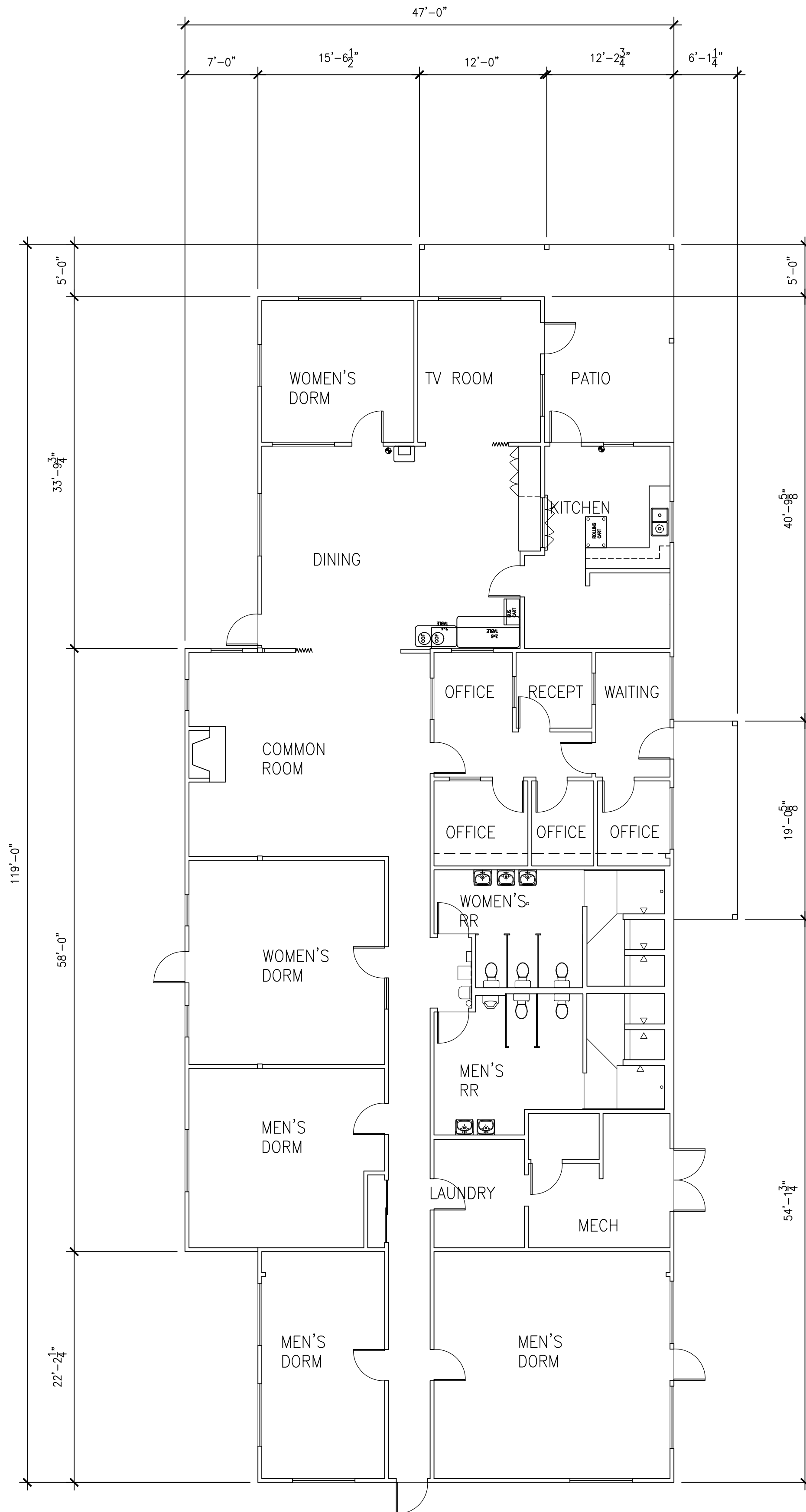


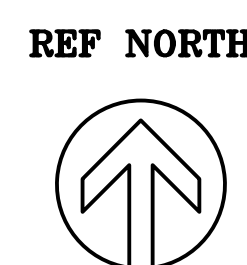
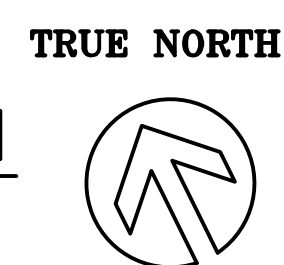
HARBOR STREET



MILL STREET

1
A1.0 **EXISTING EMERGENCY SHELTER FLOOR PLAN**
SCALE: 1/8" = 1'-0"

[THIS BUILDING AND ALL SITE IMPROVEMENTS WILL BE DEMOLISHED
SEE TOPO SURVEY (10f3) FOR EXISTING SITE IMPROVEMENTS]



