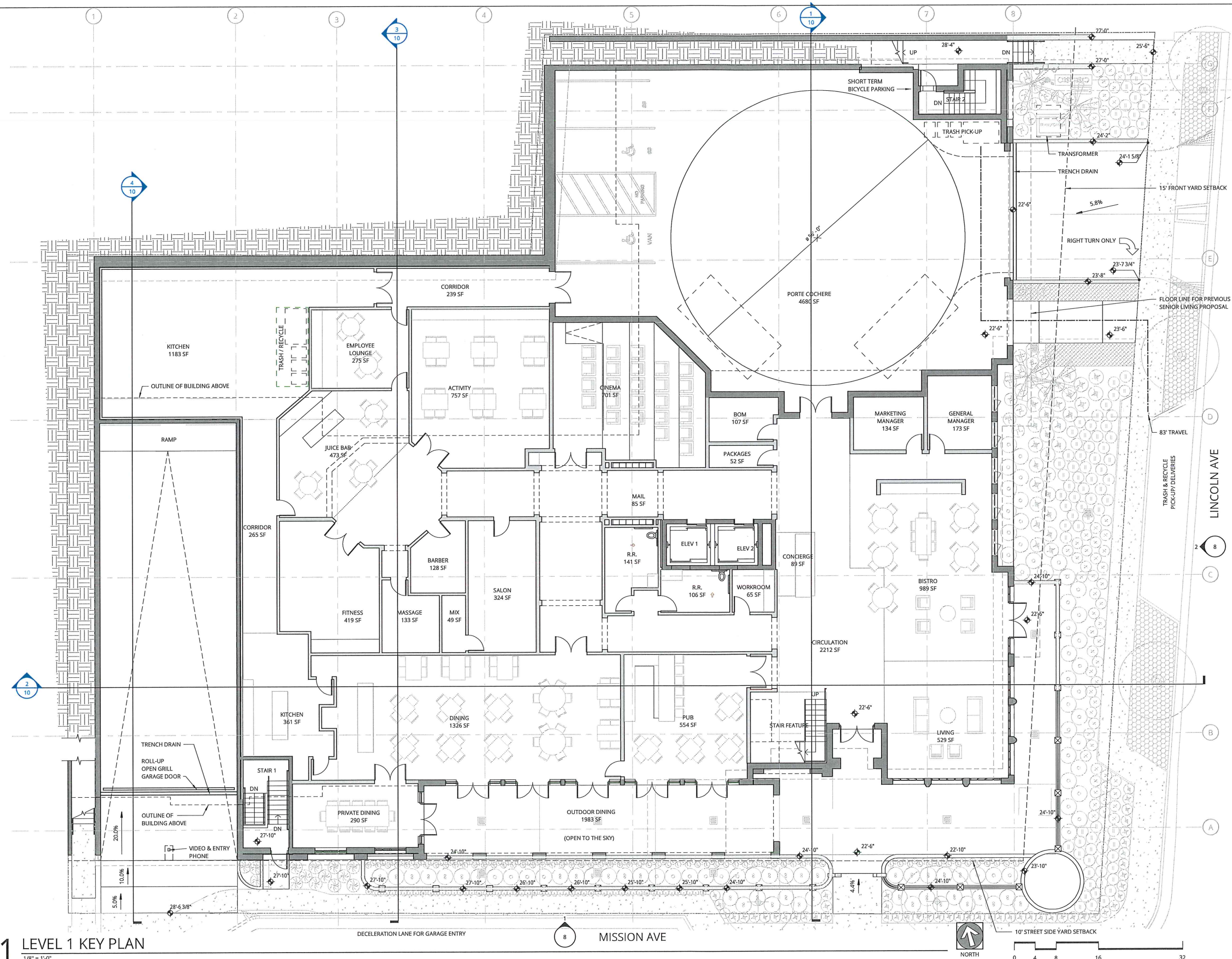
DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 2



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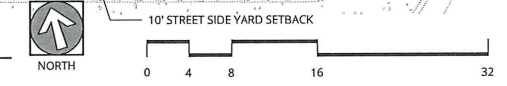
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**MAIN LEVEL PLAN**

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 3

**1 LEVEL 1 KEY PLAN**  
 1/8" = 1'-0"





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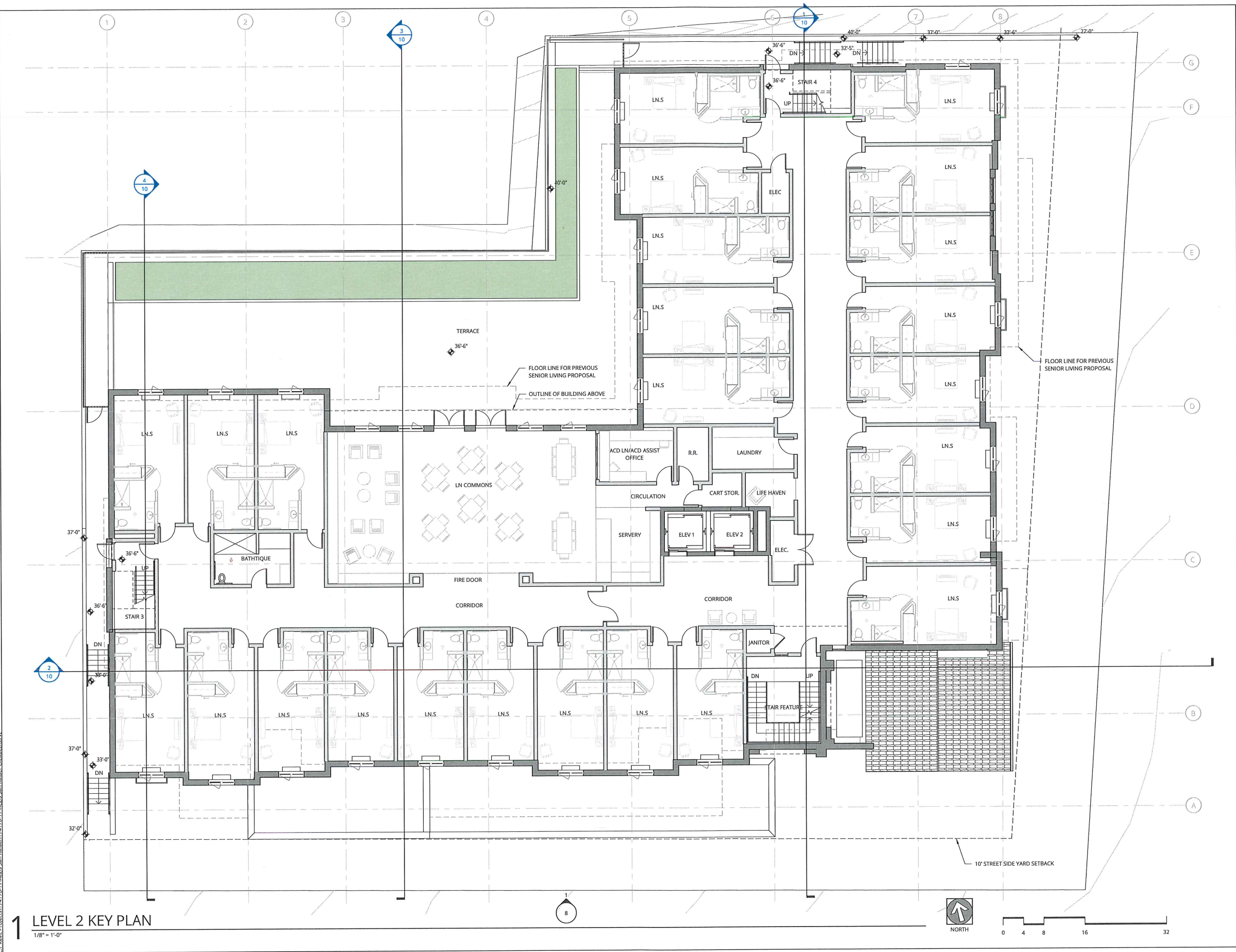
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**FIRST FLOOR  
RESIDENTIAL PLAN**

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 4



**1 LEVEL 2 KEY PLAN**  
1/8" = 1'-0"



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**1 LEVEL 3 KEY PLAN / L4 SIM**  
1/8" = 1'-0"

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**SECOND FLOOR RESIDENTIAL PLAN**

