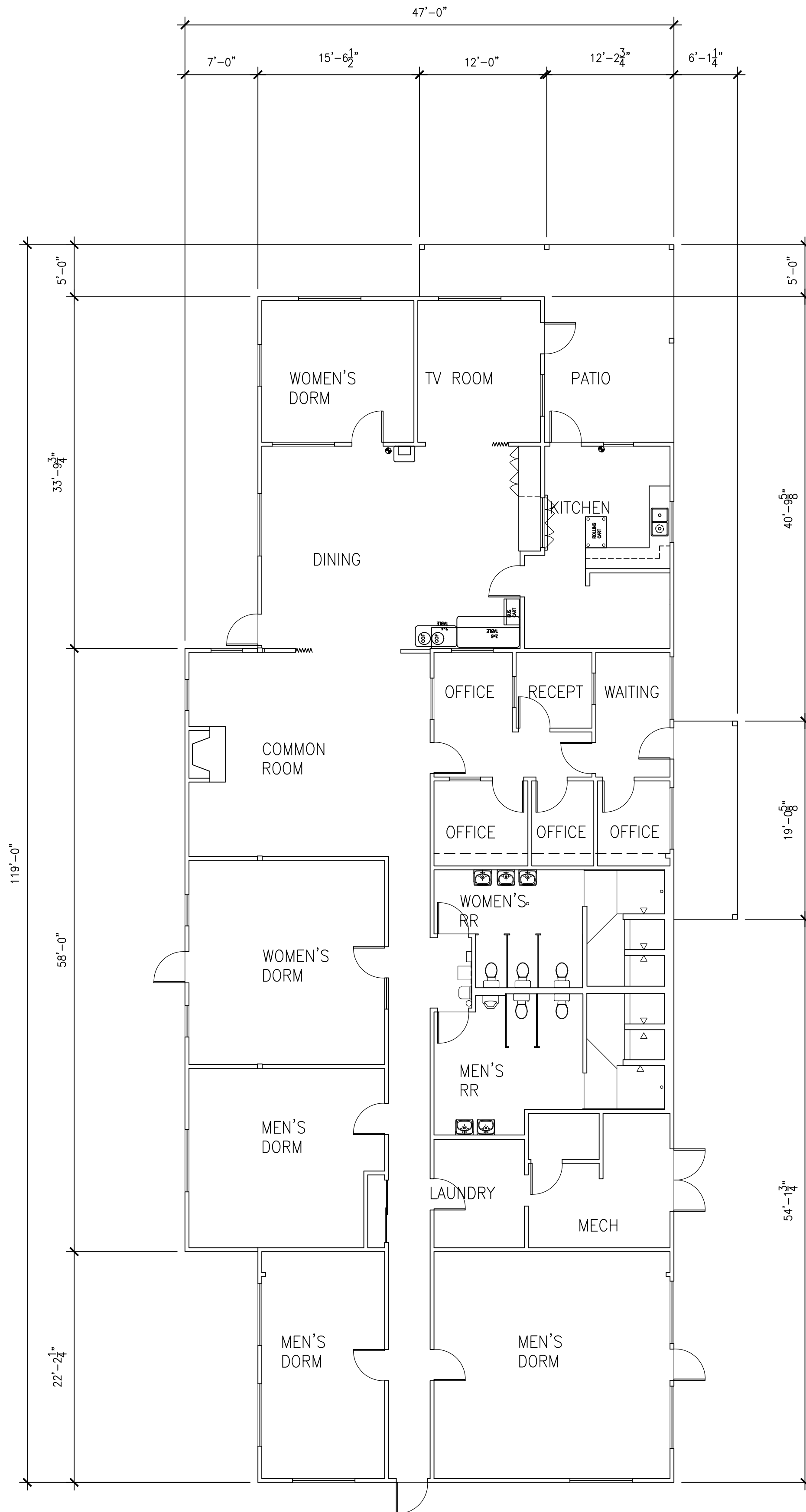


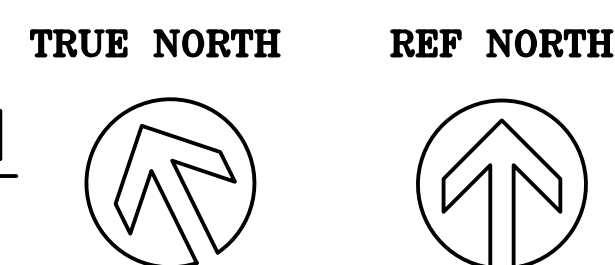
HARBOR STREET



MILL STREET

1
A1.0 **EXISTING EMERGENCY SHELTER FLOOR PLAN**
SCALE: 1/8" = 1'-0"

[THIS BUILDING AND ALL SITE IMPROVEMENTS WILL BE DEMOLISHED
SEE TOPO SURVEY (10f3) FOR EXISTING SITE IMPROVEMENTS]



DRAWING INDEX

- A1.0 EXISTING FLOOR PLAN / COVER SHEET
- 10f1 BOUNDARY AND TOPOGRAPHIC SURVEY
- 10f3 EXISTING CONDITIONS MAP
- 20f3 SITE PLAN (CIVIL)
- 30f3 PRELIMINARY DRAINAGE PLAN
- L1.2 PLANTING PLAN
- A2.0 SITE PLAN / GROUND FLOOR / FIRST FLOOR PLAN
- A2.1 SECOND AND THIRD FLOOR PLANS
- A2.2 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTION / DETAILS
- A3.2 ELEVATIONS - COLOR RENDERING

PROJECT DESCRIPTION

REPLACE THE EXISTING SINGLE STORY EMERGENCY SHELTER BUILDING WITH A NEW FOUR STORY BUILDING TO INCLUDE THE FOLLOWING: GROUND FLOOR CONCRETE PODIUM STYLE PARKING STRUCTURE; THE FIRST FLOOR OVER PARKING WOULD BE THE NEW EMERGENCY SHELTER; THE SECOND AND THIRD FLOORS WOULD BE LOW INCOME SUPPORTIVE HOUSING, CONSISTING OF SRO UNITS WITH SHARED COMMON AREAS INCLUDING A LOUNGE, COMMUNAL KITCHEN, TERRACES, AND BATHROOM FACILITIES. THE SECURE GROUND FLOOR PARKING WILL BE FOR HBM STAFF, VISITING SERVICE PROVIDERS, AND GUESTS. RESIDENTS WILL NOT HAVE CARS. THE ELEVATION OF THE GROUND FLOOR PARKING IS LOCATED BELOW THE FEMA BASE FLOOD ELEVATION AND WILL BE WET WATERPROOFED. THE GROUNDS WILL BE FULLY IMPROVED WITH IRRIGATED LANDSCAPING, HARDSCAPE, AND NEW FENCING.

PLANNING APPROVALS REQUIRED/REQUESTED

ENVIRONMENTAL REVIEW: INITIAL STUDY & NEGATIVE/MITIGATED DECLARATION
ZONING CHANGE: CCI/O TO RH-1
GENERAL PLAN AMENDMENT: LI/O TO HDR
USE PERMIT AMENDMENT: TO EXISTING UP 86-36(e)

PROJECT DATA

PROPERTY OWNER: HOMEWARD BOUND OF MARIN
1385 NORTH HAMILTON PARKWAY
NOVATO, CA 94949
(415) 382-3363
ATTN: PAUL FORDHAM

APN: 014-19-012
SITE AREA: 13,500 SF
EXISTING GENERAL PLAN DESIGNATION: LI/O
EXISTING ZONING: CCI/O
EXISTING USE: EMERGENCY SHELTER (40-55 BEDS)
CONDITIONAL USE PERMIT
EXISTING BUILDING AREA: 4,792 SF (1 STORY)
EXISTING PARKING: 13 SPACES

PROPOSED GENERAL PLAN DESIGNATION: HDR
PROPOSED ZONING: RH-1
PROPOSED USES: EMERGENCY SHELTER (60 BEDS)(CONDITIONAL USE PERMIT)
SRO HOUSING (32 UNITS)

PROPOSED BUILDING AREAS: GROUND FLOOR: PARKING; 8,713 SF
FIRST FLOOR: EMERGENCY SHELTER; 8,368 BLDG SF;
407 SF TERRACES; 60 BEDS
SECOND FLOOR: SRO HOUSING; 7,840 BLDG SF;
373 SF TERRACES; 16 UNITS
THIRD FLOOR: SRO HOUSING; 7,840 BLDG SF;
373 SF TERRACES; 16 UNITS
PROPOSED PARKING: 18 SPACES

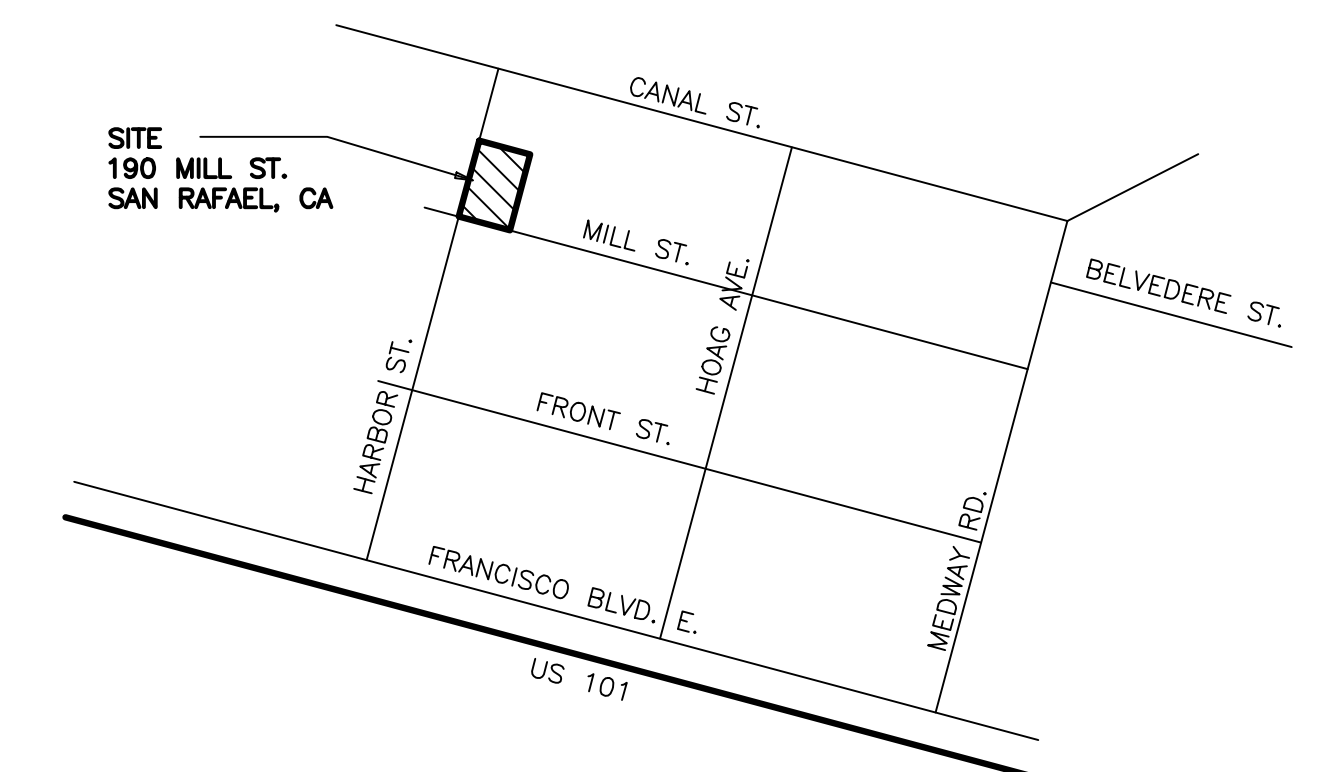
ALL EASEMENTS BENEFITING ADJACENT PARCEL APN 014-19-013 IDENTIFIED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY BY OBERKAMPER ASSOC DATED 09-19-2017 HAVE BEEN REMOVED BY A TERMINATION OF EASEMENT/QUITCLAIM RECORDED AT THE COUNTY OF MARIN 8-27-19.