DRAWING INDEX

- A1.0 EXISTING FLOOR PLAN / COVER SHEET
- 10f1 BOUNDARY AND TOPOGRAPHIC SURVEY
- 10f3 EXISTING CONDITIONS MAP
- 20f3 SITE PLAN (CIVIL)
- 30f3 PRELIMINARY DRAINAGE PLAN
- L1.2 PLANTING PLAN
- A2.0 SITE PLAN / GROUND FLOOR / FIRST FLOOR PLAN
- A2.1 SECOND AND THIRD FLOOR PLANS
- A2.2 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 BUILDING SECTION / DETAILS
- A3.2 ELEVATIONS - COLOR RENDERING

PROJECT DESCRIPTION

REPLACE THE EXISTING SINGLE STORY EMERGENCY SHELTER BUILDING WITH A NEW FOUR STORY BUILDING TO INCLUDE THE FOLLOWING: GROUND FLOOR CONCRETE PODIUM STYLE PARKING STRUCTURE; THE FIRST FLOOR OVER PARKING WOULD BE THE NEW EMERGENCY SHELTER; THE SECOND AND THIRD FLOORS WOULD BE LOW INCOME SUPPORTIVE HOUSING, CONSISTING OF SRO UNITS WITH SHARED COMMON AREAS INCLUDING A LOUNGE, COMMUNAL KITCHEN, TERRACES, AND BATHROOM FACILITIES. THE SECURE GROUND FLOOR PARKING WILL BE FOR HBM STAFF, VISITING SERVICE PROVIDERS, AND GUESTS. RESIDENTS WILL NOT HAVE CARS. THE ELEVATION OF THE GROUND FLOOR PARKING IS LOCATED BELOW THE FEMA BASE FLOOD ELEVATION AND WILL BE WET WATERPROOFED. THE GROUNDS WILL BE FULLY IMPROVED WITH IRRIGATED LANDSCAPING, HARDSCAPE, AND NEW FENCING.

PLANNING APPROVALS REQUIRED/REQUESTED

ENVIRONMENTAL REVIEW: INITIAL STUDY & NEGATIVE/MITIGATED DECLARATION
ZONING CHANGE: CCI/O TO RH-1
GENERAL PLAN AMENDMENT: LI/O TO HDR
USE PERMIT AMENDMENT: TO EXISTING UP 86-36(e)

PROJECT DATA

PROPERTY OWNER: HOMEWARD BOUND OF MARIN
1385 NORTH HAMILTON PARKWAY
NOVATO, CA 94949
(415) 382-3363
ATTN: PAUL FORDHAM

APN: 014-19-012
SITE AREA: 13,500 SF
EXISTING GENERAL PLAN DESIGNATION: LI/O
EXISTING ZONING: CCI/O
EXISTING USE: EMERGENCY SHELTER (40-55 BEDS)
CONDITIONAL USE PERMIT
EXISTING BUILDING AREA: 4,792 SF (1 STORY)
EXISTING PARKING: 13 SPACES

PROPOSED GENERAL PLAN DESIGNATION: HDR
PROPOSED ZONING: RH-1
PROPOSED USES: EMERGENCY SHELTER (60 BEDS)(CONDITIONAL USE PERMIT)
SRO HOUSING (32 UNITS)

PROPOSED BUILDING AREAS: GROUND FLOOR: PARKING; 8,713 SF
FIRST FLOOR: EMERGENCY SHELTER; 8,368 BLDG SF;
407 SF TERRACES; 60 BEDS
SECOND FLOOR: SRO HOUSING; 7,840 BLDG SF;
373 SF TERRACES; 16 UNITS
THIRD FLOOR: SRO HOUSING; 7,840 BLDG SF;
373 SF TERRACES; 16 UNITS
PROPOSED PARKING: 18 SPACES