DATE 05.30.2018 PROJECT NUMBER 174170

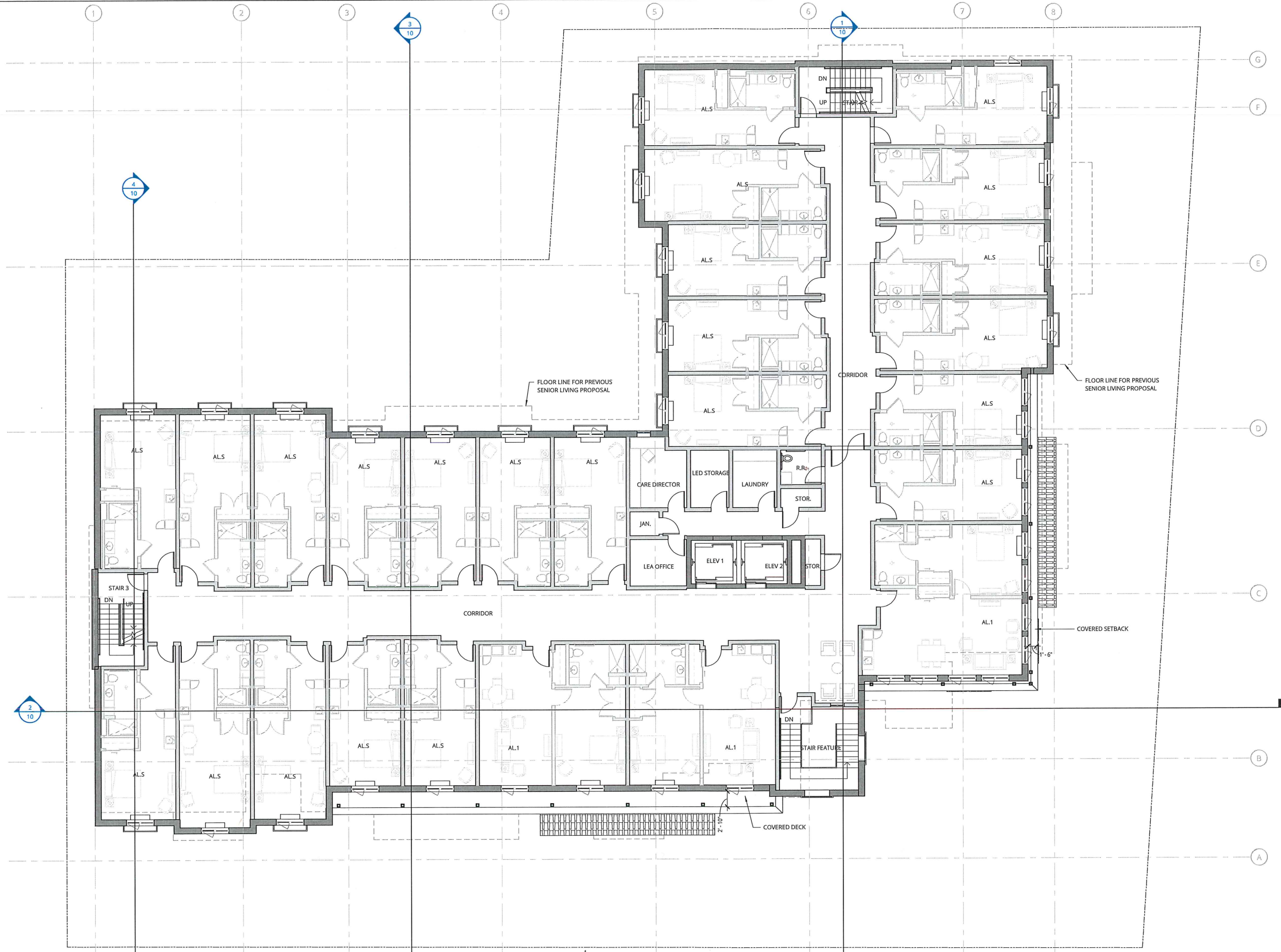
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**1 LEVEL 4 KEY PLAN**  
1/8" = 1'-0"

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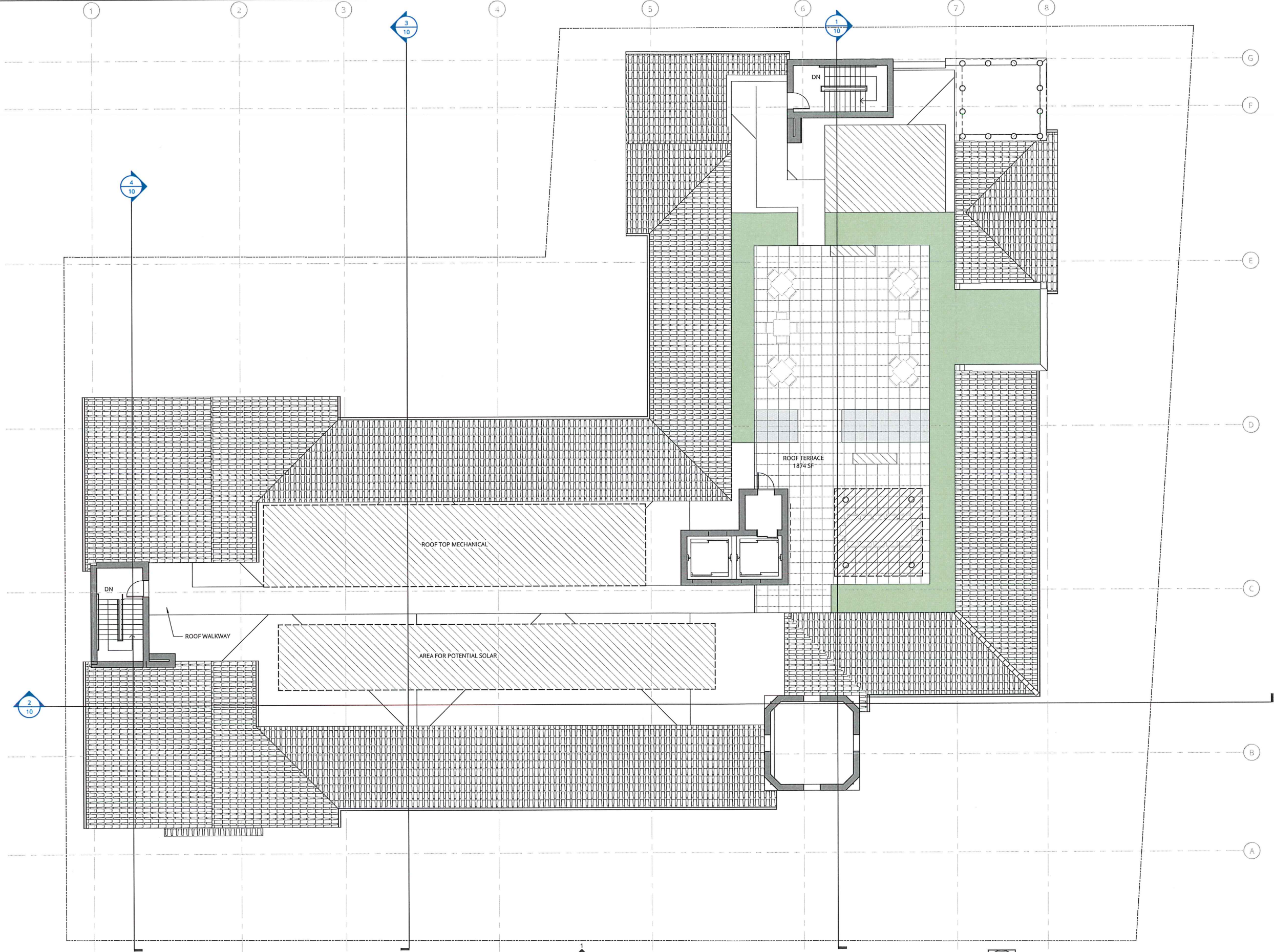
**THIRD FLOOR  
RESIDENTIAL PLAN**

DATE: 05.30.2018 PROJECT NUMBER: 174170  
SHEET NUMBER



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**1** ROOF KEY PLAN  
1/8" = 1'-0"

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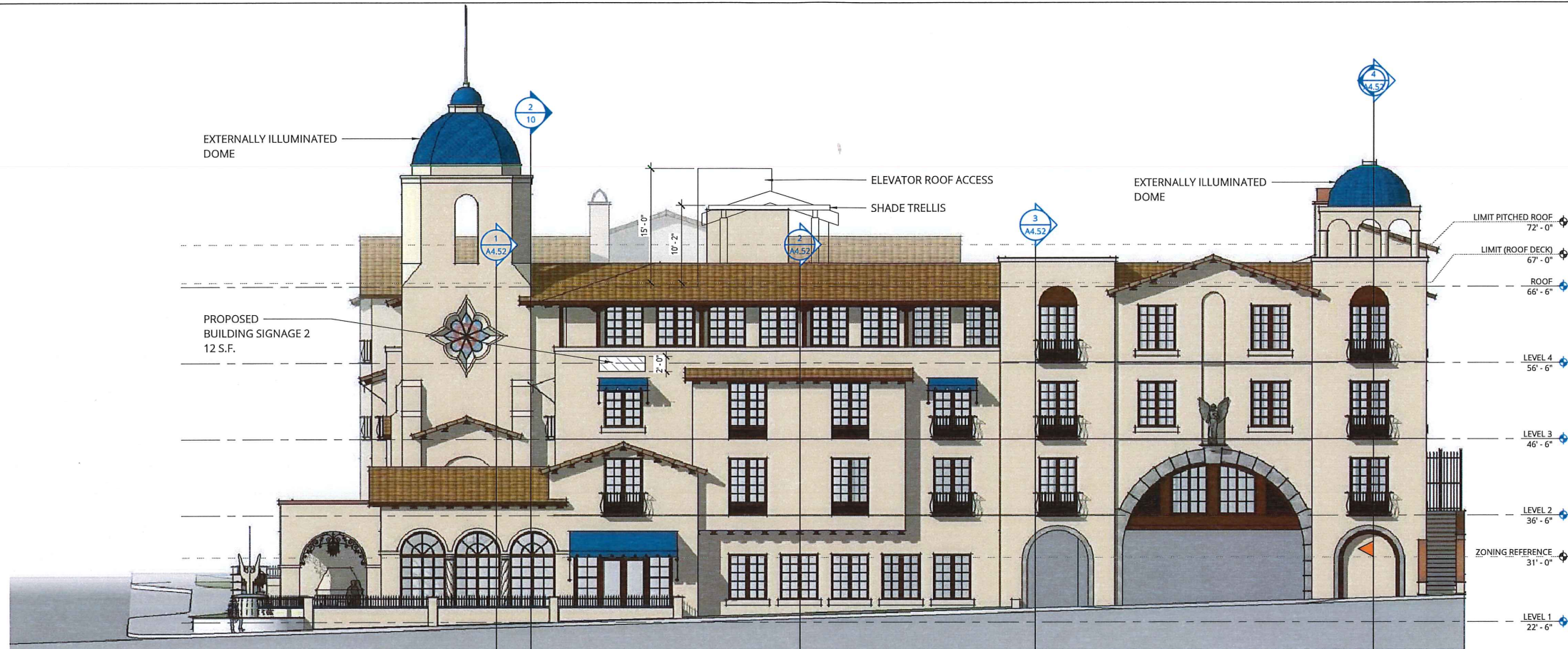
ROOF PLAN