AFFORDABLE LOW INCOME HOUSING INCENTIVES REQUIRED FOR APPROVAL
PROPOSED PARKING: 19 SPACES (PARKING MODIFICATION REQUESTED)

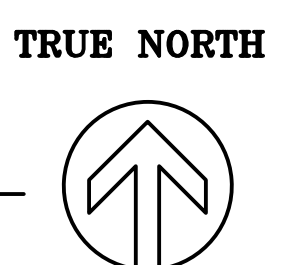
HEIGHT: RH-1 HEIGHT LIMIT IS 36'. REQUESTED ≤ 48'
LOT COVERAGE: RH-1 COVERAGE LIMIT IS 60% (8,100 SF)
REQUESTED: 66% (8,893 SF) (<20% REDUCTION)

FRONT YARD SETBACK: RH-1 SETBACK IS 15' OR EQUAL
TO AVERAGE OF ADJACENT RESIDENTIAL WHICH IS 10'-0"
REQUESTED 8'-2" (<20% REDUCTION)

PROPOSED CONSTRUCTION TYPE:
GROUND FLOOR: S-2 PARKING GARAGE, BUILDING CIRCULATION ELEMENTS AND STORAGE. CONCRETE PODIUM STYLE STRUCTURE WITH FOUNDATION PER RECOMMENDATIONS OF GEOTECHNICAL REPORT, FULLY SPRINKLERED. FIRST, SECOND, AND THIRD FLOORS ABOVE PARKING: TYPE VA WOOD FRAME CONSTRUCTION, FULLY SPRINKLERED.



2
A1.0 **VICINITY MAP**



A R C H I T E C T S
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581
 Contact: Pat Cousens Email: pcousens@divinearchitects.com

PROPOSED MILL STREET CENTER
 EMERGENCY HOMELESS SHELTER/
 SINGLE RESIDENT OCCUPANCY UNITS
 190 MILL STREET, SAN RAFAEL, CA
 FOR: HOMEWARD BOUND OF MARIN
 APN# 014-19-012

**EXISTING FLOOR PLAN/
 COVER SHEET**

4-29-19

PLANNING SUBMITTAL

Date: 4-29-19
 Scale: AS NOTED
 Drawn: JR/PC
 Job #: 16032.00
 Prototype: DIVINE

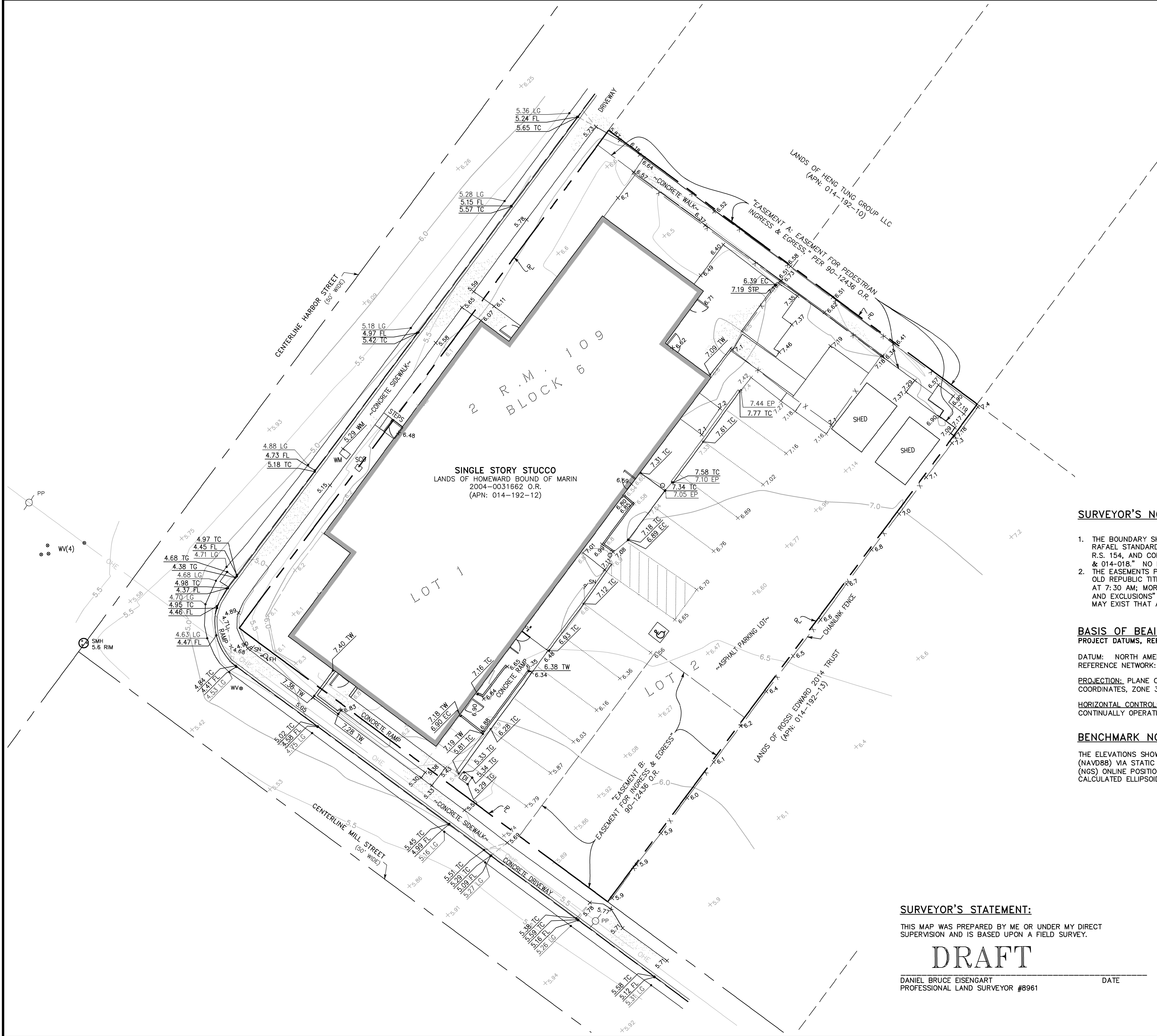
A1.0

DATE OF FIELD SURVEY:

SEPTEMBER, 2017

LEGEND:

⊘	DIAMETER
⊙	AT
⊕	CENTERLINE
—	PROPERTY LINE
APN	TAX ASSESSOR'S PARCEL NUMBER
ASP	ASPHALTIC CONCRETE
BD	BUILDING
EC	EDGE OF CONCRETE
ELEC/E	ELECTRICAL
EP	EDGE OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
FNC	FENCE
FH	FIRE HYDRANT
GUY	GUY ANCHOR (POWER POLE)
HB	HOSE BIB
LG	LIP OF GUTTER
OHE	OVERHEAD ELECTRICAL LINE(S)
O.R.	OFFICIAL RECORDS
PP	POWER POLE
R.M.	RECORD MAP
SCO	SANITARY SEWER CLEANOUT
SD/D	STORM DRAIN
SMH	SANITARY SEWER MANHOLE
SN	SIGN
TC	TOP OF CURB
TF	TOP OF FOOTING
TG	TOP OF GRATE
TW	TOP OF WALL
WM	WATER METER
WV	WATER VALVE



SURVEYOR'S NOTE:

1. THE BOUNDARY SHOWN HEREON WAS ESTABLISHED PER 2 R.M. 109 VIA FOUND CITY OF SAN RAFAEL STANDARD CENTERLINE MONUMENTS AS SHOWN PER 1999 RS 189, 2005 R.S. 094, 2010 R.S. 154, AND CORNER RECORD DOCUMENT NUMBERS "APN 014-019 & 014-016" & "APN 014-020 & 014-018." NO MATERIAL DISCREPANCIES WERE FOUND.
2. THE EASEMENTS PLOTTED HEREON ARE PER THAT CERTAIN PRELIMINARY REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NUMBER 0434024470-KG, DATED AS OF JULY 18, 2017 AT 7:30 AM; MORE SPECIFICALLY BEING ITEMS 4 & 5 WITHIN THE LIST THEREIN OF "EXCEPTIONS AND EXCLUSIONS" TO COVERAGE. ADDITIONAL EASEMENTS AFFECTING THE SUBJECT PROPERTY MAY EXIST THAT ARE NOT PLOTTED HEREON.

BASIS OF BEAINGS:

PROJECT DATUMS, REFERENCE SYSTEMS & PROJECTION

DATUM: NORTH AMERICAN DATUM OF 1983: NAD83 (2011) 2010.00 EPOCH
REFERENCE NETWORK: NATIONAL SPATIAL REFERENCE SYSTEM (NSRS).

PROJECTION: PLANE COORDINATES HEREIN ARE BASED ON THE CALIFORNIA STATE PLANE COORDINATES, ZONE 3, NAD83(2011) 2010.00 EPOCH.

HORIZONTAL CONTROL: THE HORIZONTAL DATUM WAS RECOVERED BASED ON GNSS TIES TO CONTINUALLY OPERATING REFERENCE STATIONS (CORS).

BENCHMARK NOTE:

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) VIA STATIC GNSS OCCUPATIONS POST-PROCESSED THROUGH NATIONAL GEODETIC SURVEY'S (NGS) ONLINE POSITIONING USER SERVICE (OPUS) APPLYING THE 'GEOID12B' GEOID MODEL TO THE CALCULATED ELLIPSOID HEIGHTS.

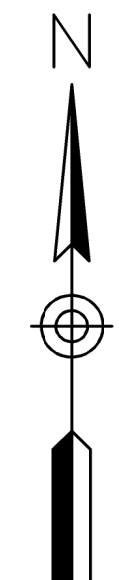
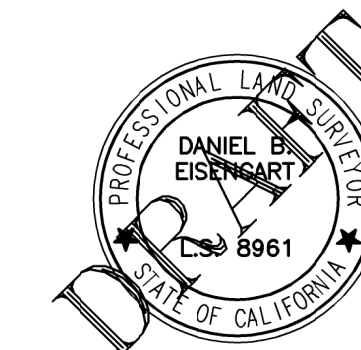
SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED UPON A FIELD SURVEY.

DRAFT

DANIEL BRUCE EISENGART
PROFESSIONAL LAND SURVEYOR #8961

DATE



PRELIMINARY

**OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.**
7200 REDWOOD BLVD, SUITE 308, NOVATO, CA 94945
PHONE: (415) 8972800
WWW.OBERKAMPER.COM




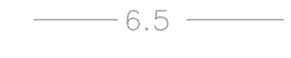
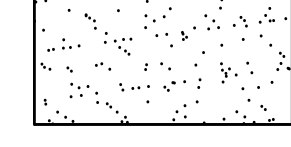

CALIFORNIA
BOUNDARY & TOPOGRAPHIC SURVEY
190 MILL STREET, SAN RAFAEL
MARIN COUNTY

Scale:	AS SHOWN
Drawn by:	JA
Field Crew:	JA/AH
Checked by:	DBE
Date:	9/19/2017

SHEET	1
OF	1
17-139	

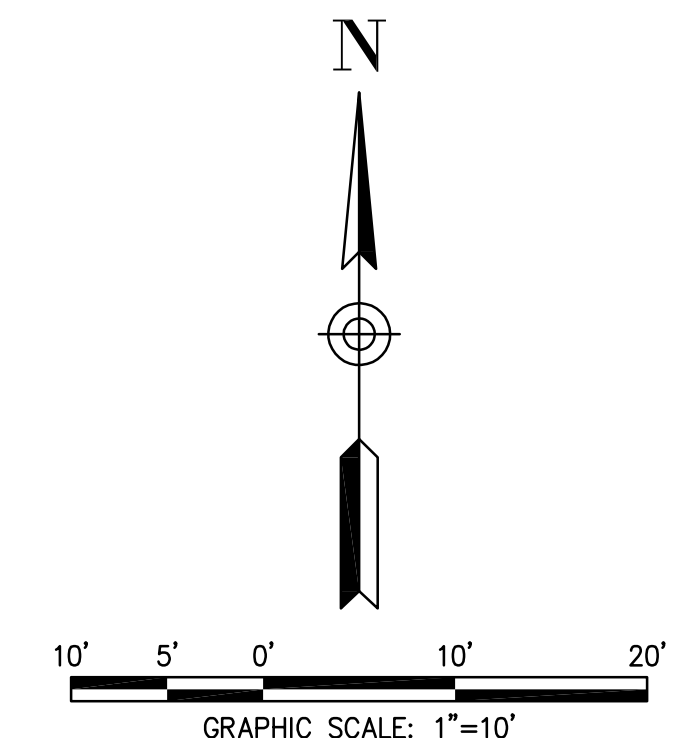
C:\Users\301717-139-190\MHE\STUDING\DESIGN\17-139-C3_Site Plan.dwg, 5/2/2019 3:58:45 PM