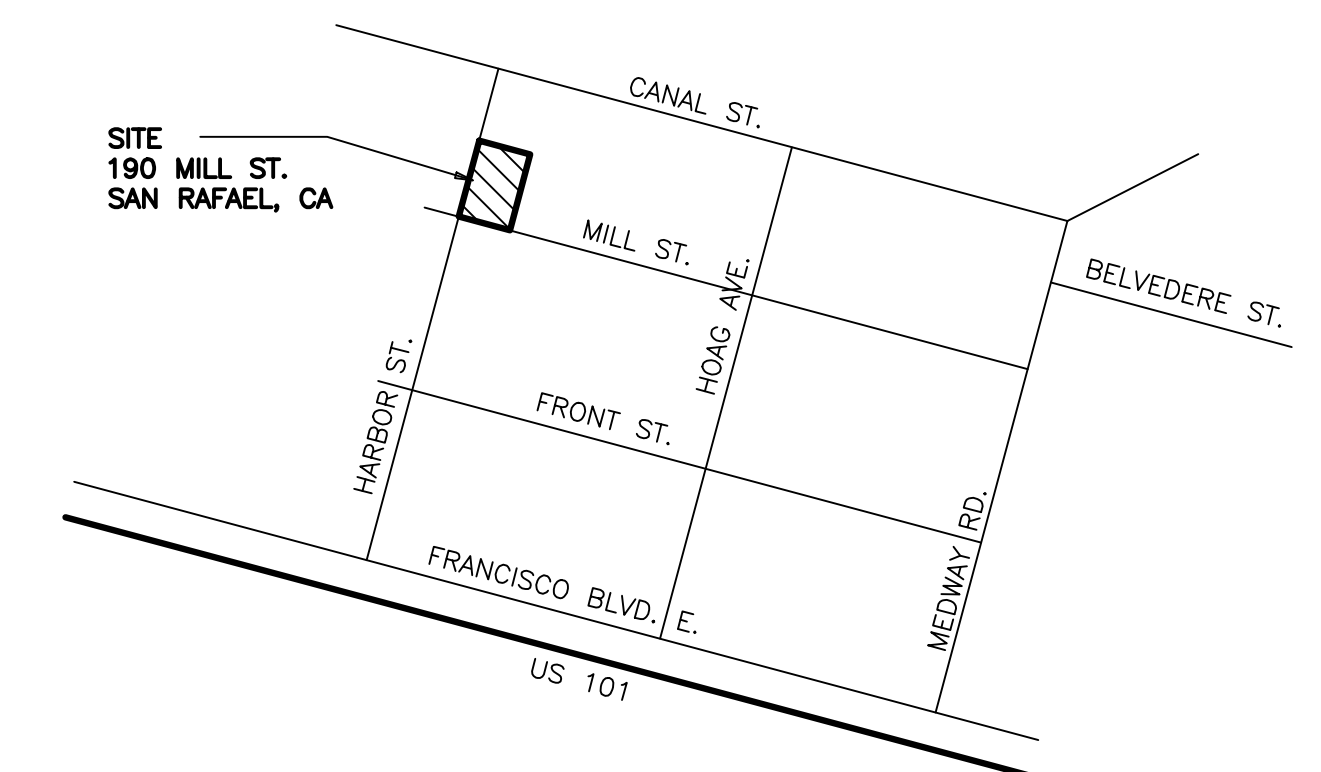
ALL EASEMENTS BENEFITING ADJACENT PARCEL APN 014-19-013 IDENTIFIED ON THE BOUNDARY AND TOPOGRAPHIC SURVEY BY OBERKAMPER ASSOC DATED 09-19-2017 HAVE BEEN REMOVED BY A TERMINATION OF EASEMENT/QUITCLAIM RECORDED AT THE COUNTY OF MARIN 8-27-19.

AFFORDABLE LOW INCOME HOUSING INCENTIVES REQUIRED FOR APPROVAL
PROPOSED PARKING: 19 SPACES (PARKING MODIFICATION REQUESTED)

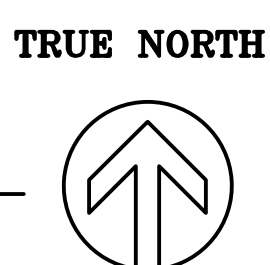
HEIGHT: RH-1 HEIGHT LIMIT IS 36'. REQUESTED ≤ 48'
LOT COVERAGE: RH-1 COVERAGE LIMIT IS 60% (8,100 SF)
REQUESTED: 66% (8,893 SF) (<20% REDUCTION)

FRONT YARD SETBACK: RH-1 SETBACK IS 15' OR EQUAL
TO AVERAGE OF ADJACENT RESIDENTIAL WHICH IS 10'-0"
REQUESTED 8'-2" (<20% REDUCTION)

PROPOSED CONSTRUCTION TYPE:
GROUND FLOOR: S-2 PARKING GARAGE, BUILDING CIRCULATION ELEMENTS AND STORAGE. CONCRETE PODIUM STYLE STRUCTURE WITH FOUNDATION PER RECOMMENDATIONS OF GEOTECHNICAL REPORT, FULLY SPRINKLERED. FIRST, SECOND, AND THIRD FLOORS ABOVE PARKING: TYPE VA WOOD FRAME CONSTRUCTION, FULLY SPRINKLERED.



2
A1.0 **VICINITY MAP**



A R C H I T E C T S
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457-0220 Fax: (415) 454-9581
 Contact: Pat Cousens Email: pcousens@divinearchitects.com

PROPOSED MILL STREET CENTER
 EMERGENCY HOMELESS SHELTER/
 SINGLE RESIDENT OCCUPANCY UNITS
 190 MILL STREET, SAN RAFAEL, CA
 FOR: HOMEWARD BOUND OF MARIN
 APN# 014-19-012

**EXISTING FLOOR PLAN/
 COVER SHEET**

PLANNING SUBMITTAL	4-29-19
Date:	4-29-19
Scale:	AS NOTED
Drawn:	JR/PC
Job #	16032.00
Prototype	DIVINE

A1.0