DATE 05.30.2018 PROJECT NUMBER 174170  
SHEET NUMBER

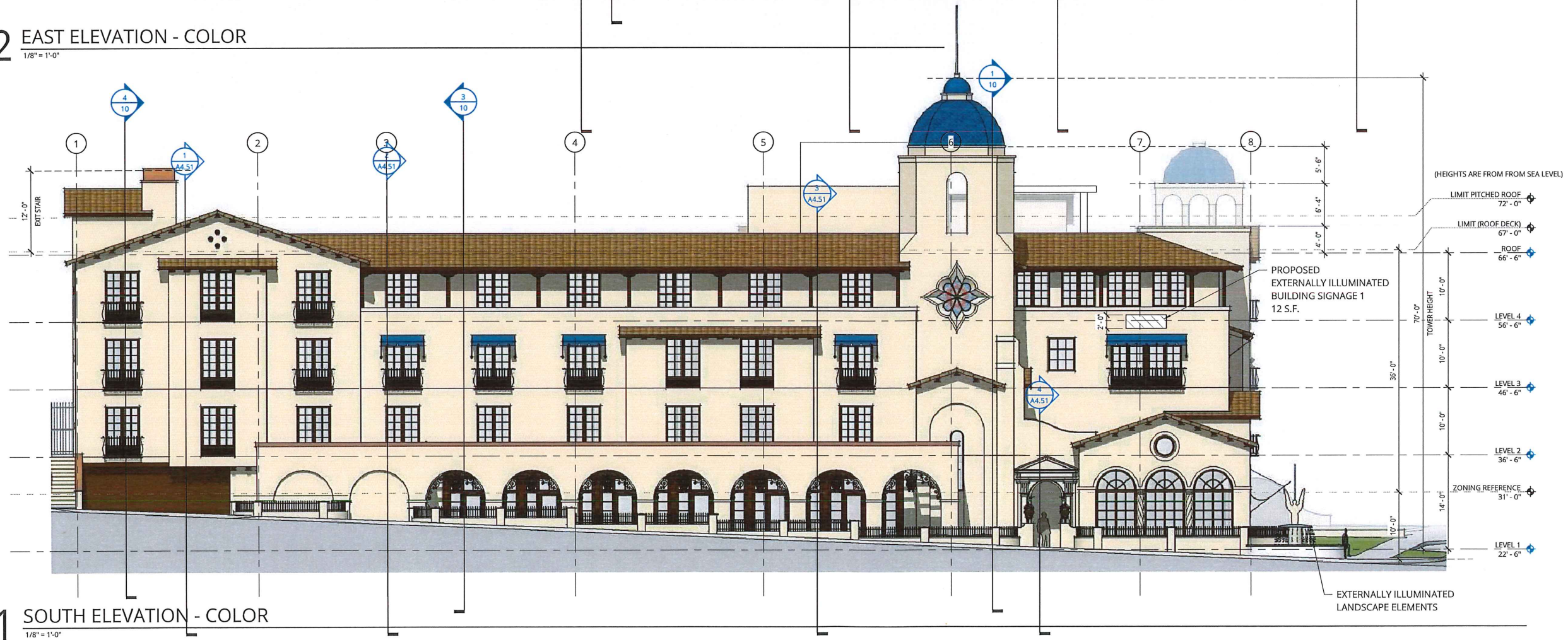
7



17/2018 8:52:26 AM



**2 EAST ELEVATION - COLOR**  
1/8" = 1'-0"



**1 SOUTH ELEVATION - COLOR**  
1/8" = 1'-0"

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EXTERIOR ELEVATIONS

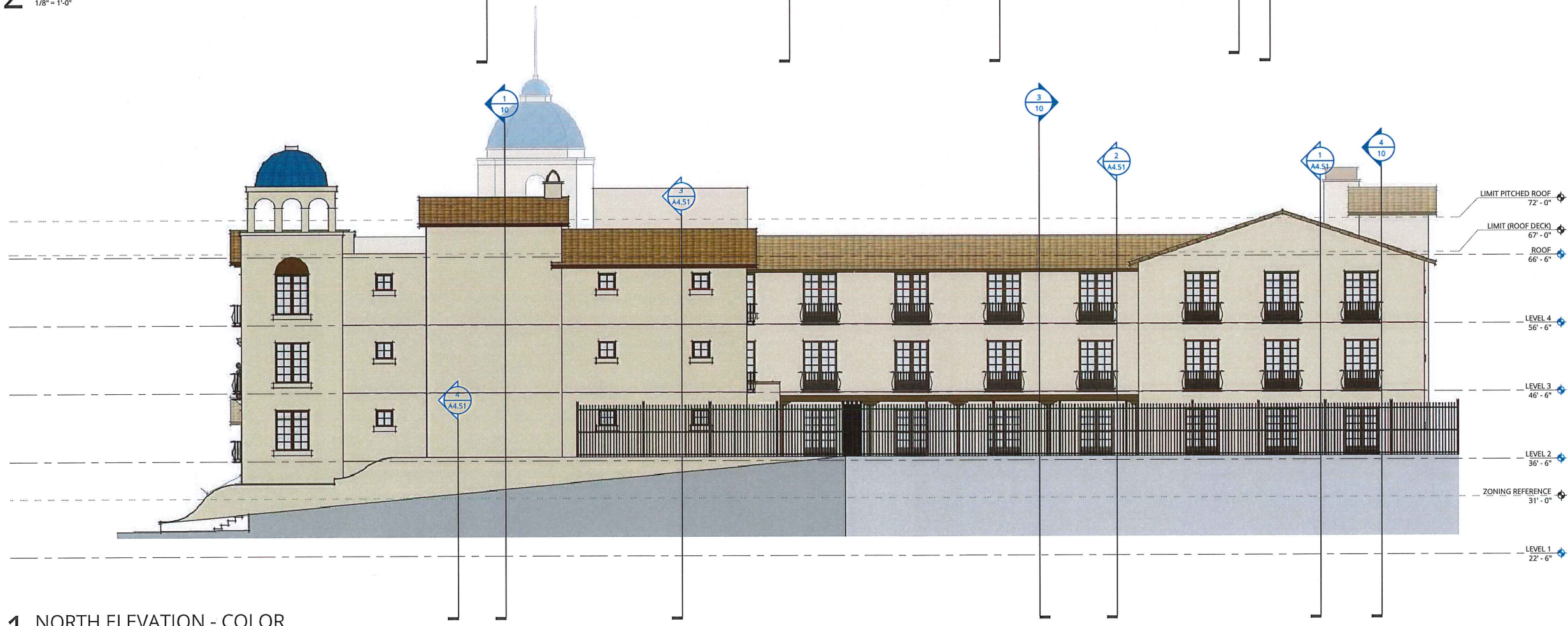
DATE 05.30.2018	PROJECT NUMBER 174170
SHEET NUMBER 8	



17/2018 8:52:27 AM



2 WEST ELEVATION - COLOR  
1/8" = 1'-0"



1 NORTH ELEVATION - COLOR  
1/8" = 1'-0"

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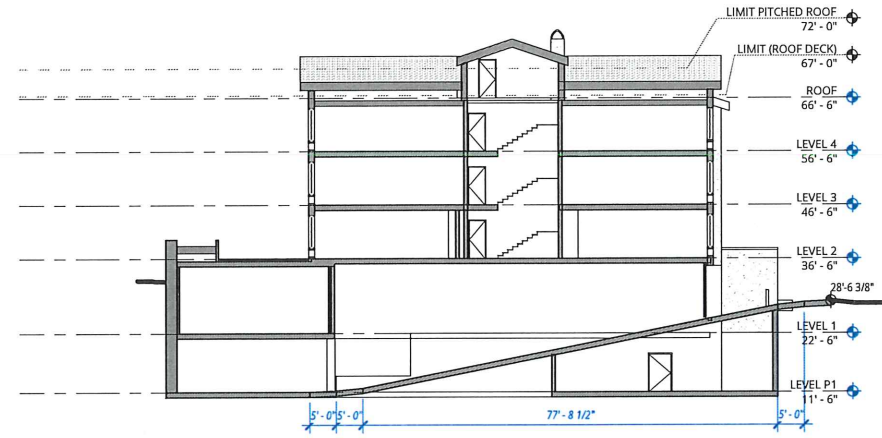
EXTERIOR  
ELEVATIONS

DATE 05.30.2018	PROJECT NUMBER 174170
SHEET NUMBER 9	

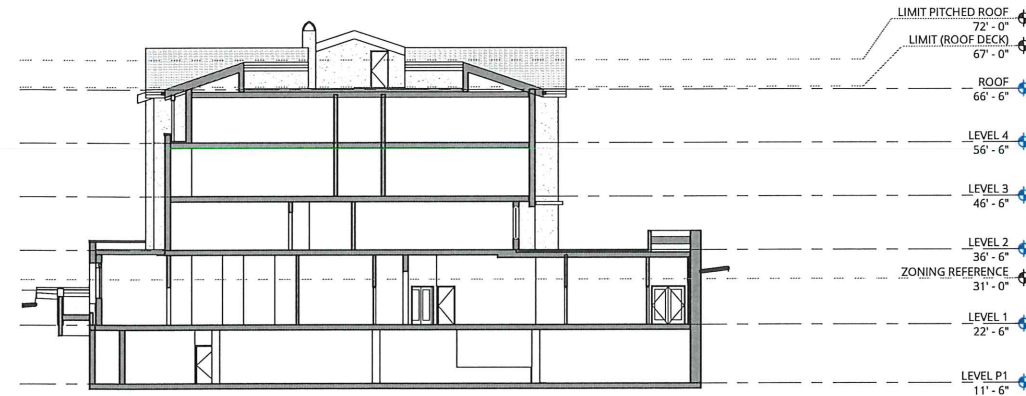
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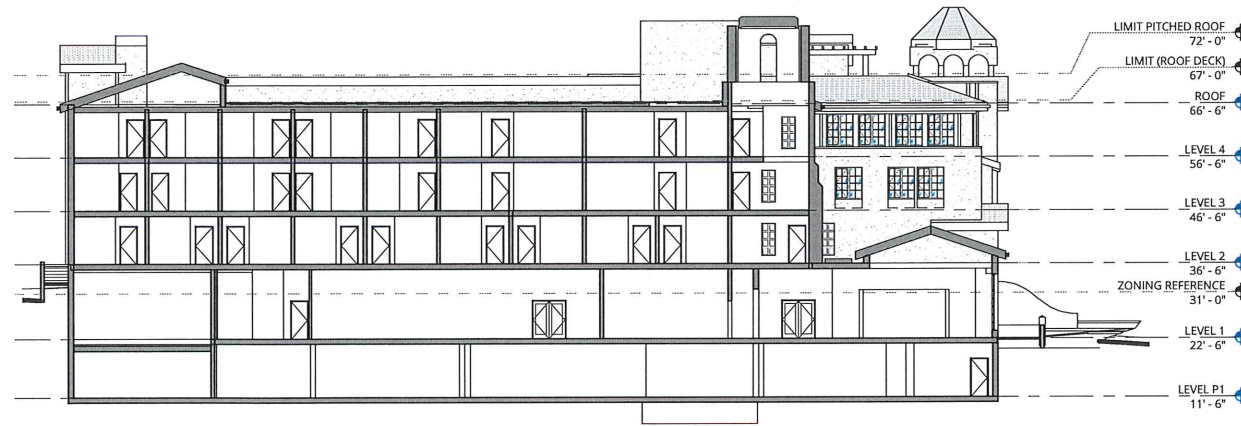
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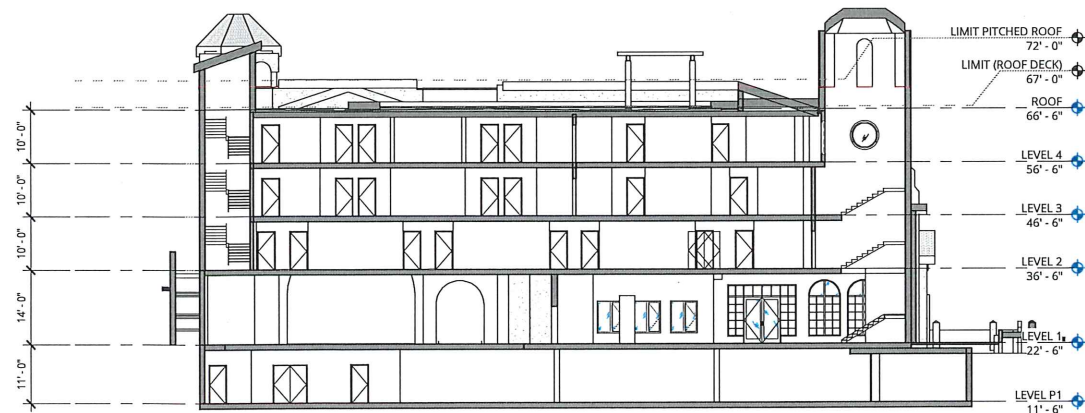
**4** BUILDING SECTION AT PARKING RAMP  
1/16" = 1'-0"