LEGEND:

-  PROPERTY LINE
-  EXISTING FENCE
-  EXISTING OVERHEAD ELECTRICAL LINE
-  EXISTING CONTOURS
-  CONCRETE
-  TRUNCATED DOME - DETECTABLE WARNING SURFACE

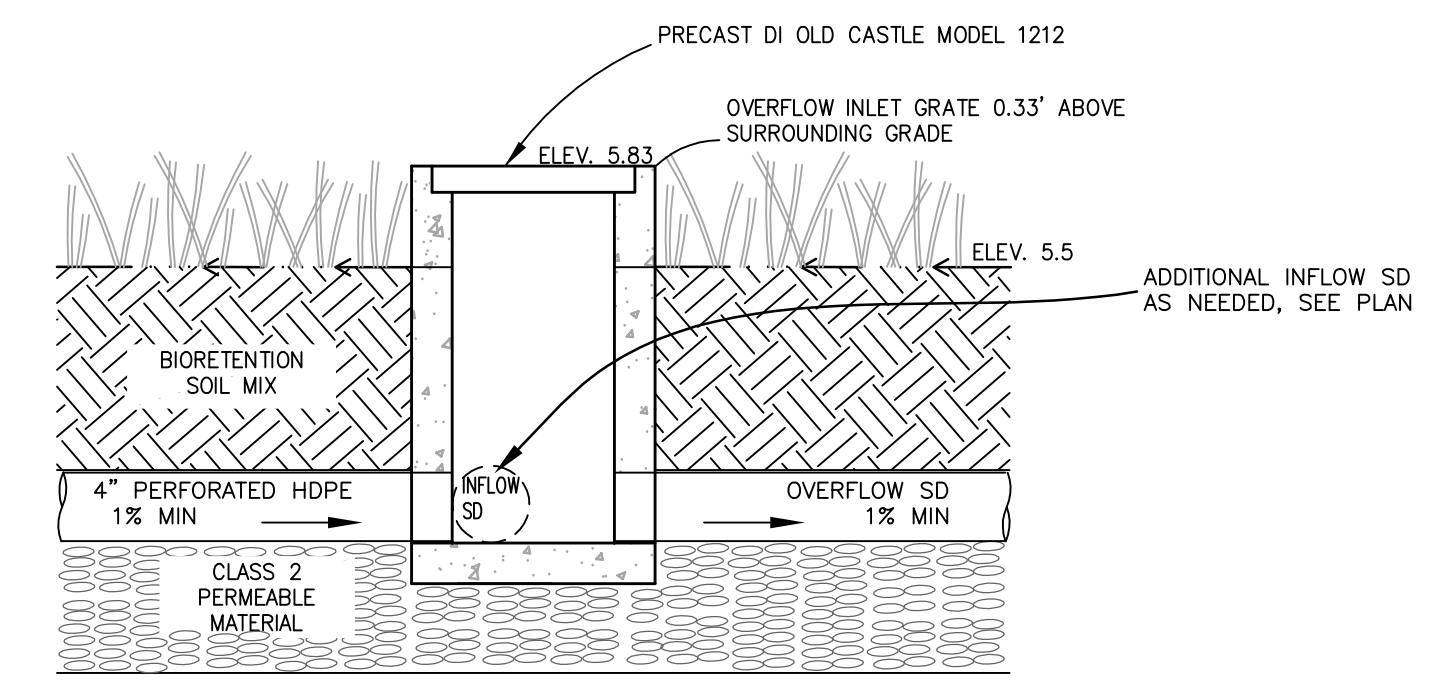
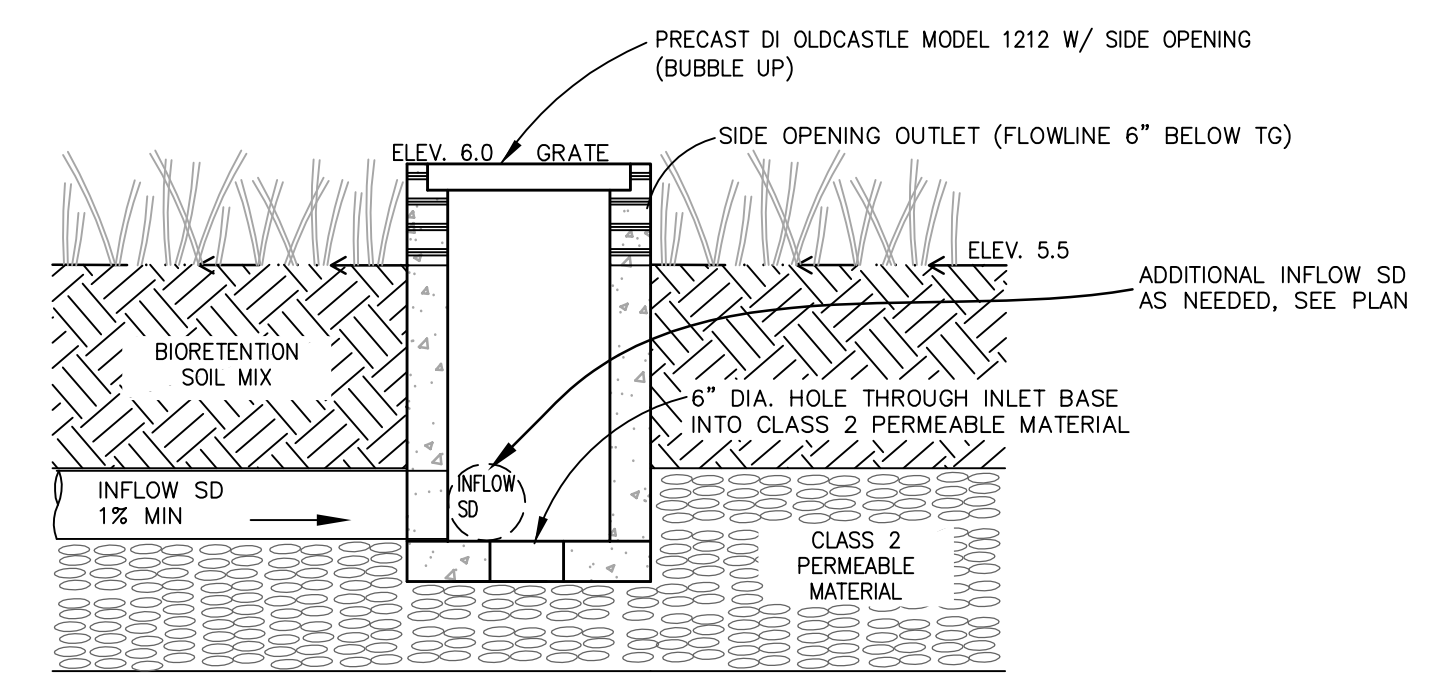
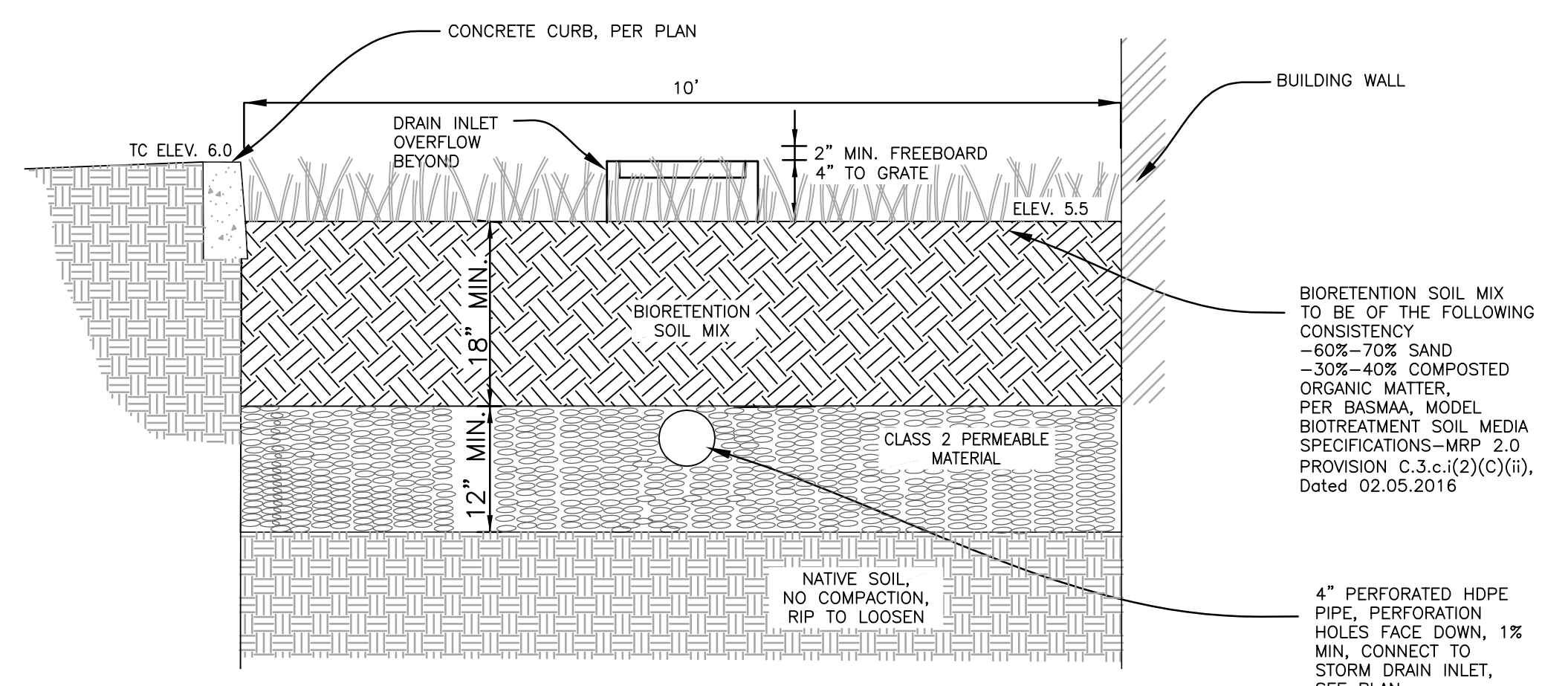
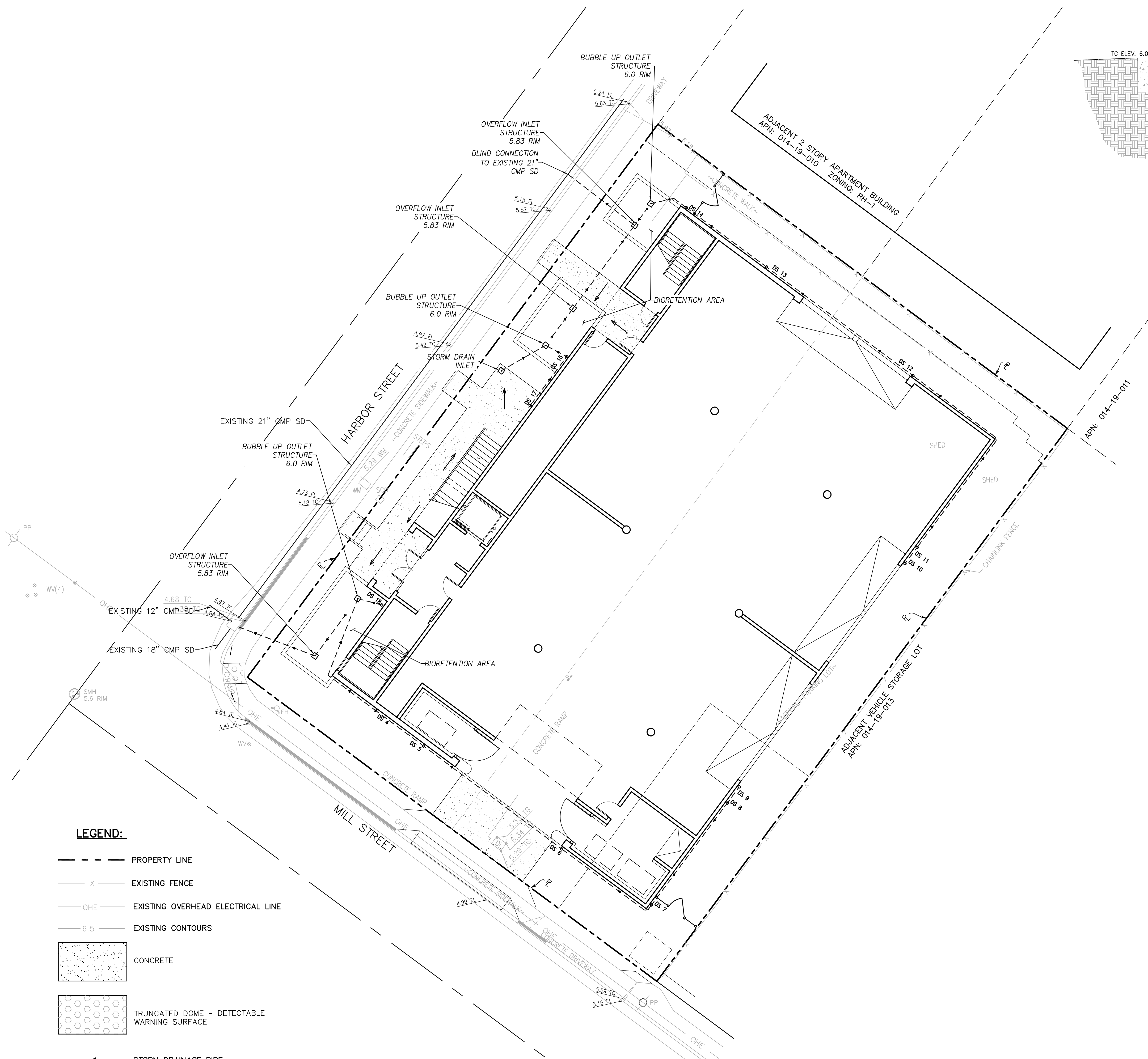
ABBREVIATION:

- Ø DIAMETER
- AT AT
- CL CENTERLINE
- PL PROPERTY LINE
- APN TAX ASSESSOR'S PARCEL NUMBER
- ASP ASPHALTIC CONCRETE
- BD BUILDING
- EC EDGE OF CONCRETE
- ELEC/E ELECTRICAL
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- FL FLOW LINE
- FNC FENCE
- FH FIRE HYDRANT
- GUY GUY ANCHOR (POWER POLE)
- HB HOSE BIB
- LG LIP OF GUTTER
- OHE OVERHEAD ELECTRICAL LINE(S)
- O.R. OFFICIAL RECORDS
- PP POWER POLE
- R.M. RECORD MAP
- SCO SANITARY SEWER CLEANOUT
- SD/D STORM DRAIN
- SMH SANITARY SEWER MANHOLE
- SN SIGN
- TC TOP OF CURB
- TF TOP OF FOOTING
- TG TOP OF GRATE
- TW TOP OF WALL
- WM WATER METER
- WV WATER VALVE

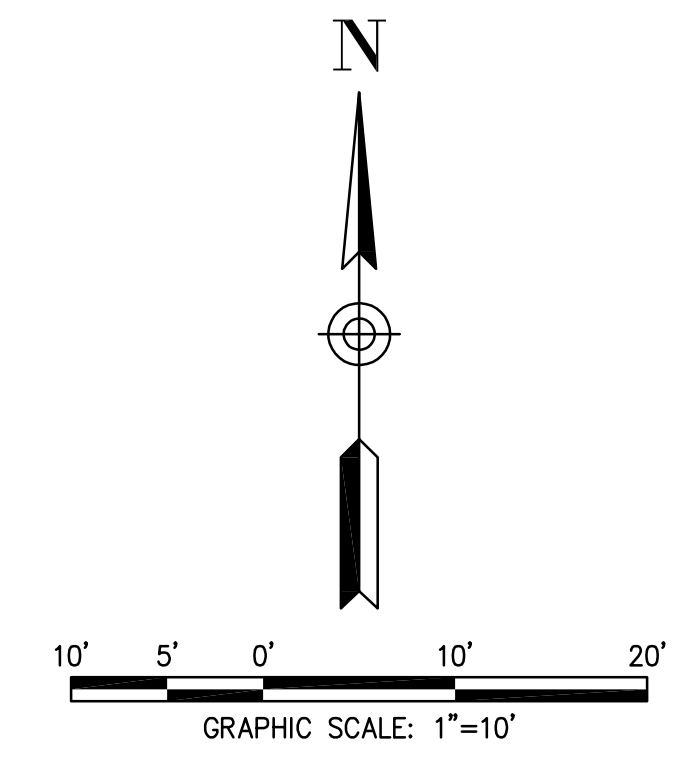


OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM	SITE PLAN 190 MILL STREET, SAN RAFAEL, CA MARIN COUNTY CALIFORNIA
Scale: 1" = 10' Drawn by: BM Field Crew: JA/JH Checked by: LEO Date: 05/07/2019	SHEET <h1 style="font-size: 2em;">2</h1> OF 3 17-139

C:\projects\2017\17-139-190 Mill St\DWG\DESIGN\17-139-C3_Site Plan.dwg, 5/2/2019, 2:40:25 PM



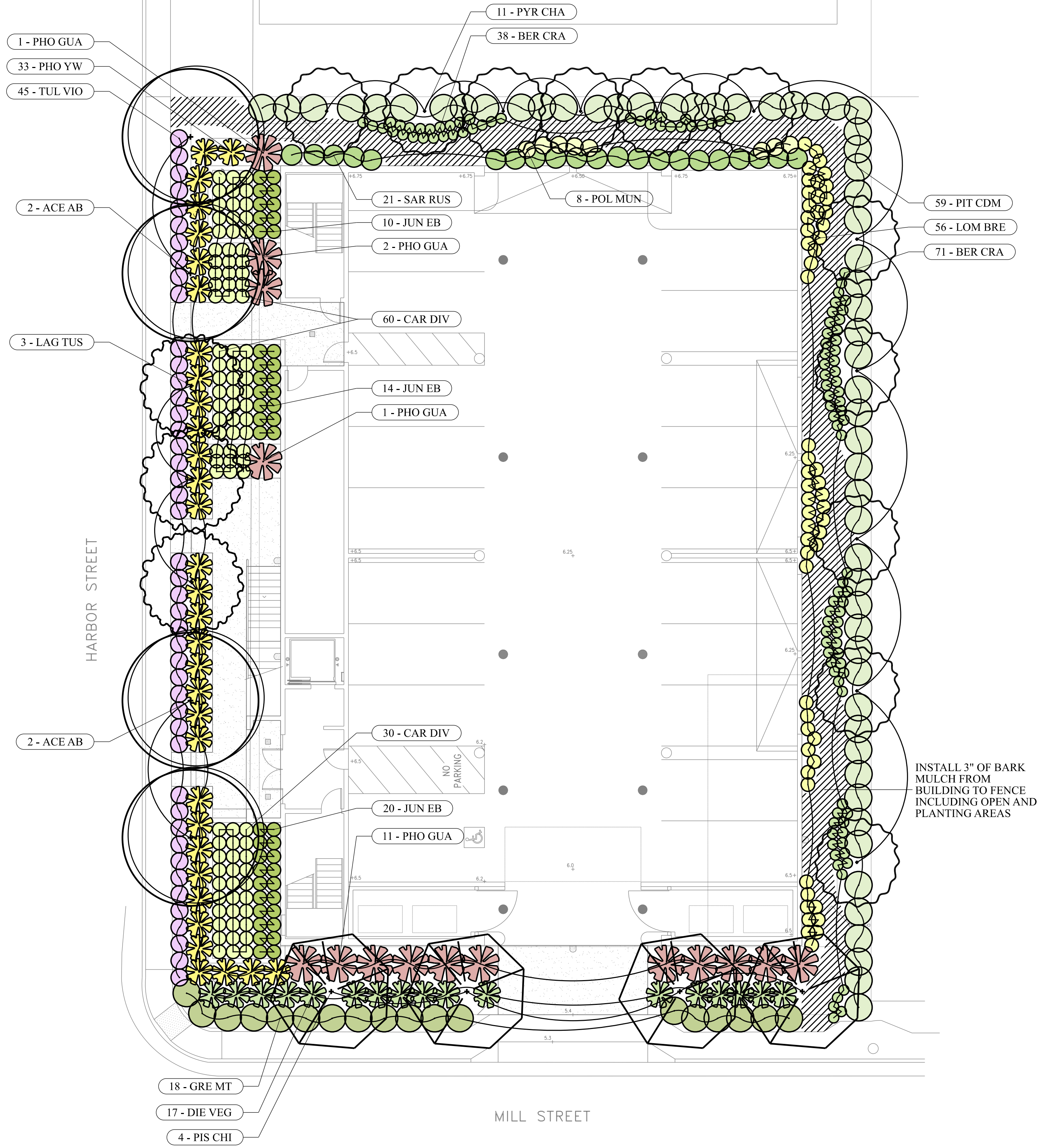
- LEGEND:**
- PROPERTY LINE
 - x- EXISTING FENCE
 - OHE- EXISTING OVERHEAD ELECTRICAL LINE
 - 6.5- EXISTING CONTOURS
 - [Concrete Pattern] CONCRETE
 - [Truncated Dome Pattern] TRUNCATED DOME - DETECTABLE WARNING SURFACE
 - STORM DRAINAGE PIPE
 - D.S. 7 ○ DOWNSPOUT
 - ← DRAINAGE DIRECTION



<p>OVERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OVERKAMPER.COM</p>	<p>CALIFORNIA PRELIMINARY DRAINAGE PLAN 190 MILL STREET, SAN RAFAEL, CA MARIN COUNTY</p>
<p>Scale: 1" = 10' Drawn by: BM Field Crew: JA/JH Checked by: LE Date: 05/03/2019</p>	<p>SHEET 3 OF 3 17-139</p>

Quantity	Abbrev.	Botanical Name	Common Name	Size	Height	Spread	Water
4	ACE AB	ACER rubrum 'Autumn Blaze'	Autumn Blaze Red Maple	5 gal	tree		M
109	BER CRA	BERGENIA crassifolia	Heartleaf Bergenia	5 gal	1.25	1.25	L
90	CAR DIV	CAREX divulsa	Sedge	1 gal	1.50	2.00	L
17	DIE VEG	DIETES vegeta	Fortnight Lilly	5 gal	3.00	4.00	L
18	GRE MT	GREVILLEA lanigera 'Mt. Tamboritha'	Mt. Tambor Grevillea	5 gal	2.00	4.00	L
44	JUN EB	JUNCUS patens 'Elk Blue'	Elk Blue California Gray Rush	5 gal	2.00	2.00	L
3	LAG TUS	LAGERSTROEMIA i. 'Tuscarora'	Tuscarora Crapemyrtle	24" box	tree		L
56	LOM BRE	LOMANDRA longifolia 'Breeze'	Breeze Bwarf Mat Rush	1 gal	2.50	3.00	L
15	PHO GUA	PHORMIUM 'Guardman'	Guardman Flax	5 gal	5.50	7.00	L
33	PHO YW	PHORMIUM 'Yellow Wave'	Yellow Wave Flax	5 gal	4.50	6.00	L
4	PIS CHI	PISTACIA chinensis	Chinese Pistache	24" box	tree		L
59	PIT CDM	PITTOSPORUM tobira 'Cream de Mint'	Cream De Mint Pittosporum	5 gal	2.50	2.50	L
8	POL MUN	POLYSTICHUM munitum	Western Sword Fern	5 gal	3.00	3.00	M
11	PYR CHA	PYRUS calleryana 'Chanticleer'	Chanticleer Pear	24" box	tree		M
21	SAR RUS	SARCOCOCCA rusifolia	Fragrant Sarcococca	5 gal	4.00	3.00	L
45	TUL VIO	TULBAGHIA violacea	Society Garlic	5 gal	1.50	2.50	L

NOTES:
 - INSTALL 3" OF BARK MULCH IN ALL PLANTING AREAS.
 - INSTALL DRIP IRRIGATION SYSTEMS IN ALL PLANTING BEDS.
 - INSTALL WEATHER RELATED IRRIGATION COMPONENTS PER MMWD REQUIREMENTS.
 - OBTAIN HORTICULTURAL SOILS ANALYSIS FROM ENVIRONMENTAL TECHNICAL SERVICES (707.778.9605) AND INSTALL ALL RECOMMENDED SOILS IMPROVEMENT ITEMS.