**3** BUILDING SECTION 3  
1/16" = 1'-0"



**2** BUILDING SECTION 2  
1/16" = 1'-0"



**1** BUILDING SECTION 1  
1/16" = 1'-0"

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REVISION	DATE	REASON FOR ISSUE

SECTIONS

DATE 05.30.2018	PROJECT NUMBER 174170
SHEET NUMBER	

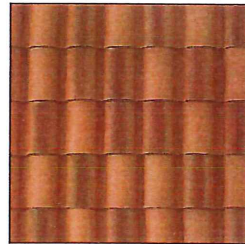
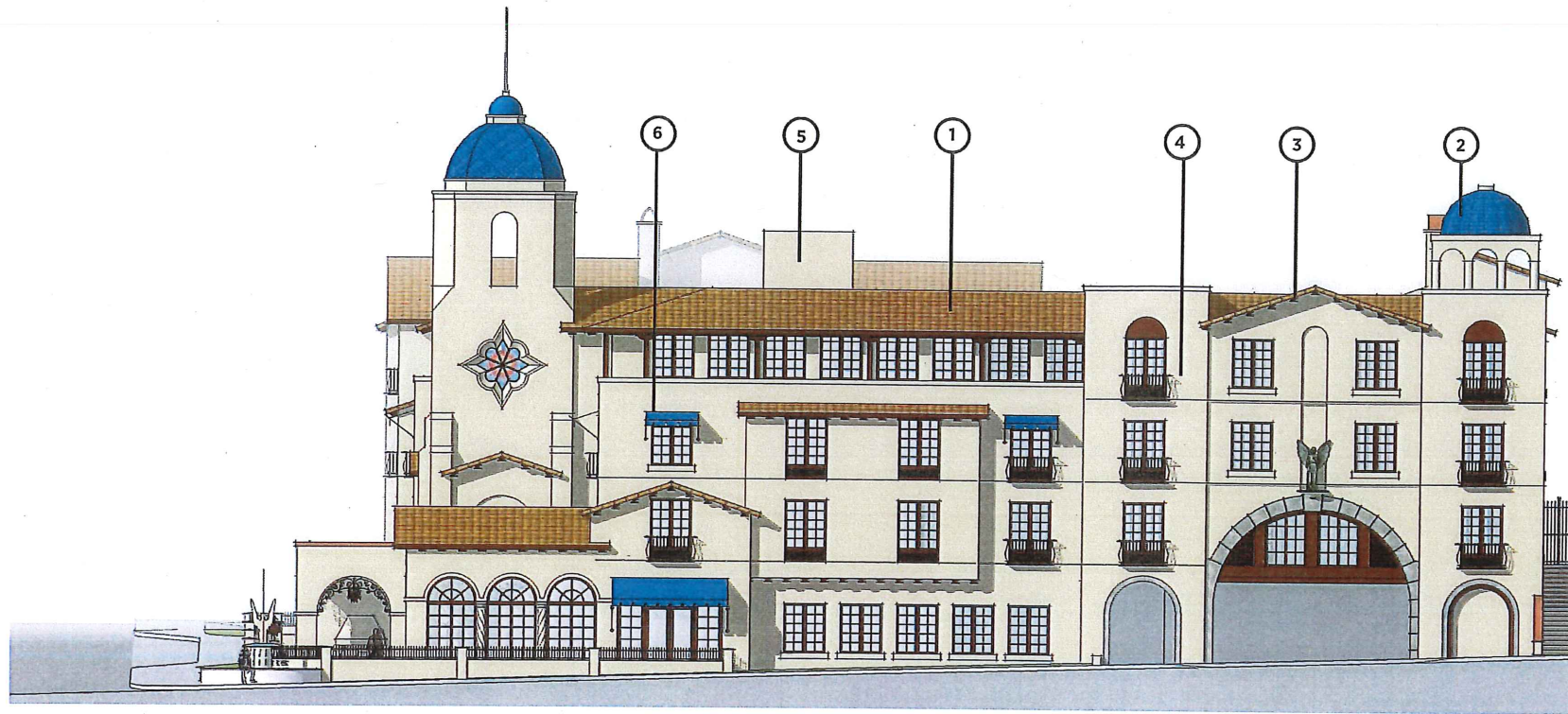
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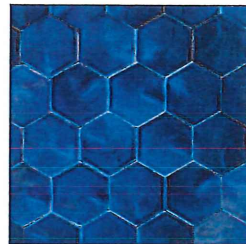


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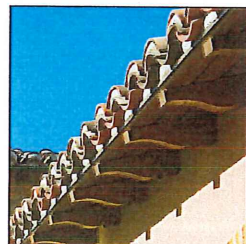
BUILDING MATERIALS, COLOR AND DETAILS



1. TILE ROOF



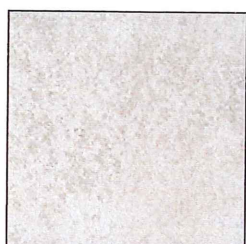
2. BLUE ROOF TILE



3. TIMBER DETAILING

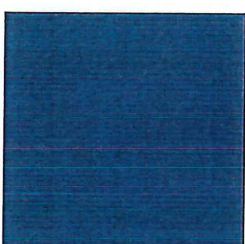


4. WROUGHT IRON

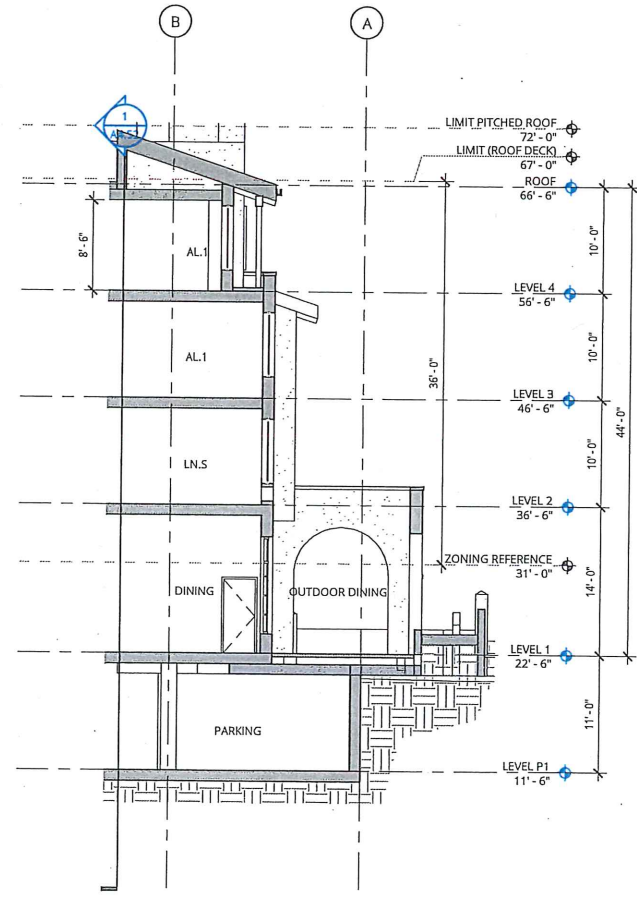


5. STUCCO

COLOR SELECTION: STUCCO SW-7569



6. FABRIC AWNINGS



1 WALL SECTION  
1/8" = 1'-0"

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DETAILS

DATE 05.30.2018 PROJECT NUMBER 174170

SHEET NUMBER 11

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**LEGEND**

- PROPERTY LINE
- - - - - FENCE LINE
- - - - - TELE/CABLE OVERHEAD LINES
- - - - - ELECTRIC LINES
- ☐ CATCH BASIN
- ☐ UTILITY BOX
- - - - - POLE GUY/ANCHOR LOCATION
- FOUND 1/2" IP (TAGGED LS 2738)
- D/W DRIVEWAY
- ⊙ SANITARY SEWER MH
- ⊙ STORM DRAIN MH
- TP TELEPHONE POLE
- SSCO SANITARY SEWER CLEANOUT
- (R1) 18 PM 98
- RW RIGHT-OF-WAY