INSTALL 3" OF BARK MULCH FROM BUILDING TO FENCE INCLUDING OPEN AND PLANTING AREAS

REVISION DATE

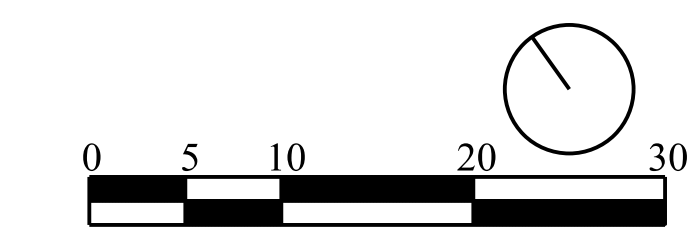
LANDSCAPE ARCHITECT
 DONALD L. WILBORG
 No. 1639
 Exp. 12/31/19
 STATE OF CALIFORNIA

WILBORG DESIGN
 Landscape Architecture
 13 Seminole Avenue
 Corte Madera, California 94925
 Cal. Lic. No. 1639
 (415) 924-4466
 (415) 924-2836 fax
 don@wilborgdesign.com

Planting Plan
 Mill Street Center
 190 Mill Street
 San Rafael, California 94901

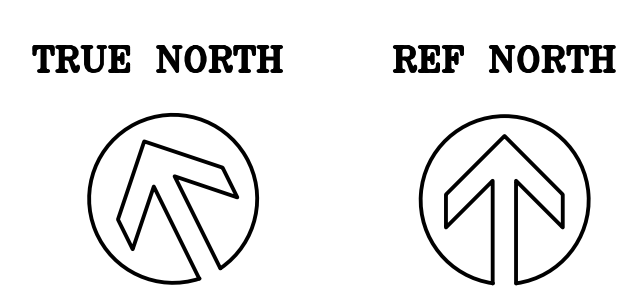
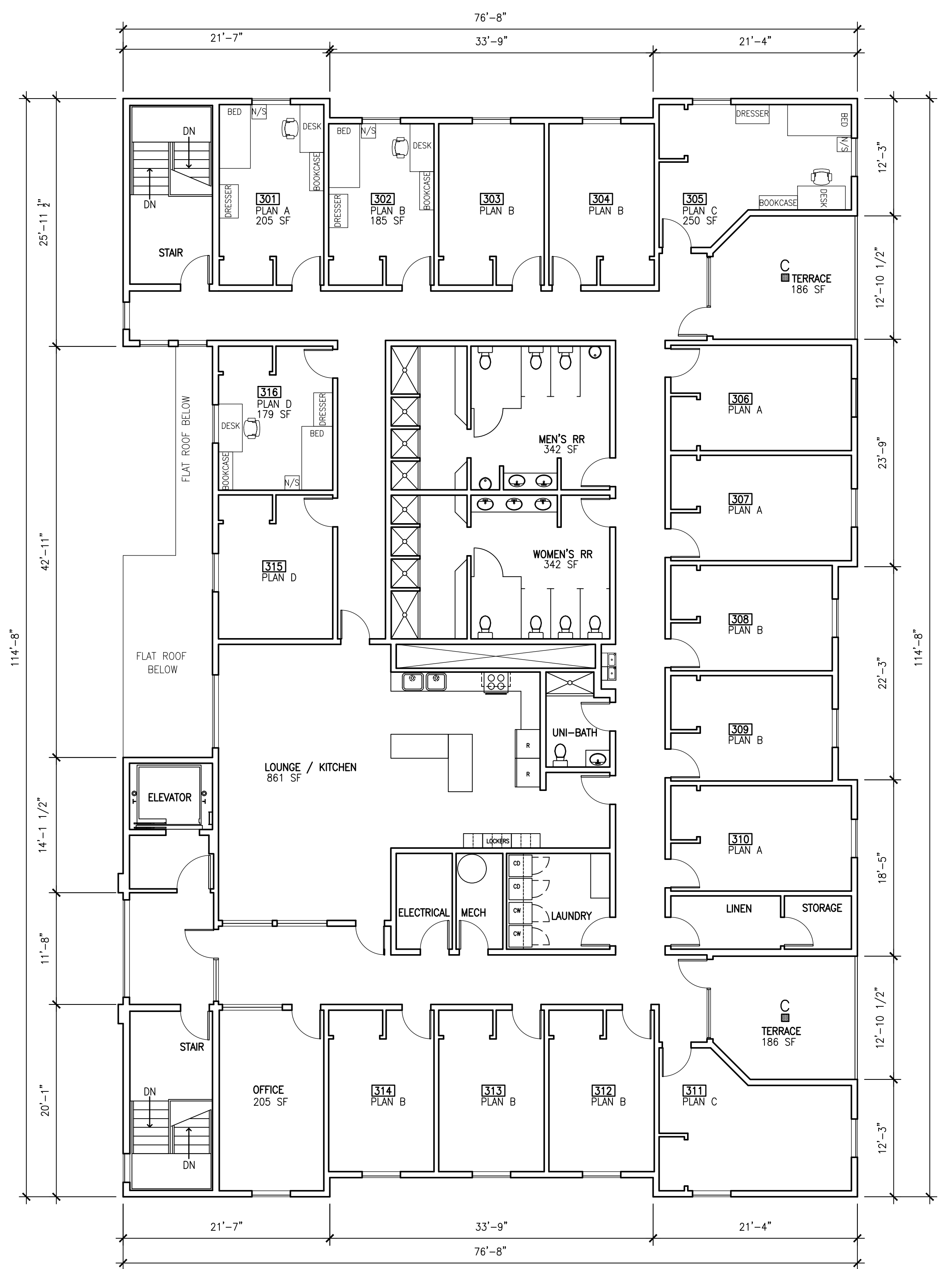
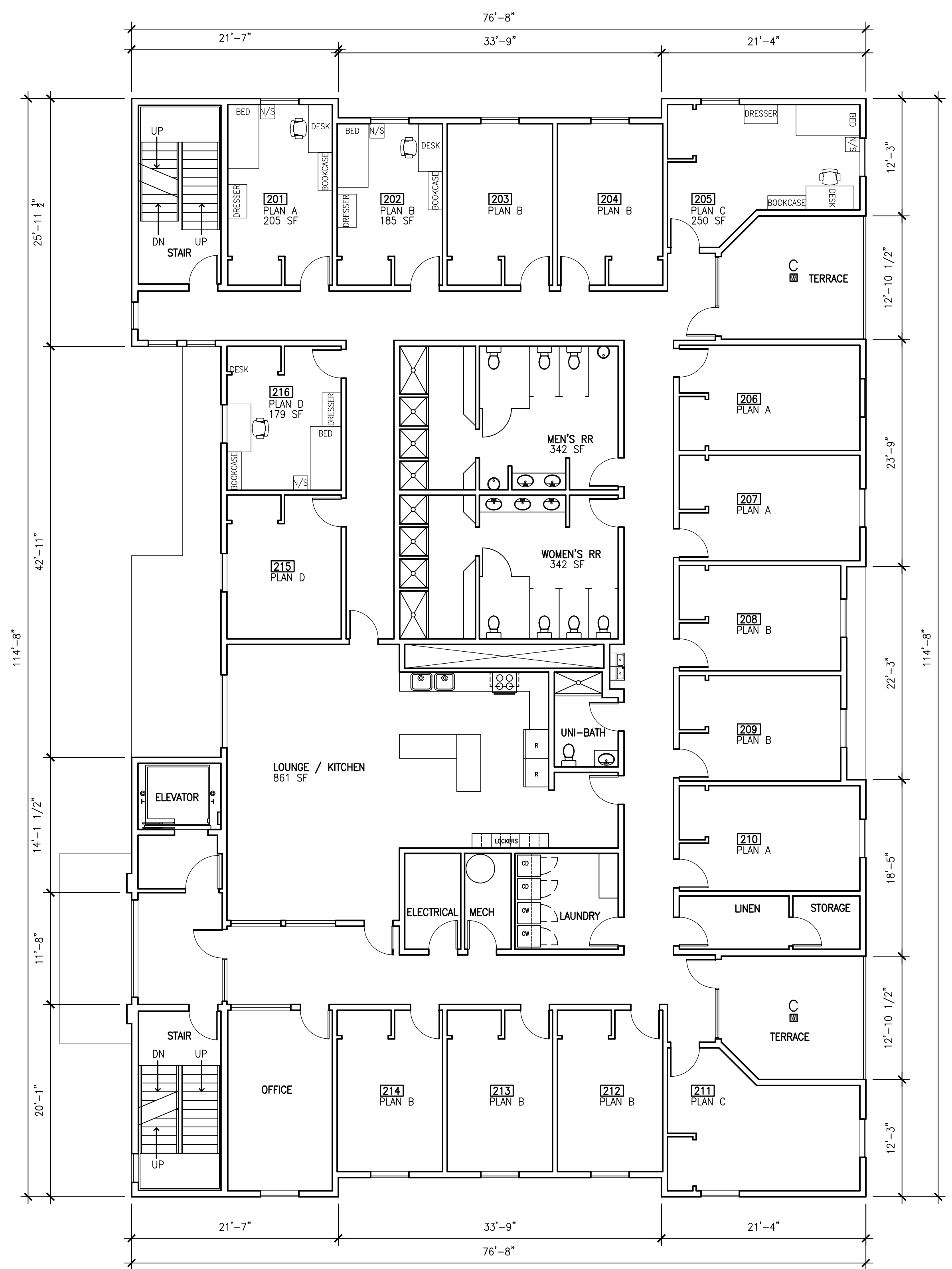
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 CHECKED DLW
 DATE 2019.05.09
 SCALE 1"=10'-0"
 JOB NO.
 SHEET

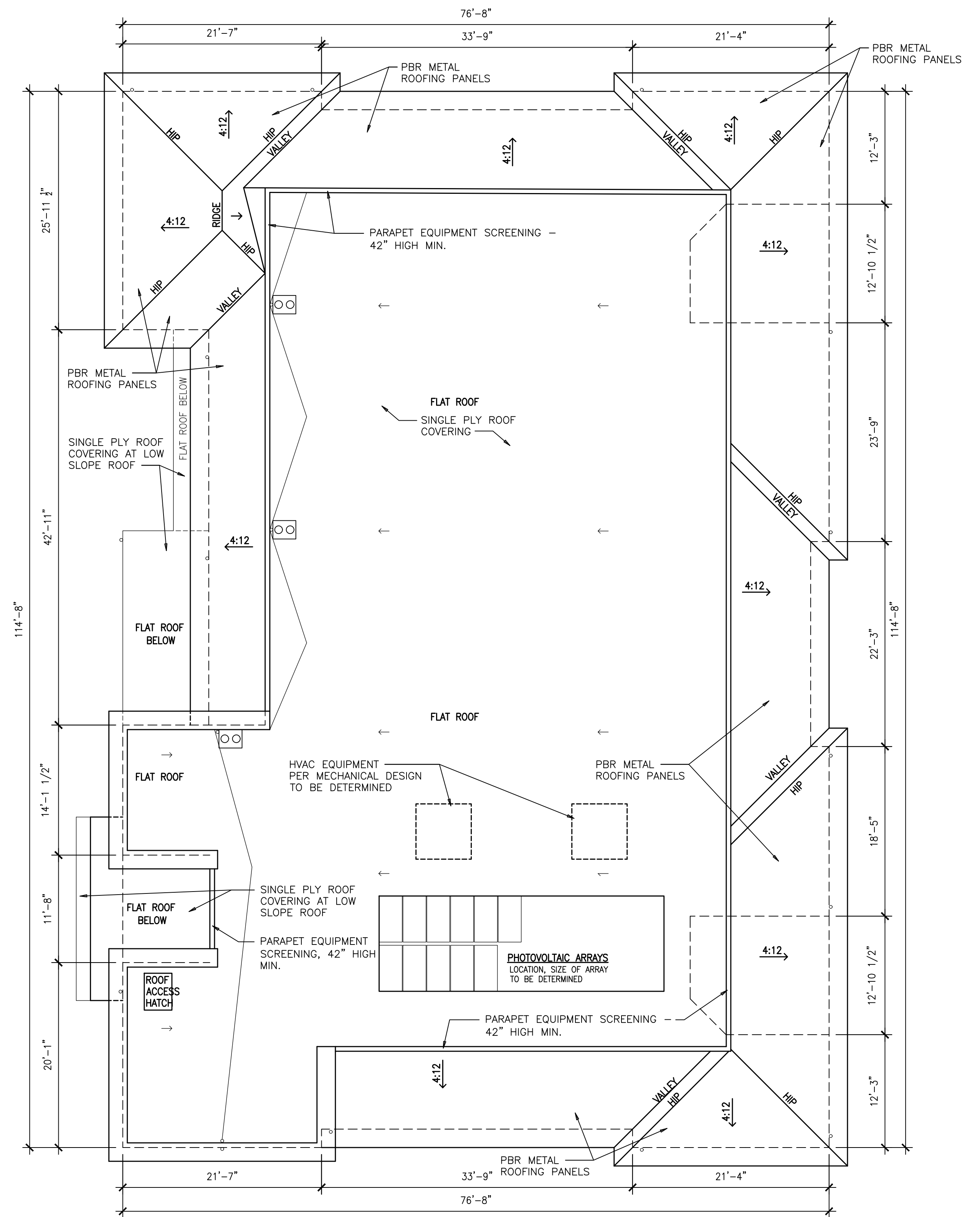
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 OF SHEETS
 PRINTING DATE: 2019/05/10



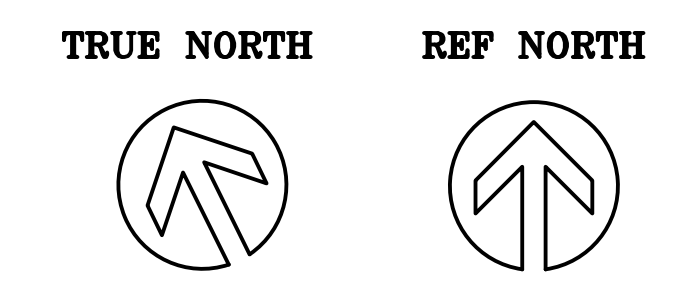
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4-29-19	Date:
12-3-19	Scale:
	AS NOTED
	Drawn:
	JR/PC
	Job #
	16032.00
	Prototype
	DIVINE





1 ROOF PLAN
 SCALE: 1/8" = 1'-0"

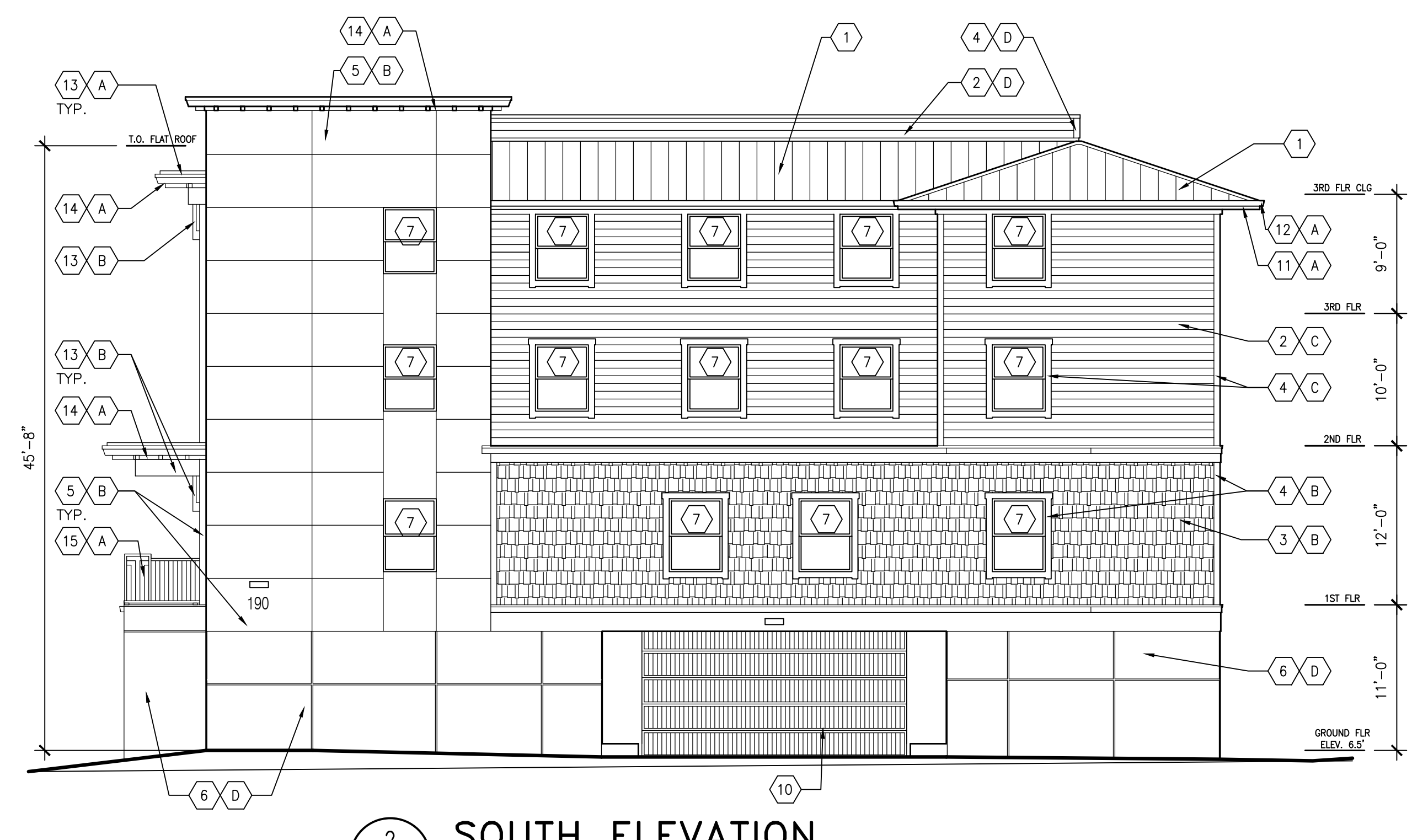


PLANNING SUBMITTAL	4-29-19
PLANNING SUBMITTAL	12-3-19
Revisions	
	◀
	◀
	◀
	◀
	◀
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	◀

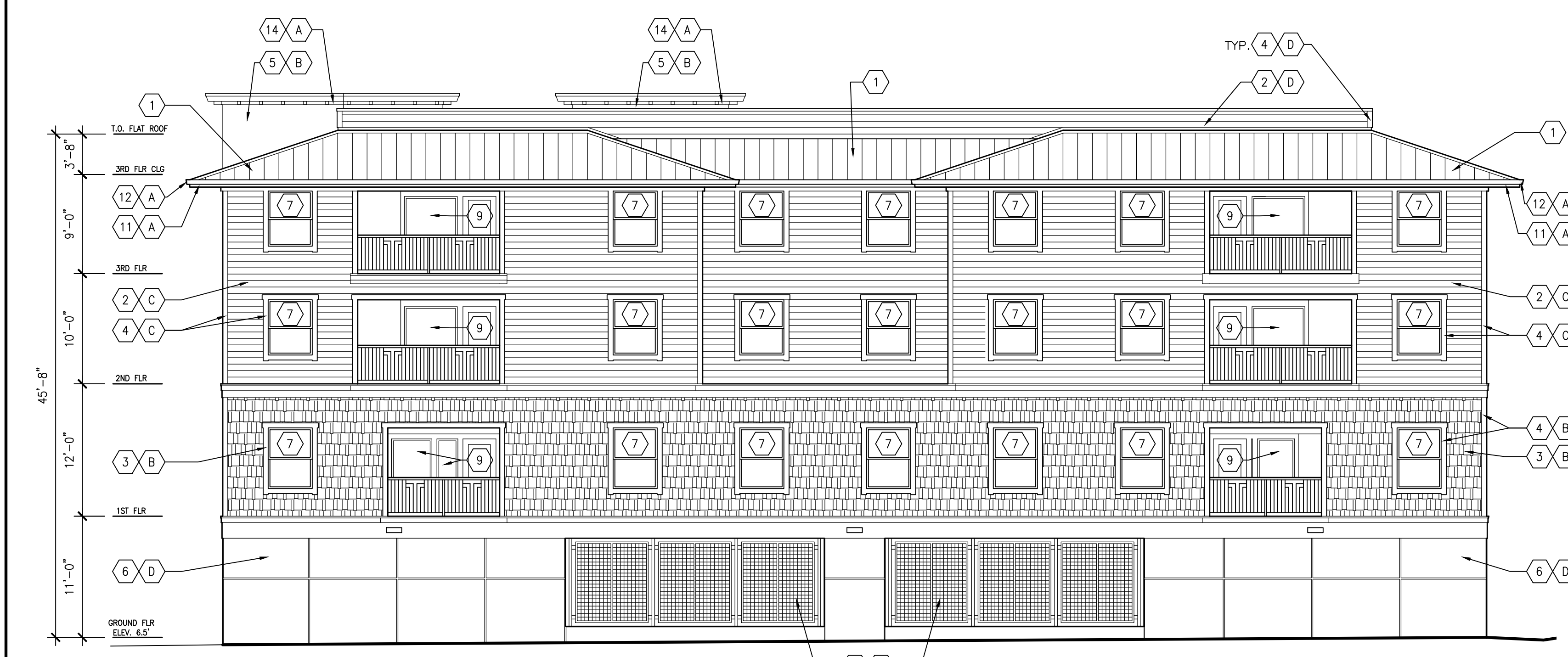
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 Prototype DIVINE