**BASIS OF BEARINGS**

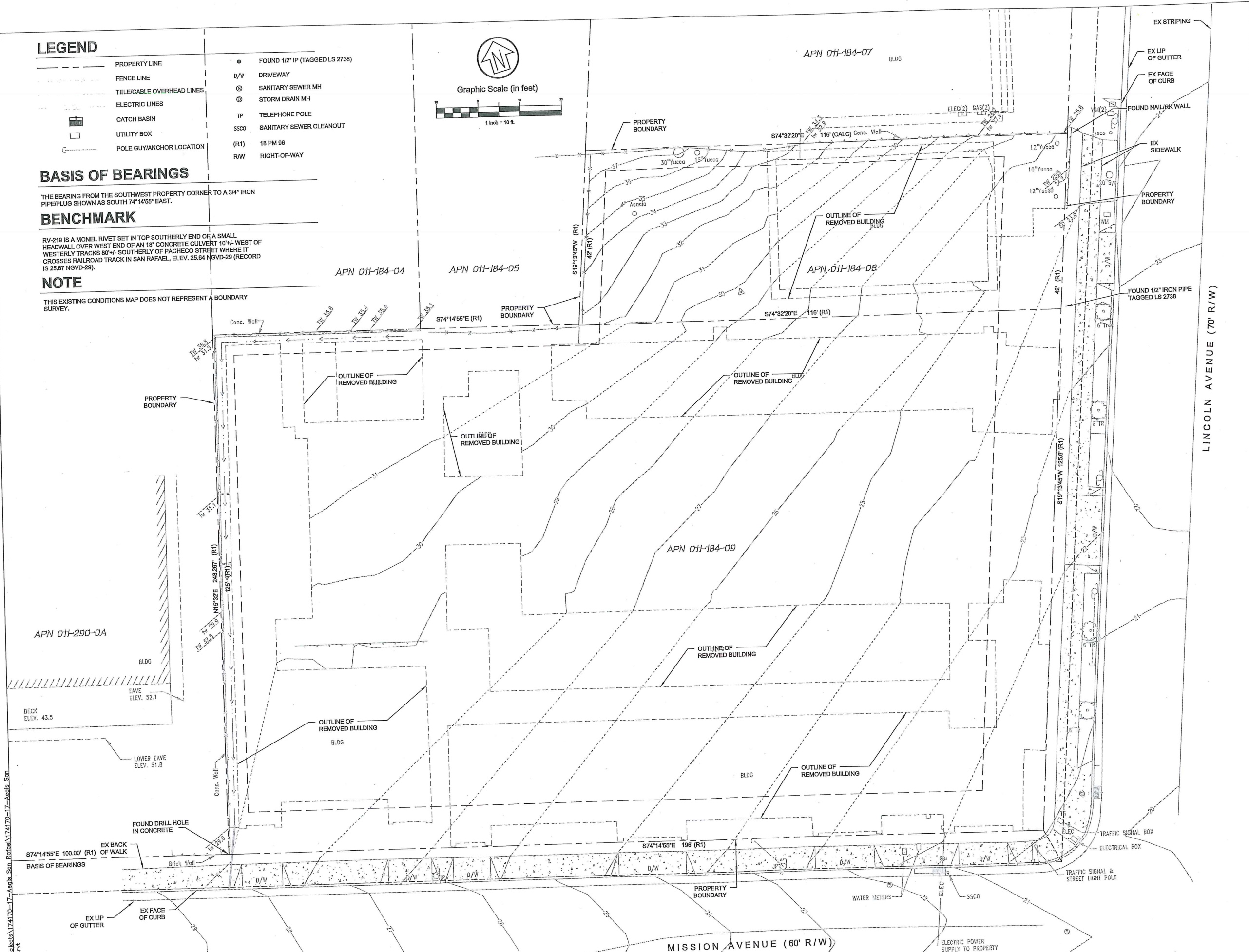
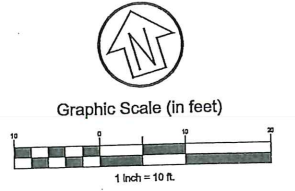
THE BEARING FROM THE SOUTHWEST PROPERTY CORNER TO A 3/4" IRON PIPE/PLUG SHOWN AS SOUTH 74°14'55" EAST.

**BENCHMARK**

RV-218 IS A MONEL RIVET SET IN TOP SOUTHERLY END OF A SMALL HEADWALL OVER WEST END OF AN 18" CONCRETE CULVERT 10'+/- WEST OF WESTERLY TRACKS 80'+/- SOUTHERLY OF PACHECO STREET WHERE IT CROSSES RAILROAD TRACK IN SAN RAFAEL, ELEV. 25.64 NGVD-29 (RECORD IS 25.67 NGVD-29).

**NOTE**

THIS EXISTING CONDITIONS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.



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**CSW | ST2**

**CSW/Stuber-Strooh Engineering Group, Inc.**

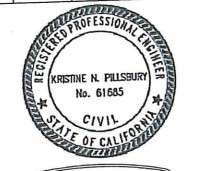
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Novato, CA 94949  
Tel: 415.883.9850  
Fax: 415.883.9835

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Δ	4/25/18	RESPONSE TO COMMENTS NO CHANGES THIS SHEET
Δ	5/15/18	NO CHANGES THIS SHEET



PRELIMINARY

SITE SURVEY

RESUBMITTAL SET

DATE 03.05.2018	PROJECT NUMBER 164890
SHEET NUMBER	

CO.00

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2/27/2018 2:59:04

### ABBREVIATIONS

AB	AGGREGATE BASE	FC	FACE OF CURB	MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
AC	ASPHALT CONCRETE	FF	FINISH FLOOR	NO.	NUMBER	SSMH	SANITARY SEWER MANHOLE
AD	AREA DRAIN	FG	FINISH GRADE	NTS	NOT TO SCALE	SW	SIDEWALK
ACR	ACCESS COMPLIANT RAMP	FH	FIRE HYDRANT	PB	PULLBOX	TC	TOP OF CURB
BSW	BACK OF SIDEWALK	FL	FLOWLINE	P.C.C.	PORTLAND CEMENT CONCRETE	TG	TOP OF GRATE
CB	CATCH BASIN	FS	FINISH SURFACE	PRO	PROPOSED	TW	TOP OF WALL
DL	DAYLIGHT	GB	GRADE BREAK	PVC	POLYVINYL CHLORIDE PIPE	tw	TOE OF WALL
DWG	DRAWING	GF	GARAGE FINISH FLOOR	R/W	RIGHT OF WAY	UCS	UNIFORM CONSTRUCTION STANDARDS
DWY	DRIVEWAY	HP	HIGH POINT	SD	STORM DRAIN	UNO	UNLESS NOTED OTHERWISE
EG	EXISTING GRADE	JP	JOINT POLE	SDCO	STORM DRAIN CLEANOUT	VIF	VERIFY IN FIELD
EL	ELEVATION	JT	JOINT TRENCH	SF	SQUARE FEET	WL	WATER LINE
EP	EDGE OF PAVEMENT	LF	LINEAR FEET	SS	SANITARY SEWER		
(E), EX	EXISTING	LP	LOW POINT				

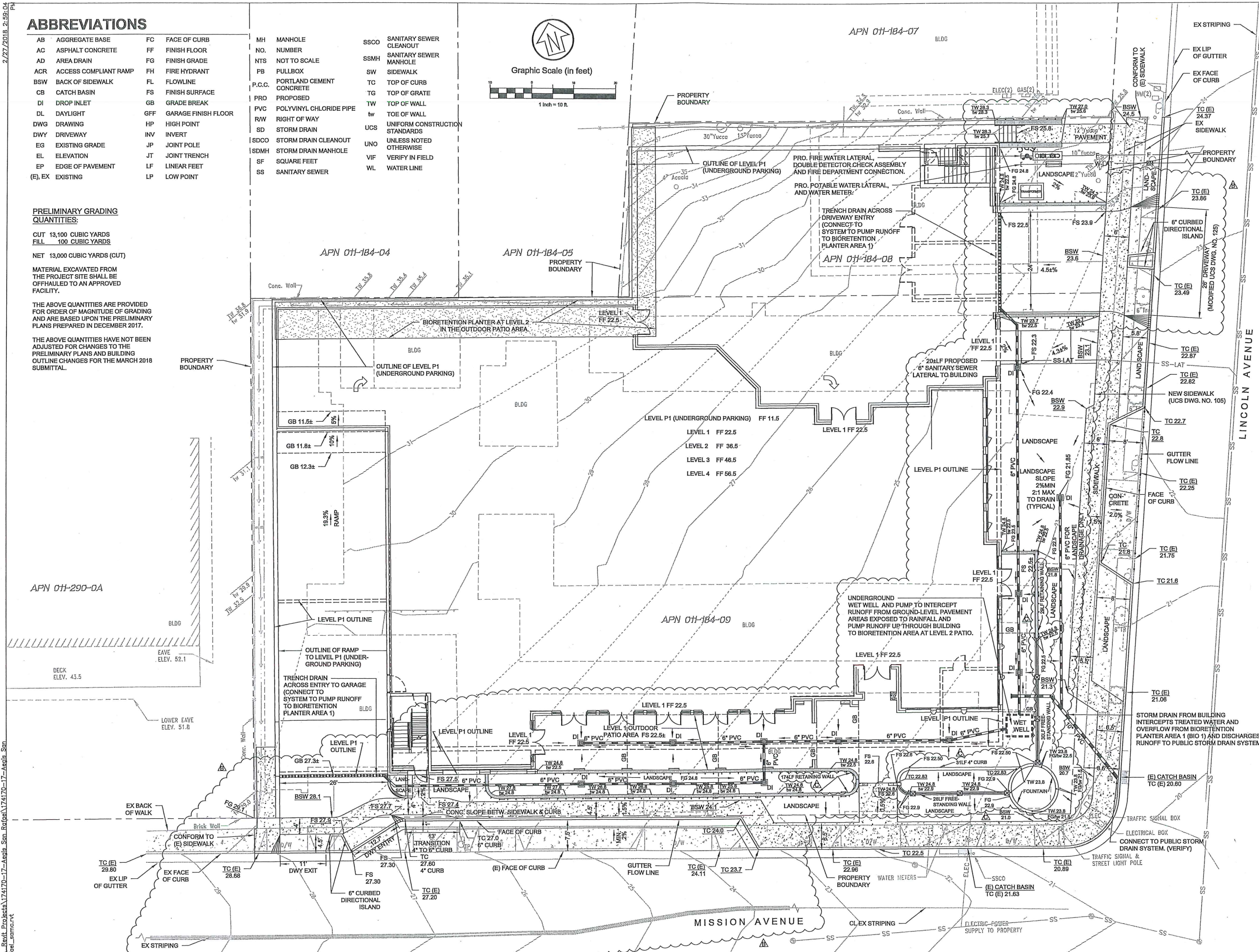
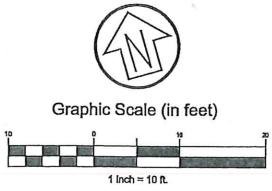
### PRELIMINARY GRADING QUANTITIES:

CUT 13,100 CUBIC YARDS  
 FILL 100 CUBIC YARDS  
 NET 13,000 CUBIC YARDS (CUT)

MATERIAL EXCAVATED FROM THE PROJECT SITE SHALL BE OFFHAULED TO AN APPROVED FACILITY.