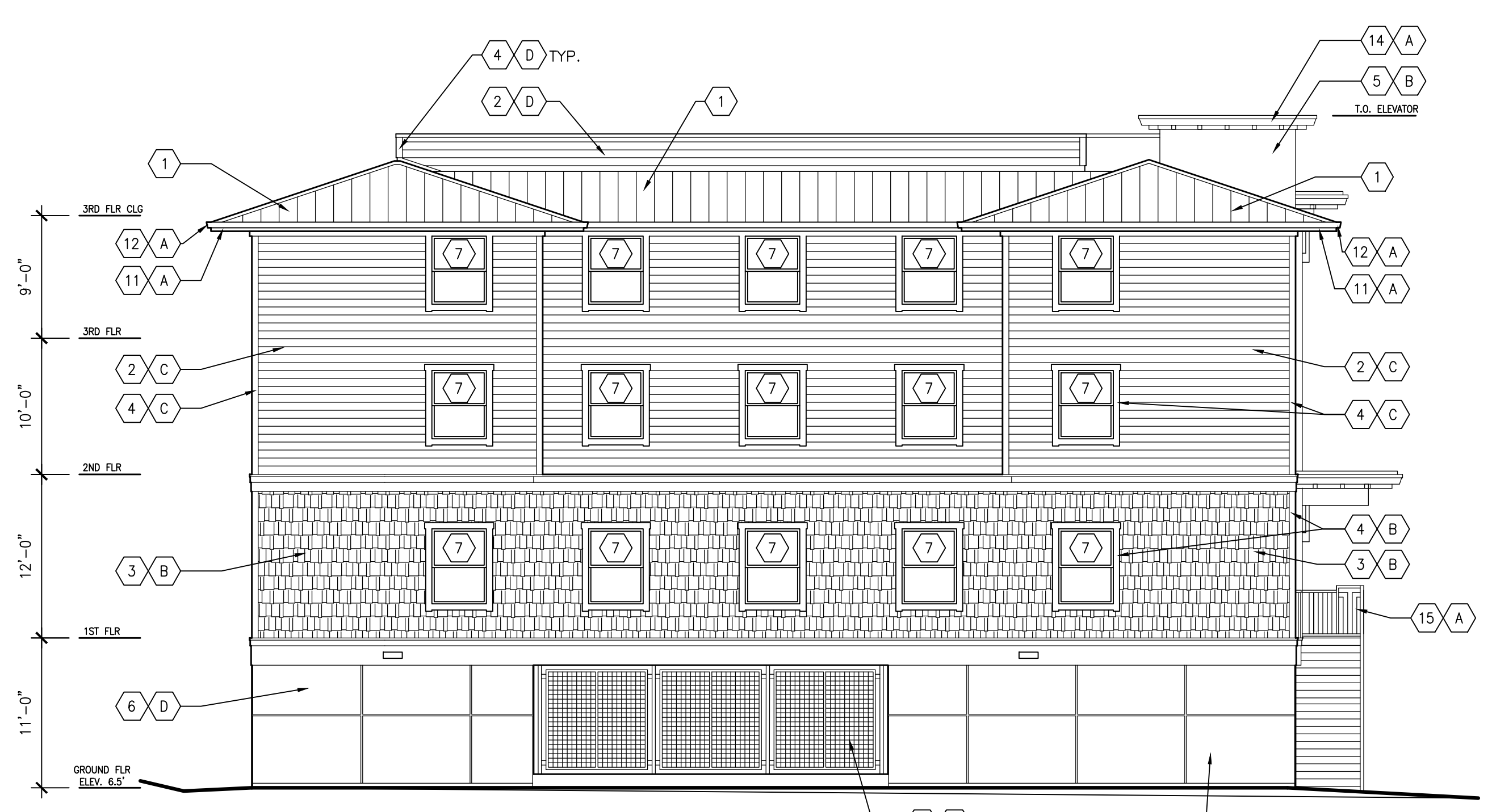
1 WEST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



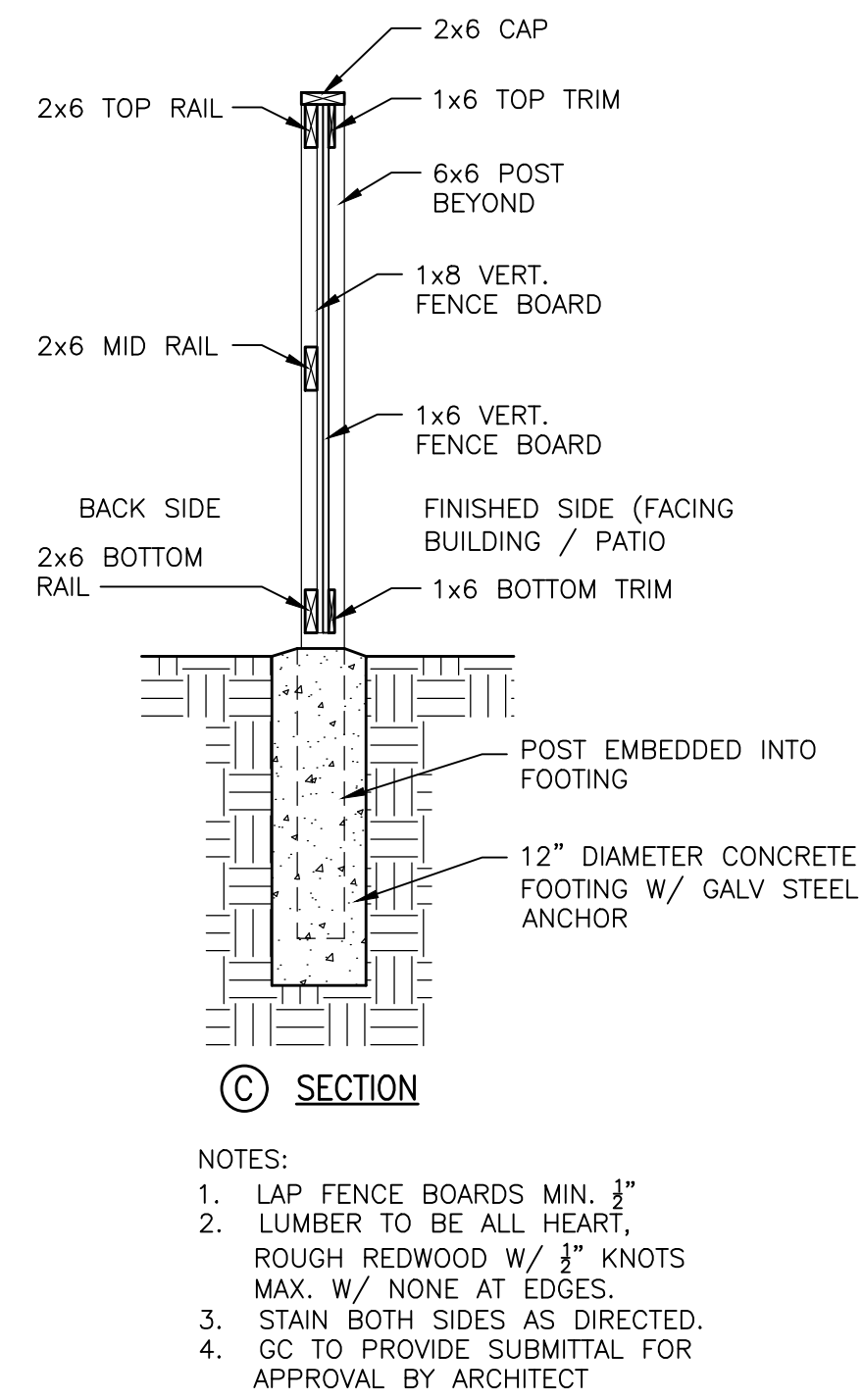
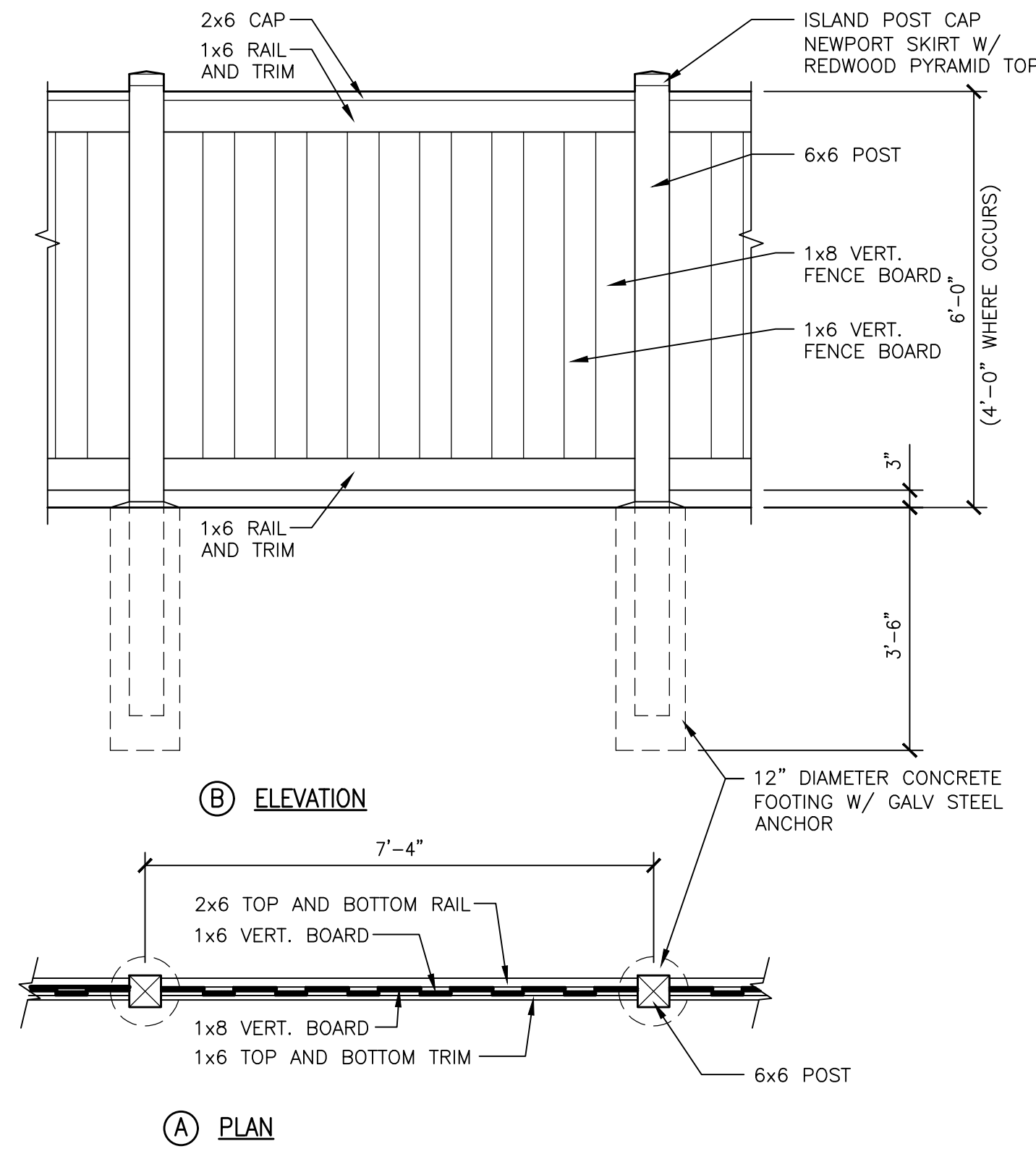
4 NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIALS LEGEND

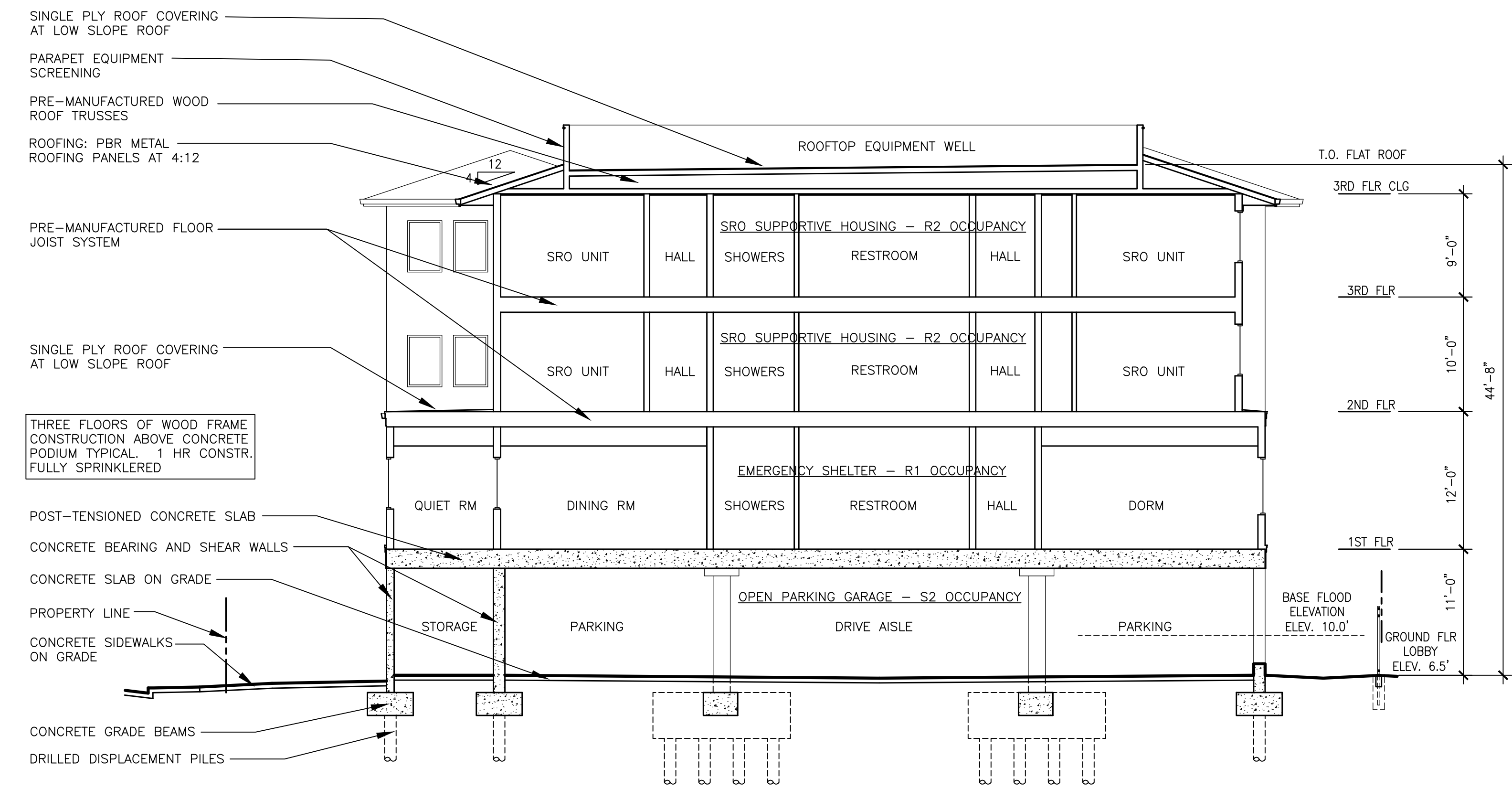
MATERIAL	
1	ROOFING: PBR METAL ROOFING PANELS WITH SILICONIZED POLYESTER FINISH; COLOR: LT. STONE
2	SIDING: WOOD GRAIN TEXTURED FIBER CEMENT HORIZONTAL BOARDS, 7" EXPOSURE - PAINTED
3	SHINGLES: FIBER CEMENT W/ STAGGERED EDGES - PAINTED
4	CORNER BOARD / HORIZONTAL TRIM BOARD / DOOR AND WINDOW TRIM: HARDITRIM 1/2 X 5 1/2 - PAINTED
5	STUCCO W/ REVEAL SCREED OR HARDI REVEAL - PAINTED
6	CONCRETE W/ CAST IN REVEAL - PAINTED
7	WINDOWS: MILGARD VINYL "MONTECITO"-DUAL PANE FRAME COLOR: FOG
8	DOORS: HOLLOW METAL STEEL FLUSH PANEL
9	ALUMINUM STOREFRONT ENTRANCES AND COMMON AREA GLAZING SYSTEMS - CLEAR ANODIZED
10	AUTOMATIC OVERHEAD STEEL GATE - FACTORY FINISH-BLACK
11	2x8 ENGINEERED FASCIA TRIM - PAINTED
12	GUTTER: 5" ALUMINUM FASCIA - PAINTED
13	EIFS MOULDING
14	FIBER CEMENT TRIMS AND SAWN LUMBER RAFTER TAILS - PAINTED
15	STEEL HANDRAILS AND GUARDRAILS - PAINTED
16	STEEL SECURITY GRILLS AT PARKING OPENINGS - PAINTED
17	FLOOD VENTS: 2'x3' METAL LOUVERS W/ 2" FRAME - PAINTED
18	

EXTERIOR COLORS LEGEND

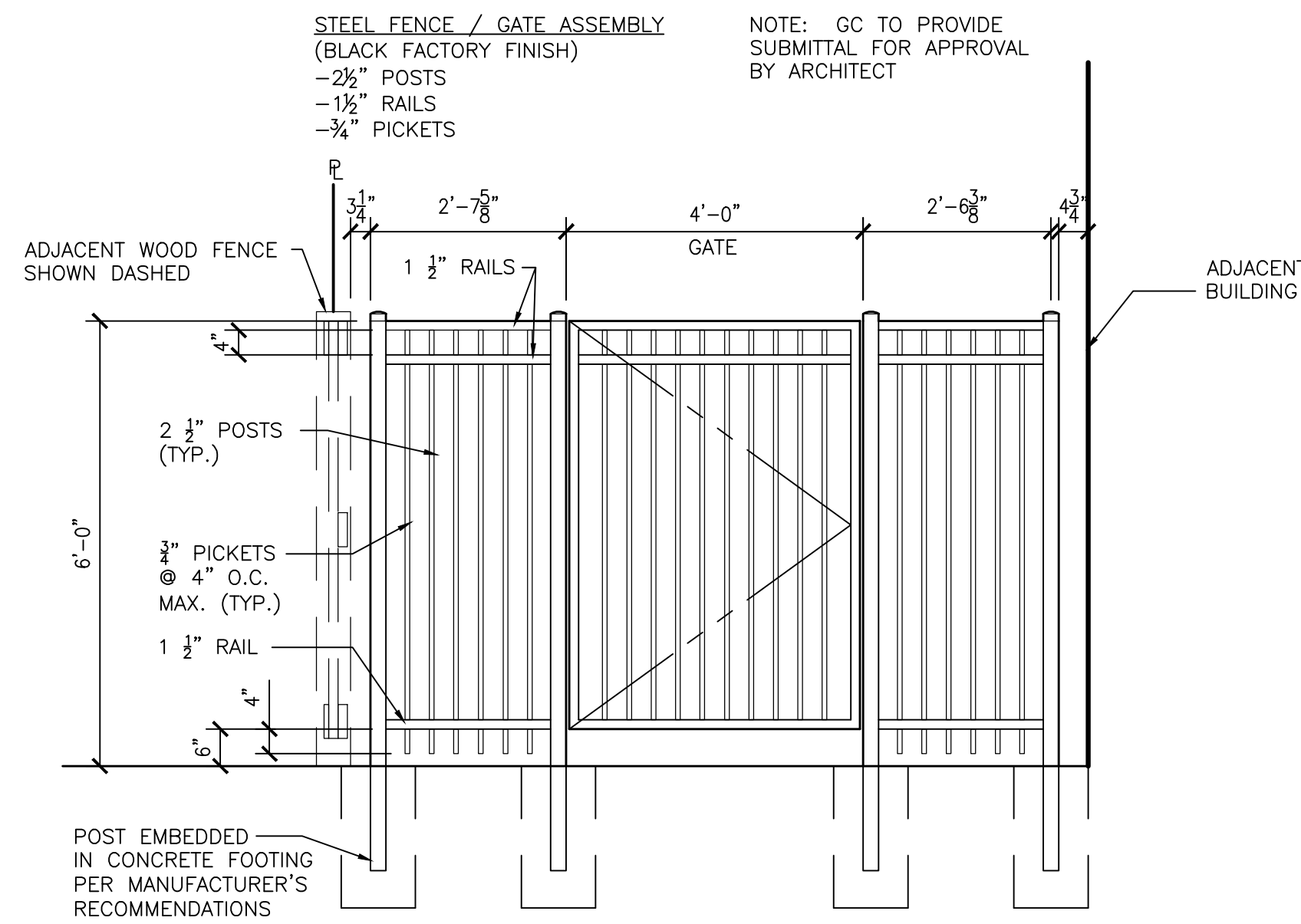
COLOR	
A	BENJAMIN MOORE #HC-113 LOUISBURG GREEN
B	BENJAMIN MOORE #HC-44 LENOX TAN
C	BENJAMIN MOORE #HC-27 MONTEREY WHITE
D	BENJAMIN MOORE #HC-76 DAVENPORT TAN



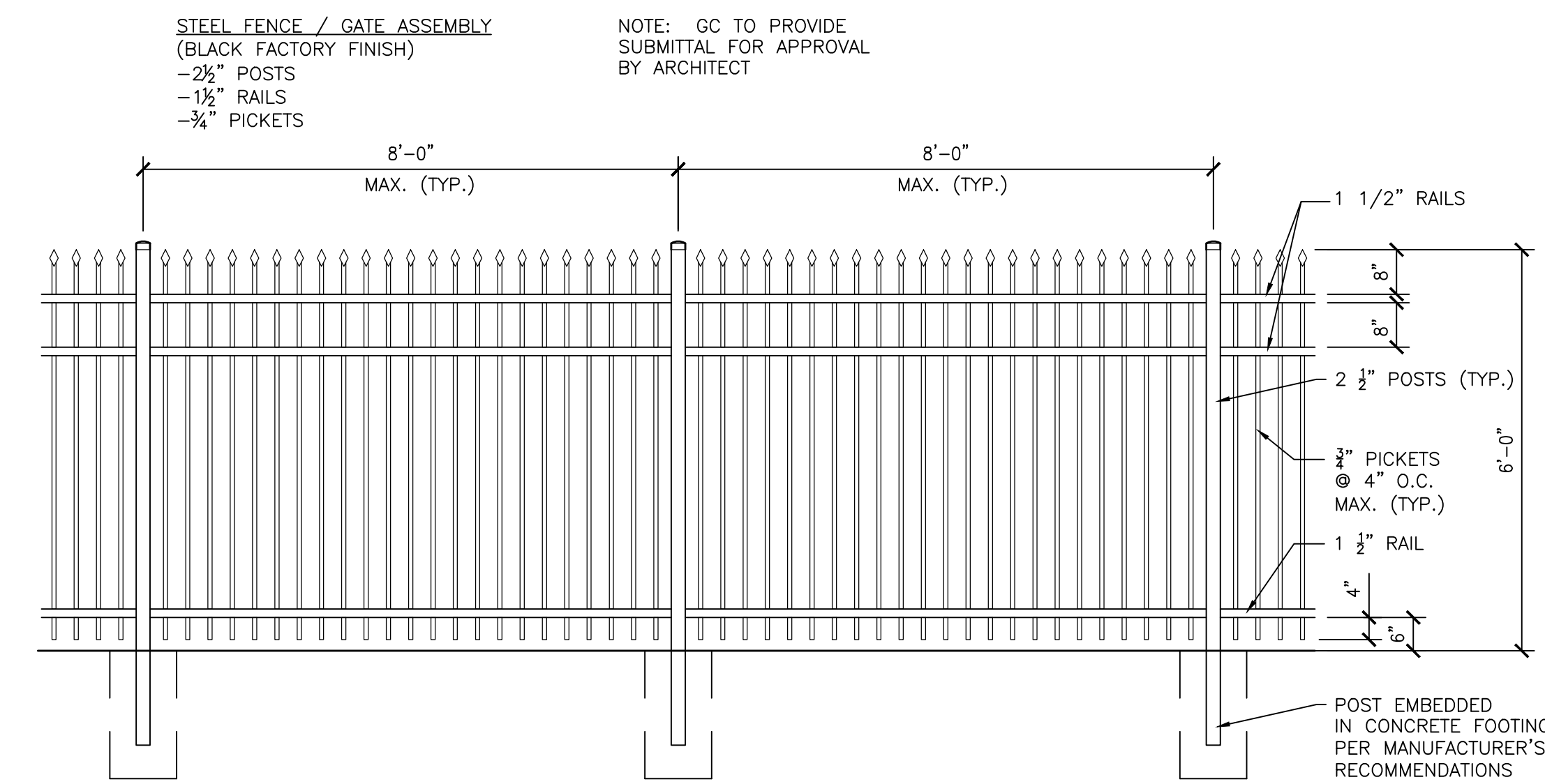
2 WOOD FENCE DETAIL
 A3.1 SCALE: 1/2" = 1'-0"



1 BUILDING SECTION
 A3.1 SCALE: 1/8" = 1'-0"



3 STEEL GATE DETAIL
 A3.1 SCALE: 1/2" = 1'-0"



4 STEEL FENCE DETAIL
 A3.1 SCALE: 1/2" = 1'-0"

PLANNING SUBMITTAL	4-29-19
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Revisions	
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Date:	4-29-19
Scale:	AS NOTED
Drawn:	JR/PC
Job #	16032.00
Prototype	DIVINE



1 WEST ELEVATION – HARBOR ST.
A3.2 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION – MILL ST.
A3.2 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
A3.2 SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
A3.2 SCALE: 1/8" = 1'-0"

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PLANNING SUBMITTAL	
PLANNING SUBMITTAL REVISION	
Revisions	

Date: 4-29-19
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