THE ABOVE QUANTITIES ARE PROVIDED FOR ORDER OF MAGNITUDE OF GRADING AND ARE BASED UPON THE PRELIMINARY PLANS PREPARED IN DECEMBER 2017.

THE ABOVE QUANTITIES HAVE NOT BEEN ADJUSTED FOR CHANGES TO THE PRELIMINARY PLANS AND BUILDING OUTLINE CHANGES FOR THE MARCH 2018 SUBMITTAL.



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REVISION	DATE	REASON FOR ISSUE
1	4/20/18	REVISE GARAGE ENTRY
2	4/25/18	RESPONSE TO COMMENTS
3	5/15/18	ADD SITE WALL INFORMATION



PRELIMINARY

GRADING, DRAINAGE AND UTILITY PLAN

RESUBMITTAL SET

DATE 03.05.2018 PROJECT NUMBER 164890  
 SHEET NUMBER

C1.00

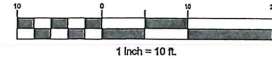
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Graphic Scale (in feet)



**LEGEND**

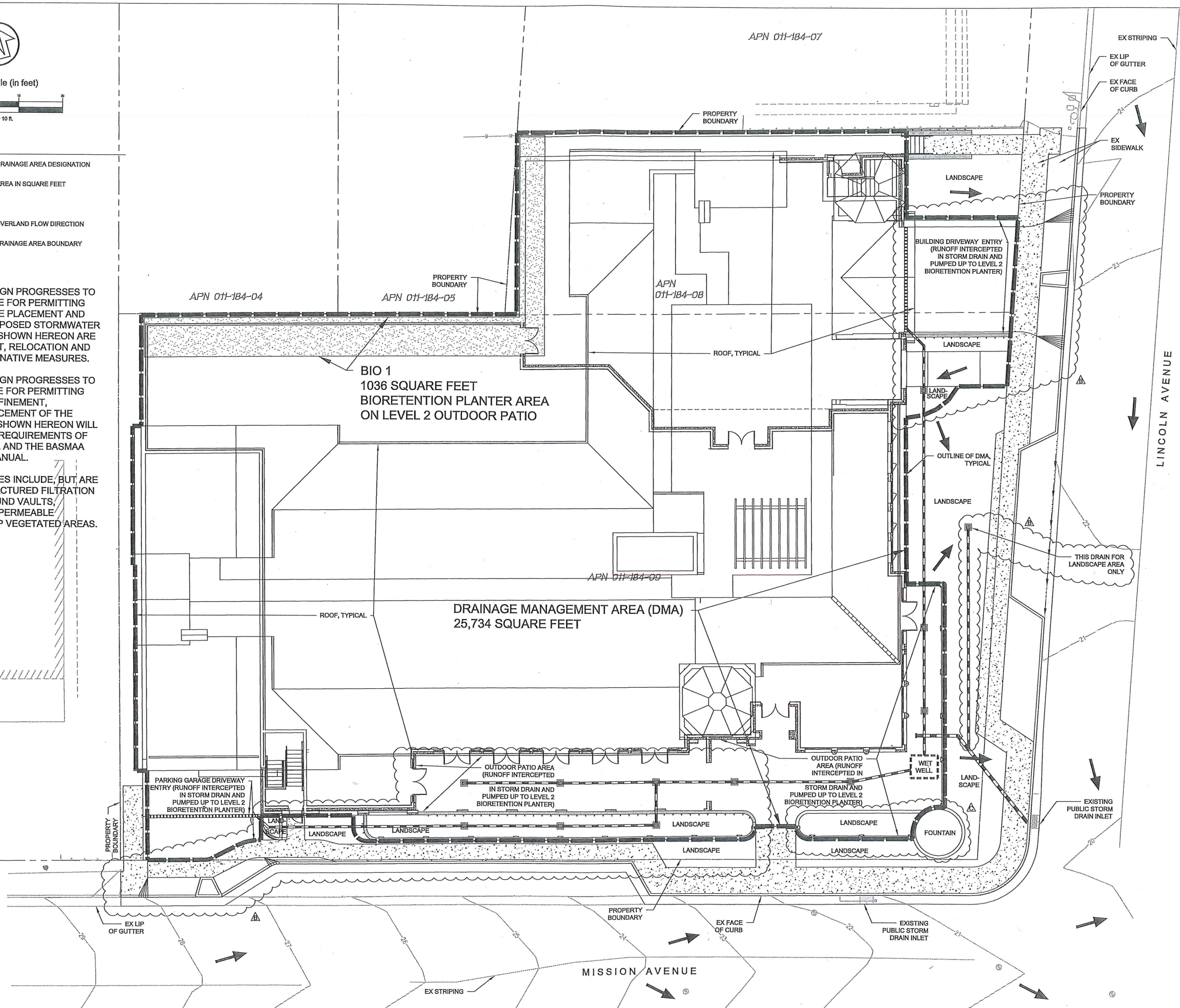
- DRAINAGE AREA DESIGNATION
- AREA IN SQUARE FEET
- OVERLAND FLOW DIRECTION
- DRAINAGE AREA BOUNDARY

**NOTES:**

1. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, THE PLACEMENT AND CONFIGURATION OF PROPOSED STORMWATER TREATMENT MEASURES SHOWN HEREON ARE SUBJECT TO REFINEMENT, RELOCATION AND REPLACEMENT BY ALTERNATIVE MEASURES.

2. AS THE PROJECT DESIGN PROGRESSES TO A LEVEL COMMENSURATE FOR PERMITTING AND CONSTRUCTION, REFINEMENT, RELOCATION AND REPLACEMENT OF THE TREATMENT MEASURES SHOWN HEREON WILL CONTINUE TO MEET THE REQUIREMENTS OF THE CITY OF SAN RAFAEL AND THE BASMAA POST-CONSTRUCTION MANUAL.

3. ALTERNATIVE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, MANUFACTURED FILTRATION SYSTEMS IN UNDERGROUND VAULTS, SELF-RETAINING AREAS, PERMEABLE PAVEMENT AND ROOFTOP VEGETATED AREAS.



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REVISION	DATE	REASON FOR ISSUE
▲	4/20/18	REVISE GARAGE ENTRY
▲	4/25/18	RESPONSE TO COMMENTS
▲	5/15/18	ADD SITE WALL INFORMATION



PRELIMINARY

STORMWATER CONTROL PLAN

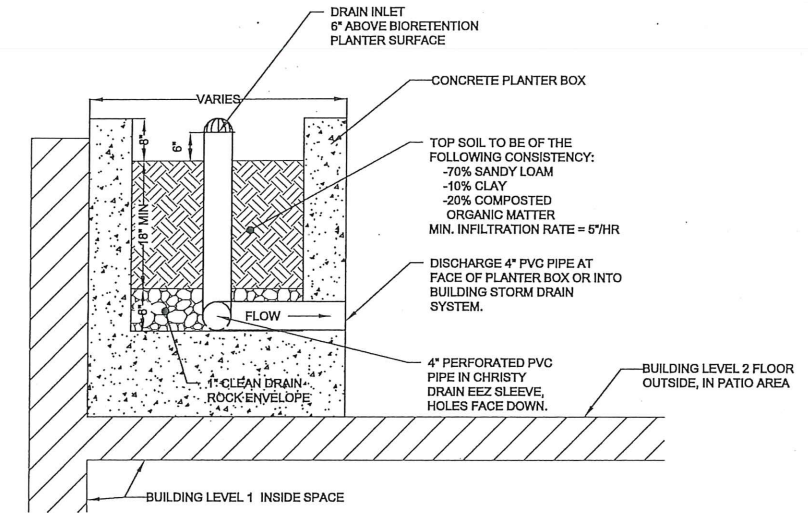
RESUBMITTAL SET

DATE 03.05.2018	PROJECT NUMBER 164890
SHEET NUMBER	

C2.00

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2 BIORETENTION PLANTER DETAIL  
SCALE: 1"=1'

BIORETENTION SIZING TABLE

DMA	DMA AREA (SF)	POST-PROJECT SURFACE TYPE	DMA RUNOFF FACTOR	(DMA AREA) x (RUNOFF FACTOR)	FACILITY NAME		
					BIORETENTION AREA 1 (BIO 1)	SIZING FACTOR	PROPOSED FACILITY AREA (SF)
DMA 1	21,746	ROOF	1.0	21,746	0.04	1,000	1,036
	3,183	PAVEMENT	1.0	3,183			
	805	LANDSCAPE	0.1	81			
TOTAL	25,734			25,010			

AND

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REVISION	DATE	REASON FOR ISSUE
A	4/20/18	ADJUST PAVEMENT AREA
A	4/25/18	RESPONSE TO COMMENTS
A	5/15/18	REVISED TABLE DUE TO ADDED LANDSCAPE



PRELIMINARY

STORMWATER CONTROL DETAIL AND TABLES

RESUBMITTAL SET

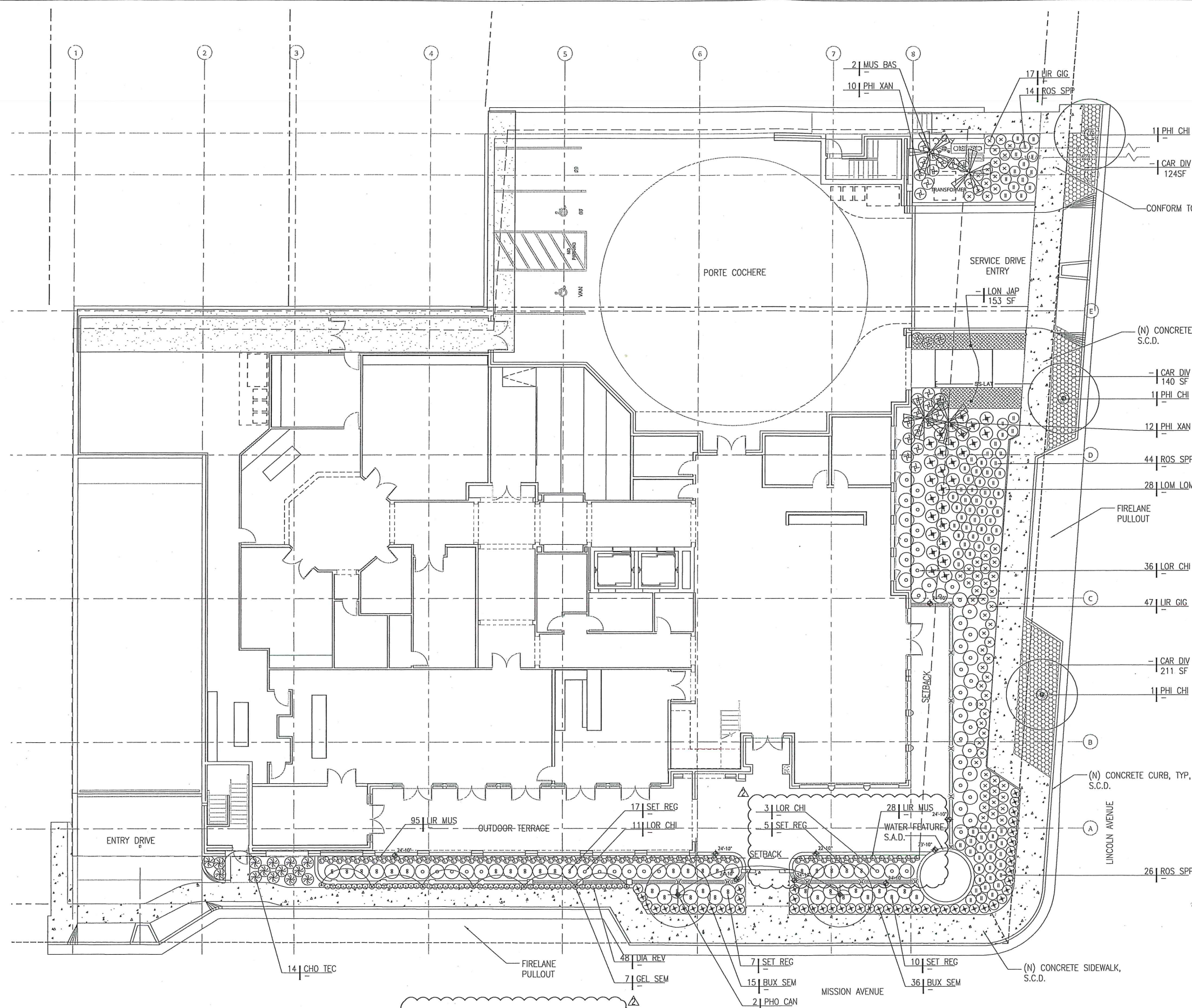
DATE 03.05.2018 PROJECT NUMBER 164890

SHEET NUMBER

C2.01



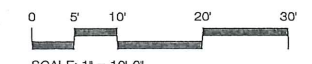
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LINCOLN AVENUE LANDSCAPE:  
 FRONT YARD SETBACK: 2,513SF  
 LANDSCAPE AREA: 1,330SF  
 LANDSCAPE PERCENTAGE PROVIDED: 53%  
 LANDSCAPE PERCENTAGE PROVIDED: 50%

MISSION AVENUE LANDSCAPE:  
 SIDE YARD SETBACK: 1,813SF  
 LANDSCAPE AREA: 930SF  
 LANDSCAPE PERCENTAGE PROVIDED: 51%  
 LANDSCAPE PERCENTAGE PROVIDED: 50%

NOTE:  
 1. SEE SHEET L2.0 FOR PLANTING SCHEDULE & PROJECT NOTES.  
 2. SEE SHEET L2.1 FOR PLANTING DETAILS ASSOCIATED TO GROUND LEVEL PLANTING



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REVISION	DATE	REASON FOR ISSUE
▲	4/25/2018	RESPONSE TO COMMENTS
▲	5/16/2018	RESPONSE TO COMMENTS

SHEET TITLE  
**PLANTING PLAN**  
 RESUBMITTAL SET

DATE  
 03.05.2018  
 PROJECT NUMBER  
 164890

SHEET NUMBER  
 L1.1



**PLANTING SCHEDULE**

ABBREV	BOTANICAL	COMMON NAME	SIZE	SPACING	MATURE SIZE/ PLANT TYPE	WUCOLS RATING
<b>TREES</b>						
MUS BAS	MUSA BASJOO	JAPANESE BANANA	25 GAL	4' O.C.	12' HERBACEOUS	MEDIUM
PHO CAN	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	36" BOX	30' O.C.	30'+ / EVERGREEN	MEDIUM
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	36" BOX	PER PLANS	30' DECIDUOUS	LOW
<b>SHRUBS &amp; GRASSES</b>						
BUX SEM	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	DWARF BOXWOOD	1 GAL	1'-0"	2' EVERGREEN	MEDIUM
CAR DIV	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	1'-8"	12" EVERGREEN	VERY LOW
CHO TEC	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	1 GAL	2'-0"	2' / EVERGREEN	LOW
DIA REV	DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	1 GAL	1'-6"	18" / EVERGREEN	LOW
LIR GIG	LIRIOPE GIGANTEA	GIANT LILY TURF	1 GAL	1'-6"	18" / EVERGREEN	MEDIUM
LIR MUS	LIRIOPE MUSCARI	BLUE LILY TURF	1 GAL	1'-0"	12" / EVERGREEN	MEDIUM
LOM LON	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	2'-6"	2' / EVERGREEN	LOW
LON JAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
LOR CHI	LOROPETALUM CHINENSE	FRINGE FLOWER	5 GAL	4'-6"	3'-6" / EVERGREEN	LOW
PHI XAN	PHILODENDRON XANADU	PHILODENDRON	1 GAL	3'-0"	2' / EVERGREEN	MEDIUM
ROS SPP	ROSA SPECIES	GROUNDCOVER CARPET ROSE 'PINK'	1 GAL	3'-0"	18" TO 2' / SEMI-EVERGREEN	MEDIUM
STR REG	STRELITZIA REGINAE	BIRD OF PARADISE	5 GAL	4'	4' TO 6' / EVERGREEN	MEDIUM
<b>VINES</b>						
GEL SEM	GELSEMIUM SEMPERVIRENS 'MARGARITA'	HARDY CAROLINA JASMINE	1 GAL	4'-0"	6'-8" TRAILING/EVERGREEN	MEDIUM

**PLANT CHARACTER IMAGERY**

**TREES**



MUSA BASJOO



PHOENIX CANARIENSIS



PISTACIA CHINENSIS

**SHRUBS**



BUXUS SEMPERVIRENS 'SUFFRUTICOSA'



CAREX DIVULSA



CHONDRPETALUM TECTORUM



DIANELLA REVOLUTA 'LITTLE REV'



LIRIOPE GIGANTEA



LOMANDRA LONGIFOLIA 'BREEZE'



LONICERA JAPONICA



LOROPETALUM CHINENSE



PHILODENDRON XANADU



ROSA SPECIES



STRELITZIA REGINAE



LIRIOPE MUSCARI

**VINES**



GELSEMIUM SEMPERVIRENS 'MARGARITA'

**PLANTING NOTES**

- Plant list provided is for the convenience of the Contractor. In case of discrepancies, the plan shall govern.
- Unless otherwise noted, all groundcover and shrubs shall be spaced triangularly.
- All plants shall conform to standards set in the American Standards for Nursery Stock by the American Association of Nurserymen. All plants to be container stock, healthy, vigorous, pest and disease-free, and without fresh abrasions to the bark or excessive abrasions or disfigurements. All plants shall have well-developed branch systems and fibrous root systems which are not pot-bound. All plants shall be of the species, variety, size and condition as specified on the drawings.
- All plants brought onto the site shall be watered and protected from excessive wind, sun, physical damage, or theft until planting.
- All plants shall be placed in approximate locations on plan. Final adjustment shall be made by the Landscape Architect prior to planting. The Landscape Architect reserves the right to make deletions, additions, or substitutions to the planting plan in the field as necessary, with adjustments in the contract as appropriate.
- Areas with 1 gallon or smaller pots shall have a soil amendment. Rototill the amendment to a depth of 8". Take care not to rototill within the drip line of existing trees to remain; instead, perform the work by hand to protect roots. Amend with 'Walt Whitman' or equal amendment at a rate of 6 cu yds per 1000sq ft.
- Areas with 5 gallon or larger size containers shall be planted by plant pit. When pits have been backfilled approximately 2/3 their depth, water thoroughly with a hose before installing remainder of planting mix to top of pit. When backfilling is partially completed, extra care should be taken to see that planting mix is worked around root ball. Eliminate air pockets. Backfilling shall be completed by a tamping process. Do not allow root balls to dry out before planting. Do not allow soil or dense mulch to build up around stem of plant.
- A mound of earth shall be formed around each tree or shrub to produce a shallow basin to retain water, located on the backfill such that water will be forced throughout the root ball. Plants shall be watered in place during and after backfilling.
- Shrub and tree backfill mix shall be a ratio of 70% native soil to 30% amendment.
- All trees shall be staked. Stakes shall be lodgepole pine, copper naphthanate treated 10"x2" diameter with chamfered top. Stakes shall be driven 2' into firm ground and fastened securely with ties. All stakes to be set plumb.
- All 1 gallon or larger size trees and shrubs shall have BestPak or equal fertilizer packets set at the midpoint of the backfill, amount and size according to the manufacturer's recommendations. All smaller size containers shall be fertilized with Osmocote or equal at the manufacturer's recommended application rate.
- All areas shall be treated with pre-emergent herbicide by a Certified Applicator. Applications shall be to pre-dampened soil within three days of planting, after having been thoroughly watered in and before mulch has been applied. After this initial application, weed seed germination may be controlled by subsequent applications of pre-emergent on March 1st and September 15th.
- The Contractor is responsible for maintenance of the landscape until final approval.
- Trees and shrubs shall be under warranty for a period of 9 months, all other planting for 90 days from the date of final project approval by the Owner. Upon determination by Landscape Architect, replacement shall require plants of the same species, variety, and size and will be at the Contractor's expense.
- Per MMWD Ordinance 421, Contractor to cover all planting areas with 3" layer of bark mulch on all exposed soils (except turf areas) provide samples to Landscape Architect for final approval.
- Per MMWD Ordinance 421, Contractor to provide compost or natural fertilizer to all planting areas at a rate of 6 cubic yards per 1000 sq ft. with a min depth of 8". A min of 8" of non-mechanically compacted soil shall be available for water absorption & root growth in planted areas.

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REVISION	DATE	REASON FOR ISSUE
1	4/25/2018	RESPONSE TO COMMENTS
2	5/16/2018	RESPONSE TO COMMENTS

**SHEET TITLE  
PLANTING  
SCHEDULE**

**RESUBMITTAL SET**

DATE: 03.05.2018 PROJECT NUMBER: 164890

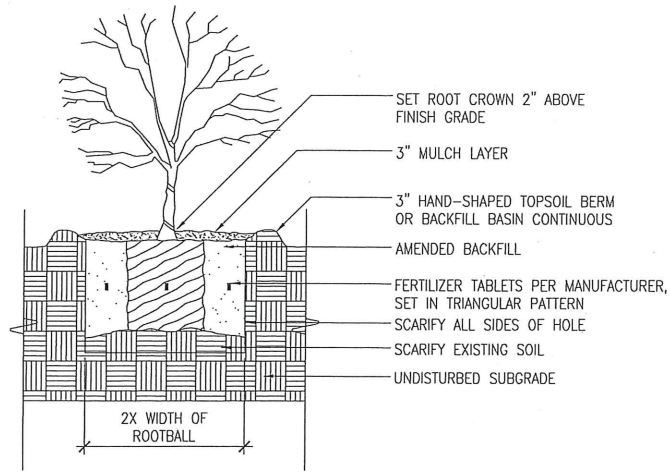
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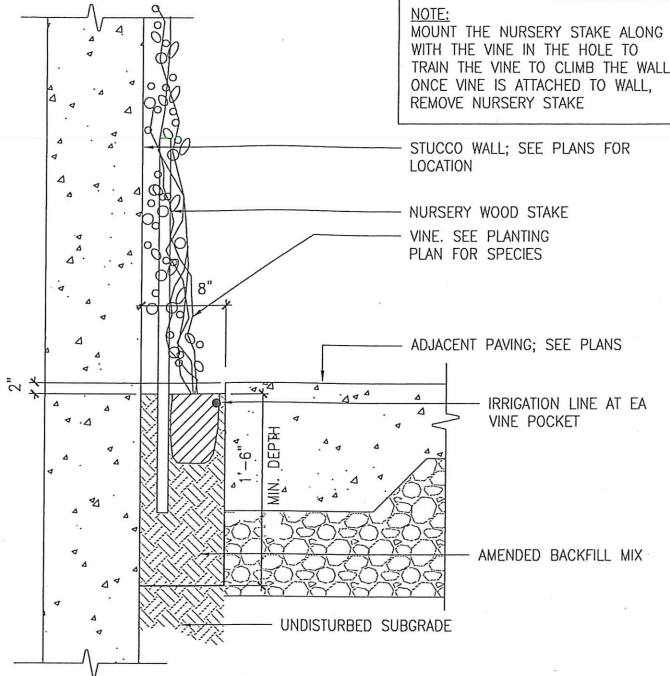
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**NOTES:**  
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.  
 2. HAND-COMPACT SOIL AROUND ROOTBALL.  
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION.



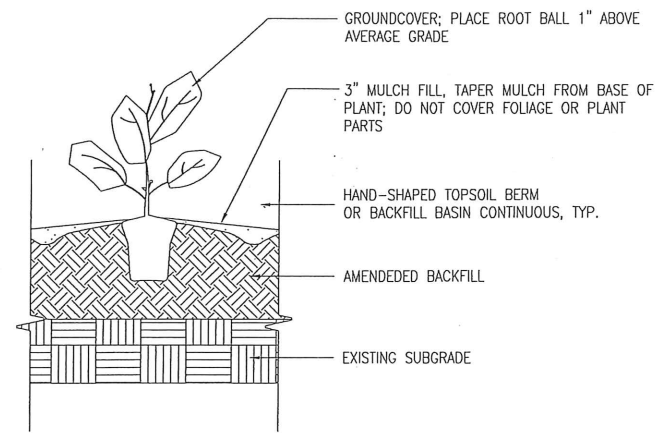
○ SHRUB PLANTING ON NATURAL GRADE  
 SCALE: NTS

**NOTE:**  
 MOUNT THE NURSERY STAKE ALONG WITH THE VINE IN THE HOLE TO TRAIN THE VINE TO CLIMB THE WALL. ONCE VINE IS ATTACHED TO WALL, REMOVE NURSERY STAKE

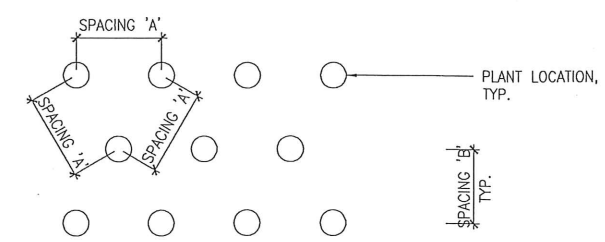


○ VINE POCKET @ WALL  
 SCALE: 1/2"=1'-0"

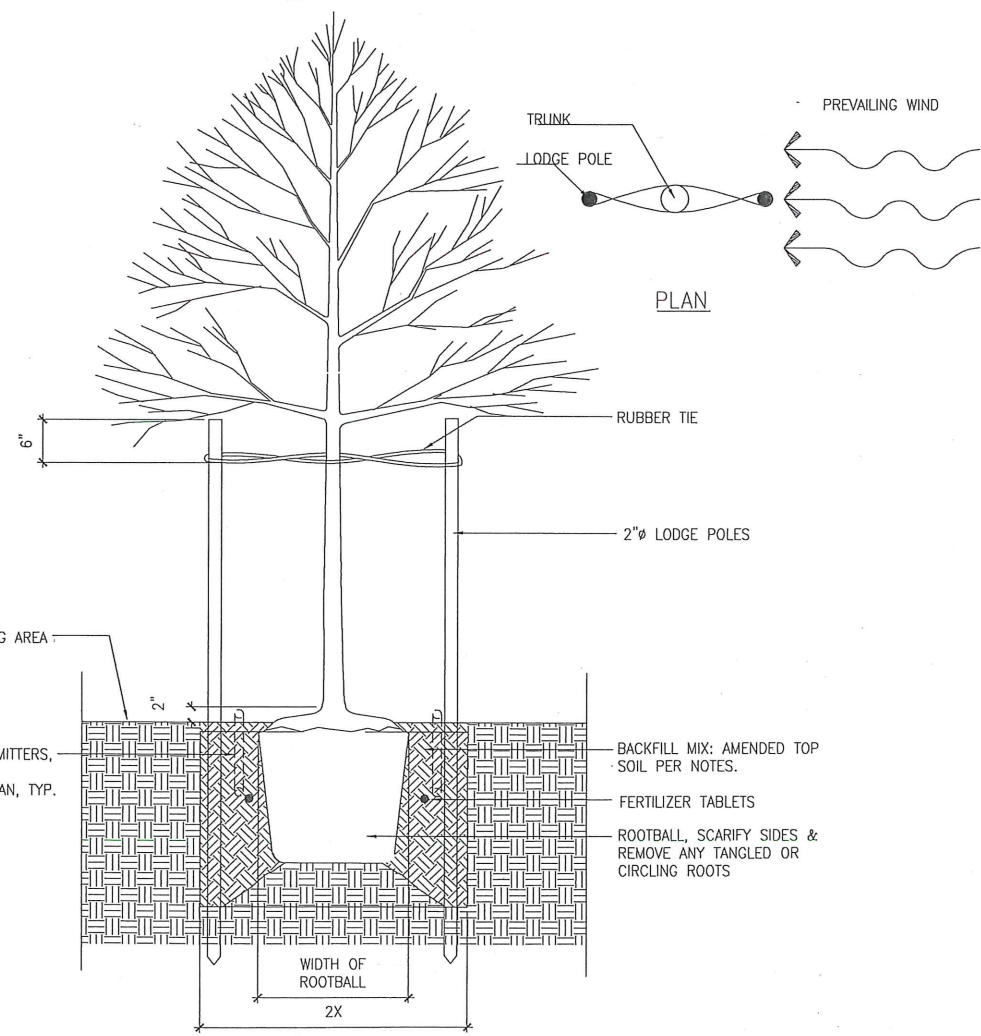
**NOTE:**  
 1. REMOVE CONTAINER BEFORE INSTALLING; LOOSEN & SCARIFY THE ROOTBALL.  
 2. COMPACT SOIL AROUND ROOT BALL.  
 3. THOROUGHLY SOAK PLANT WITH A FINE MIST AFTER INSTALLATION UNTIL IRRIGATION IS INSTALLED.



○ GROUNDCOVER PLANTING  
 SCALE: NTS



○ PLANT SPACING DIAGRAM  
 SCALE: NOT TO SCALE



○ TREE PLANTING & STAKING  
 SCALE: NTS

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▲	5/16/2018	RESPONSE TO COMMENTS

**SHEET TITLE**  
 PLANTING  
 DETAILS

**RESUBMITTAL SET**

DATE 03.05.2018	PROJECT NUMBER 164890
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SHEET NUMBER  
**L2.1**

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